



## Arlington Zoning Board of Appeals

**Date:** Tuesday, April 30, 2024  
**Time:** 7:30 PM  
**Location:** Conducted by Remote Participation  
**Additional Details:**

### **Agenda Items**

#### **Administrative Items**

1. **Conducted by Remote Participation**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Healey's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: [Massachusetts Open Meeting Law](#)

For additional information on Arlington's Zoning Board please visit their website. Reference material for this meeting will be available 48 business hours prior to the meeting and may be viewed on the Board's Agendas and Minutes page.

Per Board Rules and Regulations, public comments will be accepted during the public comment periods designated on the agenda. Written comments may be provided by email to [ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us) 48 hours prior to the start of the meeting.

You are invited to a Zoom meeting.

When: Apr 30, 2024 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

<https://town-arlington-ma-us.zoom.us/meeting/register/tZUlc-yuqT8uE9LmNSkT3VWj48aVsGTjKalh>

After registering, you will receive a confirmation email containing information about joining the meeting.

2. **Election of Officers**

#### **Hearings**

3. **Docket #3787 84 Hillside Avenue**
4. **Docket #3790 38-40 Milton Street**
5. **Docket #3792 529 Summer Street**

6. **Docket #3793 30 Mayflower Road**

**Meeting Adjourn**



## **Town of Arlington, Massachusetts**

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### **Conducted by Remote Participation**

#### **Summary:**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

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For additional information on Arlington's Zoning Board please visit [their website](#). Reference material for this meeting will be available 48 business hours prior to the meeting and may be viewed on the Board's [Agendas and Minutes](#) page.

Per Board Rules and Regulations, public comments will be accepted during the public comment periods designated on the agenda. Written comments may be provided by email to [ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us) 48 hours prior to the start of the meeting.

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## **Town of Arlington, Massachusetts**

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### **Election of Officers**





## Town of Arlington, Massachusetts

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### Docket #3787 84 Hillside Avenue

#### ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	#3787_84_Hillside_Avenue_Legal_ad.pdf	#3787 84 Hillside Avenue Legal ad
▢ Reference Material	#3787_84_Hillside_Avenue_application.pdf	#3787 84 Hillside Avenue Application
▢ Reference Material	#3787_84_Hillside_Plot_Plan.pdf	#3787 84 Hillside Plot Plan
▢ Reference Material	#3787_84_Hillside_Photos.pdf	#3787 84 Hillside Photos
▢ Reference Material	82-84_Hillside_Driveway_ISD_Photos_-_2023.12.12.pdf	82-84 Hillside Driveway ISD Photos - 2023.12.12



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

## LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Mei Cheng and Alan Ching** of Arlington, MA. on March 26, 2024, a petition seeking to alter their property located at **84 Hillside Avenue - Block Plan 167.0-0004-0013.0**. Said petition would require a **Special Permit** under **6.1.10 A** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on April 30, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**  
<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

**DOCKET NO 3787**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**



## SP-24-5

Special Use Permit  
Application (ZBA)

Status: Active

Submitted On: 2/21/2024

### Primary Location

84 HILLSIDE AVE  
Arlington, MA 02476

### Owner


CHENG MEI KING; CHING  
ALAN  
Hillside Ave 84 ARLINGTON,  
MA 02476

### Applicant

 AI Patterson  
 603-300-2323  
a.e.p.constructionnh@gmail.com  
 548 Lafayette Rd  
Hampton , New  
Hampshire 03842

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## Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. \*\*\*Please LIST BYLAW(S)\*\*\*\* 

The property is on hillside.

**Explain why the requested use is essential or desirable to the public convenience or welfare.\***

It is Safty for the elderly to get access to there home, it will help keep cars from parking in front of other nabors home during street parking

**Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\***

It will help keep cars off street from parking open the road up for more safe visible driving, we will maintain/improve any abutting sidewalk for pedestrian safe walking.

**Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\***

The water is draining back into the hillside property & I believe we are help releveing some of the town water.

**Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\***

The driveway is less then 20 feet

**Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\***

It is simply parking spot for elderly tenants.

**Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\***

It is a small clean neat driveway for Safty of the elderly, it will help improve property value. It will help open up street parking and make easy ire for street sweeping.

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## Dimensional and Parking Information

**Present Use/Occupancy \***

Multi

**Proposed Use/Occupancy \***

Multi

**Existing Number of Dwelling Units\***

3

**Proposed Number of Dwelling Units\***

3

Existing Gross Floor Area (Sq. Ft.)\*

4000

Proposed Gross Floor Area (Sq. Ft.)\*

4000

Existing Lot Size (Sq. Ft.)\*

11000

Proposed Lot Size (Sq. Ft.)\* 

11000

Minimum Lot Size required by Zoning\*

4000

Existing Frontage (ft.)\*

100

Proposed Frontage (ft.)\*

110

Minimum Frontage required by Zoning\*

50

Existing Floor Area Ratio\*

0

Proposed Floor Area Ratio\*

0

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

21

Proposed Lot Coverage (%)\*

3

Max. Lot Coverage required by Zoning\*

80

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

11000

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

11000

Minimum Lot Area per Dwelling Unit required by Zoning\*

11000

Existing Front Yard Depth (ft.)\*

100

Proposed Front Yard Depth (ft.)\*

100

Minimum Front Yard Depth required by Zoning\*

0

Existing Left Side Yard Depth (ft.)\*

110

Proposed Left Side Yard Depth (ft.)\*

110

Minimum Left Side Yard Depth required by Zoning\*

0

Existing Right Side Yard Depth (ft.)\*

100

Proposed Right Side Yard Depth (ft.)\*

100

Minimum Right Side Yard Depth required by Zoning\*

0

Existing Rear Yard Depth (ft.)\*

110

Proposed Rear Yard Depth (ft.)\*

110

Minimum Rear Yard Depth required by Zoning\*

0

Existing Height (stories)

0

Proposed Height (stories)\*

0

Maximum Height (stories) required by Zoning\*

0

Existing Height (ft.)\*

0

Proposed Height (ft.)\*

0

Maximum Height (ft.) required by Zoning\*

0

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

20

Proposed Landscaped Open Space (Sq. Ft.)\*

20

Existing Landscaped Open Space (% of GFA)\*

20

Proposed Landscaped Open Space (% of GFA)\*

20

Minimum Landscaped Open Space (% of GFA)  
required by Zoning\*

0

Existing Usable Open Space (Sq. Ft.)\*

0

Proposed Usable Open Space (Sq. Ft.)\*

0

Existing Usable Open Space (% of GFA)\*

0

Proposed Usable Open Space (% of GFA)\*

0

Minimum Usable Open Space required by Zoning\*

0

Existing Number of Parking Spaces\*

2

Proposed Number of Parking Spaces\*

2

Minimum Number of Parking Spaces required by  
Zoning\*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks \*

0

Minimum Parking Area Setbacks required by  
Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by  
Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

0

Proposed Slope of proposed roof(s) (in. per ft.)\*

0

Minimum Slope of Proposed Roof(s) required by Zoning\*

0

Existing type of construction\*

Pavement

Proposed type of construction\*

20 foot Driveway

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## Open Space Information

Existing Total Lot Area\*

11000

Proposed Total Lot Area\*

11000

Existing Open Space, Usable\*

20

Proposed Open Space, Usable\*

20

Existing Open Space, Landscaped\*

20

Proposed Open Space, Landscaped\*

20

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## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

20

Accessory Building, Proposed Gross Floor Area

20

Basement or Cellar, Existing Gross Floor Area 

0

Basement or Cellar, Proposed Gross Floor Area

0

1st Floor, Existing Gross Floor Area

1000

New Field

—



1st Floor, Proposed Gross Floor Area

1000

2nd Floor, Existing Gross Floor Area

1000

2nd Floor, Proposed Gross Floor Area

1000

3rd Floor, Existing Gross Floor Area

500

3rd Floor, Proposed Gross Floor Area

500

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies,  
Existing Gross Floor Area

0

All weather habitable porches and balconies,  
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

2520



Total Proposed Gross Floor Area

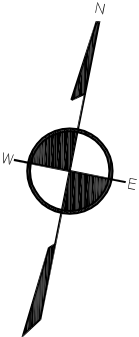
2520



PLAN OF LAND

LOCATED AT  
82-84 HILLSIDE AVENUE  
ARLINGTON, MA

SCALE: 1 INCH = 20 FEET



REFERENCES

DEED: BOOK 80674, PAGE 538  
PLANS: 21-2; 4861-END; 239-12

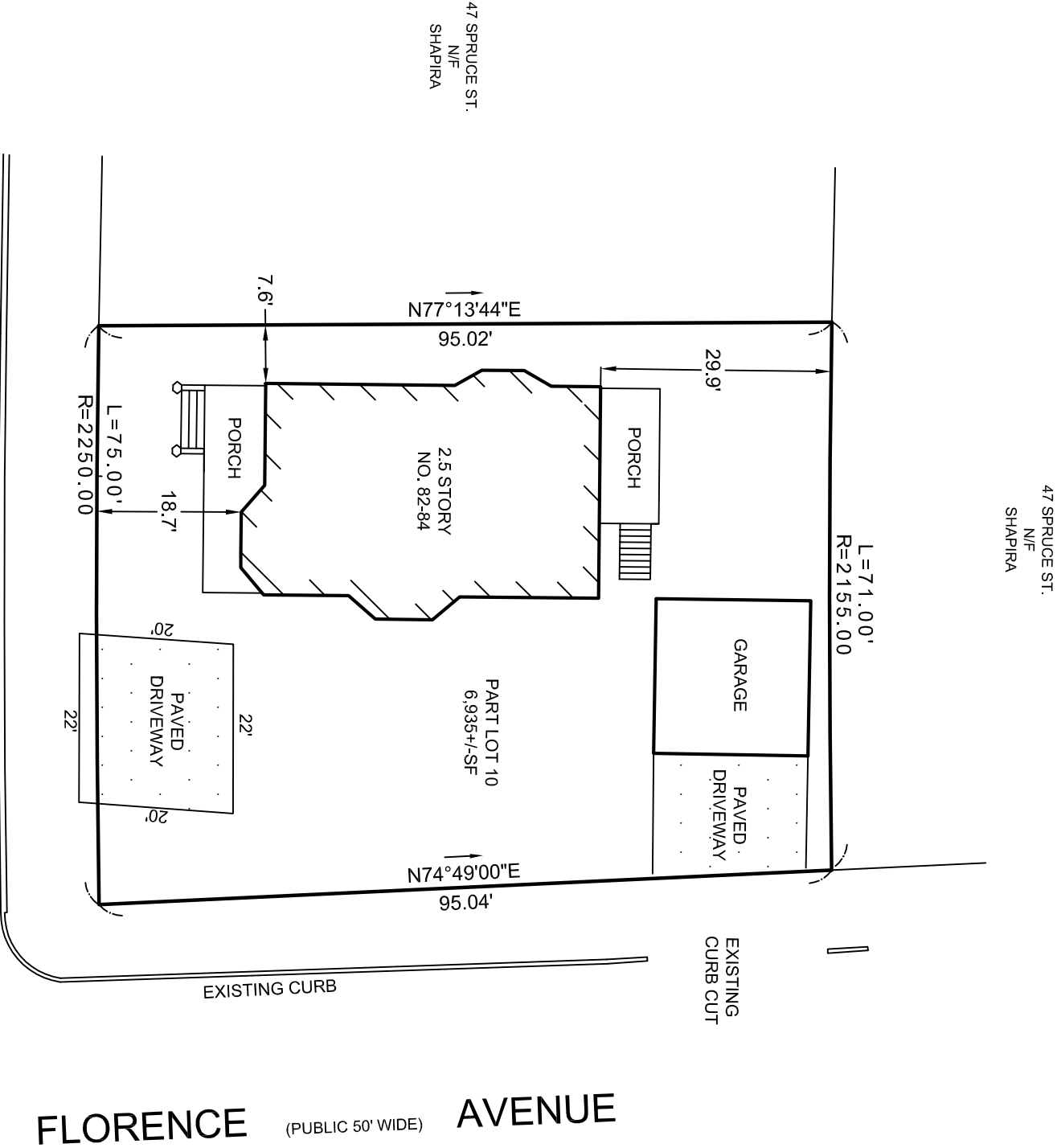
NOTES

THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND IN MARCH OF 2024 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

THIS PLAN WAS PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

THOMAS BERNARDI P.L.S.

DATE: MARCH 27, 2024



MASSACHUSETTS  
SURVEY  
CONSULTANTS, LLC

14 SUMNER STREET  
GLOUCESTER, MA 01930  
617 899-0703  
WWW.MASSACHUSETTSSURVEY.COM



Done



**84 Hillside Ave**  
Arlington Heights, Arlington



10:14

Done



**84 Hillside Ave**  
Arlington Heights, Arlington 15 of 81



**82-84 Hillside Avenue – Second Driveway Installation December 2023**

**December 2022 Street View**





December 2023 Street View Following Installation of Second Driveway





Original Driveway Street View December 2022





## Town of Arlington, Massachusetts

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### Docket #3790 38-40 Milton Street

#### ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	#3790_38_Milton_Street_Legal_ad.pdf	#3790 38 Milton Street Legal ad
▢ Reference Material	#3790_38_Milton_Street_Application.pdf	#3790 38 Milton Street Application
▢ Reference Material	#3790_38-40_Milton_street_-_Plot_Plan.pdf	#3790 38-40 Milton street - Plot Plan
▢ Reference Material	38-40_Milton_Street_Updated_plans_4-30-2024.pdf	38-40 Milton Street Updated plans 4-30-2024
▢ Reference Material	ZBA_Memo_38-40_Milton_Street.pdf	ZBA memo 38-40 Milton Street



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

## LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **38-40 Milton Street, LLC** of Arlington, MA. on March 19, 2024, a petition seeking to alter their property located at **38-40 Milton Street - Block Plan 003.0-0004-0022.0**. Said petition would require a **Special Permit** under **Section 5.3.9 D** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on April 30, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**  
<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

**DOCKET NO 3790**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**





## SP-24-7

### Special Use Permit Application (ZBA)

Status: Active

Submitted On: 3/19/2024

### Primary Location

38 MILTON ST

Arlington, MA 02474

### Owner

38-40 MILTON STREET LLC

Dudley court 6 ARLINGTON, MA 02476

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## Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. \*\*\*Please LIST BYLAW(S)\*\*\* [?](#)

5.3.9 D

**Explain why the requested use is essential or desirable to the public convenience or welfare.\***

Updating the envolpe of the house to modern times.

**Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\***

Enclosing the first floor porch will have no affect on traffic congestion or pedestrian safety.

**Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\***

No additional plumbing or drainage will be added because of this therfor not adding strain to any municipal system.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\*

2nd floor is already nonconforming. This is making the two units uniform

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\*

Minor exterior improvements.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\*

It will improve the neighborhood with a modern look and provide the occupants a larger space that can be used year round vs. 4-6 months.

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## Dimensional and Parking Information

Present Use/Occupancy \*

Open Porch

Proposed Use/Occupancy \*

Enclosing the porch and squaring off

Existing Number of Dwelling Units\*

2

Proposed Number of Dwelling Units\*

2

Existing Gross Floor Area (Sq. Ft.)\*

2000

Proposed Gross Floor Area (Sq. Ft.)\*

2150

Existing Lot Size (Sq. Ft.)\*

4950

Proposed Lot Size (Sq. Ft.)\* ?

4950

Minimum Lot Size required by Zoning\*

6000

Existing Frontage (ft.)\*

55

Proposed Frontage (ft.)\*

55

Minimum Frontage required by Zoning\*

60

Existing Floor Area Ratio\*

0.4

Proposed Floor Area Ratio\*

0.43

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

25

Proposed Lot Coverage (%)\*

25

Max. Lot Coverage required by Zoning\*

0

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

2475

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

2475

Minimum Lot Area per Dwelling Unit required by Zoning\*

0

Existing Front Yard Depth (ft.)\*

10.6

Proposed Front Yard Depth (ft.)\*

10.6

Minimum Front Yard Depth required by Zoning\*

0

Existing Left Side Yard Depth (ft.)\*

5.9

Proposed Left Side Yard Depth (ft.)\*

5.9

Minimum Left Side Yard Depth required by Zoning\*

0

Existing Right Side Yard Depth (ft.)\*

22.9

Proposed Right Side Yard Depth (ft.)\*

22.9

Minimum Right Side Yard Depth required by Zoning\*

0

Existing Rear Yard Depth (ft.)\*

23

Proposed Rear Yard Depth (ft.)\*

23

Minimum Rear Yard Depth required by Zoning\*

0

Existing Height (stories)

2

Proposed Height (stories)\*

2

Maximum Height (stories) required by Zoning\*

0

Existing Height (ft.)\*

33

Proposed Height (ft.)\*

33

Maximum Height (ft.) required by Zoning\*

0

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

2950

Proposed Landscaped Open Space (Sq. Ft.)\*

3100

Existing Landscaped Open Space (% of GFA)\*

59

Proposed Landscaped Open Space (% of GFA)\*

62

Minimum Landscaped Open Space (% of GFA)  
required by Zoning\*

0

Existing Usable Open Space (Sq. Ft.)\*

2950

Proposed Usable Open Space (Sq. Ft.)\*

3100

Existing Usable Open Space (% of GFA)\*

59

Proposed Usable Open Space (% of GFA)\*

62

Minimum Usable Open Space required by Zoning\*

0

Existing Number of Parking Spaces\*

4

Proposed Number of Parking Spaces\*

4

Minimum Number of Parking Spaces required by  
Zoning\*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks \*

0

Minimum Parking Area Setbacks required by  
Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by  
Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

8

Proposed Slope of proposed roof(s) (in. per ft.)\*

8

Minimum Slope of Proposed Roof(s) required by Zoning\*

0

Existing type of construction\*

Two Family Home

Proposed type of construction\*

Two Family Home

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## Open Space Information

Existing Total Lot Area\*

4950

Proposed Total Lot Area\*

4950

Existing Open Space, Usable\*

3150

Proposed Open Space, Usable\*

3000

Existing Open Space, Landscaped\*

3150

Proposed Open Space, Landscaped\*

3000

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## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

1000

Basement or Cellar, Proposed Gross Floor Area

1000

1st Floor, Existing Gross Floor Area

1000

New Field

—

1st Floor, Proposed Gross Floor Area

1150

2nd Floor, Existing Gross Floor Area

1000

2nd Floor, Proposed Gross Floor Area

1000

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

100

Attic, Proposed Gross Floor Area

100

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies,  
Existing Gross Floor Area

150

All weather habitable porches and balconies,  
Proposed Gross Floor Area

100

Total Existing Gross Floor Area

3250

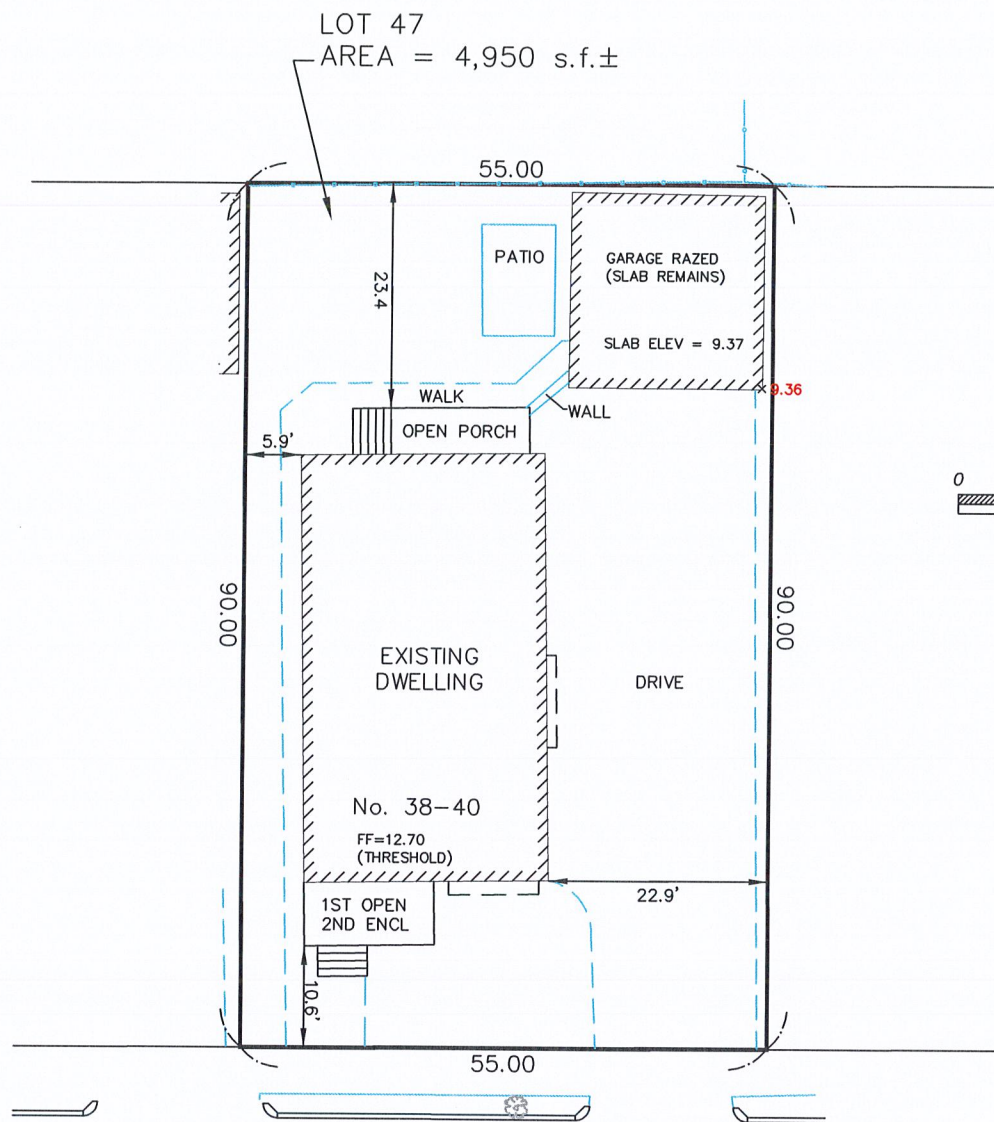


Total Proposed Gross Floor Area

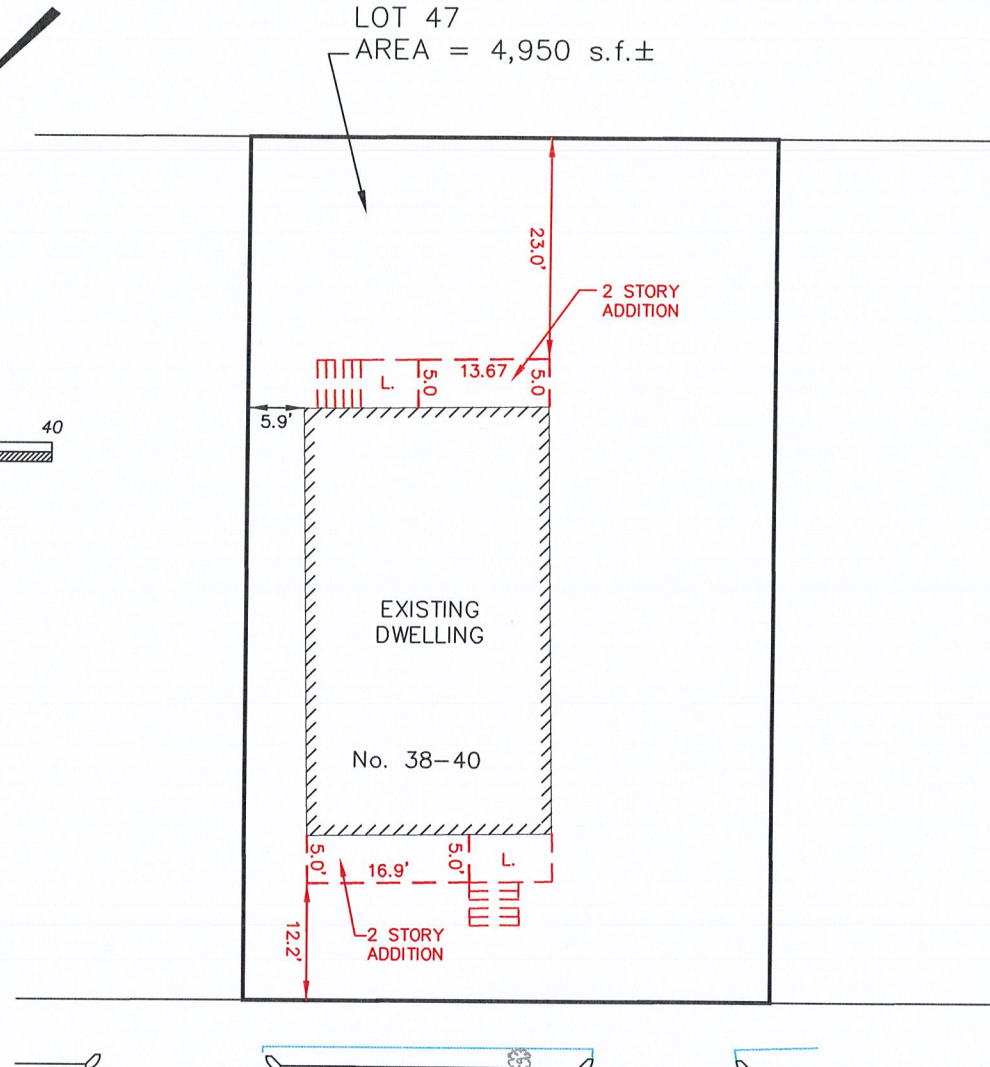
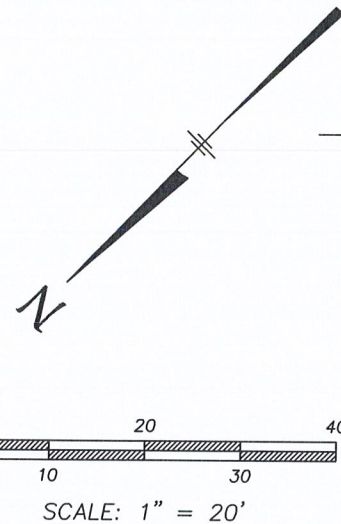
3350







MILTON STREET




MILTON STREET

SURVEYOR'S CERTIFICATION:

TO: BRENDEN LYONS

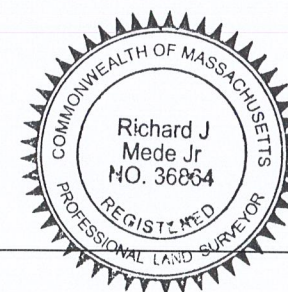
I CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE GENERALLY ACCEPTABLE PRACTICES OF LAND SURVEYORS IN THE COMMONWEALTH OF MASSACHUSETTS FOR A PLAN AND SURVEY OF THIS TYPE. THIS CERTIFICATION IS MADE ONLY TO THE ABOVE NAMED INDIVIDUAL(S) AND IS NULL AND VOID UPON ANY FURTHER CONVEYANCE OF THIS PLAN.

THE FIELD WORK WAS COMPLETED ON: APRIL 23, 2023  
DATE OF PLAN: AUGUST 11, 2023 (ADDITION)

  
RICHARD J. MEDE, JR. P.L.S.  
28 of 81

08/11/2023

DATE:



NOTE: LOCATION OF FENCES SHOWN ARE APPROXIMATE AND FOR AESTHETIC PURPOSES ONLY. A DETAILED LOCATION WOULD BE REQUIRED FOR THE EXACT LOCATION.

CURRENT OWNER: PATERICA BENCH

TITLE REFERENCE: BK 15716 PG 171

PLAN REFERENCE: BK 321 PLAN 13 & LCC 3413

THIS PLAN WAS PREPARED WITHOUT A FULL TITLE EXAMINATION AND IS NOT A CERTIFICATION TO THE TITLE OF THE LANDS SHOWN. THE OWNERSHIP OF ABUTTING PROPERTIES IS ACCORDING TO ASSESSORS RECORDS. THIS PLAN MAY OR MAY NOT SHOW ALL ENCUMBRANCES WHETHER EXPRESSED, IMPLIED OR PRESCRIPTIVE.

PREPARED BY:

**MEDFORD  
ENGINEERING  
& SURVEY**  
  
ANGELO B. VENEZIANO ASSOCIATES  
15 HALL STREET, MEDFORD, MA 02155  
781-396-4466 fax: 781-396-8052

PREPARED FOR:

BRENDEN LYONS

DRAWN	CHECKED	FILE No.
CAV	RJM	21911



**Proposed Addition / Renovation**  
**38-40 Milton Street**  
**Arlington, MA 02474**

## DRAWING INDEX

T-1	COVER SHEET
A-1	PROPOSED PLANS
A-2	PROPOSED PLANS
A-3	PROPOSED ELEVATIONS
A-4	PROPOSED FRAMING PLANS
A-5	PROPOSED FRAMING PLANS
A-6	PROPOSED FRAMING PLANS AND DETAILS
A-7	TYPICAL TJI NOTES AND DETAILS
A-8	CONSTRUCTION DETAILS
A-9	WALL TYPES AND NOTES

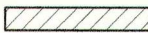

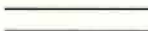






## SCOPE OF WORKS

PROPOSED RENOVATION OF EXISTING TWO FAMILY HOME.  
PROPOSED ADDITION N THE FRONT AND REAR ENCLOSING  
EXISTING STAIRS AND ENTRY DECK TO BE INCLUDED INSIDE  
THERMAL ENVELOPE. BUILDING EXISTING FOOTPRINT TO  
REMAIN. PROPOSED 4 BEDROOM 3.5 BATHROOM PER UNIT  
EXTERIOR COLORS AND FINISHES SELECTED BY OWNER -  
SEE ELEVATIONS FOR BASIS OF DESIGN. SEE WALL TYPES  
FOR MINIMUM R-VALUES - HERS RATING TO BE DONE BY  
OTHERS. KITCHEN DESIGN AND FINISHES TO BE SELECTED  
BY OTHERS.

## GENERAL NOTES

1. THE CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED FOR THIS PROJECT
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
3. ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
4. ALL ELECTRICAL & PLUMBING WORKS SHALL BE PERFORMED BY LICENSE ELECTRICIAN & LICENSE PLUMBER IN PERFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE.
5. PRIOR TO SUBMITTING A BID, THE GENERAL CONTRACTOR SHALL VISIT AND THOROUGHLY ACQUAINTED WITH THE PROJECT.
6. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY
7. THE CONTRACTOR SHALL MAKE APPLICATION FOR ALL UTILITIES AND SERVICES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF HIS WORK. KEEP THE SITE CLEAR FOR ACCESS BY THE OWNER AND HIS FORCES DURING THE COURSE OF THE JOB.
9. THE CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT WHEN THE WORK IS READY FOR A FINAL PUNCH LIST
10. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT
11. THE CONTRACTOR SHALL WARRANT HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.
12. DESIGN: IT IS INCUMBENT UPON THE CONTRACTOR TO BUILD THE PROJECT AS DESIGNED. ATTENTION SHOULD BE PAID TO THE DETAILS AS WELL AS THE OVERALL DESIGN. IF THERE ARE ANY QUESTIONS OR CHANGES TO BE MADE TO THE DESIGN THE ARCHITECT IS TO BE NOTIFIED BEFORE SAID CHANGES ARE MADE.

### GRAPHIC SYMBOL LEGEND

	NEW WALL TO BE CONSTRUCTED
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	PARTITION TYPE
	DOOR SYMBOL
	WINDOW SYMBOL
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	SECTION DETAIL REFERENCE

DATE: 05/15/23  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

47 Manfield Street  
Everett, MA 02149  
(857) 312 9212



REVISION:	DATE:

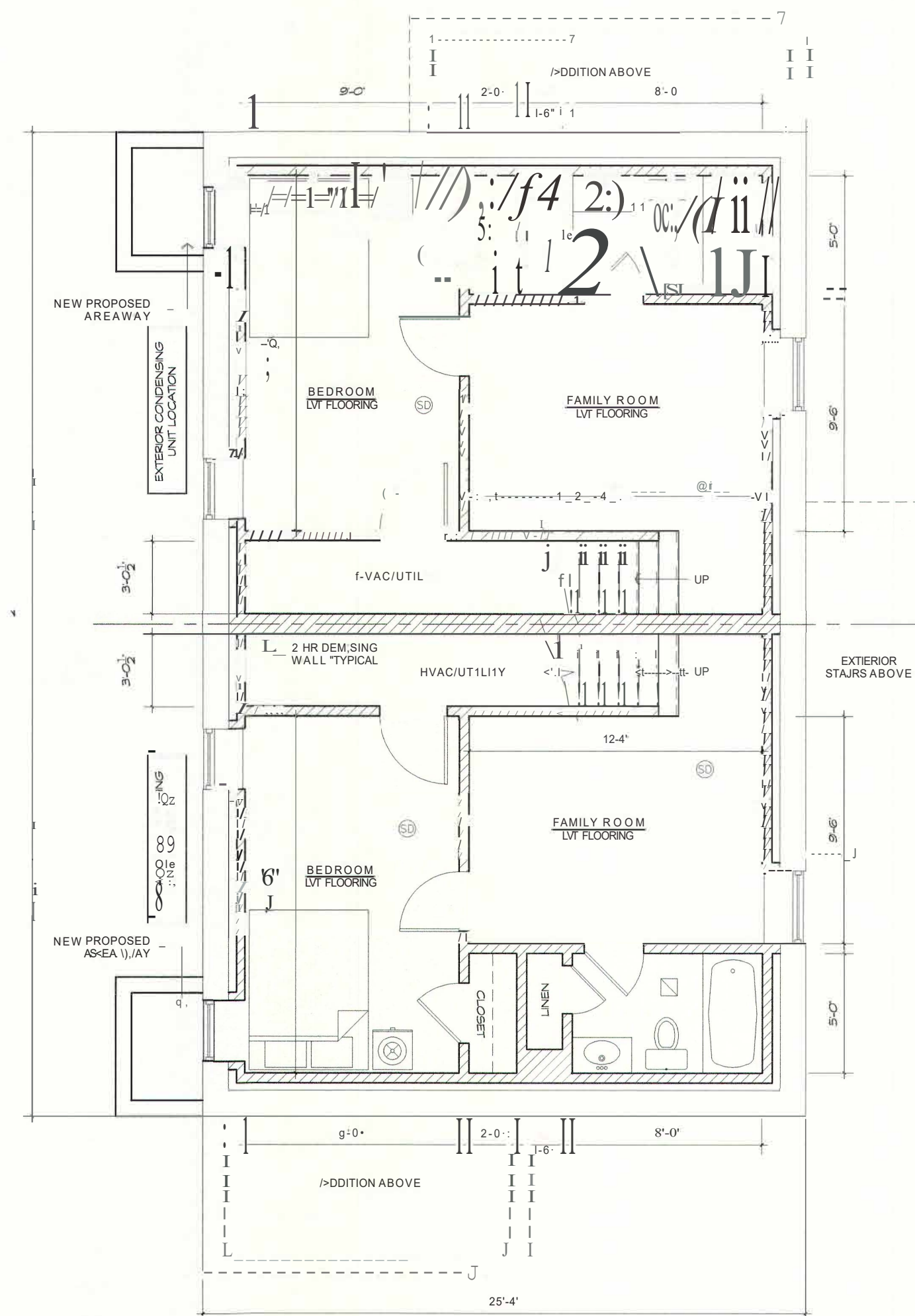
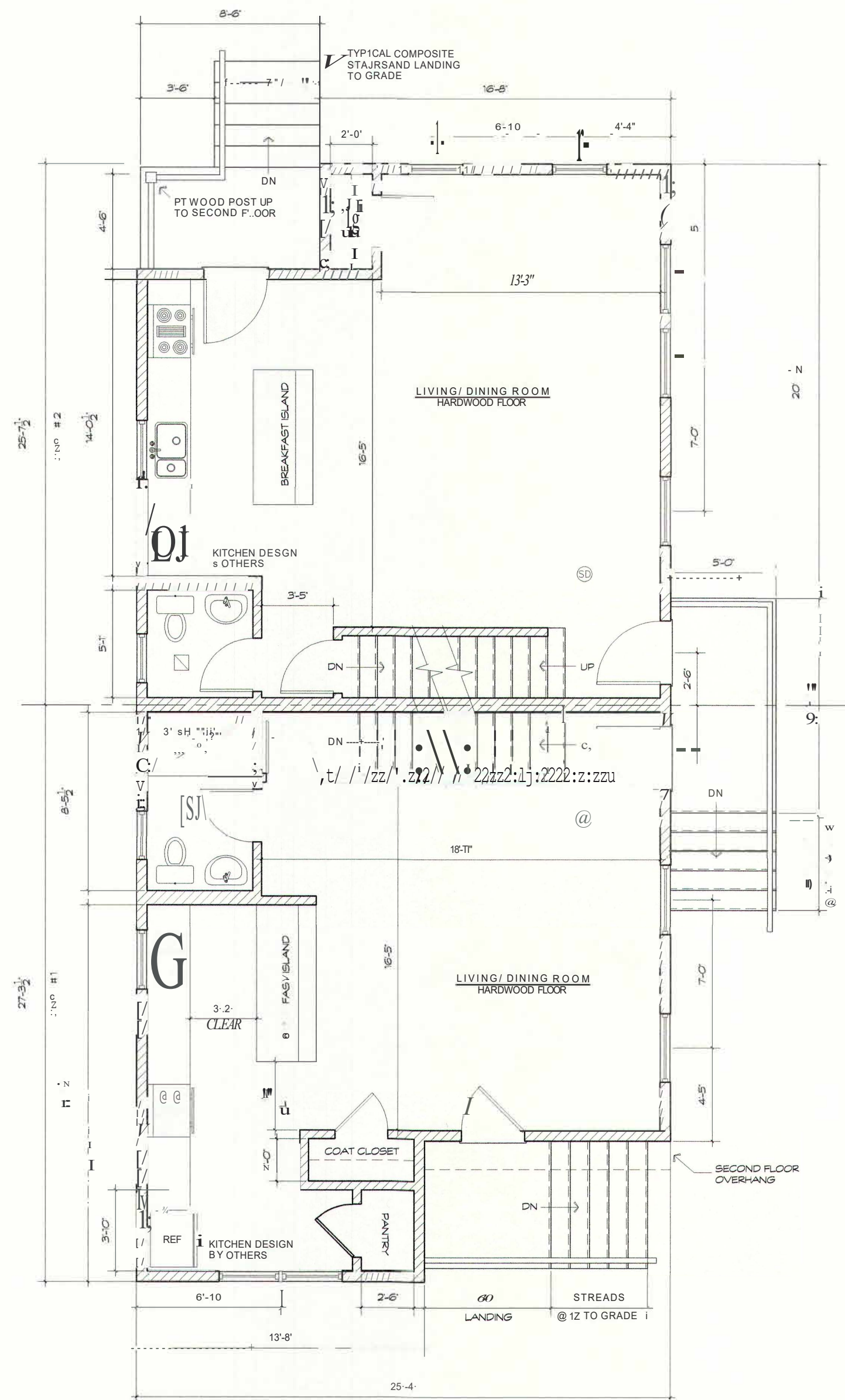
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COVER PAGE

SHEET NUMBER:

**T-1**



[illegible]

DATE: 05/15/23  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRI

**NEVER AGAIN  
WILL YOU  
PROFESSIONAL  
47 Manfield Street  
Everett, MA 02149  
(857) 312 9212**



REVISION:	DATE:

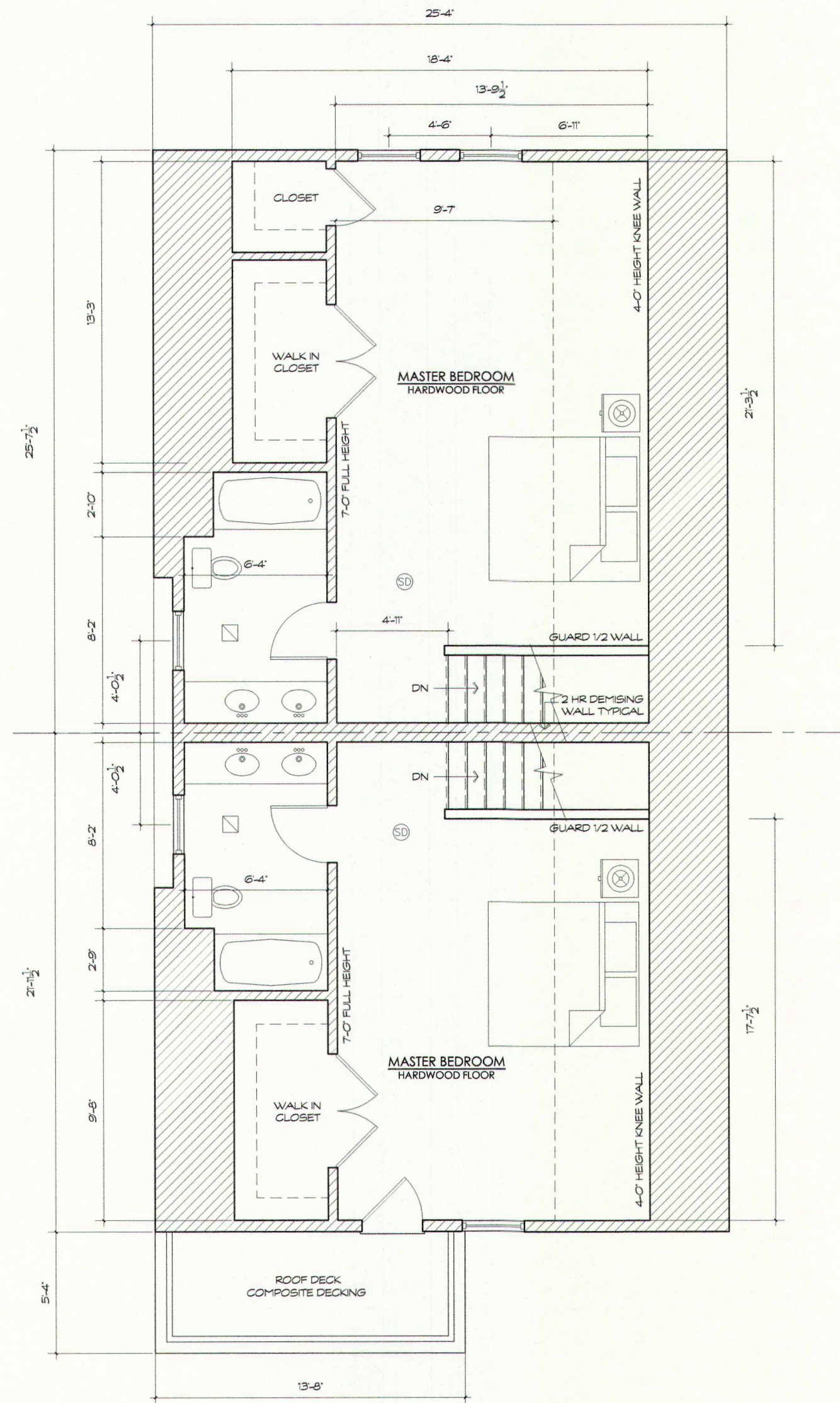
DRAWING TITLE:

## PROPOSED PLANS

SHEET NUMBER:

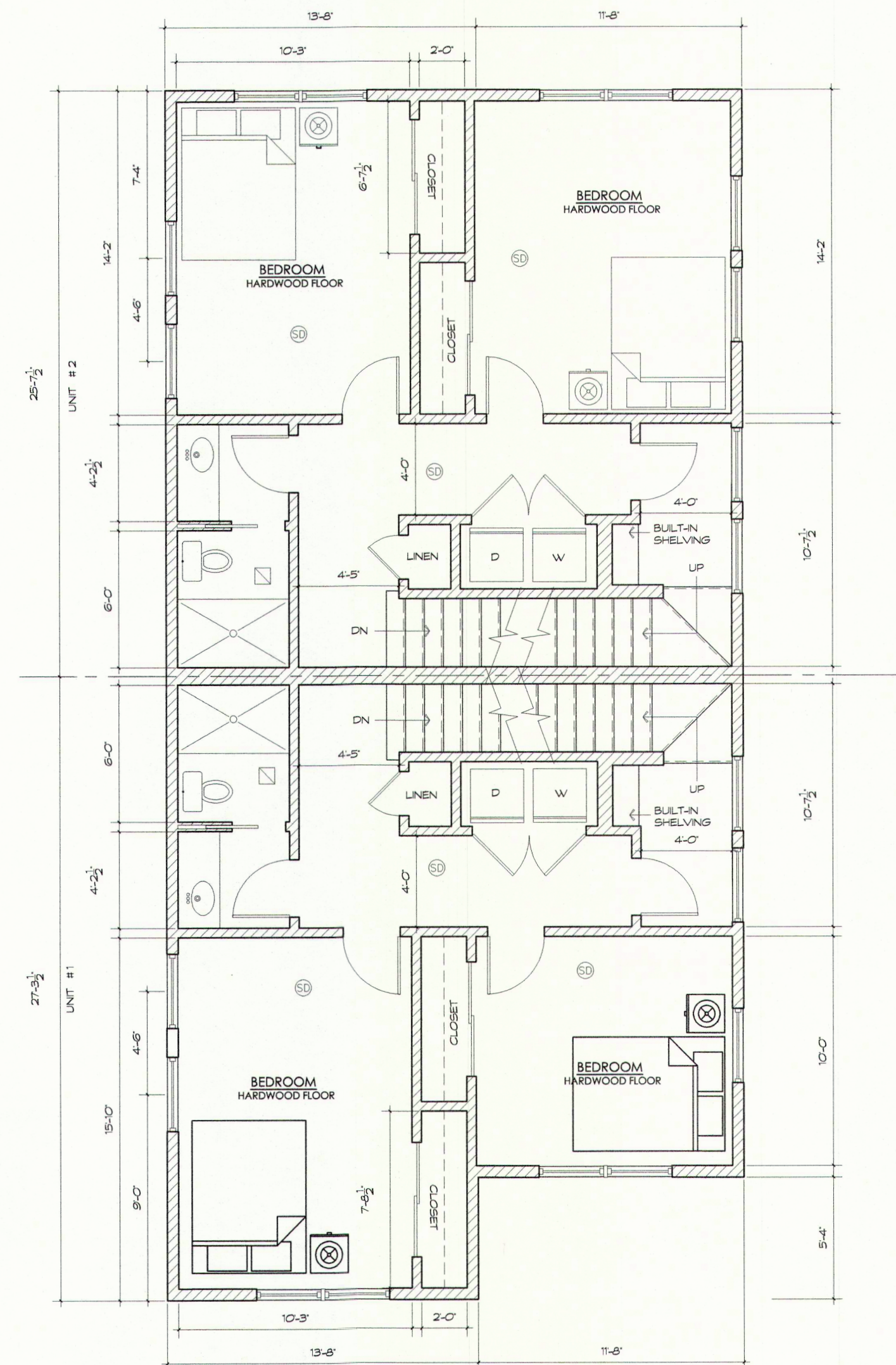
# A-1





Proposed Third Floor Plan

SCALE: 3/16" = 1'-0"



Proposed Second Floor Plan

SCALE: 3/16" = 1'-0"

Proposed Addition / Renovation  
38-40 Milton Street  
Arlington, MA 02474

DATE: 05/15/23  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

**HAZEL H** AMMOURI P.E.  
PROFESSIONAL ENGINEERING  
47 Manfield Street  
Everett, MA 02149  
(857) 312 9212



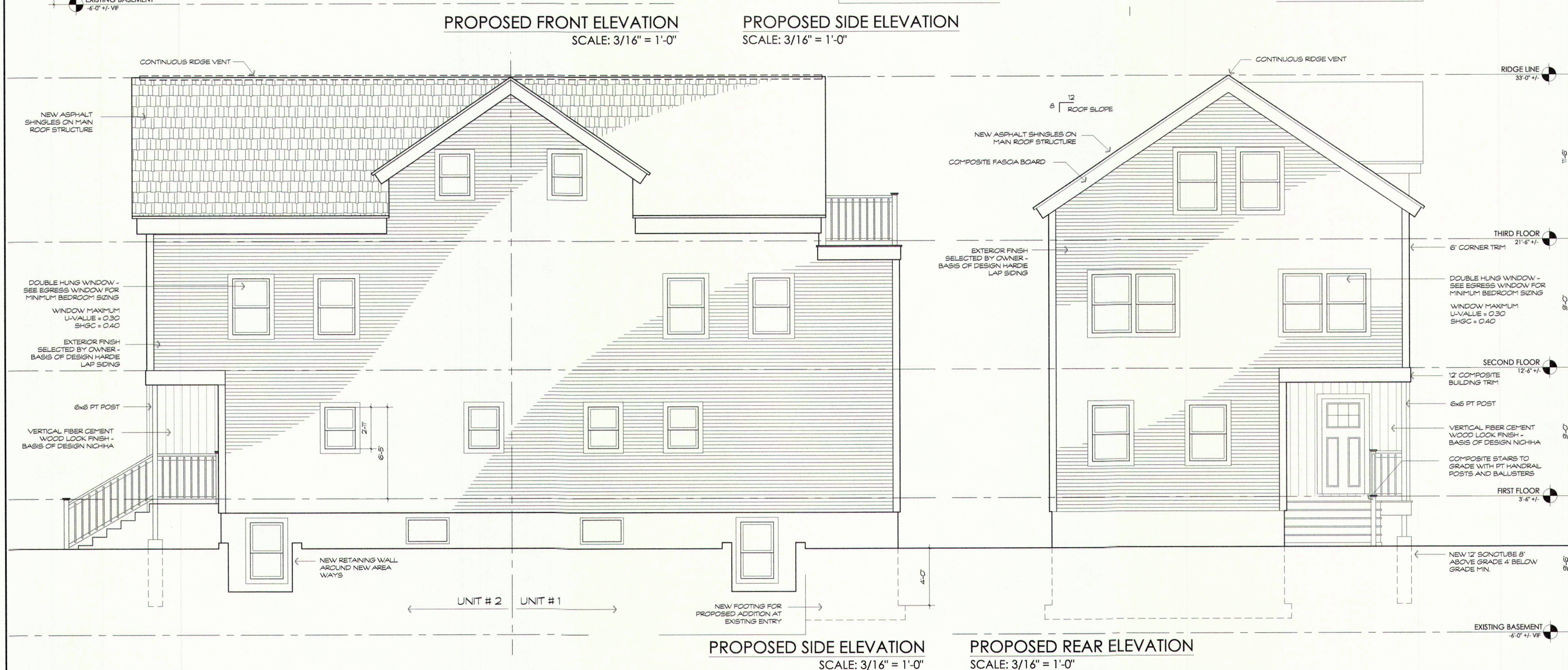
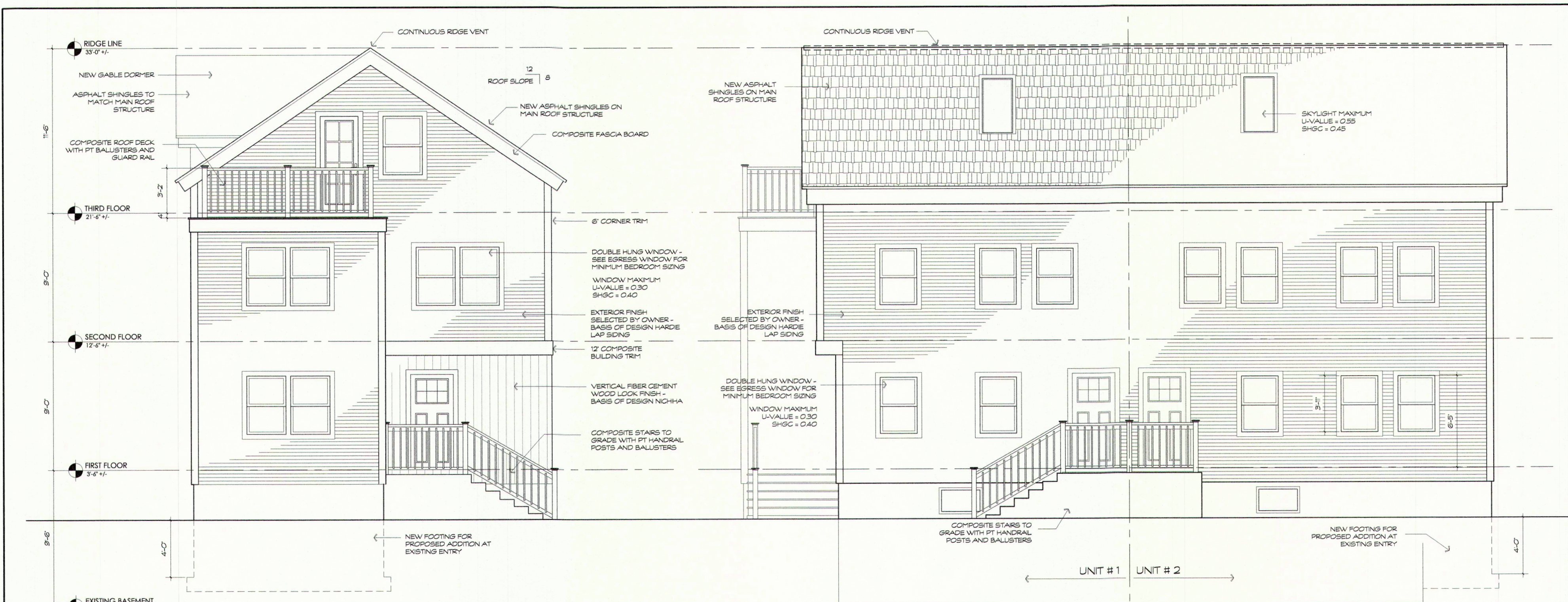
REVISION:	DATE:

DRAWING TITLE:  
  
PROPOSED PLANS

SHEET NUMBER:

**A-2**





**Proposed Addition / Renovation**  
38-40 Milton Street  
Arlington, MA 02474

DATE: 05/15/23  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

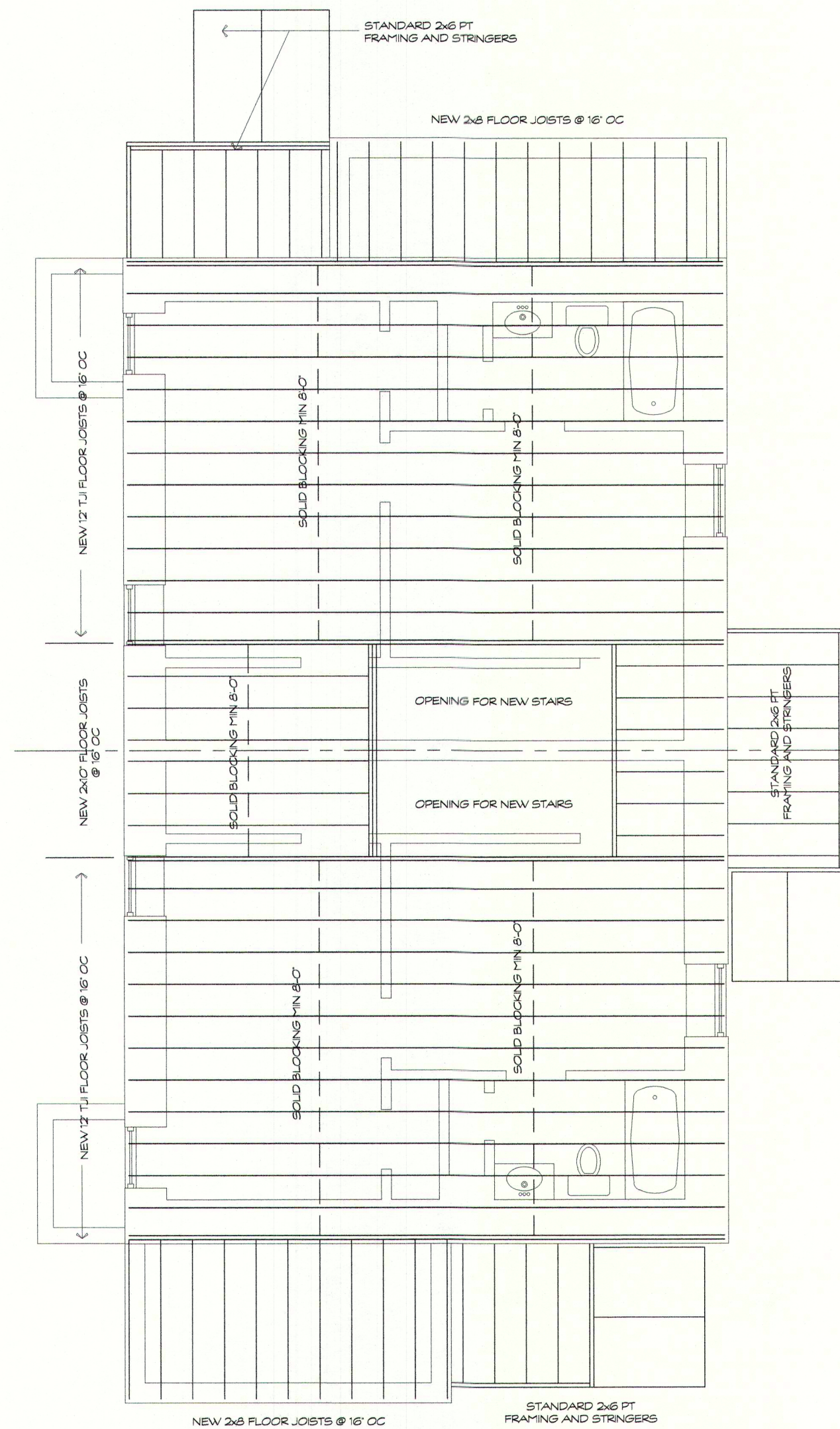
**HAZZEL HAMMOURI P.E.**  
PROFESSIONAL ENGINEERING  
47 Manfield Street  
Everett, MA 02149  
(857) 312 9212

REVISION:	DATE:

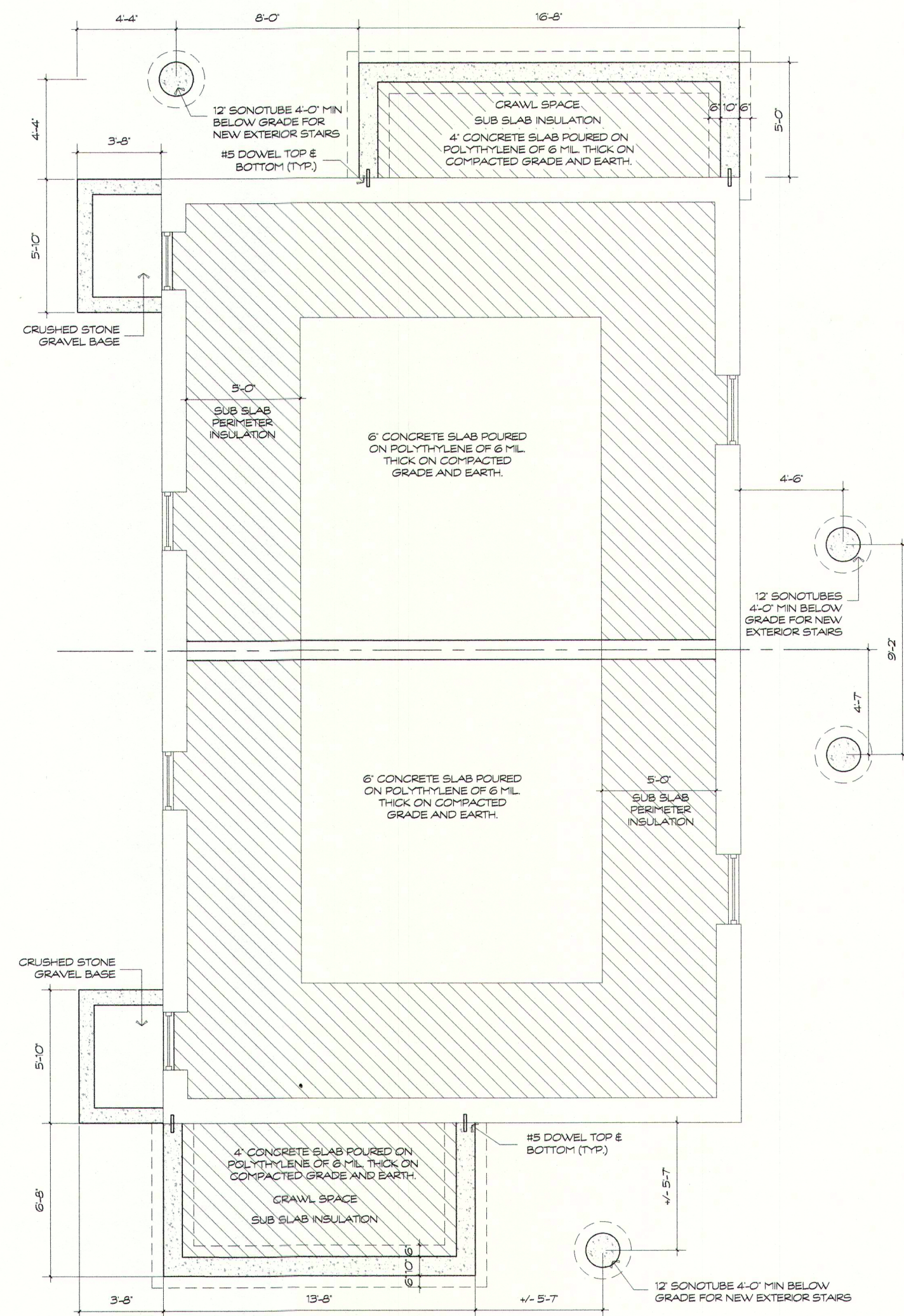
DRAWING TITLE:  
**PROPOSED ELEVATIONS**

SHEET NUMBER:  
**A-3**





FIRST FLOOR FRAMING  
SCALE: 3/16" = 1'-0"



PROPOSED FOUNDATION PLAN  
SCALE: 3/16" = 1'-0"

Proposed Addition / Renovation  
38-40 Milton Street  
Arlington, MA 02474

DATE: 05/15/23  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

**N** AZEIH HAMMOURI P.E.  
PROFESSIONAL ENGINEERING  
47 Manfield Street  
Everett, MA 02149  
(857) 312 9212



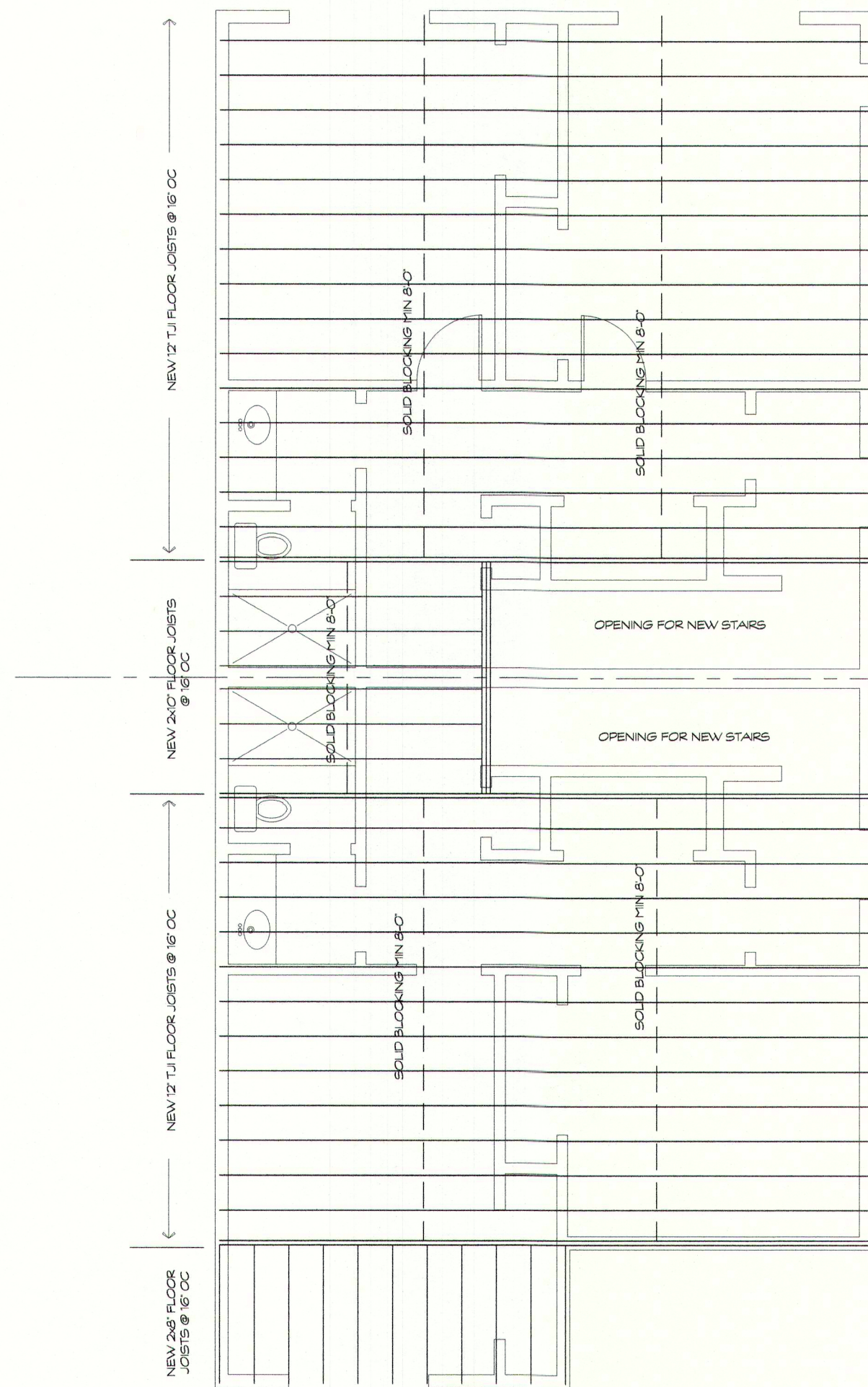
REVISION:	DATE:

DRAWING TITLE:  
  
PROPOSED FRAMING  
PLANS

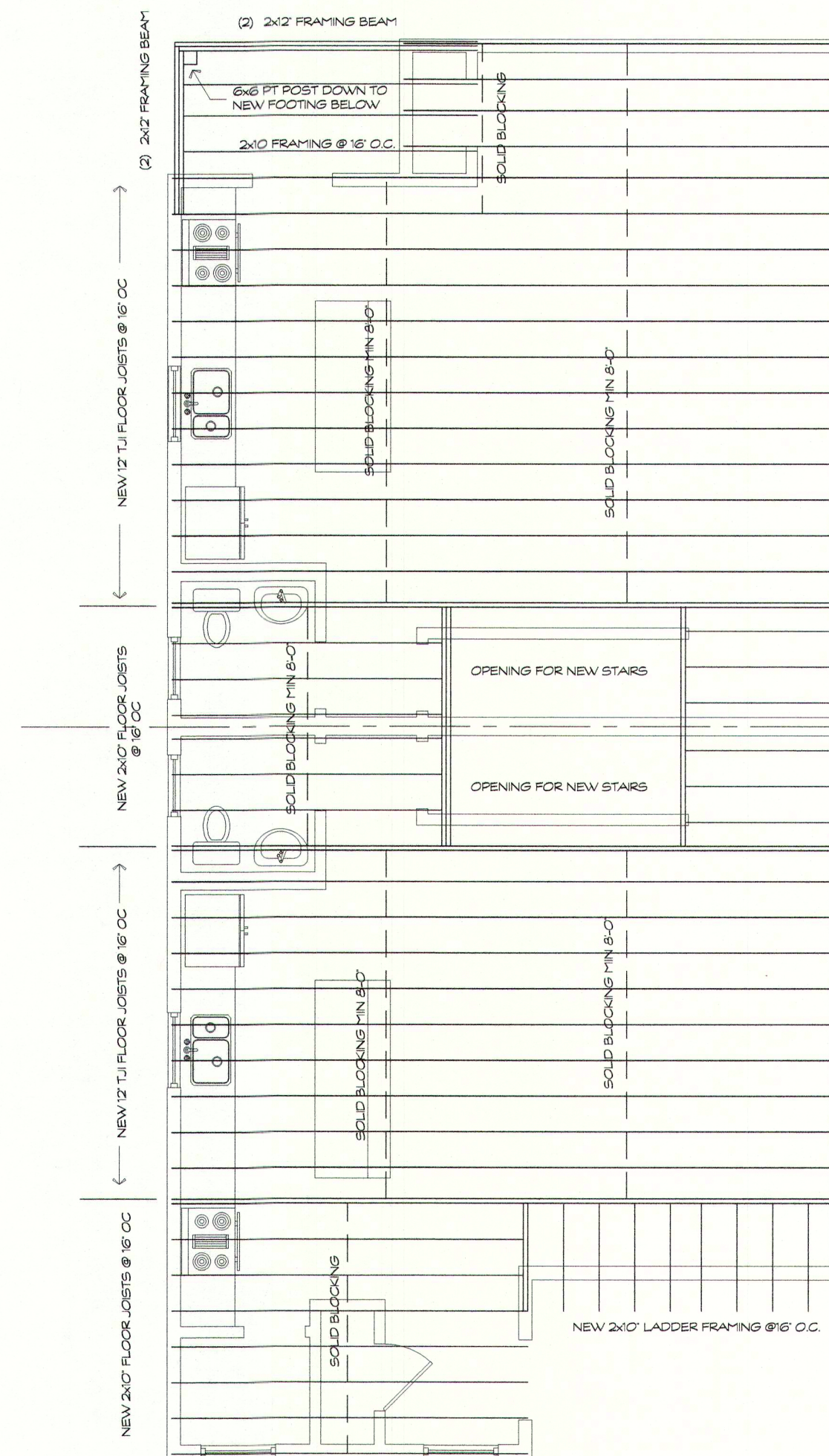
SHEET NUMBER:

**A-4**





THIRD FLOOR FRAMING  
SCALE: 3/16" = 1'-0"



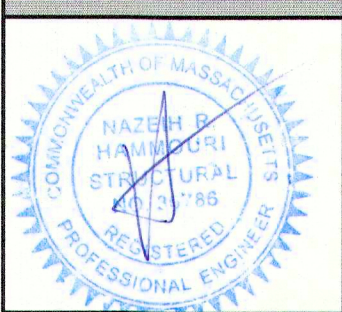
SECOND FLOOR FRAMING  
SCALE: 3/16" = 1'-0"

Proposed Addition / Renovation  
38-40 Milton Street  
Arlington, MA 02474

DATE: 05/15/23  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

**N** AZEIH **H** AMMOURI P.E.  
PROFESSIONAL ENGINEERING

47 Manfield Street  
Everett, MA 02149  
(857) 312 9212



REVISION: DATE:

DRAWING TITLE:

PROPOSED FRAMING  
PLANS

SHEET NUMBER:

**A-5**





TOWN OF ARLINGTON  
Inspectional Services Department  
23 Maple Street  
Arlington, Massachusetts 02476  
Office (781) 316.3390  
*inspectionalservices@town.arlington.ma.us*

## MEMORANDUM

To: Zoning Board of Appeals  
From: Mike Ciampa, Director of Inspectional Services  
Date: April 30, 2024  
Re: Inspectional Services Memo

---

### **Docket #3790 38-40 Milton Street**

This property is a two-family dwelling in an R2 residential zoning district. The applicant is seeking permission to extend and enclose the first-floor open porch. The applicant is seeking a Special Permit under Section 5.3.9 D Projections into Minimum Yards, as the existing porch projects into the front setback. The second floor will also be replaced and extended at a less nonconforming projection than the existing porch.

The applicant also proposes to enclose the rear porches, which do not project into the rear setback. Inspectional Services believes that the large triangular area in the rear yard meets the usable open space requirement. While Inspectional Services has used triangles for usable open space in the past, the applicant has been informed that the Zoning Board of Appeals will need to determine whether the open space requirement has been met.



## Town of Arlington, Massachusetts

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### Docket #3792 529 Summer Street

#### ATTACHMENTS:

Type	File Name	Description
Reference Material	#3792_529_Summer_Street_legal_ad.pdf	#3792 529 Summer Street legal ad
Reference Material	#3792_529_Summer_Street_Variance_Application.pdf	#3792 529 Summer Street Variance Application
Reference Material	#3792_529_Summer_Street_Plot_Plan.pdf	#3792 529 Summer Street Plot Plan
Reference Material	3792_529_Summer_Street_Proposed_Plans.pdf	3792_529_Summer_Street_Proposed_Plans





Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

## LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Jeremy Clyman and Lara Rubinstein** of Arlington, MA. on March 19, 2024, a petition seeking to alter their property located at **529 Summer Street - Block Plan 113.0-0010-0001.0**. Said petition would require a **Variance** under **Section 5.3.8 A and 5.4.2 A** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on April 30, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

**DOCKET NO 3792**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**



## V-24-3

### Variance Permit Application (ZBA)

Status: Active

Submitted On: 3/22/2024

### Primary Location

529 SUMMER ST

Arlington, MA 02474

### Owner

CLYMAN JEREMY; RUBINSTEIN LARA

Summer 529 ARLINGTON, MA 02474

---

## Variance Permit Criteria

**Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.\***

The lot is triangular, with two adjoining streets. The rear street, sunset road, is significantly higher than summer street. The lot is existing non conforming, with restrictions from surrounding roads.

**Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.\***

The homeowner would like to remain at the property, they currently reside with their family and have a home office on the ground level for clients. The lot shape and restriction by roads does not allow for addition by-right. In order to gain space for their family they would require a variance.

**Describe how desirable relief may be granted without substantial detriment to the public good.\***

The location of the addition does not affect neighbors or pedestrians in any way. It is discrete and tastful addition to the home. It keeps the scale and character similar to other additions neighbors' currently have in their rear yard. The addition is a single story, so light and air would still be able to penetrate neighbors yards.

Describe how desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.\*

The zoning by-law does not take into consideration non-conforming unique lots that occur in the fabric of Arlingtons landscape. This unique lot shape and size is hard to conform, the character of the addition is within the scale and feeling of the surrounding neighborhood.

State Law (MGL Chapter 40a, Section 10) requires that the Zoning Board of Appeals must find that all four (4) criteria are met in order to be authorized to grant a Variance. If any one of the standards is not met, the Board must deny the Variance.

---

## Dimensional and Parking Information

Present Use/Occupancy \*

Residential

Proposed Use/Occupancy \*

Residential

Existing Number of Dwelling Units\*

1

Proposed Number of Dwelling Units\*

1

Existing Gross Floor Area (Sq. Ft.)\*

1900

Proposed Gross Floor Area (Sq. Ft.)\*

2115

Existing Lot Size (Sq. Ft.)\*

4375

Proposed Lot Size (Sq. Ft.)\* ?

4375

Minimum Lot Size required by Zoning\*

6000

Existing Frontage (ft.)\*

80

Proposed Frontage (ft.)\*

80

Minimum Frontage required by Zoning\*

60

Existing Floor Area Ratio\*

0.43

Proposed Floor Area Ratio\*

0.63

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

18

Proposed Lot Coverage (%)\*

23

Max. Lot Coverage required by Zoning\*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

4376

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

4375

Minimum Lot Area per Dwelling Unit required by  
Zoning\*

6000

Existing Front Yard Depth (ft.)\*

23

Proposed Front Yard Depth (ft.)\*

23

Minimum Front Yard Depth required by Zoning\*

25

Existing Left Side Yard Depth (ft.)\*

12.9

Proposed Left Side Yard Depth (ft.)\*

8.7

Minimum Left Side Yard Depth required by Zoning\*

10

Existing Right Side Yard Depth (ft.)\*

6.9

Proposed Right Side Yard Depth (ft.)\*

4

Minimum Right Side Yard Depth required by Zoning\*

10

Existing Rear Yard Depth (ft.)\*

12.9

Proposed Rear Yard Depth (ft.)\*

7.7

Minimum Rear Yard Depth required by Zoning\*

18.5

Existing Height (stories)

2.5

Proposed Height (stories)\*

2.5

Maximum Height (stories) required by Zoning\*

0

Existing Height (ft.)\*

30.6

Proposed Height (ft.)\*

30.6

Maximum Height (ft.) required by Zoning\*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

2075

Proposed Landscaped Open Space (Sq. Ft.)\*

1890

Existing Landscaped Open Space (% of GFA)\*

118

Proposed Landscaped Open Space (% of GFA)\*

96

Minimum Landscaped Open Space (% of GFA)  
required by Zoning\*

10

Existing Usable Open Space (Sq. Ft.)\*

705

Proposed Usable Open Space (Sq. Ft.)\*

705

Existing Usable Open Space (% of GFA)\*

40

Proposed Usable Open Space (% of GFA)\*

36

Minimum Usable Open Space required by Zoning\*

30

Existing Number of Parking Spaces\*

3

Proposed Number of Parking Spaces\*

3

Minimum Number of Parking Spaces required by  
Zoning\*

2

Existing Parking area setbacks

0

Proposed Parking area setbacks \*

0

Minimum Parking Area Setbacks required by  
Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by  
Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

712

Proposed Slope of proposed roof(s) (in. per ft.)\*

412

Minimum Slope of Proposed Roof(s) required by  
Zoning\*

213

Existing type of construction\*

Type V wood frame

Proposed type of construction\*

Type V wood frame

---

## Open Space Information

Existing Total Lot Area\*

4375

Proposed Total Lot Area\*

4375

Existing Open Space, Usable\*

705

Proposed Open Space, Usable\*

705

Existing Open Space, Landscaped\*

2075

Proposed Open Space, Landscaped\*

1890

---

## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

500

Basement or Cellar, Proposed Gross Floor Area

500

1st Floor, Existing Gross Floor Area

775

New Field

0

1st Floor, Proposed Gross Floor Area

990

2nd Floor, Existing Gross Floor Area

625

2nd Floor, Proposed Gross Floor Area

625

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies,  
Existing Gross Floor Area

0

All weather habitable porches and balconies,  
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

1900

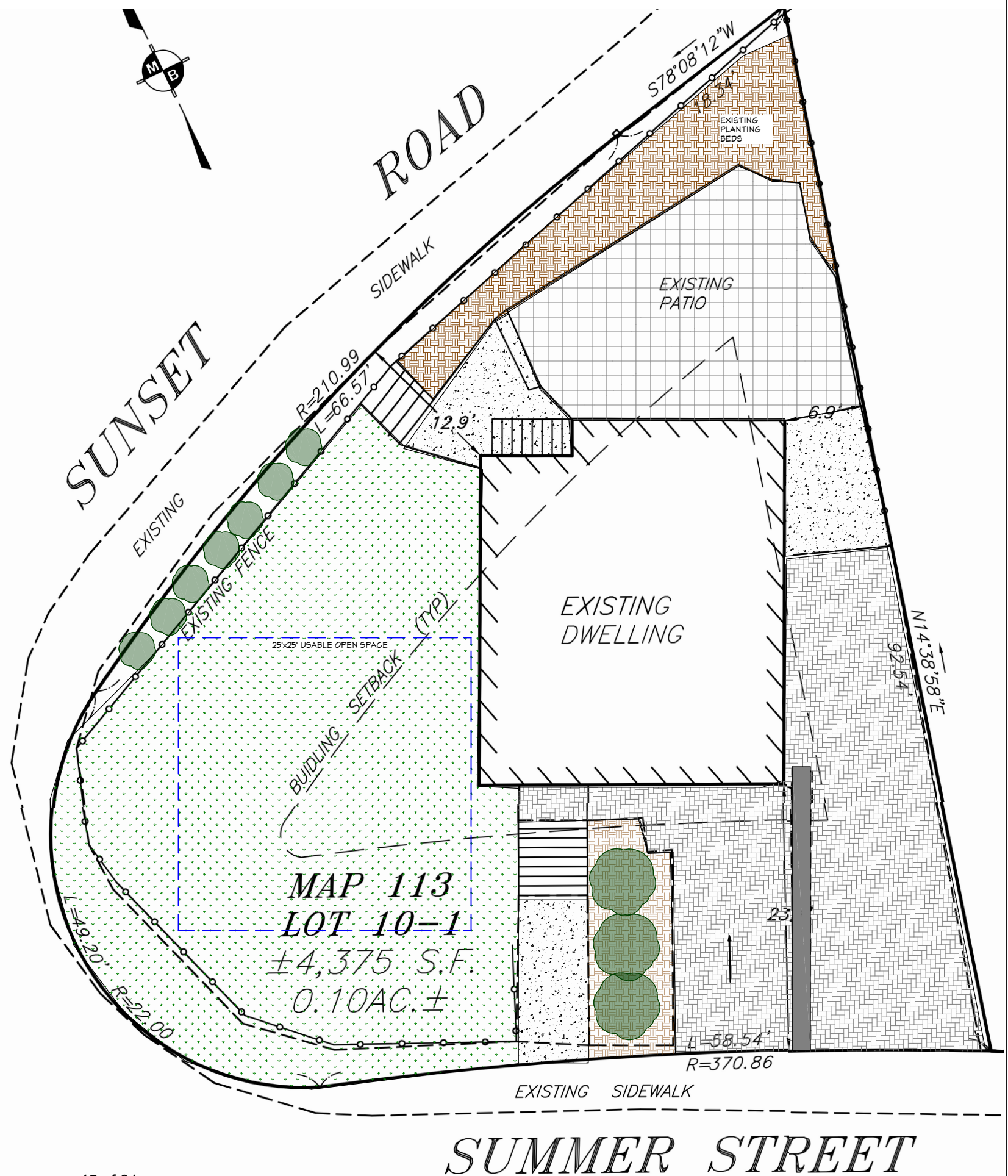


Total Proposed Gross Floor Area

2115







727 Main Street  
Melrose MA, 02176  
781.662.1593

Rubinstein-Clyman Renovation  
529 Summer St  
Arlington, MA

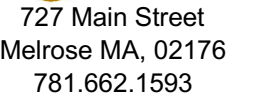
SHEET TITLE  
Existing Site Plan & Photos

SCALE  
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DATE  
3/22/2024

SHEET NO.

1



**Rubinstein-Clyman Renovation**  
529 Summer St  
Arlington, MA

SHEET TITLE

## Proposed Site Plan

SCALE

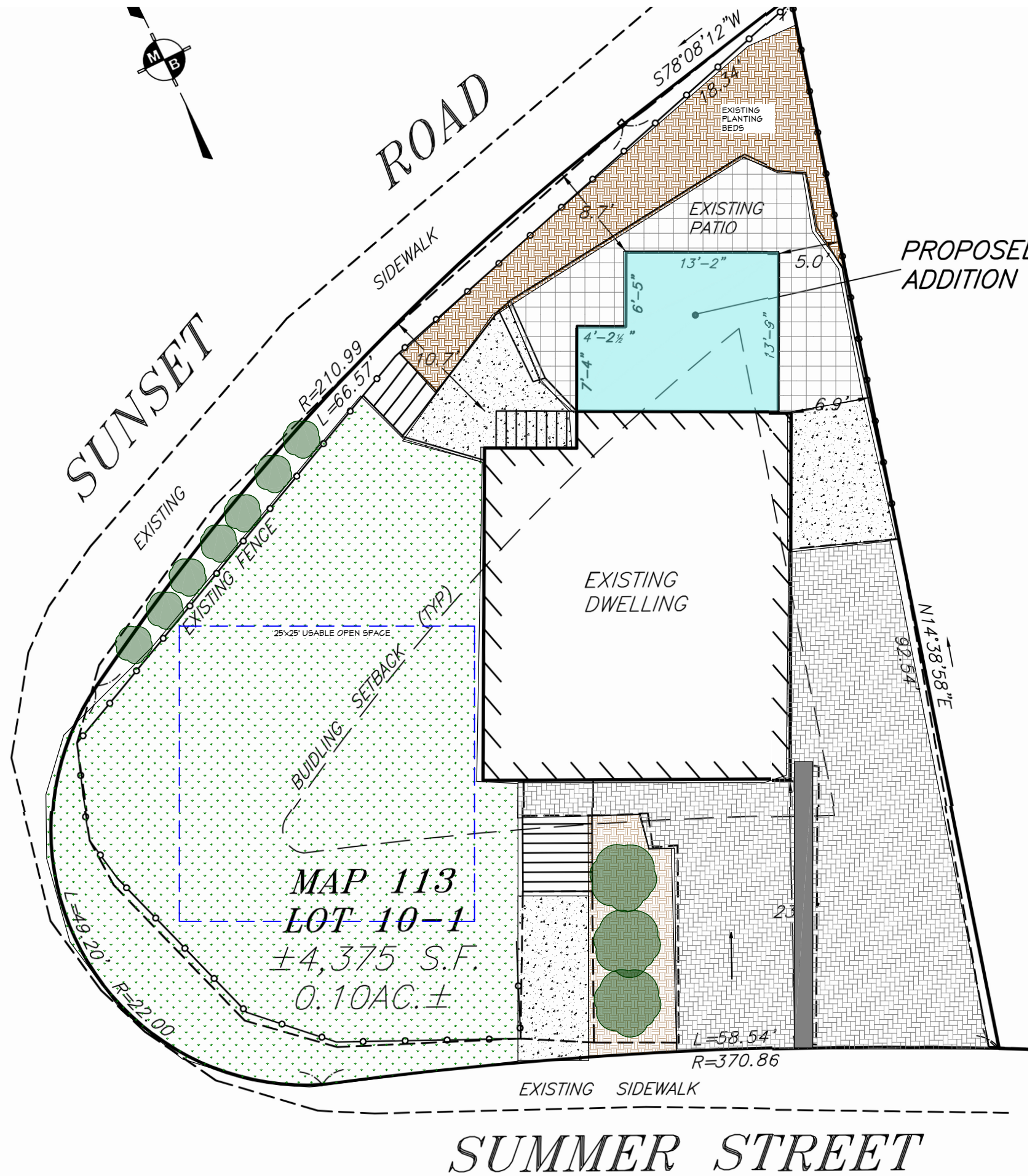
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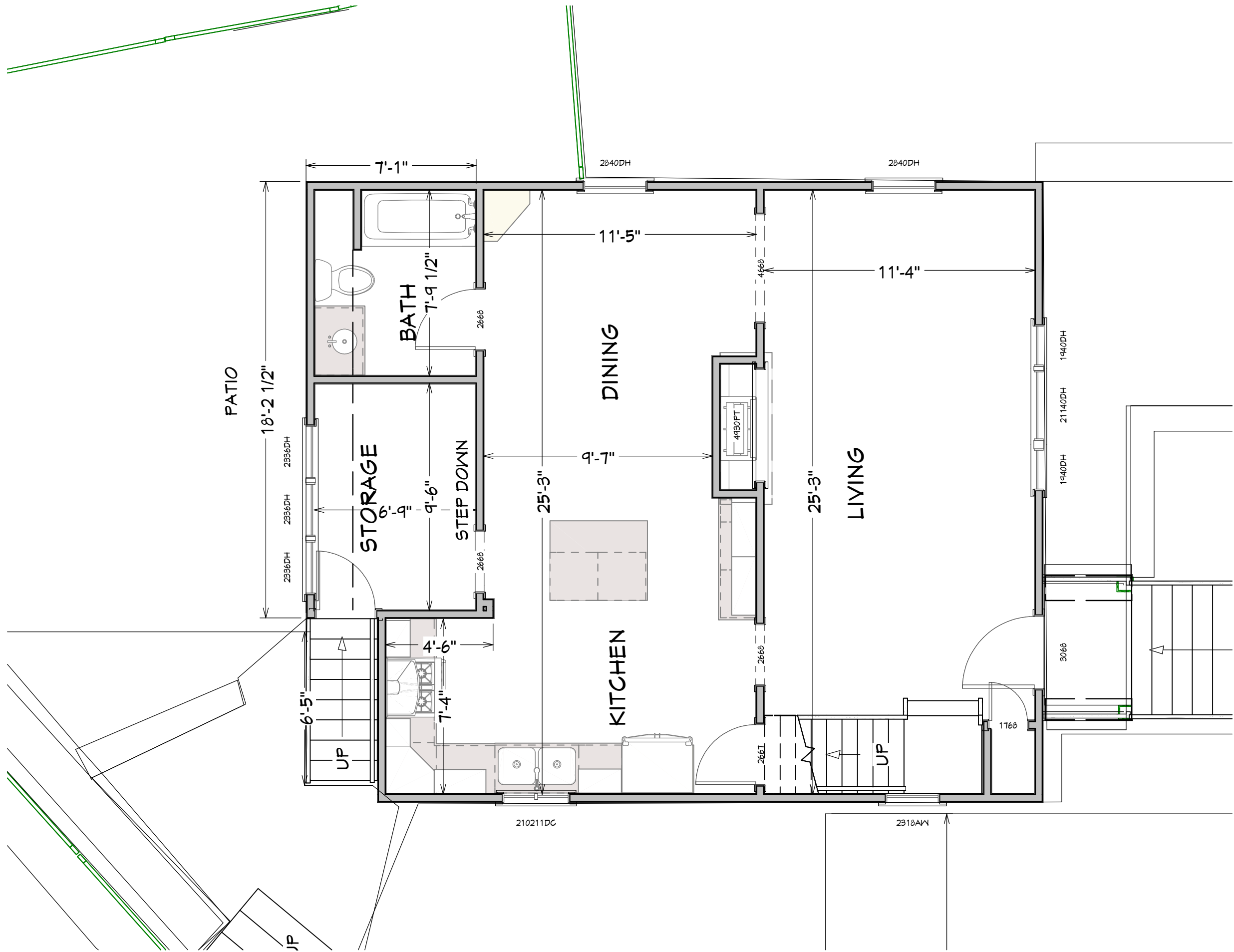
DATE \_\_\_\_\_

3/22/2024

HEET NO.

2





727 Main Street  
Melrose MA, 02176  
781.662.1593

**Rubinstein-Clyman Renovation**  
529 Summer St  
Arlington, MA

SHEET TITLE  
Existing First Floor Plan

SCALE  
1/4"=1'-0"

DATE  
2/23/2024

SHEET NO.

1



FRONT ELEVATION (SUMMER STREET)



RIGHT ELEVATION



REAR ELEVATION (SUNSET RD)



LEFT ELEVATION (SUNSET RD)



727 Main Street  
Melrose MA, 02176  
781.662.1593

Rubinstein-Clyman Renovation  
529 Summer St  
Arlington, MA

SHEET TITLE  
Existing Elevations

SCALE  
1/8"=1'-0"

DATE  
2/23/2024

SHEET NO.

2



727 Main Street  
Melrose MA, 02176  
781.662.1593

Rubinstein-Clyman Renovation  
529 Summer St  
Arlington, MA

SHEET TITLE  
Proposed Foundation Plan

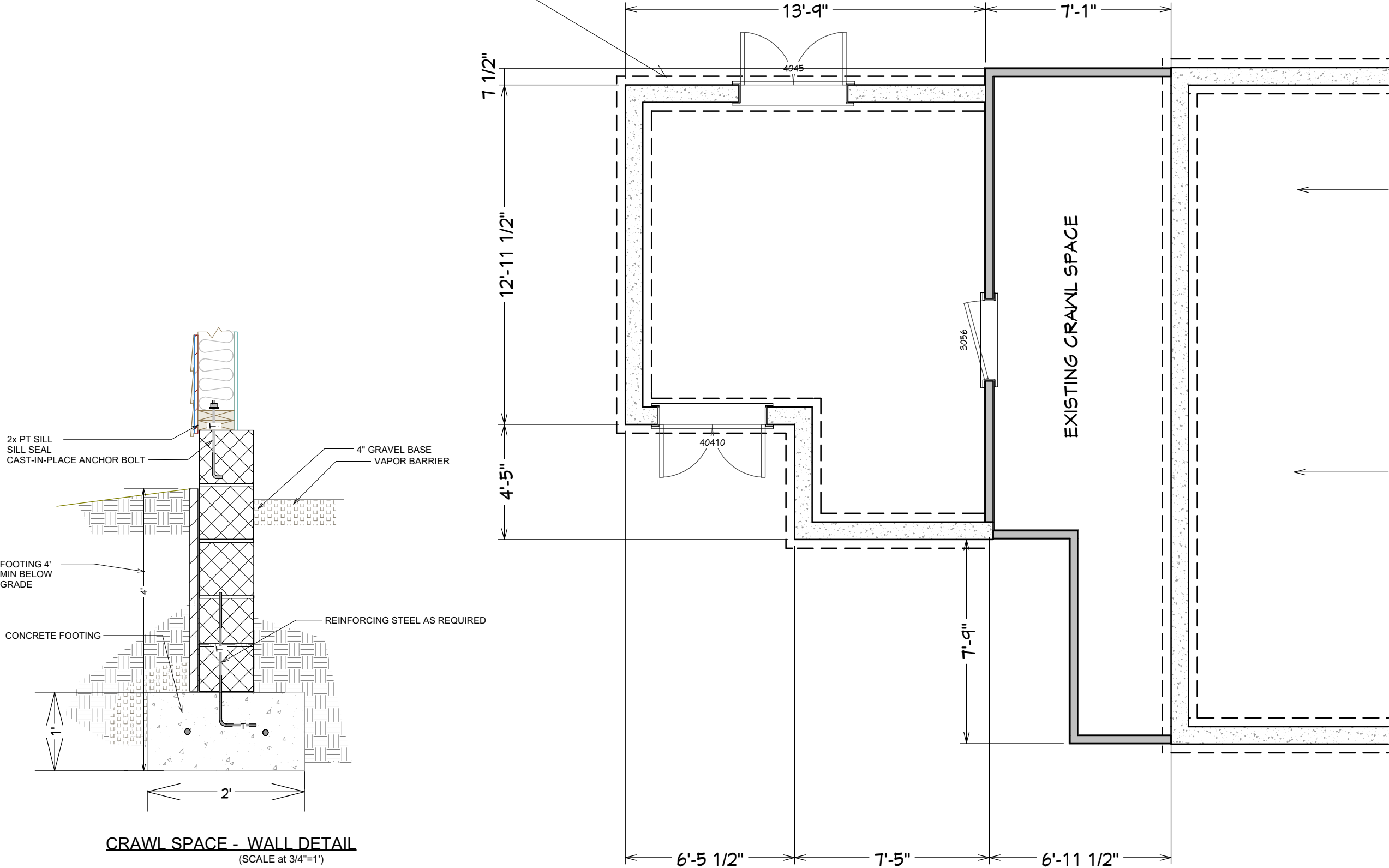
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2/23/2024

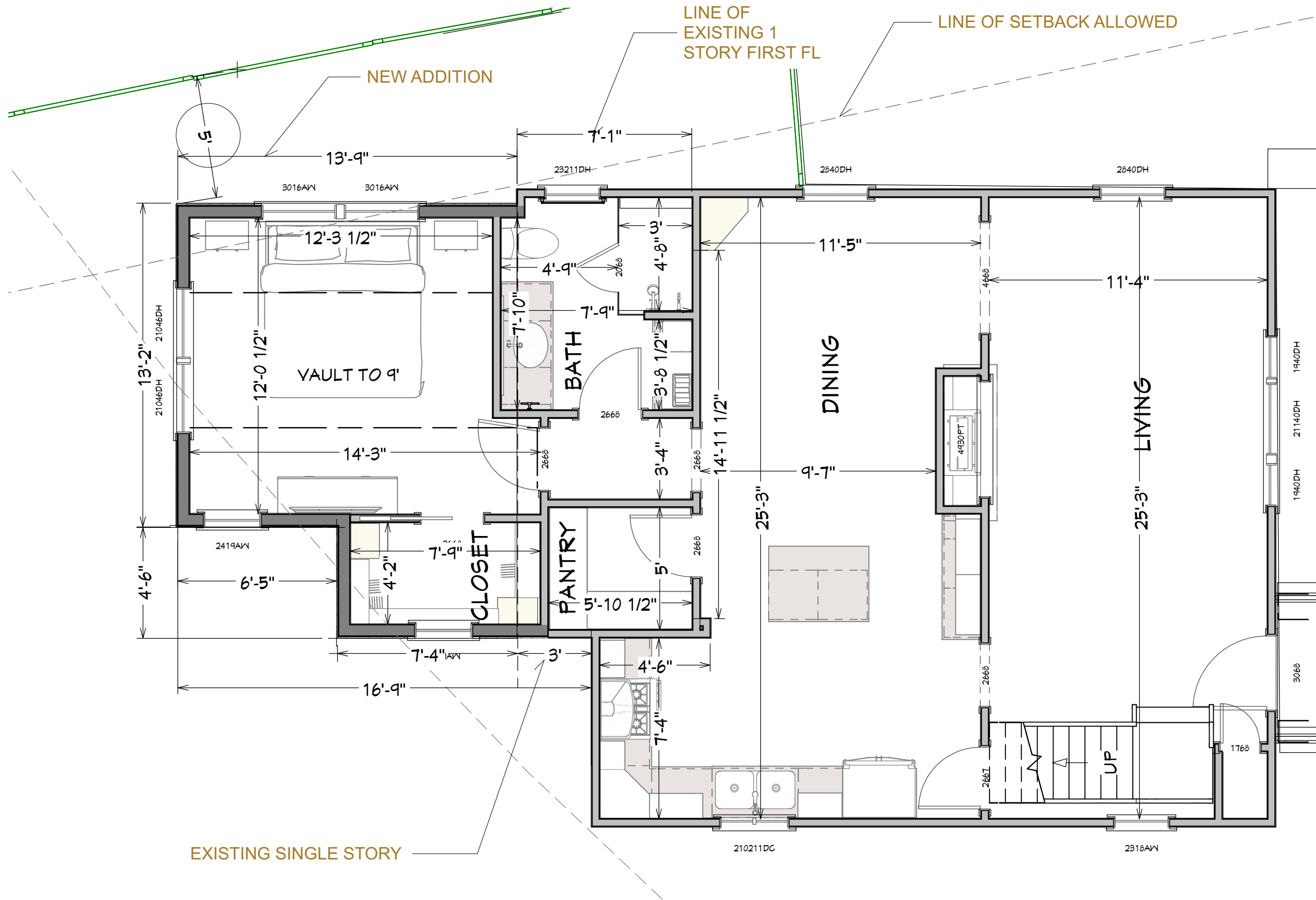
SHEET NO.

3

PROPOSED FOUNDATION,  
BLOCK WALL 4' BELOW GRADE,  
1' ABOVE GRADE







**Rubinstein-Clyman Renovation**  
529 Summer St  
Arlington, MA

SHEET TITLE  
Proposed First  
Floor Plan

SCALE  
1/4"=1'-0"

DATE  
2/23/2024

SHEET NO.

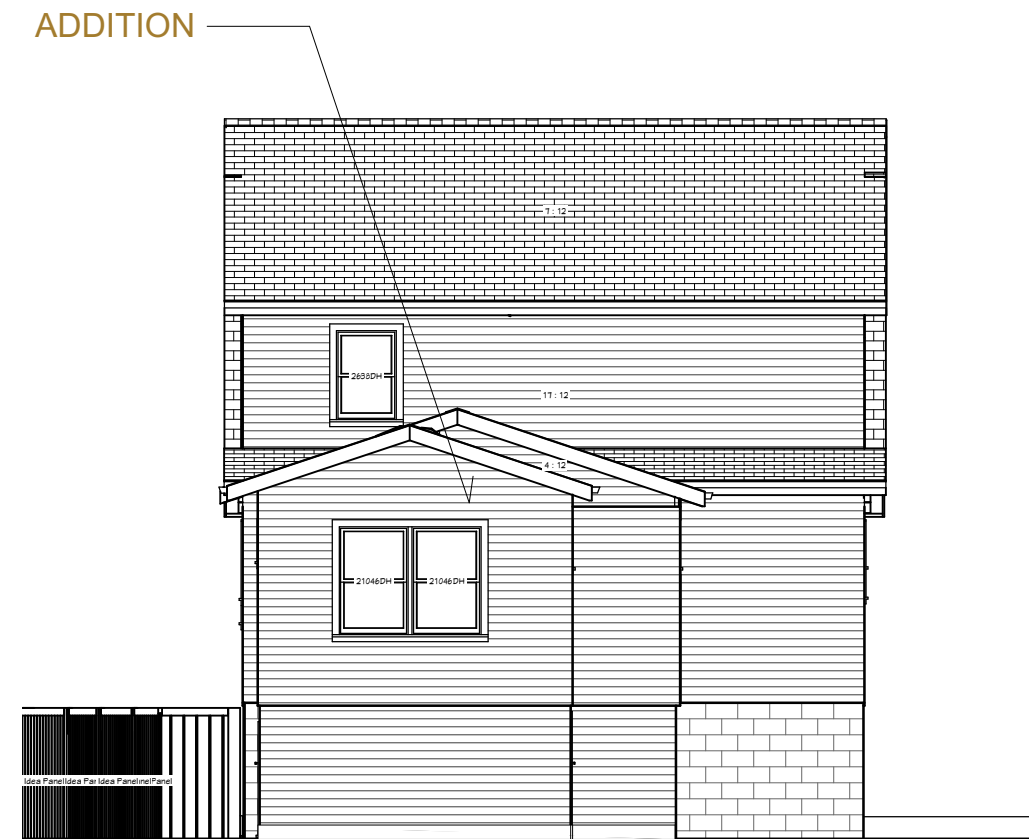
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FRONT ELEVATION (SUMMER STREET)



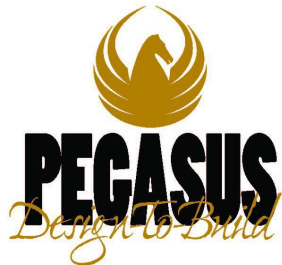
RIGHT ELEVATION



REAR ELEVATION (SUNSET RD)



LEFT ELEVATION (SUNSET RD)



727 Main Street  
Melrose MA, 02176  
781.662.1593

Rubinstein-Clyman Renovation  
529 Summer St  
Arlington, MA

SHEET TITLE  
Proposed Elevations

SCALE  
1/8"=1'-0"

DATE  
2/23/2024

SHEET NO.



## Town of Arlington, Massachusetts

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### Docket #3793 30 Mayflower Road

#### ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	#3793_30_Mayflower_Road_Legal_ad.pdf	#3793 30 Mayflower Road Legal ad
▢ Reference Material	#3793_30_Mayflower_Variance_Application.pdf	#3793 30 Mayflower Variance Application
▢ Reference Material	#3793_30_Mayflower_Rd_-_Site_Plan.pdf	#3793 30 Mayflower Rd - Site Plan
▢ Reference Material	30_Mayflower_Rd_-_Revised_CD_Set_(24_0422).pdf	30 Mayflower Rd - Revised CD Set 2024-02-24
▢ Reference Material	30_Mayflower_Rd_-_Revised_Application_Information_24_0425.pdf	30 Mayflower Rd - Revised Application Information 2024-04-25
▢ Reference Material	Duggan_Letter_-_30_Mayflower.pdf	Duggan Neighbor Support Letter
▢ Reference Material	Puddister_Letter_-30_Mayflower.pdf	Puddister Neighbor Support Letter



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

## LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by Shannon Smith of Arlington, MA. on March 26, 2024, a petition seeking to alter their property located at **30 Mayflower Road - Block Plan 182.0-0001-0016.0**. Said petition would require a **Special Permit** under **5.4.2B(6)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on April 30, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**  
<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

**DOCKET NO 3793**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**



## SP-24-8

### Special Use Permit Application (ZBA)

Status: Active

Submitted On: 3/26/2024

### Primary Location

30 MAYFLOWER RD  
Arlington, MA 02476


### Owner

SMITH SHANNON A  
Mayflower Rd 30  
ARLINGTON, MA 02476

### Applicant

 Pablo Picker  
 617-888-0552  
pickerconsruction@gmail.com  
 33 Mystic Ave  
Somerville, MA 02145

## Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. \*\*\*Please LIST BYLAW(S)\*\*\*\* 

The existing single-family building is being renovated and an addition is being constructed off the rear. The GFA of the addition outside the existing foundation wall is 999 SF, which requires a special permit under section 5.4.2.B(6) in the zoning bylaw. The existing nonconformities with the lot area, right side yard setback, rear yard (considered a front yard due to the through lot) setback, and parking location will remain. The proposed deck will extend 8 ft beyond the existing foundation wall in the rear (front) yard, which is allowed under 5.3.9.B in the zoning bylaw.

### Explain why the requested use is essential or desirable to the public convenience or welfare.\*

The expanded use will provide additional living space in line with the prevailing pattern of development in Arlington. Enlargement of exisisting smaller homes makes them more suitable to the changing needs of Arlingotn residents.

### Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\*

The proposed addition will not increase the number of dwelling units nor the number of vehicles. There are no changes proposed approaching Mayflower Road, so there will be no impact on pedestrian safety.

**Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\***

The proposed addition does not change the use of the property, nor does it substantially increase the number of residents. The impact on the existing municipal systems will be minimal.

**Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\***

The proposed addition includes a large addition which under section 5.4.2.B(6) requires a finding by the Board that the alteration or addition is in harmony with other structures and uses in the vicinity. Additionally, the Board shall consider whether the proposed alteration or addition's dimensions and setbacks in relation to abutting structures and uses and its conformity to the purposes of this Bylaw. The question of harmony is addressed in the following section. The addition is limited to the existing side and rear (front) lines of the existing house. The addition will not encroach on any of the existing setbacks, avoiding creating any new impositions on the neighbors. The addition will preserve access to light and air and avoid undue concentration of population. It provides reasonable consideration to the character of the district. The proposed deck in the rear (front) yard setback is allowed under section 5.3.9.B.

**Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\***

The proposed addition is in keeping with the recommendations of the Residential Design Guidelines. The neighborhood is in the "Single-family, Small Lot" category, which encourages smaller scale front porches, maintenance of the side yard dimensions, rear yard additions, location of mechanical units in the rear yard, and maintenance of permeable area. While the immediate neighborhood is mostly 1 1/2 story cape-style houses, there are several 2 and 2 1/2 story colonial revival homes on the street. The rear and vertical additions will be in keeping with the colonial revival look and scale of the other homes with a front porch / portico facing Mayflower Road. The new roof will be suitable pitch with eave returns at the gable ends. Windows facing the street are organized vertically, with shutters on the windows closest to the street.

**Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\***

The existing single-family dwelling use will remain, so there is not additional use being requested.

## Dimensional and Parking Information

Present Use/Occupancy \*

Single Family

Proposed Use/Occupancy \*

Single Family

Existing Number of Dwelling Units\*

1

Proposed Number of Dwelling Units\*

1

Existing Gross Floor Area (Sq. Ft.)\*

2082

Proposed Gross Floor Area (Sq. Ft.)\*

4156

Existing Lot Size (Sq. Ft.)\*

5326

Proposed Lot Size (Sq. Ft.)\* ?

5326

Minimum Lot Size required by Zoning\*

6000

Existing Frontage (ft.)\*

67

Proposed Frontage (ft.)\*

67

Minimum Frontage required by Zoning\*

60

Existing Floor Area Ratio\*

0.39

Proposed Floor Area Ratio\*

0.78

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

20.6

Proposed Lot Coverage (%)\*

28.1

Max. Lot Coverage required by Zoning\*

35



Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

5326

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

5326

Minimum Lot Area per Dwelling Unit required by Zoning\*

0

Existing Front Yard Depth (ft.)\*

24.9

Proposed Front Yard Depth (ft.)\*

24.9

Minimum Front Yard Depth required by Zoning\*

25

Existing Left Side Yard Depth (ft.)\*

12.2

Proposed Left Side Yard Depth (ft.)\*

12.2

Minimum Left Side Yard Depth required by Zoning\*

0

Existing Right Side Yard Depth (ft.)\*

9.5

Proposed Right Side Yard Depth (ft.)\*

9.5

Minimum Right Side Yard Depth required by Zoning\*

10

Existing Rear Yard Depth (ft.)\*

20.3

Proposed Rear Yard Depth (ft.)\*

20.3

Minimum Rear Yard Depth required by Zoning\*

25

Existing Height (stories)

1.5

Proposed Height (stories)\*

2.5

Maximum Height (stories) required by Zoning\*

0

**Existing Height (ft.)\***

20.5

**Proposed Height (ft.)\***

30.8

**Maximum Height (ft.) required by Zoning\***

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

**Existing Landscaped Open Space (Sq. Ft.)\***

3728

**Proposed Landscaped Open Space (Sq. Ft.)\***

3310

**Existing Landscaped Open Space (% of GFA)\***

179

**Proposed Landscaped Open Space (% of GFA)\***

80

**Minimum Landscaped Open Space (% of GFA)  
required by Zoning\***

0

**Existing Usable Open Space (Sq. Ft.)\***

2360

**Proposed Usable Open Space (Sq. Ft.)\***

1197

**Existing Usable Open Space (% of GFA)\***

113

**Proposed Usable Open Space (% of GFA)\***

29

**Minimum Usable Open Space required by Zoning\***

30

**Existing Number of Parking Spaces\***

1

**Proposed Number of Parking Spaces\***

1

Minimum Number of Parking Spaces required by Zoning\*

1

Existing Parking area setbacks

0

Proposed Parking area setbacks \*

0

Minimum Parking Area Setbacks required by Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

0

Proposed Slope of proposed roof(s) (in. per ft.)\*

0

Minimum Slope of Proposed Roof(s) required by Zoning\*

0

Existing type of construction\*

Type-V

Proposed type of construction\*

Type-V

---

## Open Space Information

Existing Total Lot Area\*

5326

Proposed Total Lot Area\*

5326

Existing Open Space, Usable\*

2360

Proposed Open Space, Usable\*

1197

Existing Open Space, Landscaped\*

3728

Proposed Open Space, Landscaped\*

3310

---

## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

537

Basement or Cellar, Proposed Gross Floor Area

870

1st Floor, Existing Gross Floor Area

1098

New Field

0

1st Floor, Proposed Gross Floor Area

1431

2nd Floor, Existing Gross Floor Area

447

2nd Floor, Proposed Gross Floor Area

1431

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

424

Parking Garages, Existing Gross Floor Area 

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies,  
Existing Gross Floor Area

0

All weather habitable porches and balconies,  
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

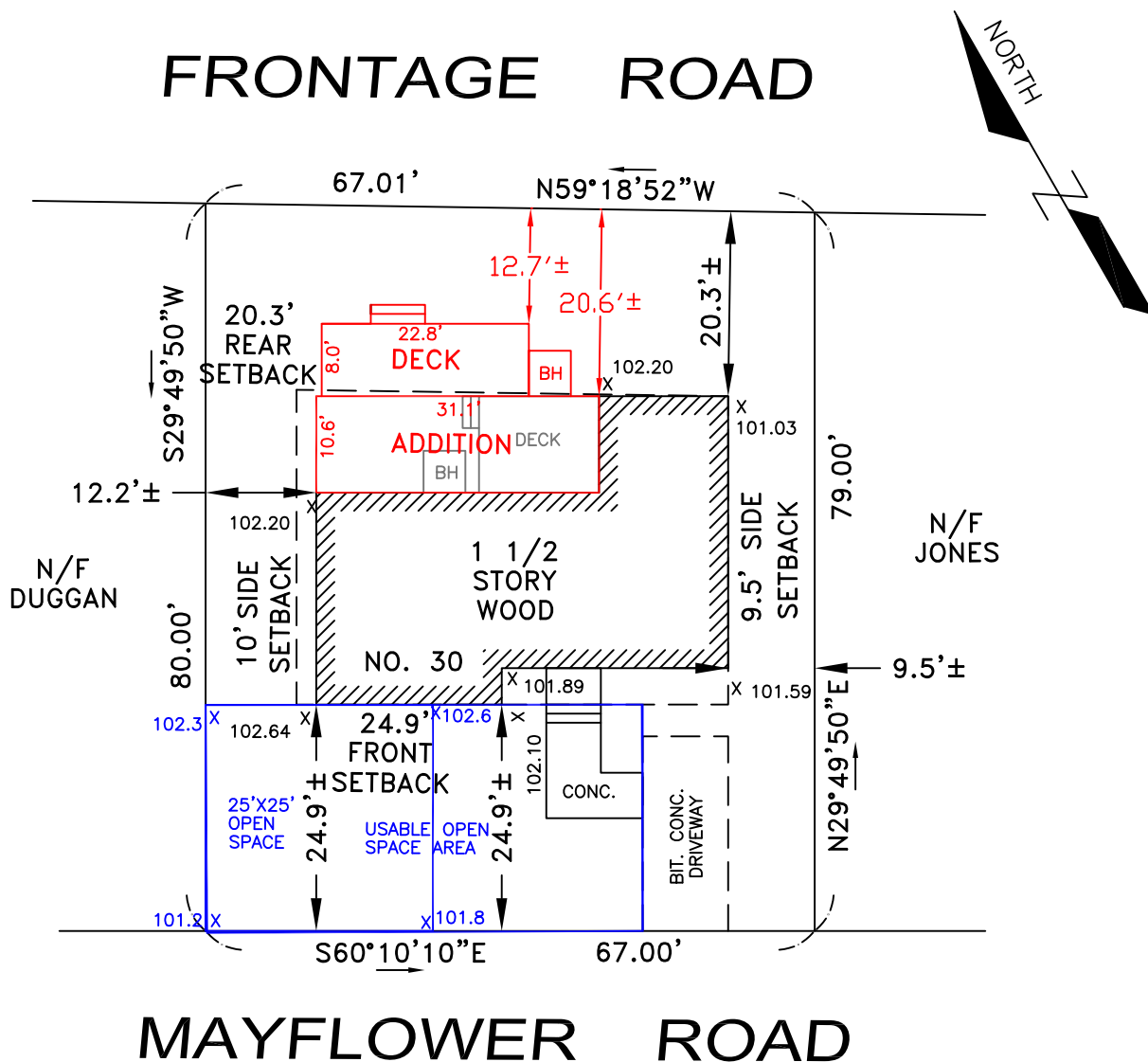
2082



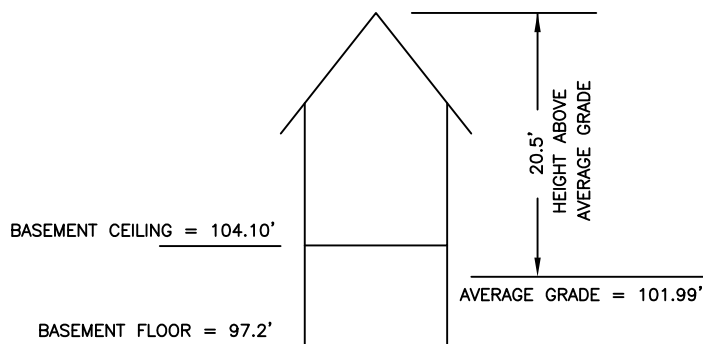
Total Proposed Gross Floor Area

4156



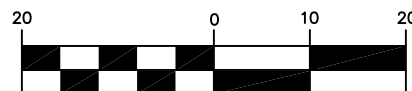


LOT AREA = 5,326 S.F.±  
 EXISTING BUILDING = 1,106 S.F.±  
 EXISTING PAVEMENT + WALK = 290 S.F.±  
 PROPOSED ADDITION = 330 S.F.±  
 EXISTING LOT COVERAGE = 20.8%  
 PROPOSED LOT COVERAGE = 27.0%  
 EXISTING OPEN SPACE = 73.8%  
 PROPOSED OPEN SPACE = 67.6%



#### NOTES

1. SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 54018, PAGE 476.
2. SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 6060, PAGE 1.
3. SUBJECT PARCEL IS LOCATED IN ZONE R-1.
4. SUBJECT PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON PANEL 25017C0412E WITH AN EFFECTIVE DATE OF JUNE 4, 2010.



( IN FEET )  
1 inch = 20 ft.

CERTIFIED PLOT PLAN  
IN  
ARLINGTON, MA

SCALE: 1" = 20' MARCH 1, 2024

DLJ GEOMATICS  
 PROFESSIONAL LAND SURVEYING  
 276 NORTH STREET  
 WEYMOUTH, MA 02191  
 (781) 812-0457

PROFESSIONAL LAND SURVEYOR

DATE

30 MAYFLOWER RD ARLINGTON.dwg



Smith Residence
30 Mayflower Road
Arlington, MA 02476

Energy Compliance Review Set
March 22, 2024

Owner: Shannon Smith, 30 Mayflower Road, Arlington, MA 02476, 617.966.5138
Contractor: Pablo Picker, Picker Construction, 15 Paul Gore Street, Boston, MA 02130, 617.888.0552
Architect: Bryan Poisson, APPROACH3, 50 Pinecliff Drive, Marblehead, MA 01945, 617.688.2407

Structural: Frank Lagodimos, Spartan Engineering, 50 Spruce Street, Framingham, MA 01701, 508.532.0876
Energy: Bijan KHosraviani, A9 Green, 329 Mass. Avenue, #3, Lexington, MA 02420, 781.357.2454

DRAWING INDEX:

- G.01 GFA /CFA CALCULATIONS, NOTES
- G.02 DOOR AND WINDOW SCHEDULES
- A.00 EXISTING BASEMENT DEMOLITION PLAN
- A.01 EXISTING FIRST FLOOR DEMOLITION PLAN
- A.02 EXISTING SECOND FLOOR DEMOLITION PLAN
- A.04 EXISTING ROOF DEMOLITION PLAN
- A.10 BASEMENT CONSTRUCTION PLAN
- A.11 FIRST FLOOR CONSTRUCTION PLAN
- A.12 SECOND FLOOR CONSTRUCTION PLAN
- A.13 ATTIC CONSTRUCTION PLAN
- A.14 ROOF CONSTRUCTION PLAN
- A.31 FRONT (SOUTH) EXTERIOR ELEVATION
- A.32 RIGHT SIDE (EAST) EXTERIOR ELEVATION
- A.33 REAR (NORTH) EXTERIOR ELEVATION
- A.34 LEFT SIDE (WEST) EXTERIOR ELEVATION

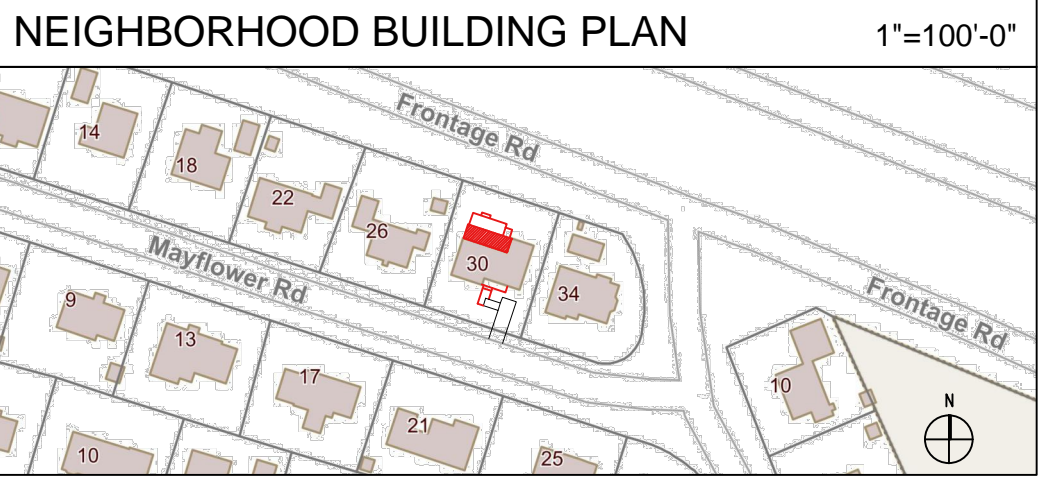
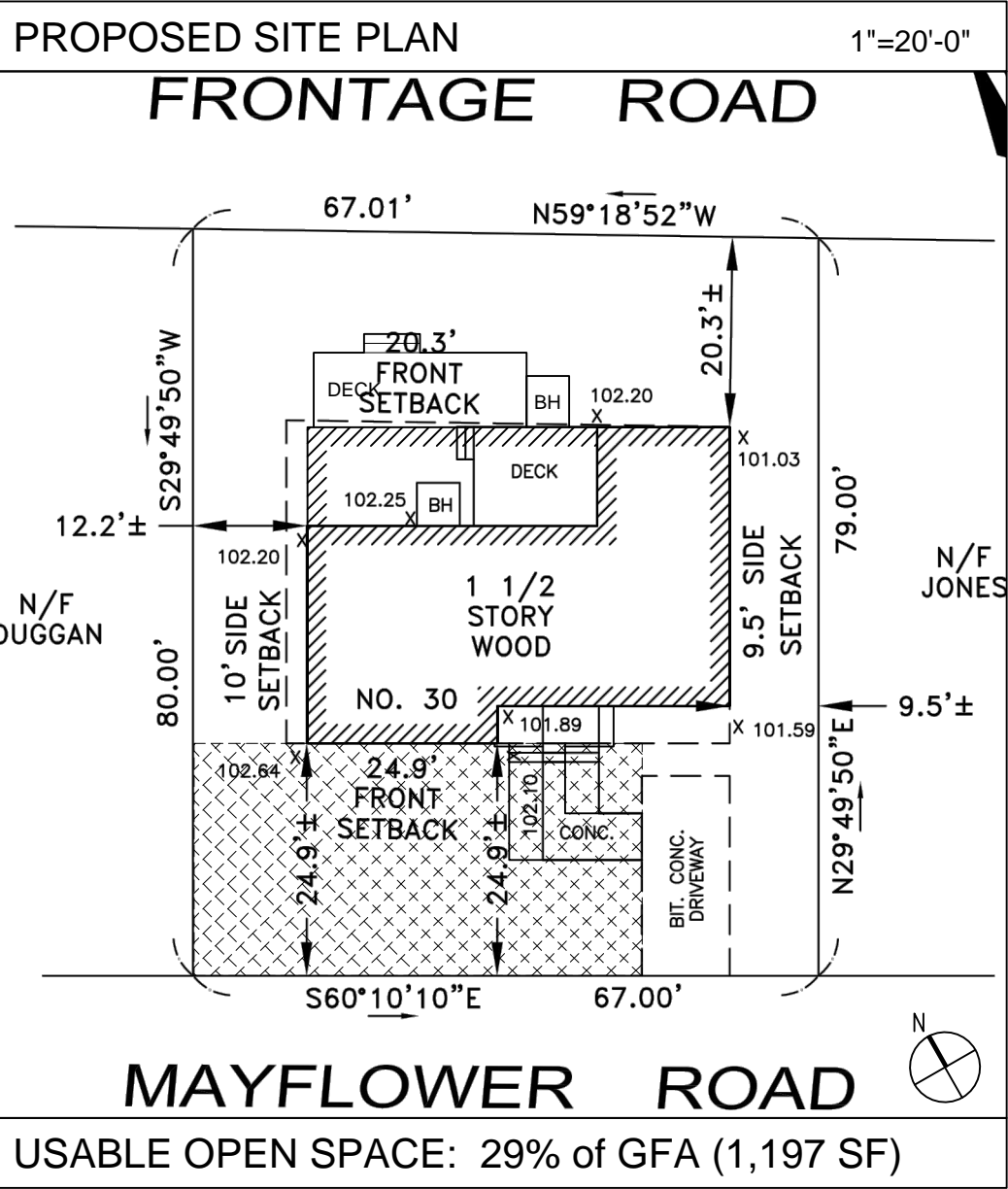
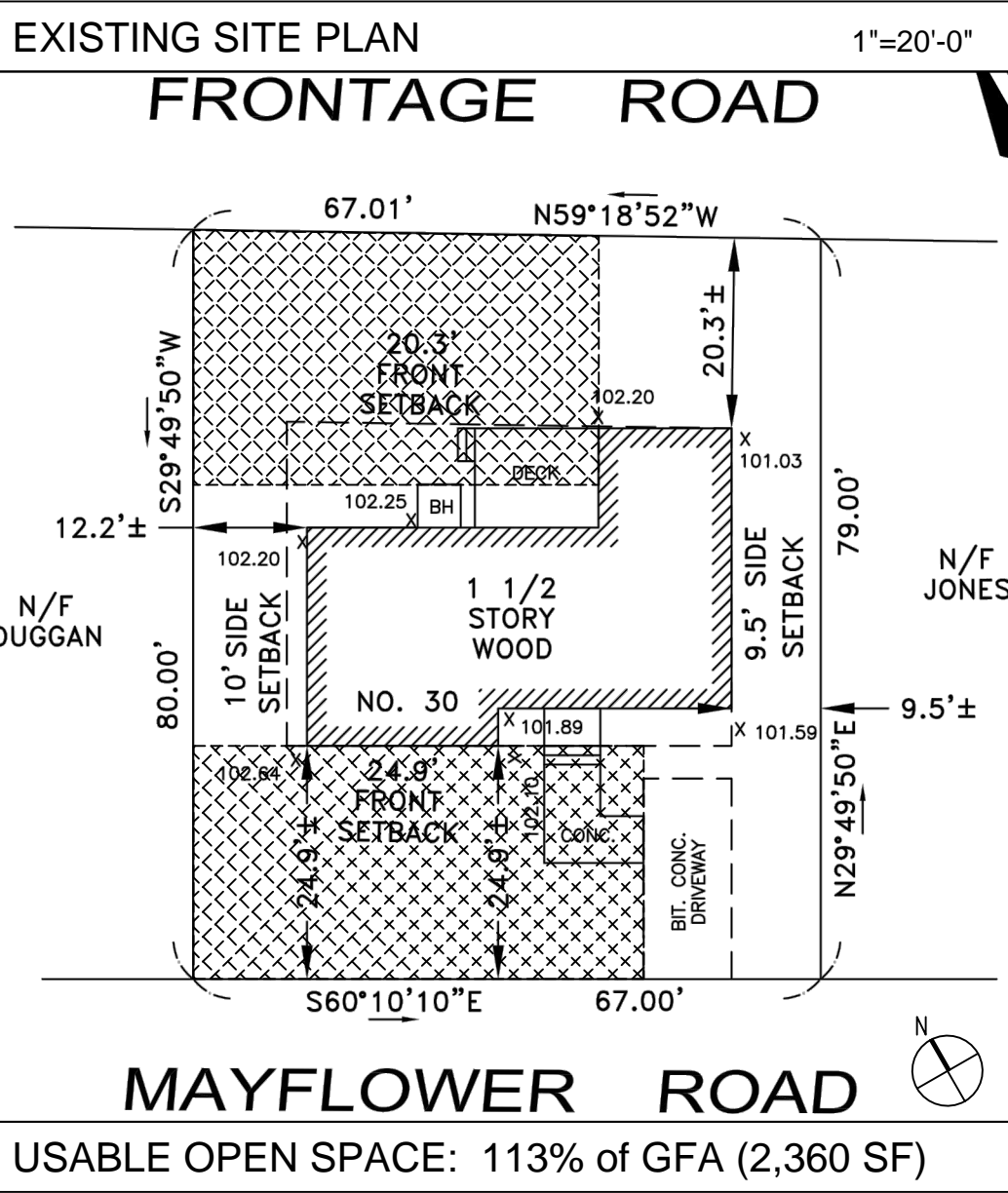
REFERENCED CODES AND GUIDANCE:

BASE CODE: 780 CMR (IBC 2015 WITH MASS AMENDMENTS)
RESIDENTIAL CODE: 780 CMR 51.00 (IRC 2015 WITH MASS AMENDMENTS)
EXISTING BUILDING CODE: 780 CMR 34.00 (IBC 2015 WITH MASS AMENDMENTS)
ENERGY CONSERVATION CODE: 780 CMR 22.00, APPENDIX RC (MASSACHUSETTS MUNICIPAL OPT-IN SPECIALIZED STRETCH CODE 2023, RESIDENTIAL LOW-RISE BUILDING PROVISIONS), AN AMENDED VERSION OF THE 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC 2021)
ENERGY CODE GUIDE: DOER 2023 TECHNICAL GUIDANCE, MASSACHUSETTS STRETCH ENERGY CODES
MECHANICAL CODE: 780 CMR 28.00 (IMC 2015 WITH MASS AMENDMENTS)
FIRE CODE: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE (527 CMR 1.00), AN AMENDED VERSION OF THE 2012 NFPA 1, NATIONAL FIRE CODE
ELECTRICAL CODE: MASSACHUSETTS ELECTRICAL CODE (527 CMR 12.00), AN AMENDED VERSION OF THE 2020 NATIONAL ELECTRICAL CODE (NFPA 70)
PLUMBING CODE: MASSACHUSETTS FUEL GAS AND PLUMBING CODE (248 CMR); NFPA 54, 2012: NATIONAL FUEL GAS CODE WITH MASS AMENDMENTS

Zoning Constraints Summary

Table with 8 columns: Requirement, Existing, Proposed, Conforming, Existing Nonconforming, Difference, Finding. Rows include Lot Area, Frontage, Setbacks, Deck, Building Height, Stories, Coverage, Landscaped Space, Usable Open Space, Gross Floor Area, Foundation, Parking, and Location.

NOTE: SHORT DIMENSION OF USABLE OPEN SPACE IS NOTED ON SITE PLAN AS BEING "24.9±". THIS DIMENSION HAS BEEN ACCEPTED BY THE ZONING ENFORCEMENT OFFICER AS MEETING THE MINIMUM REQUIREMENT FOR USABLE OPEN SPACE PER THE DEFINITION IN SECTION 2 OF THE ZONING BYLAW.

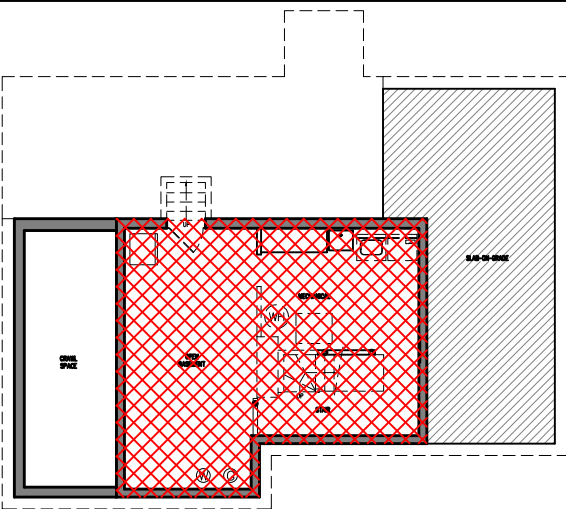


Client: Smith Residence, 30 Mayflower Road, Arlington, MA 02476
Cover, Drawing List, Zoning Information
Date: 22 MAR 24, File No. 22039, Architect: BDP
Revisions: 22 APR 24

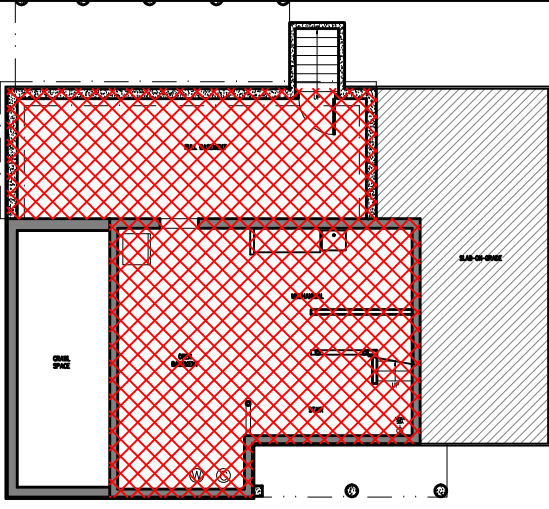


GROSS FLOOR AREA (GFA) & CONDITIONED FLOOR AREA (CFA) CALCULATIONS

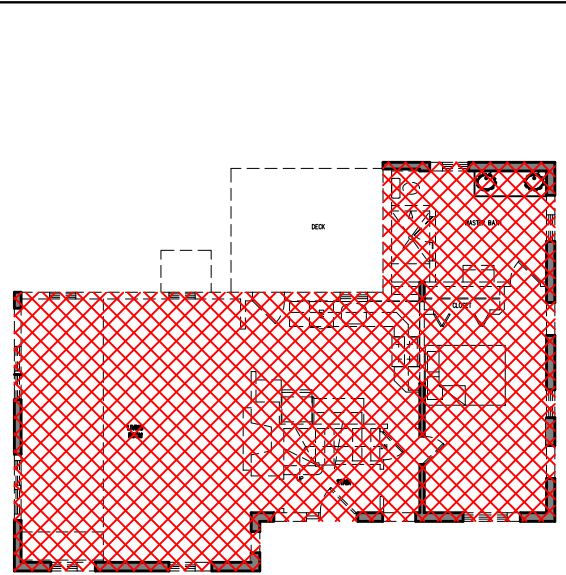
EXISTING BASEMENT PLAN  
EXISTING GFA: 537 SF  
EXISTING CFA: 470 SF



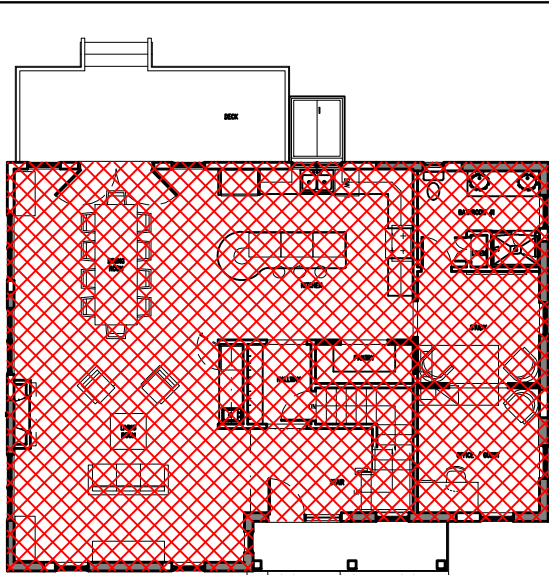
PROPOSED BASEMENT PLAN  
PROPOSED GFA: 870 SF  
PROPOSED CFA: 778 SF



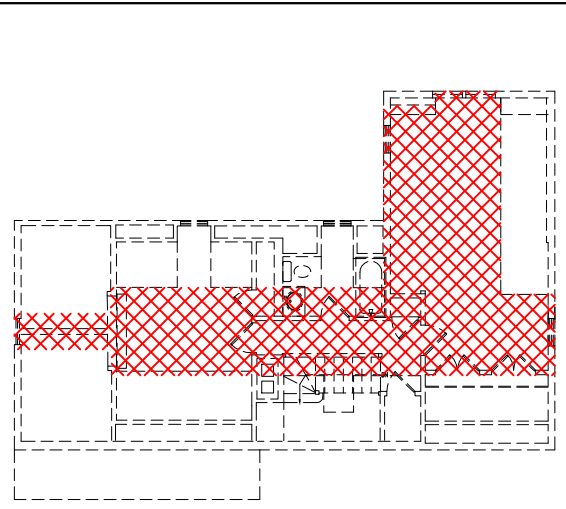
EXISTING FIRST FLOOR PLAN  
EXISTING GFA: 1,098 SF  
EXISTING CFA: 1,009 SF



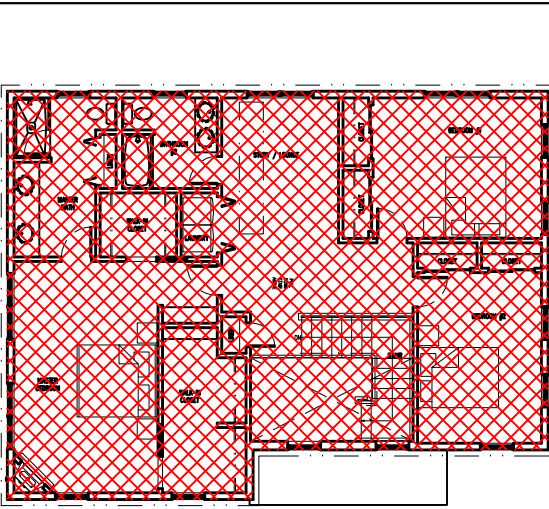
PROPOSED FIRST FLOOR PLAN  
PROPOSED GFA: 1,431 SF  
PROPOSED CFA: 1,342 SF



EXISTING SECOND FLOOR PLAN  
EXISTING GFA: 447 SF  
EXISTING CFA: 936 SF



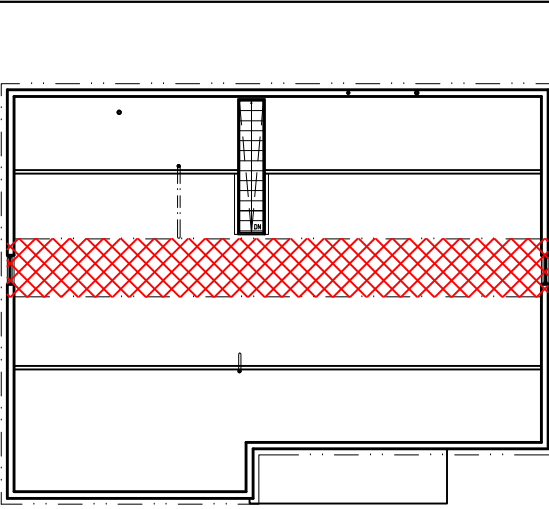
PROPOSED SECOND FLOOR PLAN  
PROPOSED GFA: 1,431 SF  
PROPOSED CFA: 1,342 SF



EXISTING ATTIC PLAN  
EXISTING GFA: 0 SF  
EXISTING CFA: 0 SF



PROPOSED ATTIC PLAN  
PROPOSED GFA: 218 SF  
PROPOSED CFA: 0 SF



TOTAL EXISTING:  
EXISTING GFA: 2,082 SF  
EXISTING CFA: 2,415 SF

TOTAL PROPOSED:  
PROPOSED GFA: 3,950 SF  
PROPOSED CFA: 3,462 SF

GENERAL DEMOLITION NOTES

- A. PROJECT IS A RENOVATION WITH ADDITION. CONTRACTOR TO MAINTAIN EXISTING FRONT WALL AND SIDE WALLS TO GREATEST EXTENT POSSIBLE THROUGHOUT PROJECT. CONTRACTOR TO DISCUSS RECONFIGURATION OF EXISTING EXTERIOR WALLS TO REMAIN WITH BUILDING INSPECTOR BEFORE EXPANDING THE SCOPE OF THE PROPOSED DEMOLITION.
- B. CONTRACTOR TO PERFORM ENVIRONMENTAL TESTING ON ANY SUSPECT MATERIALS PRIOR TO REMOVAL TO AVOID POSSIBLE EXPOSURE.
- C. CUT AND REMOVE EXISTING MATERIALS AS REQUIRED FOR NEW CONSTRUCTION. TAKE PRECAUTIONS AND USE PROTECTIVE DEVICES REQUIRED TO ASSURE SUPPORT OF EXISTING WORK TO REMAIN.
- D. REMOVE ALL ABANDONED MECHANICAL AND ELECTRICAL EQUIPMENT, LIGHT FIXTURES, PIPING, WIRING, AND CONDUIT THROUGHOUT INTERIOR OF EXISTING BUILDING NOT REQUIRED FOR NEW CONSTRUCTION – REFER TO DRAWINGS.
- E. RE-ROUTE ALL EXISTING PIPING TO REMAIN AS REQUIRED FOR NEW CONSTRUCTION.
- F. REMOVE ALL EXISTING RECEPTACLES, SWITCHES, AND CONDUIT ASSOCIATED WITH EXISTING WALLS AND PARTITIONS TO BE DEMOLISHED.
- G. REMOVE EXISTING FLOORING, PREPARE SUBFLOOR TO RECEIVE NEW FLOORING AS INDICATED ON FINISH PLAN.
- H. EXISTING LOAD-BEARING WALLS IDENTIFIED TO REMAIN ARE NOTED ON THE STRUCTURAL PLAN.
- I. CUT, FILL, REPAIR, AND PATCH EXISTING CONCRETE SLAB AS REQUIRED FOR INSTALLATION OF PLUMBING.
- J. CONTRACTOR TO PROVIDE ACCESS TO EXTERIOR SURFACES OF EXISTING FOUNDATION WALLS AS REQUIRED TO INSTALL REQUIRED INSULATION.

GENERAL CONSTRUCTION NOTES

- A. ALL DIMENSIONS ARE FACE OF FINISH TO FACE OF FINISH, EXCEPT WINDOWS WHICH ARE R.O. TO R.O. OR CENTER LINE, OR OTHER ITEMS AS INDICATED.
- B. DO NOT SCALE DRAWINGS. CONSULT WITH ARCHITECTS WHEN CONFLICTS OCCUR.
- C. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES AS ADOPTED BY THE LOCAL JURISDICTION HAVING AUTHORITY. CONTRACTOR TO ARRANGE FOR REQUIRED INSPECTIONS BY AUTHORITIES AT THE PROPER TIME DURING PROGRESS OF THE WORK.
- D. THIS SHEET IS PART OF AN ENTIRE SET OF CONSTRUCTION DOCUMENTS AS OUTLINED IN THE SCHEDULE OF DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUBCONTRACTORS BASED ON THE ENTIRE SET OF DOCUMENTS.
- E. IN CASE OF INACCURACIES OR DISCREPANCIES, THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY AND THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH DISCREPANCIES.
- F. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO STARTING CONSTRUCTION. CONDITIONS SHOWN ON THESE DOCUMENTS ARE BASED ON INFORMATION OBTAINED FROM SITE VISITS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK OR ORDERING MATERIALS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- G. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DOCUMENTS ON THE SITE DURING CONSTRUCTION. THE CONTRACTOR SHALL INDICATE ON THESE PLANS ALL APPROVED CHANGES TO THE WORK DESCRIBED ON THESE DRAWINGS. THIS SHALL BE TURNED OVER TO THE OWNER WHEN THE PROJECT IS COMPLETED, WITH A COPY PROVIDED TO THE ARCHITECT.
- H. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS APPEAR ON THESE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS, THE OWNER'S CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- I. THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL FIXTURES BY OTHERS, AND SHALL BE AVAILABLE TO RECEIVE DELIVERY AND ASSIST IN INSTALLATION OF ALL EQUIPMENT AND FIXTURES PROVIDED BY OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION OF ALL ITEMS STORED ON SITE.
- J. THE CONTRACTOR TO COORDINATE WORK SCHEDULES, DELIVERIES, AND UNUSUAL SERVICE DISCONNECTS WITH OWNER.
- K. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BARRIERS, DUST PROTECTION, AND OTHER FORMS OF PROTECTION FOR PORTIONS OF THE HOUSE NOT TO BE DAMAGED.
- L. THESE DRAWINGS ARE NOT TO BE ALTERED IN ANY WAY WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT. CHANGES IN DRAWINGS OR ACTUAL WORK SHALL BE ISSUED BY THE ARCHITECT.
- M. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS CONCERNING THE DEMOLITION AND DISPOSAL OF HAZARDOUS MATERIALS, INCLUDING LEAD, ASBESTOS, OIL, AND ALL OTHER MATERIALS DEEMED HAZARDOUS BY THE EPA.
- N. CONTRACTOR SHALL PROVIDE SUPPLEMENTARY SUPPORT AND/OR FRAMING FOR ALL FIXTURES, DEVICES, FIXTURES, EQUIPMENT, ETC.
- O. CONTRACTOR SHALL PERFORM ALL WORK IN STRICT ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS AND INSTRUCTIONS, AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS OF WORKMANSHIP.
- P. CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.
- Q. CONTRACTOR SHALL EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN, AND READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS. NOTIFY ARCHITECT OF ANY EXISTING CONDITIONS NOT WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.
- R. CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES OF DUST, DEBRIS, LOOSE CONSTRUCTION MATERIAL, AND EQUIPMENT PRIOR TO OCCUPANCY OF FINISHED WORK.
- S. CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL WORK UNDER THE CONTRACT IS TO BE PERFORMED TO A COMPLETE AND FINISHED PRODUCT. AT END OF WORK, CONTRACTORS SHALL LEAVE THE JOB SITE IN AN ORDERLY AND NEAT FASHION CAPABLE OF BEING USED FOR THE INTENDED PURPOSE. ALL WORK IS TO BE WARRANTED FOR ONE YEAR AGAINST ANY DEFECTS OR DEFICIENCIES, UNLESS OTHERWISE STATED WITHIN THE CONTRACT DOCUMENTS. CONTRACTOR TO PROVIDE ALL KEYS, EQUIPMENT, OPERATING INSTRUCTIONS, RECORD DRAWINGS, ETC., TO OWNER.

GENERAL FINISH NOTES

- A. REFER TO INTERIOR FINISH SCHEDULE FOR SELECTED FINISHES. ALL OTHER FINISHES TO BE DETERMINED BY THE OWNER.
- B. LAMINATES TO BE MANUFACTURER'S HIGH GRADE PLASTIC LAMINATE FOR HORIZONTAL APPLICATION UNLESS NOTED OTHERWISE.
- C. PAINTED SURFACES TO RECEIVE ONE (1) PRIME COAT AND TWO (2) FINISH COATS MINIMUM.

ENERGY CODE COMPLIANCE NOTES

- 1. ARLINGTON HAS ADOPTED THE 2023 SPECIALIZED ENERGY CODE. PROJECT TO COMPLY WITH THE REQUIREMENTS OF THE STRETCH ENERGY CODE [225 CMR 22] AND THE REQUIREMENTS OF THE SPECIALIZED CODE [225 CMR 22, APPENDIX RC].
- 2. ARLINGTON IS A PARTICIPATING COMMUNITY IN THE DOER'S "MUNICIPAL FOSSIL FUEL FREE BUILDING CONSTRUCTION AND RENOVATION DEMONSTRATION PROJECT" [225 CMR 24]. MAJOR RENOVATION PROJECTS SEEKING A PERMIT AFTER THE EFFECTIVE DATE OF THE TOWN'S ACCEPTANCE INTO THE PROJECT MAY NOT INSTALL "EQUIPMENT OR APPLIANCES USED FOR SPACE HEATING, SERVICE WATER HEATING, COOKING, CLOTHES DRYING, AND/OR LIGHTING THAT CAN UTILIZE" FOSSIL FUELS.
- 3. PER SECTION R401, WHERE THE ADDITIONAL CFA IS GREATER THAN 1,000 SF, AND THE ALTERATION AFFECTS MORE THAN 50% OF THE EXISTING CFA, THE PROJECT MUST FOLLOW THE PRESCRIPTIVE PATH IN SECTION R502.3 AND THE ERI-BASED [HERS] RATING PATH IN SECTION R406.5..
- 4. PER SECTION R502.3, ADDITIONS SHALL COMPLY WITH THE FOLLOWING:
  - 4.1. ENVELOPE ASSEMBLIES SHALL COMPLY WITH R402.1, R402.2, R402.3.1-5, AND R402.4.
  - 4.2. HVAC DUCTS SHALL COMPLY WITH R402.4.1.2.
  - 4.3. HOT WATER SYSTEM SHALL COMPLY WITH R403.5.
  - 4.4. LIGHTING SYSTEMS SHALL COMPLY WITH R404.1.
- 5. PER SECTION R406.5, THE MAXIMUM ALLOWED HERS RATING IS 52.

GENERAL POWER NOTES

- A. CIRCUIT NUMBERS TO BE DETERMINED IN THE FIELD AND DOCUMENTED ON PANELBOARD SCHEDULE BY THE ELECTRICAL CONTRACTOR. INTERCONNECTING BRANCH WIRING SHALL BE SIZED EQUAL TO THE HOME RUN UNLESS NOTED OTHERWISE.
- B. VOLTAGE DROP SHALL BE A CONSIDERATION IN THE DESIGN OF ALL BRANCH CIRCUITRY AND FEEDER SIZES BASED UPON THE ILLUSTRATED EQUIPMENT LAYOUTS AND THE SHORTEST CONDUCTOR/RACEWAY ROUTING. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEVIATIONS TAKEN THAT WILL INCREASE CONDUCTOR/RACEWAY ROUTING LENGTHS. BRANCH CIRCUITS LONGER THAN 75' FOR 120V FROM PANEL TO LAST OUTLET SHALL BE INCREASED A MINIMUM OF ONE SIZE ABOVE THAT NORMALLY SPECIFIED TO LIMIT VOLTAGE DROP TO LESS THAN 3%. FEEDERS SHALL FOLLOW SIMILAR GUIDELINES AND BE LIMITED TO A 2% DROP.
- C. POWER BRANCH CIRCUITRY SHALL BE INSTALLED IN CONDUIT WHERE EXPOSED. BRANCH CIRCUITRY SHALL BE TYPE NM OR MC CABLE WHERE CONCEALED.
- D. PROVIDE SERVICE WITH FUSED DISCONNECT TO ALL MAJOR MECHANICAL AND PLUMBING EQUIPMENT REQUIRING POWER.
- E. DEVICE AND PLATE FINISHES TO BE DETERMINED BY ARCHITECT.
- F. PROVIDE GFCI PROTECTED DEVICES AT KITCHEN, LAUNDRY, AND RESTROOM AREAS.
- G. ELECTRICAL SYSTEM TO BE DESIGN TO COMPLY WITH THE REQUIREMENTS OF THE ELECTRIC READINESS, ON-SITE RENEWABLE ENERGY, AND ELECTRIC VEHICLE READINESS REQUIREMENTS OF THE SPECIALIZED ENERGY CODE.

GENERAL CEILING / LIGHTING NOTES

- A. CEILINGS TO RECEIVE SMOOTH PLASTER FINISH UNLESS NOTED OTHERWISE. PAINT CEILINGS FLAT WHITE.
- B. INDICATED LIGHT FIXTURE LOCATIONS ARE TO BE MAINTAINED AS CLOSE AS PRACTICAL. CONTRACTOR TO PROVIDE LIGHTING CONTROLS COMPATIBLE WITH LOCAL ENERGY CODE. EACH ROOM TO BE SWITCHED INDEPENDENTLY. COORDINATE SWITCH LOCATIONS WITH ELECTRICAL SUBCONTRACTOR, OWNER, AND ARCHITECT BY PROVIDING SCHEMATIC PLAN FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF ANY SWITCHES.
- C. CIRCUIT NUMBERS TO BE DETERMINED IN THE FIELD AND DOCUMENTED ON AS-BUILT DOCUMENTATION BY THE ELECTRICAL CONTRACTOR. INTERCONNECTING BRANCH WIRING SHALL BE SIZED EQUAL TO THE HOME RUN UNLESS NOTED OTHERWISE.
- D. VOLTAGE DROP SHALL BE A CONSIDERATION IN THE DESIGN OF ALL BRANCH CIRCUITRY AND FEEDER SIZES BASED UPON THE ILLUSTRATED EQUIPMENT LAYOUTS AND THE SHORTEST CONDUCTOR/RACEWAY ROUTING. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEVIATIONS TAKEN THAT WILL INCREASE CONDUCTOR/RACEWAY ROUTING LENGTHS. BRANCH CIRCUITS LONGER THAN 75' FOR 120V FROM PANEL TO LAST FIXTURE SHALL BE INCREASED A MINIMUM OF ONE SIZE ABOVE THAT NORMALLY SPECIFIED TO LIMIT VOLTAGE DROP TO LESS THAN 3%.
- E. LIGHTING BRANCH CIRCUITRY SHALL BE INSTALLED IN CONDUIT WHERE EXPOSED. LIGHTING BRANCH CIRCUITRY MAY BE TYPE NM OR MC CABLE WHERE CONCEALED.
- F. PROVIDE COMMON FACE PLATE FOR ALL MULTIPLE GANG SWITCH LOCATIONS.
- G. DEVICE AND PLATE FINISHES TO BE DETERMINED BY ARCHITECT.
- H. ALL FIXTURES TO BE DIMMING AND CONNECTED TO DIMMING SWITCHES. COORDINATE FIXTURE SWITCHING IN FIELD WITH ARCHITECT.

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Client:  
**Smith Residence**  
30 Mayflower Road  
Arlington, MA 02476

Drawing:  
**Cover, Drawing List,  
Zoning Information**

Date: **22 MAR 24**  
File No. **2209**  
Architect: **B D P**

Revisions:  
22 APR 24  
▲

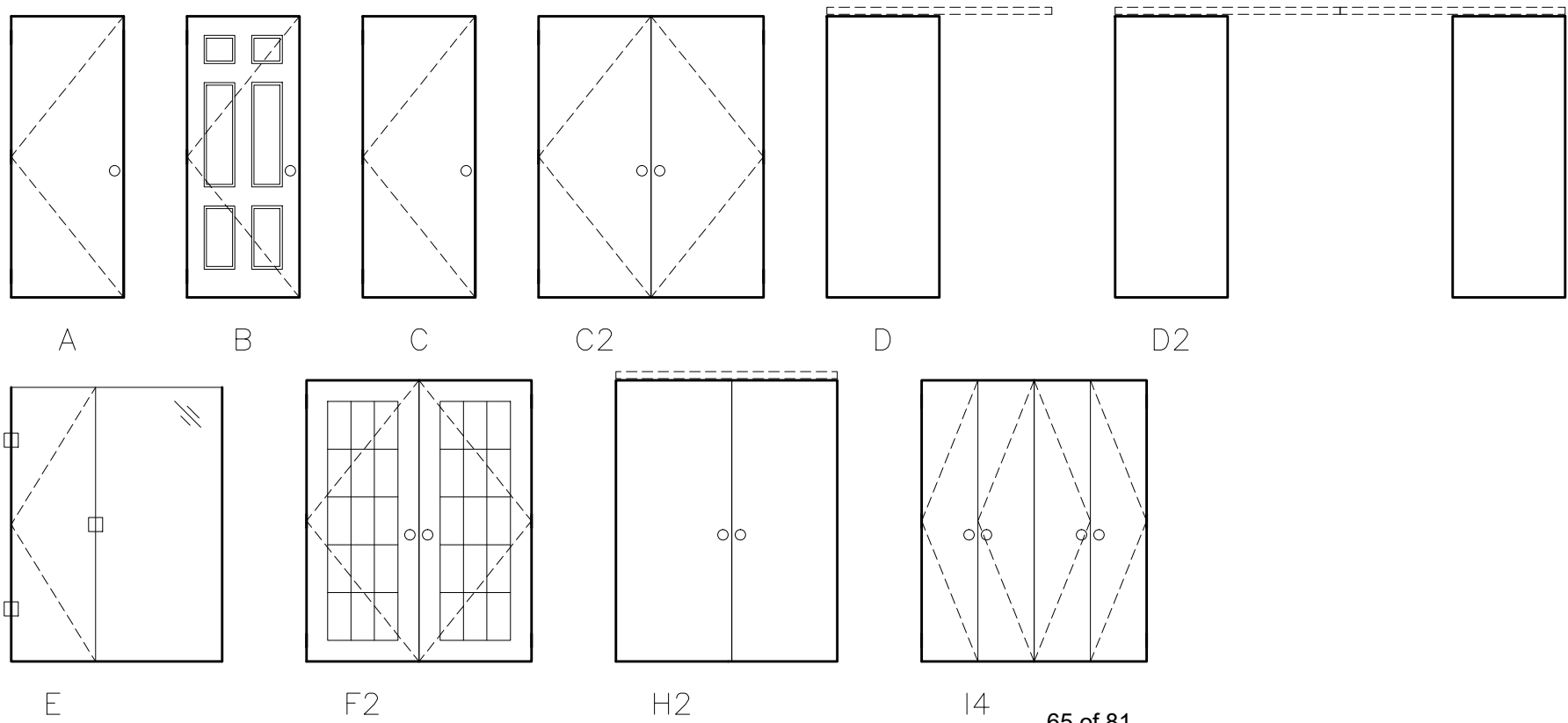
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DOOR SCHEDULE											
NO.	LOCATION	DOOR						FRAME		REMARKS	
		TYPE	WIDTH	HEIGHT	THICKNESS	CONST.	FINISH	GLAZING	MATERIAL	FINISH	
01	BULKHEAD ACCESS	A	3'-0"	6'-8"	1 3/4"	METAL	PAINTED	—	HM	PAINTED	INSULATED STEEL DOOR, WEATHERSTRIPPING
02	FRONT ENTRANCE	B	3'-0"	6'-8"	1 3/4"	WD	PAINTED	—	WD	PAINTED	THERMA-TRU FC60, 6 PANEL FIBER CLASSIC
03	BASEMENT	C	2'-6"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	—
04	PANTRY	D2	2 @ 2'-0"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	DOUBLE POCKET DOOR
05	STUDY	D	3'-0"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	POCKET DOOR
06	OFFICE/GUEST	D2	2 @ 2'-6"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	DOUBLE POCKET DOOR
07	BATHROOM #1	C	2'-6"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	—
08	LINEN #1	C2	2 @ 1'-0"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	—
09	SHOWER #1	E	2'-0"	6'-4"	1/2"	GLASS	—	TEMPERED	GLASS	—	GLASS SHOWER DOOR
10	REAR DOORS	F2	2 @ 3'-0"	6'-8"	1 3/4"	WD/GL	PAINTED	INS/TEMP	WD	PAINTED	INSULATED INSWING FRENCH DOORS
11	BULKHEAD	G	2'-4"	5'-4"	22"	METAL	PREFINISH	—	WD	PREFINISH	BILCO, SIZE "B"
12	BEDROOM #2	C	2'-6"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	—
13	CLOSET #2A	H2	2 @ 2'-0"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	BYPASS DOORS
14	CLOSET #2B	H2	2 @ 2'-0"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	BYPASS DOORS
15	BEDROOM #1	C	2'-6"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	—
16	CLOSET #1A	H2	2 @ 2'-4"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	BYPASS DOORS
17	CLOSET #1B	H2	2 @ 2'-4"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	BYPASS DOORS
18	BATHROOM #2	C	2'-4"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	—
19	LAUNDRY	I4	4 @ 1'-2"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	BIFOLD DOORS
20	MASTER BEDROOM	C	2'-6"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	—
21	WALK-IN CLOSET	C	2'-6"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	POCKET DOOR
22	MASTER BATH	C	2'-6"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	—
23	MASTER LINEN	I4	4 @ 1'-0"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	BIFOLD DOORS
24	MASTER SHOWER	E	2'-0"	6'-4"	1/2"	GLASS	—	TEMPERED	GLASS	—	GLASS SHOWER DOOR
25	WALK-IN CLOSET	D	2'-8"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	POCKET DOOR
26	LINEN CLOSET	C	2'-0"	6'-8"	1 3/8"	WD	PAINTED	—	WD	PAINTED	—

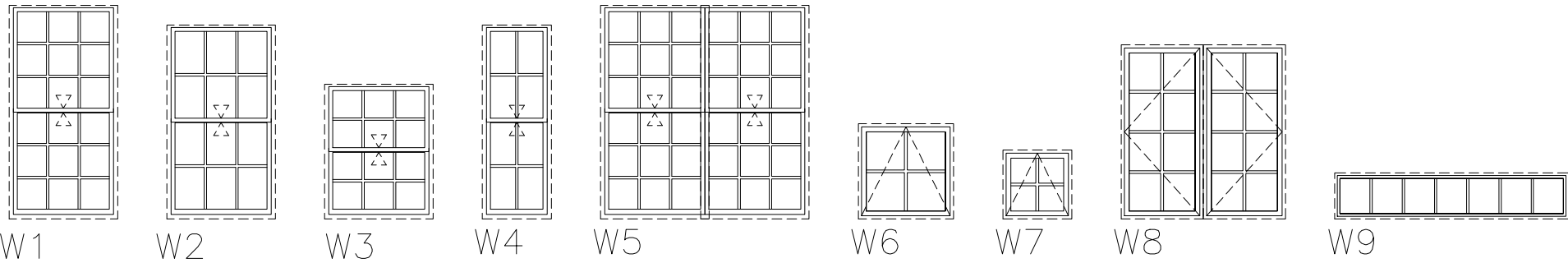
DOOR HARDWARE SCHEDULE		
HARDWARE SET	FUNCTION / DOORS	COMPONENTS
Set A1	Exterior Swing Door — Door 02	(3) Butt Hinges (per Manufacturer) (1) Electronic Lockset (Nest, by Owner) (1) Weatherstripping Kit (per Manufacturer)
Set A2	Exterior In-swing French Door — Door 10	All Hardware per Manufacturer
Set A3	Basement Bulkhead Door — Door 11	All Hardware per Manufacturer
Set B1	Privacy Door — Door 07 — Door 18 — Door 12 — Door 20 — Door 15 — Door 22	(3) Butt Hinges (1) Lockset, Privacy Function (1) Stop
Set C1	Passage Door — Door 01 — Door 03	(3) Butt Hinges (1) Latchset, Passage Function (1) Stop
Set C2	Passage Double Doors — Door 08	(6) Butt Hinges (2) Door Pulls (2) Roller Catches
Set D1	Pocket Door — Door 05 — Door 25 — Door 21	(1) Heavy Duty Pocket Door Hanging Kit (1) Recessed Pull Lockset, Passage Function
Set D2	Double Pocket Door — Door 04 — Door 06	(2) Heavy Duty Pocket Door Hanging Kits (2) Recessed Pull Lockset, Privacy Function
Set E1	Bypass Doors — Door 13 — Door 16 — Door 14 — Door 17	(1) Heavy Duty Sliding Bypass Door Hanging Kit (2) Recessed Finger Pulls
Set F1	Bifold Doors — Door 19 — Door 23	(2) Heavy Duty Bifold Door Hanging Kits (4) Door Pulls
Set G1	Glass Shower Door — Door 09 — Door 24	(2) Stainless Steel Glass Door Hinges (1) Glass Door Push/Pull (1) Glass Door Strike/Stop

DOOR TYPES:



WINDOW SCHEDULE														
NO.	MODEL	FRAME							GLASS					REMARKS
		TYPE	WIDTH	HEIGHT	THICKNESS	CONST.	FINISH	EGRESS	PANES	THICKNESS	U-VALUE	SHGC	GLAZING	
W1	PELLA DH3365	DH	2'-9"	5'-5"	5"	WOOD	PRIMED	YES	DOUBLE	11/16"	0.26	0.45	NS+LowE,IG, Argon	—
W2	PELLA DH3359	DH	2'-9"	4'-11"	5"	WOOD	PRIMED	NO	DOUBLE	11/16"	0.26	0.45	NS+LowE,IG, Argon	—
W3	PELLA DH3341	DH	2'-9"	3'-5"	5"	WOOD	PRIMED	NO	DOUBLE	11/16"	0.26	0.45	NS+LowE,IG, Argon	—
W4	PELLA DH2159	DH	1'-9"	4'-11"	5"	WOOD	PRIMED	NO	DOUBLE	11/16"	0.26	0.45	NS+LowE,IG, Argon	—
W5	PELLA DH3365-DH3365	DH-DH	5'-6"	5'-5"	5"	WOOD	PRIMED	YES	DOUBLE	11/16"	0.26	0.45	NS+LowE,IG, Argon	—
W6	PELLA A2929	A	2'-5"	2'-5"	5"	WOOD	PRIMED	NO	DOUBLE	11/16"	0.26	0.42	NS+LowE,IG, Argon	—
W7	PELLA A2121	A	1'-9"	1'-9"	5"	WOOD	PRIMED	NO	DOUBLE	11/16"	0.26	0.42	NS+LowE,IG, Argon	—
W8	PELLA C2553-C2553	C-C	4'-2"	3'-5"	5"	WOOD	PRIMED	NO	DOUBLE	11/16"	0.26	0.42	NS+LowE,IG, Argon	—
W9	PELLA T7214	T	5'-11 1/4"	1'-2"	5"	WOOD	PRIMED	NO	DOUBLE	13/16"	0.25	0.32	NS+LowE,IG, Argon	—

WINDOW TYPES:



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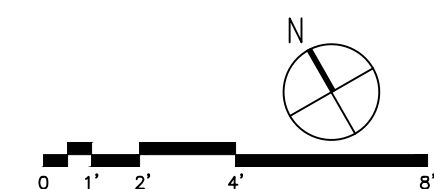
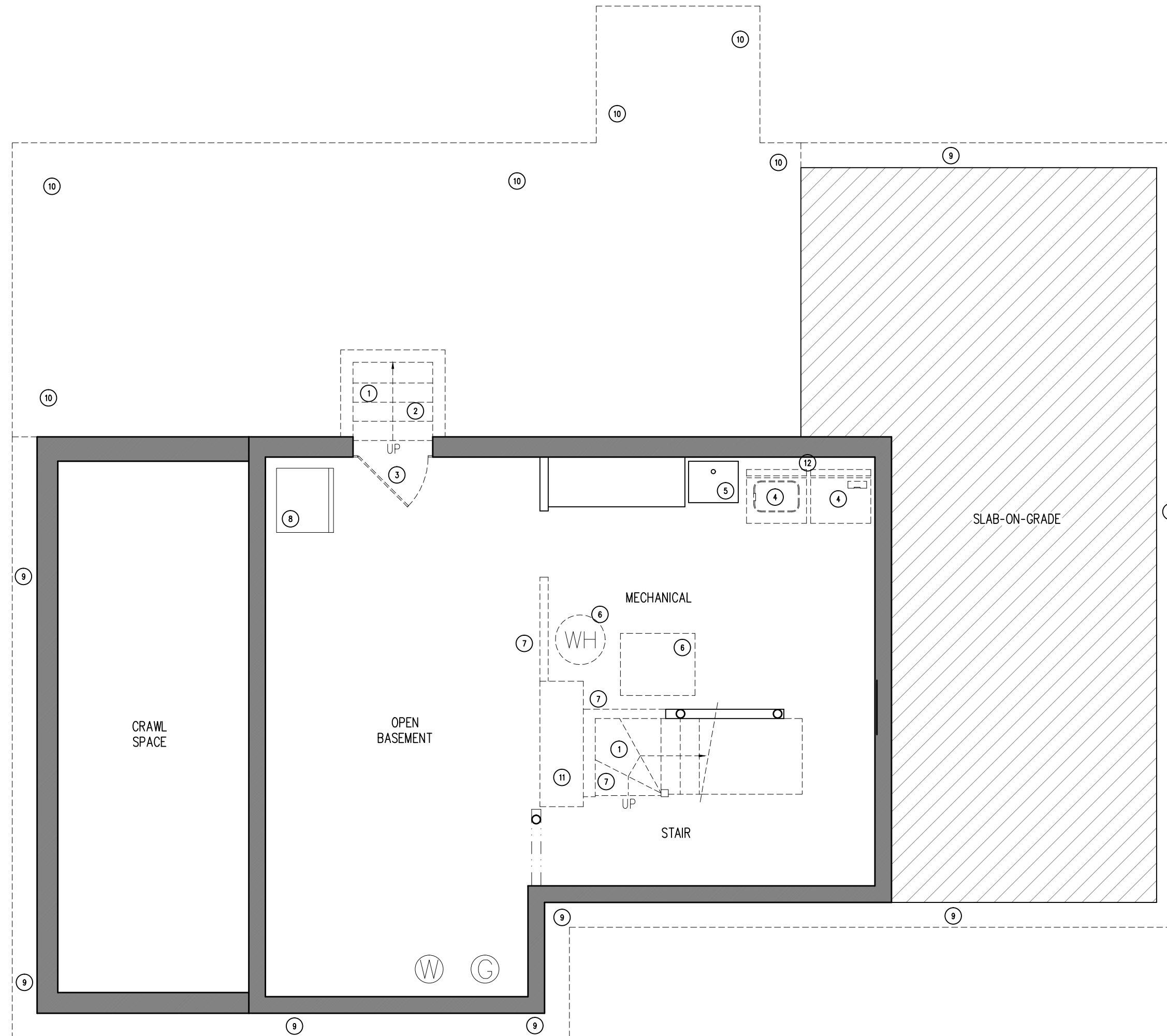
Architect:

APPROACH<sup>3</sup>  
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A: 36 BROMFIELD STREET  
BOSTON, MA 02108  
O: 617.556

KEYED DEMOLITION NOTES

- |   |   |   |  |
|---|---|---|--|
| ① | EXISTING STAIRWAY TO BE REMOVED.                | ⑦ | AREA OF EXISTING PARTITION TO BE REMOVED.    |
| ② | EXISTING BULKHEAD AREA TO BE REMOVED            | ⑧ | EXISTING APPLIANCE TO REMAIN.                |
| ③ | EXISTING DOOR AND FRAME TO BE REMOVED.          | ⑨ | EXCAVATE TO EXPOSE EXISTING FOUNDATION WALL. |
| ④ | EXISTING APPLIANCES TO BE REMOVED OR RELOCATED. | ⑩ | EXCAVATE FOR PROPOSED FOUNDATION WALL.       |
| ⑤ | EXISTING PLUMBING TO REMAIN.                    | ⑪ | EXISTING CHIMNEY TO BE REMOVED.              |
| ⑥ | EXISTING EQUIPMENT TO BE REMOVED.               | ⑫ | EXISTING PLUMBING TO BE REMOVED.             |



1 Existing Basement Demolition Plan  
A.00 SCALE: 1/4" = 1'-0"

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30 Mayflower Road  
Arlington, MA 02476

## Existing Basement Demolition Plan

: 22 MAR 24  
No. 2209  
itect: BDP

Answers:  
 \_\_\_\_\_  
 \_\_\_\_\_

2.00

KEYED DEMOLITION NOTES

- 1

EXISTING STAIRWAY TO BE REMOVED.
- 2

EXISTING BULKHEAD AREA TO BE REMOVED
- 3

EXISTING DOOR AND FRAME TO BE REMOVED.
- 4

EXISTING APPLIANCES TO BE REMOVED OR RELOCATED.
- 5

EXISTING PLUMBING TO REMAIN.
- 6

<NOT USED>
- 7

AREA OF EXISTING PARTITION TO BE REMOVED.
- 8

<NOT USED>
- 9

<NOT USED>
- 10

<NOT USED>
- 11

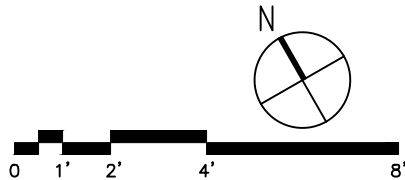
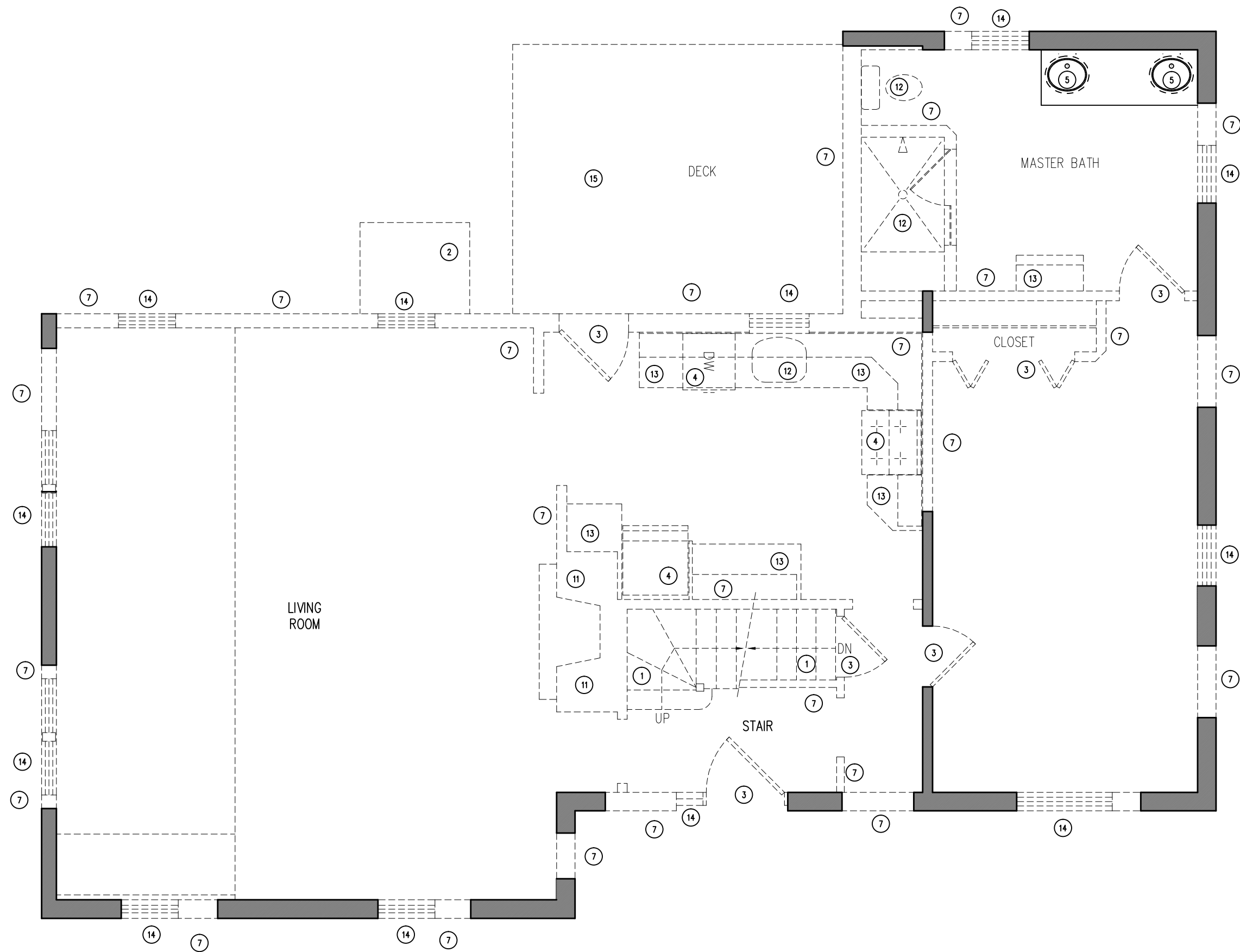
EXISTING CHIMNEY TO BE REMOVED.
- 12

EXISTING PLUMBING TO BE REMOVED.
- 13

EXISTING MILLWORK TO BE REMOVED.
- 14

EXISTING WINDOW TO BE REMOVED.
- 15

EXISTING DECK AND STAIRS TO BE REMOVED.



KEYED DEMOLITION NOTES

- 1

EXISTING STAIRWAY TO BE REMOVED.
- 2

<NOT USED>
- 3

EXISTING DOOR AND FRAME TO BE REMOVED.
- 4

<NOT USED>
- 5

<NOT USED>
- 6

<NOT USED>
- 7

AREA OF EXISTING PARTITION TO BE REMOVED.
- 8

<NOT USED>
- 9

<NOT USED>
- 10

<NOT USED>
- 11

EXISTING CHIMNEY TO BE REMOVED.
- 12

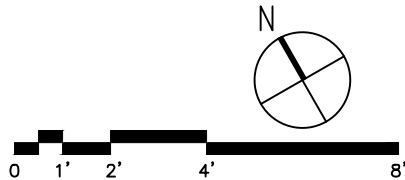
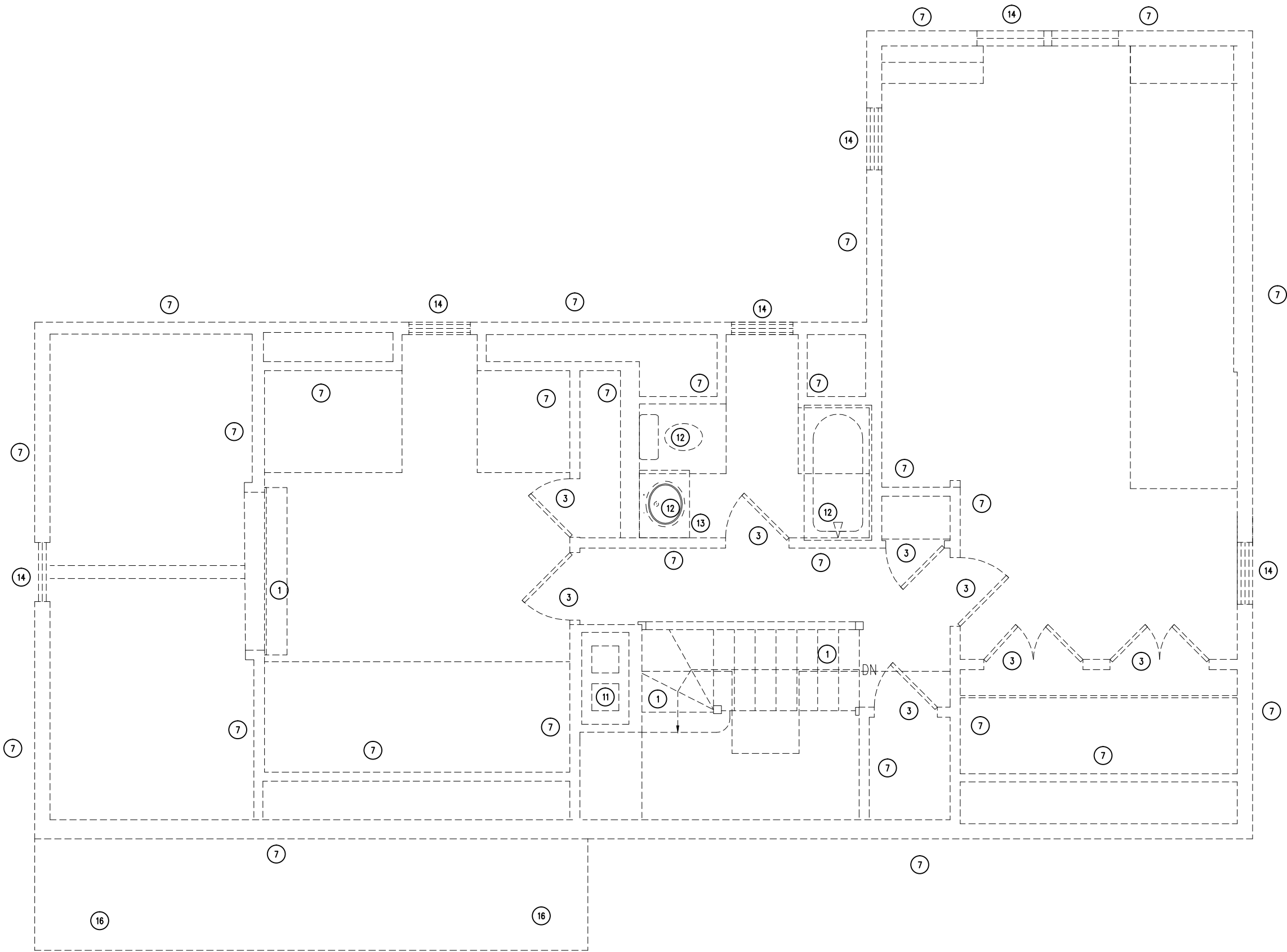
EXISTING PLUMBING TO BE REMOVED.
- 13

EXISTING MILLWORK TO BE REMOVED.
- 14

EXISTING WINDOW TO BE REMOVED.
- 15

<NOT USED>
- 16

EXISTING ROOF BELOW TO BE REMOVED.



KEYED DEMOLITION NOTES

- 1

<NOT USED>
- 2

<NOT USED>
- 3

<NOT USED>
- 4

<NOT USED>
- 5

<NOT USED>
- 6

<NOT USED>
- 7

<NOT USED>
- 8

<NOT USED>
- 9

<NOT USED>
- 10

<NOT USED>
- 11

EXISTING CHIMNEY TO BE REMOVED.
- 12

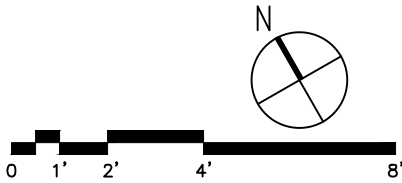
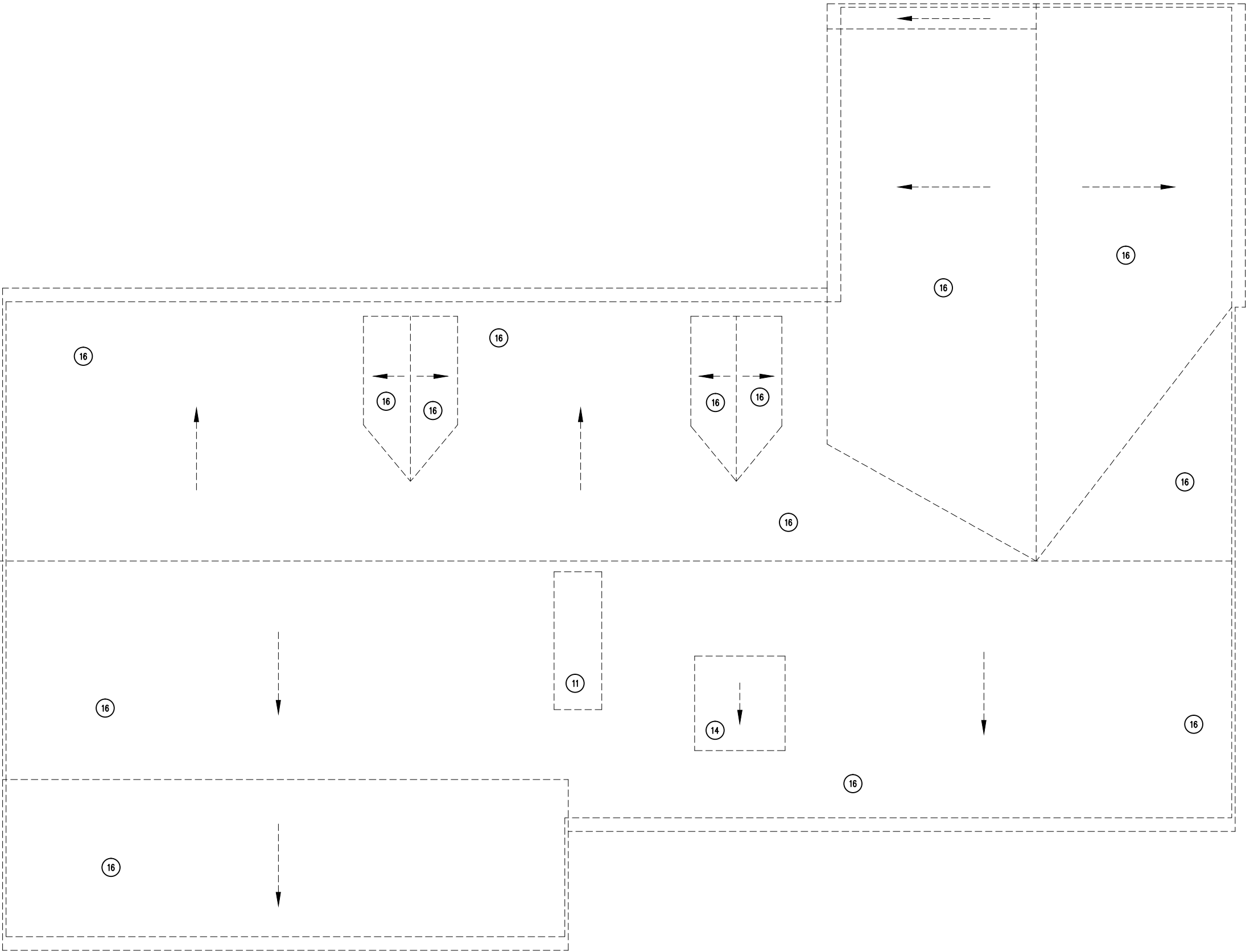
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- 13

<NOT USED>
- 14

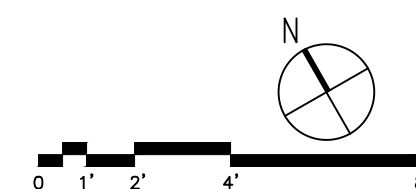
EXISTING WINDOW TO BE REMOVED.
- 15

<NOT USED>
- 16

EXISTING ROOF BELOW TO BE REMOVED.



1	PROPOSED STAIRWAY
2	PROPOSED WALL OR PARTITION.
3	PROPOSED DOOR AND FRAME.
4	PROPOSED FOOTING, REFER TO STRUCTURAL PLAN.



70 of 81



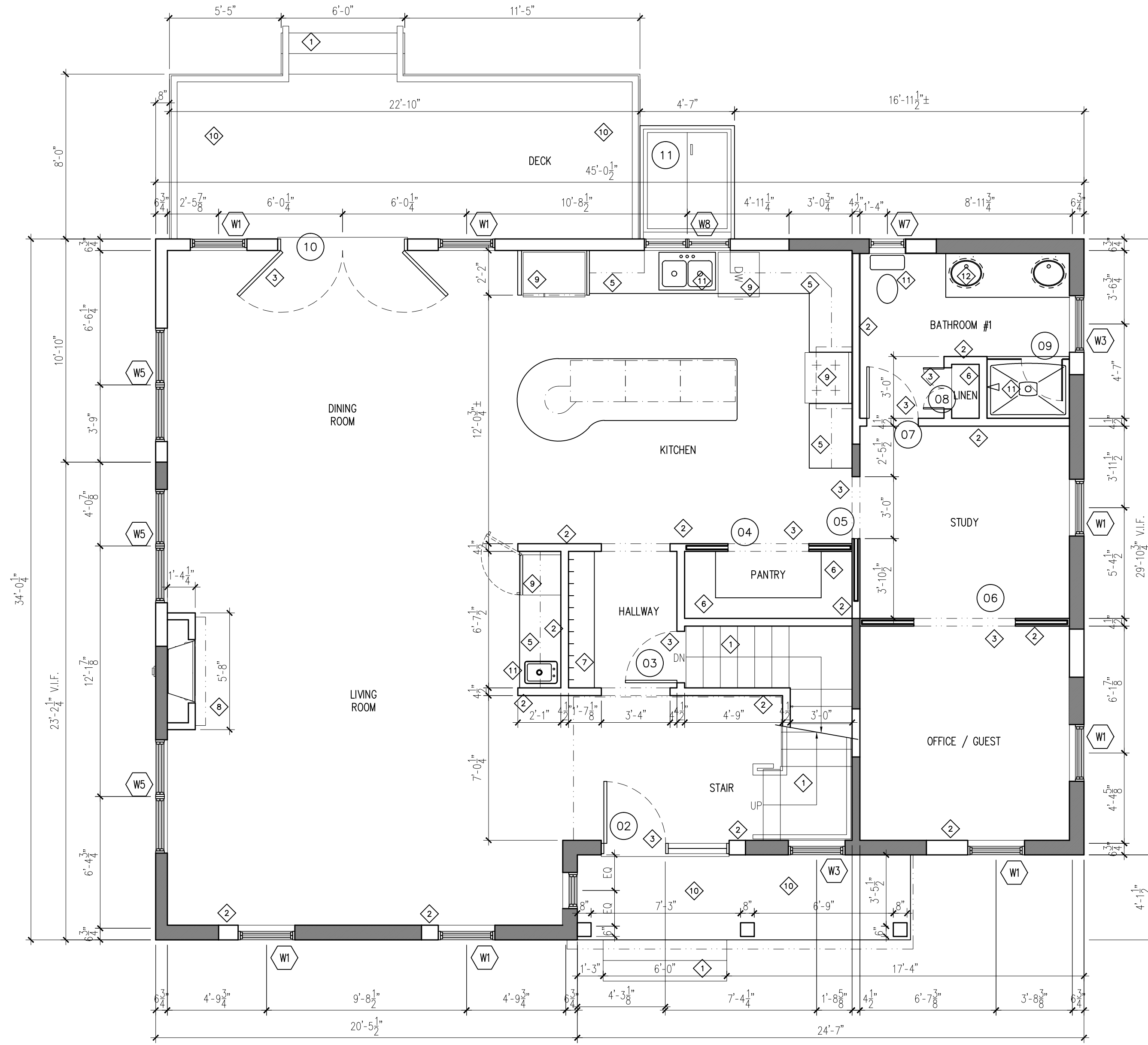
KEYED CONSTRUCTION NOTES

- 1 PROPOSED STAIRWAY  
2 PROPOSED WALL OR PARTITION.  
3 PROPOSED DOOR AND FRAME.  
4 <NOT USED>  
5 PROPOSED MILLWORK COUNTER AND CABINETS.  
6 PROPOSED SHELVING.

- 7 PROPOSED STORAGE BENCH AND WALL HOOKS.  
8 PROPOSED GAS FIREPLACE AND SURROUND.  
9 PROPOSED APPLIANCES BY OWNER.  
10 PROPOSED WOOD-FRAMED DECK.  
11 PROPOSED PLUMBING FIXTURE.  
12 EXISTING PLUMBING FIXTURES.

GENERAL CONSTRUCTION NOTES

- A. EXISTING EXTERIOR WALLS TO BE EXTENDED IN HEIGHT TO ACCOMMODATE A RAISED SECOND FLOOR.



1 First Floor Construction Plan  
A.11 SCALE: 1/4" = 1'-0"

KEYED CONSTRUCTION NOTES

- 1

PROPOSED STAIRWAY
- 2

PROPOSED WALL OR PARTITION.
- 3

PROPOSED DOOR AND FRAME.
- 4

<NOT USED>
- 5

PROPOSED MILLWORK COUNTER AND CABINETS.
- 6

PROPOSED SHELVING.
- 7

<NOT USED>
- 8

PROPOSED GAS FIREPLACE AND SURROUND.
- 9

PROPOSED APPLIANCES BY OWNER.
- 10

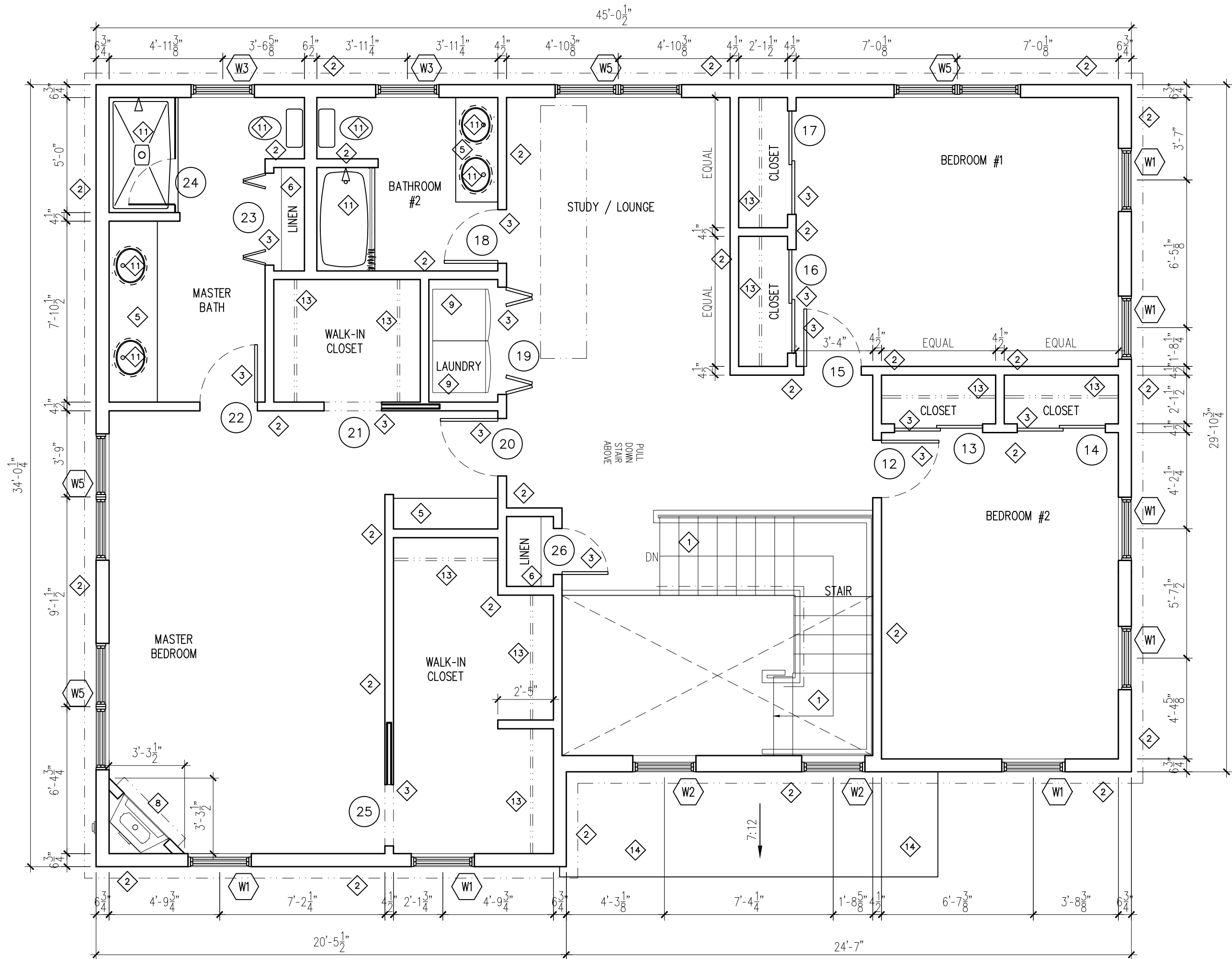
<NOT USED>
- 11

PROPOSED PLUMBING FIXTURE.
- 12

<NOT USED>
- 13

CLOSET POLE WITH SHELF ABOVE.
- 14

AREA OF ROOF BELOW.



1 Second Floor Construction Plan  
A12 SCALE: 1/4" = 1'-0"

KEYED CONSTRUCTION NOTES

- 1

PROPOSED STAIRWAY
- 2

PROPOSED WALL OR PARTITION.
- 3

<NOT USED>
- 4

<NOT USED>
- 5

<NOT USED>
- 6

<NOT USED>
- 7

<NOT USED>
- 8

<NOT USED>
- 9

<NOT USED>
- 10

<NOT USED>
- 11

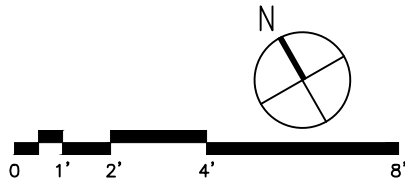
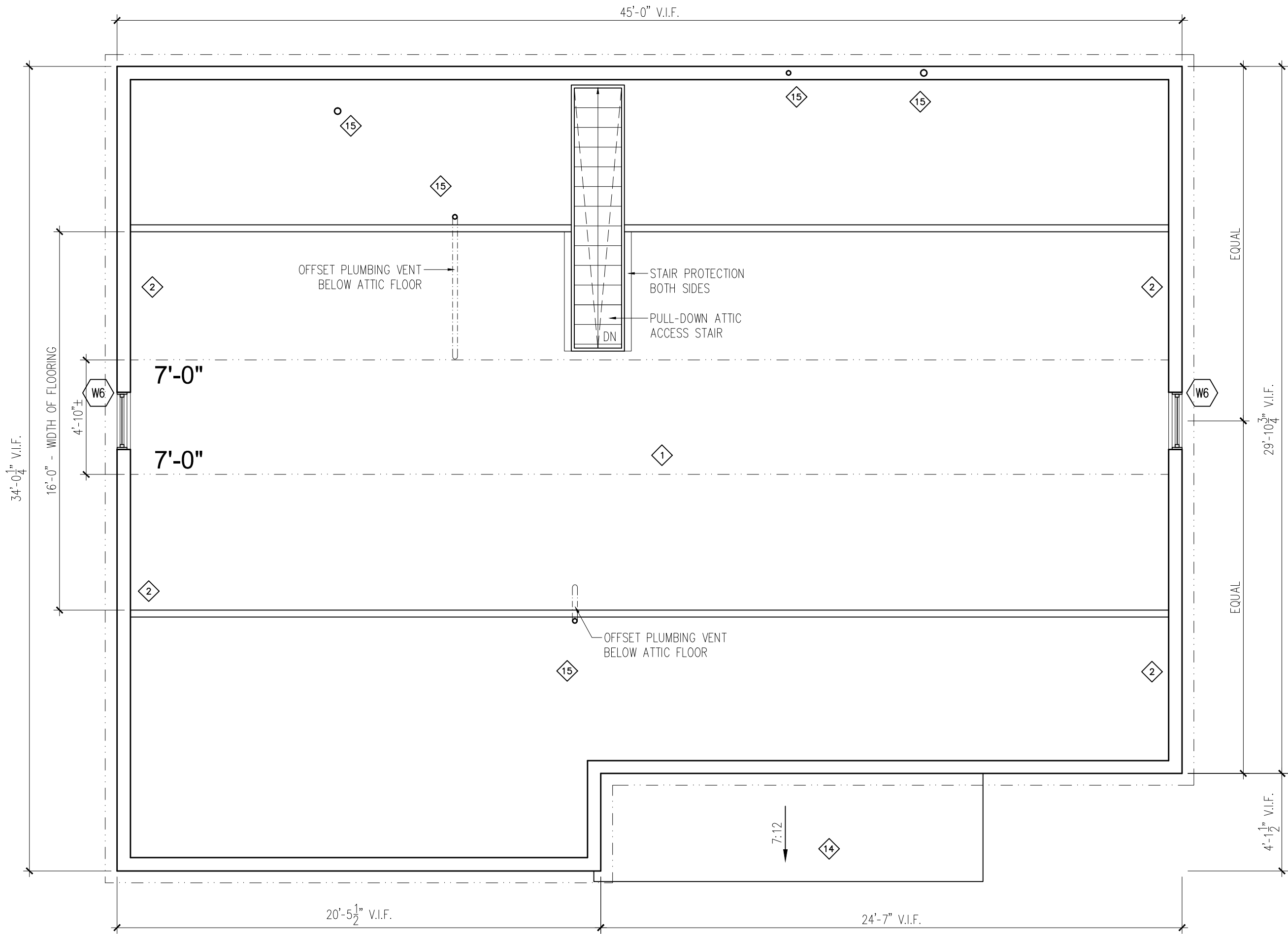
<NOT USED>
- 12

<NOT USED>
- 13

<NOT USED>
- 14

AREA OF ROOF BELOW.
- 15

PROPOSED LOCATION FOR PLUMBING VENT.



1 Attic Floor Construction Plan  
A.13 SCALE: 1/4" = 1'-0"

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Date:	22 MAR 24
File No.:	22099
Architect:	BDP
Revisions:	

Attic Floor  
Construction Plan

Client:  
**Smith Residence**  
30 Mayflower Road  
Arlington, MA 02476



A: 36 BROMFIELD STREET  
BOSTON, MA 02108  
O: 617.556.2627  
T: WWW.APPROACH3.COM

KEYED CONSTRUCTION NOTES

- 1

<NOT USED>
- 2

<NOT USED>
- 3

<NOT USED>
- 4

<NOT USED>
- 5

<NOT USED>
- 6

<NOT USED>
- 7

<NOT USED>
- 8

<NOT USED>
- 9

<NOT USED>
- 10

<NOT USED>
- 11

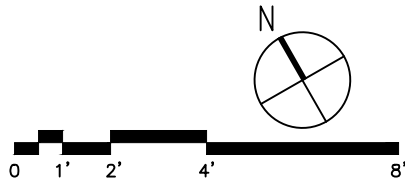
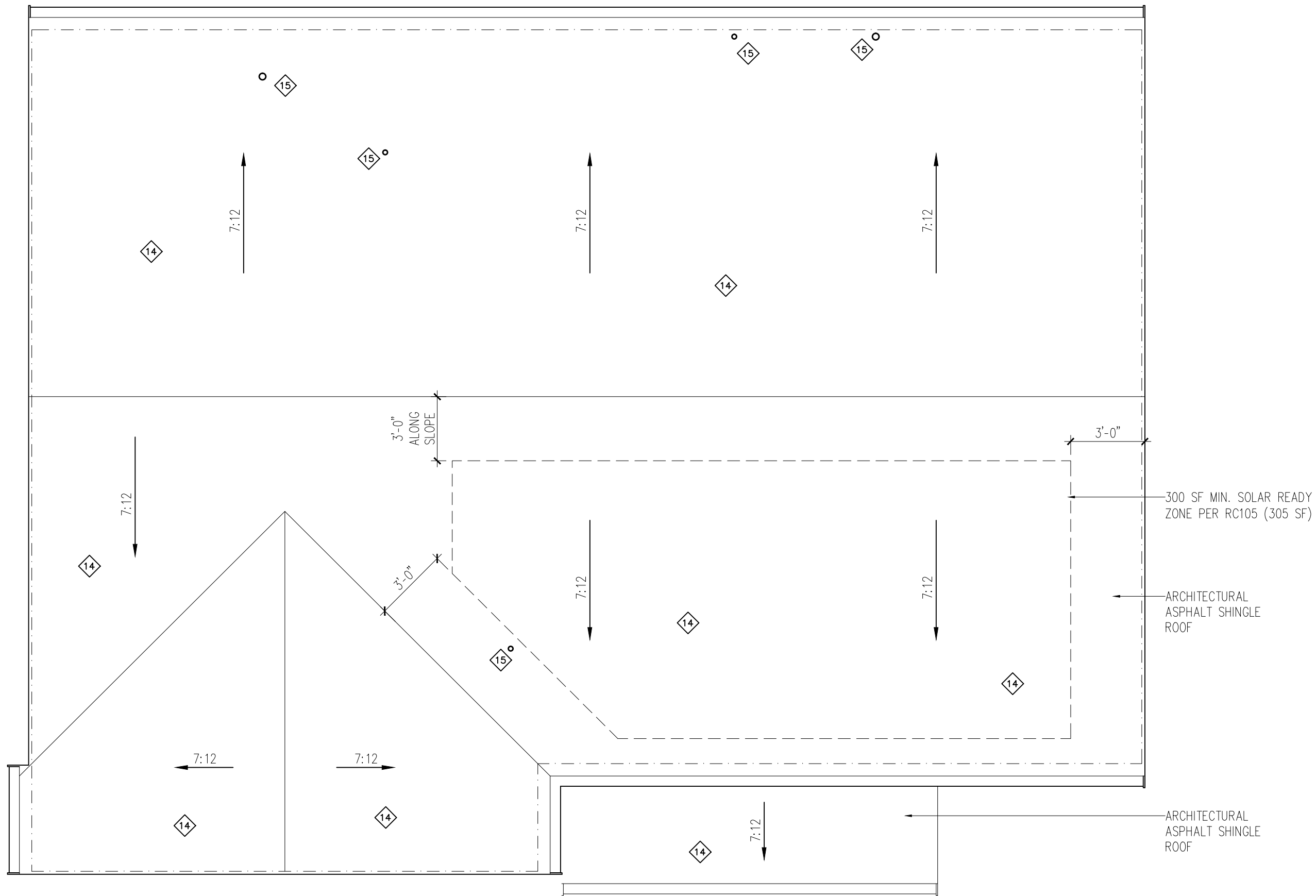
<NOT USED>
- 12

<NOT USED>
- 13

<NOT USED>
- 14

AREA OF ROOF BELOW.
- 15

PROPOSED LOCATION FOR PLUMBING VENT.



1 Roof Construction Plan  
A.14 SCALE: 1/4" = 1'-0"

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Date: 22 MAR 24  
File No. 22099  
Architect: BDP

Revisions:

Roof  
Construction Plan

Client:  
Smith Residence  
30 Mayflower Road  
Arlington, MA 02476

APPROACH<sup>3</sup>  
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A: 36 BROMFIELD STREET  
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A.14



0 Existing Front (South) Elevation  
A.31 SCALE: 1/8" = 1'-0"



1 Proposed Front (South) Elevation  
A.31 SCALE: 1/4" = 1'-0"



0 Existing Right Side (East) Elevation  
A.32 SCALE: 1/8" = 1'-0"



1 Proposed Right Side (East) Elevation  
A.32 SCALE: 1/4" = 1'-0"





0 Existing Rear (North) Elevation  
A.33 SCALE: 1/8" = 1'-0"



1 Proposed Rear (North) Elevation  
A.33 SCALE: 1/4" = 1'-0"





0 Existing Left Side (West) Elevation  
A.34 SCALE: 1/8" = 1'-0"



1 Proposed Left Side (West) Elevation  
A.34 SCALE: 1/4" = 1'-0"

April 25, 2024

Zoning Board of Appeals  
Town of Arlington

Re: 30 Mayflower Road

Dear Board of Appeals:

Please accept the following changes to the information submitted on the online special permit application for 30 Mayflower Road. The proposed attic floor area was initially reported incorrectly, which led to the gross floor area and usable open space percentage being incorrect as well.

In addition, a structural change required an increase in the building height of 4”.

Here are the corrected figures:

- Proposed Attic GFA: 218 SF
- Proposed Total GFA: 3,950 SF
- Proposed Usable Open Space (sq. ft.): 1,197 SF
- Proposed Usable Open Space (% of GFA): 30.3%
- Proposed Building Height: 31.1 FT

Revised construction drawings have been submitted. We apologize for any confusion.

Sincerely,

Approach<sup>3</sup>

April 26, 2024

Dear Zoning Board of Appeals:

I'm writing to share my support for Shannon Smith's proposed renovations to her home at 30 Mayflower Road. We have reviewed the plans, and we believe it will be a great addition to her home and our neighborhood.

Sincerely,

*Cathie + Zoren Klippner*

Address:

*26 MAYFLOWER Rd  
ARLINGTON, MA 02476*

April 26, 2024

Dear Zoning Board of Appeals:

I'm writing to share my support for Shannon Smith's proposed renovations to her home at 30 Mayflower Road. We have reviewed the plans, and we believe it will be a great addition to her home and our neighborhood.

Sincerely,

Richard M. Buddette

Address:

17 Mayflower Rd.  
Arlington, Mass.