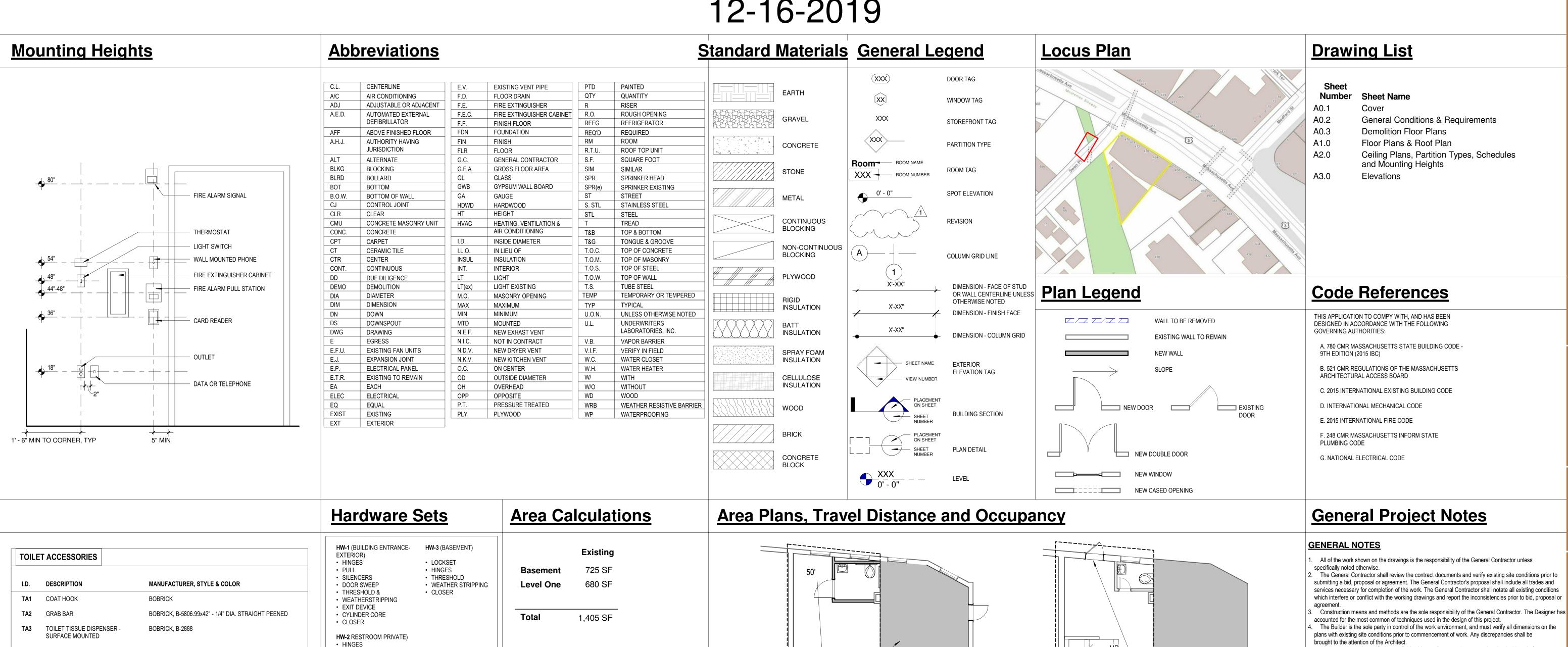
BASE BUILDING IMPROVEMENTS

476 Massachusetts Avenue, Arlington MA 02474

Permit Set

12-16-2019



| LOCKSET HINGES THRESHOLD WEATHER STRIPPING CLOSER | |
|---|--|
| | |

SIDE WALL

GRAB BAR

TOILET PAPER

DISPENSER

LOCKSET

CLOSER

GASKETS

KICKPLATES

BACK WALL

GRAB BAR

ACCESSIBLE WATER CLOSET

 VACANT INDICATOR SILENCERS

PAPER TOWEL DISPENSER 8

WASTE RECEPTACLE

TA5 SOAP DISPENSER - WALL

BOBRICK, B-3944

BOBRICK, B-165 - 1836

PAPER TOWEL SOAP

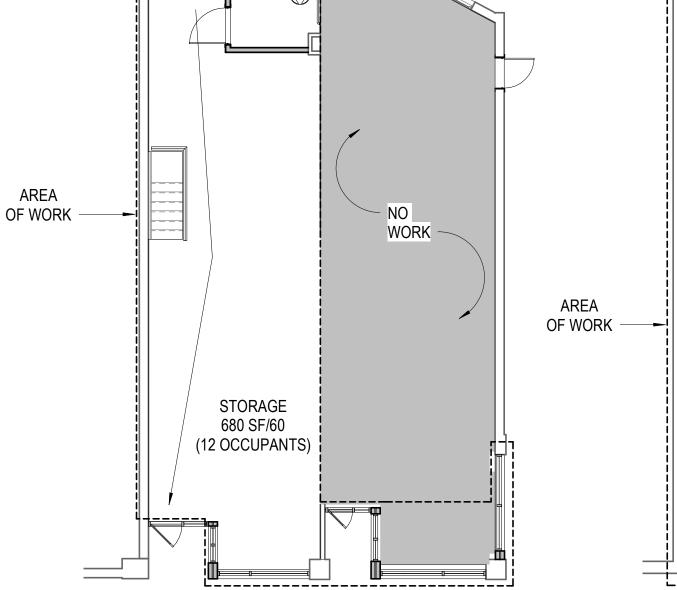
DISPENSER

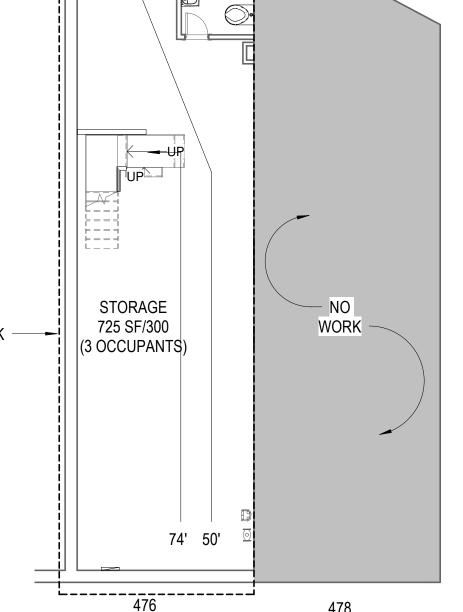
DISPENSER

MIRROR

BOBRICK

NOTE: ALL TOILET ACCESSORIES TO HAVE SATIN FINISH STAINLESS STEEL





PER IBC TABLE 1006.2.1 "M" SPACES WITH FEWER THAN 49 OCCUPANTS AND TRAVEL DISTANCE LESS THAN 75 FEET IN NON-SPRINKLERED BUILDINGS CAN HAVE ONE EXIT.

the Architect. Documents are not to be used, in whole or in part, for other projects or purposes or by any other parties other than those authorized by contract without the specific written authorization of the

Marco Realty 89 Winchester St Brookline, MA 02446

Colin Smith Architecture, Inc 1666 Massachusetts Ave. Lexington, MA 02420 781.274.0955

4 a \geq

- The General Contractor shall review the contract documents and verify existing site conditions prior to submitting a bid, proposal or agreement. The General Contractor's proposal shall include all trades and services necessary for completion of the work. The General Contractor shall notate all existing conditions which interfere or conflict with the working drawings and report the inconsistencies prior to bid, proposal or
- 5. All dimensions to be verified in the field, with any discrepancies reported to the Architect before
- proceeding with the work. Do not scale these drawings. If a discrepancy is found, the General Contractor is to contact the designer for interpretation of intent prior to commencement of work. All work shall be performed by licensed tradesmen according to all applicable local, state and federal laws, codes and
- 6. All materials and construction assemblies shall conform to all applicable manufacturers specifications, installation and performance standards.
- All new construction shall comply with the Massachusetts Energy Code. Alteration/ renovation work requires that certain assumptions be made regarding existing conditions,
- and because some of these assumptions can not be verified without great expense and / or destroying serviceable portions of the building, the Architect shall not be responsible for any
- unforeseen conditions including any hazardous material. 9. Unless otherwise shown or noted, all details are considered to be typical and shall be used where
- 10. Safety measures: At all times the General Contractor shall be solely and completed responsible for
- the conditions of the job site, including safety of the persons and property, and for all independent engineering reviews of these conditions. The Architect's or Engineer's job site reviews are not intended to include review of the General Contractor's safety measures.
- 1. Plans, notations and details are hierarchical. Highly detailed drawings take precedence over lower detailed drawings. Notations take precedence of graphical drawings. 2. Where mechanical, electrical, plumbing or specialty drawings are prepared by the Builder or the Builder's sub-contractor, the drawings shall be considered shop drawings and shall be submitted to
- the Designer for review prior to submittal to the building department and/or commencement of work. The Designer retains the right to reject shop drawings not in conformance with the design intent.

ADDITIONAL TERMS OR CONDITIONS

The General Contractor must notify the Owner in writing of any additional terms, qualifications, or conditions with their bid, as such claims will not be considered after that time.

OWNERSHIP OF DOCUMENTS

The construction documents as instruments of professional service are and shall remain the property of

SHEET ISSUED: 12/16/2019 As indicated DRAWN BY: PROJECT #: 2018-40A

SHEET NUMBER

1. See "Request for Proposal (Construction)" & "GC Proposal Form" under separate

AGREEMENT FORM SHALL ADDRESS: (AIA CONTRACT PREFERRED)

- The contract documents
- The work of this contract
- 3. Relationship of the parties 4. Date of commencement and substantial completion
- Contract sum
- 6. Changes in the work (Additional work or change orders shall be reviewed by owner & architect prior to order & install and shall be capped with a 15% markup by GC.)
- 7. Costs to be reimbursed
- 8. Costs not be reimbursed (Change orders as approved by the Owner.)
- 9. Discounts, rebates, and refunds (Shall be credited to the Owner.)
- 10. Subcontracts and other agreements Accounting records
- Payments
- 13. Dispute resolution
- 14. Termination or suspension
- 15. Miscellaneous provisions 16. Enumeration of contract documents
- 17. Insurance Contractor (GC & subs) shall carry insurance appropriate for the nature of project. 18. All agreements between the Builder and sub-contractors shall be in writing. The Owner shall receive a copy of all
- 19. All agreements shall spell out the duties and responsibilities of each party including finish tolerances or shall reference
- 20. All agreements shall be lump-sum fixed fee agreements and shall include all components necessary for an occupyable structure whether the components are referenced in the drawings or not.
- 21. The Builder and all sub-contractors shall be fully licensed and bonded for the work for which they are responsible. Proof of licensure shall be provided to the Owner prior to execution of the agreement.

REQUEST FOR INFORMATION (RFI) FORM

1. Any questions regarding the interpretation of the drawings and specifications shall be directed to the Architect in writing.

SUMMARY

PROJECT DESCRIPTION.

1. Contractor shall identify and abate hazardous materials as required by state and federal regulations.

<u>DEFINITIONS – OWNER, GENERAL CONTRACTOR, AND ARCHITEC</u>

- The terms "Builder" shall be the same as "General Contractor". The "Builder" is the party responsible for the "Work" and for which a prime contract is written with the "Owner". Sub-contractors shall answer to the "Builder".
- 2. The term "Architect" where referenced in third party documents shall mean "CSA". 3. The term "Owner" shall mean the prime party responsible for payments to the "Builder" and "CSA". The term may or may not
- refer to the legal owner of the property for which the structures will be erected. 4. The term "Work" shall mean all labor, transportation, material, equipment, tools, installation, systems, supervision and any other incidental items or services necessary for the proper execution of the project and a completed structure ready for human occupancy whether or not specifically indicated or noted. "Work" shall also include any demolition or repair required
- as a process of the construction. 5. The term "provide" shall mean furnish and install, make all final connections and leave in an approved complete operating
- 6. The term "contract documents" shall mean all drawings & specifications or correspondence issued by the Designer or the
- 7. Any term not defined shall be first referenced in accordance with standard AIA Owner-Contractor agreement & also general conditions for the contract for construction and second by Webster's Unabridged Dictionary.

1. The Owner reserves the right to perform work during constrcution and shall coordinate with the builder.

1. The owner and builder shall agree to work hours, utility shutdowns and project phasing should an area be occupied by the owner during construction.

2. Smoking, improper dress and foul language is prohibited on site.

<u>ALTERNATES</u>

1. The term "alternates" shall be those items submitted at the time of bid which provide another option for the Owner to consider

- Alternates must be approved prior to acceptance of bid. Alternates may increase the overall cost of the project.
- 2. Builder may submit (1) mid level and (1) upper level alternate to each material or product as a separate line item in the proposal. Alternates shall not be allowed where a specific product is noted in the contract documents unless such product is no longer available from the manufacturer.
- 3. Alternates shall have greater value than the product in the base bid. Builder warrants that alternates will not require any other deviations from the contract documents and that alternates meet or exceed all requirements of the drawings. 4. See bid form for additional information.

PRODUCT SUBSTITUTION PROCEDURES

1. The term "substitution" shall mean those items a Builder wishes to change from the original contract documents.

- shall be approved prior to installation. Substitutions shall not increase the overall cost of the project.
- 2. Substitutions shall have equal or greater requirements than the product they are replacing. Builder warrants that

will not require any other deviations from the contract documents and that substitutions meet or exceed all requirements.

PAYMENT PROCEDURES 1. Submit progress payments with AIA G702 "Application for Payment" and AIA G703 "Schedule of Values" to Architect for

approval. Provide a lien waiver from all subs and GC prior to certificate of occupancy and final payment request. (See General Note #5)

PROJECT MANAGEMENT AND COORDINATION

- 1. Builder shall properly plan the work and coordinate all trades as required to meet the project schedule.
- Builder shall not communicate directly with Engineers and/or consultants without knowledge of CSA. 3. Builder shall hold team project meetings at the appropriate times during the job to ensure questions are answered.
- 4. Builder shall collect RFI's from sub-contractors & submit to Architect. Sub-contractors shall not communicate directly with

CONSTRUCTION PROGRESS DOCUMENTATION

- 1. Survey Layout, provided by Builder/Contractor
- 2. Scheduling of the work, provided by Builder/Contractor 3. Construction progress photographs, provided by Builder/Contractor

SUBMITTAL PROCEDURES

- SUBMITTAL COORDINATION . Approval of shop drawings by the Architect does not relieve the Builder of the responsibility for complying with all
- requirements of the contract documents. 2. When shop drawings are required, no part of the structure or component shall be constructed where related to the shop drawings until reviewed by the Architect / Engineer.
- 3. No cost shall be attributed to the Owner, Architect or Engineers for a Builder's failure to comply with shop drawing procedures.

SUBMITTAL PROCEDURES

By submitting shop drawings to the Architect / Engineer, the Builder warrants that they have reviewed the shop drawings, coordinated the shop drawings with all related trades, verified all dimensions with actual field conditions, confirmed quantities, performance requirements and fabrication processes.

Builder shall submit all required shop drawings to allow sufficient time in construction schedule for review, revision and approval of shop drawings with 10 day review period. Architect / Engineer is not responsible for delays or costs caused by inaccurate or incomplete shop drawings.

SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES

- Builder shall take special note. Neither the Architect nor Owner is in control of the job site environment and therefore not responsible for dimensions shown on shop drawings whether the shop drawings are stamped "approved" or not. 2. Review of shop drawings by the Architect / Engineer is soly for conformance with the design concept of the project and
- for compliance with information already given in the contract documents. 3. This project requires shop drawings be submitted and reviewed by the Architect / Engineer. Shop drawings must be reviewed by the Builder prior to submittal to the Architect / Engineer. The term "shop drawings" also includes
- manufacturers specifications "cut sheets". By submitting shop drawings to the Architect / Engineer, the Builder warrants that they have reviewed the shop drawings, coordinated the shop drawings with all related trades, verified all dimensions with actual field conditions, confirmed quantities and performance requirements and for fabrication processes.
- 4. Review of shop drawings by the Architect / Engineer is solely for conformance with the design concept of the project and for compliance with information already given in the construction documents. Approval of shop drawings by the Architect does not relieve the Builder of the responsibility for complying with all requirements of the contract documents.
- 5. When shop drawings are required, no part of the structure or component shall be constructed where related to the shop drawings until after the shop drawings have been reviewed and approved. It is the Builder's responsibility to plan ahead and allow time for shop drawing creation, review, revision and approval. Architect is not required to review unsolicited shop drawings. Unsolicited shop drawings will be returned without review or comment. Architect shall not be responsible for delays caused by a builders failure to plan.
- 6. The shop drawings required (pdf) for this project are as follows:
- a. Structural frame & precut lumber b. Windows
- c. Doors
- . Millwork 7. The submittals required (pdf) for this project are as follows:
- a. Appliances b. Light fixtures
- c. Plumbing fixtures
- d. Equipment e. HVAC registers
- Control switches g. Hardware
- h. Stone & Tile MANUFACTURER'S INSTRUCTIONS

Install per manufacturer's instructions.

MANUFACTURER'S CERTIFICATES 1. Provide to Owner.

EMERGENCY CONTACTS 1. Provide information to Owner, Architect and all subs.

REGULATORY REQUIREMENTS

- 1. The work delineated in these drawings and described in the specifications shall conform to all codes, standards, and regulations that have jurisdiction in the state of Massachusetts and the city/town where the project is located. 2. All work shall be conducted by the builder in accordance with the latest adopted editions of building codes as of the date
- the permit is issued for this project. Builder shall report any discrepancies between current code and the drawings or specifications to the Architect prior to work. 3. All permits and fees shall be the responsibility of the Builder.
- 4. Builder shall schedule and coordinate all inspections. Architect and Owner shall be notified in advance of inspections to
- enable the Architect and Owner to be present if desired. 5. The Contractor shall obtain and pay for all permits required to perform the work under this contract. The Contractor shall secure all certificates of inspection, and certificate of occupancy as required by all authorities having jurisdiction over the work, and shall deliver same to the Owner. The Contractor shall provide a lien waiver from all subcontractors prior to C.O. and receiving final payment. The contractor shall perform all work in conformance w/ state, federal, or local codes, laws or regulations or standards of all such authorities having jurisdiction over the work.

UTILITIES NOTIFICATION

1. Builder shall coordinate all utility requirements as regruied to perform the work. Cap and "make-safe" as needed. "Dig Safe" jobsite.

REFERENCES

- All work shall be in accordance with industry standards. Industry standards shall be as determined by manual or handbook of the primary association of each trade. The manuals shall include, but not be limited to
- 1. ABAA Air Barrier Association Of America
- 2. ACI American Concrete Institute 3. AISC - American Institute Of Steel Construction
- 4. ANSI American National Standards Institute 5. AITC - American Institute Of Timber Construction
- 6. ASHRAE American Society Of Heating, Refrigeration, And Air Constitutioning 7. ASTM - American Society For Testing & Materials
- 8. AWI American Woodwork Institute
- 9. AWPI American Wood Preservers' Association
- 10. BIA Brick Industry Association
- 11. CDA Copper Development Association
- 12. GANA Glass Association Of North America
- 13. KCMA Kitchen Cabinet Manufacturer's Association 14. NAAMM - National Association Of Architectural Metal Manufacturer's
- 15. NFPA National Fire Protection Assocaiton 16. SSPC - Society Of Protective Coatings
- 17. SWRI Sealant, Waterproofing & Restoration Institute
- 18. UL Underwriters' Laboratories, Inc.
- 19. WDMA Window & Door Manufacturers Association 20. WWPA - Western Wood Products Association

QUALITY CONTROL & MOCK-UPS

- 1. The Builder and all sub-contractors shall have a minimum of 10 years experience in residential construction of the trade for
- which they are contracted. 2. The Builder shall exercise site safety at all times and guarantee that all workers are qualified in the work they are
- performing and have been properly trained in safety measures.
- 3. Care should be taken to protect adjacent areas and landscape from dust and damage during demolition and debris
- 4. The mock-ups required for this project are as follows.
- b. Stone veneer
- c. Stained wood d. Paint colors
- e. Cabinet doors & frames

a. Exterior & interior trim

TEMPORARY FACILITIES AND CONTROLS

- 1. Owner shall permit GC to use, at no cost, power, gas and water necessary to carry out completion of work.
- 2. General Contractor to provide the following at no additional expense to the Owner: a. Dumpsters & portable toilet facilities throughout course of construction.
- b. Temporary utilities
- Construction facilities. d. Temporary construction.
- e. Construction aids.
- Vehicular access and parking. g. Temporary barriers and enclosures.
- Site and environment controls. Fire prevention measures & extinguishers
- Security measures.
- Project identification and temporary signage. I. Removal of temporary utilities, controls, and facilities.\ m. Erosion control.

TEMPORARY TREE AND PLANT PROTECTIONS

1. Contractor shall protect all landscaping within the area of work, or remove, store and reinstall at no expense to the Owner.

PRODUCT REQUIREMENTS

- 1. All materials shall be of new unless otherwise noted. Do not store in direct contact with ground. 2. Install per manufacturer's recommendations/requirements.
- 3. It is the intent of the designer to provide flexibility to the Owner in the selection of fixtures and finishes. Architect does not
- select specific manufacturers of products or fixtures unless such product has a specific design requirement or intent. Where a specific product is specified, no substitutions or alternates will be allowed without prior approval of the Architect.

EXECUTION

- 1. Examination of existing conditions and acceptance of conditions.
- 2. Project preparation: within 10 days of award of the contract for construction builder shall provide to Owner and Architect: Copy of all agreements with sub-contractors along with the sub-contractors name, address & telephone number &
- contact person. b. Copy of all product specifications for products used in construction.
- c. Copy of Builder's license, insurance certificates (including construction and slls), and bond certificate. d. Copy of construction project schedule using "critical path method" broken down by trade and material installation. Contractor
- schedule shall be updated bi-monthly and a copy of the schedule shall be provided to the Owner and Architect. 3. Surveying and field engineering: GC shall retain the services of a professional land surveyor in locating the construction on

shall build in float time and delays, and shall include early-start / early-finish and late-start / late-finish dates. Project

- the lot and submitting an "as-built" plan to the city/town for C.O. 4. Execution of the work: Builder shall have a safety program in place and shall be soly responsible for the implementation of such policy.
- 5. Cleaning. a. GC shall keep jobsite orderly, clean and safe at all times.
- b. Broom sweep and hepa vacuum work areas once weather tight. 6. Building flushout.
- Protecting installed work. 8. Faulty or defective work shall be replaced at no cost to the Owner

CUTTING AND PATCHING

1. Perform all cutting, altering, patching, and fitting of the work (new and existing) as necessary for the work and the existing improvements. Fully integrate with existing and new construction, all cutting, alterations and patching, to present the visual appearance of an entire, completed, and unified project.

CLOSEOUT PROCEDURES & SUBMITTALS

- 1. Prior to requesting initial Architect's inspection for certification of substantial completion, submit to the Architect a full and
- complete list of all incomplete work items (Contractor's punch list). 2. Builder shall keep and maintain as-built drawings of the construction at the project site in professional and readable manner. As-built drawings shall be given to the Owner at substantial completion. Final payment to the builder shall not be
- made until as-built drawings are received. 3. Review HERS rater blower door test report and comply with any recommendations given to secure an acceptable pass
- rating, if required. 4. Provide a release of lien waivers.
- 5. Submit record drawings and warranty information for all equipment.
- 6. Builder shall submit in neatly bound 3 ring binders, product specifications of each product to be used in the construction. Builder shall submit (1) binder to Architect and (1) Binder to owner. Complete all punch list items.
- Professionally clean entire house. 9. Deliver to owner and obtain receipts for:
- a. Operation and maintenance manuals for items so listed in individual sections of the specifications, and for other items when so directed by the Architect.
- b. Warranties and bonds specified in individual sections of the specifications. c. Keys and keying schedule.

e. List of subcontractors, service organizations, and principal vendors, including names, addresses, and telephone

numbers where they can be reached for emergency service at all times including nights weekends, and holidays.

d. Spare parts and materials extra stock.

- WARRANTIES
- 1. Provide 1-year builder warranty from date of final payment for all labor, materials and equipment. 2. All materials and workmanship shall be warranted for a minimum of 1 year from the date of substantial completion unless

DEMONSTRATION AND TRAINING

1. Builder or appropriate subcontractor shall demonstrate the operation of all equipment to the owner, it's seasonal operating adjustments and maintenance requirements & scheduling.

otherwise noted. The warrantee shall include the cost of materials, labor and any cost associated with the repair.

3. Manufacturers warranties shall be the property of the owner and shall be transferred to the owner upon substantial

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ARCHITECT

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SCALE: 12" = 1'-0" DRAWN BY: PROJECT #: 2018-40A

SHEET NUMBER

GENERAL DEMOLITION NOTES

CONTRACTOR TO SHORE, BRACE AND PROTECT ALL EXISTING STRUCTURE, WALLS, EQUIPMENT, FINISHES, ETC. TO REMAIN AS NECESSARY THROUGHOUT WORK; CONTRACTOR SHALL PLACE PROTECTIVE PLASTIC OVER FLOOR FINISHES WHERE WORKERS

TRAVEL

2. CONTRACTOR TO COORDINATE UTILITY LOCATION, SERVICE INTERRUPTION, PERMITS AND APPLICATIONS, ETC. WITH APPROPRIATE UTILITY COMPANIES PRIOR TO THE START OF ANY WORK. CAP AND PROTECT SERVICE LINES FOR POSSIBLE REUSE. PROTECT ALL PANELS, METERS, ETC. TO BE RELOCATED OR TO REMAIN.

3. CONTRACTOR TO VERIFY ALL CONDITIONS BEFORE PROCEEDING

WITH THE DEMOLITION WORK IN ANY AREA. DEMOLITION OF DOORS, WINDOWS, MILLWORK, FINISHES, PARTITIONS, OR ANY OTHER NON-STRUCTURAL ITEM MAY PROCEED AS INDICATED. WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT AND RECEIVE INSTRUCTIONS BEFORE PROCEEDING IN THE AFFECTED AREA.

4. ALL RUBBISH AND DEBRIS DUE TO DEMOLITION SHALL BE PROMPTLY REMOVED FROM SITE AND DISPOSED OF PROPERLY.

THE STORAGE OR SALE OF ANY SALVAGED MATERIALS ON SITE IS PROHIBITED.

5. CONTRACTOR TO PROVIDE SECURITY FENCING, PARTITIONS, LIGHTING, ETC. TO ADEQUATELY PROTECT THE PROPERTY AND SAFEGUARD PEDESTRIAN AND/OR VEHICULAR TRAFFIC FROM

INJURY OR DAMAGE ON OR IN THE IMMEDIATE VICINITY OF THE SITE DURING CONSTRUCTION.

6. ANY COLUMNS, BEAMS, ETC. STEEL OR OTHERWISE, UNCOVERED DURING THE DEMOLITION OF BEARING WALLS SHALL REMAIN IN PLACE. THE ARCHITECT SHALL IMMEDIATELY BE CONTACTED FOR

DURING THE DEMOLITION OF BEARING WALLS SHALL REMAIN IN PLACE. THE ARCHITECT SHALL IMMEDIATELY BE CONTACTED FOR INSTRUCTION AND RESOLUTION.

7. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE SALVAGE OF LIGHT FIXTURES, FURNISHINGS, DOORS, AND

MISCELLANEIOUS EQUIPMENT AT THE OWNERS REQUEST. ITEMS

TO BE STORED AND PROTECTED BY CONTRACTOR.

8. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL DEMOLITION NOTES AND INFORMATION.

9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES
AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT
THE OWNER'S PERSONNEL, OTHER TENANTS, AND GENERAL
PUBLIC FROM INJURY, NOISE, ACTIVITY, DUST AND DEBRIS DUE TO
DEMOLITION WORK.

10. THE CONTRACTOR SHALL ENSURE THAT DEMOLITION WORK DOES NOT INTERFERE WITH OR PROHIBIT THE CONTINUED OCCUPATION OF ADJACENT OPERATIONS WITHIN THE STRUCTURE. THIS INCLUDES BUT IS NOT LIMITED TO THE SELECTIVE DEMOLITION OF PARTITIONS, ELECTRICAL AND MECHANICAL SYSTEMS. THE CONTRACTOR SHALL INFORM THE OWNER A MINIMUM OF 72 HOURS BEFORE DEMOLITION THAT WILL EFFECT NORMAL OPERATION OF THE BUILDING.

11. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION
AND EQUIPMENT TO REMAIN. THE CONTRACTOR SHALL REPAIR
DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION
WORK

12. CONTRACTOR SHALL PROTECT ALL EXISTING AREAS FROM WEATHER DURING DEMOLITION.

13. FOR ALL NEW OR MODIFIED OPENINGS IN EXISTING TO REMAIN MASONRY WALLS, THE CONTRACTOR SHALL PROVIDE AND INSTALL LOOSE LINTEL SUPPORT AS REQUIRED. REFER TO DRAWINGS.

14. AT LOCATIONS OF MASONRY WALL DEMOLITION INDICATED ON THE DRAWINGS WHERE EXISTING PORTION IS TO REMAIN, THE CONTRACTOR SHALL CUT MASONRY WALLS AT CLOSEST MORTAR JOINT TO PROVIDE FOR TOOTH-IN CONDITION OF NEW AND

EXISTING MASONRY SIZE, TYPE, COURSING AND FINISH. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING

ALL MATERIAL.

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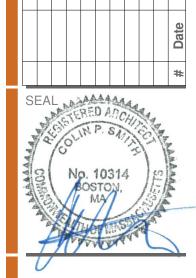
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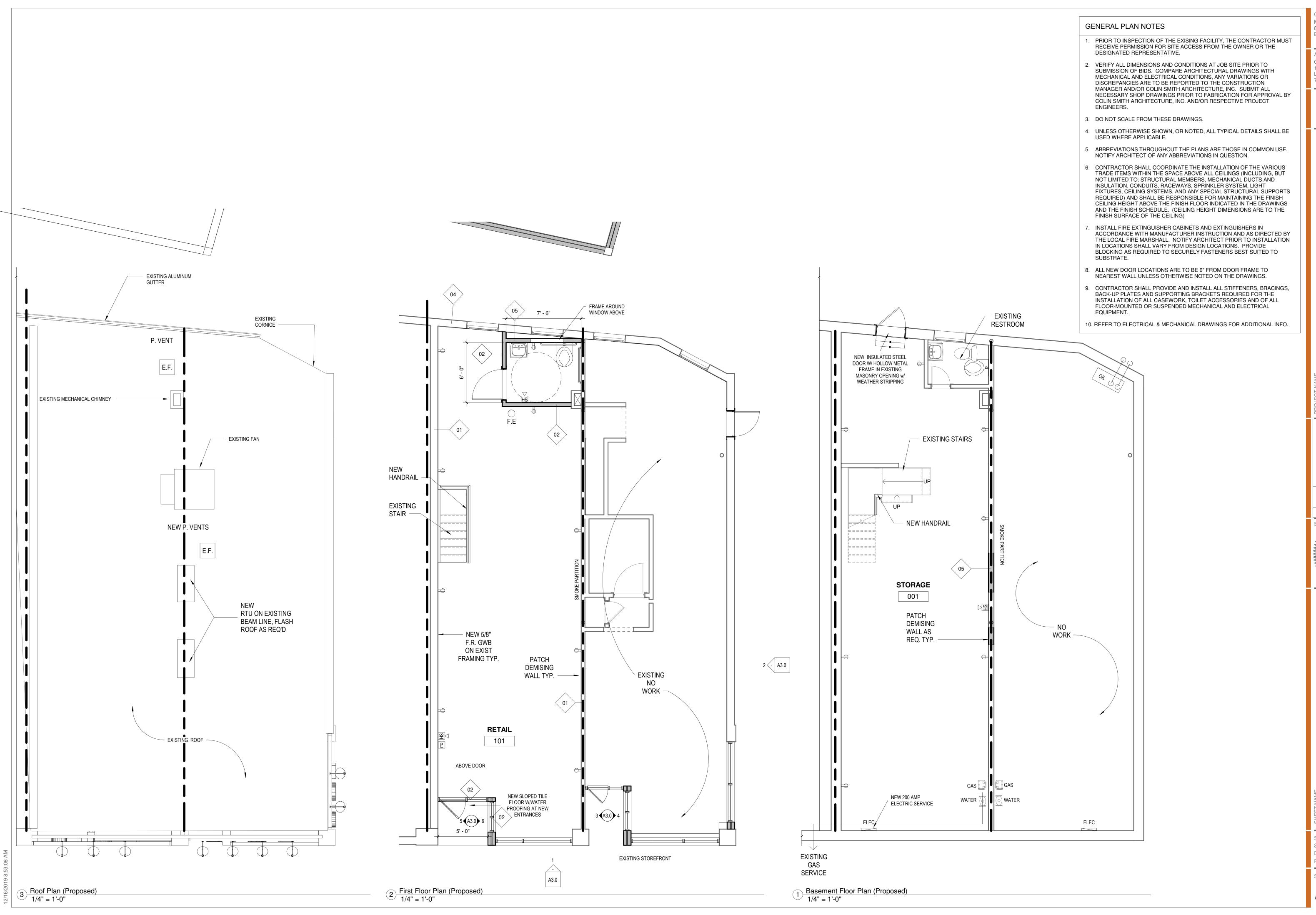
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Marco Realty
89 Winchester St
Brookline, MA 02446

ARCHITECT
Colin Smith Architecture, Inc.
1666 Massachusetts Ave.
Lexington, MA 02420
781.274.0955

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Floor Plans & F

SHEET ISSUED:12/12/2019
SCALE: As indicated
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A1.0



Emergency Light

Emergency Pull Handle

Horn Alarm

Exit Sign

PARTITION TYPES GENERAL NOTES

- 1. UNLESS OTHERWISE NOTED, ALL PARTITIONS SHALL BE TYPE 02A. ALL EXISTING PARTITIONS SHALL BE VERIFIED BY GC THAT THEY EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE.
- 2. UNLESS OTHERWISE NOTED, ALL NEW PARTITIONS RUN TO UNDERSIDE OF DECK ABOVE. FRAME NEW PARTITIONS AROUND OPEN WEB JOISTS TO DECK
- 3. TOILET ROOMS ARE TO HAVE CEMENTITIOUS BOARD UNDER ALL TILE AND MOISTURE RESISTANT BOARD IN ALL OTHER AREAS. IF A PARTITION TYPE CALLS FOR MULTI-LAYERS OF BOARD, ADDITIONAL LAYERS SHALL BE MOISTURE RESISTANT. WALLS WHERE ONLY A TILE BASE IS TO BE INSTALLED SHALL BE MOISTURE RESISTANT BOARD I.L.O CEMENTITIOUS BOARD.
- 4. ALL SPACES SHALL HAVE PARTITIONS WITH SOUND ATTENUATION BATTS. REFER TO PARTITION TYPES.
- 5. IN PARTITIONS, WHERE SOUND ATTENUATION BATTS ARE REQUIRED, ACOUSTIC SEALANT SHALL BE INSTALLED BETWEEN GWB AND STRUCTURE, TOP AND BOTTOM, AND AT ALL PENETRATIONS. THE INTENT IS TO PROVIDE A COMPLETE ACOUSTIC SEAL FOR THE
- 6. ALL JOINTS SHALL BE TAPED AND COVERED WITH JOINT COMPOUND. ALL SCREW HEADS SHALL BE COVERED WITH JOINT COMPOUND.
- 7. ALL PARTITIONS SHALL HAVE SLIP TRACKS WHERE STUDS ARE ATTACHED TO THE UNDERSIDE OF THE ROOF, FLOOR AND/OR SUPPORTING STRUCTURE.
- 8. STUDS TO BE 25 MSG CORROSION PROTECTED STEEL @ 16" O.C., CUT 3/8" TO 3/4" LESS THAN ASSEMBLY HEIGHT. RUNNER CHANNELS TO BE 25 MSG CORROSION PROTECTED STEEL TOP & BOTTOM FASTENED @ 24" O.C. MAX.
- 9. REFER TO UNDERWRITERS LABORATORIES, INC. FOR ADDITIONAL INFORMATION AND REQUIREMENTS ON RATED PARTITIONS.
- 10. SMOKE PARTITIONS TO BE CAULKED AT JOINTS TO DISIMILAR MATERIALS.

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ARCHITECT Colin Smith Architecture, Inc.

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PARTITION SPECIFICATIONS

- 1. BOARD-TYPE INSULATION AT EXTERIOR WALLS A. Extruded-Polystyrene Board Insulation. Comply with ASTM C 578, Type X. 1. Manufacturer: Foamular 250 by Owens Corning or
- 2. Compressive Strength, ASTM C 578: 15 pounds per
- square inch, minimum. 3. Thickness: 2 1/2" unless otherwise noted on the
- 4. Board Edge: Square. 2. SOUND ATTENUATION BATTS
- A. Unfaced glass fiber acoustical insulation complying with ASTM C 665, Type I. 1. Manufacturer: Sound Attenuation Batts by Owens Corning or Equal.
- 2. Thickness: Varies, refer to drawings.

SHEET NUMBER

SHEET ISSUED:12/12/2019

PROJECT #: 2018-40A

As indicated

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FIRST FLOOR EL 478 RECESSED ENTRANCE

FLEXIBLE CAULK -

FLASHING OVER

BRICK TILE BASE

EXISTING 476

478 RECESSED ENTRANCE

NEW BRICK VENEER W/ TIES

& EXTERIOR WALL FRAMING

— & WEEPS ON CEMENT

EXISTING 476

FIRST FLOOR EL

476 RECESSED ENTRANCE

FOR

EXISTING 476

FIRST FLOOR EL

FLEXIBLE CAULK

NEW BRICK VENEER W/ TIES — & WEEPS ON CEMENT & EXTERIOR WALL FRAMING FRAME TYPE B EXISTING 476

476 RECESSED ENTRANCE

RECESSED ENTRY FLOOR ASSEMBLY: - NEW (LOWERED) WOOD JOISTS - PLYWOOD SHEATHING - CEMENTBOARD - WATERPROOFING MEMBRANE AXX - ADA COMPLIANT SLOPED SETTING BED - TILE & GRANITE TREAD STOCK SQUARE MOSAIC TILE ADDRESS PANEL - SQUARE BORDER MOSAIC TILE OCTAGONAL MOSAIC FIELD TILE - 12" FLUSH GRANITE TREAD STOCK THE PROPERTY OF THE PROPERTY O CONCRETE SIDEWALK

STOREFRONT ENTRY TILE PATTERN PLAN

Marco Realty 89 Winchester St Brookline, MA 02446

ARCHITECT Colin Smith Architecture, Inc. 1666 Massachusetts Ave. Lexington, MA 02420 781.274.0955

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Elevation

SHEET ISSUED: 12/12/2019 SCALE: 1/4" = 1'-0" DRAWN BY: PROJECT #: 2018-40A

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