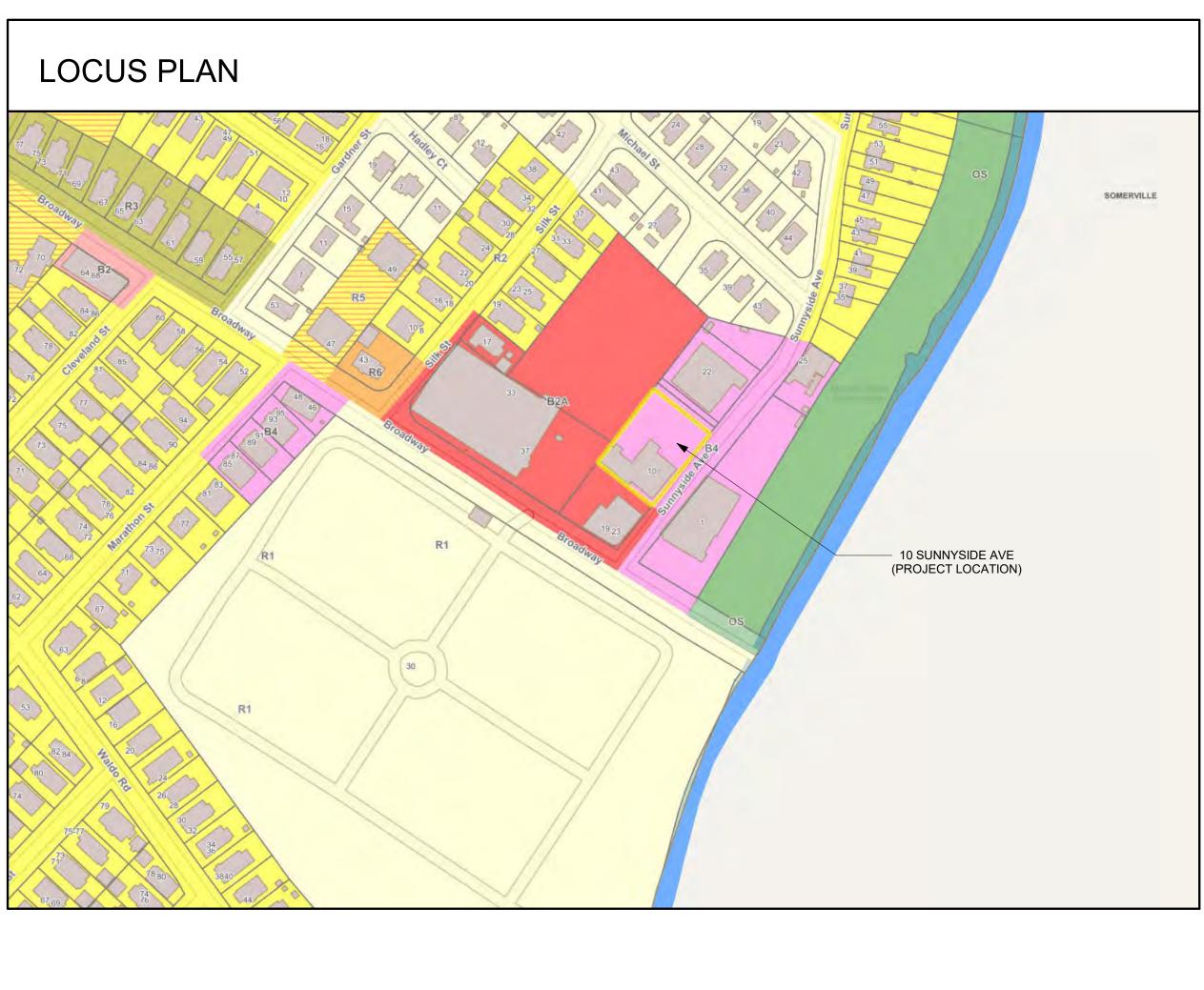


# **SUBMISSION TO TOWN OF ARLINGTON** 12-08-2020



# **PROJECT: COLUMN HEALTH OFFICES & RESIDENTS**

PROJECT ADDRESS: **10 SUNNYSIDE AVENUE** ARLINGTON MASSACHUSETTS

<u>ARCHITECT</u> <u>CLIENT</u> KHALSA DESIGN INC. COLUMN HEALTH LLC 17 IVALOO STREET, SUITE 400 339 MASSACHUSETTS AVE SOMERVILLE, MA 02143 ARLINGTON, MA 02474 617-591-8682 617-539-6780

Architectural Drawing List				
Sheet Number	Sheet Name	Sheet Issue Date		
A-000	Cover Sheet	12/08/20		
SV-1	Existing Conditions Plan	12/07/20		
C- I	Civil Title Sheet	12/07/20		
C-2	Legend and General Notes	12/07/20		
C-3	Layout & Materials Plan	12/07/20		
C-4	Grading & Drainage Plan	12/07/20		
C-5	Utilities Plan	12/07/20		
C-6	Erosion Control & Sedimentation Plan	12/07/20		
C-7	Site Details I	12/07/20		
C-8	Site Details 2	12/07/20		
A-020	Architectural Site Plan	12/08/20		
A-020.1	Site Locus & Zoning	01/21/21		
A-021	Apartments Gross Area Plan	12/08/20		
A-022	Offices Gross Area Plan	12/08/20		
A-101	Residential - First Floor Plan	12/08/20		
A-102	Residential - Second Floor Plan	12/08/20		
A-103	Residential - Third Floor Plan	12/08/20		
A-104	Residential - Fourth Floor Plan	12/08/20		
A-105	Residential - Roof Deck Floor Plan	12/08/20		
A-106	Commercial - Basement Floor Plan	12/08/20		
A-109	Commercial - Green House / Cafe Floor Plan	12/08/20		
A-110	Commercial - Roof Deck Floor Plan	12/08/20		
A-300	Residential -Front Elevation	12/08/20		
A-301	Residential - Rear Elevation	12/08/20		
A-302	Residential - Left Side Elevation	12/08/20		
A-303	Residential - Right Side Elevation	12/08/20		
A-304	Commercial - Front & Rear Elevations	12/08/20		
A-305	Commercial - Left & Right Elevations	12/08/20		
A-306	Perspectives #1	12/08/20		
A-307	Perspectives #2	12/08/20		
A-308	Realistic Rendering	12/08/20		
A-309	Realistic Rendering	12/08/20		
A-310	Realistic Perspectives	12/08/20		

PROJECT NAME 10 SUNNYSIDE AVE
PROJECT ADDRESS 10 Sunnyside Ave Arlington MA
Column Health LLC
ARONITECT
KHALSA
17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682 FAX: 617-591-2086
CONSULTANTS:
COPYRIGHT KDI © 2020 THESE DRAWINGS ARE NOW AND DO REMAIN THE SOLE PROPERTY OF KHALSA DESIGN INC. USE OF THESE PLANS OR ANY FORM OF REPRODUCTION OF THIS DESIGN IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT OF PROSECUTION UNDER LAW
REGISTRATION
Project number 19119
Date     12-08-20       Drawn by     MB       Checked by     WC       Scale     REVISIONS
No.     Description     Date
Cover Sheet

#### UTILITY NOTE

THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED UPON A FIELD SURVEY AND A COMPILATION OF AVAILABLE PLANS OF RECORD FROM THE VARIOUS UTILITY COMPANIES. THE INFORMATION PROVIDED IS FOR THE USE OF THE CONTRACTOR. NEITHER WARRANTY NOR GUARANTEE OF THE INFORMATION IS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BY CONTACTING THE RESPECTIVE UTILITY COMPANIES AND 'DIG-SAFE' (1-888-344-7233) PRIOR TO CONSTRUCTION.

P	PLAN REFERENCES
2. 3. 4. 5.	BOOK 3202, PAGE END BOOK 2637, PAGE 301 PLAN NO. 1177 OF 1946 PLAN NO. 415 OF 1947 PLAN NO. 345 OF 1957 PLAN NO. 723 OF 1955

CONC.

R/W-

GAS TELEPHONE SEWER \_\_\_\_\_ ELECTRIC \_\_\_\_\_

LEGEND
Image: SBDH       STONE       BOUND       DRILL       HOLE         o GG       GAS       METER         o WG       WATER       GAS       GATE         o WG       WATER       GATE         O       UTILITY       POLE         S       SEWER       MANHOLE         Image: Sewer Manhole       DRAIN       MANHOLE         Image: Sewer Manhole       WATER       MANHOLE         Image: Sewer Manhole       MONITORING WELL         Image: Sewer Manhole       Sewer Manhole

#### ZONING NOTES:

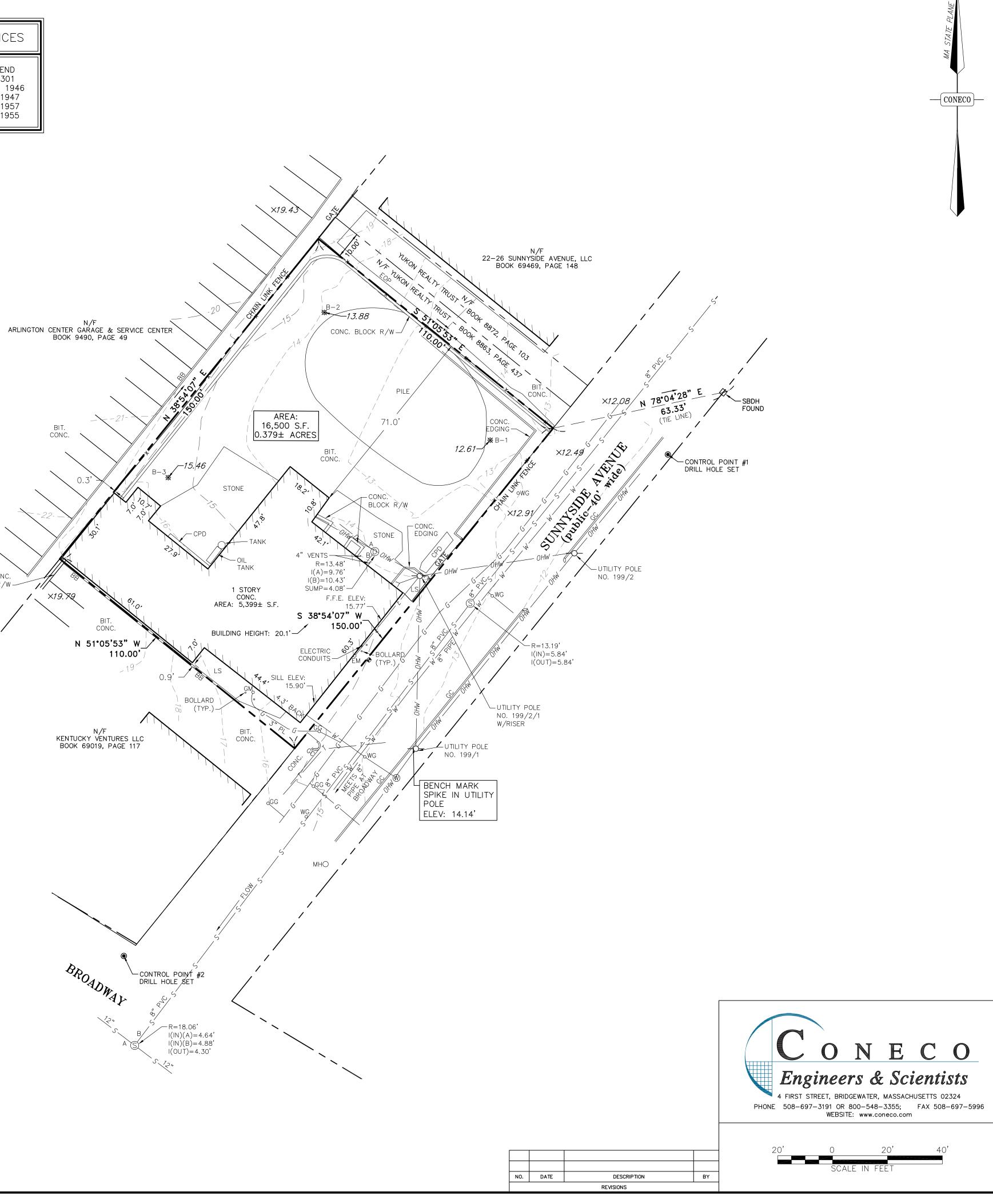
Zoning District: "B4" Vehicular Oriented Business District

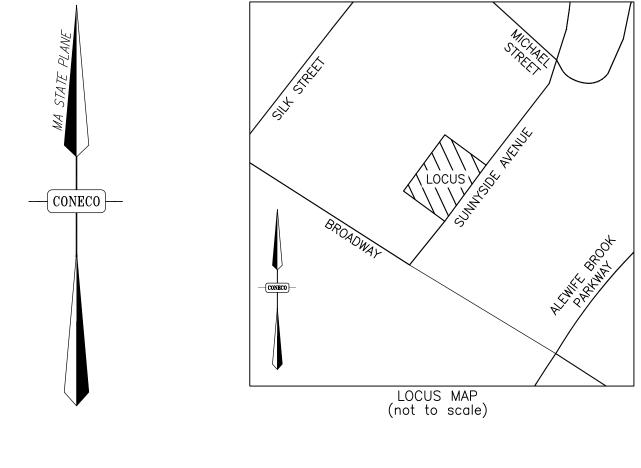
Minimum Lot Size: None Minimum Frontage: 50 feet Minimum Open Space: None Maximum Floor Area Ratio: 1.5 Front Yard Setback: None Rear Yard Setback: 13 Feet Side Yard Setback: None Maximum Building Height: 4 stories or 50 feet

NOTES:

1. VERTICAL DATUM: NAVD 88. 2. LOCUS PROPERTY IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25017C0417E DATED JUNE 4, 2010.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL, AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.





#### OWNER OF RECORD: MB REALTY GROUP LLC PARCEL ID: 33-2-2.B BOOK 73883, PAGE 259

EXISTING CONDITIONS PLAN

### 10 SUNNYSIDE AVENUE ARLINGTON, MA

20'	0	20'	40'	PREPARED FOR:	EBI	CONSULTIN	G
	SCALE	IN FEET		SCALE	DATE	ACAD FILE	JOB NO.
				1" = 20'	11/09/2020	11157.DWG	11157

# Site Plans for Column Health Offices & Residences 10 Sunnyside Avenue, Arlington, MA

## SHEET INDEX

## **EBI** Consulting Drawings

S:\01\_Civil Clients\1620000049 10 Sunnyside Ave, Arlington, MA\02 Drawings\06 Civil\Planset\1620000049-EBI-Civil-TS\_24x36.

	• •	
SHEET NO.	SHEET TITLE	LATEST ISSUE
C-1	Title Sheet	12/7/2020
C-2	Legend & General Notes	12/7/2020
C-3	Layout & Materials Plan	12/7/2020
C-4	Grading & Drainage Plan	12/7/2020
C-5	Utilities Plan	12/7/2020
C-6	Erosion Control & Sedimentation Plan	12/7/2020
C-7	Site Details 1	12/7/2020
C-8	Site Details 2	12/7/2020

## Reference Drawings

SHEET NO.	SHEET TITLE	LATEST ISSUE
Sv-1	Existing Conditions Plan	6/12/2015





Dig Safe Systems, Inc. -888-DIG-SAFE -888-344-7233)

Issued For: Local Approvals Date Issued: December 7, 2020

LOCUS MAP

OWNER

Column Health LLC 339 Massachusetts Avenue Arlington, MA 02474 Tel: 617-539-6780 www.coneco.com

ASSESSOR'S INFORMATION Map #033.0, Lot #0002.B



2 Battermarch Park, Suite 100 Quincy, MA 02169 Tel: 781-273-2500 www.ebiconsulting.com



## PROPERTY INFORMATION

### APPLICANT

Column Health LLC 339 Massachusetts Avenue Arlington, MA 02474 Tel: 617-539-6780 www.coneco.com

## **PROJECT TEAM**

# EBI Consulting environmental | engineering | due diligence

### ARCHITECT

Khalsa 17 Ivaloo Strreet, Suite 400 Somerville, MA 02143 Tel: (617) 591-8682

SURVEYOR

Coneco Engineers & Scientists 4 First Street Bridgewater, MA 02324 Tel: 508-697-3191 www.coneco.com

	environm 2 Batter Quincy, Tel: 781	nental   ymarc MA 0 .273.25		gence
	Contraction of the second	CHRISTO M. IANN CIVII D. No. 41: D. G 18 TR CIVII D. G 18 TR CIVII D. G 18 TR	MARCHAR MARCHAR MARCHAR M. Cannyw	
Colir 339 Arlin Tel:	ARED FOR: <b>umn Heal</b> Massachuset gton, MA 024 (617) 539-67 htty@columnh	ts Ave 74 80	-	
EBI COI CLIENT CONSE DRAWII	NSULTING, INC. AN ANY DUPLICATI NT OF THE CREAT	nd for t on or l or is st d are f(	PROPERTY AND COPYRIG HE EXCLUSIVE USE BY THE ISE WITHOUT EXPRESS WI RICTLY PROHIBITED. OR 24" x 36" SIZE PRINTED S ARE DEEMED "NOT TO SC	E TITLE RITTEN MEDIA
	ç	SUBMI	TTALS	
NO.	DATE		DESCRIPTION	BY
DATE: Dece	ember 7, 2020	)	PROJECT NUMBER: 1620000049	
PROJECT TITLE: Column Health Offices & Residences 10 Sunnyside Avenue Arlington, MA 02474 Middlesex County				
ISSUE	D FOR:	· · · · · j		
(Not	I Approvals Approved for	Const	ruction)	
	T TITLE: Ie Shee	et		
SCALE N.T.S			SHEET NO:	
DESIG RLB	SNED BY:		C-1	

CHECKED BY:

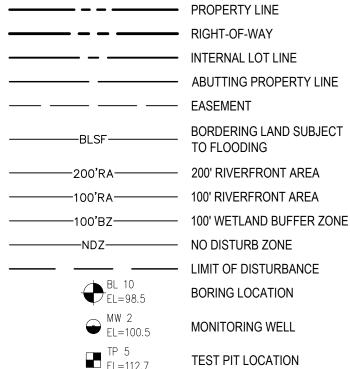
1 OF 8

MFC

#### General

## LEGEND

S:\01\_Civil Clients\1620000049 10 Sunnyside Ave, Arlington, MA\02 Drawings\06 Civil/Planset\1620000049-EBI-Civil-LG\_24x36.dw



---- MATCHLINE

BUILDING

**BUILDING ENTRANCE** 

LOADING DOCK

PARKING GARAGE

PAVER SIDEWALK

LANDSCAPE BUFFER

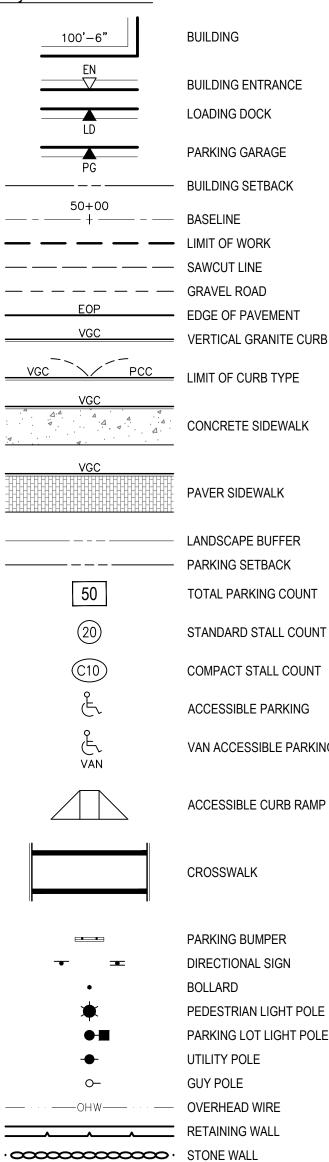
TOTAL PARKING COUNT

STANDARD STALL COUNT

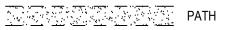
ACCESSIBLE PARKING

VAN ACCESSIBLE PARKING

#### Layout and Materials



ACCESSIBLE CURB RAMP CROSSWALK PARKING BUMPER DIRECTIONAL SIGN BOLLARD PEDESTRIAN LIGHT POLE PARKING LOT LIGHT POLE UTILITY POLE GUY POLE ENCE



xx	BARB WIRE FENCE
	CHAIN LINK FENCE
<b>— • • —</b>	CONSTRUCTION FEM
<b>88</b>	STOCKADE FENCE
<u> </u>	STEEL GUARDRAIL
<b></b>	WOOD GUARDRAIL
	PATH
	TREE LINE

Erosion Control	
<u> </u>	EROSION CONTROL BARRIER
· <b></b>	STRAW BALES
	STABILIZED CONSTRUCTION EXIT
	SILT SACK SEDIMENT TRAP
Grading	
10	MAJOR CONTOUR
1	MINOR CONTOUR
100.5 TC× 100.0 BC	SPOT ELEVATION
··	DETENTION BASIN
<b>&gt;&gt;</b> >	SWALE
	<b>BIORETENTION AREA</b>
	100-YEAR FLOOD ELEVATION
	10-YEAR FLOOD ELEVATION
	RIPRAP SLOPE
Drainage	
12"D	DRAIN
6 <u>"RD</u>	ROOF DRAIN
6"UD	UNDER DRAIN
	SINGLE CATCH BASIN
	DOUBLE CATCH BASIN
	DRAIN MANHOLE
• CO	CLEANOUT
● INSP	INSPECTION PORT
● DS	DOWNSPOUT
	FLARED END SECTION
<b>(</b>	HEADWALL
	RIPRAP OUTFALL
<u>Utilities</u>	
6"S	SEWER
FM	FORCE MAIN
igodoldoldoldoldoldoldoldoldoldoldoldoldol	SEWER MANHOLE
— — — <b>I</b>	PLUG OR CAP
6"W	WATER
2"DW	DOMESTIC WATER
6"FP	FIRE PROTECTION
<u> </u>	CURB STOP AND BOX
HYD O	FIRE HYDRANT
–••PIV	POST INDICATOR VALVE
	REDUCER

FFALL NHOLE WATER ECTION AND BOX 1NIT REDUCER SHUT-OFF VALVE TAPPING SLEEVE AND VALVE WATER METER GAS GAS GATE GAS METER ELECTRIC MANHOLE ELECTRIC METER TRANSFORMER PAD

—8"₩**—**6"₩—

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—<u>o</u>—

●<sup>EMH</sup>

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● TMH

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PB

- TCH BASIN ATCH BASIN
- HOLE N PORT UT
- ND SECTION

CATOR VALVE

SIAMESE CONNECTION

WATER VALVE AND BOX

- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- TELEPHONE MANHOLE
- CABLE TV
- FIBER OPTICS
- CONDUIT

- PULL BOX
- HAND HOLE

#### General

ACR

ADA

ARCH

BC

BCB

BCC

BLDG

BLSF

BOT

BS

BW

BWLL

CCB

CLF

CONC

DPW

DYCL

ECC

ELEV

EOP

ΕX

EXIST

FDN

FFE

GRAN

GTD

HP

LA

LOD

LOW

MAX

MCC

MF

MIN

NDZ

NIC

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ACCESSIBLE AMERICANS APPROX APPROXIMA ARCHITECTL BOTTOM OF BITUMINOUS BITUMINOUS BITUMINOUS BUILDING BORDERING FLOODING BOTTOM BOTTOM OF BOTTOM OF **BROKEN WH** CAPE COD B CHAIN LINK F CONCRETE DEPARTMEN DOUBLE YEL EXTRUDED ( ELEVATION EDGE OF PA EXISTING EXISTING FOUNDATION FIRST FLOOP GRANITE GRADE TO D HIGH POINT LANDSCAPE LIMIT OF DIS LIMIT OF WO LOW POINT MAXIMUM MONOLITHIC MATCH EXIS MINIMUM NO DISTURB NOT IN CONT NOT TO SCA PRECAST CC PROPERTY L PROPOSED RADIUS RIVERFRON REMOVE RETAIN RIGHT-OF-W REMOVE ANI REMOVE ANI SLOPED GRA SOLID WHITE SOLID WHITE TOP OF CUR TRASH BAY TOP OF SLO TOP OF WAL TYPICAL VERTICAL GRANITE CURB

## ABBREVIATIONS

Utilities

ABAN

ADJ

CATV

CIP

CMP

CO

CS

DIA

DCB

DET

DIP

DM

DW

FES

FO

F&C

F&G

GG

GI

GM

GT

ΗH

MES

MW

OHM

PVC

RCP

RD

SAS

SCB

SLP

SMH

SYS

тмн

TSV

UD

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UP

WM

WQI

WQS

WV

HDPE

COND

E CURB RAMP WITH DISABILITIES ACT TE JRAL CURB S CONCRETE BERM S CONCRETE CURB
LAND SUBJECT TO
SLOPE WALL IITE LANE LINE BERM FENCE
IT OF PUBLIC WORKS LOW CENTER LINE CONCRETE CURB
VEMENT
N R ELEVATION DRAIN
AREA STURBANCE DRK
CONCRETE CURB
ZONE TRACT LE DNCRETE CURB LINE
T AREA
'AY D DISPOSE D RESET ANITE EDGING E EDGE LINE E LANE LINE RB
PE L

ABANDON
ADJUST
CABLE TV
CAST IRON PIPE
CORRUGATED METAL PIPE
CLEANOUT
CONDUIT
CURB STOP AND BOX
DIAMETER
DOUBLE CATCH BASIN
DETENTION
DUCTILE IRON PIPE
DRAIN MANHOLE
DOWNSPOUT
DOMESTIC WATER
ELECTRIC MANHOLE
FIRE ALARM
FLARED END SECTION
FIRE PROTECTION
FORCE MAIN
FIBER OPTICS
FRAME AND COVER
FRAME AND GRATE
GAS GATE
GUTTER INLET
GAS METER
GREASE TRAP
HIGH DENSITY POLYETHYLENE PIPE
HAND HOLE
HEADWALL
HYDRANT
INFILTRATION
INSPECTION PORT
INVERT ELEVATION
INVERT ELEVATION
METAL END SECTION
MONITORING WELL
OVERHEAD WIRE
PULL BOX
POST INDICATOR VALVE
POLYVINYLCHLORIDE PIPE
REINFORCED CONCRETE PIPE
ROOF DRAIN
RIM ELEVATION
SOIL ABSORPTION SYSTEM
SINGLE CATCH BASIN
SITE LIGHT POLE
SEWER MANHOLE
SYSTEM
TELEPHONE MANHOLE
TAPPING SLEEVE, VALVE, AND BOX
UNDERDRAIN
UNDERGROUND
UTILITY POLE
WATER METER
WATER QUALITY INLET
WATER QUALITY STRUCTURE
WATER VALVE AND BOX

## GENERAL NOTES

#### General Information:

- 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY, CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- 3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS, AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- 4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.
- 5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED TO SUBGRADE ELEVATIONS.
- 6. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- 7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- 9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS, AND CORRECTIVE ACTION IF SUCH OCCURS.
- 12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.

#### Existing Conditions:

- 1. THE EXISTING CONDITIONS SHOWN ARE BASED ON THE EXISTING CONDITIONS SURVEY PREPARED BY CONECO ENGINEERS & SCIENTISTS, 4 FIRST STREET, BRIDGEWATER, MA 02324, 508-697-3191, WWW.CONECO.COM.
- 2. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER GATES, ETC. AND COMPILED FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES.

#### **Erosion Control:**

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- 2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- 3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

#### Demolition

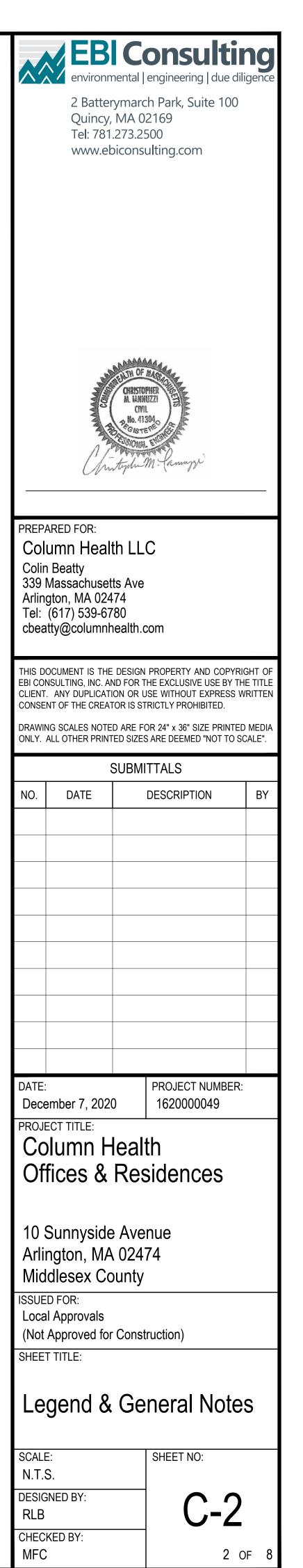
- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE, AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

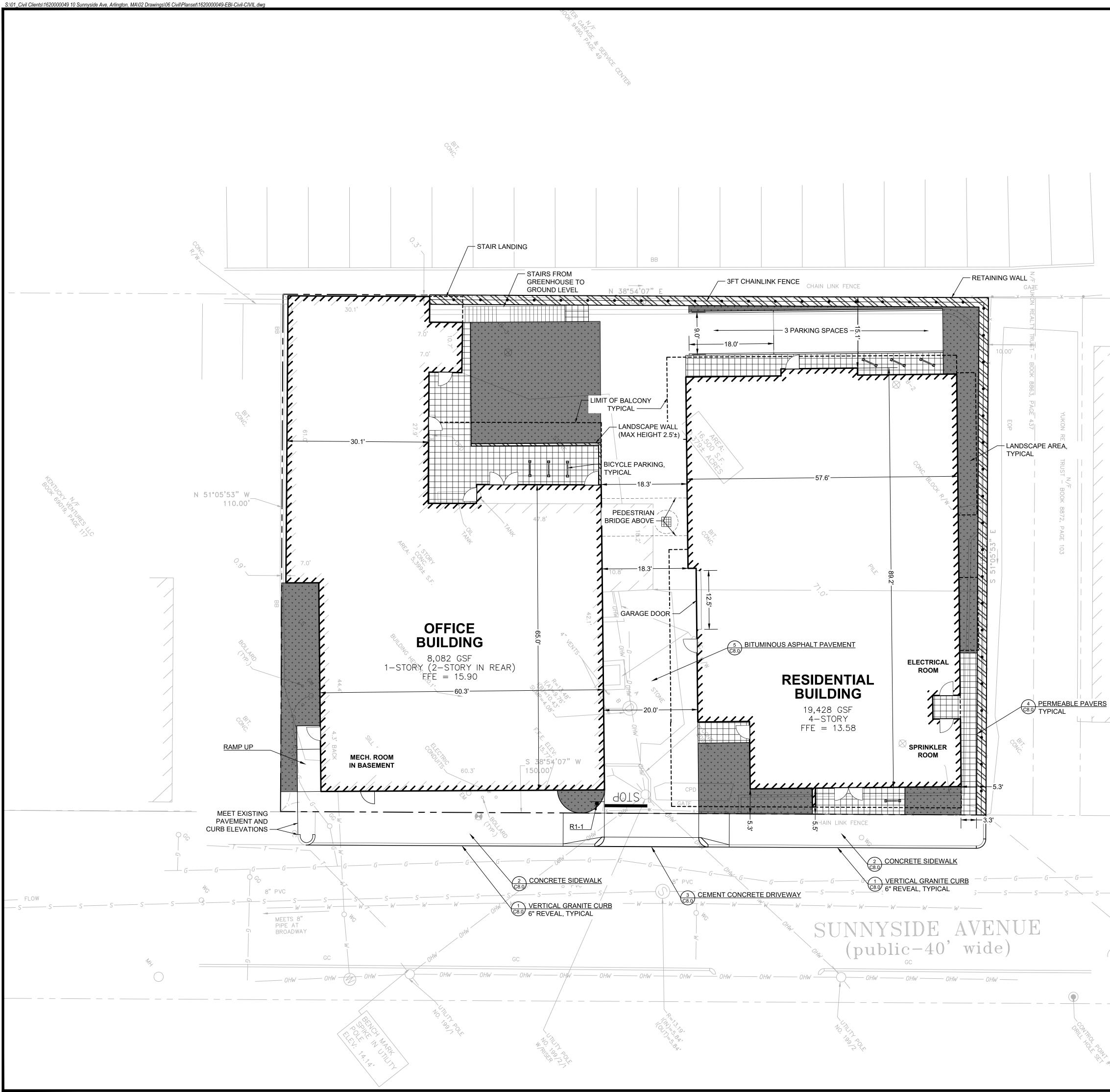
#### Layout and Materials:

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURBING SHALL BE PRECAST CONCRETE CURB (PCC) AND CURB RADII SHALL BE THREE FEET (3') WITHIN THE SITE, UNLESS OTHERWISE INDICATED ON THE SITE PLANS.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

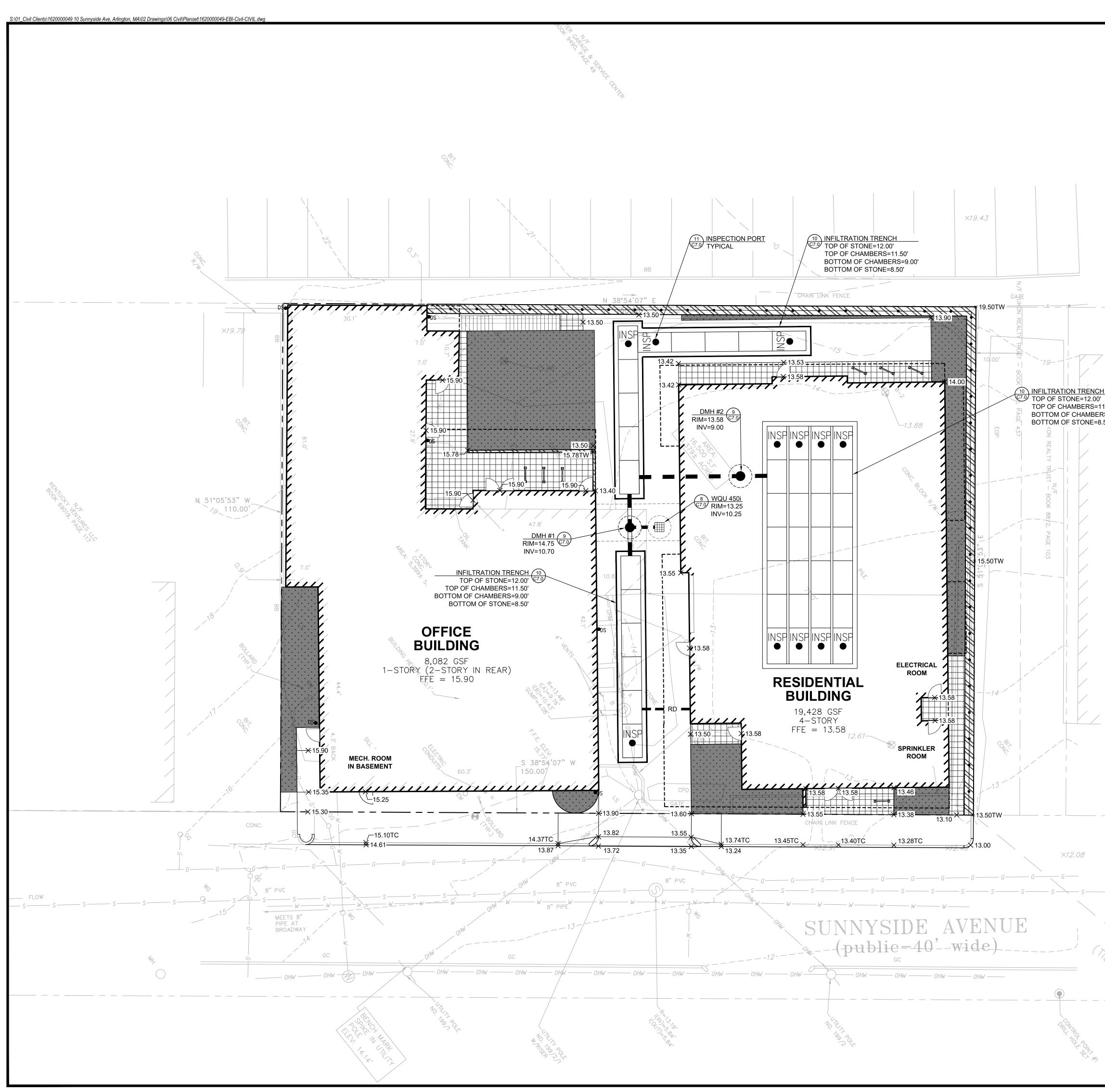
#### Utilities:

- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVES HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF ALL CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FORM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED. THE LOCATION. ELEVATION. AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY UTILITIES COMPANY.
- 4. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
- A. STORM DRAINAGE PIPES SHALL BE POLYVINYL CHLORIDE (PVC), SDR 35 SEWER PIPE
- B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC), SDR 35 SEWER PIPE
- C. WATER PIPES SHALL BE COPPER TYPE K OR CEMENT LINED DUCTILE IRON, CLASS 52, AS NOTED.

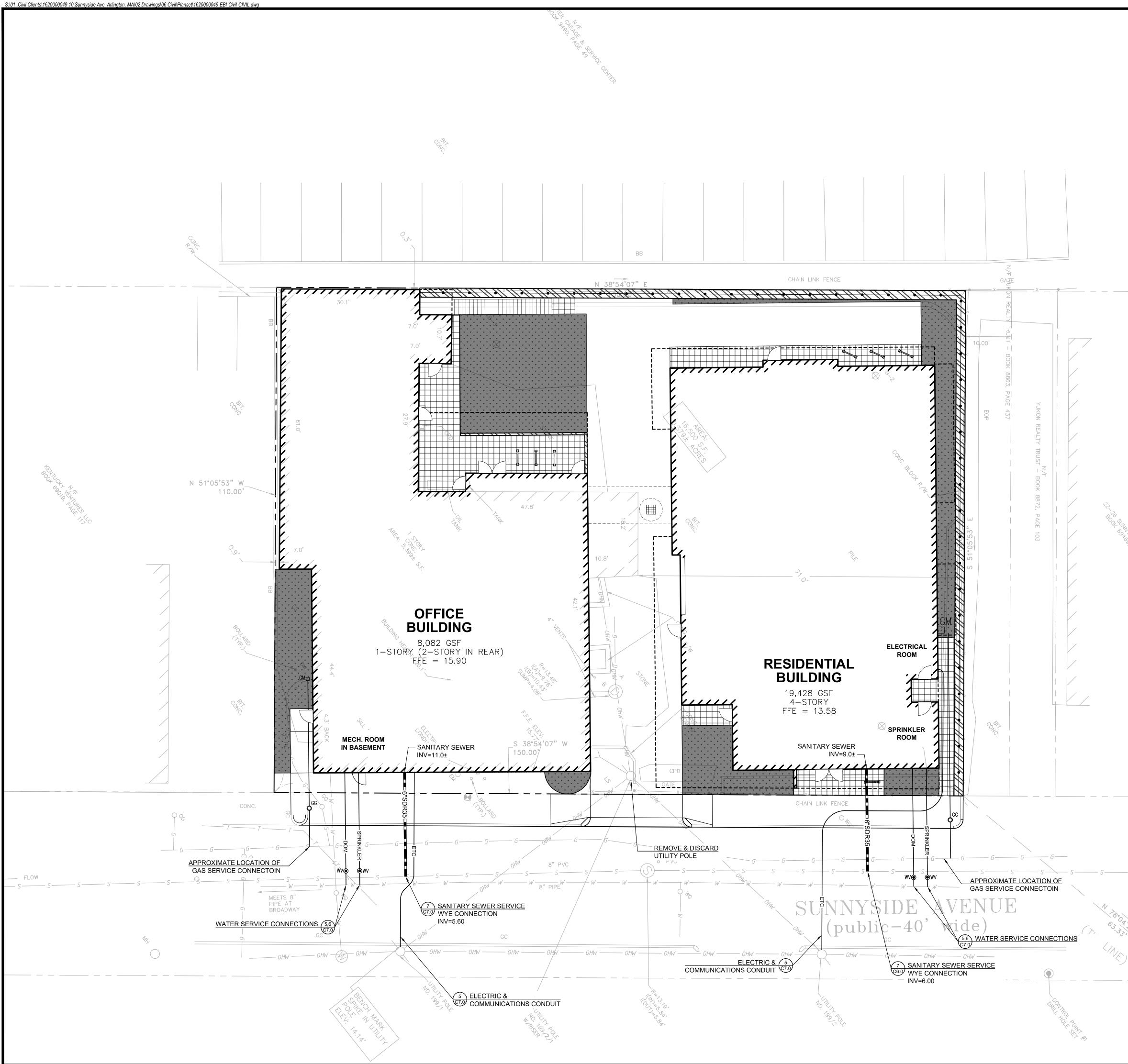




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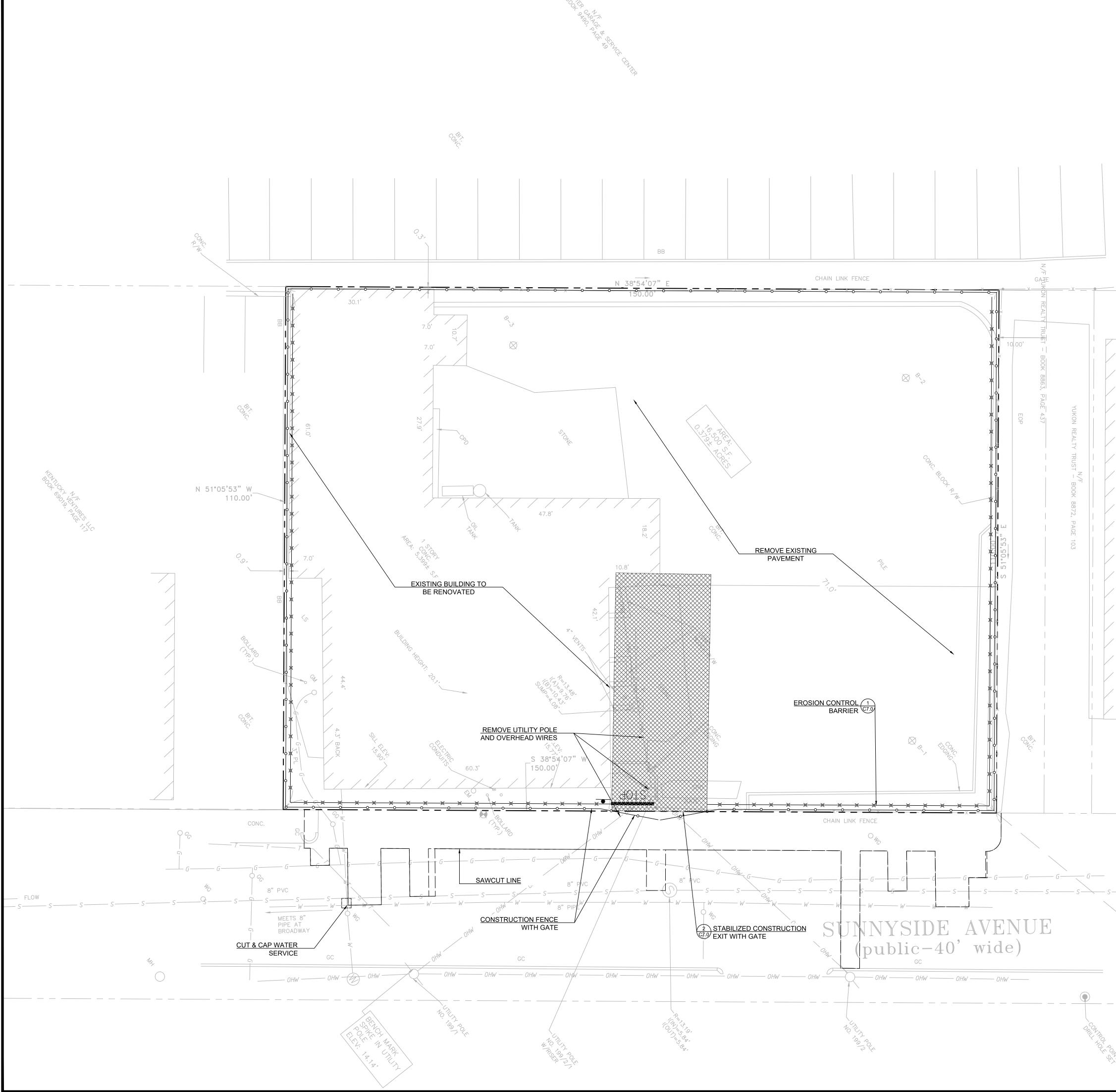


	<b>EBI</b> Consulting
	EBI Consulting environmental   engineering   due diligence
	2 Batterymarch Park, Suite 100
	Quincy, MA 02169
	Tel: 781.273.2500 www.ebiconsulting.com
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3.50'	Tel: (617) 539-6780 cbeatty@columnhealth.com
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#### Existing Conditions:

- 1. THE EXISTING CONDITIONS SHOWN ARE BASED ON THE EXISTING CONDITIONS SURVEY PREPARED BY CONECO ENGINEERS & SCIENTISTS, 4 FIRST STREET, BRIDGEWATER, MA 02324, 508-697-3191, WWW.CONECO.COM.
- 2. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER GATES, ETC. AND COMPILED FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES.

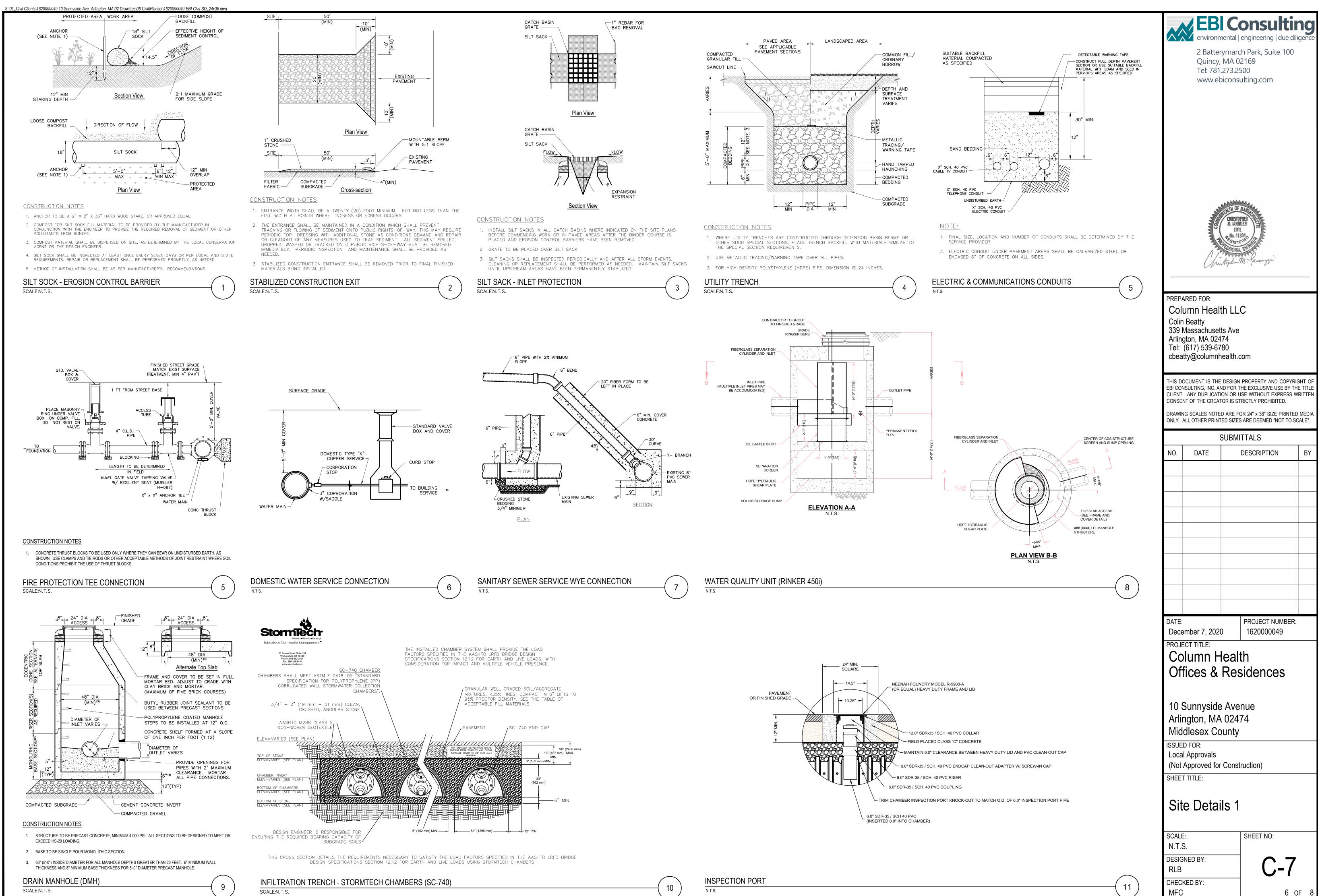
#### Erosion Control:

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- 2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- 3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

#### Demolition:

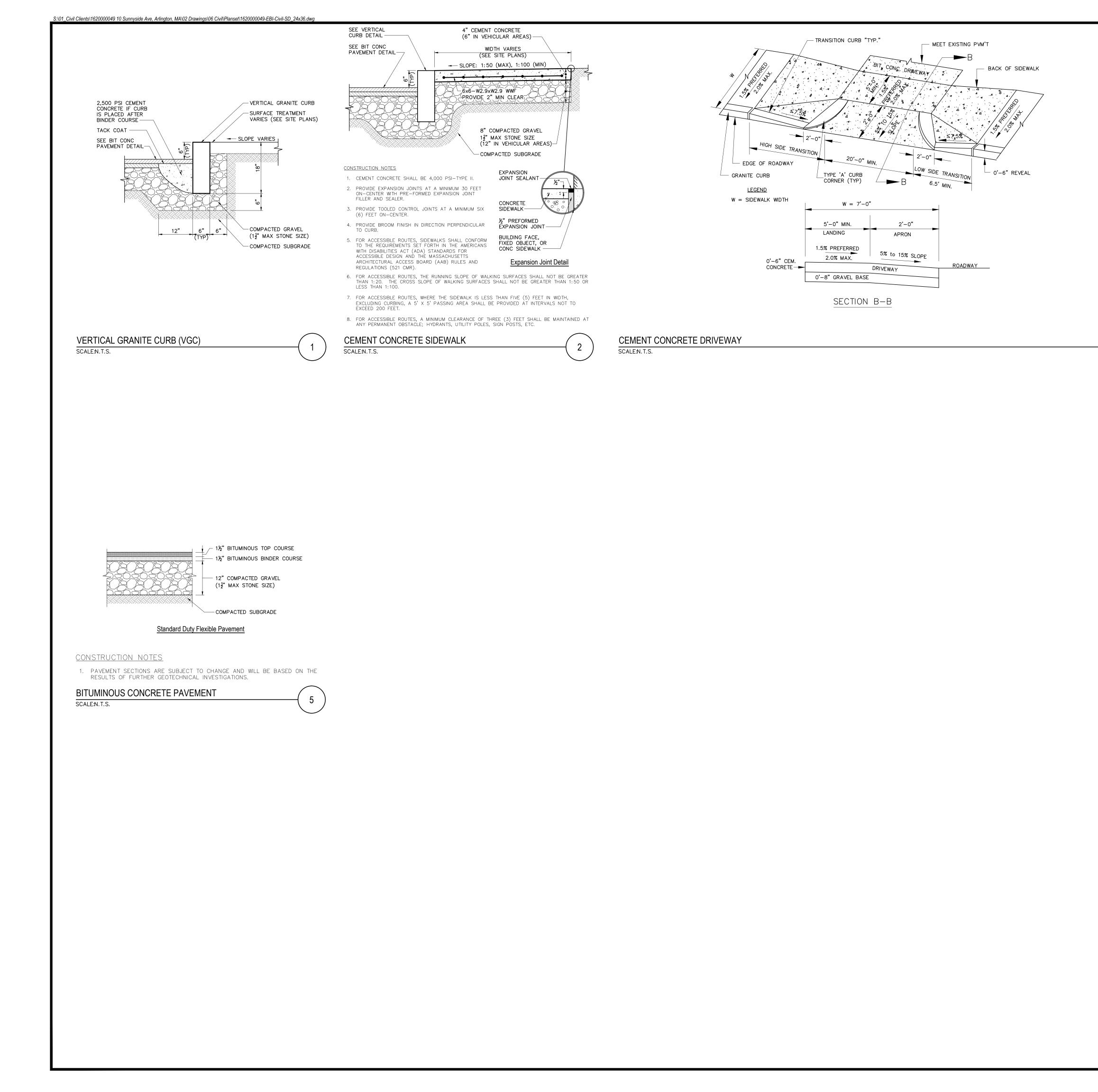
- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- 2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE, AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

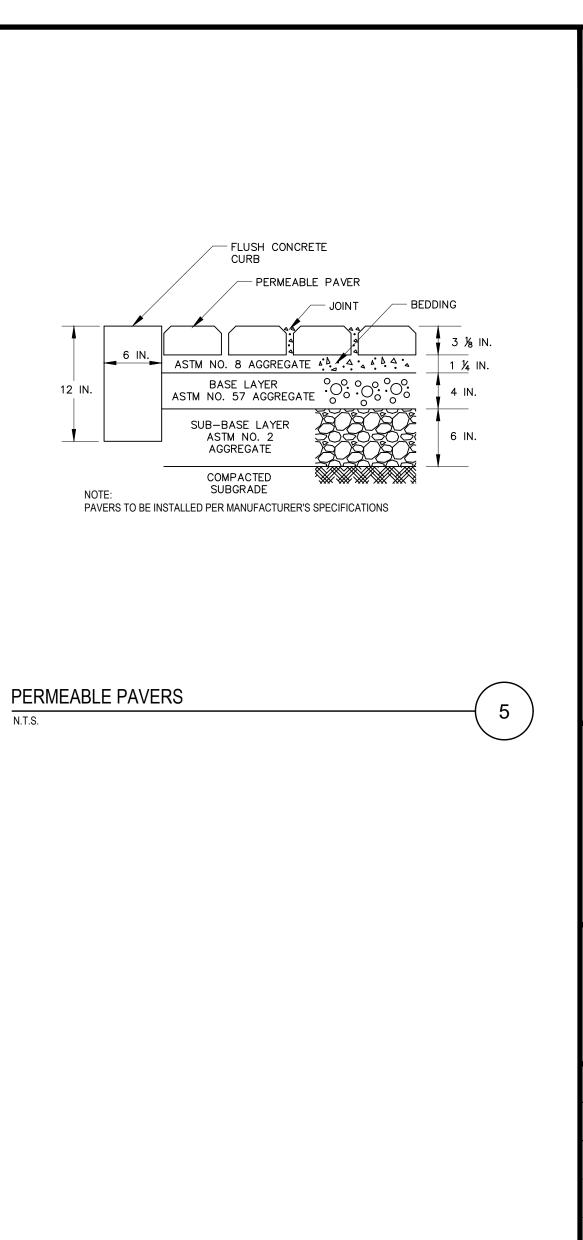
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	ISSUED FOR: Local Approvals (Not Approved for Cons
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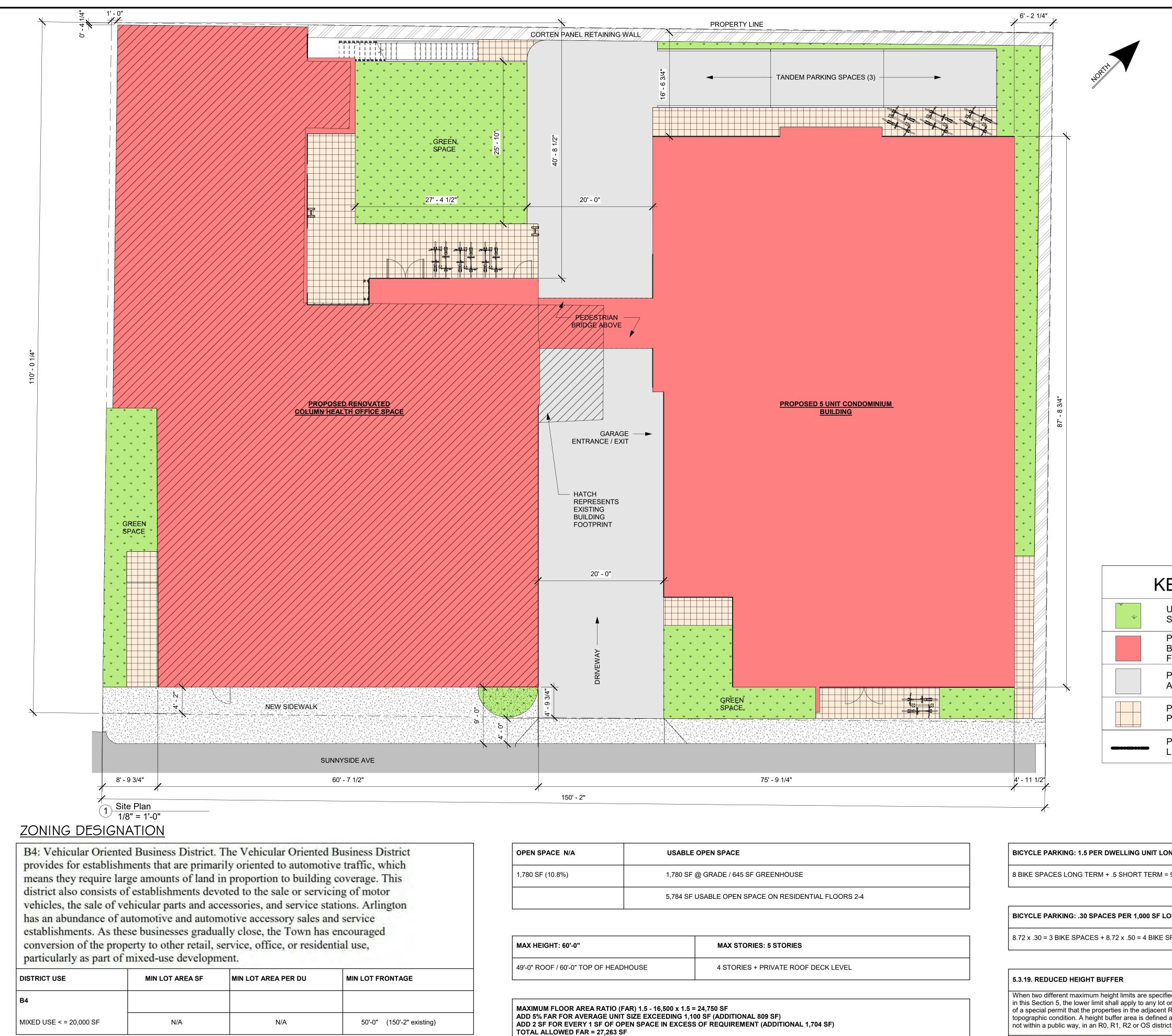
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FRONT YARD (0'-0")	SIDE YARD (0'-0")	REAR YARD (10' +L/10)	16
VARIES (4'-2" - 5'-0")	1'-0" (L) / 4'-11 1/2" (R)	16'-6 3/4" (CONDO) / (+/- 4" EXISTING GARAGE)	<b>—</b>
			P.

21 SPACES PROVIDED

PEN SPACE N/A	USABLE OPEN SPACE	
′80 SF (10.8%)	1,780 SF @ GRADE / 645 SF GREENHOUSE	
	5,784 SF USABLE OPEN SPACE ON RESIDENTIAL FLOORS 2-4	

HEIGHT: 60'-0"	MAX STORIES: 5 STORIES
ROOF / 60'-0" TOP OF HEADHOUSE	4 STORIES + PRIVATE ROOF DECK LEVEL

,183 SF (CONDO BUILDING) + 8,082 SF (OFFICE BUILDING) = 24,265 SF

PARKING REQUIREMENTS: 2 SPACES PER 3 BED UNIT / 1.5 SPACES FOR 1&2 BED UNIT / 1 SPACE PER 500 SF OF OFFICE SPACE

3 RESIDENTIAL UNITS x 2 SPACES = 6 SPACES + 2 RESIDENTIAL UNITS X 1.5 SPACES = 3 SPACES (TOTAL OF 9 SPACES FOR RESIDENTIAL) 5,145 SF OF OFFICE/ 500 SF = 11 SPACES (20 TOTAL)

BICYCLE PARKING: .30 SPACES PER 1,000 SF LO

When two different maximum height limits are specified for the same zoning district in any Table of Dimensional and Density Regulations in this Section 5, the lower limit shall apply to any lot or part of a lot located in a height buffer area unless it is determined as a specific finding of a special permit that the properties in the adjacent R0, R1, R2, or OS district would not be adversely affected due to existing use or topographic condition. A height buffer area is defined as a lot or part of a lot which is located at a lesser distance from any land, not within a public way, in an R0, R1, R2 or OS district than the following:

Land in R0, R1, R2, OS is located Between northwest and northeast Easterly, between northeast and southeast, or westerly between northwest and southwest Southerly, between southeast and southwest

(SEE SHEET A-020.1 FOR LOCUS OF PROPOSED DEVELOPMENT IN RELATION TO (R) PROPERTIES)

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KEY	
USEABLE OPEN SPACE	
PROPOSED BUILDING FOOTPRINT	
PAVED AREA	
PERMEABLE PAVERS	
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NG TERM / .10 PER	DWELLING UNIT SHORT TERM
9 BIKE SPACES	(14 SPACES PROVIDED)
ONG TERM / .50 SPA	ACES PER 1,000 SF
PACES (7 TOTAL)	(20 SPACES PROVIDED)

	Lower height shall apply
	Within 200 feet
ly	Within 150 feet
_	Within 100 feet

PROJECT NAME 10 SUNNYSIDE AVE
PROJECT ADDRESS
10 Sunnyside Ave
Arlington MA
CLIENT
Column Health LLC
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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086
CONSULTANTS:
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THESE DRAWINGS ARE NOW AND DO         REMAIN THE SOLE PROPERTY OF KHALSA         DESIGN INC. USE OF THESE PLANS OR ANY         FORM OF REPRODUCTION OF THIS DESIGN         IN WHOLE OR IN PART WITHOUT EXPRESS         WRITTEN CONSENT IS PROHIBITED AND         SHALL RESULT IN THE FULLEST EXTENT         OF PROSECUTION UNDER LAW         REGISTRATION         Image: Project number         19119         Date         12-08-20         Drawn by       MB         Checked by       WC         Scale       As indicated         REVISIONS       Description         No.       Description         Date       Image: Description         Image: Description       Image: Description
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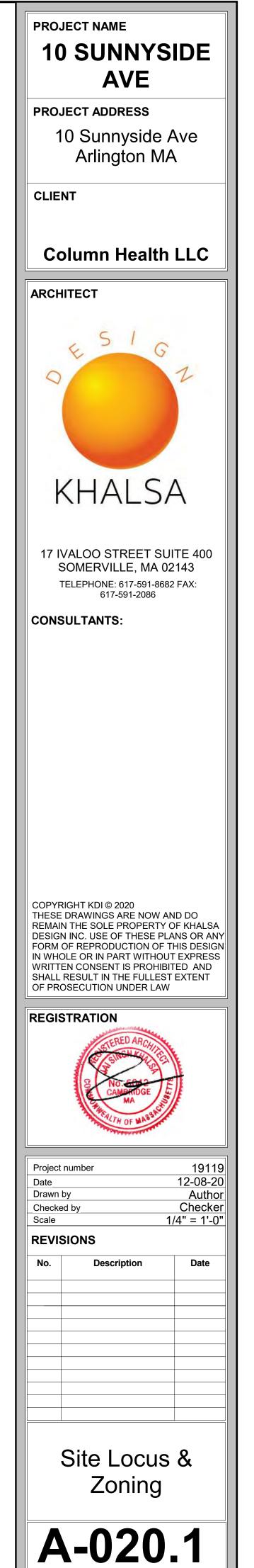
1 LOCUS 1/4" = 1'-0"

PROJECT LOCATION 10 SUNNYSIDE AVENUE

> 10 SUNNYSIDE IS LOCATED APPROXIMATELY 252'-0" TO THE BEGINNING OF THE R-2 ZONE ON SUNNYSIDE AVENUE LOOKING NORTHEAST (DENOTED WITH YELLOW LINE & ARROW)

10 SUNNYSIDE IS LOCATED APPROXIMATELY 165'-0" TO THE BEGINNING OF THE R-1 ZONE ON MICHAEL STREET LOOKING NORTH (DENOTED WITH WHITE LINE & ARROW)

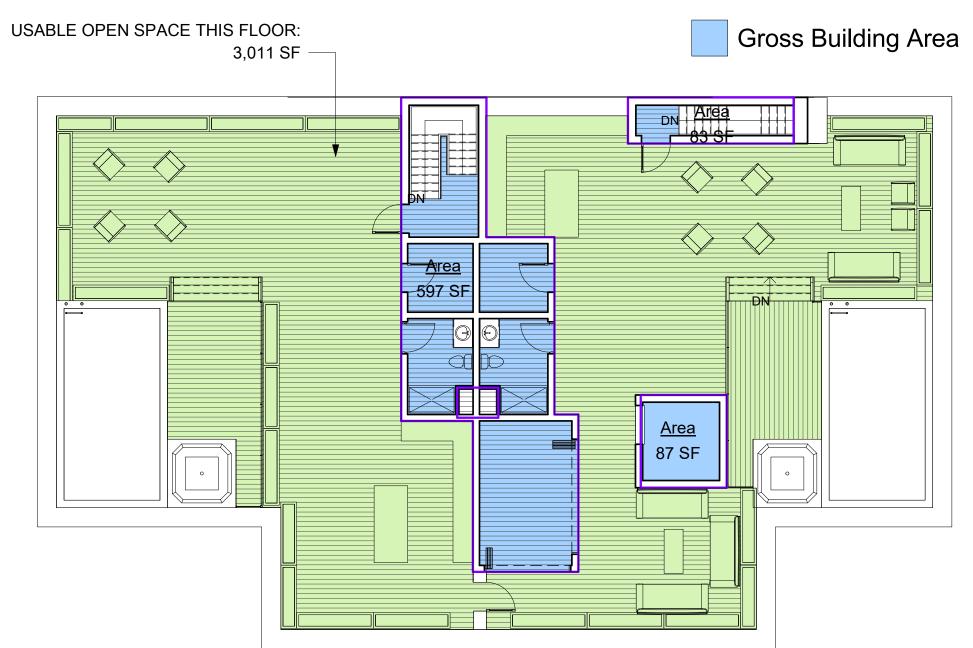
#### B4 ZONE: VEHICULAR ORIENTED BUSINESS



10 SUNNYSIDE AVE

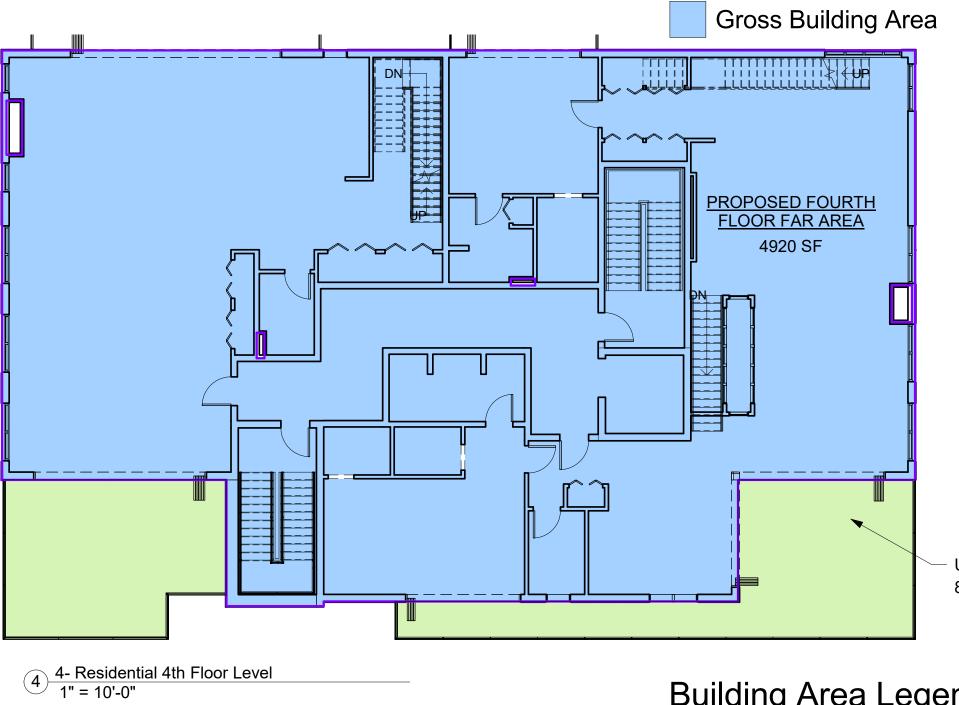


## Building Area Legend



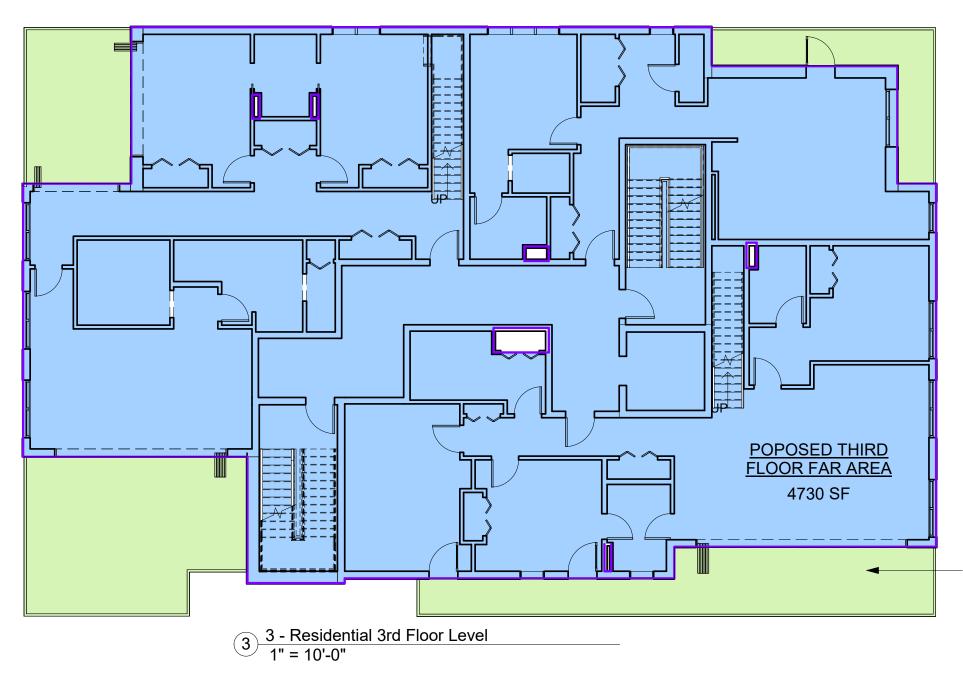
## 5 - Residential Roof Deck Level 1" = 10'-0"

## **Building Area Legend**



## Building Area Legend

Gross Building Area



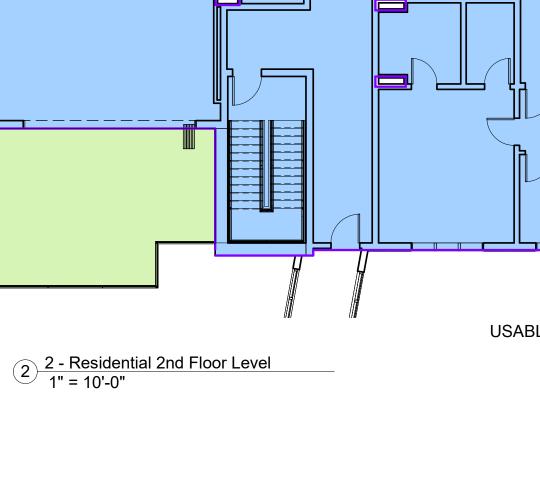
- USABLE OPEN SPACE THIS FLOOR: 979 SF

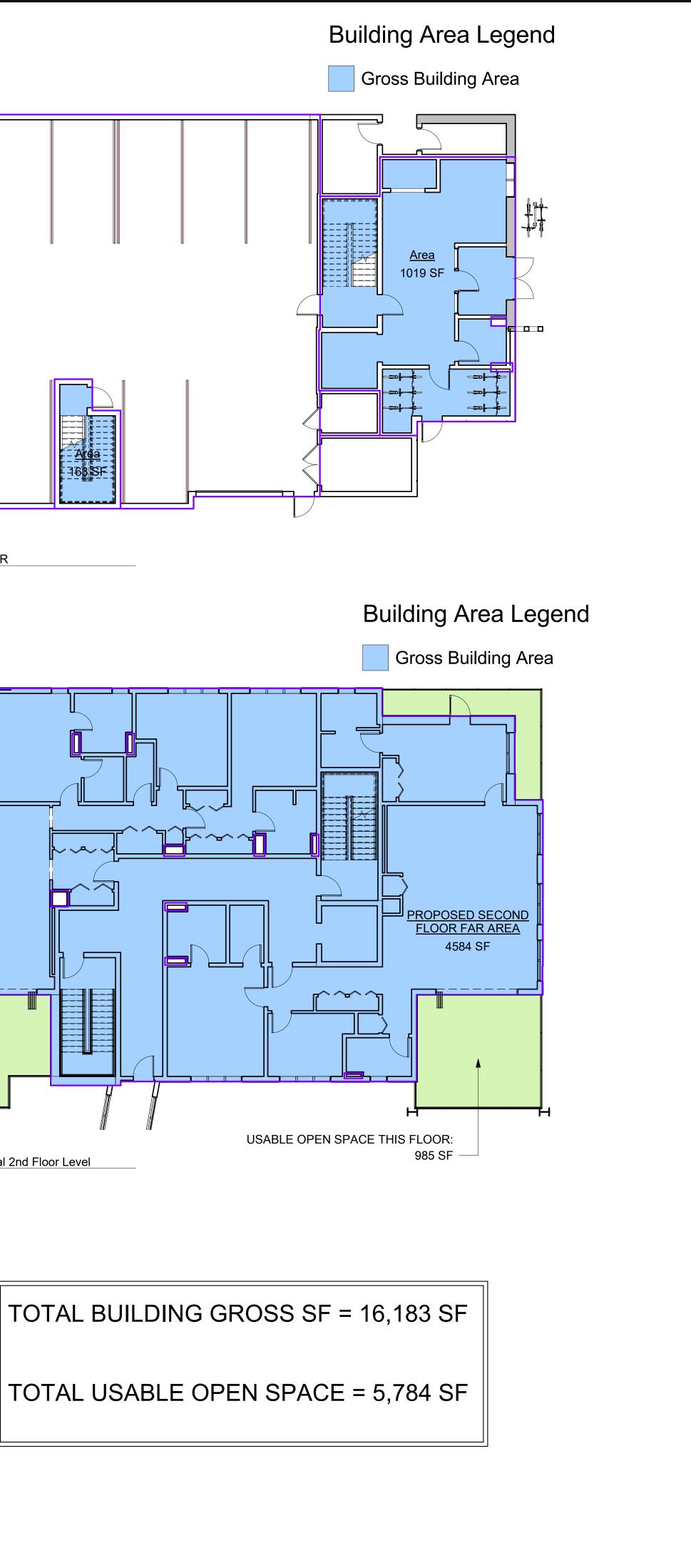
- USABLE OPEN SPACE THIS FLOOR: 809 SF

HAT !! ## ₩ ₩ <u>Area</u> 168 SF

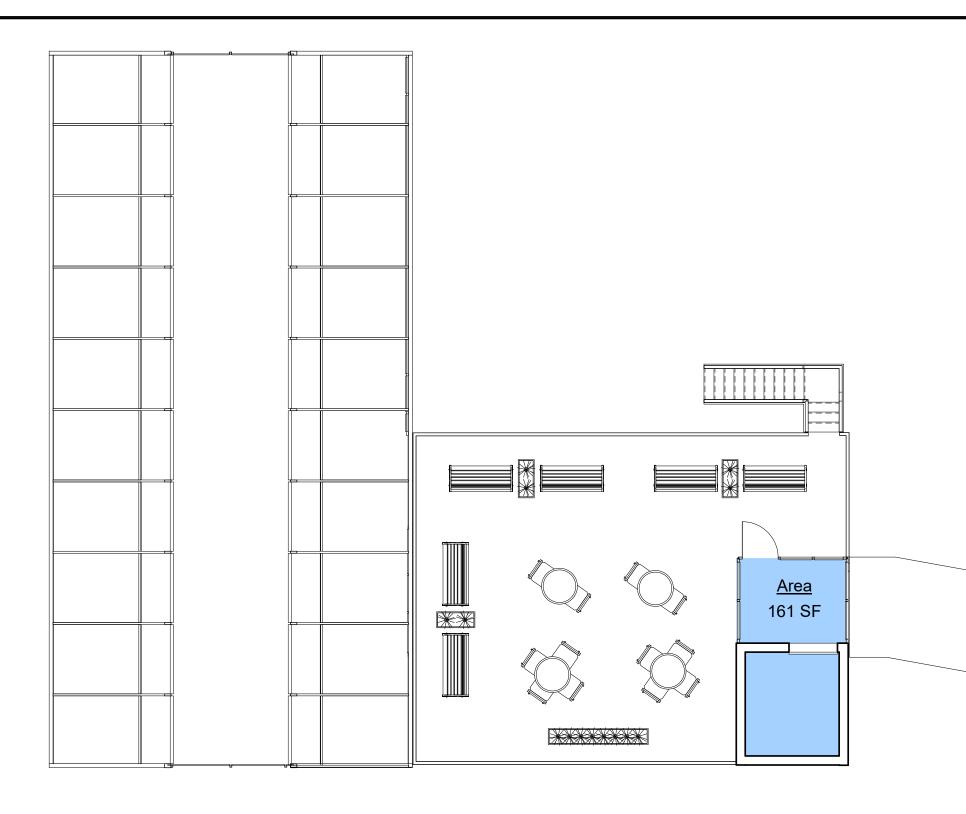
1 FIRST FLOOR 1" = 10'-0"

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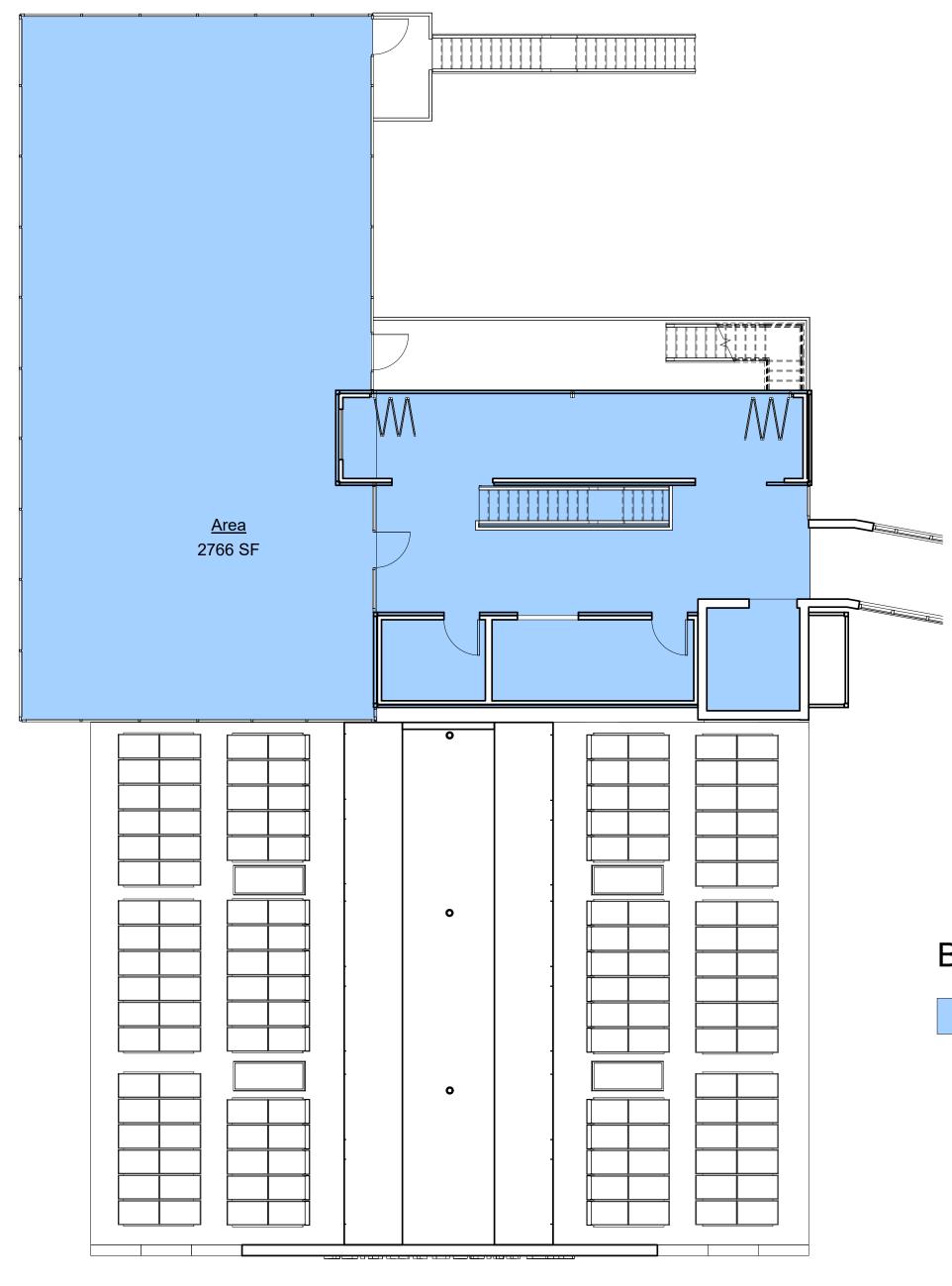




PROJECT NAME
10 SUNNYSIDE
AVE
PROJECT ADDRESS
10 Sunnyside Ave
Arlington MA
CLIENT
GLIENT
Column Health LLC
ARCHITECT
510
E G
Q
KHALSA
17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086
CONSULTANTS:
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WRITTEN CONSENT IS PROHIBITED AND SHALL RESULT IN THE FULLEST EXTENT OF PROSECUTION UNDER LAW
REGISTRATION
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MA MA
ALTH OF MASS
Project number
Project number 19119 Date 12-08-20
Drawn by Author Checked by Checker
Scale 1" = 10'-0" REVISIONS
REVISIONS           No.         Description         Date
Anartmente Groce
Apartments Gross
Apartments Gross Area Plan
Area Plan



4 Roof Deck Level 1/8" = 1'-0"

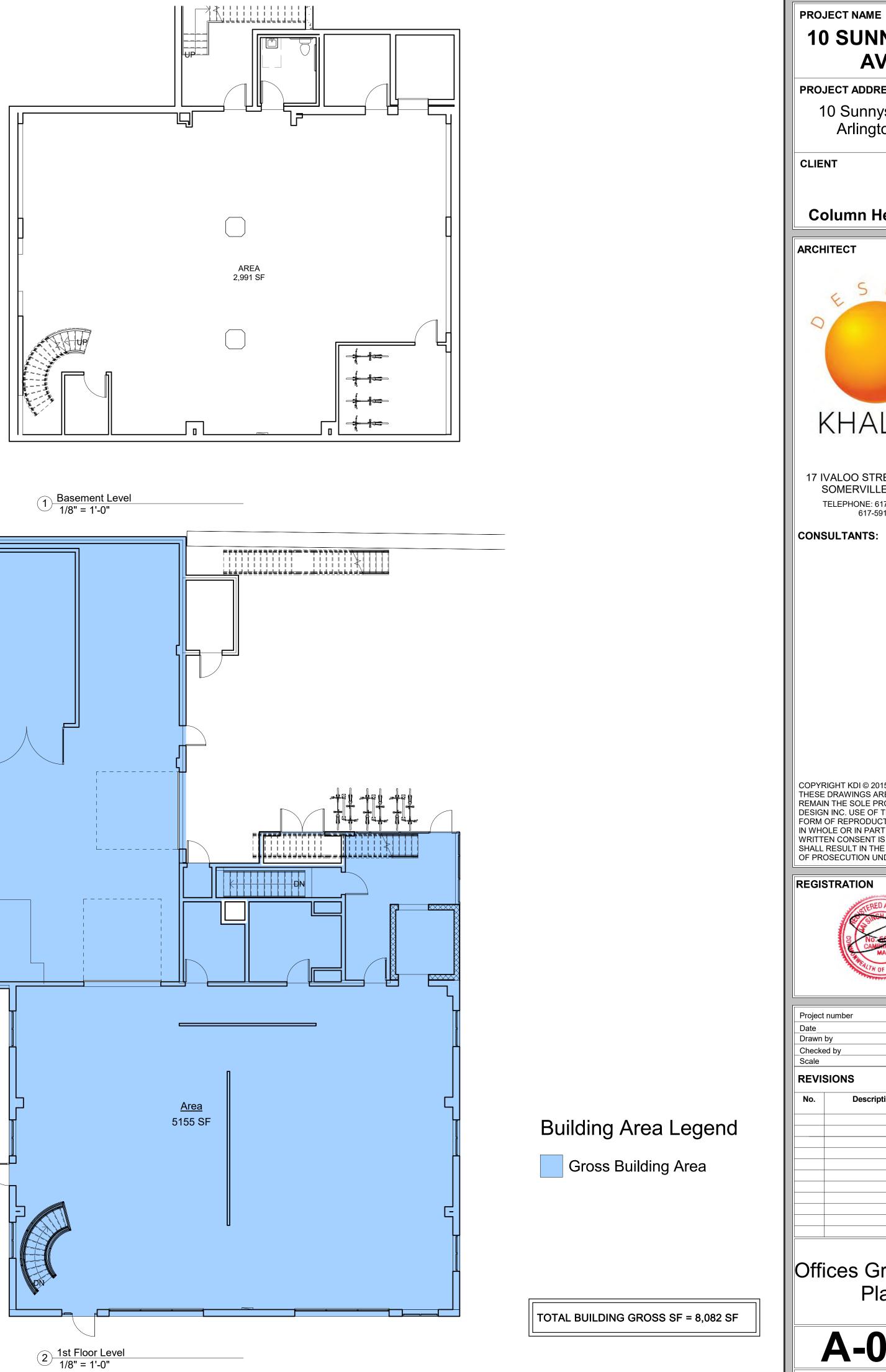


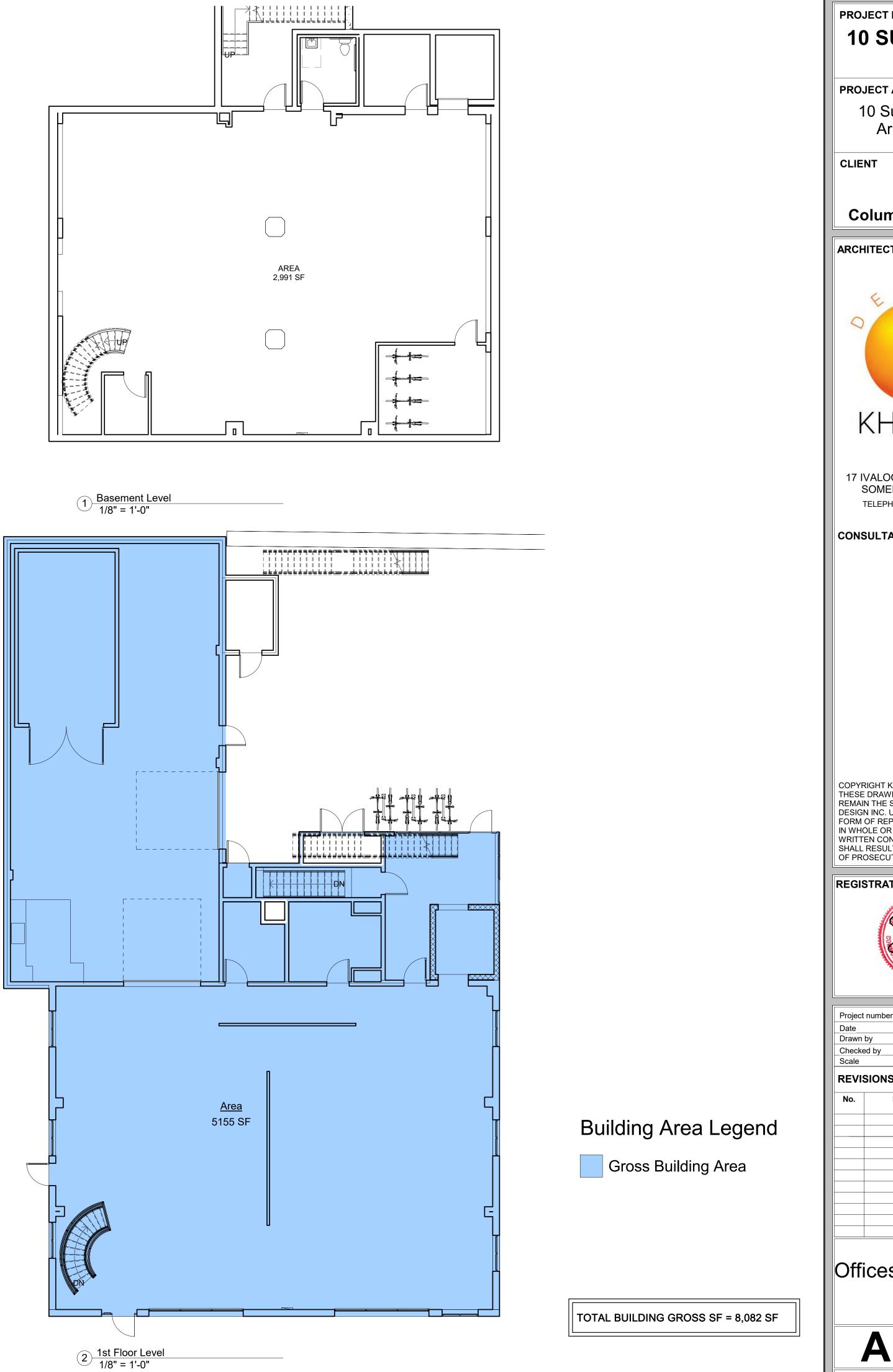
3 G.H./CAFE LEVEL 1/8" = 1'-0"

## **Building Area Legend**



Gross Building Area

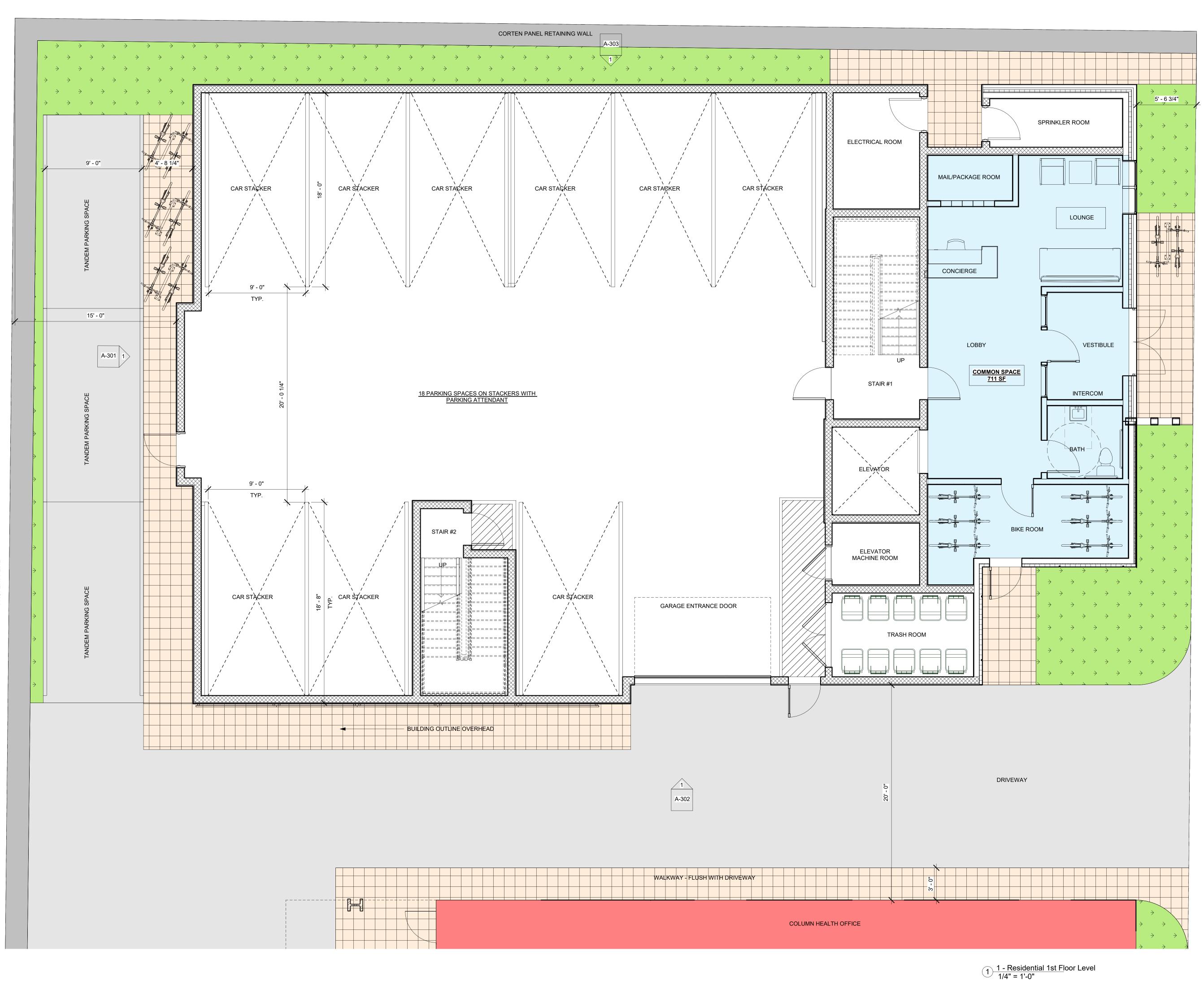




## Building Area Legend

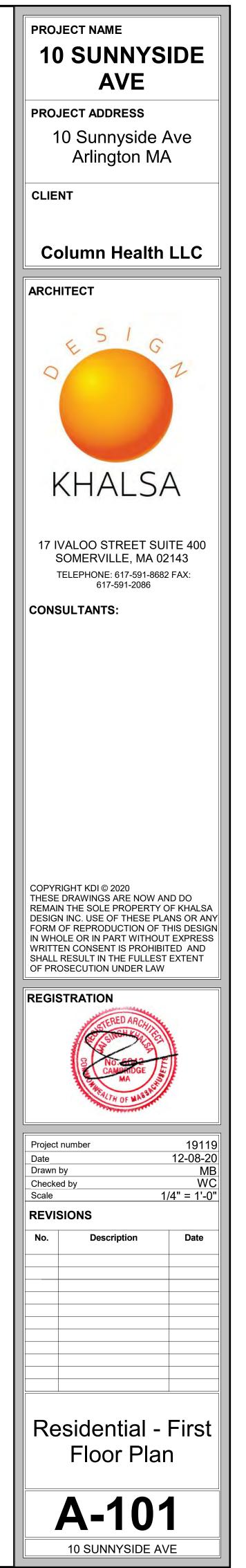
Gross Building Area

10 SUNNYSIDE AVE
PROJECT ADDRESS
10 Sunnyside Ave Arlington MA
CLIENT
Column Health LLC
ARCHITECT
O E SIGZ
KHALSA
17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682 FAX: 617-591-2086
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OF PROSECUTION UNDER LAW
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NO. GOLD CAMERTOGE MA MA MA MA MA MA MA MA MA MA MA MA MA
Project number 19119
Date12-08-20Drawn byMBChecked byWC
Scale         1/8" = 1'-0"           REVISIONS         1/8" = 1'-0"
No.   Description   Date
Offices Gross Area Plan
A-022
10 SUNNYSIDE AVE

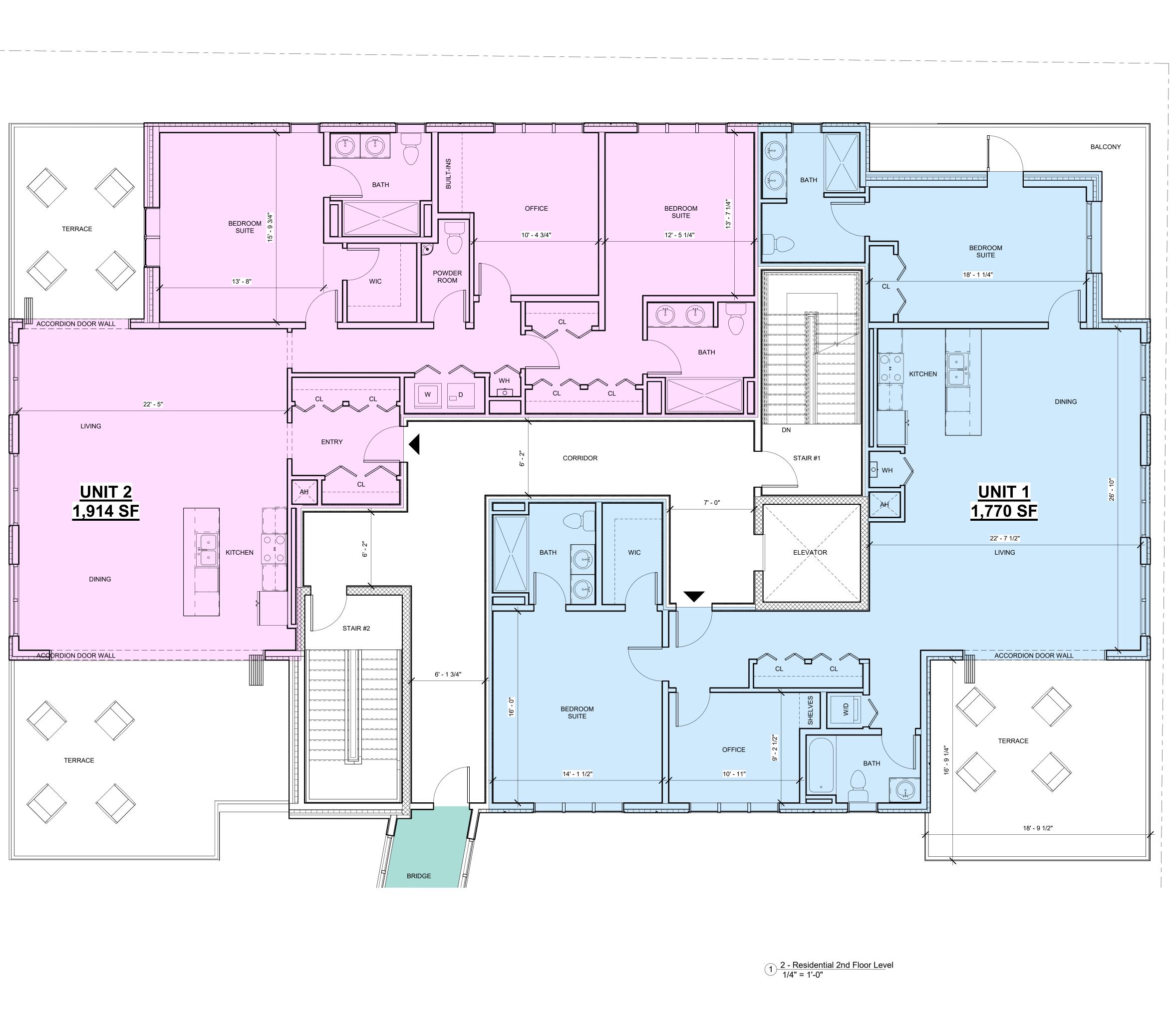


PERTY LINE

PROPERTY L



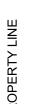
1 A-300

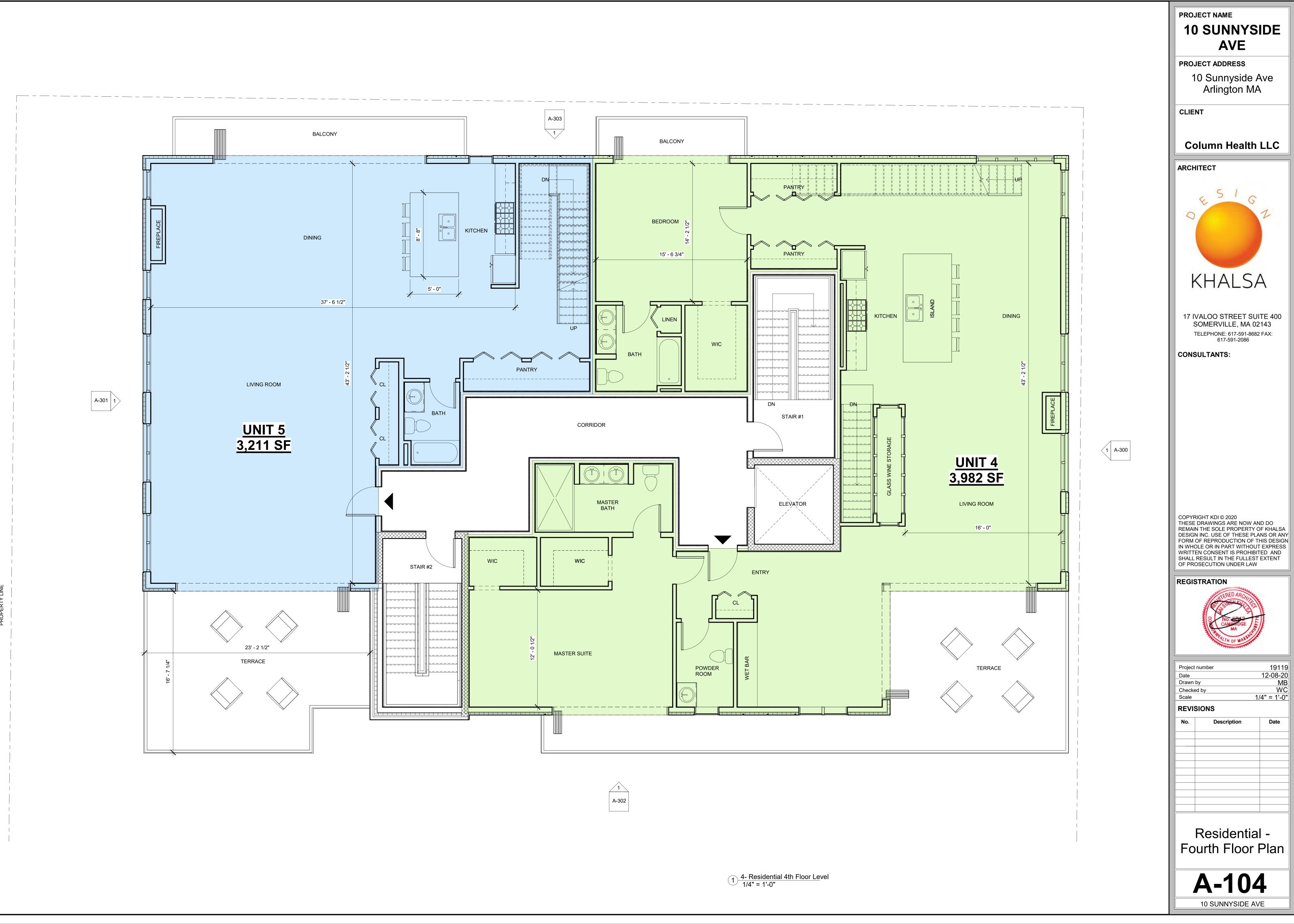


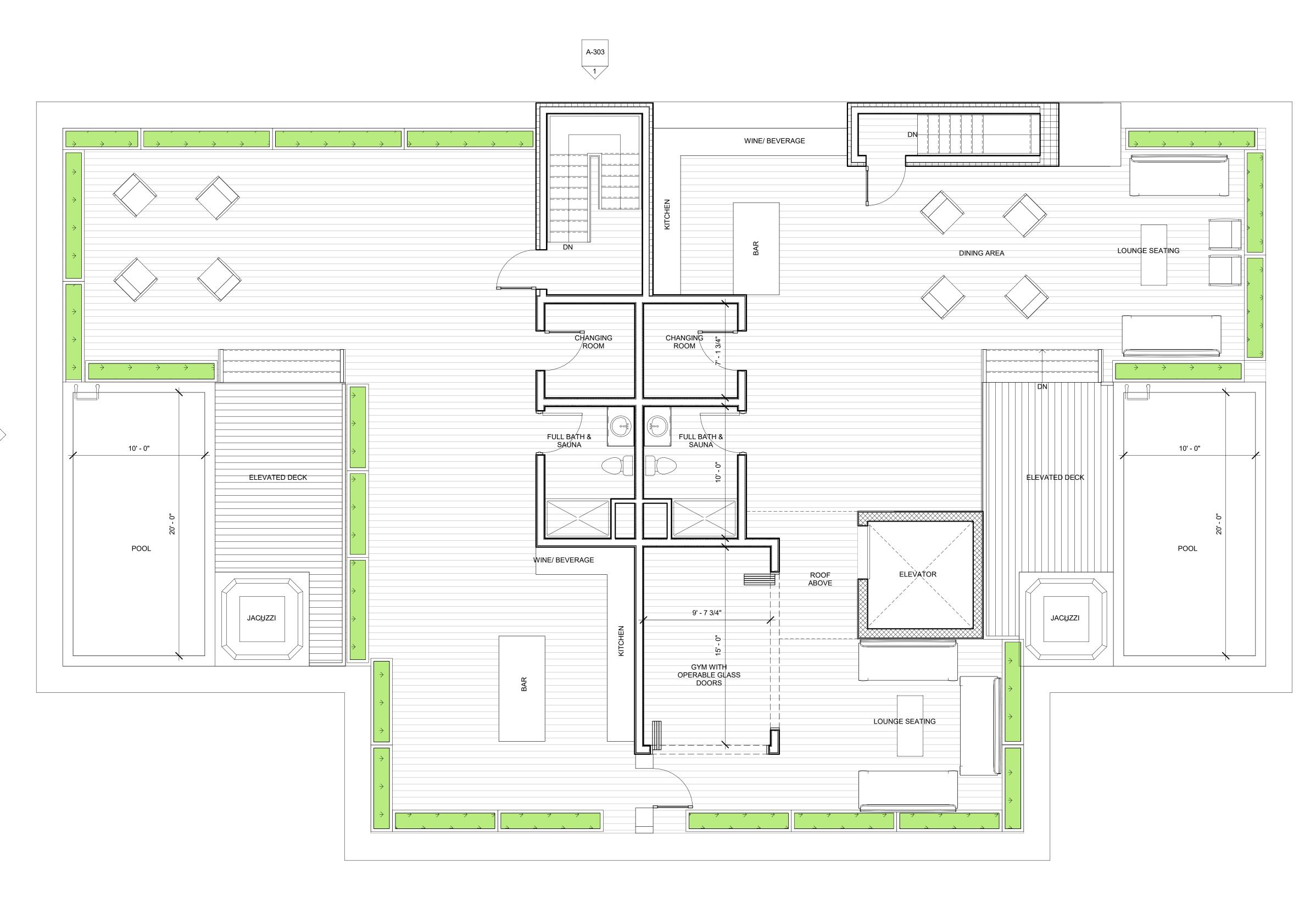


PROJECT NAME 10 SUNNYSIDE AVE
PROJECT ADDRESS 10 Sunnyside Ave Arlington MA
CLIENT
Column Health LLC
OF SIGZ
KHALSA
17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682 FAX: 617-591-2086
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REGISTRATION
REAL PROPERTY AND A REAL P
Project number         19119           Date         12-08-20           Drawn by         MB           Checked by         WC           Scale         1/4" = 1'-0"           REVISIONS         Description           No.         Description           Date         1
Residential -
Second Floor Plan
<b>A-102</b> 10 SUNNYSIDE AVE









A-301 1

1 A-302

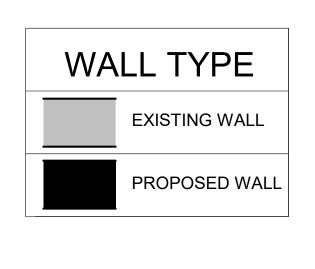
 $1 \frac{5 - \text{Residential Roof Deck Level}}{1/4" = 1'-0"}$ 

PROJECT NAME
10 SUNNYSIDE
AVE
PROJECT ADDRESS
10 Sunnyside Ave Arlington MA
CLIENT
Column Health LLC
ARCHITECT
Q E SIGZ
KHALSA
17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682 FAX:
617-591-2086 CONSULTANTS:
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REGISTRATION
RESERED ARCHITES
Project number 19119
Date 12-08-20 Drawn by MB
Checked by         WC           Scale         1/4" = 1'-0"
REVISIONS       No.     Description     Date
Residential - Roof Deck Floor Plan
A-105
10 SUNNYSIDE AVE

1 A-300



1 Proposed Basement Level 1/4" = 1'-0"

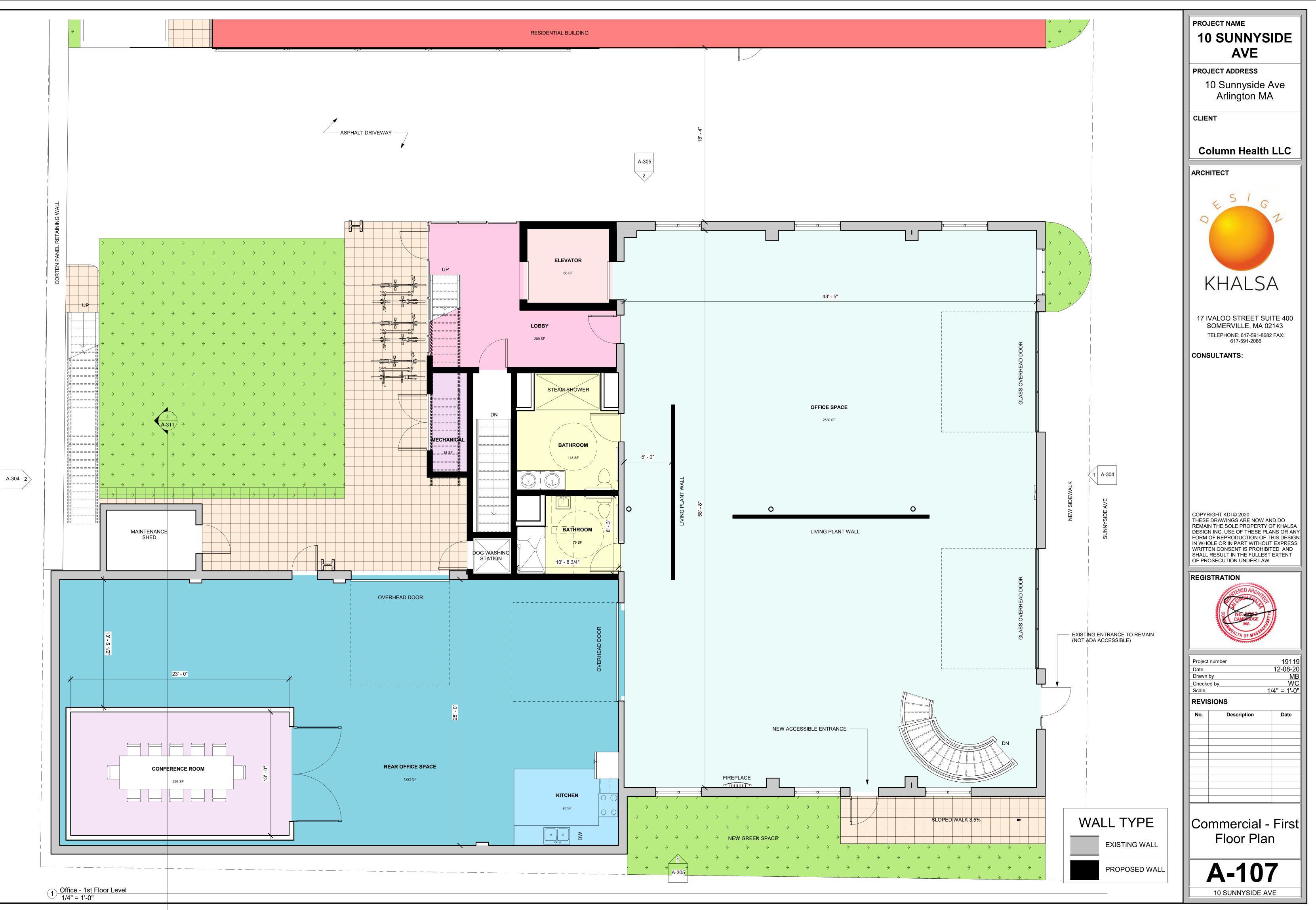


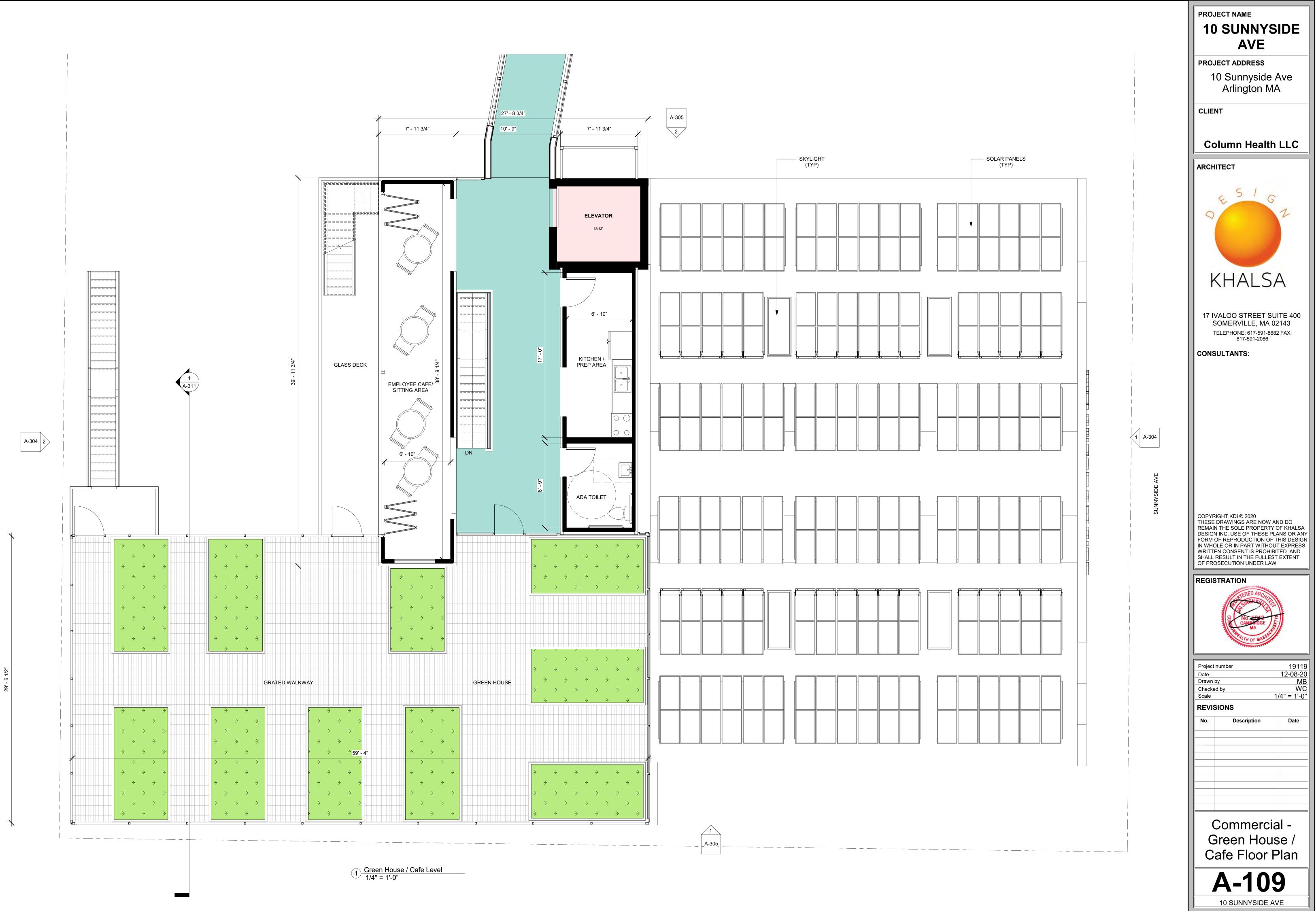
PROJECT NAME	
10 SUNNYSIDE	
AVE	
PROJECT ADDRESS	
10 Sunnyside Ave	
Arlington MA	
CLIENT	
Column Health LLC	
ARCHITECT	
ESIG	
0 2	
KHALSA	
17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143	)
TELEPHONE: 617-591-8682 FAX: 617-591-2086	
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OF PROSECUTION UNDER LAW	
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8 No. cons F	
CAMPRIDGE E	
ALTH OF MASS	
Project number 191	10
Date 12-08	-20
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REVISIONS	<u>-U</u>
No. Description Date	•
Commercial -	
Basement Floor	,
Plan	
<b>A-106</b>	
10 SUNNYSIDE AVE	
	1

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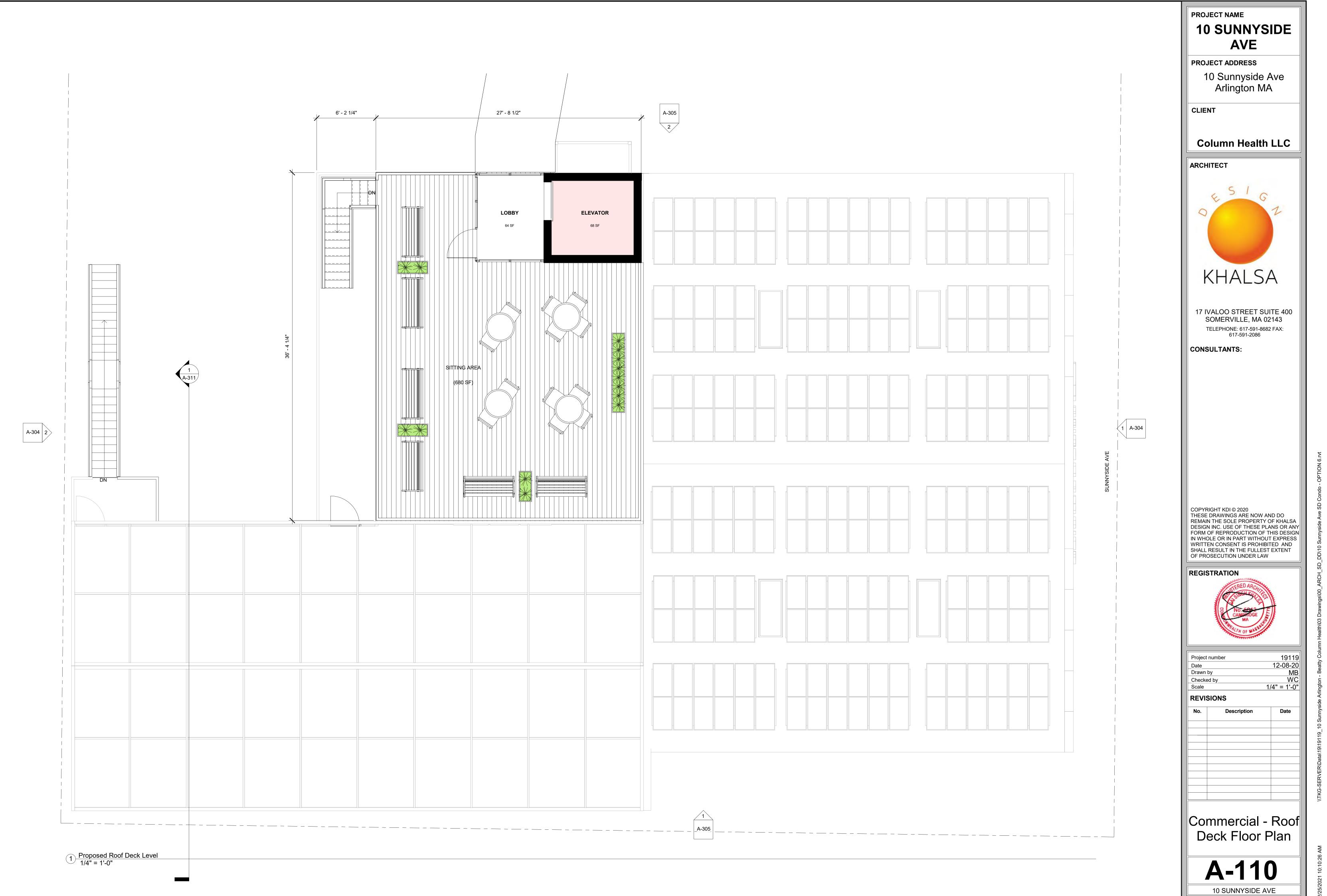
<u>ن</u>

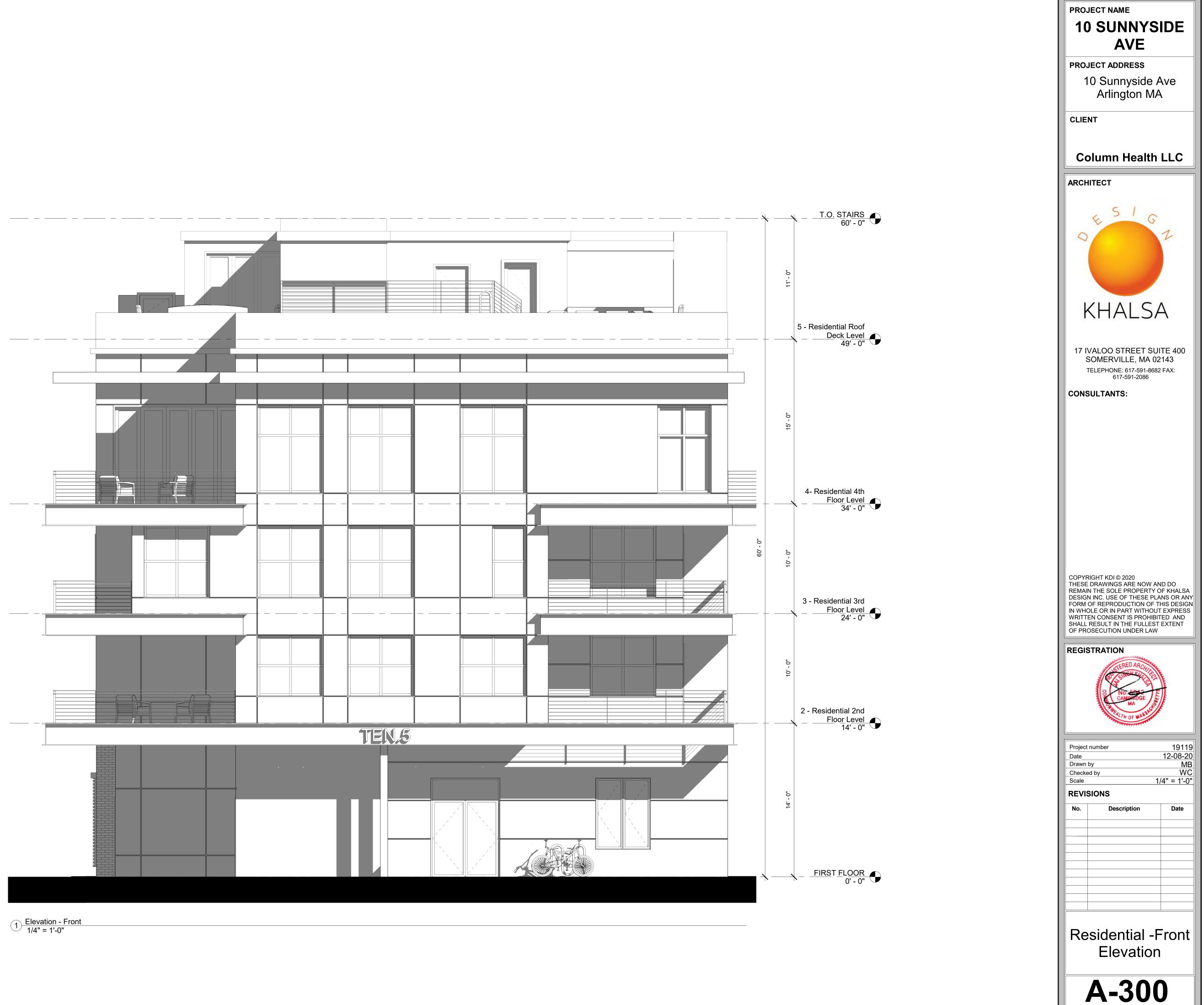
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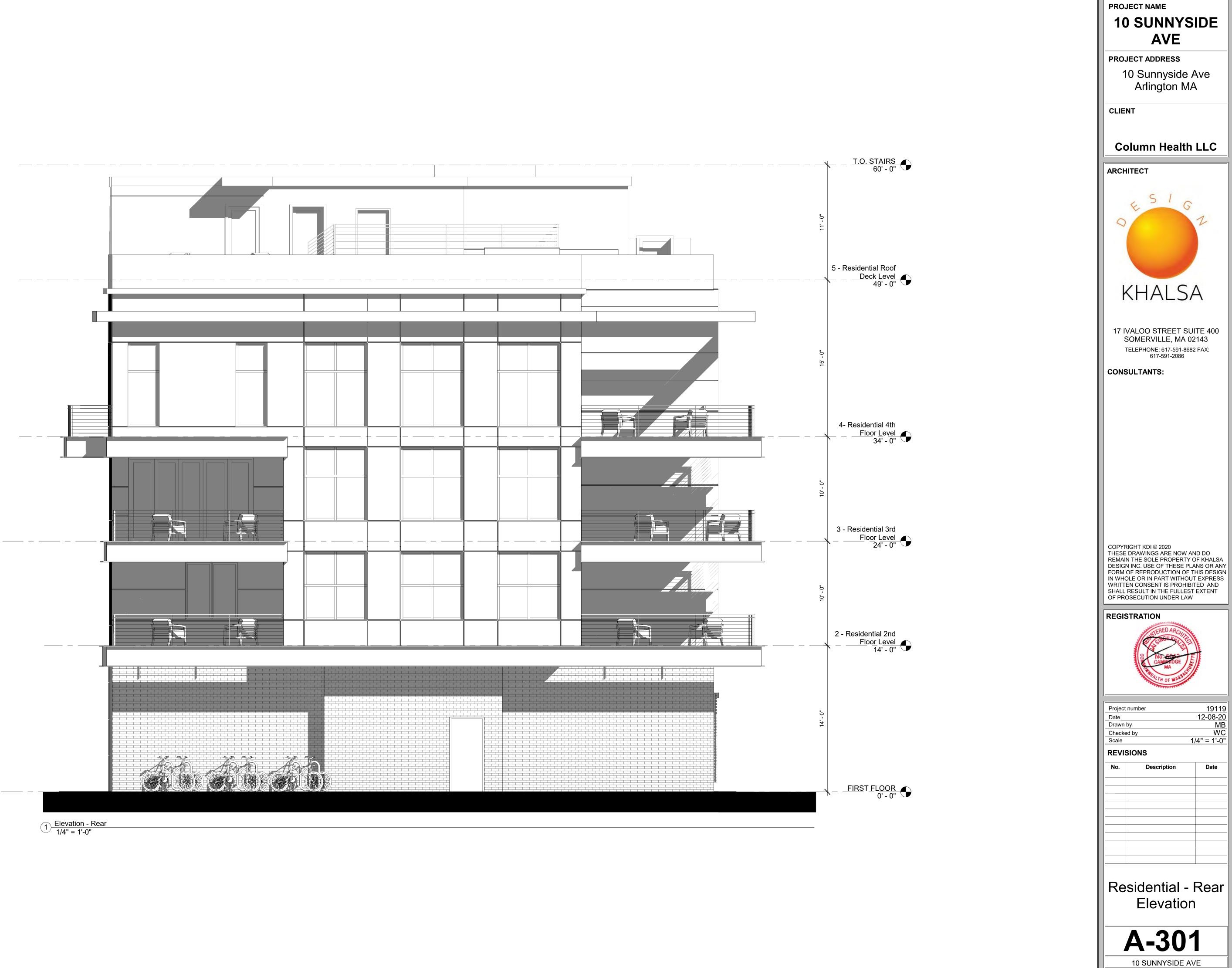


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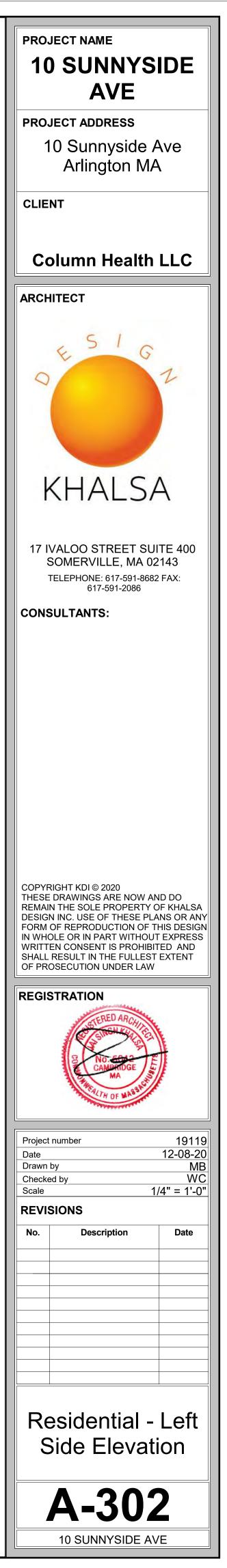




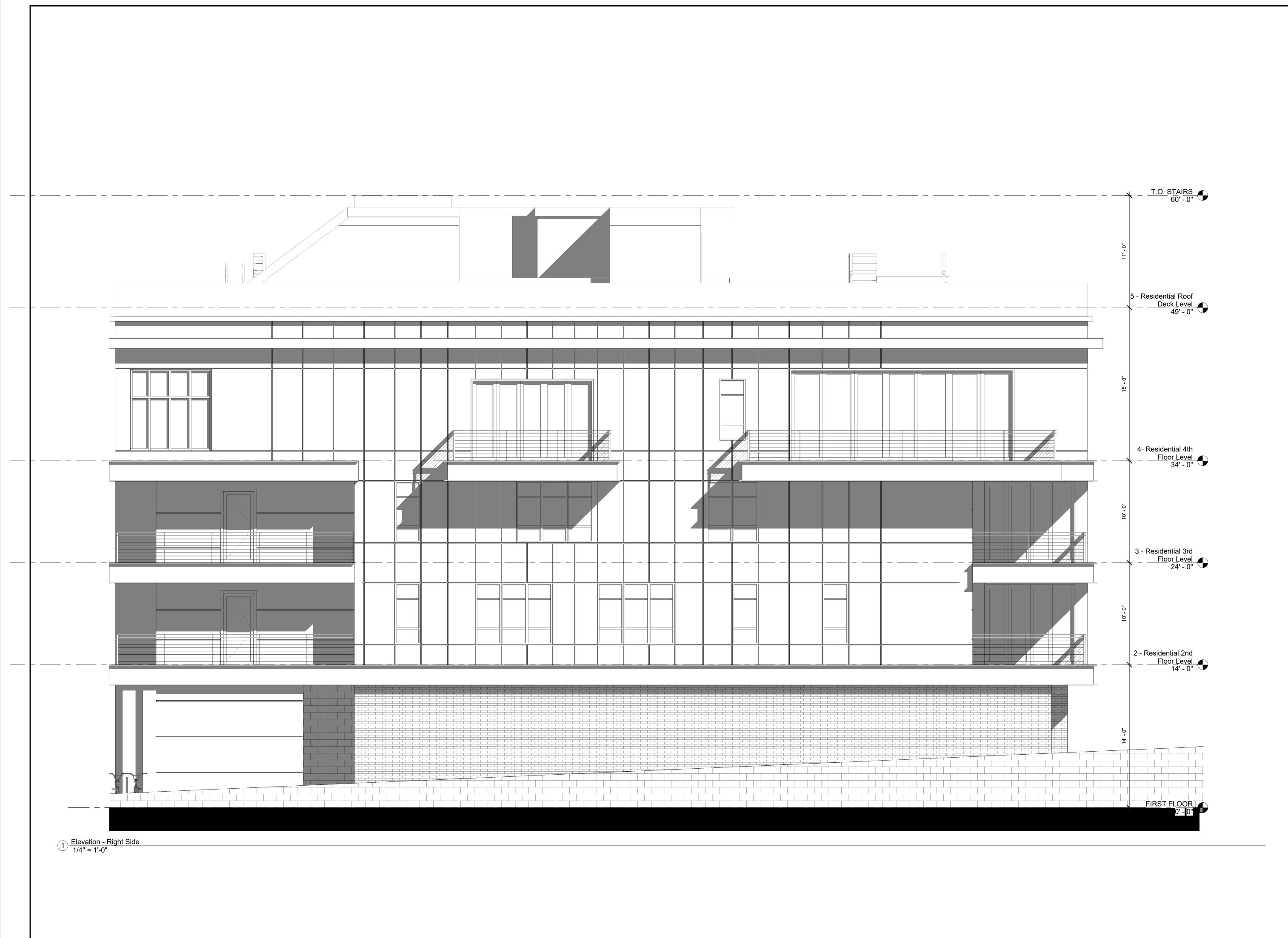
10 SUNNYSIDE AVE

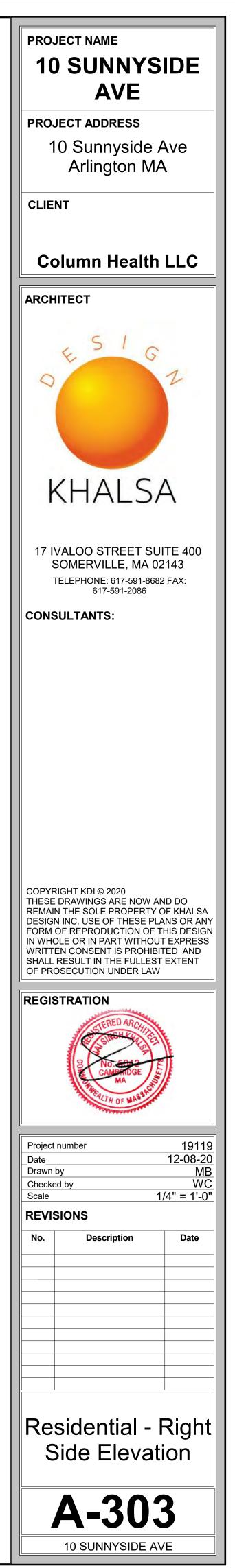


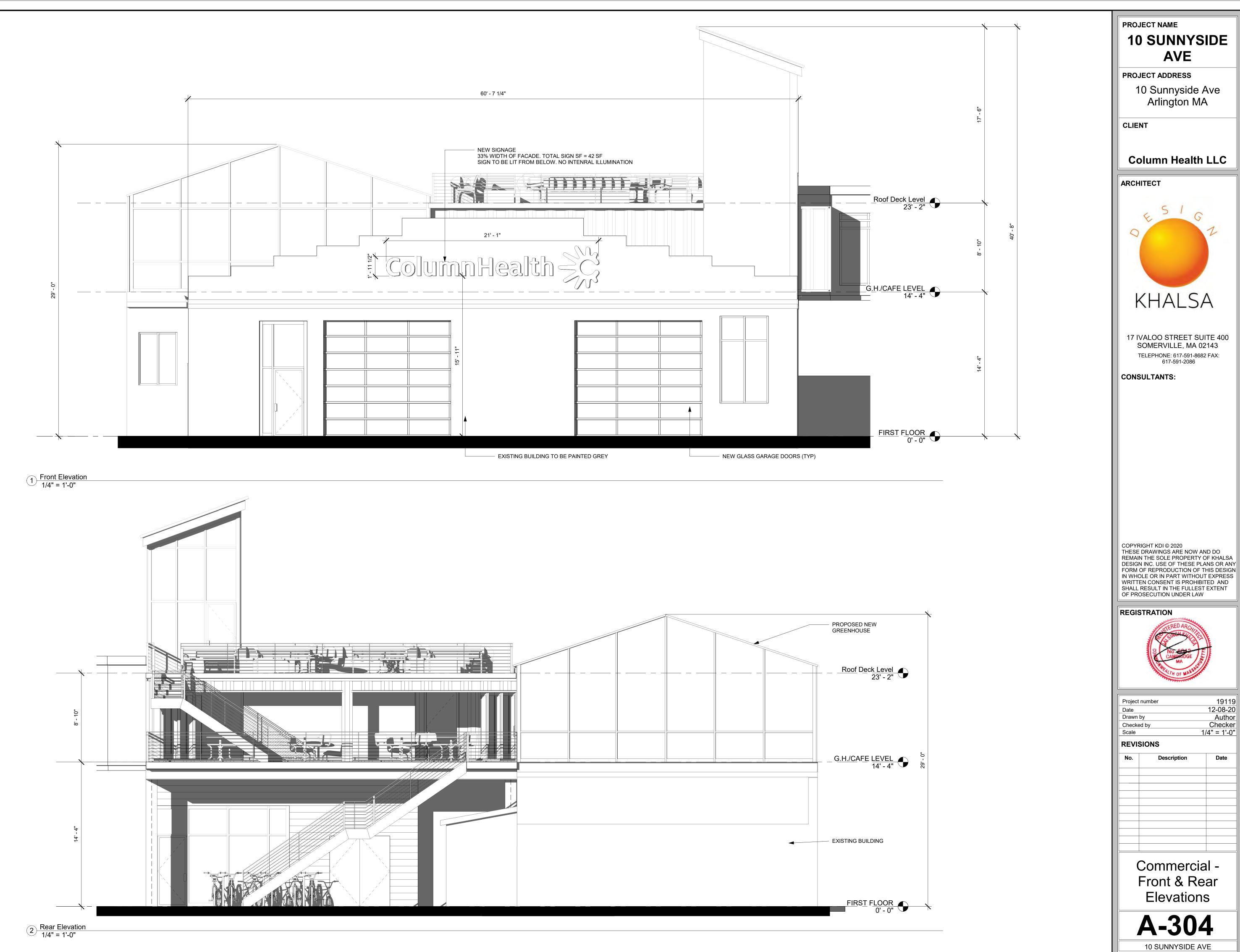


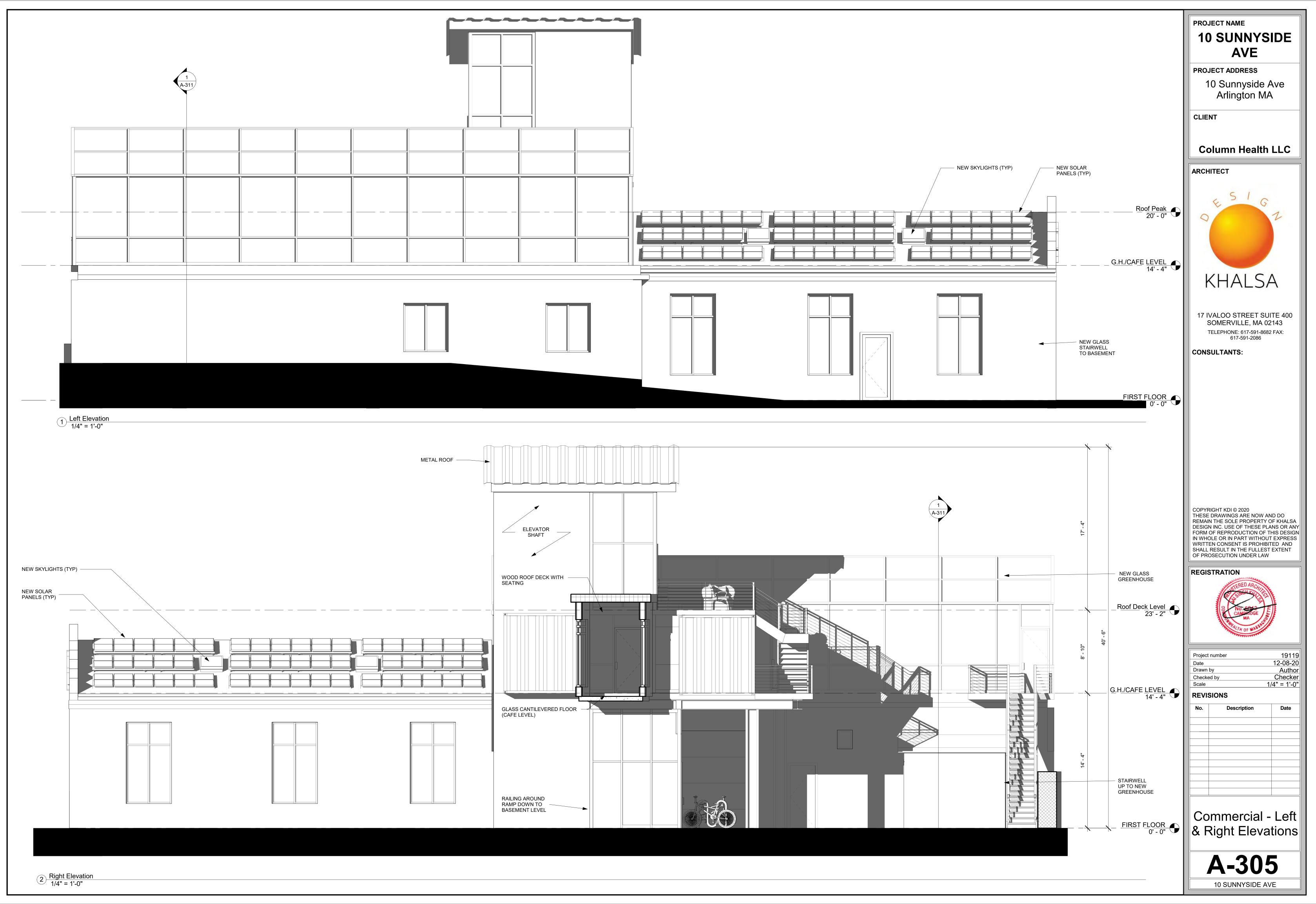


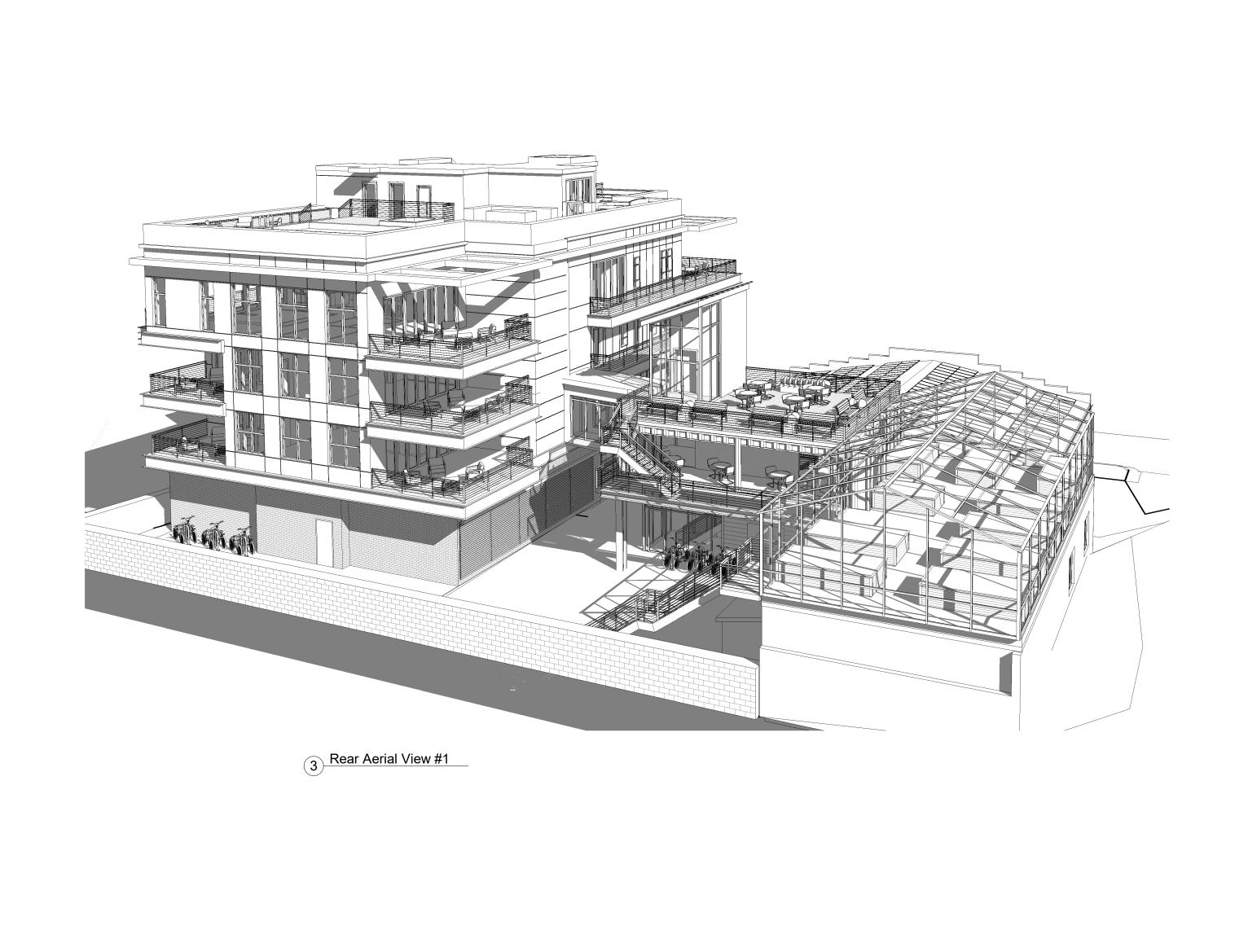
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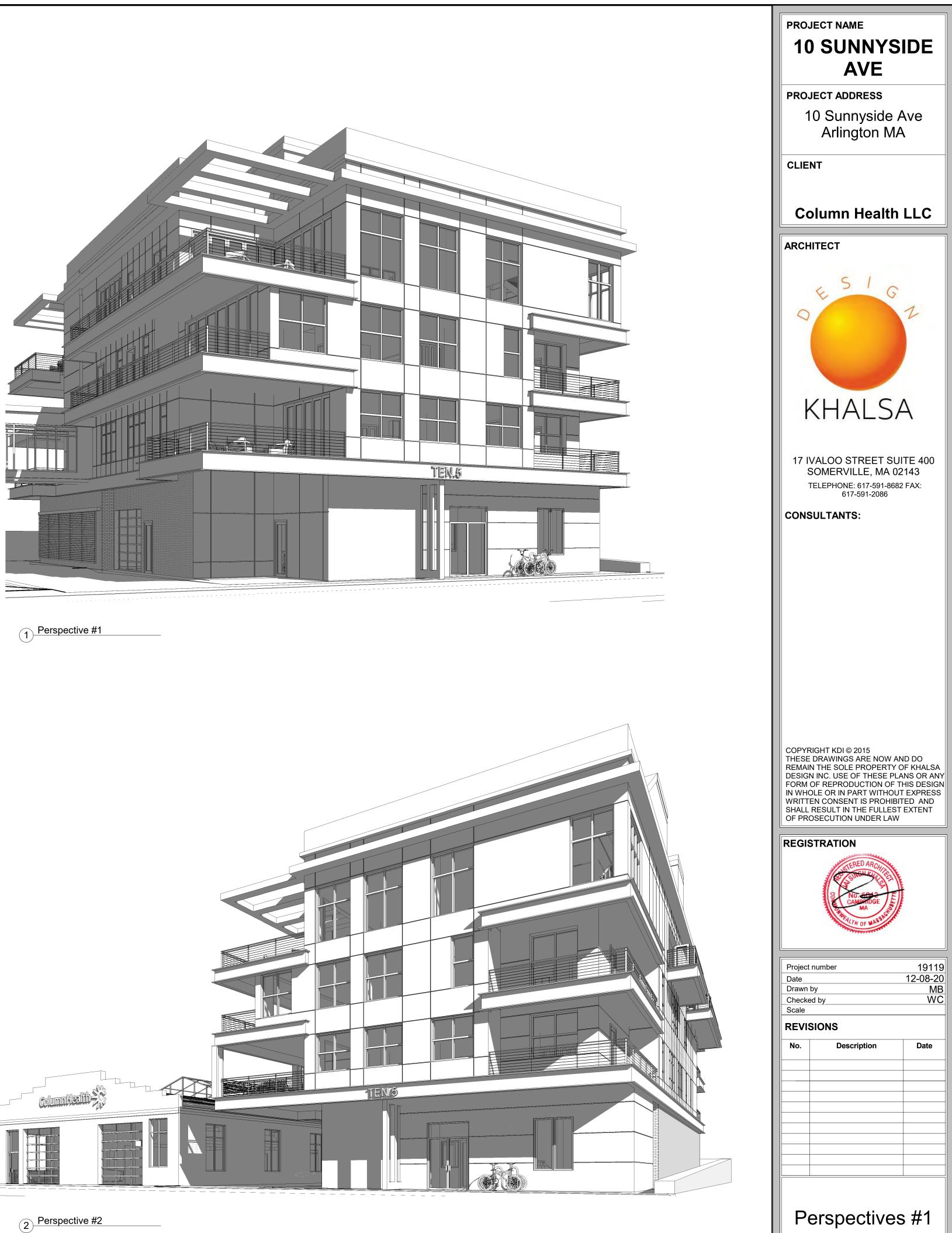


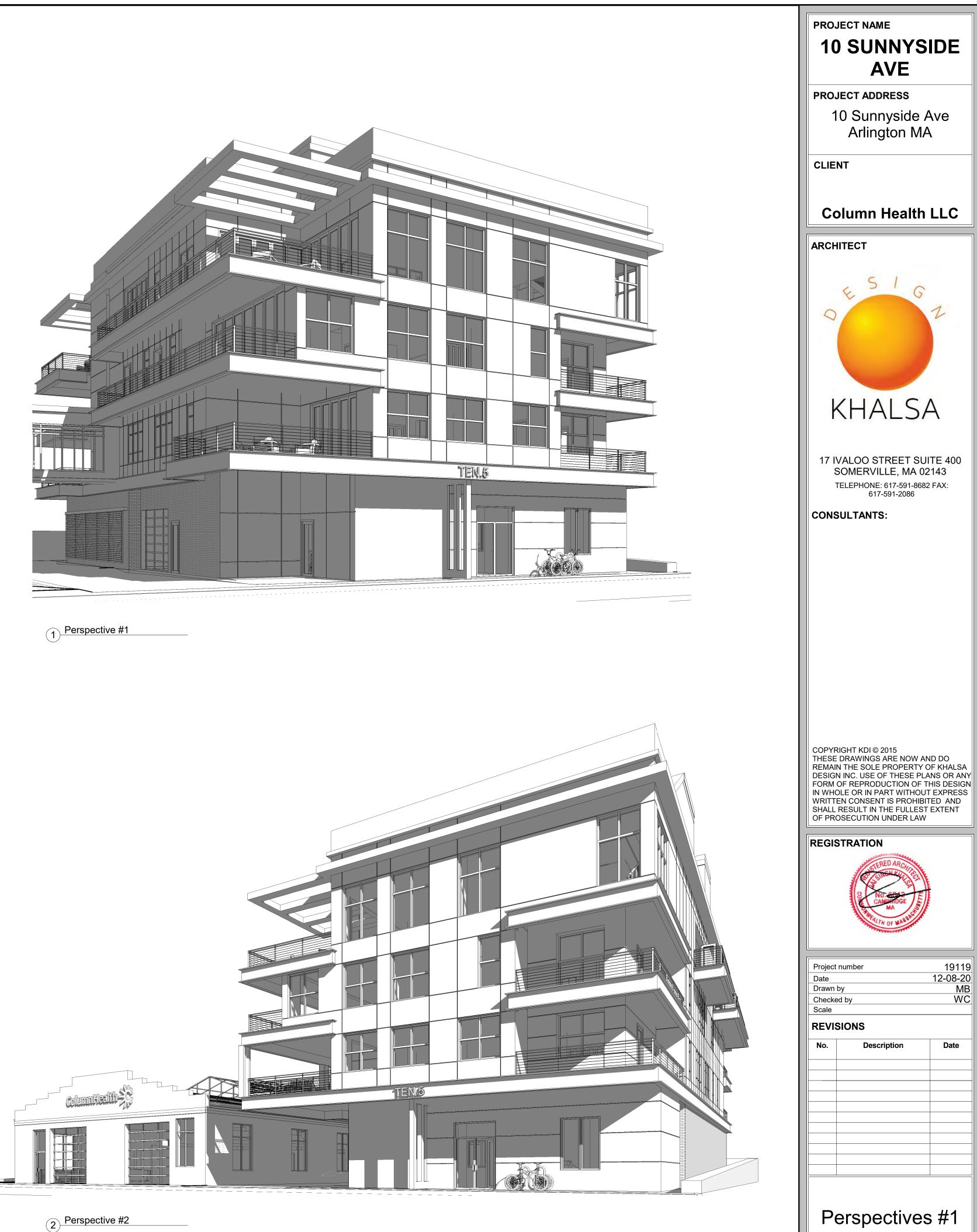






4 Street View

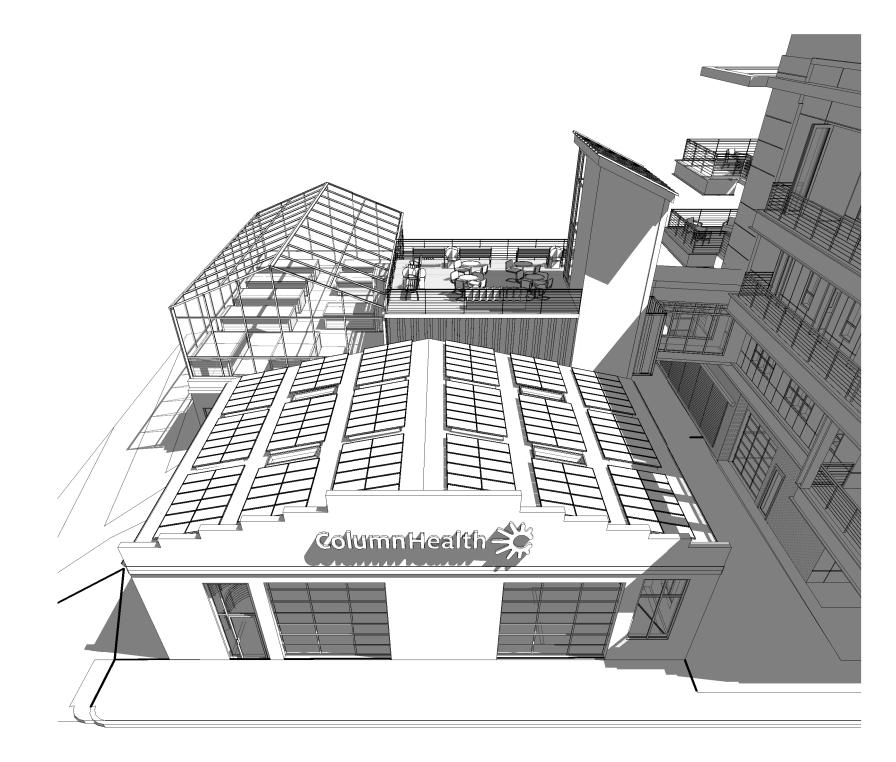




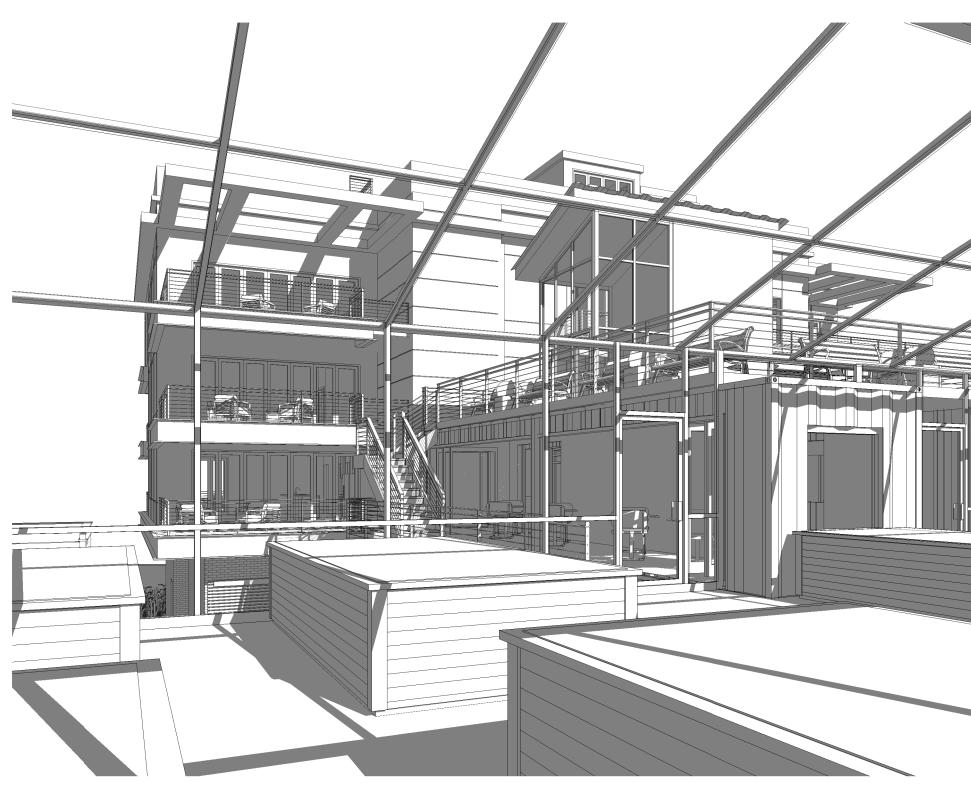
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**A-306** 

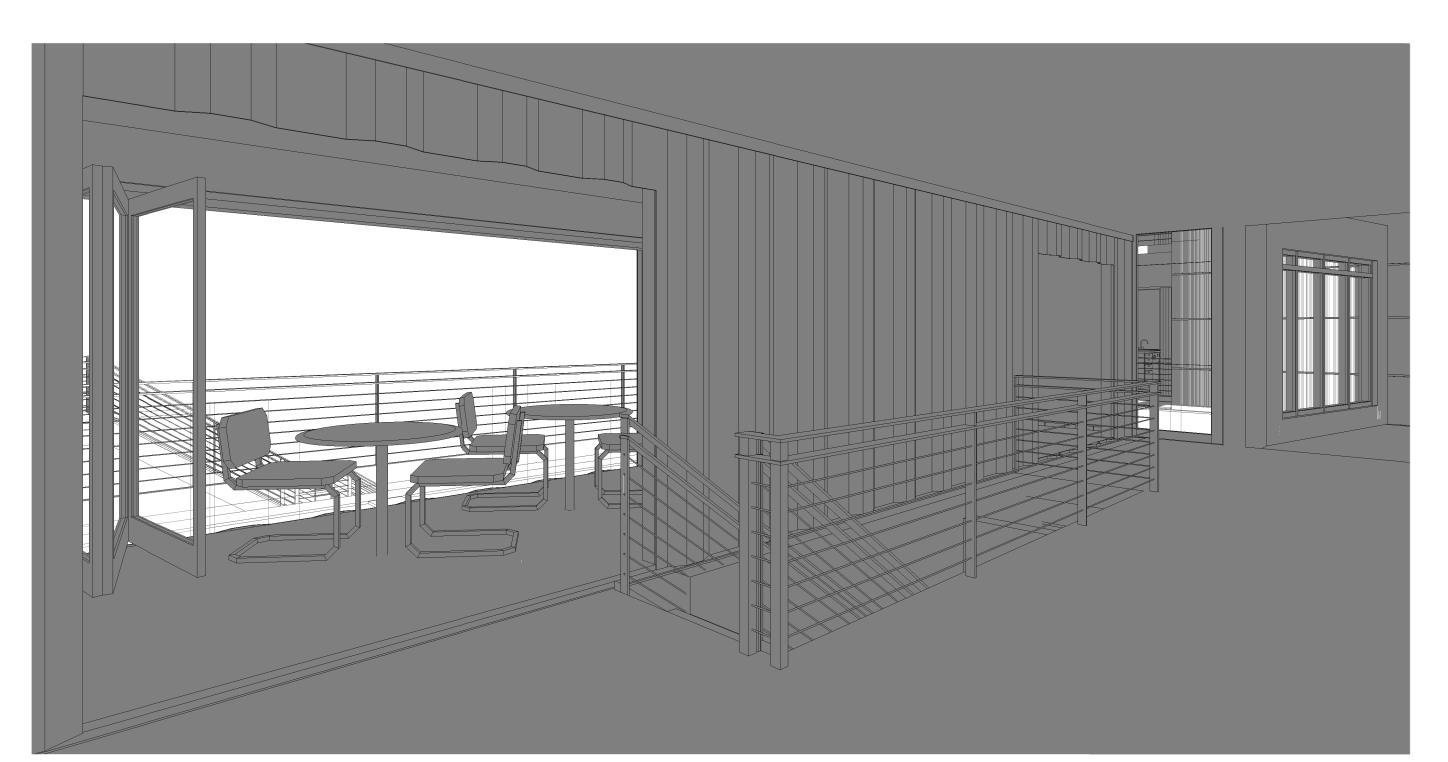
10 SUNNYSIDE AVE



1 FRONT AERIAL PERSPECTIVE



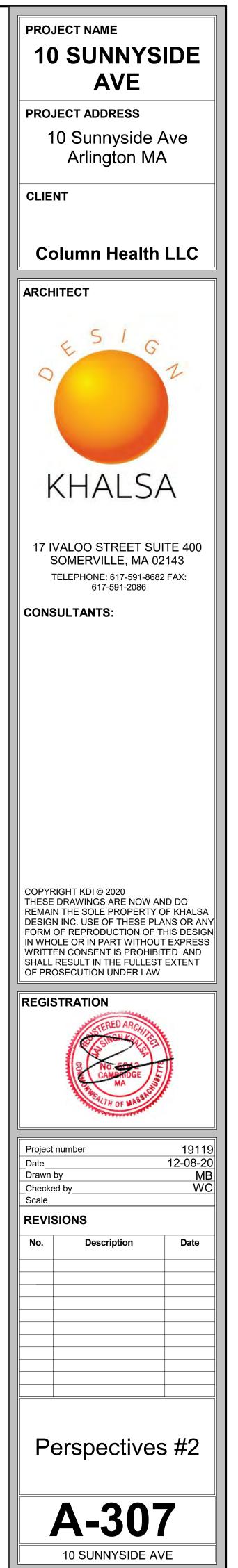
3 GREENHOUSE VIEW

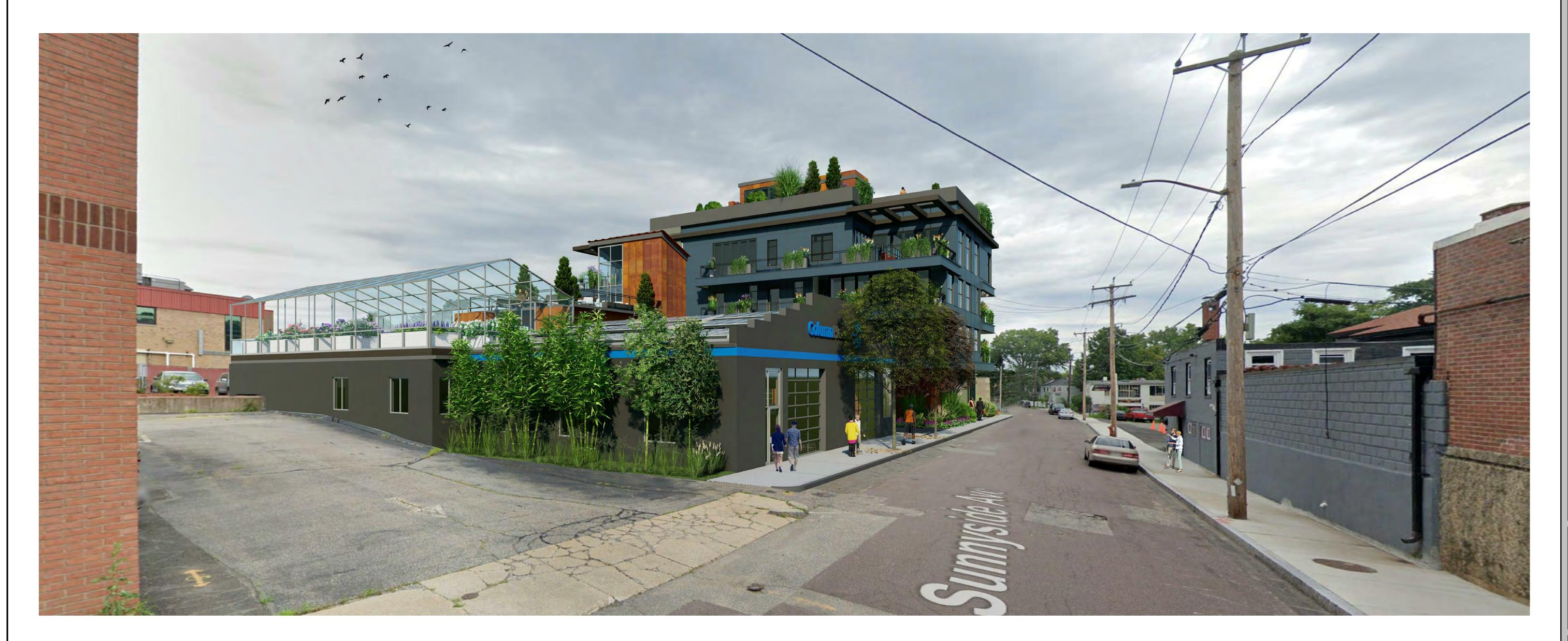


2 CAFE LOUNGE VIEW



4 REAR VIEW



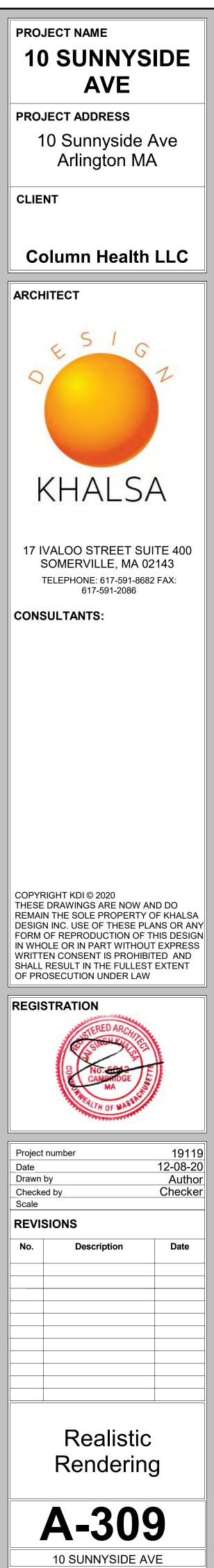


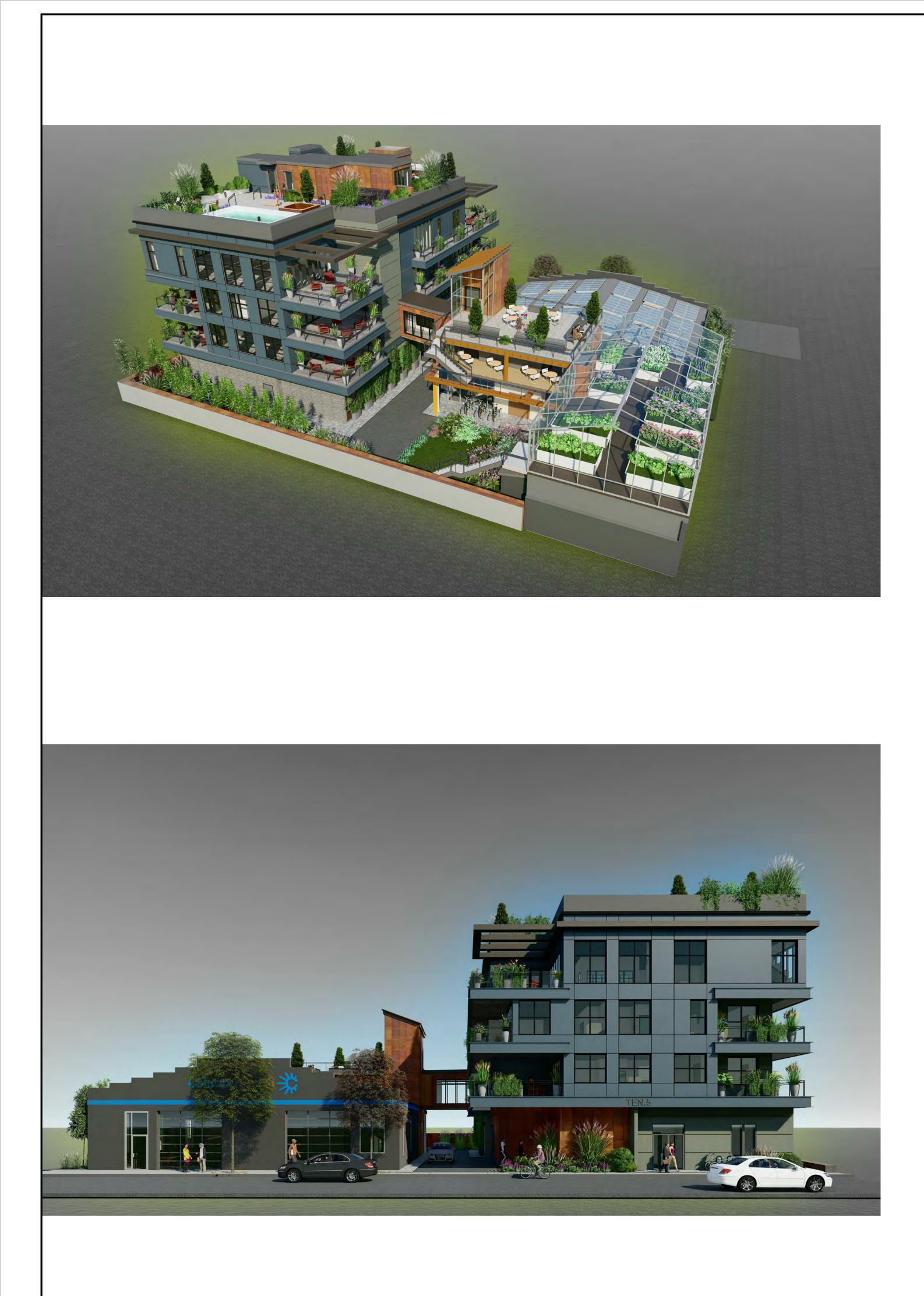
## PROPOSED DEVELOPMENT VIEW LOOKING DOWN SUNNYSIDE AVENUE



## PROPOSED DEVELOPMENT VIEW LOOKING DOWN SUNNYSIDE AVENUE











10 SUNNYSIDE AVE