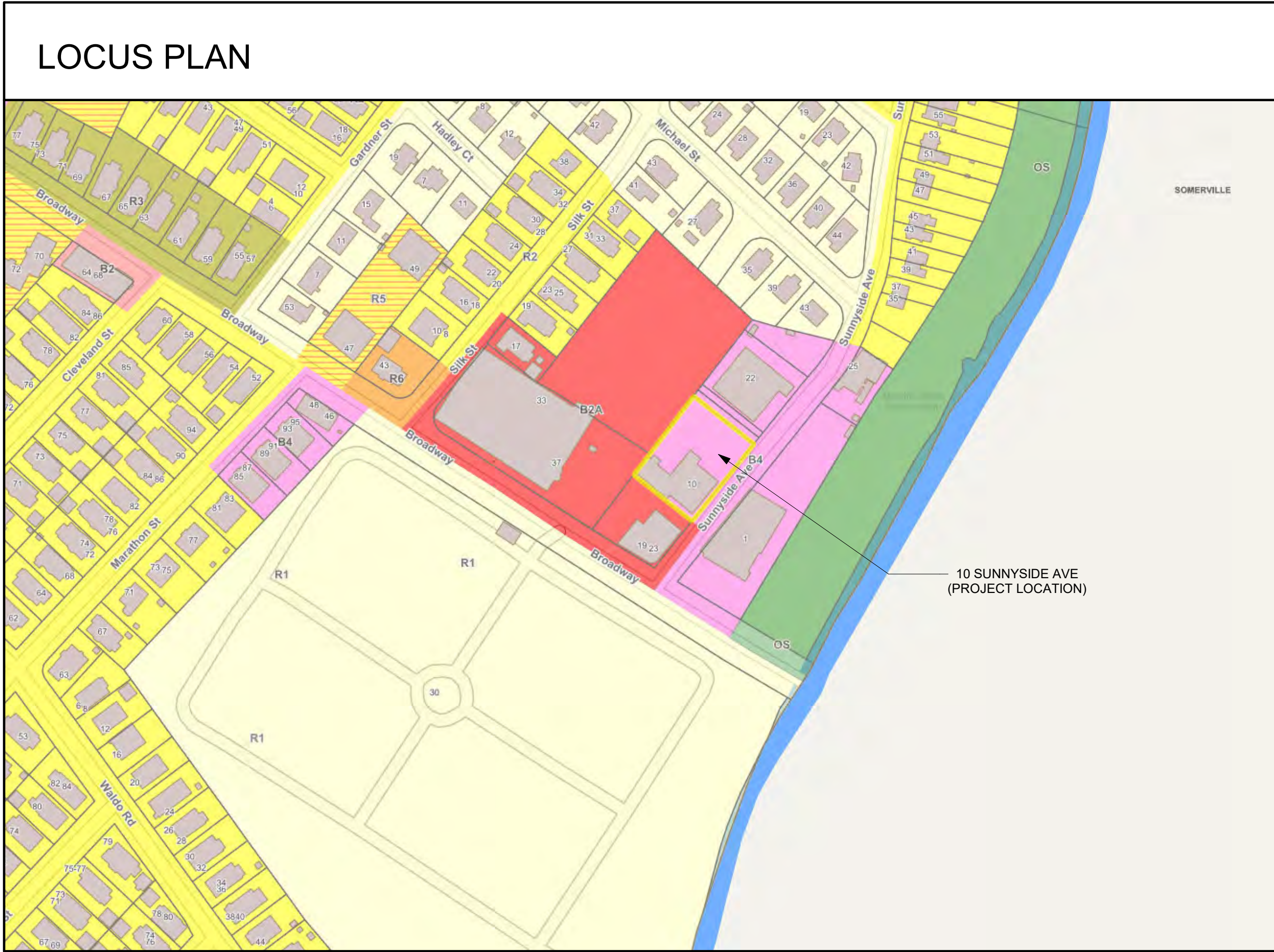




SUBMISSION TO TOWN OF ARLINGTON
12-08-2020



PROJECT:
COLUMN HEALTH OFFICES
& RESIDENTS

PROJECT ADDRESS:
10 SUNNYSIDE AVENUE
ARLINGTON MASSACHUSETTS

ARCHITECT
KHALSA DESIGN INC.
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
617-591-8682

CLIENT
COLUMN HEALTH LLC
339 MASSACHUSETTS AVE
ARLINGTON, MA 02474
617-539-6780

Architectural Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date
A-000	Cover Sheet	1 2/08/20
SV-1	Existing Conditions Plan	1 2/07/20
C-1	Civil Title Sheet	1 2/07/20
C-2	Legend and General Notes	1 2/07/20
C-3	Layout & Materials Plan	1 2/07/20
C-4	Grading & Drainage Plan	1 2/07/20
C-5	Utilities Plan	1 2/07/20
C-6	Erosion Control & Sedimentation Plan	1 2/07/20
C-7	Site Details 1	1 2/07/20
C-8	Site Details 2	1 2/07/20
A-020	Architectural Site Plan	1 2/08/20
A-020.1	Site Locus & Zoning	0 1/21/21
A-021	Apartments Gross Area Plan	1 2/08/20
A-022	Offices Gross Area Plan	1 2/08/20
A-101	Residential - First Floor Plan	1 2/08/20
A-102	Residential - Second Floor Plan	1 2/08/20
A-103	Residential - Third Floor Plan	1 2/08/20
A-104	Residential - Fourth Floor Plan	1 2/08/20
A-105	Residential - Roof Deck Floor Plan	1 2/08/20
A-106	Commercial - Basement Floor Plan	1 2/08/20
A-109	Commercial - Green House / Cafe Floor Plan	1 2/08/20
A-110	Commercial - Roof Deck Floor Plan	1 2/08/20
A-300	Residential -Front Elevation	1 2/08/20
A-301	Residential - Rear Elevation	1 2/08/20
A-302	Residential - Left Side Elevation	1 2/08/20
A-303	Residential - Right Side Elevation	1 2/08/20
A-304	Commercial - Front & Rear Elevations	1 2/08/20
A-305	Commercial - Left & Right Elevations	1 2/08/20
A-306	Perspectives #1	1 2/08/20
A-307	Perspectives #2	1 2/08/20
A-308	Realistic Rendering	1 2/08/20
A-309	Realistic Rendering	1 2/08/20
A-310	Realistic Perspectives	1 2/08/20

PROJECT NAME
10 SUNNYSIDE
AVE

PROJECT ADDRESS
10 Sunnyside Ave
Arlington MA

CLIENT

Column Health LLC

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

CONSULTANTS:

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Project number 19119
Date 12-08-20
Drawn by MB
Checked by WC
Scale

REVISIONS

No.	Description	Date

Cover Sheet

A-000

10 SUNNYSIDE AVE

UTILITY NOTE

THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED UPON A FIELD SURVEY AND A COMPILATION OF AVAILABLE PLANS OF RECORD FROM THE VARIOUS UTILITY COMPANIES. THE INFORMATION PROVIDED IS FOR THE USE OF THE CONTRACTOR. NEITHER WARRANTY NOR GUARANTEE OF THE INFORMATION IS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BY CONTACTING THE RESPECTIVE UTILITY COMPANIES AND 'DIG-SAFE' (1-888-344-7233) PRIOR TO CONSTRUCTION.

GAS ——— G ——— WATER ——— W ———
TELEPHONE ——— T ——— SEWER ——— S ———
ELECTRIC ——— E ———

LEGEND	
	STONE BOUND DRILL HOLE
	GAS METER
	GAS GATE
	WATER GATE
	UTILITY POLE
	SEWER MANHOLE
	DRAIN MANHOLE
	WATER MANHOLE
	MANHOLE
	MONITORING WELL
	SOIL BORING
	LANDSCAPING
	RETAINING WALL
	BITUMINOUS BERM
	BITUMINOUS CONCRETE
	CONCRETE
	CONCRETE PAD
	GRANITE CURB
	EDGE OF PAVEMENT
	POLYVINYL CHLORIDE
	PLASTIC
	RIM
	INVERT
	CHAIN LINK FENCE
	OVERHEAD WIRES
	PROPERTY LINE

ZONING NOTES:

Zoning District: "B4" Vehicular Oriented Business District

Minimum Lot Size: None
Minimum Frontage: 50 feet
Minimum Open Space: None
Maximum Floor Area Ratio: 1.5
Front Yard Setback: None
Rear Yard Setback: 13 Feet
Side Yard Setback: None
Maximum Building Height: 4 stories or 50 feet

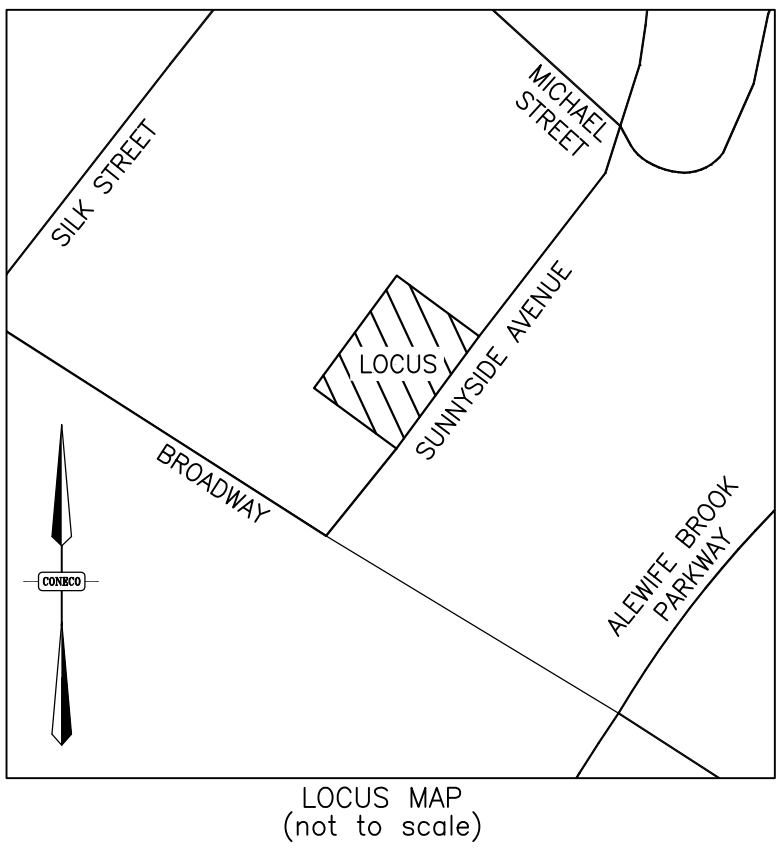
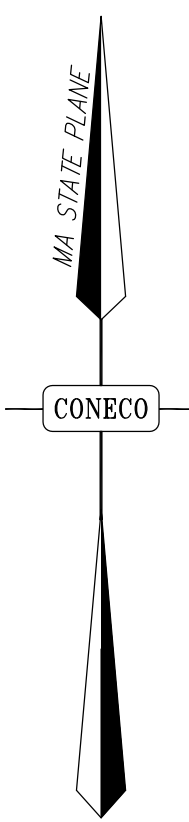
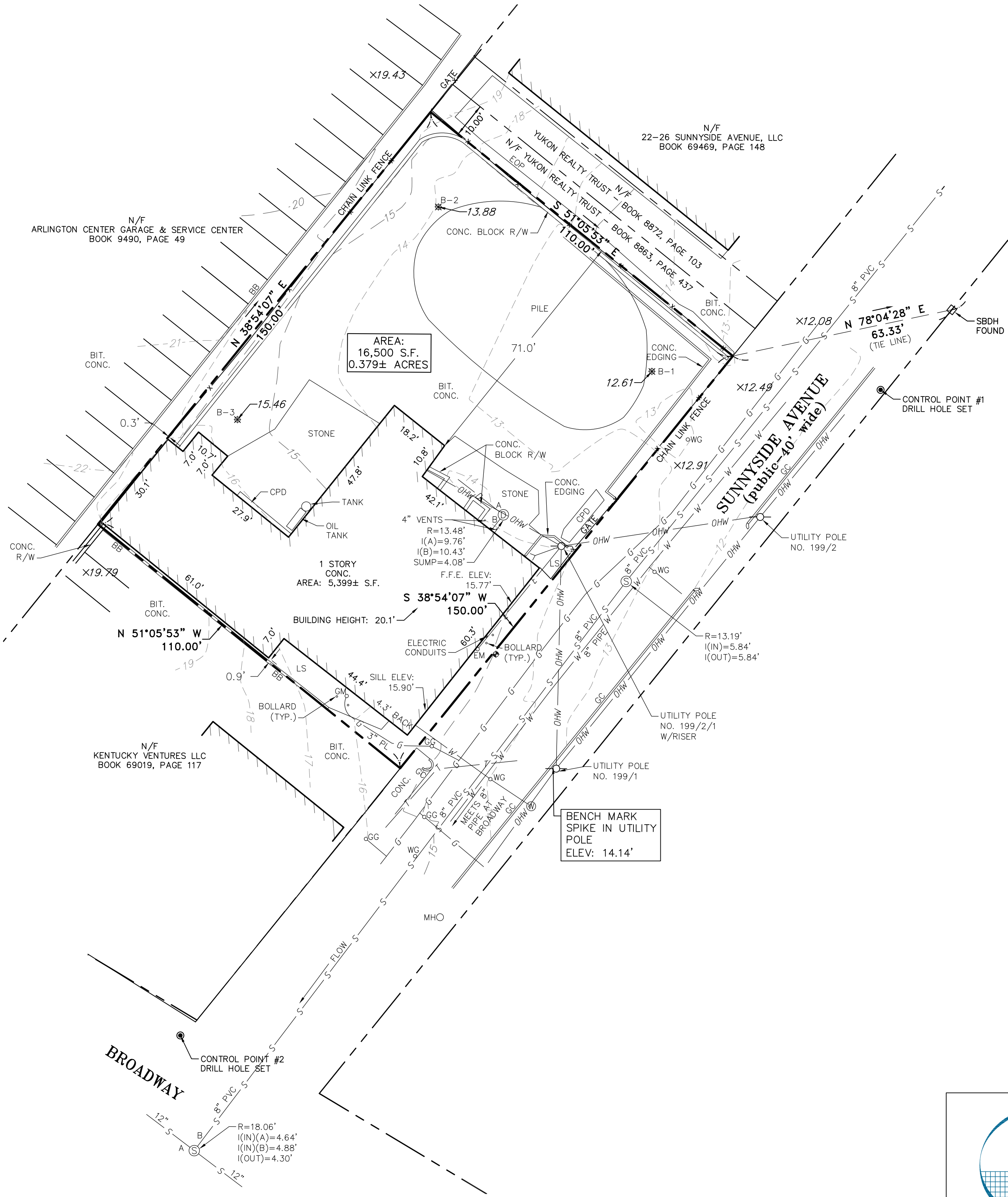
NOTES:

1. VERTICAL DATUM: NAVD 88.
2. LOCUS PROPERTY IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25017C0417E DATED JUNE 4, 2010.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL, AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

TIMOTHY S. BODAH, PLS

PLAN REFERENCES	
1.	BOOK 3202, PAGE END
2.	BOOK 2637, PAGE 301
3.	PLAN NO. 1177 OF 1946
4.	PLAN NO. 415 OF 1947
5.	PLAN NO. 345 OF 1957
6.	PLAN NO. 723 OF 1955



OWNER OF RECORD:
MB REALTY GROUP LLC
PARCEL ID: 33-2-2.B
BOOK 73883, PAGE 259

EXISTING CONDITIONS PLAN

10 SUNNYSIDE AVENUE
ARLINGTON, MA

PREPARED FOR:

EBI CONSULTING

SCALE

DATE

ACAD FILE

JOB NO.

1" = 20'

11/09/2020

11157.DWG

11157

CONECO
Engineers & Scientists

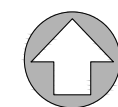
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3191 OR 800-548-3355; FAX 508-697-5996
WEBSITE: www.coneco.com

20' 0 20' 40'
SCALE IN FEET

NO.	DATE	DESCRIPTION	BY
REVISIONS			

Issued For: Local Approvals
Date Issued: December 7, 2020

SHEET NO.	SHEET TITLE	LATEST ISSUE
Sv-1	Existing Conditions Plan	6/12/2015



Source: MassGIS

Column Health LLC
339 Massachusetts Avenue
Arlington, MA 02474
Tel: 617-539-6780
www.coneco.com

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339 Massachusetts Avenue
Arlington, MA 02474
Tel: 617-539-6780
www.coneco.com

Map #033.0, Lot #0002.B

 **EBI Consulting**
environmental | engineering | due diligence

2 Battermarch Park, Suite 100
Quincy, MA 02169
Tel: 781-273-2500
www.ebiconsulting.com

Khalsa
17 Ivaloo Strreet, Suite 400
Somerville, MA 02143
Tel: (617) 591-8682

Coneco Engineers & Scientists
4 First Street
Bridgewater, MA 02324
Tel: 508-697-3191
www.coneco.com



2 Batterymarch Park, Suite 100
Quincy, MA 02169
Tel: 781.273.2500
www.ebiconsulting.com



PREPARED FOR:

Column Health LLC
Colin Beatty
339 Massachusetts Ave
Arlington, MA 02474
Tel: (617) 539-6780
cbeatty@columnhealth.com

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SUBMITTALS

[illegible]

DATE:
December 7, 2020

PROJECT NUMBER:
1620000049

PROJECT TITLE:

Column Health
Offices & Residences

10 Sunnyside Avenue
Arlington, MA 02474
Middlesex County

ISSUED FOR:
Local Approvals
(Not Approved for Construction)

SHEET TITLE:

Title Sheet

SCALE:
N.T.S.

DESIGNED BY:
RLB

CHECKED BY:
MFC

SHEET NO:

C-1

1 OF 8



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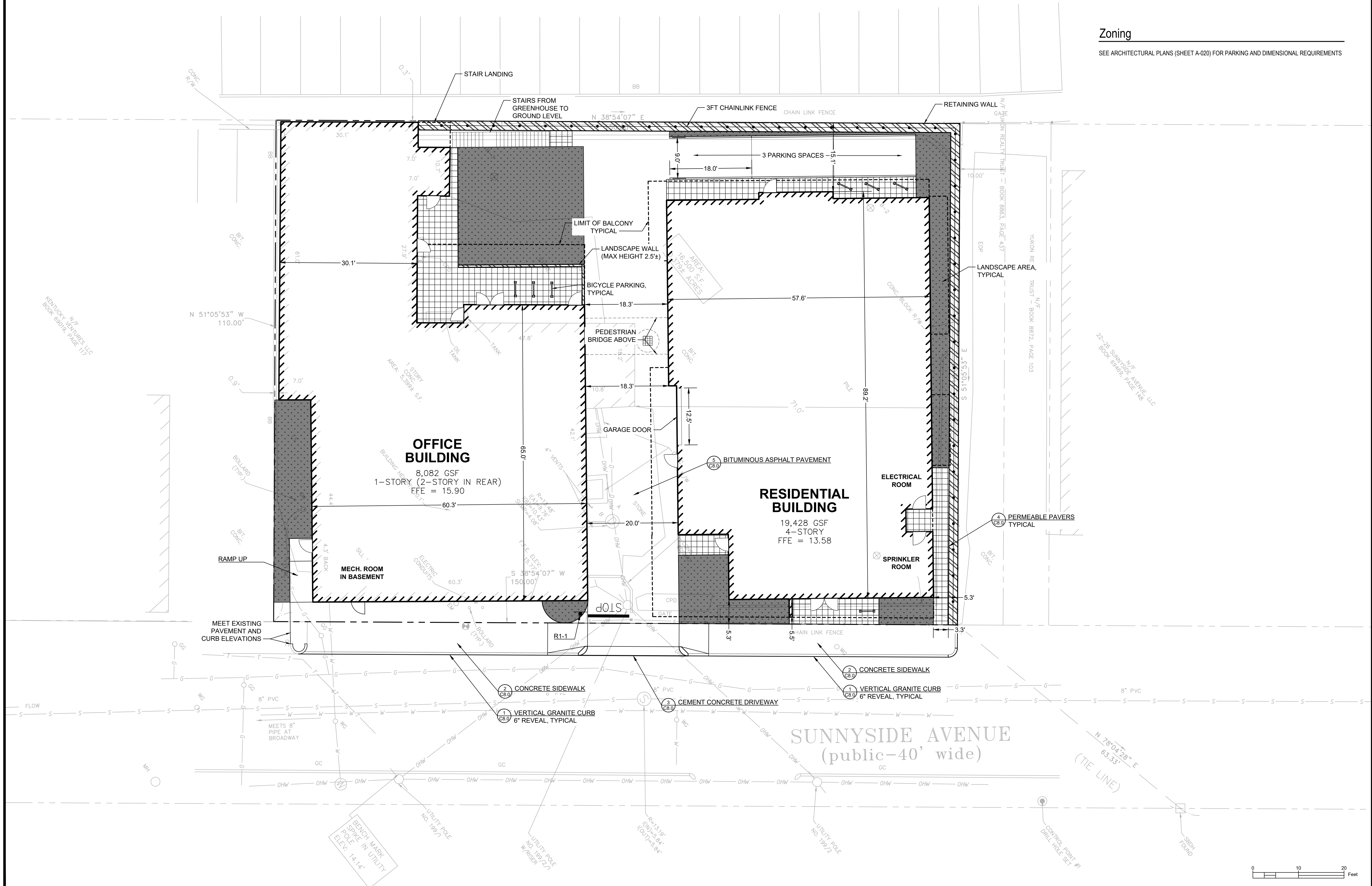
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PROJECT TITLE:
Column Health
Offices & Residences

ISSUED FOR:
Local Approvals
(Not Approved for Construction)

SCALE: 1" = 10'	SHEET NO: C-3
DESIGNED BY: RLB	
CHECKED BY: MFC	

3 OF 8





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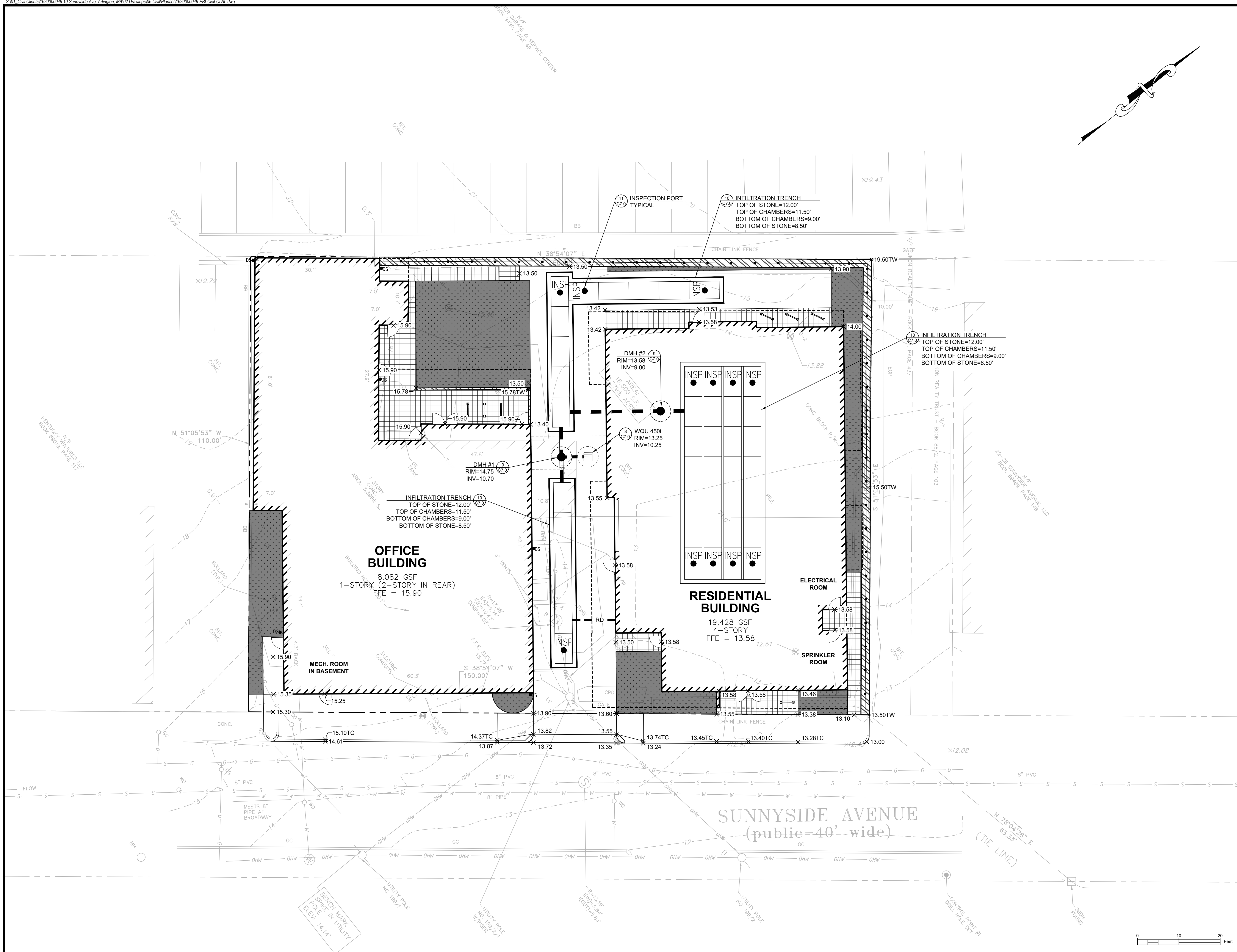
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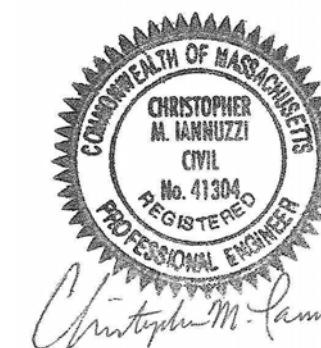
DATE: December 7, 2020	PROJECT NUMBER: 1620000049
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10 Sunnyside Avenue
Arlington, MA 02474
Middlesex County

SHEET TITLE:
**Grading, Drainage, &
Erosion Control Plan**

SCALE: 1" = 10'	SHEET NO: C-4 4 OF
DESIGNED BY: RLB	
CHECKED BY: MFC	





Column Health LLC
Colin Beatty
339 Massachusetts Ave
Arlington, MA 02474
Tel: (617) 539-6780
cbeatty@columnhealth.com

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DATE: December 7, 2020	PROJECT NUMBER: 1620000049
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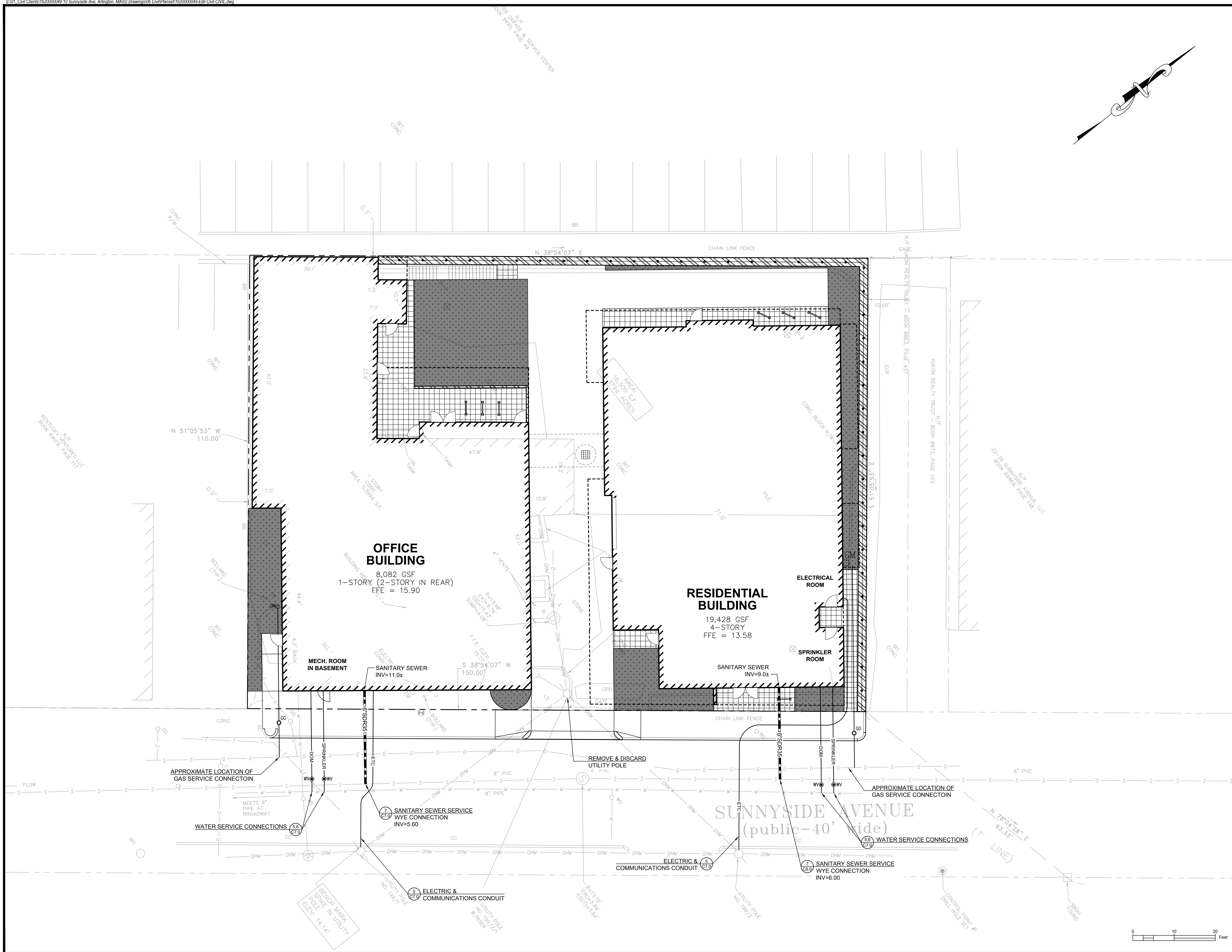
Column Health
Offices & Residences

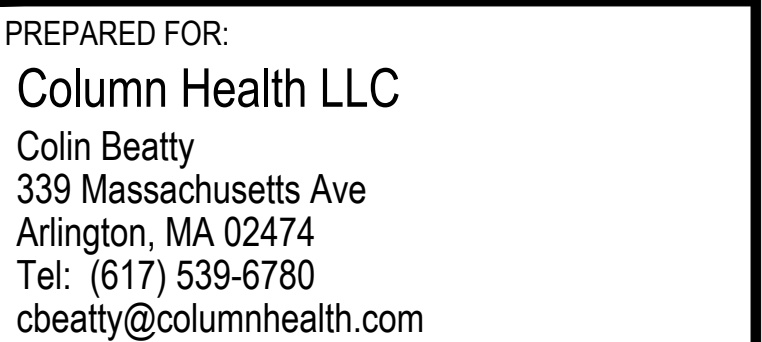
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Utilities Plan

C-5

5 OF 8





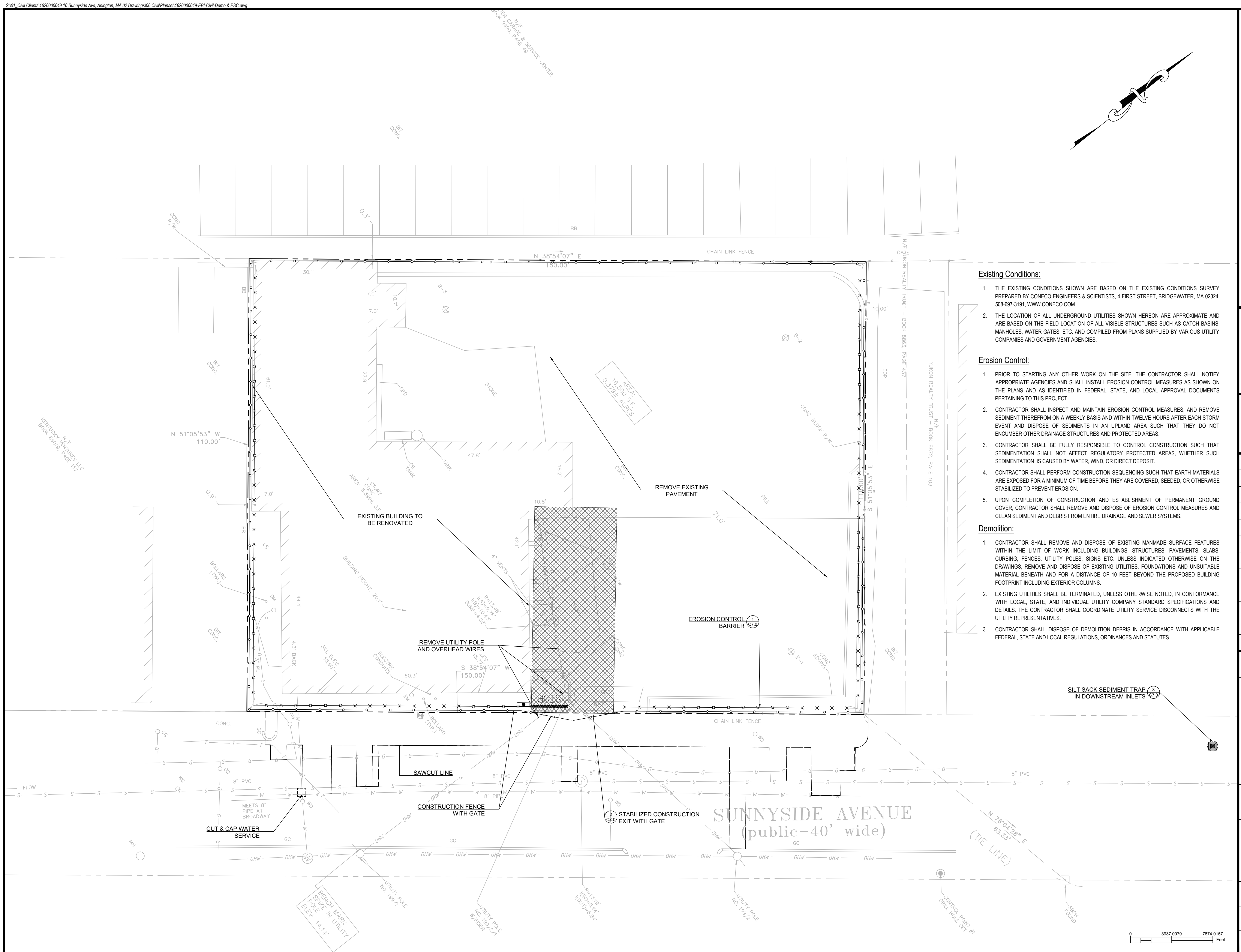
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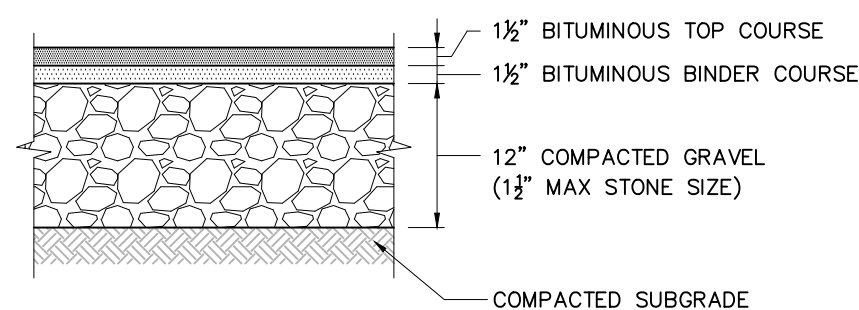
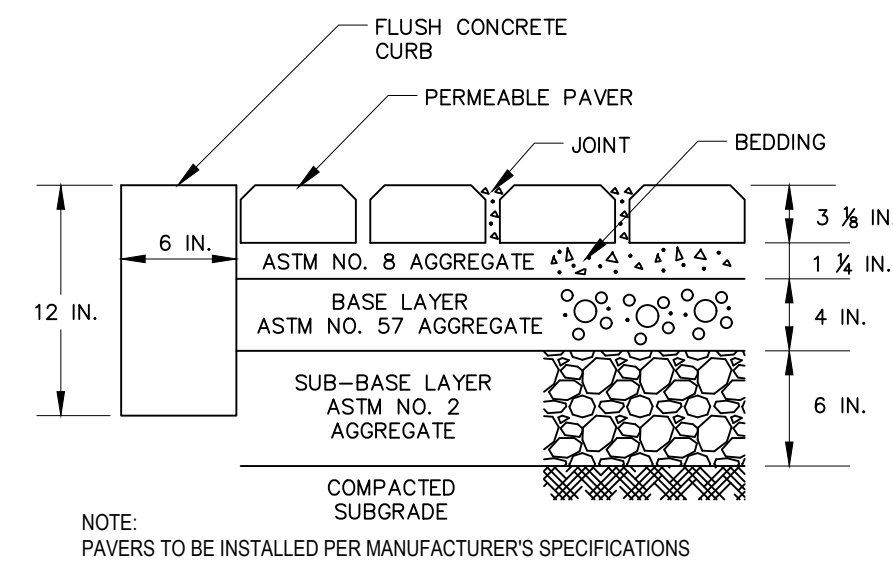
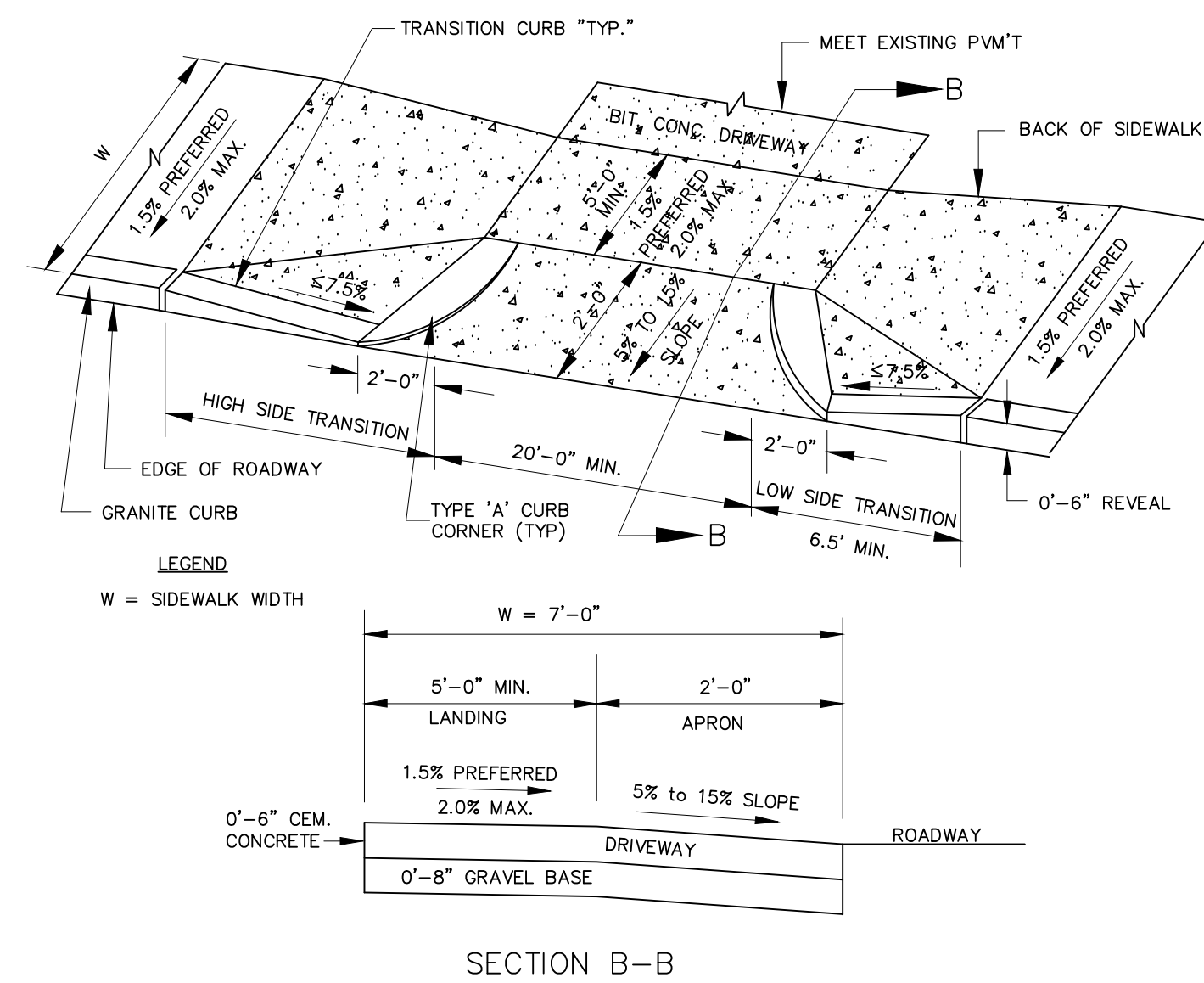
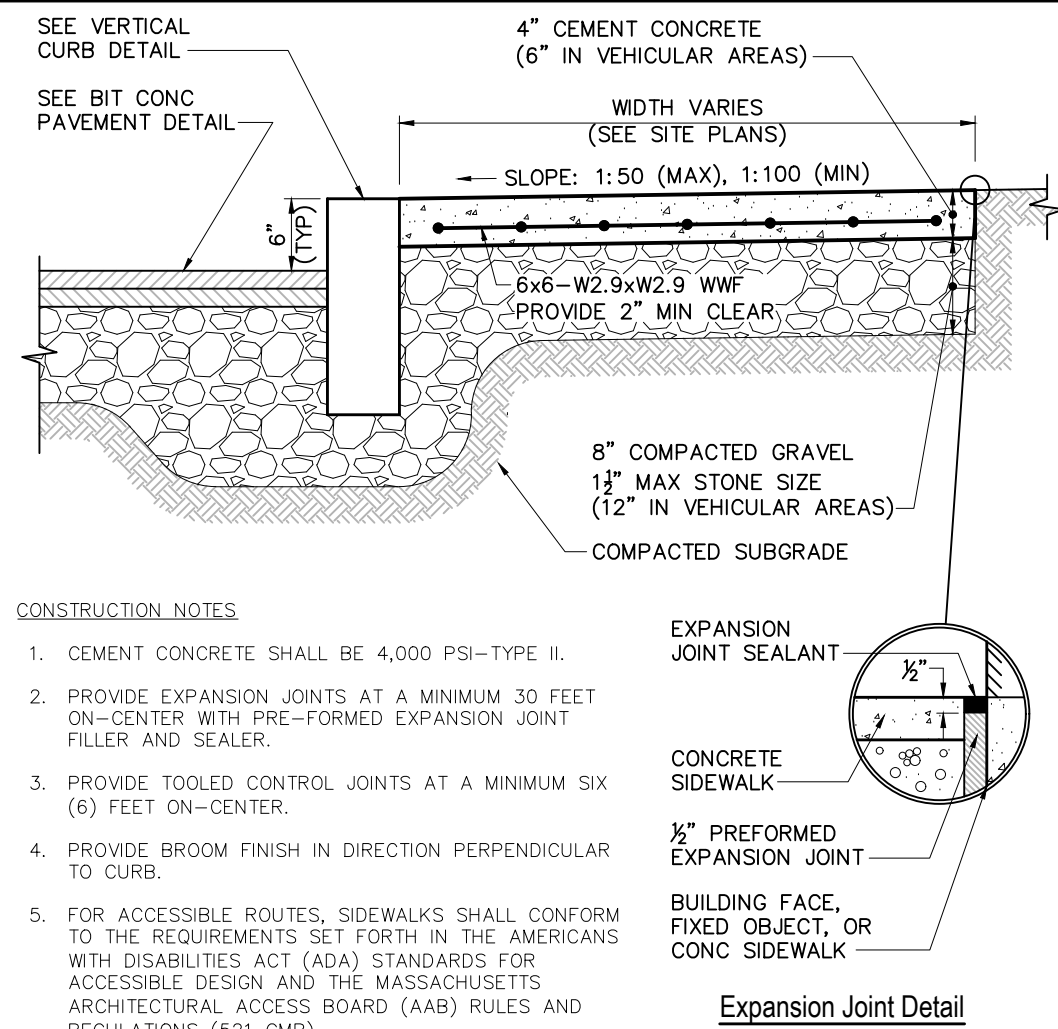
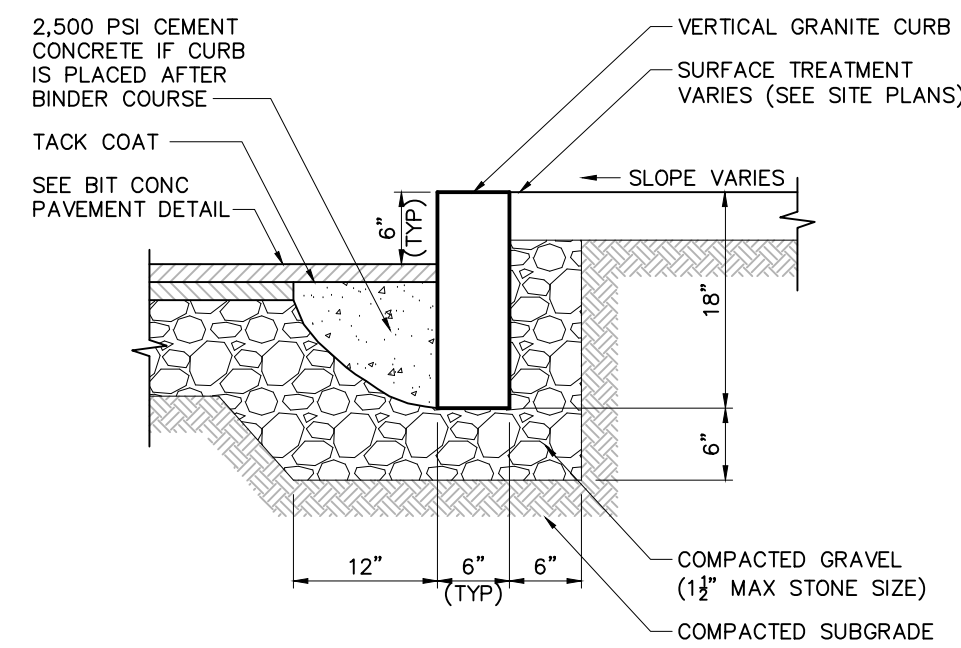
DATE: December 7, 2020	PROJECT NUMBER: 1620000049
---------------------------	-------------------------------

10 Sunnyside Avenue
Arlington, MA 02474
Middlesex County

SHEET TITLE:

SCALE: 1" = 10'	SHEET NO: C-6 3 OF 8
DESIGNED BY: RLB	
CHECKED BY: MFC	





CONSTRUCTION NOTES

1. PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

BITUMINOUS CONCRETE PAVEMENT

SCALE: N.T.S.



2 Batterymarch Park, Suite 100
Quincy, MA 02169
Tel: 781.273.2500
www.ebiconsulting.com



PREPARED FOR:

Column Health LLC
Colin Beatty
339 Massachusetts Ave
Arlington, MA 02474
Tel: (617) 539-6780
cbeatty@columnhealth.com

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SUBMITTALS

[illegible]

DATE:
December 7, 2020

PROJECT NUMBER:
1620000049

PROJECT TITLE:

Column Health
Offices & Residences

10 Sunnyside Avenue
Arlington, MA 02474
Middlesex County

ISSUED FOR:
Local Approvals
(Not Approved for Construction)

SHEET TITLE:

Site Details 2

SCALE:
N.T.S.

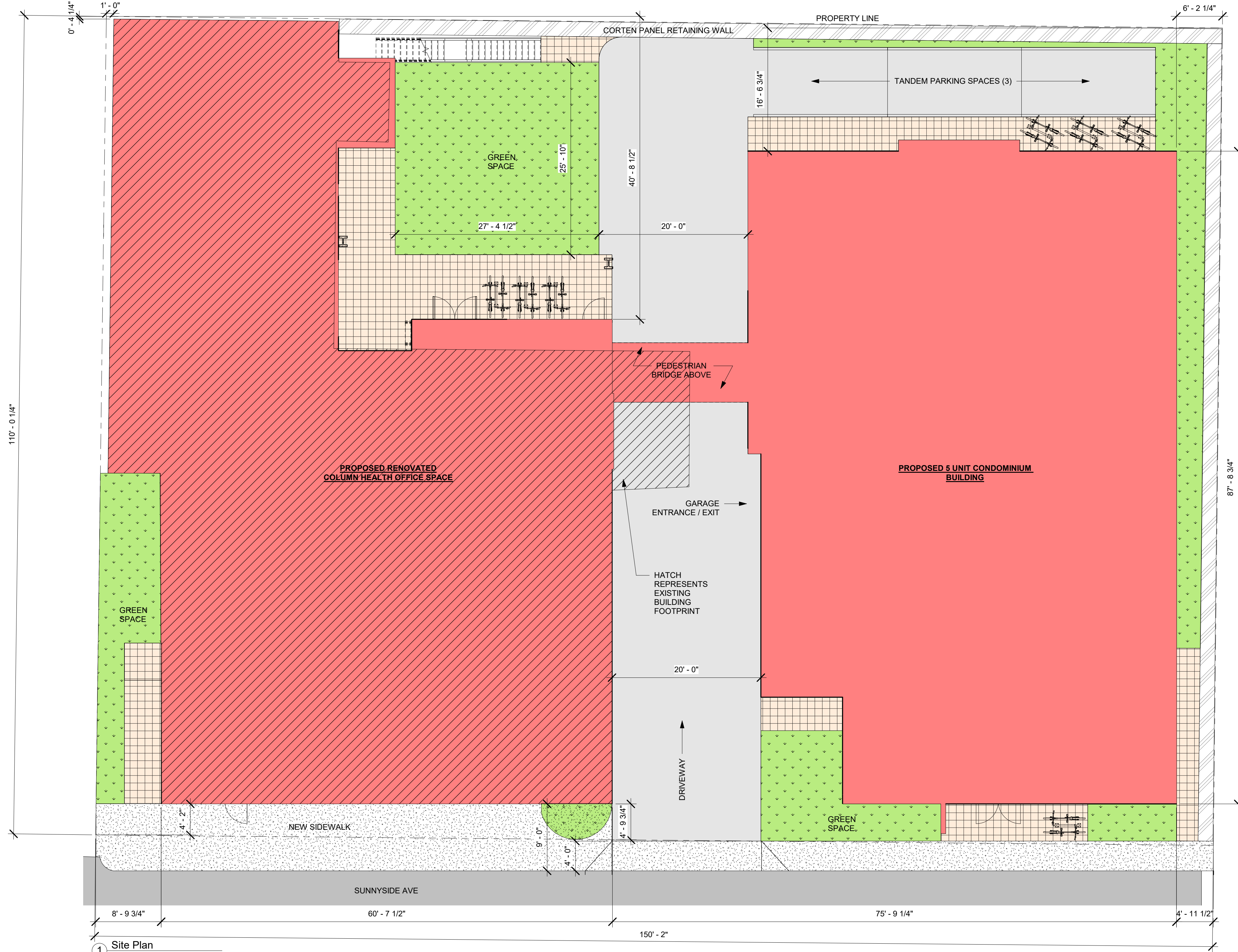
DESIGNED BY:
RLB

CHECKED BY:
MFC

SHEET NO:

C-8

8 OF 8



KEY	
	USEABLE OPEN SPACE
	PROPOSED BUILDING FOOTPRINT
	PAVED AREA
	PERMEABLE PAVERS
	PROPERTY LINE

ZONING DESIGNATION

B4: Vehicular Oriented Business District. The Vehicular Oriented Business District provides for establishments that are primarily oriented to automotive traffic, which means they require large amounts of land in proportion to building coverage. This district also consists of establishments devoted to the sale or servicing of motor vehicles, the sale of vehicular parts and accessories, and service stations. Arlington has an abundance of automotive and automotive accessory sales and service establishments. As these businesses gradually close, the Town has encouraged conversion of the property to other retail, service, office, or residential use, particularly as part of mixed-use development.

DISTRICT USE	MIN LOT AREA SF	MIN LOT AREA PER DU	MIN LOT FRONTAGE
B4			
MIXED USE <= 20,000 SF	N/A	N/A	50'-0" (150'-2" existing)

FRONT YARD (0'-0")	SIDE YARD (0'-0")	REAR YARD (10' +L/10)
VARIES (4'-2" - 5'-0")	1'-0" (L) / 4'-11 1/2" (R)	16'-6 3/4" (CONDO) / (+/- 4" EXISTING GARAGE)

OPEN SPACE N/A	USABLE OPEN SPACE
1,780 SF (10.8%)	1,780 SF @ GRADE / 645 SF GREENHOUSE
	5,784 SF USABLE OPEN SPACE ON RESIDENTIAL FLOORS 2-4

MAX HEIGHT: 60'-0"	MAX STORIES: 5 STORIES
49'-0" ROOF / 60'-0" TOP OF HEADHOUSE	4 STORIES + PRIVATE ROOF DECK LEVEL

MAXIMUM FLOOR AREA RATIO (FAR) 1.5 - 16,500 x 1.5 = 24,750 SF ADD 5% FAR FOR AVERAGE UNIT SIZE EXCEEDING 1,100 SF (ADDITIONAL 809 SF) ADD 2 SF FOR EVERY 1 SF OF OPEN SPACE IN EXCESS OF REQUIREMENT (ADDITIONAL 1,704 SF) TOTAL ALLOWED FAR = 27,263 SF
16,183 SF (CONDO BUILDING) + 8,082 SF (OFFICE BUILDING) = 24,265 SF

PARKING REQUIREMENTS: 2 SPACES PER 3 BED UNIT / 1.5 SPACES FOR 1&2 BED UNIT / 1 SPACE PER 500 SF OF OFFICE SPACE
3 RESIDENTIAL UNITS x 2 SPACES = 6 SPACES + 2 RESIDENTIAL UNITS x 1.5 SPACES = 3 SPACES (TOTAL OF 9 SPACES FOR RESIDENTIAL) 5,145 SF OF OFFICE/ 500 SF = 11 SPACES (20 TOTAL)
21 SPACES PROVIDED

BICYCLE PARKING: 1.5 PER DWELLING UNIT LONG TERM / .10 PER DWELLING UNIT SHORT TERM
8 BIKE SPACES LONG TERM + .5 SHORT TERM = 9 BIKE SPACES (14 SPACES PROVIDED)

BICYCLE PARKING: .30 SPACES PER 1,000 SF LONG TERM / .50 SPACES PER 1,000 SF
8.72 x .30 = 3 BIKE SPACES + 8.72 x .50 = 4 BIKE SPACES (7 TOTAL) (20 SPACES PROVIDED)

5.3.19. REDUCED HEIGHT BUFFER

When two different maximum height limits are specified for the same zoning district in any Table of Dimensional and Density Regulations in this Section 5, the lower limit shall apply to any lot or part of a lot located in a height buffer area unless it is determined as a specific finding of a special permit that the properties in the adjacent R0, R1, R2, or OS district would not be adversely affected due to existing use or topographic condition. A height buffer area is defined as a lot or part of a lot which is located at a lesser distance from any land, not within a public way, in an R0, R1, R2 or OS district than the following:

Land in R0, R1, R2, OS is located	Lower height shall apply
Between northwest and northeast	Within 200 feet
Easterly, between northeast and southeast, or westerly between northwest and southwest	Within 150 feet
Southerly, between southeast and southwest	Within 100 feet

(SEE SHEET A-020.1 FOR LOCUS OF PROPOSED DEVELOPMENT IN RELATION TO (R) PROPERTIES)

PROJECT NAME
10 SUNNYSIDE AVE

PROJECT ADDRESS
10 Sunnyside Ave
Arlington MA

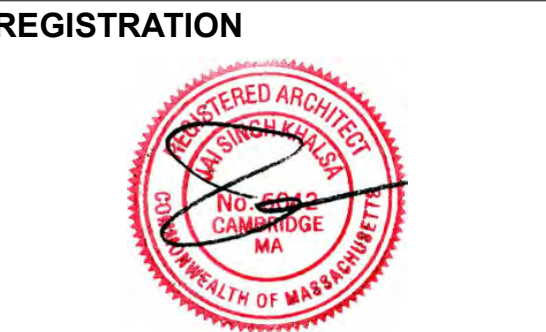
CLIENT
Column Health LLC

ARCHITECT
DESIGN KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

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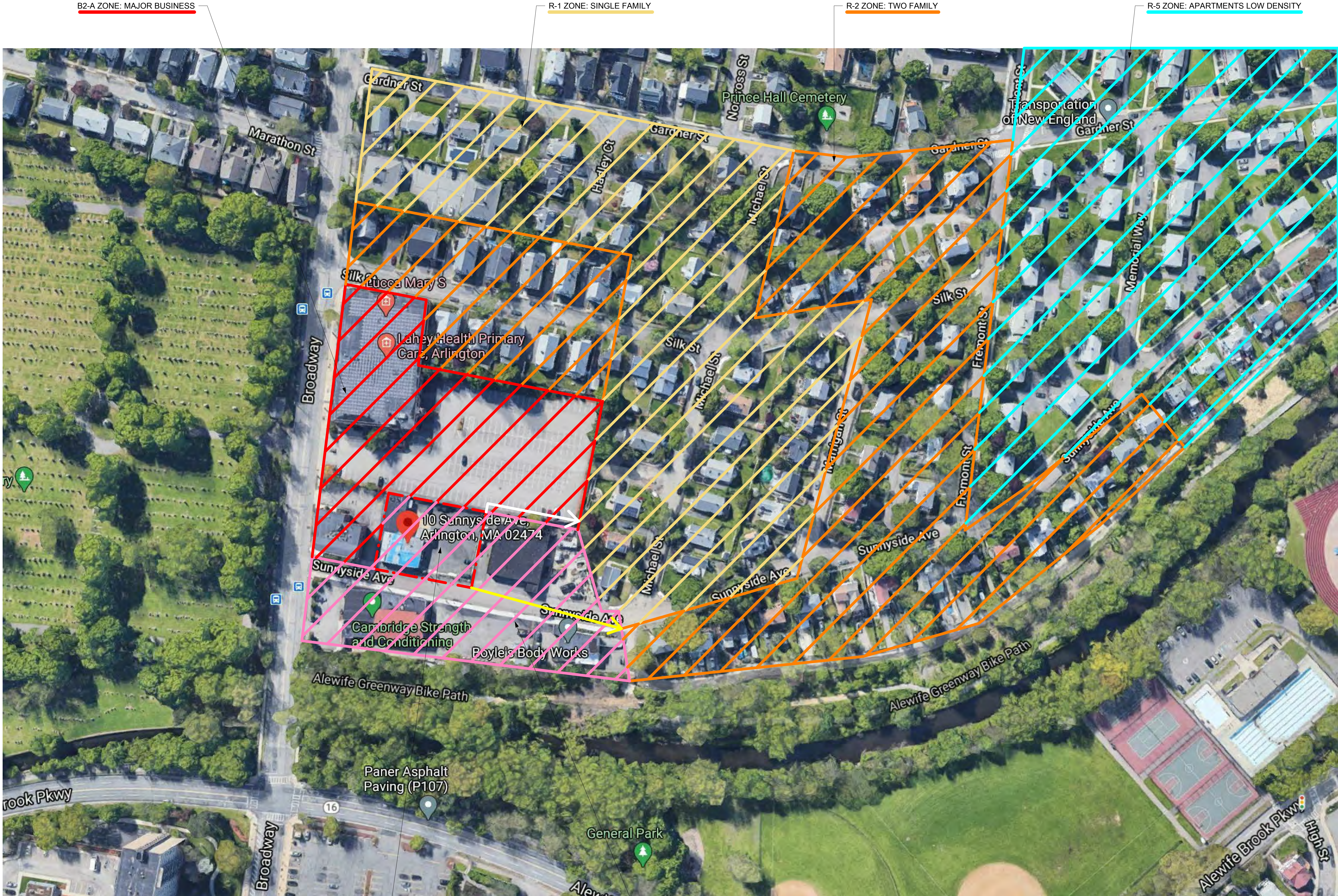
Project number	19119
Date	12-08-20
Drawn by	MB
Checked by	WC
Scale	As indicated

No.	Description	Date

Architectural Site
Plan

A-020

10 SUNNYSIDE AVE



B2-A ZONE: MAJOR BUSINESS

R-1 ZONE: SINGLE FAMILY

R-2 ZONE: TWO FAMILY

R-5 ZONE: APARTMENTS LOW DENSITY

PROJECT NAME

10 SUNNYSIDE AVE

PROJECT ADDRESS

10 Sunnyside Ave
Arlington MA

CLIENT

Column Health LLC

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
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REGISTRATION



Project number	19119
Date	12-08-20
Drawn by	Author
Checked by	Checker
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date

Site Locus &
Zoning

A-020.1

10 SUNNYSIDE AVE

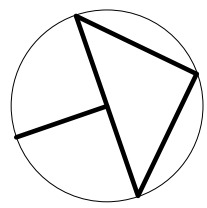
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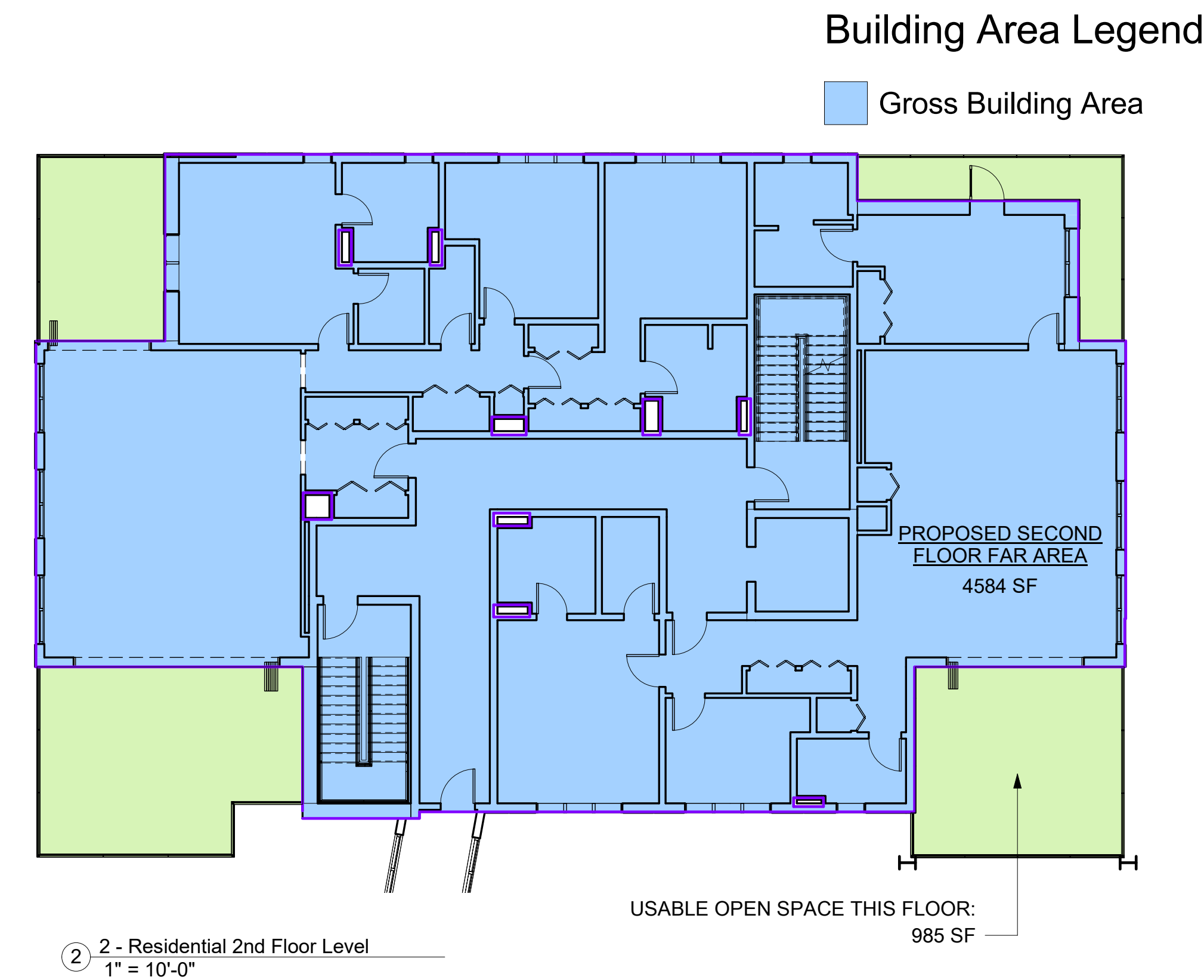
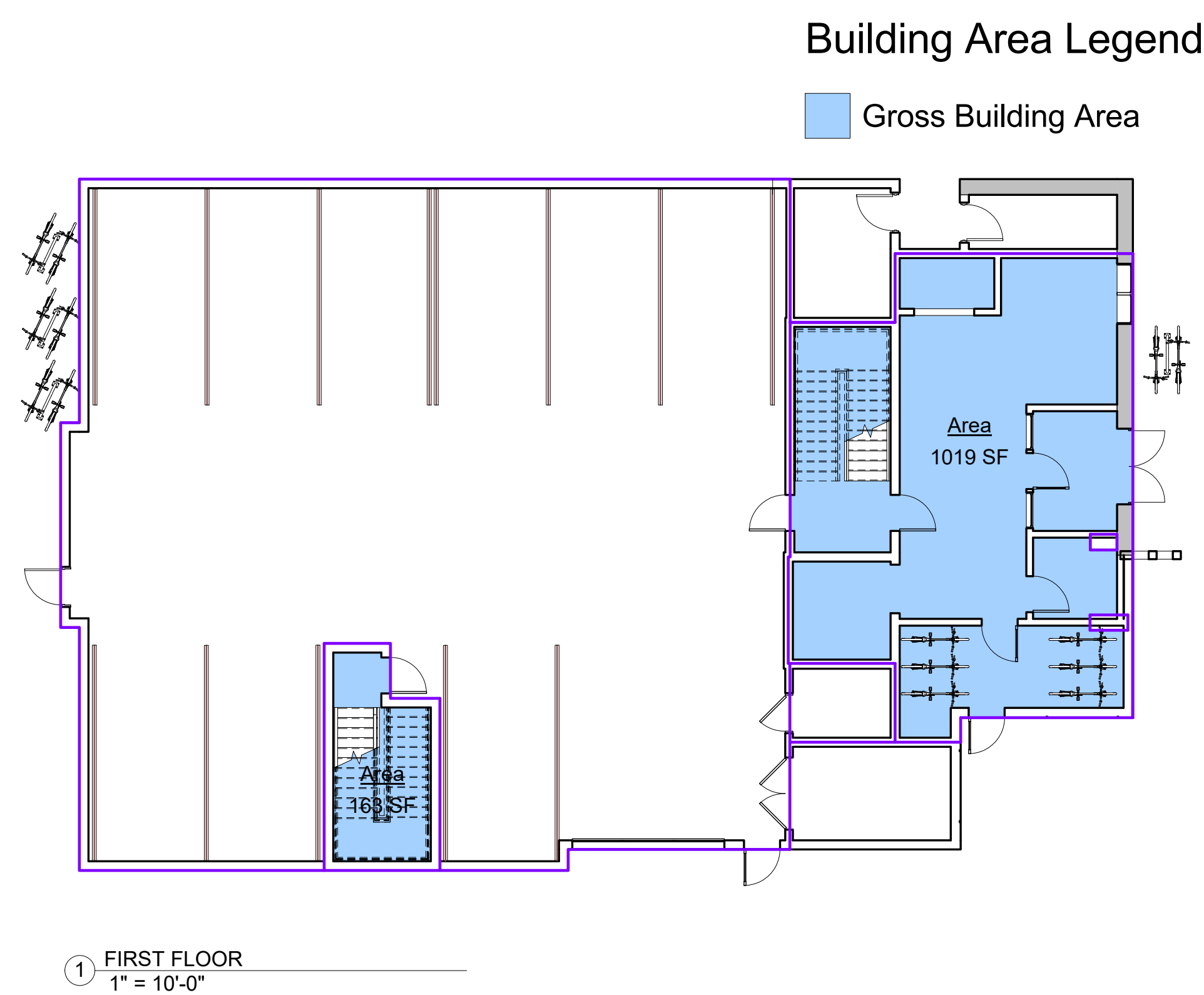
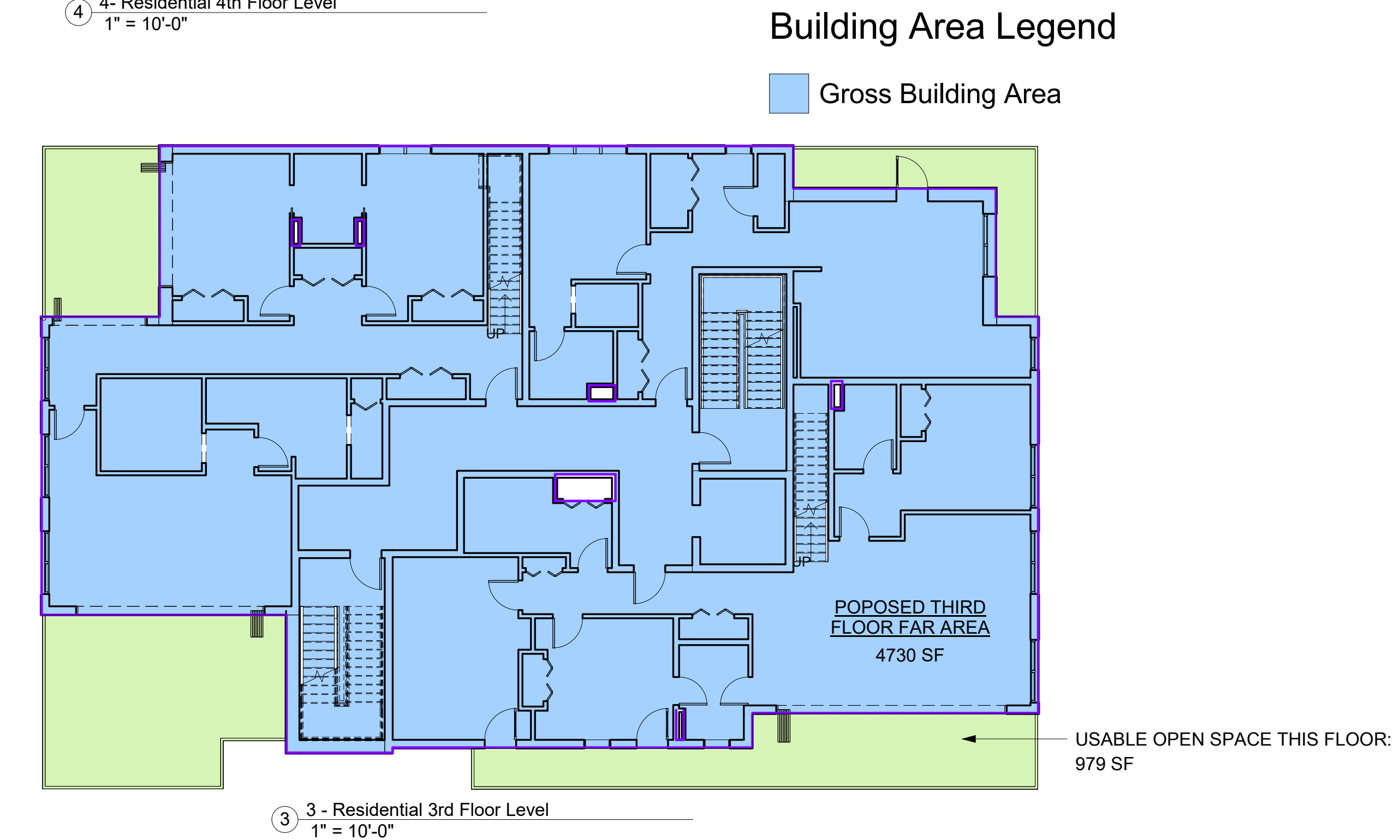
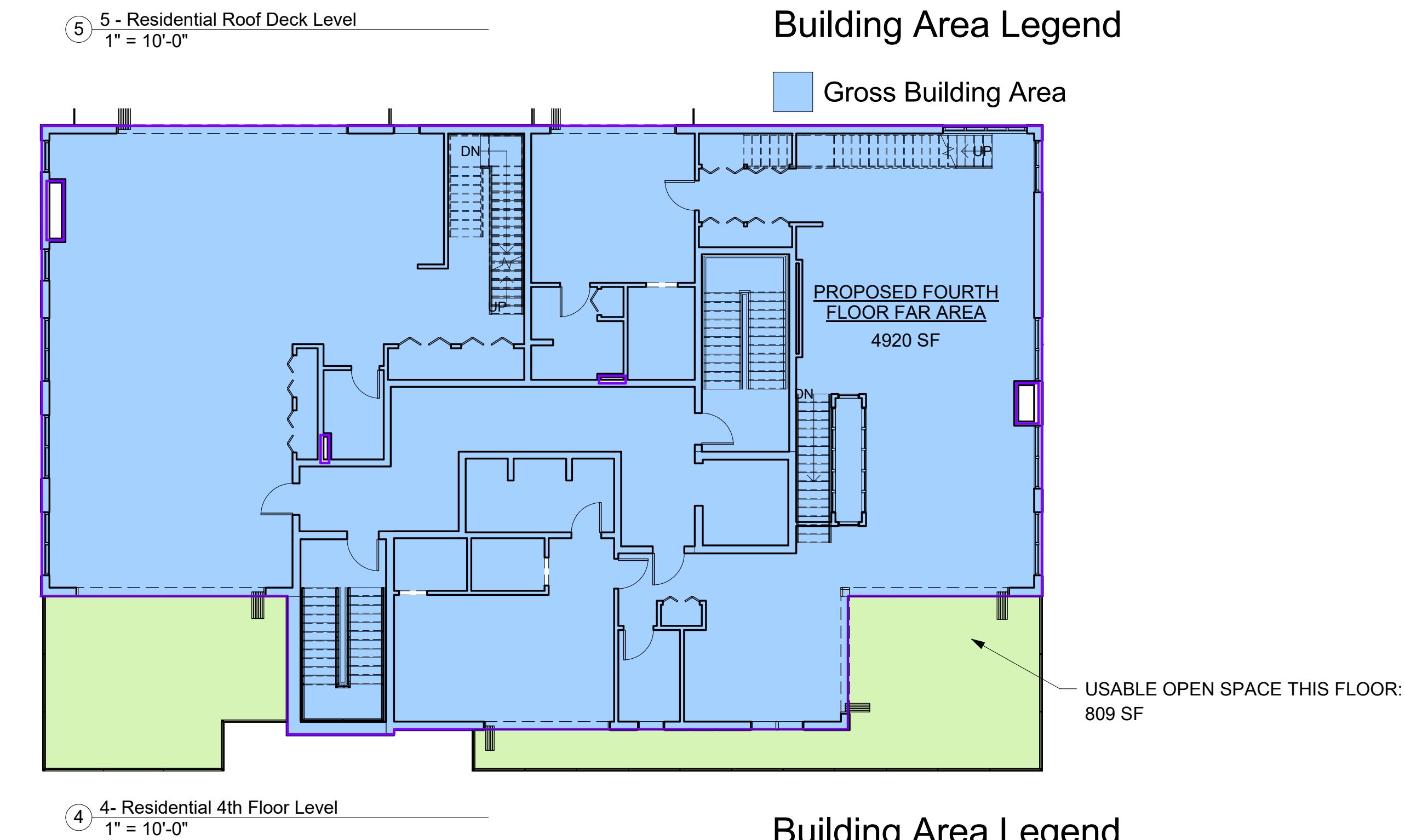
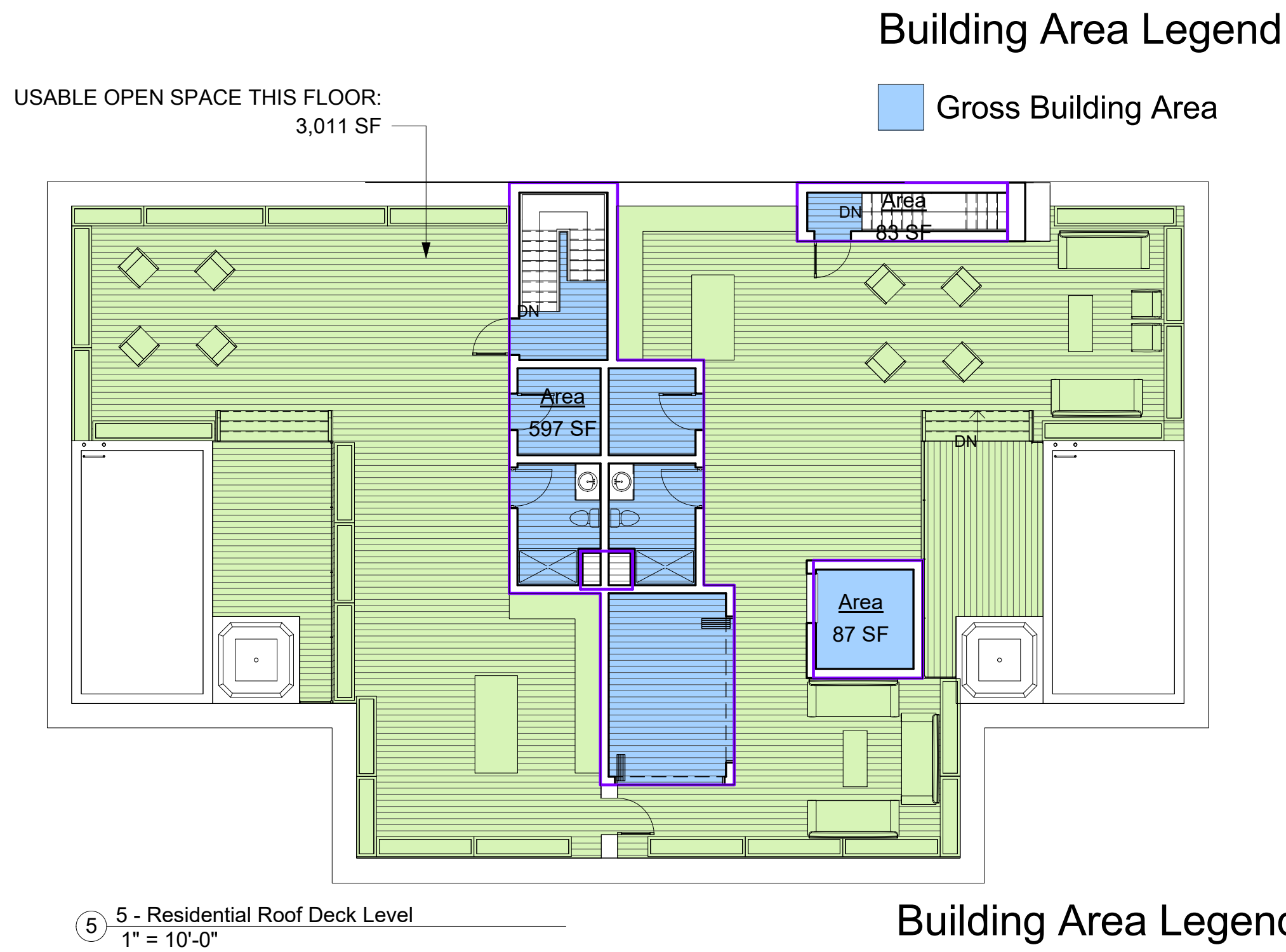
PROJECT LOCATION
10 SUNNYSIDE AVENUE

B4 ZONE: VEHICULAR ORIENTED BUSINESS

10 SUNNYSIDE IS LOCATED APPROXIMATELY 165'-0" TO THE BEGINNING OF THE R-1 ZONE ON MICHAEL STREET LOOKING NORTH
(DENOTED WITH WHITE LINE & ARROW)

10 SUNNYSIDE IS LOCATED APPROXIMATELY 252'-0" TO THE BEGINNING OF THE R-2 ZONE ON SUNNYSIDE AVENUE LOOKING NORTHEAST
(DENOTED WITH YELLOW LINE & ARROW)





TOTAL BUILDING GROSS SF = 16,183 SF

TOTAL USABLE OPEN SPACE = 5,784 SF

PROJECT NAME
10 SUNNYSIDE AVE

PROJECT ADDRESS
10 Sunnyside Ave
Arlington MA

CLIENT
Column Health LLC

ARCHITECT

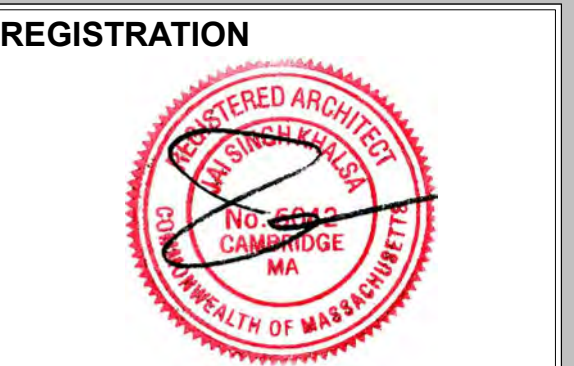
DESIGN

KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
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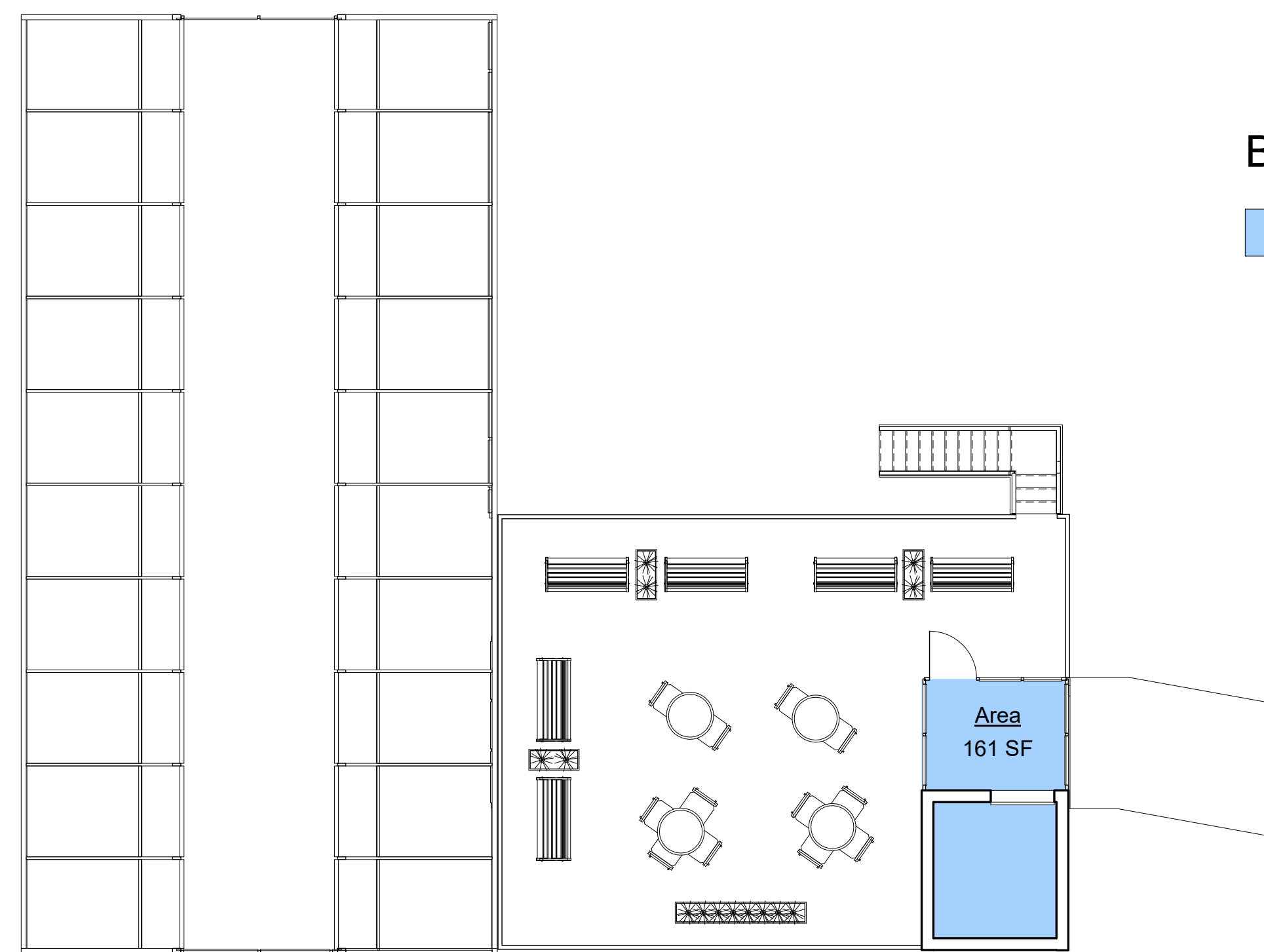
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Date 12-08-20
Drawn by Author
Checked by Checker
Scale 1" = 10'-0"

REVISIONS		
No.	Description	Date

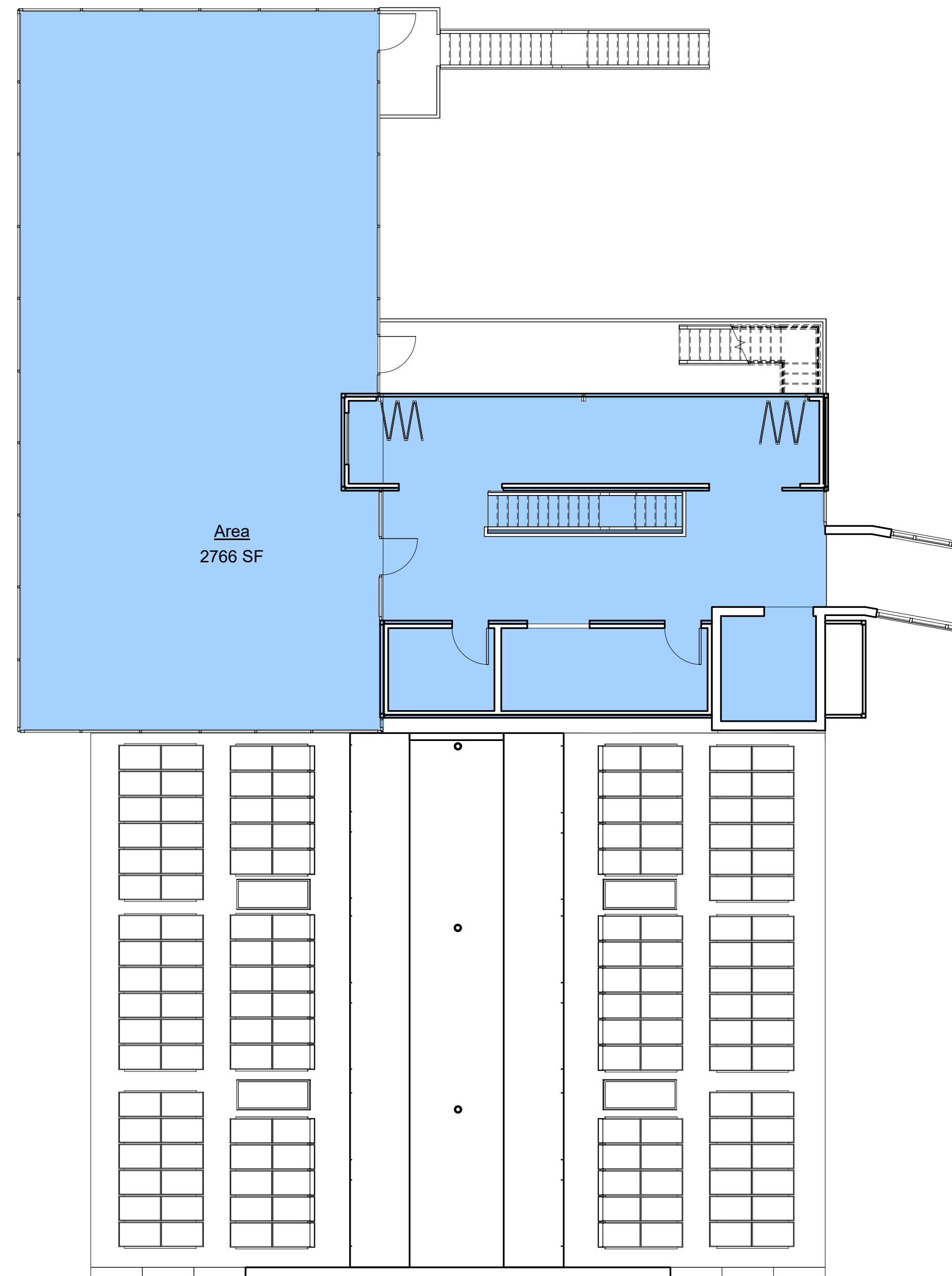
Apartment Gross
Area Plan

A-021

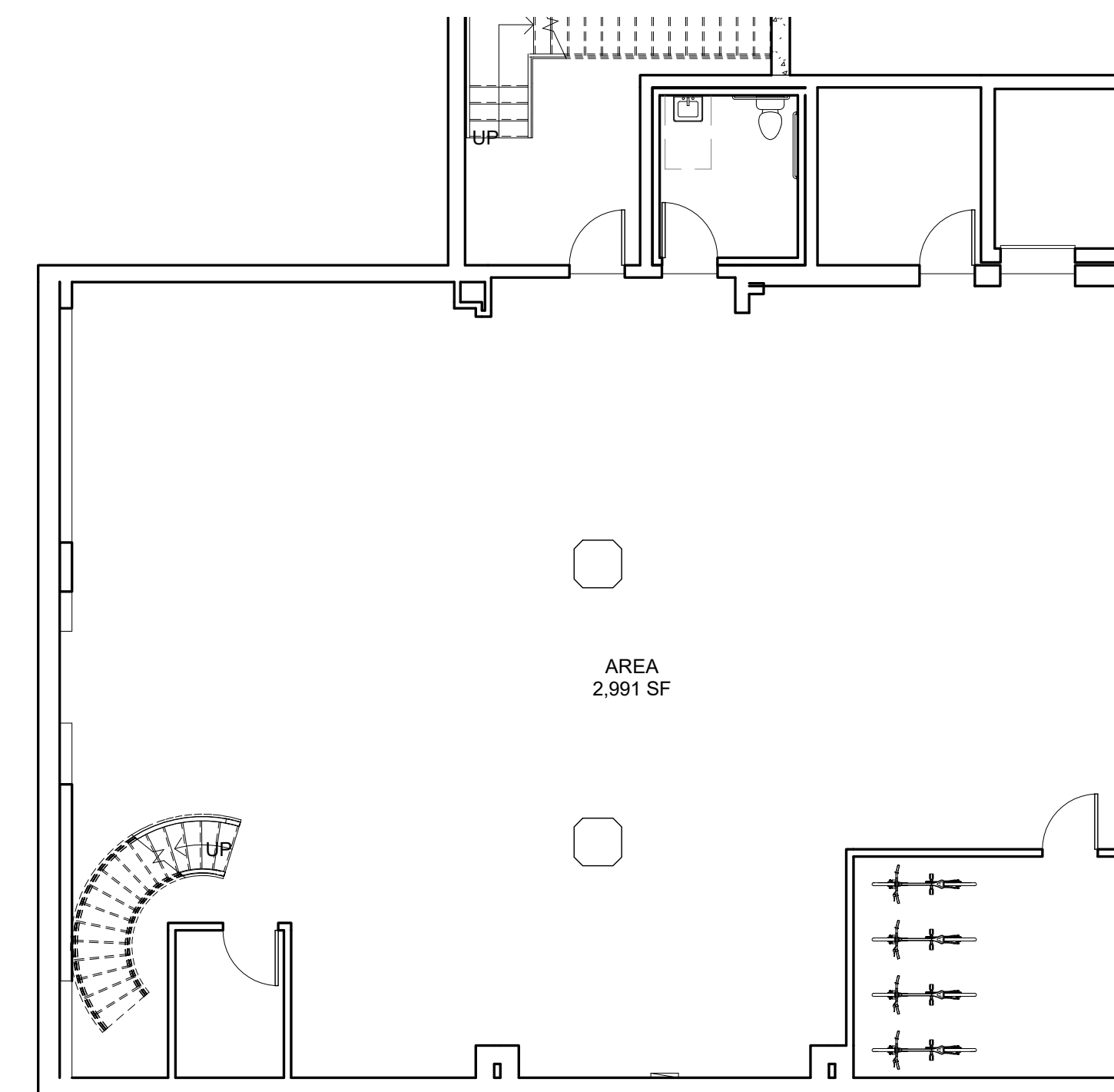
10 SUNNYSIDE AVE



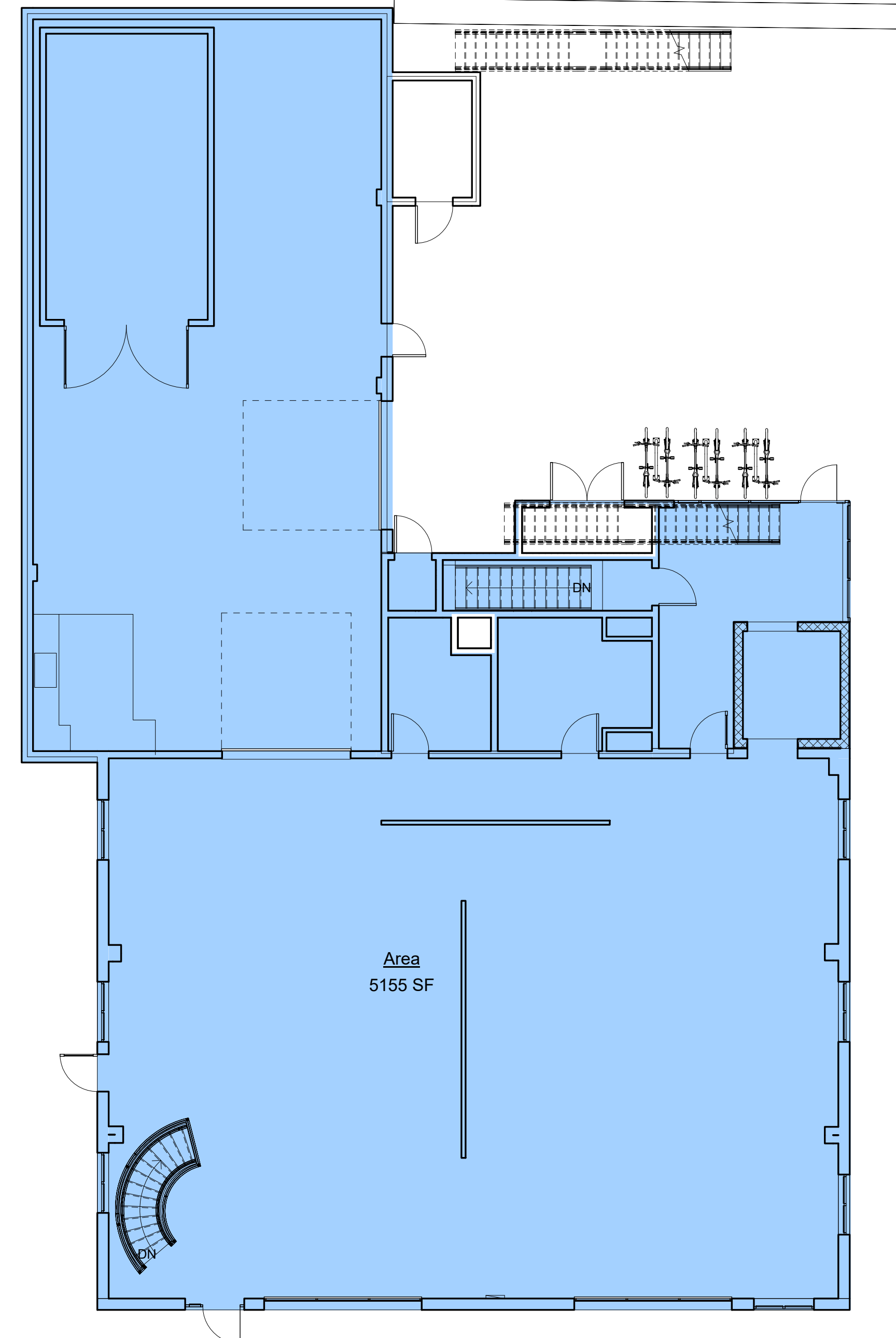
④ Roof Deck Level
1/8" = 1'-0"



③ G.H./CAFE LEVEL
1/8" = 1'-0"



① Basement Level
1/8" = 1'-0"



Building Area Legend

TOTAL BUILDING GROSS SF = 8,082 SF

PROJECT NAME

**10 SUNNYSIDE
AVE**

PROJECT ADDRESS

10 Sunnyside Ave
Arlington MA

CLIENT

Column Health LLC

ARCHITECT



17 IVALOO STREET SUITE 400

SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682 FAX:
617-591-2086

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REGISTRATION



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Date	12-08-20
Drawn by	MB
Checked by	WC
Scale	1/8" = 1'-0"

REVISIONS

[illegible]Offices Gross Area
Plan

A-022

10 SUNNYSIDE AVE

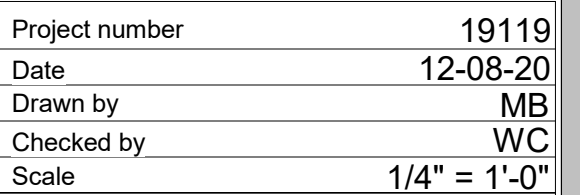
**10 SUNNYSIDE
AVE**

CLIENT

Column Health LLC

CONSULTANTS:

REGISTRATION



REVISIONS

Residential - Second Floor Plan

0 SUNNYSIDE AVE

10/25/2021 10:09:55 AM



PROJECT NAME
10 SUNNYSIDE AVE

PROJECT ADDRESS
10 Sunnyside Ave
Arlington MA

CLIENT

Column Health LLC

ARCHITECT

KHALSA

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Scale	1/4" = 1'-0"

REVISIONS		
No.	Description	Date

Residential - Third
Floor Plan

A-103
10 SUNNYSIDE AVE

① 3 - Residential 3rd Floor Level
1/4" = 1'-0"

**10 SUNNYSIDE
AVE**

10 Sunnyside Ave
Arlington MA

Column Health LLC



KHALSA

CONSULTANTS:

[illegible]

A-104

\\TKG-SERVER\Data\19\19119_10 Sunnyside Arlington - Beatty Column Health\03 Drawings\00_ARCH_SD_DD\10 Sunnyside Ave SD Condo - OPTION 6.rvt

**10 SUNNYSIDE
AVE**

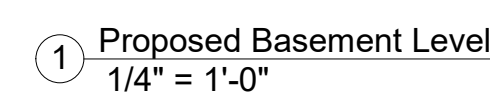
CLIENT



ARCHITECT

[illegible]

10 SUNNYSIDE AVE

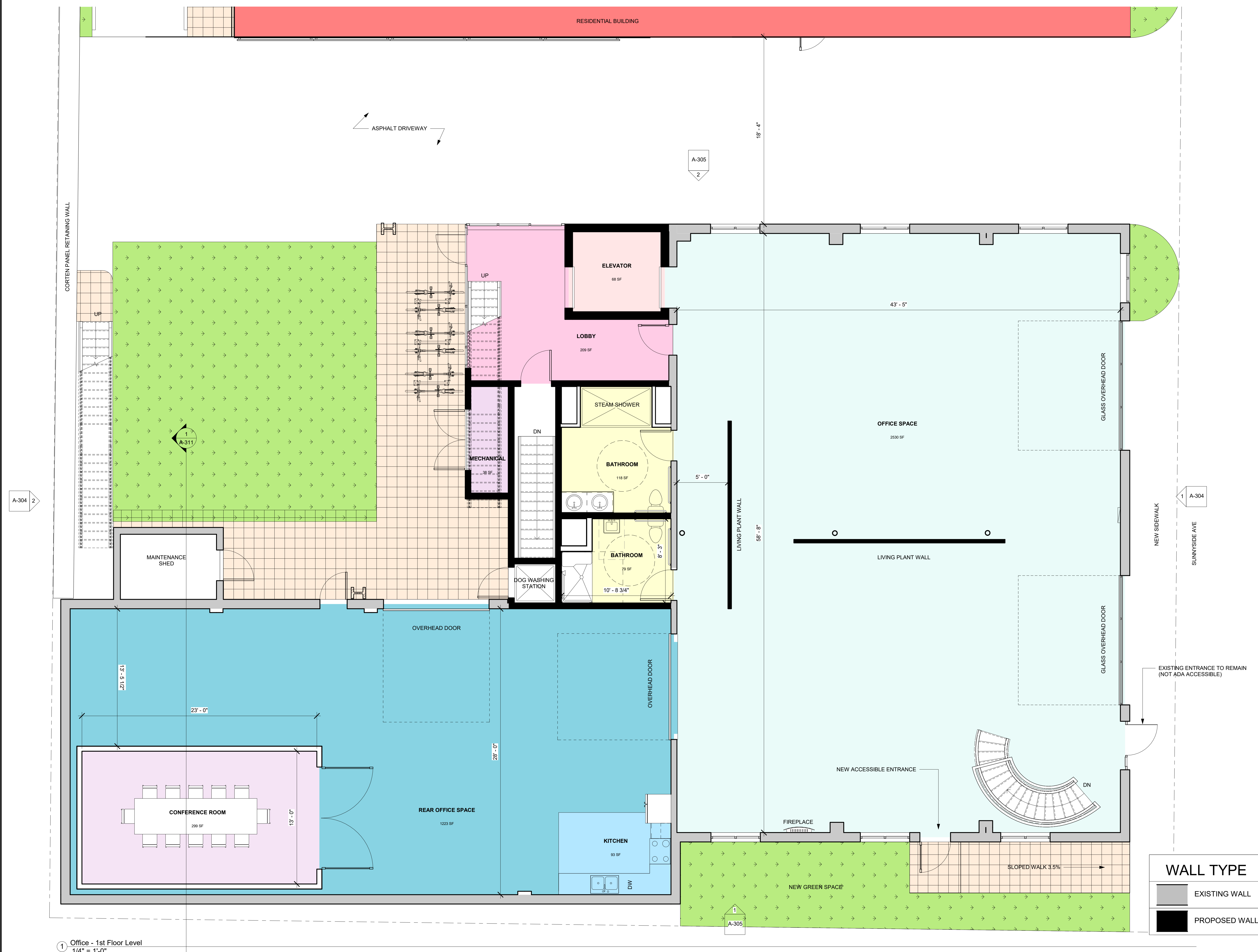
2/25/2021 10:10:08 AM \\ITKG-SERVER\Data\19\19119_10 Sunnyside Arlington - Beatty Column Health\00_ARCH_SD_DD\10 Sunnyside Ave SD Condo - OPTION 6.rvt



WALL TYPE	
	EXISTING WALL
	PROPOSED WALL

A-106
10 SUNNYSIDE AVE

2/25/2021 10:10:11 AM



PROJECT NAME
10 SUNNYSIDE AVE

PROJECT ADDRESS
10 Sunnyside Ave
Arlington MA

CLIENT
Column Health LLC

ARCHITECT
DESIGN KHALSA

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SOMERVILLE, MA 02143
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Date 12-08-20
Drawn by MB
Checked by WC
Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

Commercial - First
Floor Plan

A-107

10 SUNNYSIDE AVE

① Office - 1st Floor Level
1/4" = 1'-0"

**10 SUNNYSIDE
AVE**

10 Sunnyside Ave
Arlington MA

Column Health LLC



KHALSA

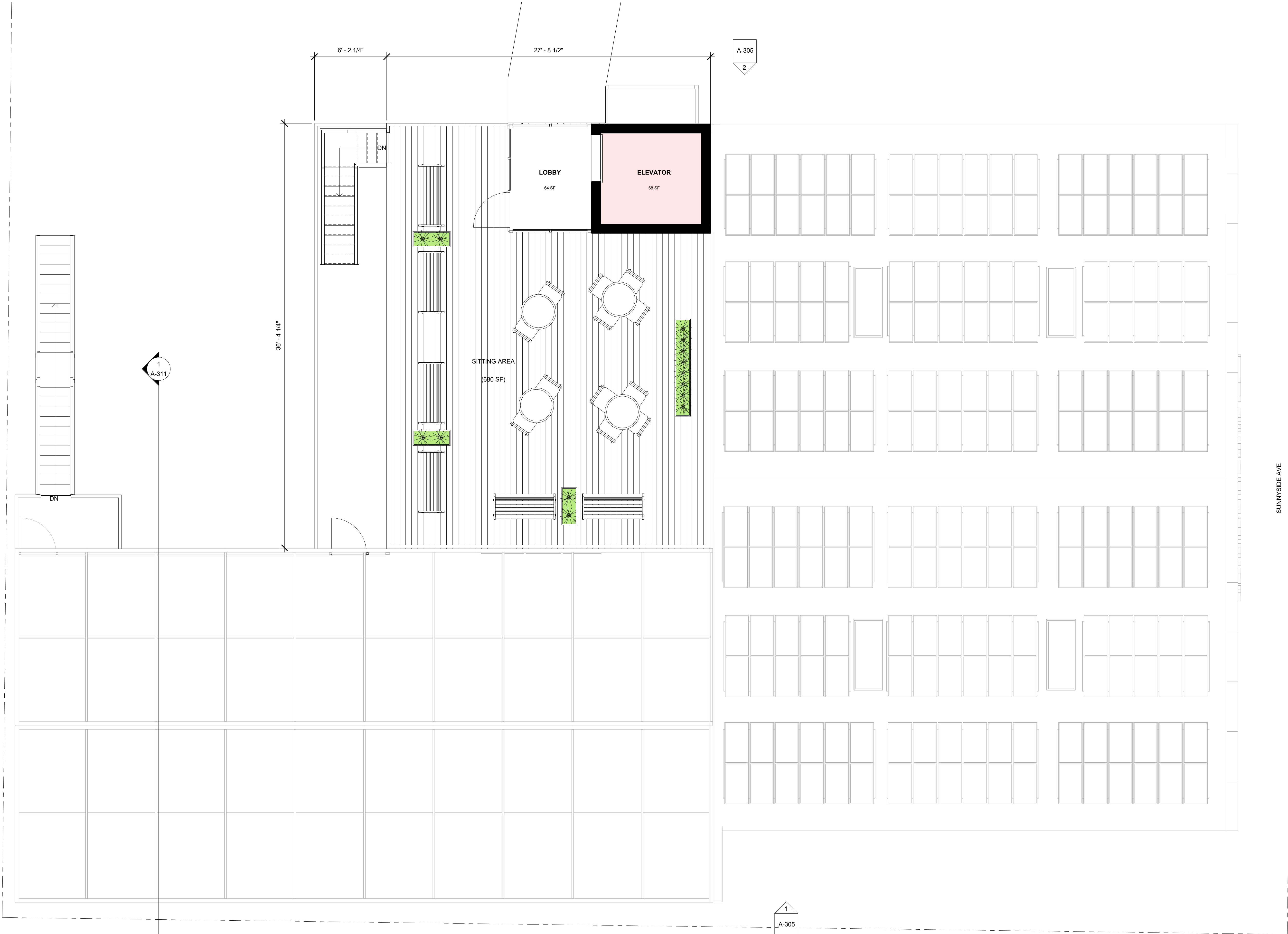
CONSULTANTS:

[illegible]

A-109

\\TKG-SERVER\Data\19\19119_10 Sunnyside Arlington - Beatty Column Health\03 Drawings\00_ARCH_SD_DD\10 Sunnyside Ave SD Condo - OPTION 6.M

2/25/2021 10:10:23 AM



1 Proposed Roof Deck Level
1/4" = 1'-0"

PROJECT NAME
10 SUNNYSIDE AVE

PROJECT ADDRESS
10 Sunnyside Ave
Arlington MA

CLIENT

Column Health LLC

ARCHITECT


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No.	Description	Date

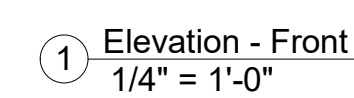
Commercial - Roof
Deck Floor Plan

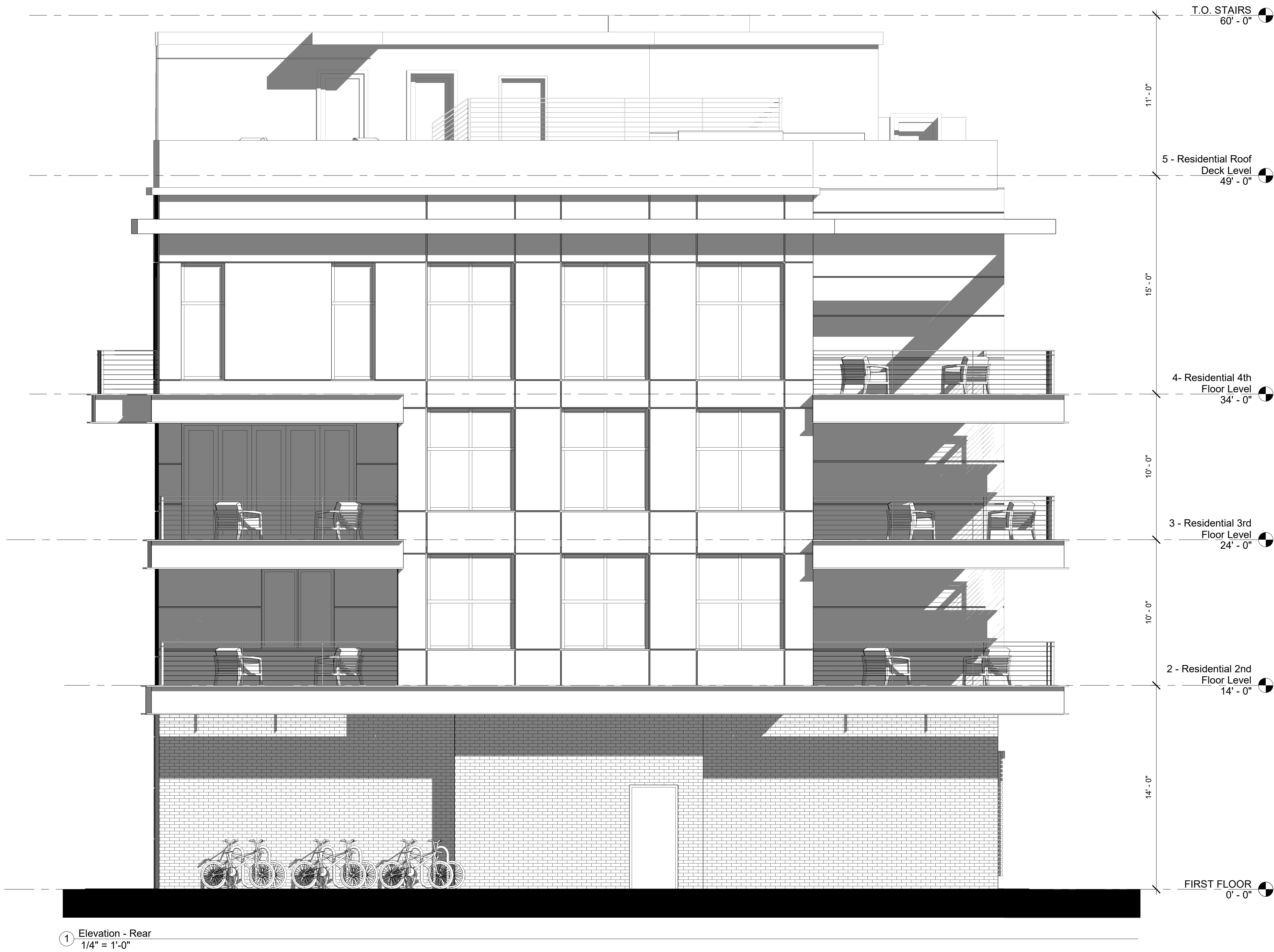
A-110
10 SUNNYSIDE AVE

**10 SUNNYSIDE
AVE**

Column Health LLC

0 SUNNYSIDE AVE





PROJECT NAME

10 SUNNYSIDE
AVE

PROJECT ADDRESS

10 Sunnyside Ave
Arlington MA

CLIENT

Column Health LLC

ARCHITECT



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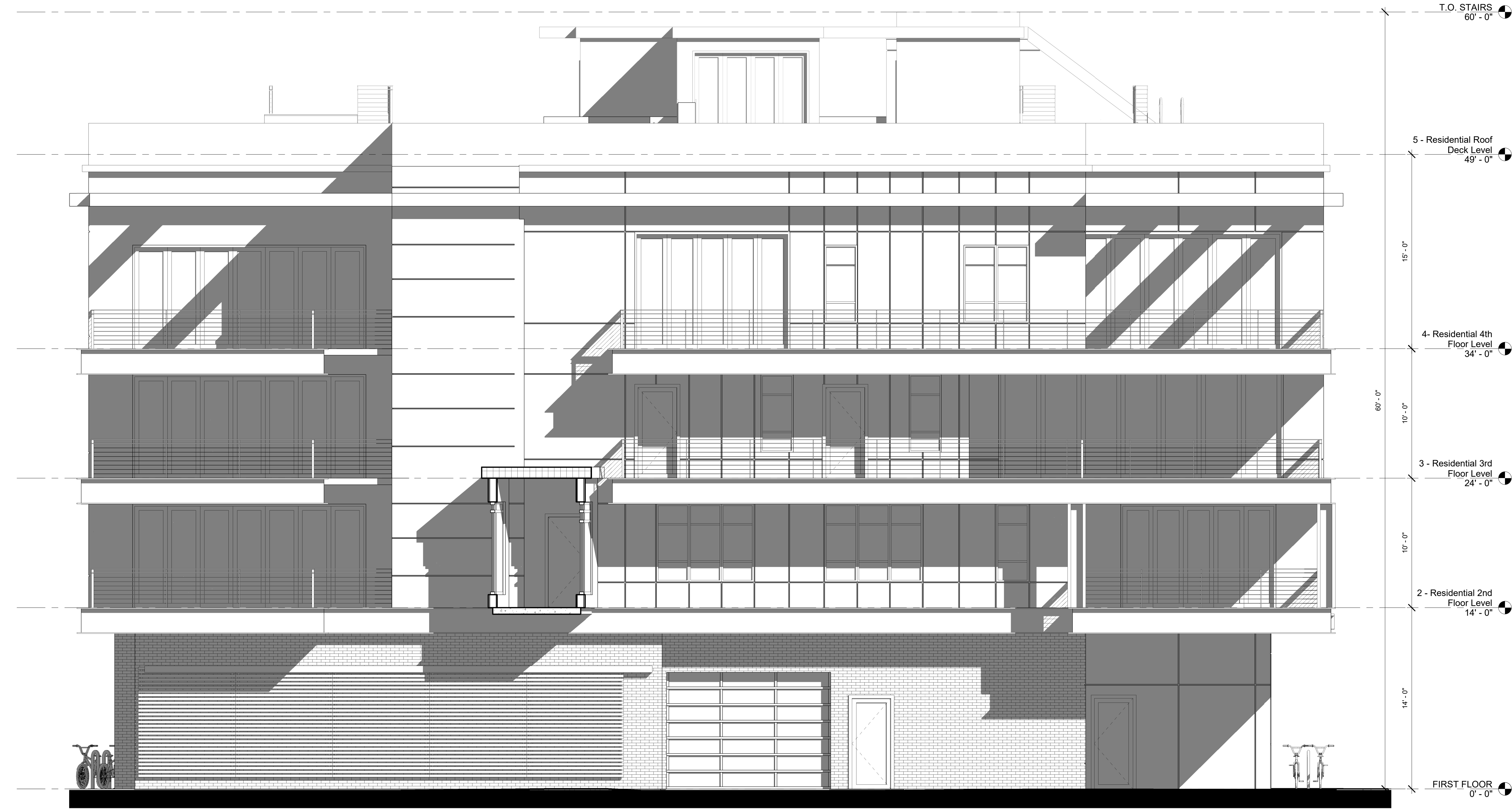
REVISIONS

No.	Description	Date

Residential - Rear
Elevation

A-301

10 SUNNYSIDE AVE




① Elevation - Left Side
1/4" = 1'-0"

PROJECT NAME
10 SUNNYSIDE AVE

PROJECT ADDRESS
10 Sunnyside Ave
Arlington MA

CLIENT
Column Health LLC

ARCHITECT


KHALSA

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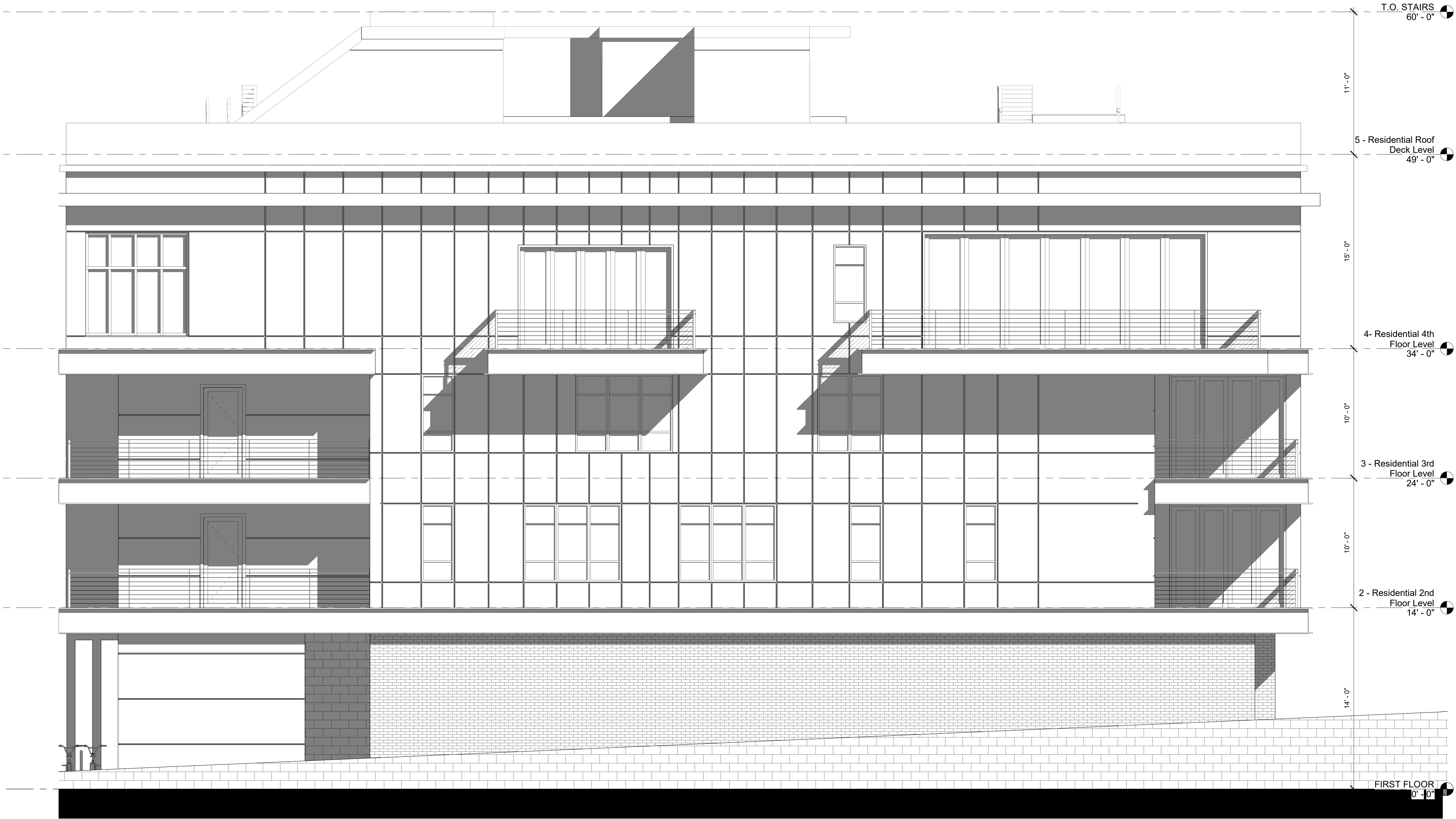
Project number	19119
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Checked by	WC
Scale	1/4" = 1'-0"

REVISIONS		
No.	Description	Date

Residential - Left
Side Elevation

A-302

10 SUNNYSIDE AVE



① Elevation - Right Side
1/4" = 1'-0"

PROJECT NAME

10 SUNNYSIDE
AVE

PROJECT ADDRESS

10 Sunnyside Ave
Arlington MA

CLIENT

Column Health LLC

ARCHITECT



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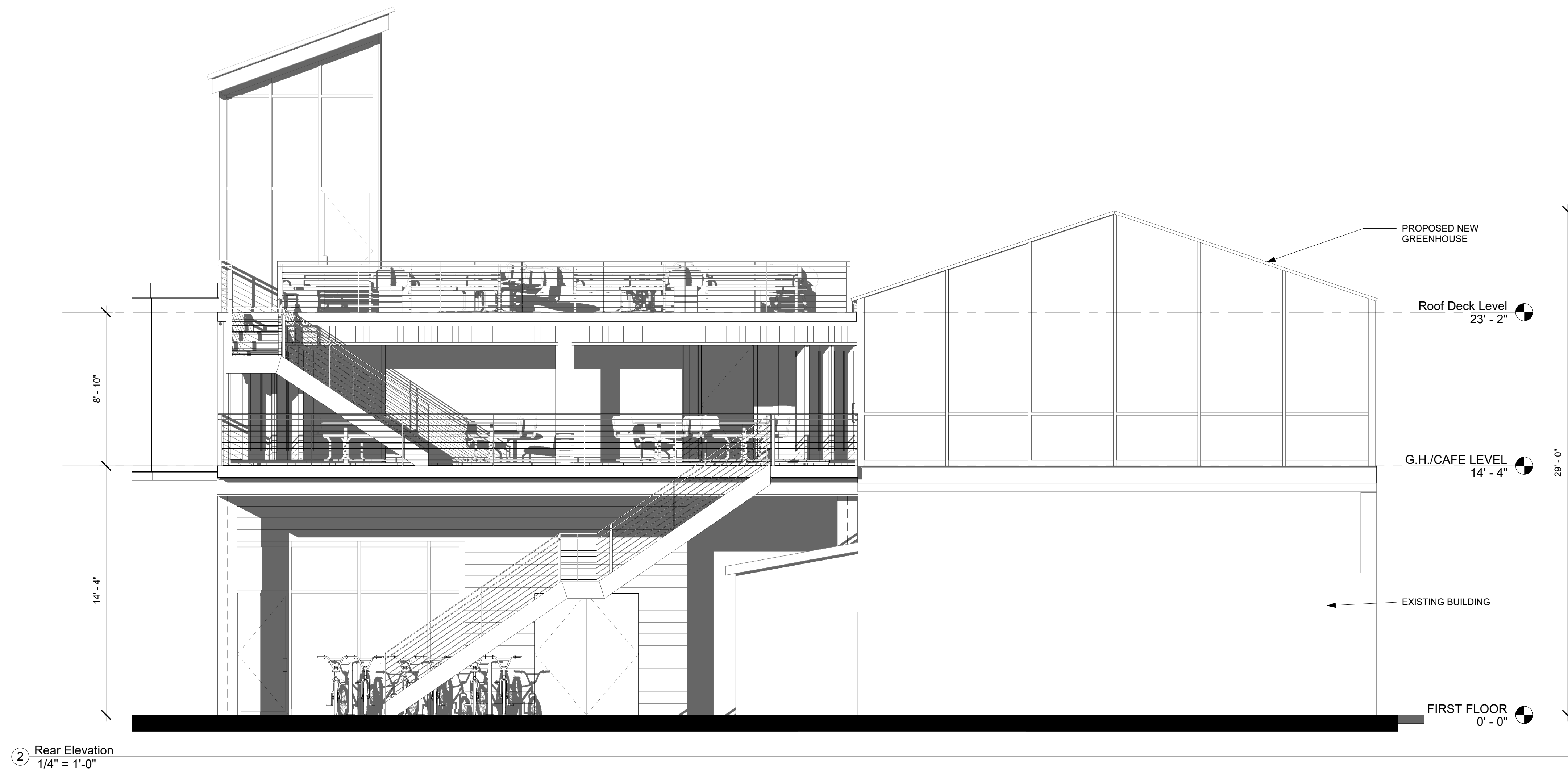
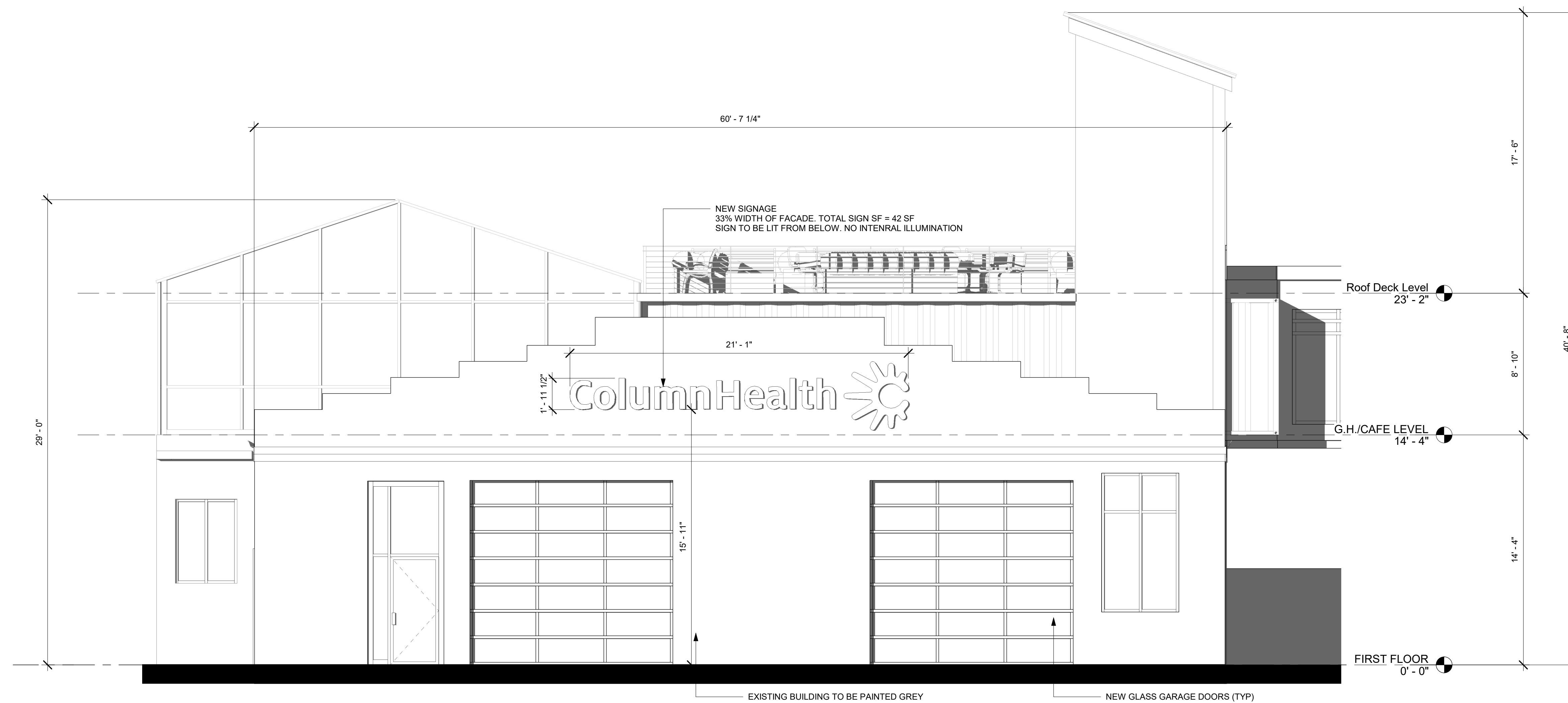
REVISIONS

No.	Description	Date

Residential - Right
Side Elevation

A-303

10 SUNNYSIDE AVE



PROJECT NAME

**10 SUNNYSIDE
AVE**

PROJECT ADDRESS

10 Sunnyside Ave
Arlington MA

CLIENT

Column Health LLC

ARCHITECT



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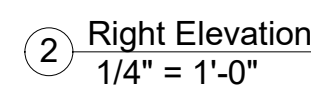
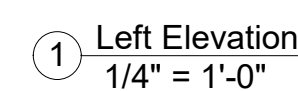
REVISIONS

[illegible]

Commercial - Front & Rear Elevations

A-304

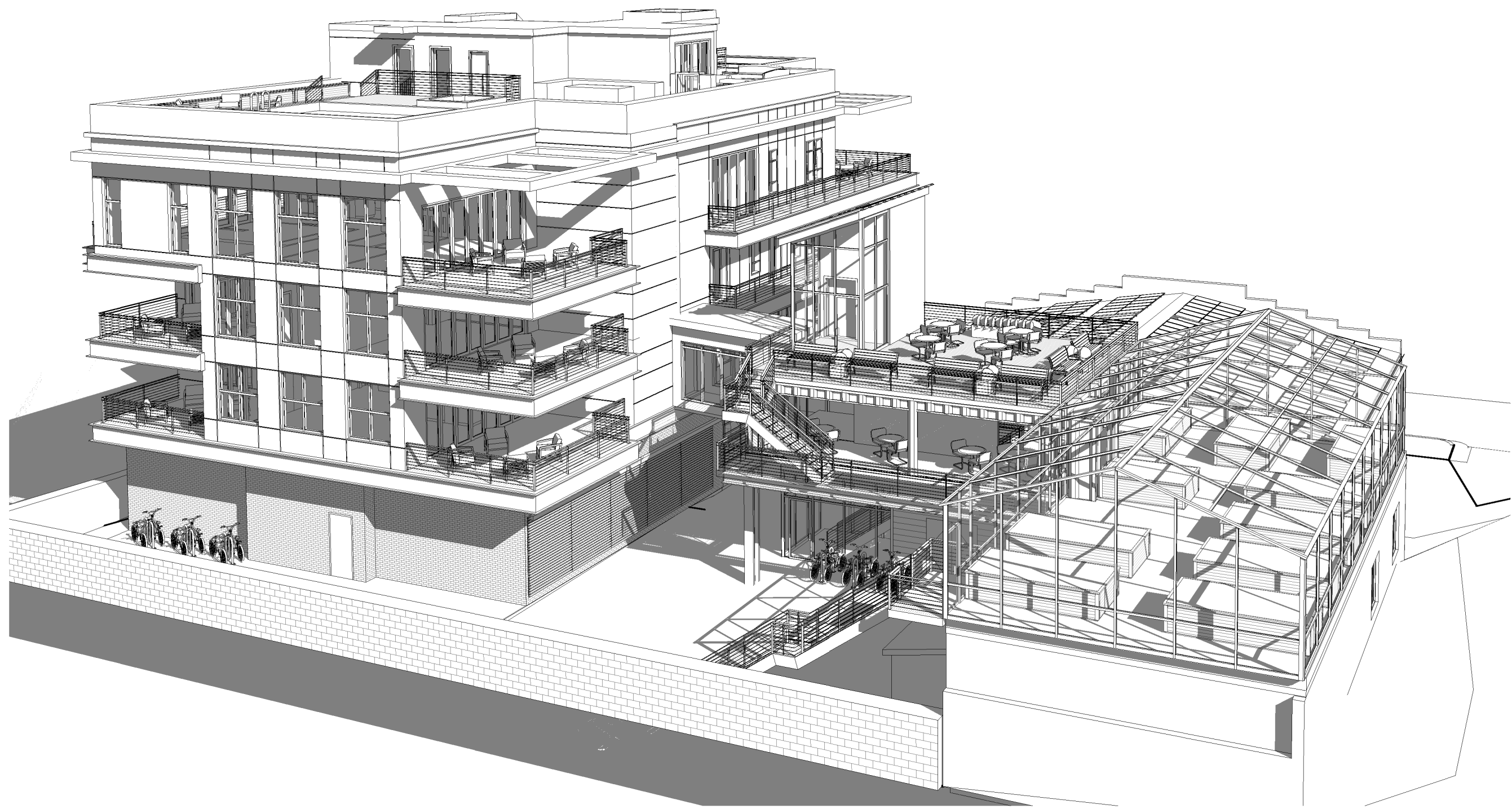
10 SUNNYSIDE AVE



10 SUNNYSIDE AVE

11TKG-SERVERData19/19/19_10 Sunnyside Arlington - Beatty Column Health03 Drawings\00_ARCH_SD_DD\10 Sunnyside Ave SD Condo - OPTION 6.rvt

2/25/2021 10:11:11 AM



3 Rear Aerial View #1



1 Perspective #1



4 Street View



2 Perspective #2

PROJECT NAME

10 SUNNYSIDE
AVE

PROJECT ADDRESS

10 Sunnyside Ave
Arlington MA

CLIENT

Column Health LLC

ARCHITECT



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SOMERVILLE, MA 02143
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Scale

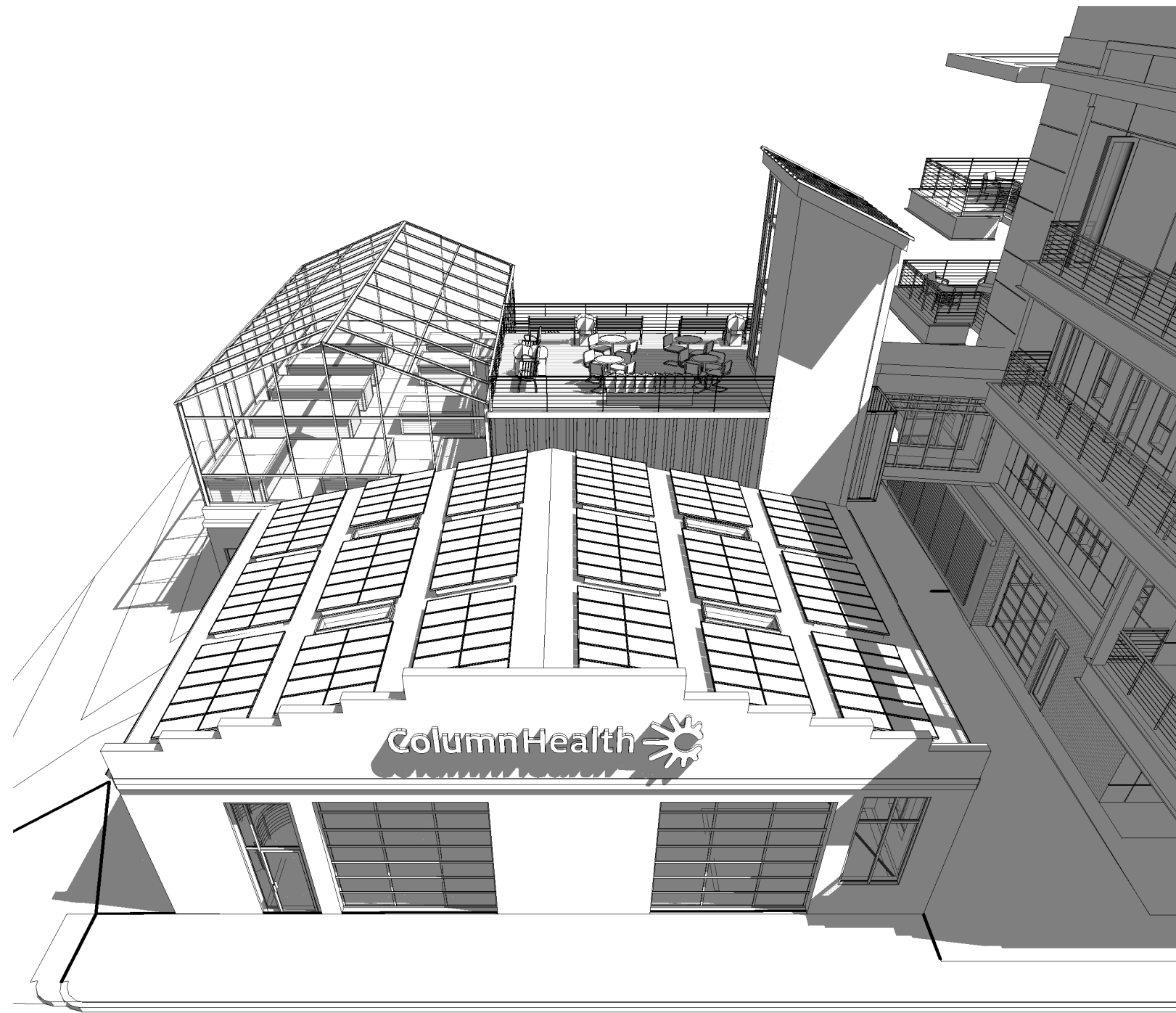
REVISIONS

No.	Description	Date

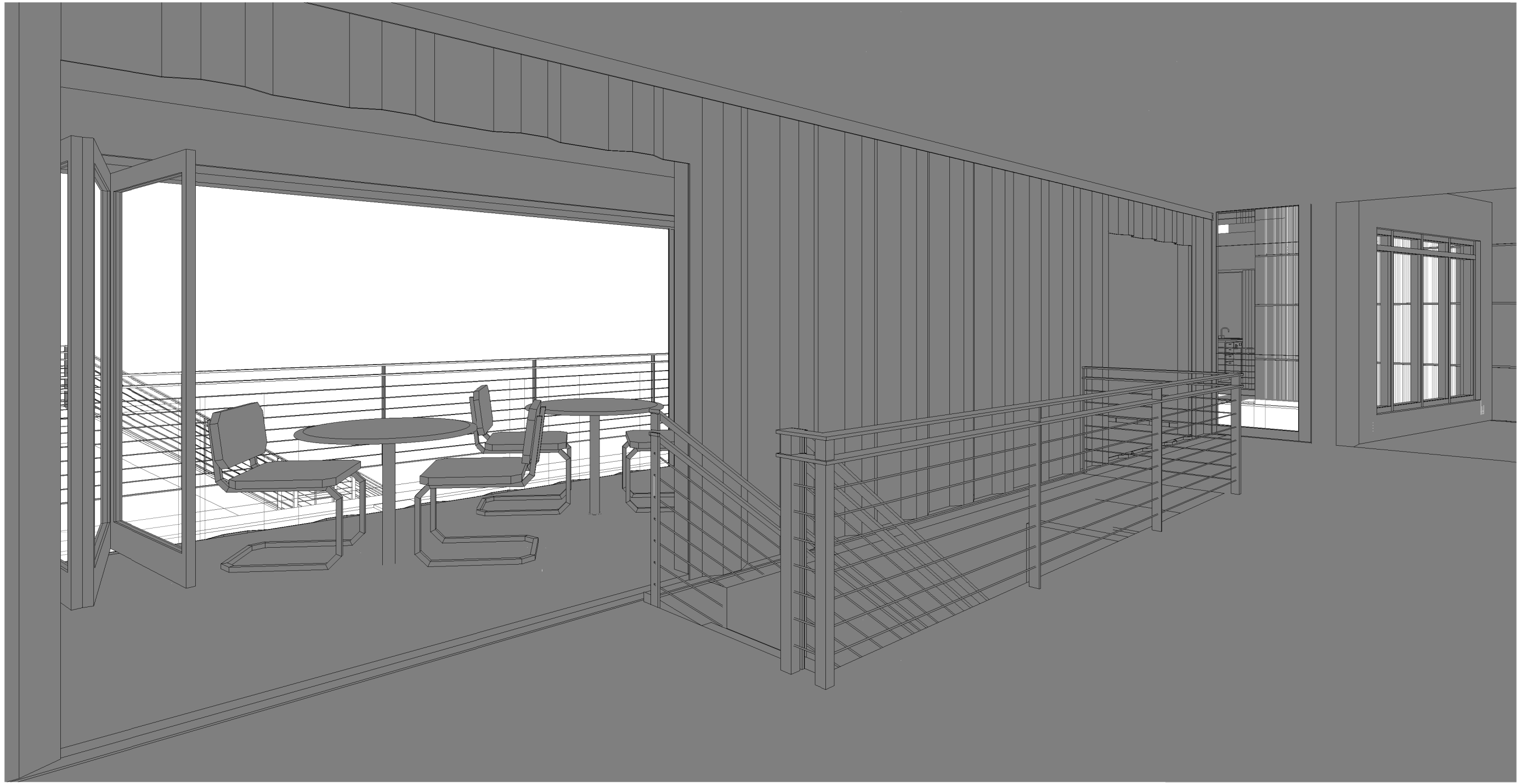
Perspectives #1

A-306

10 SUNNYSIDE AVE



1 FRONT AERIAL PERSPECTIVE



2 CAFE LOUNGE VIEW



3 GREENHOUSE VIEW



4 REAR VIEW

PROJECT NAME

10 SUNNYSIDE
AVE

PROJECT ADDRESS

10 Sunnyside Ave
Arlington MA

CLIENT

Column Health LLC

ARCHITECT



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Scale

REVISIONS

No.	Description	Date

Perspectives #2

A-307

10 SUNNYSIDE AVE



PROPOSED DEVELOPMENT VIEW LOOKING DOWN SUNNYSIDE AVENUE

PROJECT NAME
**10 SUNNYSIDE
AVE**

PROJECT ADDRESS
10 Sunnyside Ave
Arlington MA

CLIENT
Column Health LLC

ARCHITECT



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Scale	

REVISIONS		
No.	Description	Date

Realistic
Rendering

A-308

10 SUNNYSIDE AVE



PROPOSED DEVELOPMENT VIEW LOOKING DOWN SUNNYSIDE AVENUE

PROJECT NAME
10 SUNNYSIDE AVE

PROJECT ADDRESS
10 Sunnyside Ave
Arlington MA

CLIENT
Column Health LLC

ARCHITECT


KHALSA

17 IVALOO STREET SUITE 400
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Scale	

REVISIONS		
No.	Description	Date

Realistic
Rendering

A-309

10 SUNNYSIDE AVE



PROJECT NAME
**10 SUNNYSIDE
AVE**

PROJECT ADDRESS
10 Sunnyside Ave
Arlington MA

CLIENT

Column Health LLC

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400
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Checked by	Checker
Scale	

REVISIONS		
No.	Description	Date

Realistic
Perspectives

A-310
10 SUNNYSIDE AVE