

January 22, 2021

Via hand delivery

Arlington Redevelopment Board
720 Massachusetts Avenue
Arlington, MA 02476

Attn: Erin Zwirko, Assistant Director, Department of Planning and Community Development

**RE: Special Permit Application
Citizens Bank Redevelopment
1420 Massachusetts Avenue
Arlington, MA 02476
Map #173, Block #2 & Lot #4.A**

Dear Ms. Zwirko:

On behalf of 1420 Massachusetts Avenue, LLC c/o Bierbrier Development Inc., please find the below enclosed items as part of the Special Permit Application for the proposed Citizens Bank redevelopment at 1420 Massachusetts Avenue. Please note that electronic copies of the below will be submitted under a separate cover.

- Two (2) copies of the Completed and signed Application for Special Permit In Accordance with Environmental Design Review Procedures with attached narrative and site photos;
- Two (2) full size (24"x36") copies of the Proposed Preliminary Site Plan Documents prepared by Bohler dated January 21, 2021;
- Two (2) full size (24"x36") copies of the Architectural Elevations prepared by BKA Architects dated January 20, 2021;
- Two (2) copies of the Drainage Memorandum prepared by Bohler dated January 21, 2021;
- Two (2) copies of the Sign Submittal Package prepared by AGI dated January 12, 2021;
- Check for \$980 made payable to the Town of Arlington (check #1065)

We look forward to discussing with the Redevelopment Board during their upcoming meeting on February 22, 2021. Please do not hesitate to contact me at 508-480-9900 should you have any questions or require any additional information regarding this submission.

Sincerely,

BOHLER



Nick Dewhurst



Randy Miron

CC: Tom Godfrey, Granite Development, LLC (via email)



TOWN OF ARLINGTON
REDEVELOPMENT BOARD

Application for Special Permit In Accordance with Environmental Design
Review Procedures (Section 3.4 of the Zoning Bylaw)

- Docket No. _____
- Property Address 1416-1420 Mass. Avenue
Name of Record Owner(s) 1420 Mass. Avenue, LLC Phone 781-258-1199
Address of Owner c/o Bierbrier Dev. 420 Bedford St. Lexington, MA
Street City, State, Zip 02420
 - Name of Applicant(s) (if different than above) same
Address _____ Phone _____
Status Relative to Property (occupant, purchaser, etc.) _____
 - Location of Property Map # 173, Block # 2, Lot # 4.A
Assessor's Block Plan, Block, Lot No.
 - Deed recorded in the Registry of deeds, Book 67758, Page 251;
-or- registered in Land Registration Office, Cert. No. _____, in Book _____, Page _____
 - Present Use of Property (include # of dwelling units, if any) Bank with drive-up
 - Proposed Use of Property (include # of dwelling units, if any) Bank with drive-up
 - Permit applied for in accordance with 5.5.3 Use Regulations for Business
the following Zoning Bylaw section(s) Districts
section(s) title(s)
 - Please attach a statement that describes your project and provide any additional information that may aid the ARB in understanding the permits you request. Include any reasons that you feel you should be granted the requested permission.
Attached

(In the statement below, strike out the words that do not apply)
The applicant states that 1420 Mass. Ave., LLC is the owner -or- occupant -or- purchaser under agreement of the property in Arlington located at 1416-1420 Mass. Avenue which is the subject of this application; and that unfavorable action -or- no unfavorable action has been taken by the Zoning Board of Appeals on a similar application regarding this property within the last two years. The applicant expressly agrees to comply with any and all conditions and qualifications imposed upon this permission, either by the Zoning Bylaw or by the Redevelopment Board, should the permit be granted.

Signature of Applicant(s)

c/o Bierbrier Development
Address 420 Bedford St.
Lexington, MA 02420

781-863-1800 or
Phone 781-258-1199



Town of Arlington Redevelopment Board
Application for Special Permit in accordance with
Environmental Design Review (Section 3.4)

Required Submittals Checklist

Two full sets of materials and one electronic copy are required. A model may be requested. Review the ARB's Rules and Regulations, which can be found at arlingtonma.gov/arb, for the full list of required submittals.

- ☒ Dimensional and Parking Information Form (see attached)
- ☒ Site plan of proposal
- ☒ Model, if required
- ☒ Drawing of existing conditions
- ☒ Drawing of proposed structure
- ☒ Proposed landscaping. May be incorporated into site plan
- ☒ Photographs
- ☒ Impact statement
- ☒ Application and plans for sign permits
- ☒ Stormwater management plan (for stormwater management during construction for projects with new construction)

FOR OFFICE USE ONLY

_____ Special Permit Granted	Date: _____
_____ Received evidence of filing with Registry of Deeds	Date: _____
_____ Notified Building Inspector of Special Permit filing	Date: _____

TOWN OF ARLINGTON
REDEVELOPMENT BOARD

Petition for Special Permit under Environmental Design Review (see Section 3.4 of the
Arlington Zoning Bylaw for Applicability)

For projects subject to Environmental Design Review, (see Section 3.4), please submit a statement that completely describes your proposal, and addresses each of the following standards.

1. Preservation of Landscape. The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.
2. Relation of Buildings to Environment. Proposed development shall be related harmoniously to the terrain and to the use, scale, and architecture of existing buildings in the vicinity that have functional or visual relationship to the proposed buildings. The Arlington Redevelopment Board may require a modification in massing to reduce the effect of shadows on abutting property in an R0, R1 or R2 district or on public open space.
3. Open Space. All open space (landscaped and usable) shall be so designed as to add to the visual amenities of the vicinity by maximizing its visibility for persons passing the site or overlooking it from nearby properties. The location and configuration of usable open space shall be so designed as to encourage social interaction, maximize its utility, and facilitate maintenance.
4. Circulation. With respect to vehicular, pedestrian and bicycle circulation, including entrances, ramps, walkways, drives, and parking, special attention shall be given to location and number of access points to the public streets (especially in relation to existing traffic controls and mass transit facilities), width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, access to community facilities, and arrangement of vehicle parking and bicycle parking areas, including bicycle parking spaces required by Section 8.13 that are safe and convenient and, insofar as practicable, do not detract from the use and enjoyment of proposed buildings and structures and the neighboring properties.
5. Surface Water Drainage. Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Available Best Management Practices for the site should be employed, and include site planning to minimize impervious surface and reduce clearing and re-grading. Best Management Practices may include erosion control and storm water treatment by means of swales, filters, plantings, roof gardens, native vegetation, and leaching catch basins. Storm water should be treated at least minimally on the development site; that which cannot be handled on site shall be removed from all roofs, canopies, paved and pooling areas and carried away in an underground drainage system. Surface water in all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, and will not create puddles in the paved areas.

In accordance with Section 3.3.4, the Board may require from any applicant, after consultation with the Director of Public Works, security satisfactory to the Board to insure the maintenance of all storm water facilities such as catch basins, leaching catch basins, detention basins, swales, etc. within the site. The Board may use funds provided by such security to conduct maintenance that the applicant fails to do. The Board may adjust in its sole discretion the amount and type of financial security such that it is satisfied that the amount is sufficient to provide for the future maintenance needs.

6. Utility Service. Electric, telephone, cable TV and other such lines and equipment shall be underground. The proposed method of sanitary sewage disposal and solid waste disposal from all buildings shall be indicated.
7. Advertising Features. The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures or features shall not detract from the use and enjoyment of proposed buildings and structures and the surrounding properties. Advertising features are subject to the provisions of Section 6.2 of the Zoning Bylaw.

8. **Special Features.** Exposed storage areas, exposed machinery installations, service areas, truck loading areas, utility buildings and structures, and similar accessory areas and structures shall be subject to such setbacks, screen plantings or other screening methods as shall reasonably be required to prevent their being incongruous with the existing or contemplated environment and the surrounding properties.
9. **Safety.** With respect to personal safety, all open and enclosed spaces shall be designed to facilitate building evacuation and maximize accessibility by fire, police, and other emergency personnel and equipment. Insofar as practicable, all exterior spaces and interior public and semi-public spaces shall be so designed as to minimize the fear and probability of personal harm or injury by increasing the potential surveillance by neighboring residents and passersby of any accident or attempted criminal act.
10. **Heritage.** With respect to Arlington's heritage, removal or disruption of historic, traditional or significant uses, structures, or architectural elements shall be minimized insofar as practicable, whether these exist on the site or on adjacent properties.
11. **Microclimate.** With respect to the localized climatic characteristics of a given area, any development which proposes new structures, new hard-surface ground coverage, or the installation of machinery which emits heat, vapor, or fumes, shall endeavor to minimize, insofar as practicable, any adverse impact on light, air, and water resources, or on noise and temperature levels of the immediate environment.
12. **Sustainable Building and Site Design.** Projects are encouraged to incorporate best practices related to sustainable sites, water efficiency, energy and atmosphere, materials and resources, and indoor environmental quality. Applicants must submit a current Green Building Council Leadership in Energy and Environmental Design (LEED) checklist, appropriate to the type of development, annotated with narrative description that indicates how the LEED performance objectives will be incorporated into the project. [LEED checklists can be found at <http://www.usgbc.org/DisplayPage.aspx?CMSPageID=220b>]

In addition, projects subject to Environmental Design Review must address and meet the following Special Permit Criteria (see Section 3.3.3 of the Zoning Bylaw):

1. The use requested is listed as a special permit in the use regulations for the applicable district or is so designated elsewhere in this Bylaw.
2. The requested use is essential or desirable to the public convenience or welfare.
3. The requested use will not create undue traffic congestion or unduly impair pedestrian safety.
4. The requested use will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.
5. Any special regulations for the use as may be provided in this Bylaw are fulfilled.
6. The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals, or welfare.
7. The requested use will not, by its addition to a neighborhood, cause an excess of the particular use that could be detrimental to the character of said neighborhood.

TOWN OF ARLINGTON
Dimensional and Parking Information
for Application to
The Arlington Redevelopment Board

Docket No. _____

Property Location 1416-1420 Mass. Ave.

Zoning District B4

Owner: 1420 Mass. Ave., LLC

Address: c/o Bierbrier Development,
420 Bedford St., Lexington, MA
Uses and their gross square feet: 02420.

Present Use/Occupancy: No. of Dwelling Units:

Bank with drive-up

4,366 s.f.

Proposed Use/Occupancy: No. of Dwelling Units:

Bank with drive-up

Uses and their gross square feet:

2,400 s.f.

	Present Conditions	Proposed Conditions	Min. or Max. Required by Zoning for Proposed Use
Lot Size	19,727 sf	no change	min. none
Frontage	158.3'	no change	min. 50'
Floor Area Ratio	.18	.12	max. 1.0
Lot Coverage (%), where applicable	9.2%	12.2%	max. —
Lot Area per Dwelling Unit (square feet)	=	—	min. —
Front Yard Depth (feet)	19.7'	16.3'	min. 0
Side Yard Width (feet)			
right side	78.4'	73.0'	min. 0
left side	35.4'	30.4'	min. 10'
Rear Yard Depth (feet)	51.4'	51.3'	min. 10'
Height	—		min.
Stories	1 w/ basement	1	stories 3
Feet	17.6'	20'	feet 35'
Open Space (% of G.F.A.)	23.1%	28.0%	min. 10%
Landscaped (square feet)	4,557 sf	5,524 sf	(s.f.)
Usable (square feet)	4,557 sf	5,524 sf	(s.f.)
Parking Spaces (No.)	15	15	min. 8
Parking Area Setbacks (feet), where applicable	—		min.
Loading Spaces (No.)	—		min.
Type of Construction	—		
Distance to Nearest Building	35.4	30.4	min.

**Application for Special Permit
Citizens Bank Redevelopment
1416-1420 Mass Ave, Arlington**

The property consists of a 19,727 s.f. lot in the B4 Vehicular Oriented Business District.

A Citizens Bank currently occupies the property and a bank use with drive-up has existed on the property since the 1970s pursuant to a 1977 Special Permit. The property also benefits from a 1983 special permit related to signage.

Citizens Bank recently signed a new lease and received federal/state approval to build a new bank branch on the property and close temporarily while the new building is constructed.

The current footprint (building and canopies) totals 2,552 sf and the current building totals 4,236 sf (gross) including a 1,814 sf of basement.

The proposed building is designed as a single story 2,400 sf building in the same location as exists today.

The property and proposed building comply with all dimensional requirements of the B4 Vehicular Oriented Business Zoning District.

The project goals are to upgrade Citizens building with the least impact possible while reducing building size, footprint size and impervious area (increasing open space).

The project involves demolishing the existing building and reconstructing a new, modern energy efficient building in the same location.

The project preserves the perimeter of the site in the same condition that exists today with a limit of work that follows the outer curb line of the parking area. The area around the building will receive new landscaping and a pocket park will be constructed between the building and Mass Ave. A new ADA compliant access way from the sidewalk on Mass Ave to the building will be constructed replacing the existing noncompliant walkway, as well as new ADA compliant parking spaces.

The parking area will be repaved with same number of parking spaces in the same location that exist today. The vehicle entrances and traffic flow will remain the same, with some improvements to striping and signage.

Special Permit Design Review Standards:

Preservation of Landscape – There are no changes to the landscape around the perimeter of the property. New landscaping will be incorporated around the building and a pocket park will be created between the building and Mass Ave.

Relation of Building to the Environment – The building will be reconstructed in the same location as it exists today. The gross square footage of the building, will be reduced from approximately 4,366 sf to

2,400 sf. A pocket park is incorporated into the design to increase connectivity with pedestrians and provide seating and bike parking.

Open Space – Open space will be increased by the removal of pavement thereby decreasing the amount of impervious that exists onsite.

Circulation - The existing traffic patterns and parking will not change. Pedestrian safety will be enhanced by providing an ADA compliant access way from the sidewalk on Mass Ave to the building. A pocket park with bike parking and seating will be created between the building and Mass Ave.

Surface Water Drainage - The existing stormwater system will remain in place. Stormwater runoff rates and volumes generated from the site will be improved when compared to the existing condition due to the decrease in impervious areas. A further breakdown of the stormwater improvements is outlined within the Drainage Memorandum prepared by Bohler.

Utility Service - Existing utilities will be upgraded and reused.

Advertising Features – Site signage (existing free standing sign and directional sign) will remain. Updated building signage is detailed on the sign submittal package.

Special Features - There are no known special regulations applicable to the proposed use.

Safety - The proposed building is designed with two (2) egress doors to facilitate building evacuation and maximizing accessibility for emergency services. Special safety consideration has been incorporated into the landscaping around the building and placement of windows.

Heritage – There are no known historic features on the site.

Microclimate - A landscaped depression will be constructed to accept the stormwater generated by the roof of the building to allow for infiltration and detention and to reduce stormwater runoff rates. In addition, the amount of open space onsite will be increased.

Sustainable Building and Site Design - The proposed building will meet or exceed current building and energy codes and will include roof and wall insulation with high R-values and energy efficient windows. The building will incorporate low-flow plumbing fixtures and efficient appliances.

Criteria for Environmental Design Review:

1. Use – The proposed use is a bank with drive-up, greater than 2,000 s.f. which is listed in the use regulations section 5.5.3 as an allowed special permit use under zoning district B4 Vehicular Oriented Business District. The property received a special permit in 1997 to allow for a bank with drive-up and has operated as bank since.
2. Desirable and Public Convenience – The existing and proposed bank use is an essential and desirable public convenience to the Arlington Heights neighborhood and has been serving the community as a bank since the 1970s.

3. Traffic Pedestrian Safety – The existing traffic patterns and parking will remain the same. Pedestrian safety will be enhanced by providing an ADA compliant access way from the sidewalk on Mass Ave to the building. A pocket park with bike rack and seating will be created between the building and Mass Ave.
4. Utilities – Existing utilities will be upgraded if necessary and reused. A landscaped depression will be constructed to accept the stormwater generated by the roof of the building to allow for infiltration and detention to reduce stormwater runoff. In addition, the amount of open space onsite will be increased.
5. Special Regulations - There are no known special regulations applicable to the proposed use.
6. Character Neighborhood – The use is proposed to be a continuation of the same use that has operated on the property since the 1970s. The architectural intent and materials have been designed to complement the existing buildings and character of the neighborhood.
7. The proposed use will not be in excess or detriment to the character of the neighborhood and will be a continuation of a convenience use for the benefit of the neighborhood.





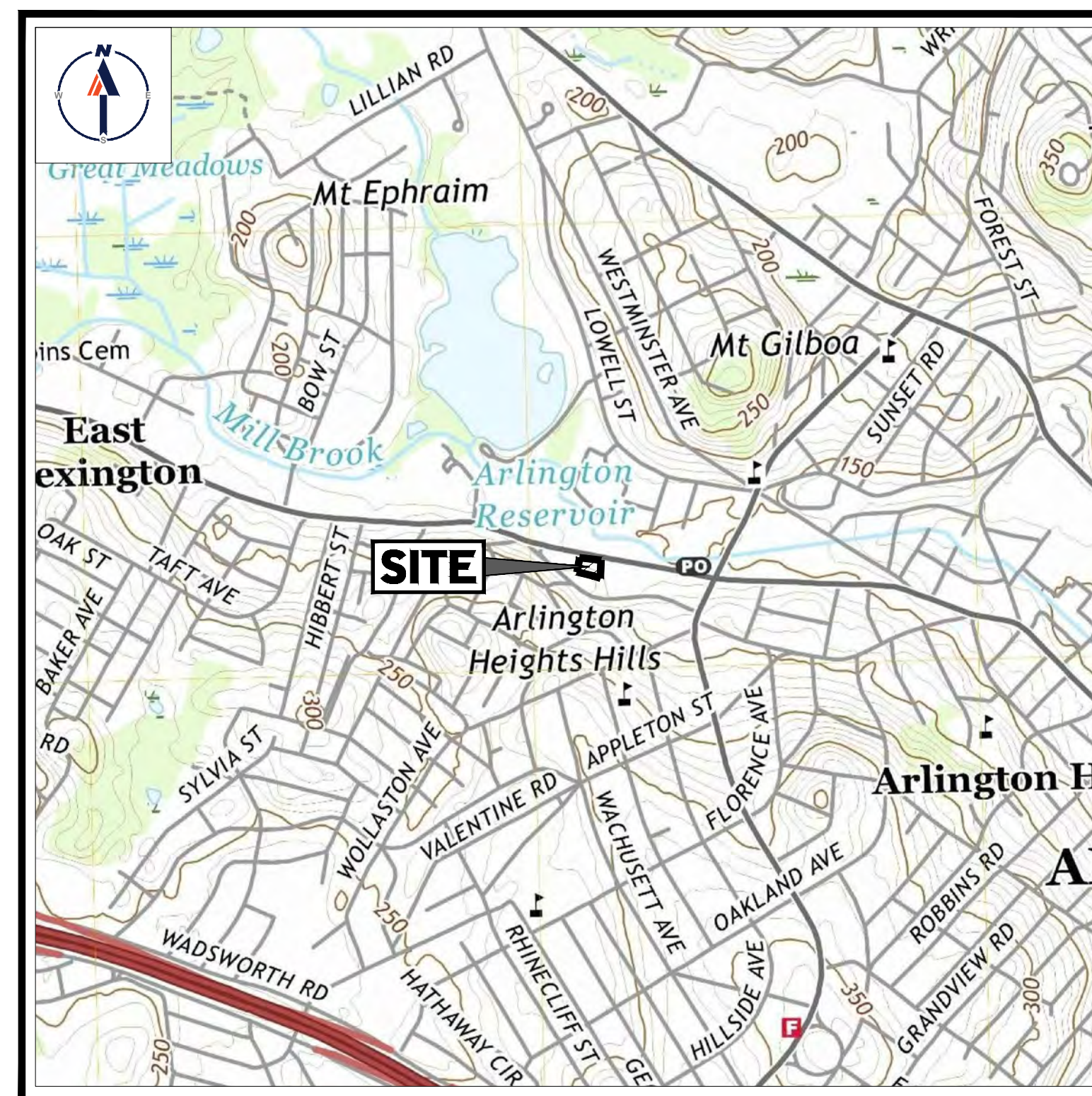
FOR

**1420 MASSACHUSETTS AVENUE, LLC
C/O BIERBRIER DEVELOPMENT, INC.**

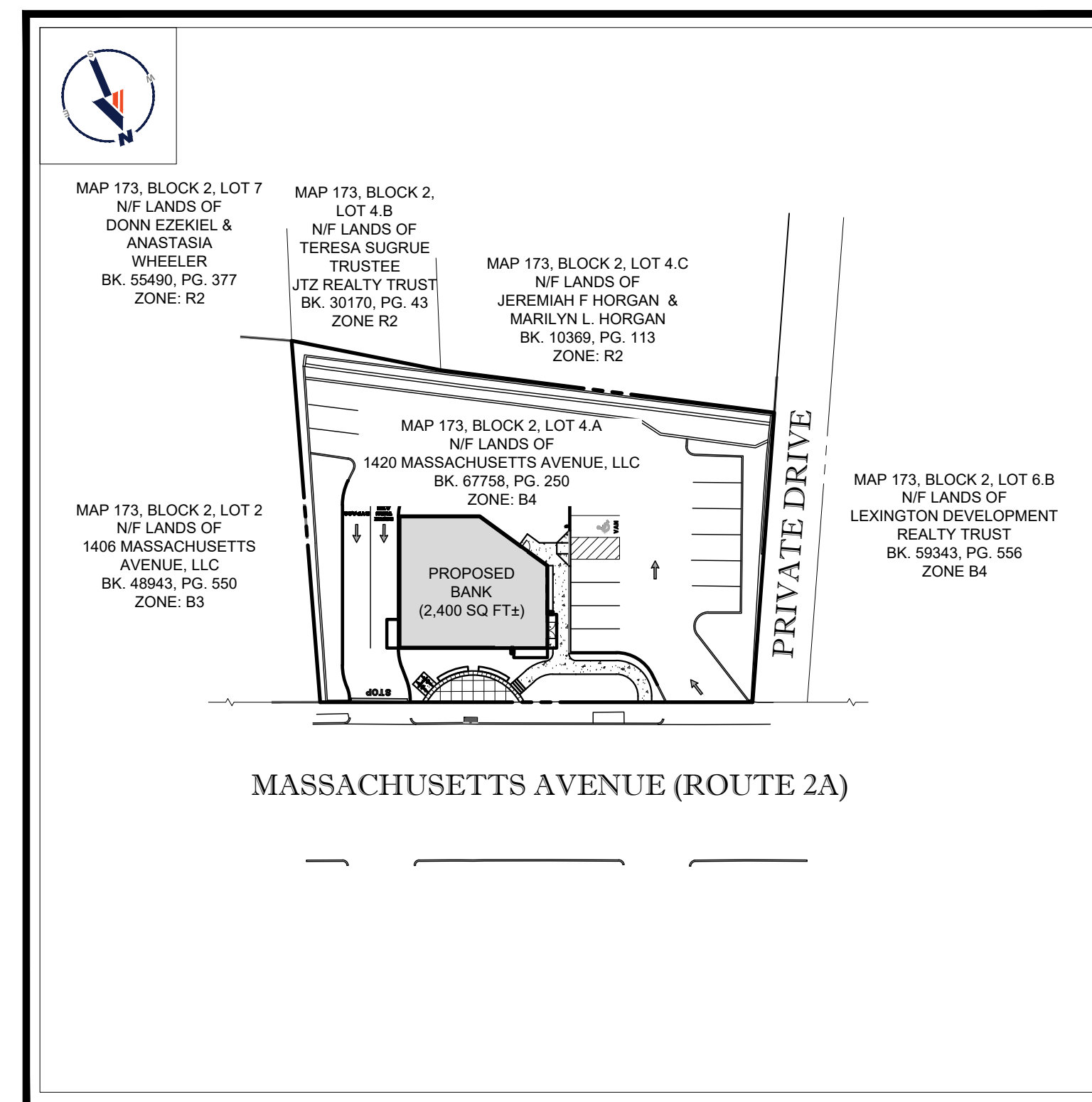
PROPOSED

CITIZENS BANK REDEVELOPMENT

LOCATION OF SITE:



SCALE: 1" = 1,000'
SOURCE: LEXINGTON MASSACHUSETTS USGS QUADRANGLE



SCALE: 1" = 50'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
DEMOLITION PLAN	C-201
SITE LAYOUT PLAN	C-301
GRADING AND DRAINAGE PLAN	C-401
UTILITY PLAN	C-501
EROSION AND SEDIMENT CONTROL PLAN	C-601
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES AND DETAILS	C-702
DETAIL SHEET	C-901
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1 SHEET

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING

- LAND SURVEYING
- PROGRAM MANAGEMENT
- LANDSCAPE ARCHITECTURE
- SUSTAINABLE DESIGN
- PERMITTING SERVICES
- TRANSPORTATION SERVICES

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Know what's below.
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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
VIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	W161132
RAWN BY:	CFD/NPD
CHECKED BY:	RMM
DATE:	01/21/2021
AD I.D.:	W161132-TTB-0_24X36

***PROPOSED SITE
PLAN DOCUMENTS***

FOR

**1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.**

**PROPOSED
CITIZENS BANK REDEVELOPMENT**

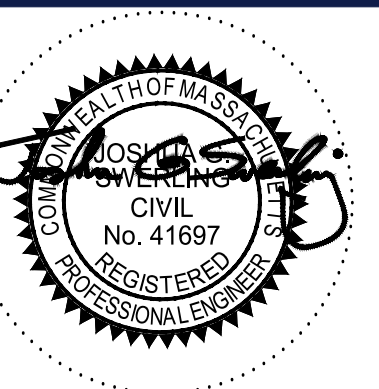
**MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS**

BOHLER //

**352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772**

Phone: (508) 480-9900

www.BohlerEngineering.com



RG. DATE - #####

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND VERMONT'S REQUIREMENTS.

- 1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - "BOUNDARY & TOPOGRAPHIC SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 07/15/16, REVISED THRU 08/28/20.
 - "REPORT OF GEOTECHNICAL INVESTIGATION", PREPARED BY WHITESTONE ASSOCIATES, INC., DATED 12/28/20.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (AKA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PERMITS AND ALL OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, OF ANY DISCREPANCY, DISCREPANCY, OR AMBIGUITY EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

12. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

13. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT LIMITED TO, REPAIR, MATERIALS, LABOR, AND OVERHEADS. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND RESTORATION OF ALL ADJACENT AREAS TO THE PROJECT TO THE SAME OR BETTER CONDITION AS BEFORE THE CONSTRUCTION AND ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

14. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

15. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (COI). ALL CONTRACTORS MUST HAVE THEIR COI POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTOR LIABILITY COVERAGE. THIS HOLDS HARMLESS AND INDemnifies BOHLER ENGINEERING AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT, AND FOR INFORMATION. CONTRACTOR'S CONSTRUCTION MEANS AND/OR METHODS, TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DELAYATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY BROUGHT TO ITS ATTENTION. IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERVISING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERE TO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN AND, FURTHER, ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURERS' STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICABLE DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS "CERTIFY" OR "CERTIFICATION" CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, OF ANY CONFLICT, DISCREPANCY, OR AMBIGUITY. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITIES TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS, DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES WITH THE LOCAL COMPANIES ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL IMPROVEMENTS COMPLY WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY DIS-INCONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTIONS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBGRADE MATERIAL FOR SEWALS, CURBS, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DETERMINED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERE TO.

11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST 9. BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

12. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION, AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUILT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEViate FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP OR CLOSE APPROPRIATE MARK LOCATIONS WITH A DIAL AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS, 1.0% ON ALL CONCRETE SURFACES, AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT ponding. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING, TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEYS' FEES AND THE LIKE WHICH RESULT FROM SAME.

PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 1' ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM 0.75% SLOPE GRADE ALONG CURBS FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER DESIGN, THE SITE, THE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK.

WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

STORM DRAINAGE PIPE UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO ASTM D2658 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

- UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 - FOR PIPES LESS THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034
 - FOR PIPES 12 FT. DEEP OR GREATER: POLYETHYLENE GLASS REINFORCED PLASTIC (PEGR) SDR 35 PER ASTM D3034
 - FOR PIPE WITH JOINT OF BUILDING, THE MATERIAL SHALL COMPLY WITH THE BUILDING AND PLUMBING CODES. CONTRACTOR TO VERIFY WITH LOCAL OFFICES.

STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

- WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL, OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

30. LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.

CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

- "BOUNDARY & TOPOGRAPHIC SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 07/15/16, REVISED THRU 08/28/20.

2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY. REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED, THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMANCE OF WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO:

A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.

C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.

E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.

I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.

7. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.

8. THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS, AND MUST BE SUPPORTED AND REINFORCED IN COMPLIANCE WITH THE RECOMMENDATIONS AND/OR REQUIREMENTS OF THE DESIGN ENGINEER. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.

THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

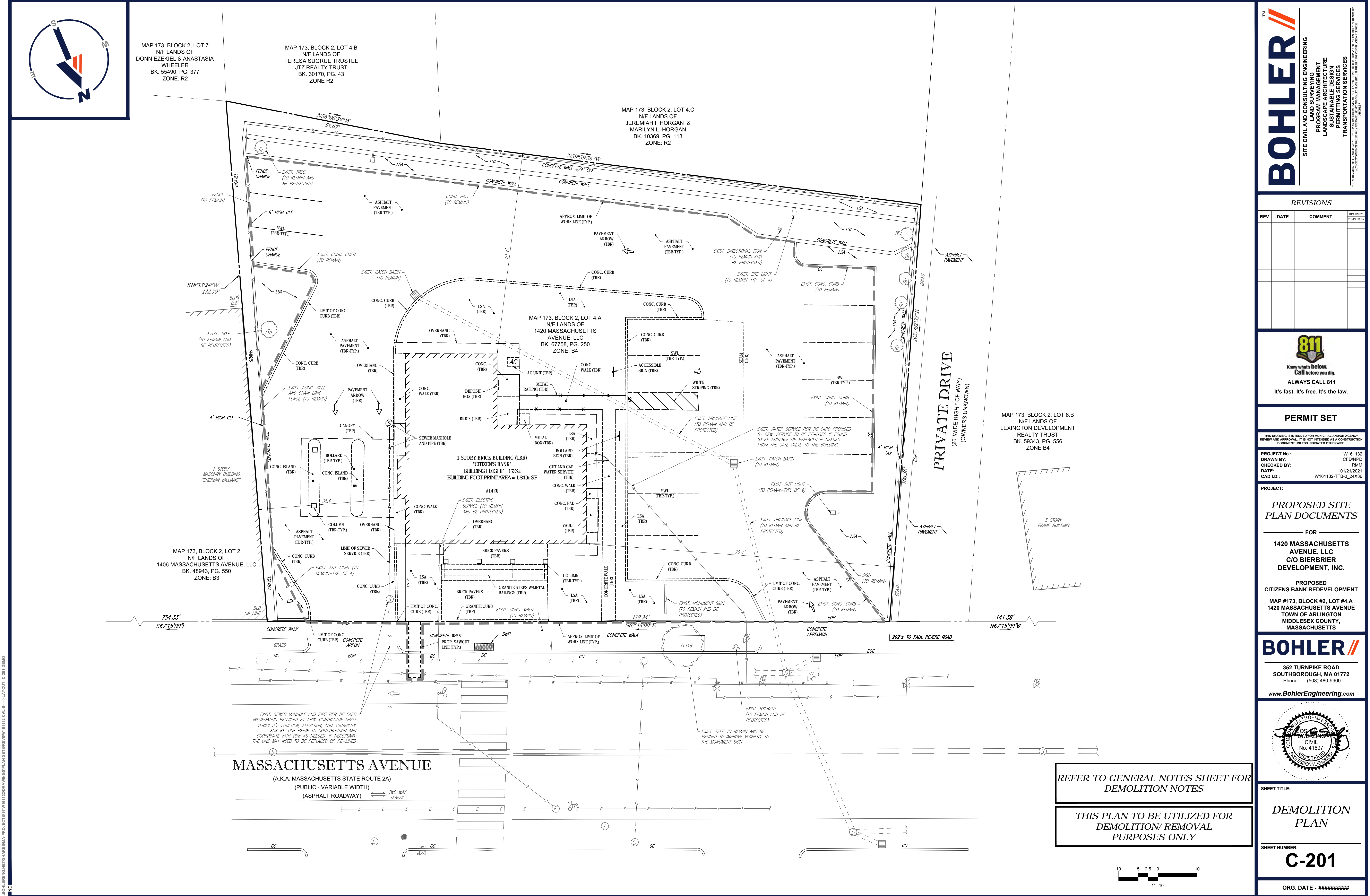
CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED FILL MATERIALS, AND MUST BE SUPPORTED AND REINFORCED IN COMPLIANCE WITH THE RECOMMENDATIONS AND/OR REQUIREMENTS OF THE DESIGN ENGINEER. GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADDED TO PROMOTE POSITIVE DRAINAGE.

EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.

CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY.

CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.

DEMOL



\\BOHLER\ENG\NET\SHARES\MA-PROJECTS\173\173-112\DRAWINGS\PLAN SETS\REV\W1112.CAD...LAYOUT: C-201.DEMO

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
305 SOUTH MAIN STREET
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE SERVICES
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	DRAWN BY	

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PROJECT No.: W161132
DRAWN BY: CFI/DPD
CHECKED BY: RMM
DATE: 01/21/2021
CAD ID: W161132-TTB-0_24X36

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

1420 MASSACHUSETTS AVENUE, LLC
C/O BIERBRIER DEVELOPMENT, INC.

PROPOSED
CITIZENS BANK REDEVELOPMENT

MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS

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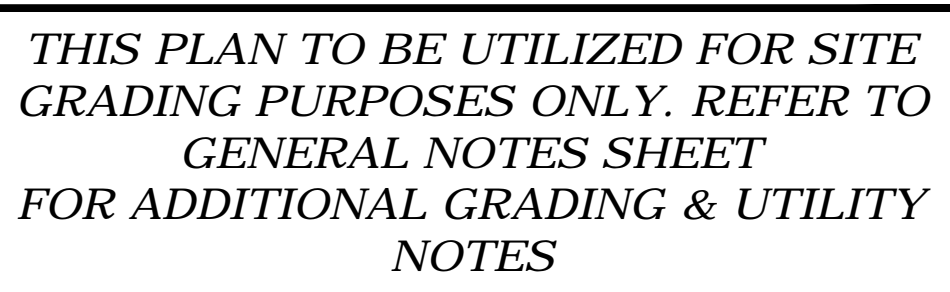
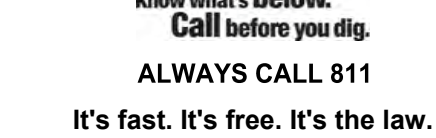
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

Professional Engineer
No. 41697
REGISTERED
PROFESSIONAL ENGINEER

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C-201

ORG. DATE - #####

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PROJECT No.: W161132
DRAWN BY: CFD/NP
CHECKED BY: RM
DATE: 01/21/2022
CAD I.D.: W161132-TTB-0_24X3

PROJECT:

PROPOSED SITE
PLAN DOCUMENTS

FOR
1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

**PROPOSED
CITIZENS BANK REDEVELOPMENT**

**MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS**

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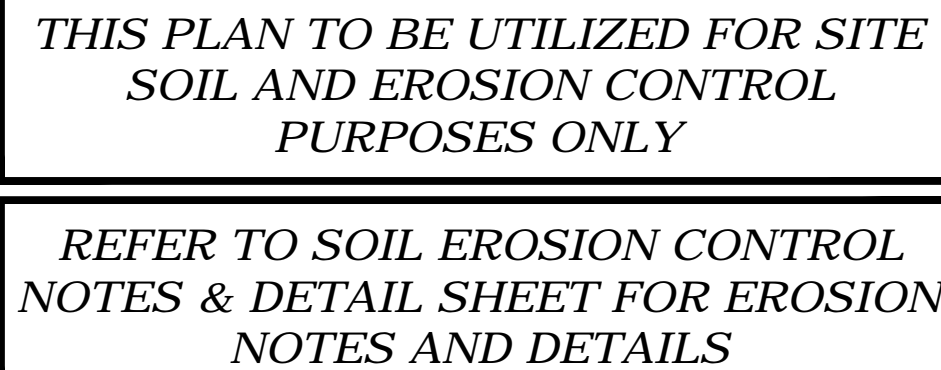
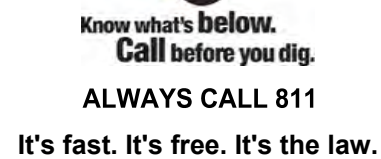
SHEET TITLE:

GRADING AND DRAINAGE PLAN

SHEET NUMBER: _____

C-401

ORG. DATE - #####

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DRAWN BY:	CFD/NP
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DATE:	01/21/2024
CAD I.D.:	W161132-TTB-0_24X3

PROJECT:

*PROPOSED SITE
PLAN DOCUMENTS*

— FOF

**1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.**

**PROPOSED
CITIZENS BANK REDEVELOPMENT**

**MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
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SHEET TITLE:

SOIL EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:

C-601

ORG. DATE - #####

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE. THE CONTRIBUTING DRAINAGE AREA ABOVE THEM MUST NOT EXCEED 45 DAYS PRIOR TO THE FIRST KILLING FROST. USE TEMPORARY MULCH (GORDMAN SEEDING) MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (GORDMAN SEEDING) MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED UNTO OPEN AREAS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - 10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GRADUAL LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - 10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% SODPOD, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PERMANENT TURF MIXTURE OF 44% KENTucky BLUE GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF. LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.
 - 10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.

N.T.S.

LOCATION	MULCH	RATE (1000 SF)
PROTECT AREA	STRAW	100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCelsior MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

MULCH ANCHORING
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINE GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WEATHER SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
7. MULCHING REQUIREMENTS:
 - 7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - 7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - 7.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

N.T.S.

N.T.S.

N.T.S.

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 USIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC - 1

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH, "W," OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE INLET BOX.
6. THE DEPTH, "D," OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
7. THE LENGTH, "L," OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

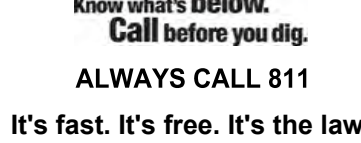
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THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
- DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDING
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.

N.T.S.

REVISIONS

[illegible]

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PROJECT No.: W1611

PROJECT No.: W1611
DRAWN BY: CFD/N
CHECKED BY: RM
DATE: 01/21/20
CAD I.D.: W161132-TTB-0_24X

PROJECT:

PK

FOR —

1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

**PROPOSED
CITIZENS BANK REDEVELOPMENT**

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MASSACHUSETTS**

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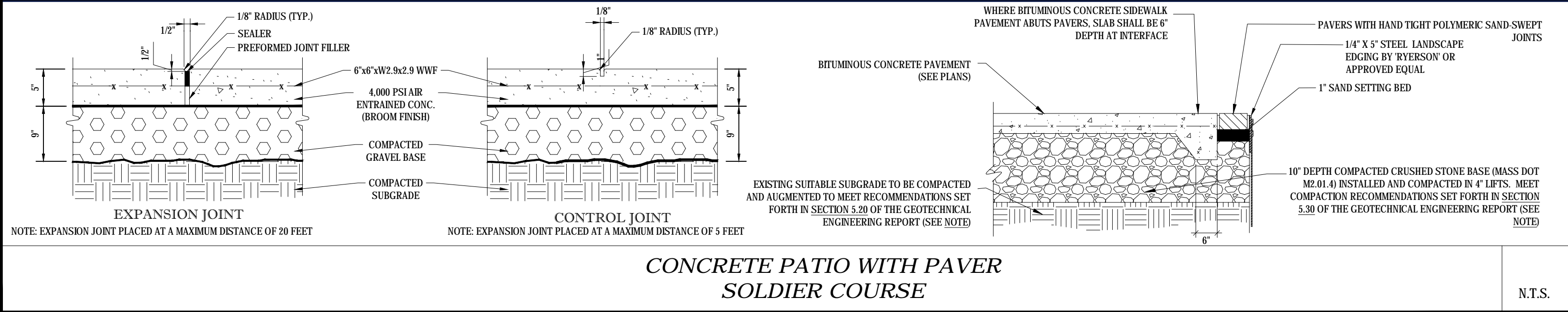
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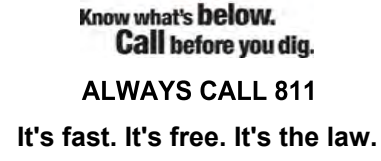
LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
DECIDUOUS SHRUBS					
CSA	7	CORNUS STOLONIFERA 'ARCTIC FIRE'	COMPACT RED TWIG DOGWOOD	18-24"	B-B
IME	11	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	18-24"	CONTAINER
HPG	3	HYDRANGEA PANCULATA 'GRANDIFLORA'	PEE GEE HYDRANGEA	24-30"	CONTAINER
HPS	5	HYPERICUM PATULUM 'SUNBURST'	SUNBURST ST. JOHNSWORT	18-24"	CONTAINER
DR	16	ILEX X VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18-24"	CONTAINER
SUBTOTAL:	42				
EVERGREEN SHRUBS					
KC	17	ILEX GLABRA 'COMPACTA'	DWARF INKBERRY HOLLY	24-30"	B-B
KCB	6	ILEX GLABRA 'GEM BOX'	DWARF INKBERRY HOLLY	18-24"	CONTAINER
RAS	1	RHODODENDRON 'APRIL SNOW'	APRIL SNOW RHODODENDRON	24-30"	CONTAINER
RKX	8	RHODODENDRON 'RUBY'	RUBY RHODODENDRON	24-30"	CONTAINER
SUBTOTAL:	32				
GROUND COVERS					
JHBH	18	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRD.	CONTAINER
SUBTOTAL:	18				
PERENNIALS					
HHR	35	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	2 GAL.	CONTAINER
HMPP	9	HEUCHERA MICRANTHA 'PALACE PURPLE'	PALACE PURPLE CORAL BELLS	2 GAL.	CONTAINER
SUBTOTAL:	44				

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SITE CIVIL AND CONSULTING ENGINEERING

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REVISIONS

[illegible]**PERMIT SET**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	W161132
DRAWN BY:	CFD/NPD
CHECKED BY:	RMM
DATE:	01/21/2021
CAD I.D.:	W161132-TTB-0_24X36

PROJECT:

PROPOSED SITE
PLAN DOCUMENTS

— FOR —

1420 MASSACHUSETTS
AVENUE, LLC
C/O BIERBRIER
DEVELOPMENT, INC.

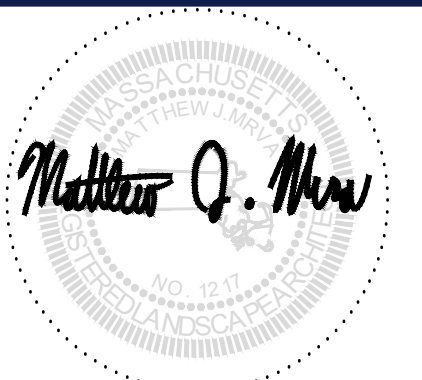
**PROPOSED
CITIZENS BANK REDEVELOPMENT**

**MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS**

BOHLER//

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

www.BohlerEngineering.com



SHEET TITLE:

*LANDSCAPE
PLAN*

SHEET NUMBER:

C-701

ORG. DATE - #####



N.T.S.

N.T.S.

MASSACHUSETTS AVENUE

(A.K.A. MASSACHUSETTS STATE ROUTE 2A)
(PUBLIC - VARIABLE WIDTH)
(ASPHALT ROADWAY) $\longleftrightarrow T_1$

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPRKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION PLANTS, TREES, SHRUBS, GRASSES, PERENNIALS, AND ANNUALS. THE LANDSCAPING CONTRACTOR SHALL BE RESPONSIBLE FOR THE LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPED AREAS, INCLUDING THE FOLLOWING:

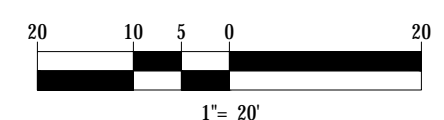
- TREES ADJACENT TO LANDSCAPE ISLANDS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY TRUNKS OR LIMBS OF TREES DO NOT OBSTRUCT OR INTERFERE WITH PEDESTRIAN TRAFFIC (OR ON PAVED AREAS) OR DRUNK BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITH VEHICULAR SHOOT LIMBS, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE OF 10 FEET ABOVE THE MAXIMUM VEHICLE CLEARANCE HEIGHT.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE VEGETATION IS EXPOSED TO THE TRAFFIC OF VEHICLES OR TRAVEL SURFACES (ALONG AND WITHIN THE LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS).

• FALL AND WINTER MAINTENANCE OF TREES AND SHRUBS, INCLUDING BRANCHES AND TRUNKS, MUST BE MAINTAINED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT SLIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANTING LIST. GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR
LANDSCAPE PURPOSES ONLY

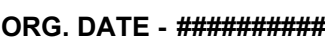
REFER LANDSCAPE NOTES &
DETAILS SHEET FOR LANDSCAPE
NOTES AND DETAILS



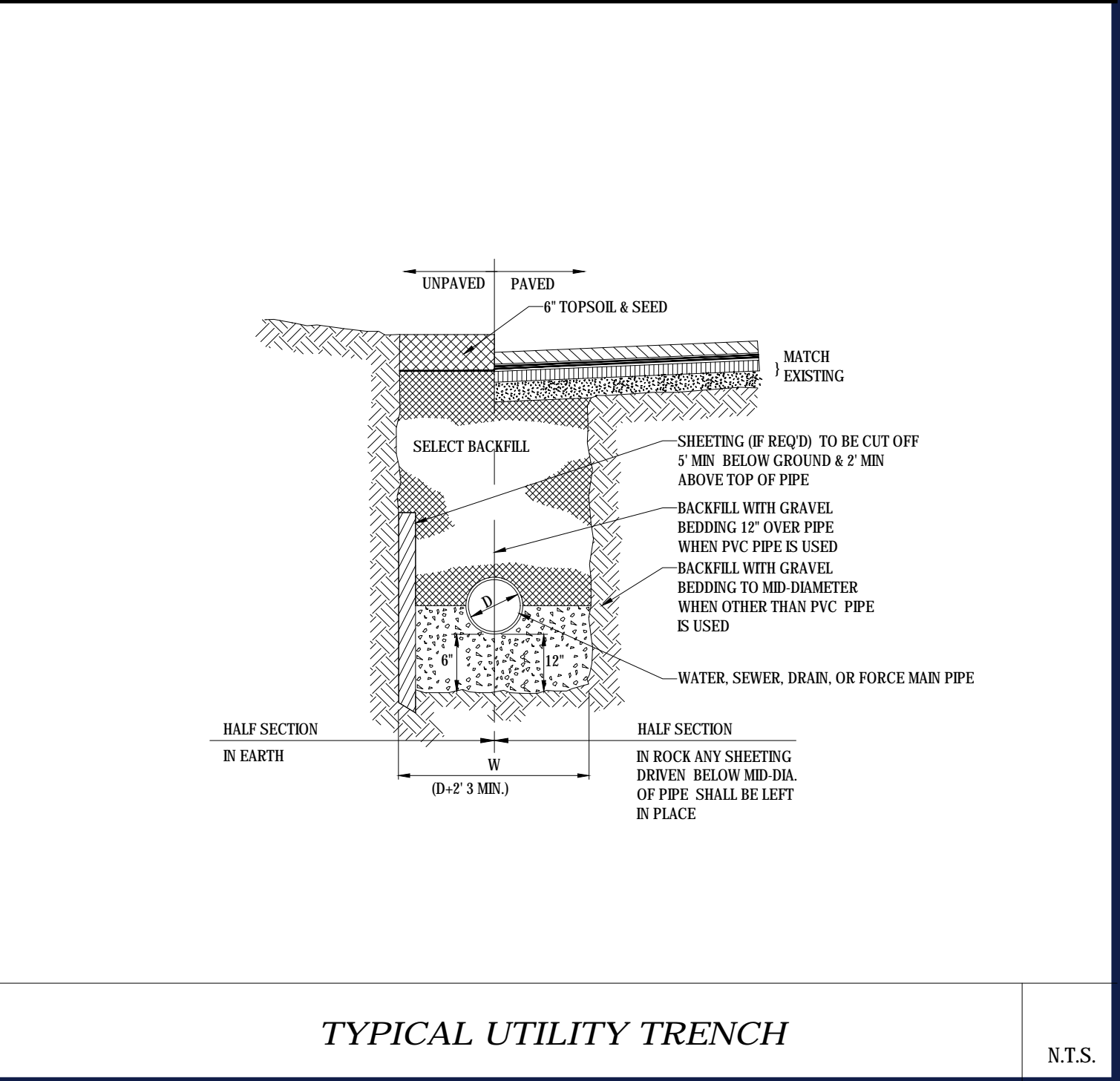
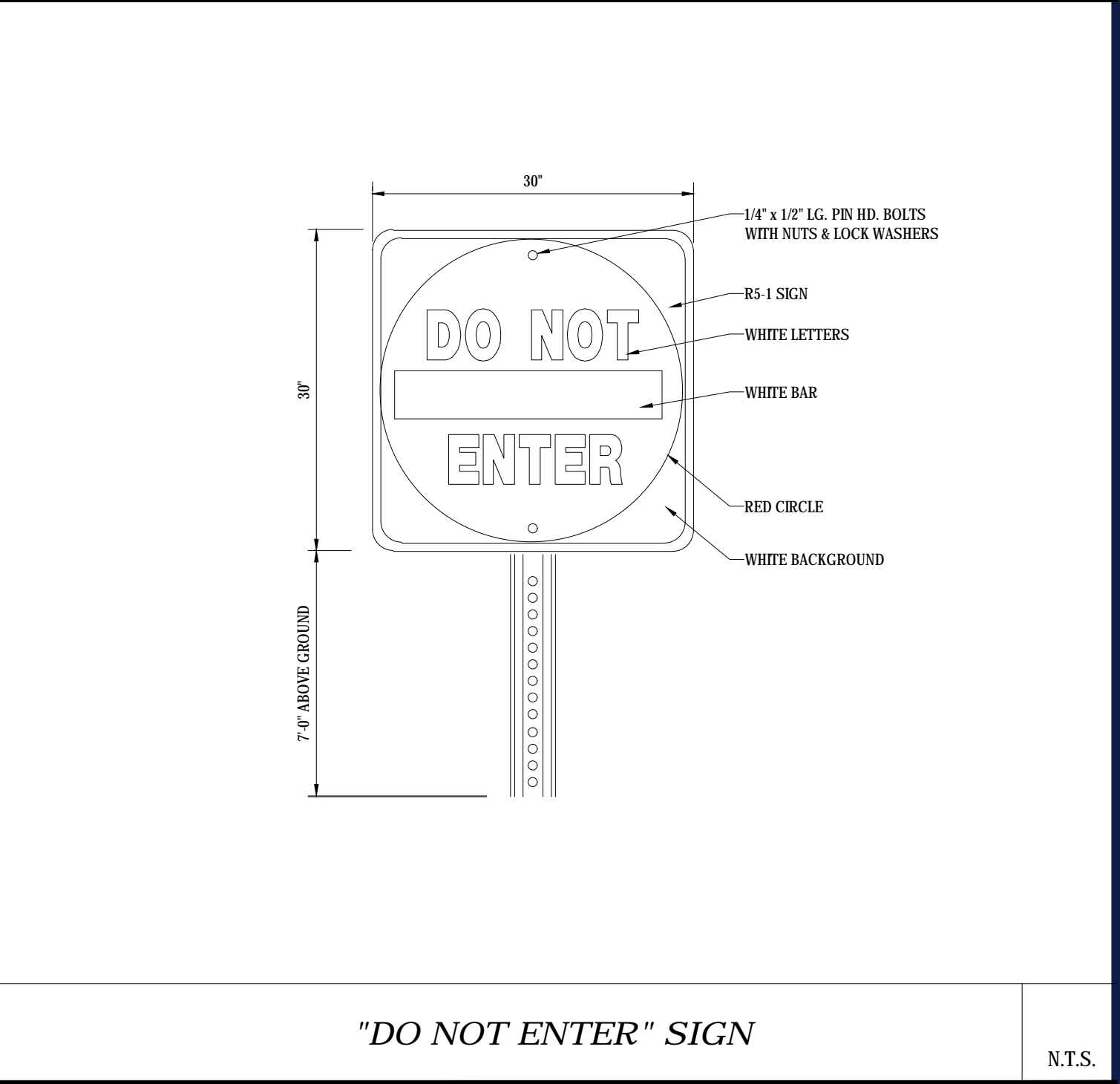
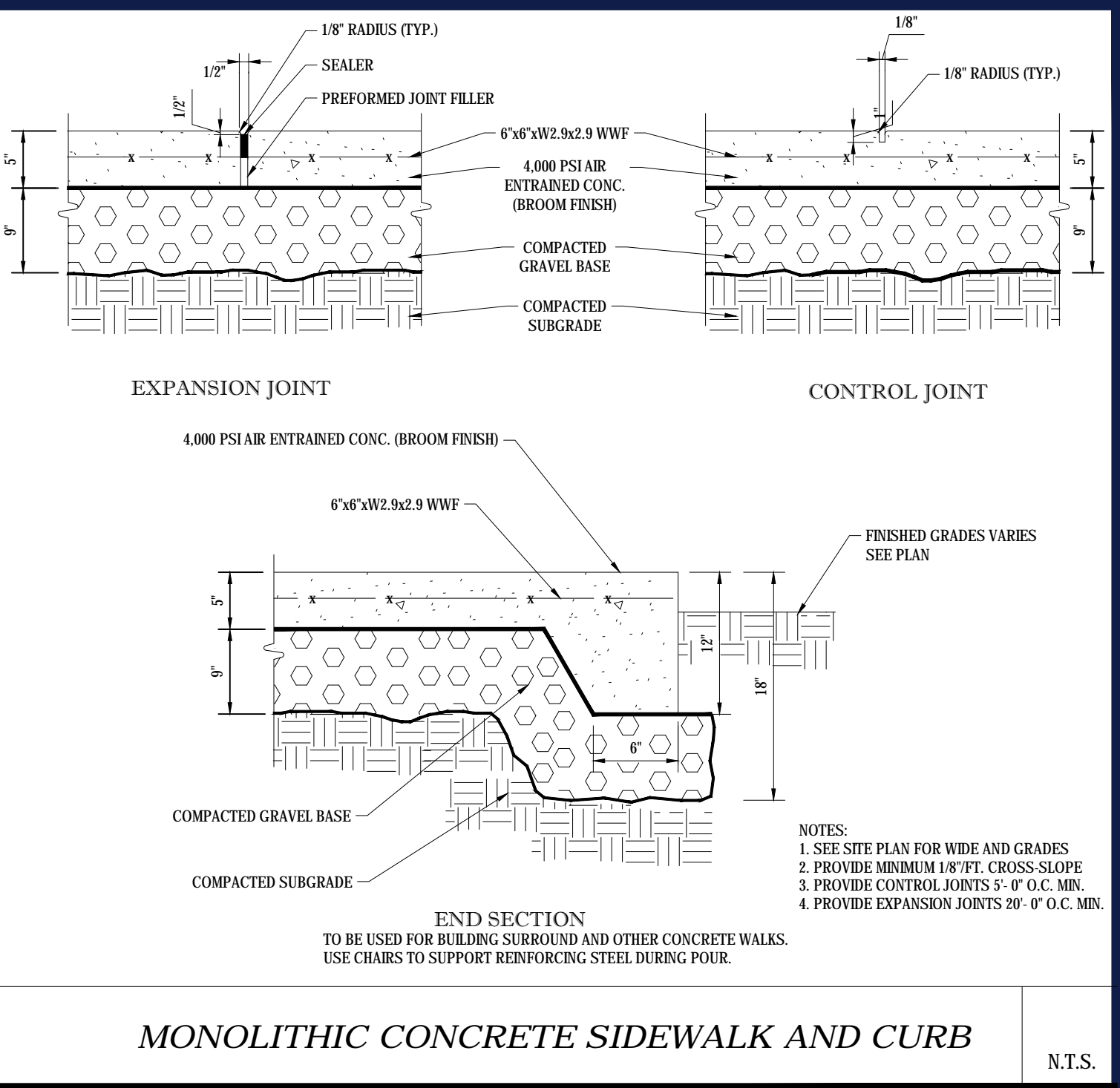
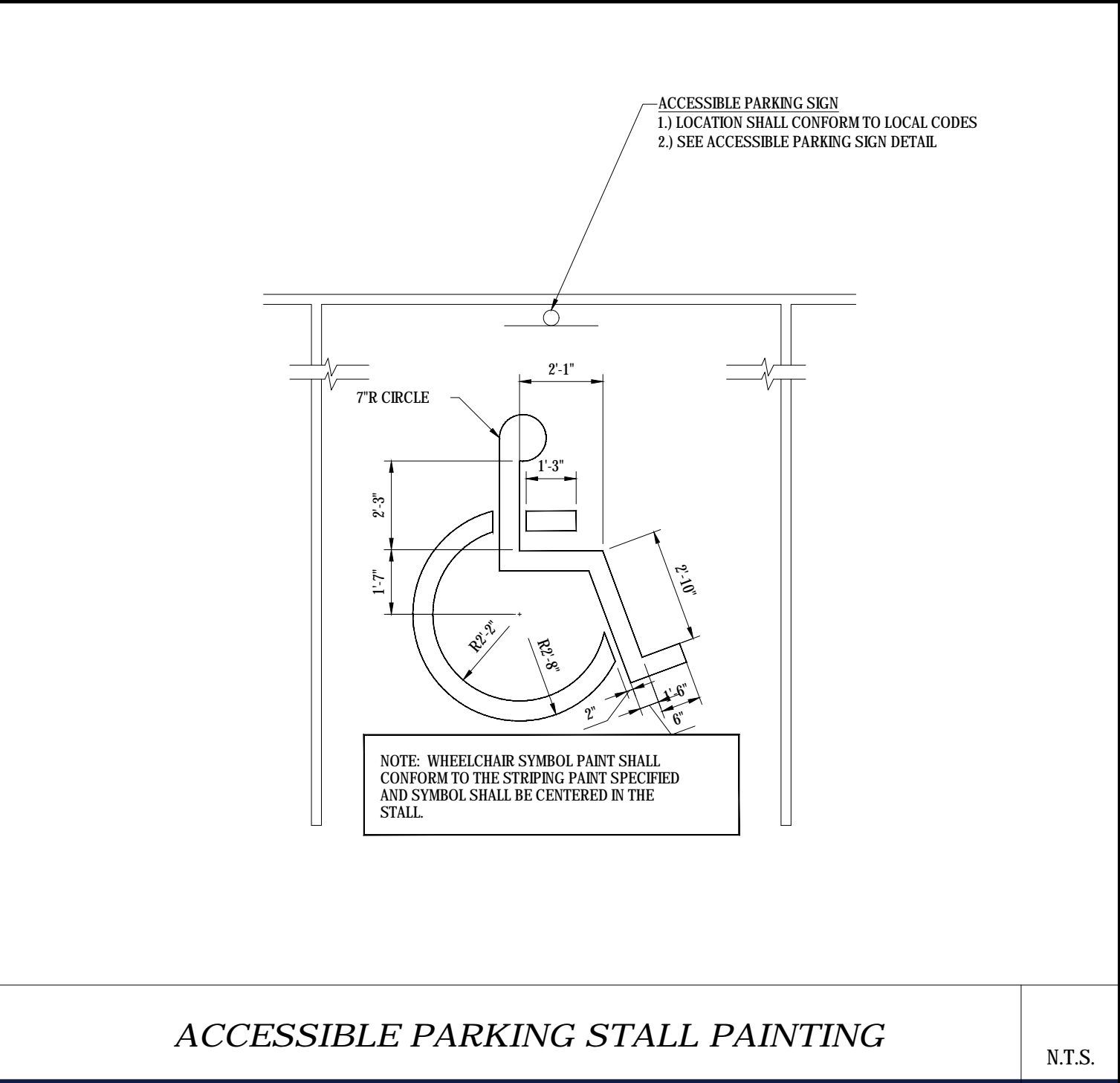
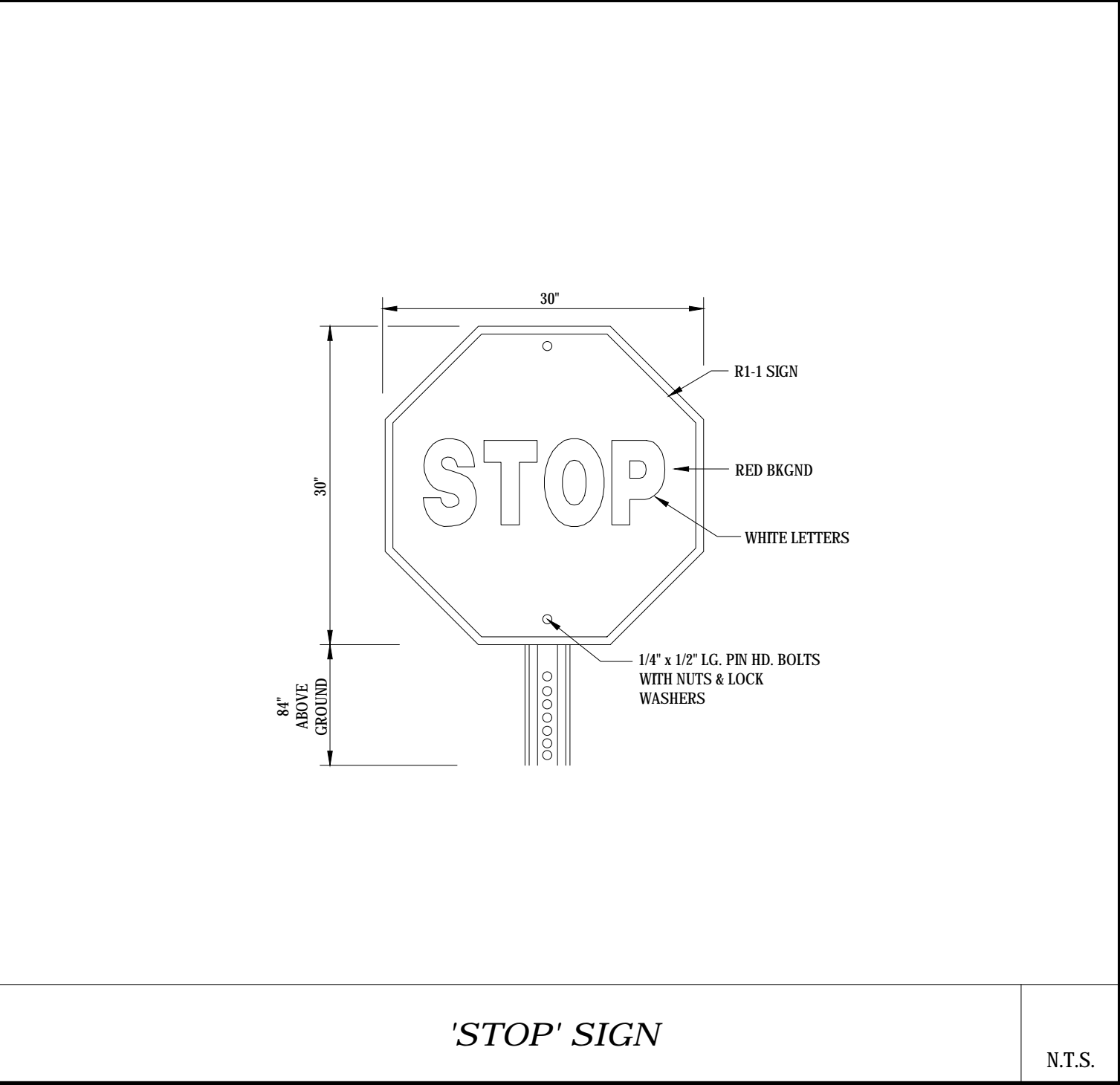
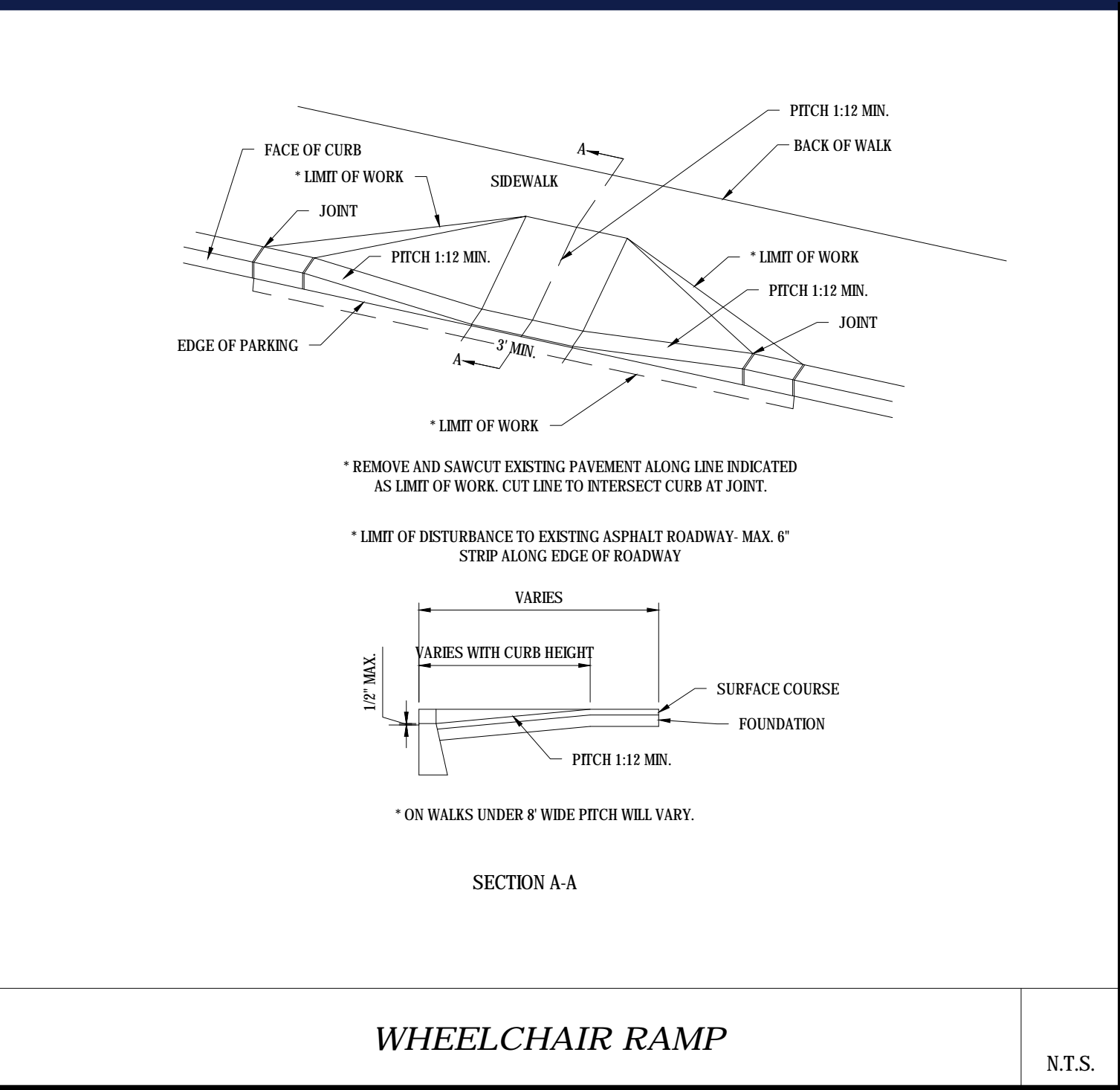
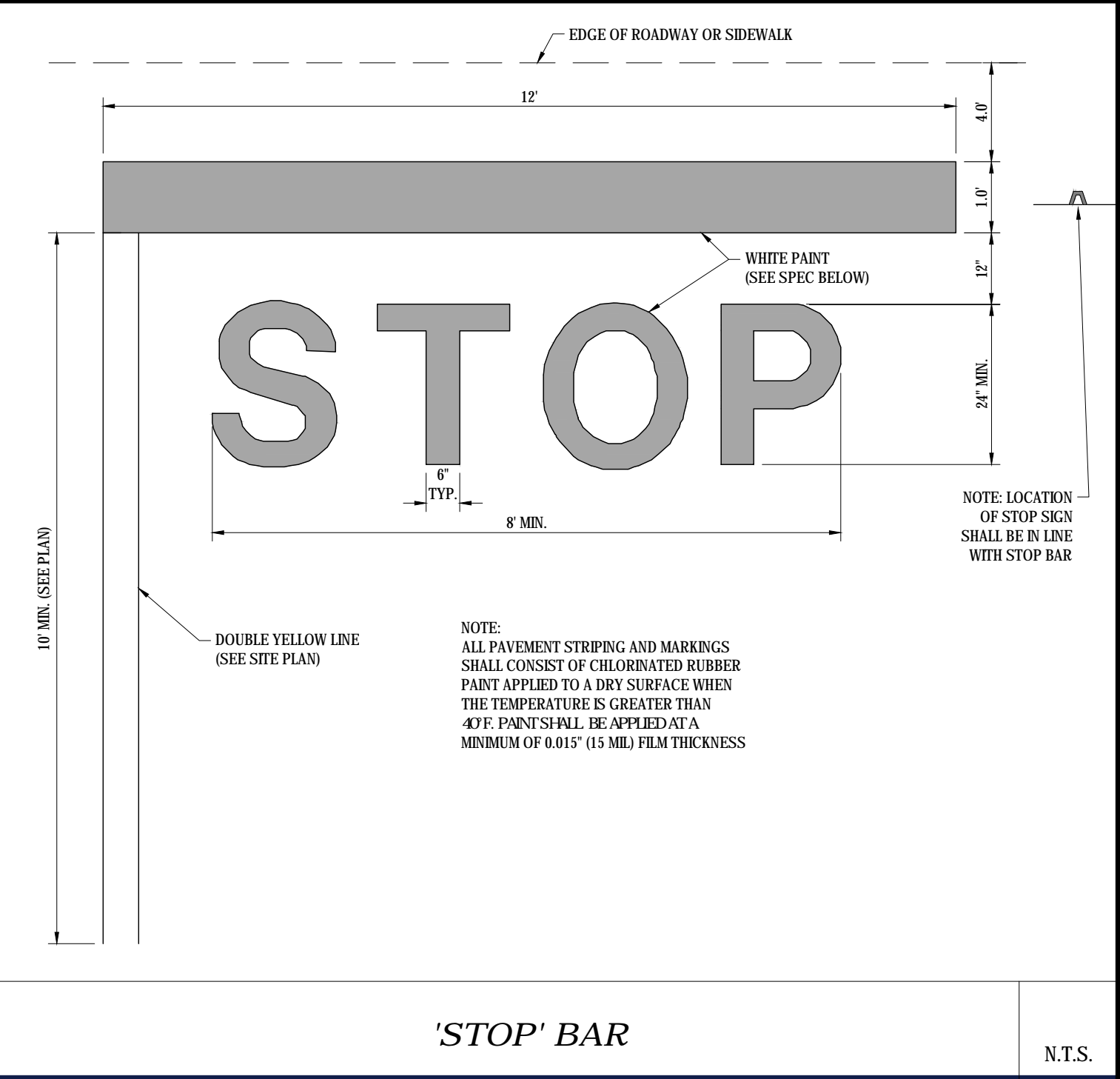
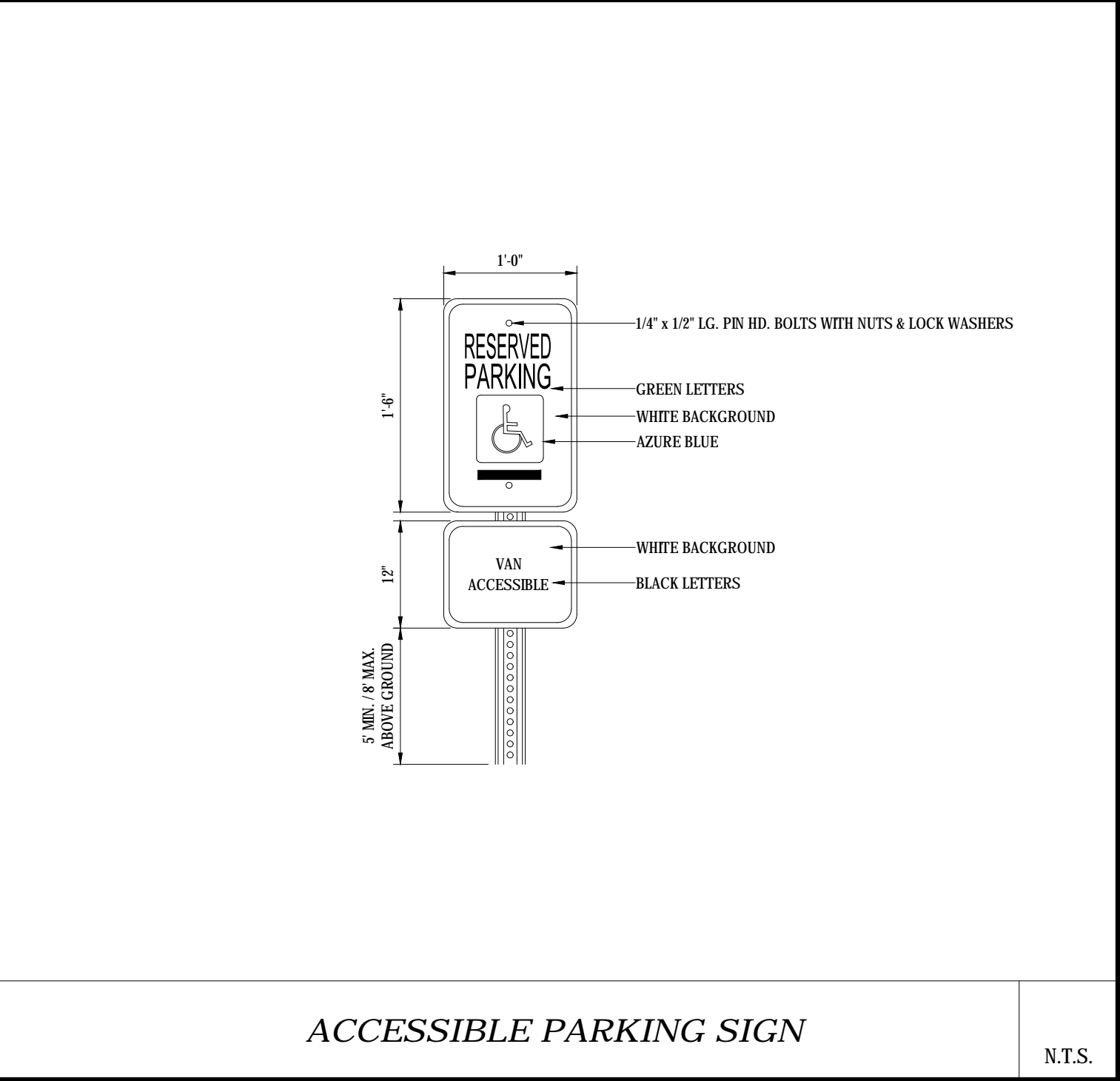
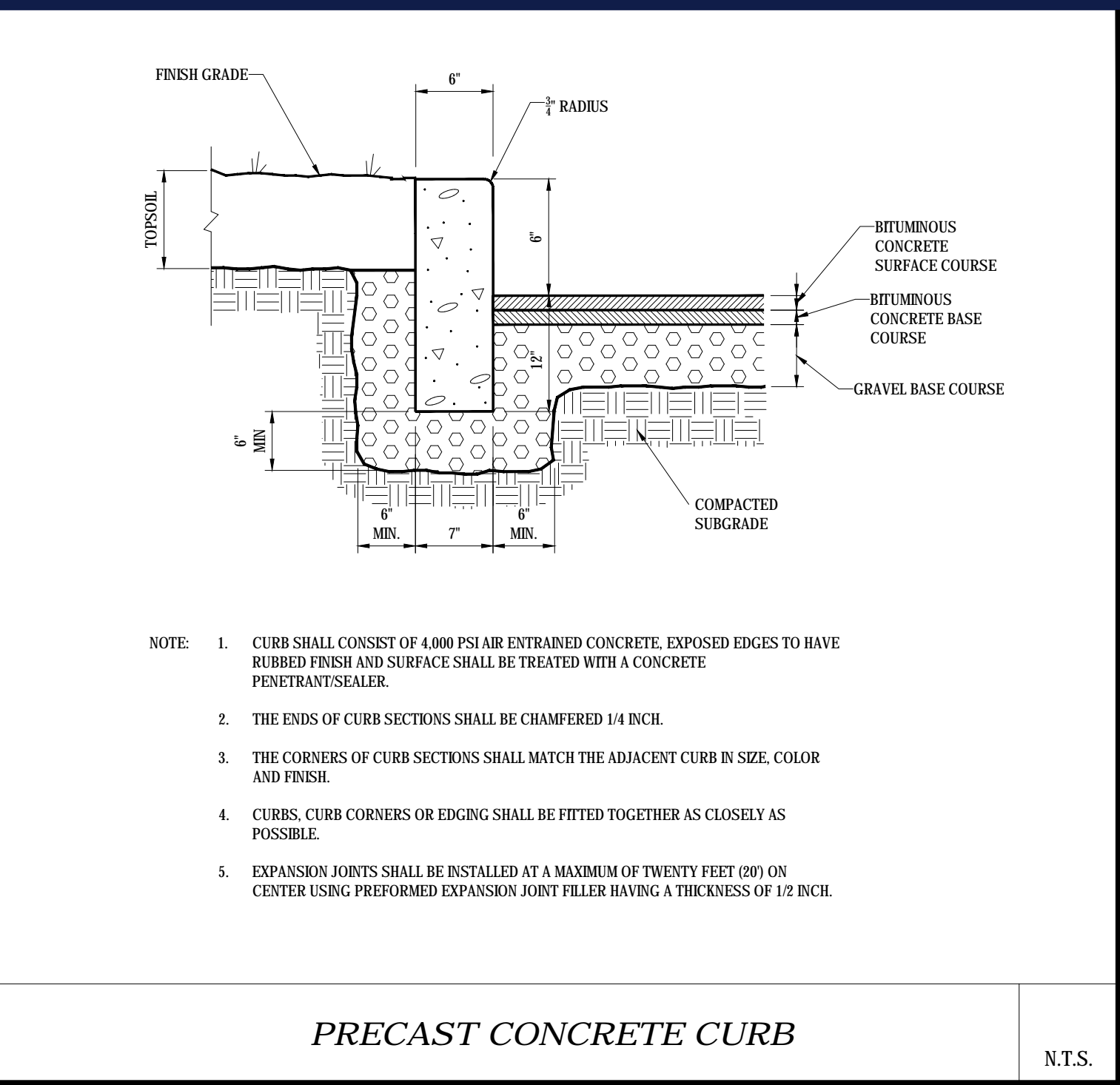
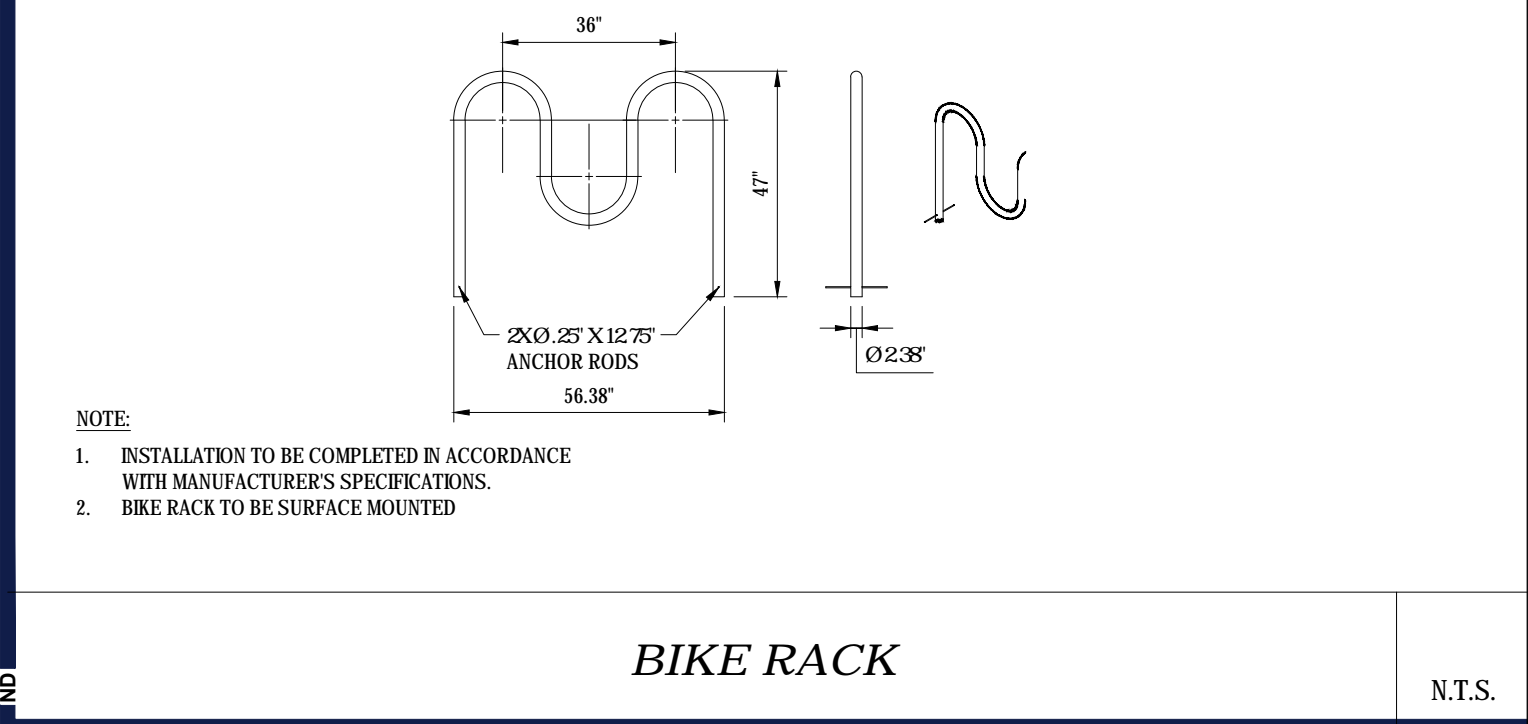
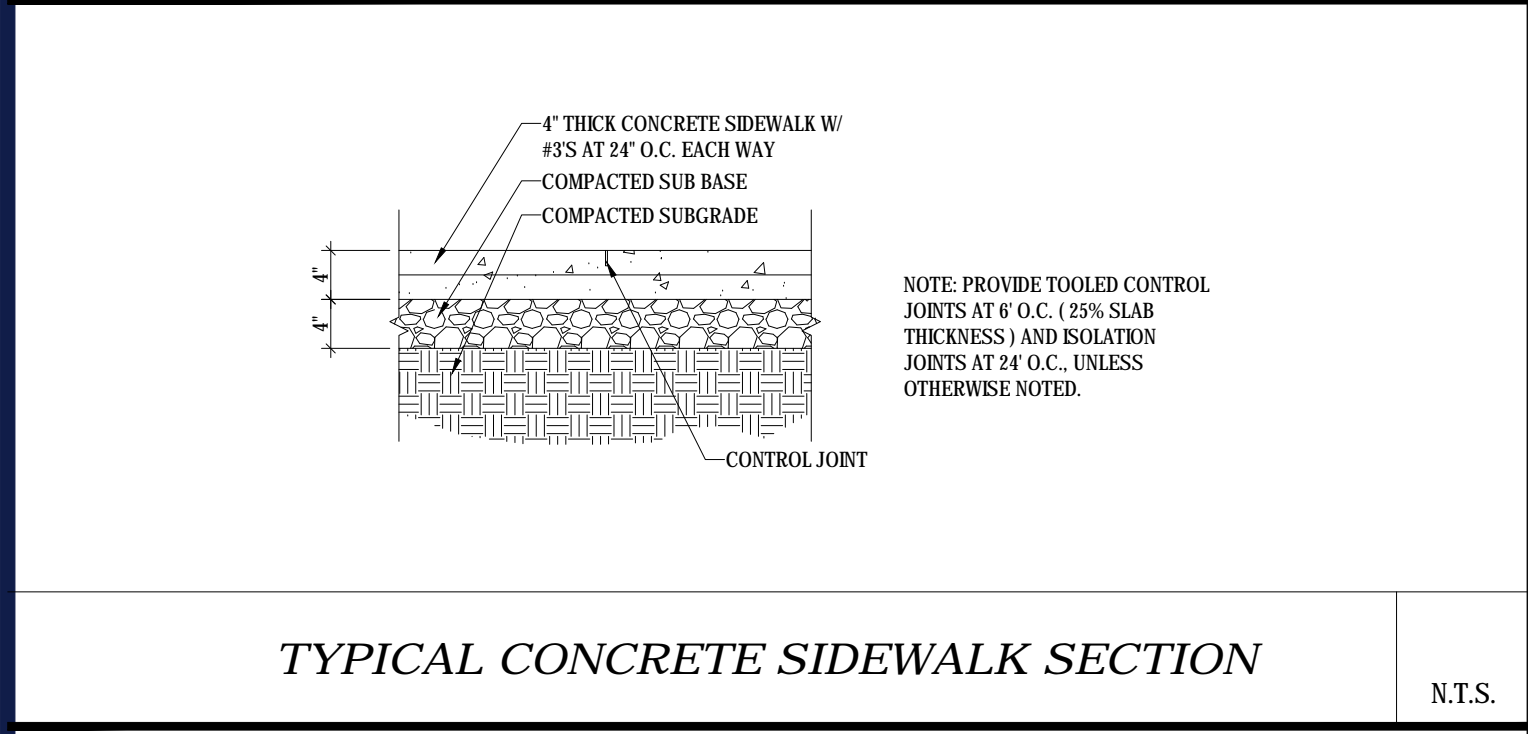
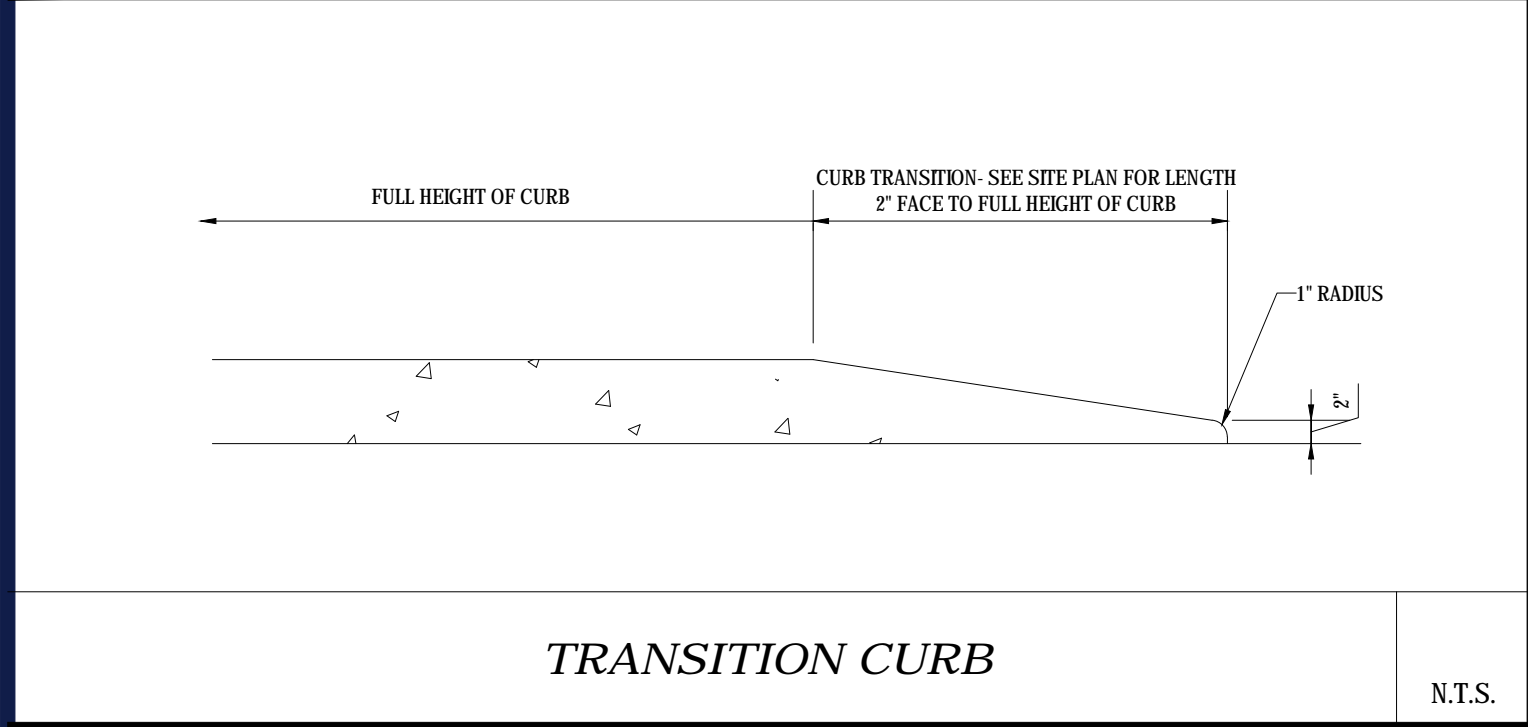
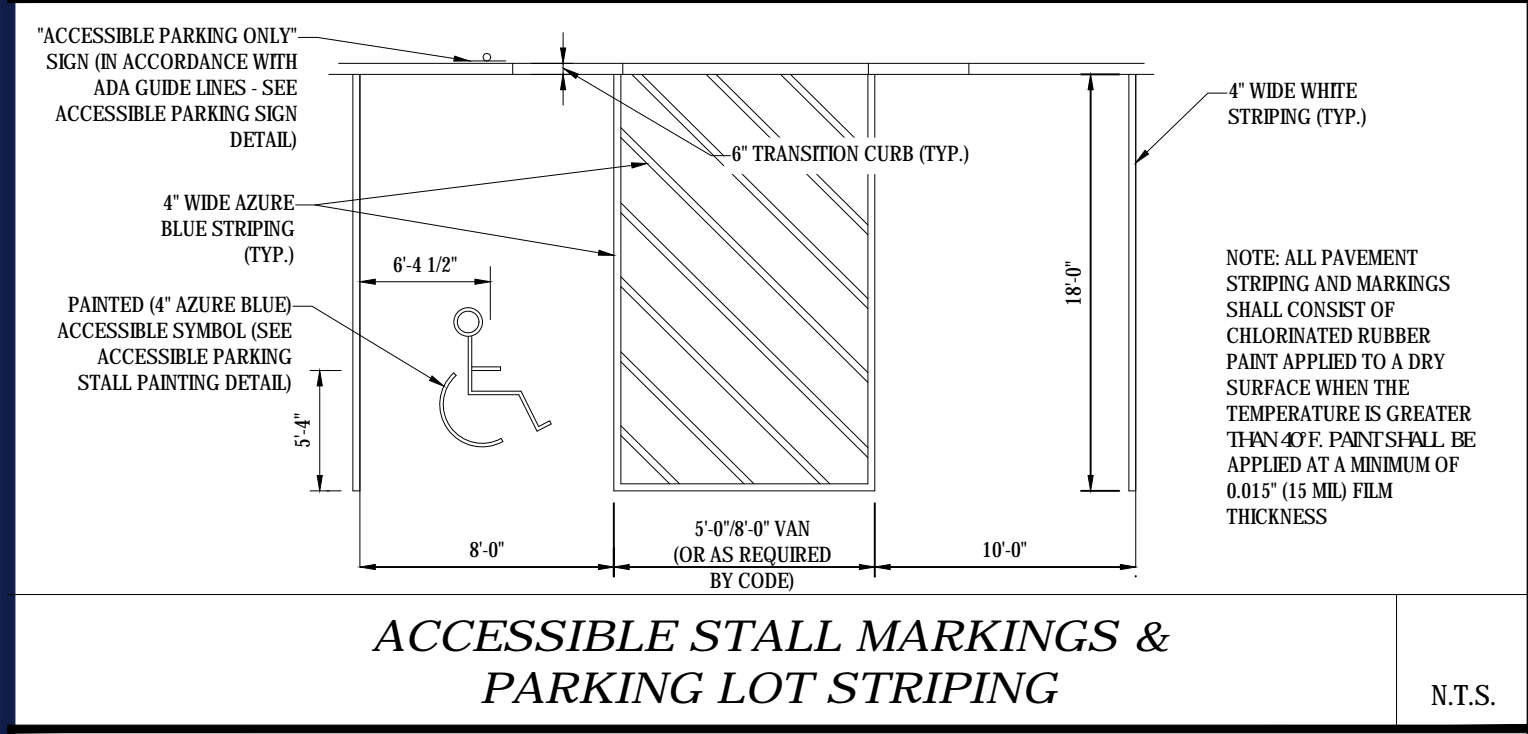
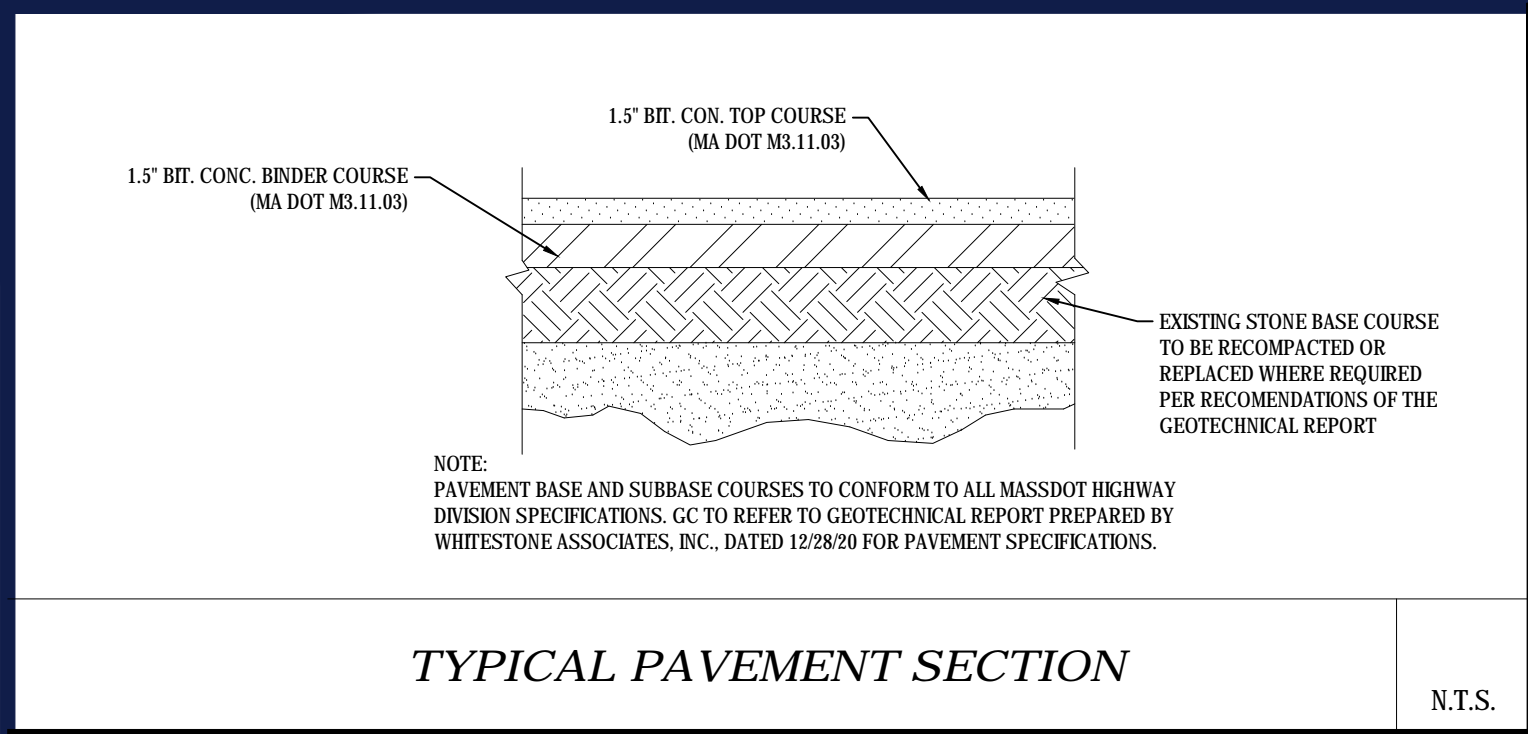
LANDSCAPE SPECIFICATIONS

1.	SCOPE OF WORK:				LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
1.1.	THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.			ACER BURNING BETULA VARIETIES CARPINUS VARIETIES CRATAEGUS VARIETIES KOELREUTERIA LIQUIDAMBAR STRYACIFLUA LIRIODENDRON TULIPIFERA	PLATANUS A ACERIFOLIA POPULUS VARIETIES PRUNUS VARIETIES PYRUS VARIETIES QUERCUS VARIETIES TILIA TOMENTOSA ZELKOVA VARIETIES
2.	MATERIALS				
2.1.	GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.				
2.2.	TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS, LARGER THAN ONE (1") WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLUMPS.				
2.3.	LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 4" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN				9.8.1. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
2.3.1.	LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.				9.8.2. 1 PART PEAT MOSS
2.3.2.	SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.				9.8.2. 1 PART COMPOSTED COW MANURE BY VOLUME
2.4.	MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 2" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES/DETAILS.				9.8.3. 3 PARTS TOPSOIL BY VOLUME
2.5.	FERTILIZER				9.8.4. 21 GRAMS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
2.5.1.	FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.				9.8.4.1. 2 TABLETS PER 1 GALLON PLANT
2.5.2.	FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.				9.8.4.2. 3 TABLETS PER 5 GALLON PLANT
2.6.	PLANT MATERIAL				9.8.4.3. 4 TABLETS PER 15 GALLON PLANT
2.6.1.	ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSEMEYEN). IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.				9.8.4.4. LARGER PLANTS: 2 TABLETS PER 1/2 CALIPER OF TRUNK
2.6.3.	PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.				9.9. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
2.6.4.	TREES WITH A MAXIMUM OF 1/4" OF BARK, SUNSCALDS, DISFURCATIONS OR FRESH CUTS OF LIMBS OVER 1 1/4" IN WHICH WOUND BEEN COMPLETELY CALLOSED, SHALL BE REJECTED. PLANTS SHALL NOT BE FOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.				9.10. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
2.6.5.	ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS OR LARVAE.				9.11. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
2.6.6.	CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.				9.12. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO IT. TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
2.6.7.	SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.				9.13. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
2.6.8.	TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.				9.14. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
3.	GENERAL WORK PROCEDURES				9.15. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
3.1.	CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.				10. TRANSPLANTING (WHEN REQUIRED)
3.2.	WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.				10.1. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
4.	SITE PREPARATION				10.2. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEADED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
4.1.	BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.				10.3. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
4.2.	ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.				10.4. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
4.3.	CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.				10.5. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
5.	TREE PROTECTION				10.6. TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REPLACED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
5.1.	CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.				11. WATERING
5.2.	A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH DENSITY VES FENCE, OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED AT THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS NOTED WITHIN THE TREE PROTECTION DETAIL.				11.1. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
5.3.	WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.				11.2. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
5.4.	AT NO TIME SHALL MACHINERY, DEBRIS, F				

N.T.S



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SITE CIVIL AND CONSULTING ENGINEERING
PROJECT MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
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TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	DRAWN BY / CHECKED BY	

811

Know what's below.
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It's fast. It's free. It's the law.

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PROJECT No.: W161132
DRAWN BY: CFDP/NDP
DATE: 01/21/2021
CAD ID: W161132-TTB-0_24X36

PROPOSED
CITIZENS BANK REDEVELOPMENT
MAP #173, BLOCK #2, LOT #4.A
1420 MASSACHUSETTS AVENUE
TOWN OF ARLINGTON
MIDDLESEX COUNTY,
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

MASSACHUSETTS
SEAL OF THE BOARD OF REGISTRATION
PROFESSIONAL ENGINEER
No. 41697
REGISTERED

SHEET TITLE:

DETAIL
SHEET

SHEET NUMBER:

C-901

ORG. DATE - #####

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- LEGEND
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING SPOT ELEVATION
 - × TC 123.45 EXISTING TOP OF CURB ELEVATION
 - × G 122.95 EXISTING GUTTER ELEVATION
 - × TW 123.45 EXISTING TOP OF WALL ELEVATION
 - × BW 122.95 EXISTING BOTTOM OF WALL ELEVATION
 - × FF 123.45 EXISTING FINISHED FLOOR ELEVATION
 - HYDRANT
 - WATER VALVE
 - GAS VALVE
 - APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - APPROX. LOC. UNDERGROUND CABLE LINE
 - APPROX. LOC. UNDERGROUND WATER LINE
 - APPROX. LOC. UNDERGROUND GAS LINE
 - AREA LIGHT
 - VACUUM
 - SIGN
 - BOLLARD
 - PAINTED ARROWS
 - DMH DRAINAGE/STORM MANHOLE
 - EMH ELECTRIC MANHOLE
 - SMH SANITARY/SEWER MANHOLE
 - TMH TELEPHONE MANHOLE
 - CB CATCH BASIN OR INLET
 - TREE & TRUNK SIZE
 - PARKING SPACE COUNT
 - DEPRESSED CURB
 - DWP DETECTABLE WARNING PAD
 - SWL SOLID WHITE LINE
 - DYL DOUBLE YELLOW LINE
 - HT HEIGHT
 - BLDG BUILDING
 - BFFA BUILDING FOOTPRINT AREA
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION
 - TOW TOP OF WATER
 - BUILDING DIMENSION
 - GC GRANITE CURB
 - CC CONCRETE CURB
 - UG UNDER GROUND
 - CLF CHAIN LINK FENCE
 - DOC DEPRESSED CURB
 - EOC EDGE OF CONCRETE
 - EOP EDGE OF PAVEMENT
 - LSA LANDSCAPED AREA
 - (TYP) TYPICAL

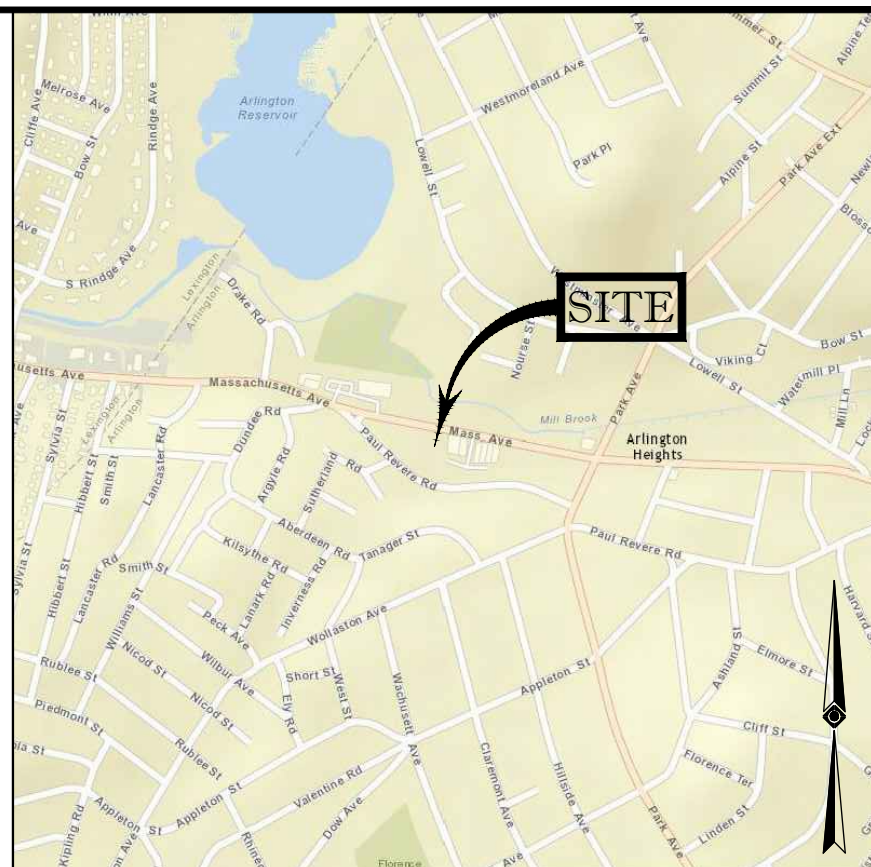
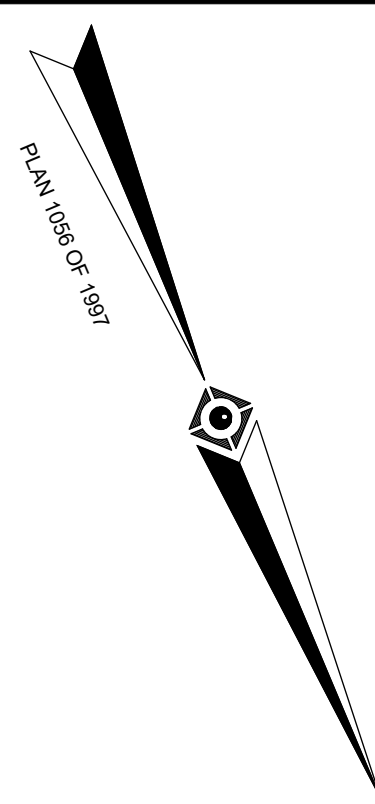
UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.

UTILITY COMPANY	PHONE NUMBER
AT&T TRANSMISSION	800-288-2020
VERIZON	800-922-0204
ZAYO	866-364-0033
COMCAST	800-834-6489
CENTURYLINK	866-642-0444
CROWN CASTLE NG NETWORKS	855-913-4237
MCI	888-624-5622
MBTA	800-392-6100
RCN	800-748-4726
EVERSOURCE ELECTRIC	800-592-2000
NATIONAL GRID GAS	800-233-5325
ALCONQUIN GAS/SPECTRA ENERGY	617-254-4050
FIRSTLIGHT - WAVEGUIDE	617-892-9700



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
(NOT TO SCALE)

NOTES:

- PROPERTY KNOWN AS LOT 1, BLOCK 1 AS SHOWN ON THE TOWN OF ARLINGTON, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS. MAP NO. 170.
 - AREA = 19,727 SQUARE FEET OR 0.453 ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12A, BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCH MARKS SET:
- | | |
|--|--------------------|
| TBM-A: MAG NAIL SET IN BRICK SIDEWALK, | ELEVATION = 154.38 |
| TBM-B: MAG NAIL SET IN BRICK SIDEWALK, | ELEVATION = 156.41 |
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

REFERENCES:

- THE TAX ASSESSOR'S MAP OF ARLINGTON, MIDDLESEX COUNTY, MASSACHUSETTS, SHEET #173.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 416 OF 656," MAP NUMBER 25017C0416C, EFFECTIVE DATE: JUNE 4, 2010.
- MAP ENTITLED "PLAN OF LAND IN ARLINGTON BELONGING TO JOSEPH H. EATON," PREPARED BY J.O. GOODWIN, DATED DECEMBER 1895, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS.
- MAP ENTITLED "PLAN OF LAND, 1406 MASSACHUSETTS AVE, ARLINGTON, MA," PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DATED MARCH 9, 2010, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN NO. 464 OF 2010.
- MAP ENTITLED "PHASE II PAUL REVERE CROSSING CONDOMINIUM, MODIFICATION, MASTER DEED PLAN IN ARLINGTON, MA (MIDDLESEX COUNTY)," PREPARED BY ROBER SURVEY, DATED SEPTEMBER 19, 2013, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 800 OF 2013.
- MAP ENTITLED "SITE PLAN, 65-67 PAUL REVERE ROAD, CONDOMINIUM," PREPARED BY CCR ASSOCIATES, INC., DATED MARCH 12, 2012, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 177 OF 2012.
- MAP ENTITLED "PAUL REVERE CROSSING CONDOMINIUM, MASTER DEED PLAN IN ARLINGTON, MA (MIDDLESEX COUNTY)," PREPARED BY ROBER SURVEY, DATED APRIL 1, 2013, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 217 OF 2013.
- MAP ENTITLED "SUBDIVISION OF LAND IN ARLINGTON - MASS.," PREPARED BY JOSEPH J. SULLIVAN, DATED JUNE 1969, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN NO. 1058 OF 1997.
- MAP ENTITLED "PLAN OF LAND IN ARLINGTON, MA (MIDDLESEX COUNTY)," PREPARED BY H&R SURVEY, DATED AUGUST 18, 1997, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 1527 OF 1919.
- MAP ENTITLED "SUBDIVISION PLAN OF LAND, ARLINGTON, MASS.," PREPARED BY SELWYN & KIRWIN ASSOCIATES, DATED DECEMBER 4, 1979, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 1527 OF 1919.
- MAP ENTITLED "ALTA/ACSM LAND TITLED SURVEY, PREPARED FOR CITIZENS BANK, CITIZENS FINANCIAL GROUP, 1420 MASSACHUSETTS AVENUE, CITY OF ARLINGTON, COUNTY OF MIDDLESEX, STATE OF MASSACHUSETTS," PREPARED BY MILLMAN SURVEYING, DATED APRIL 18, 2006, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 1564 OF 2006.
- MAP ENTITLED "SUB-DIVISION OF LAND IN ARLINGTON MASS.," PREPARED BY JOS. J. SULLIVAN, DATED DECEMBER, 1952, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS, PLAN 96 OF 1953.
- MAP ENTITLED "BOSTON EDISON COMPANY, TRANSMISSION AND DISTRIBUTION DEPT.," RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS IN BOOK 7343, PAGE 58.
- UNDERGROUND ELECTRIC FACILITY MAPPING PROVIDED BY EVERSOURCE
- UNDERGROUND COMMUNICATION LINE MAPPING PROVIDED BY RCN
- PLAN SET ENTITLED "SITE REDEVELOPMENT PLANS FOR BIERBRIER DEVELOPMENT, INC. #1406 MASSACHUSETTS AVENUE, ARLINGTON, MA," DATED AUGUST 19, 2009, PREPARED BY ALLEN & MAJOR ASSOCIATES, INC.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLACK INK SEAL



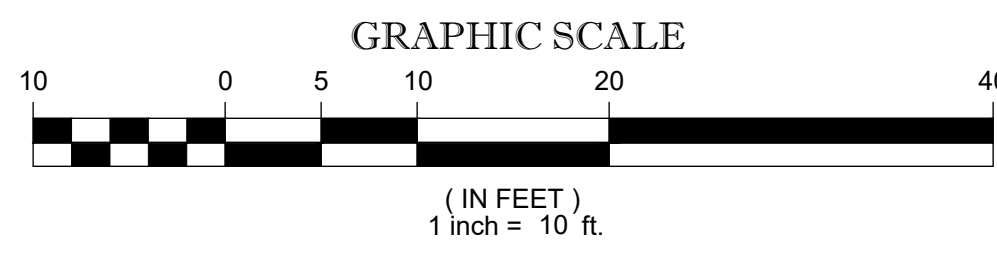
8-28-20
DATE

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE 6-30-16	BOUNDARY AND TOPOGRAPHIC SURVEY 1420 MASSACHUSETTS AVENUE, LLC 1420 MASSACHUSETTS AVENUE LOT 4.A, BLOCK 2, MAP 173 TOWN OF ARLINGTON, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS
FIELD BOOK NO. 71-72	
FIELD BOOK PGS. 16-03MA	
FIELD CREW B.S.B.	
DRAWN: INDO	MANHATTAN, NY 646.780.0411 352 TURNPIKE ROAD SOUTH BOKROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX

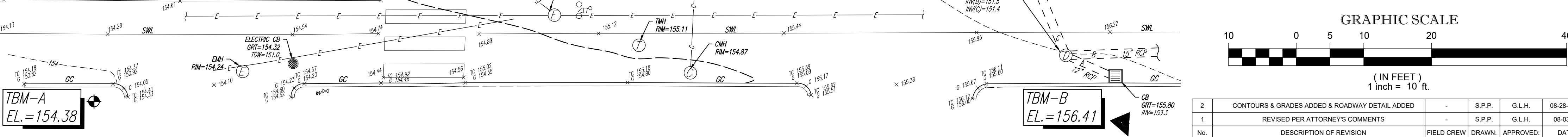


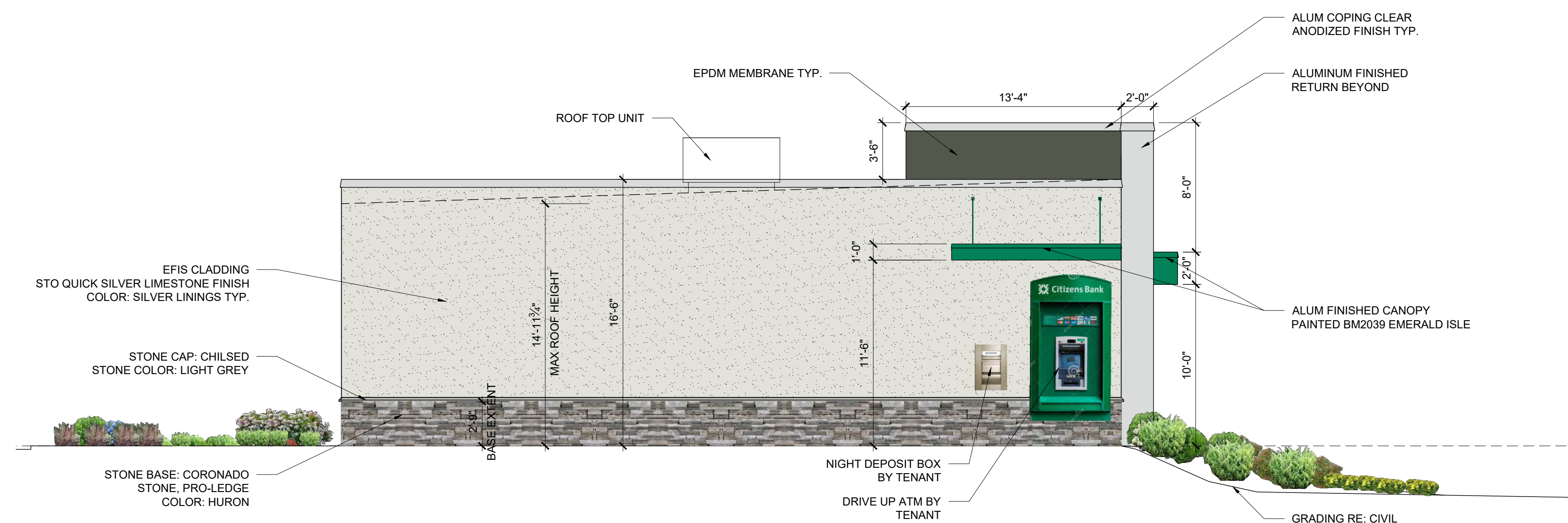
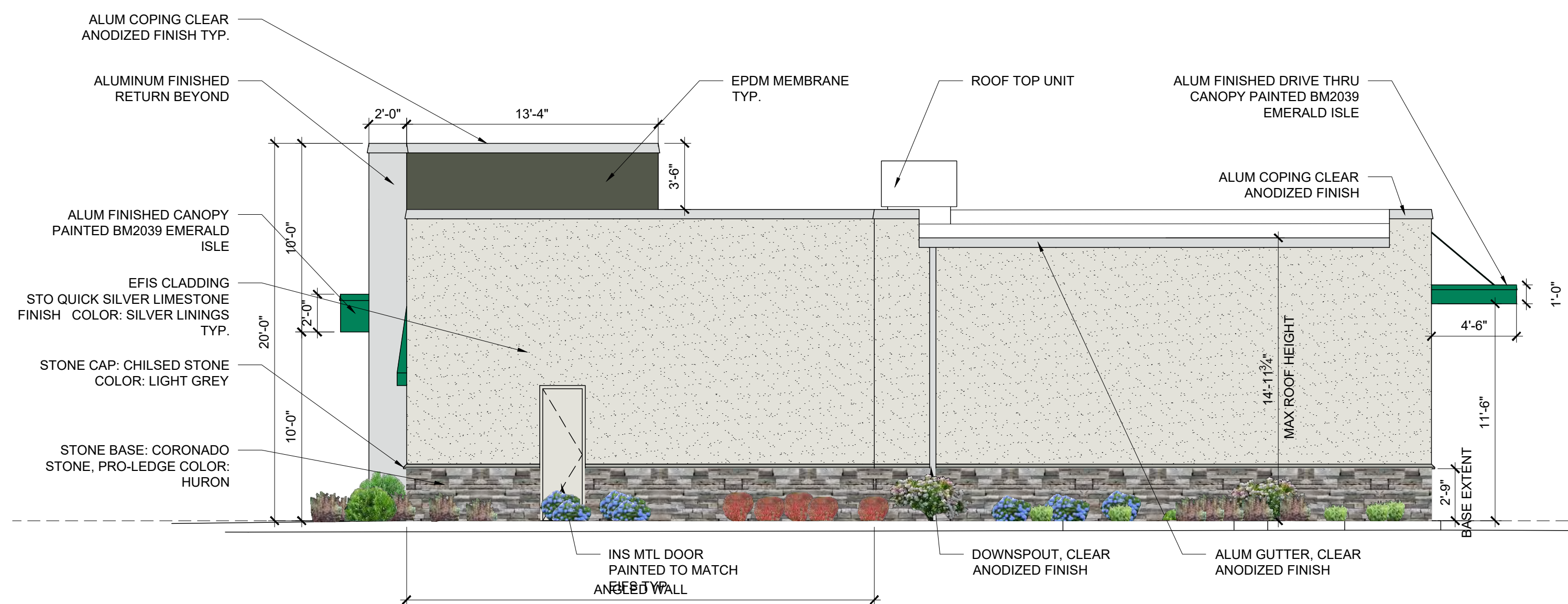
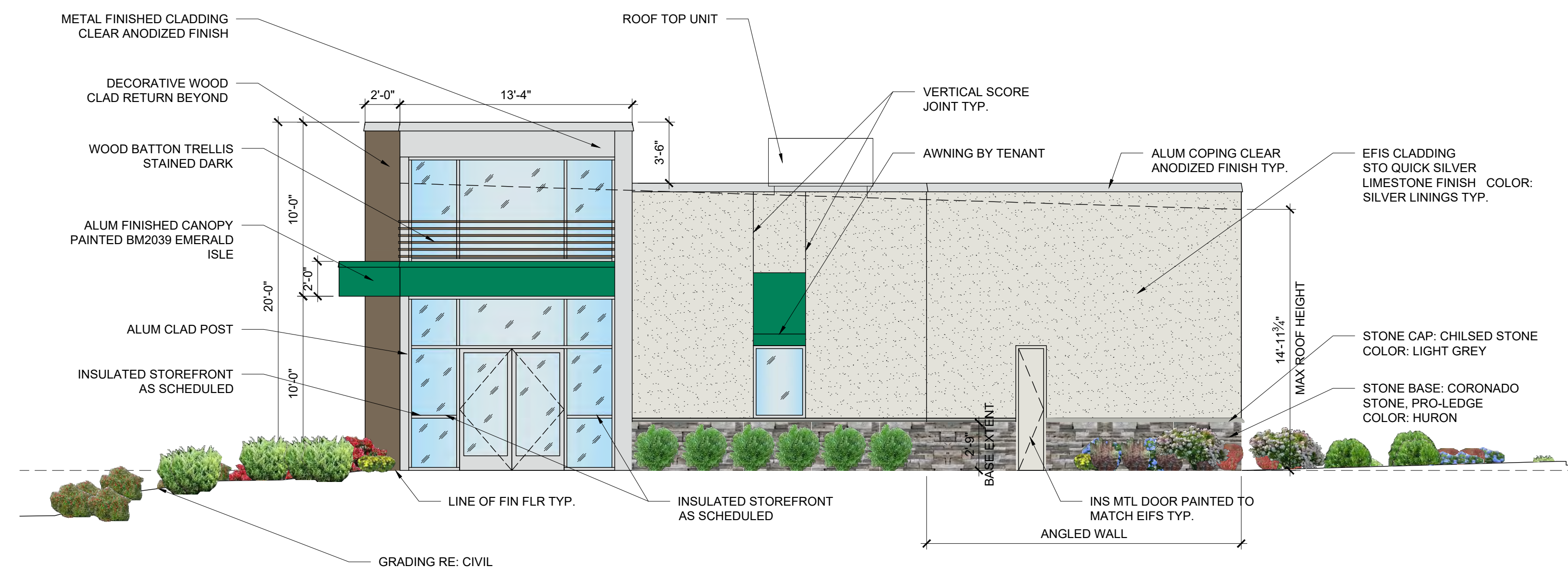
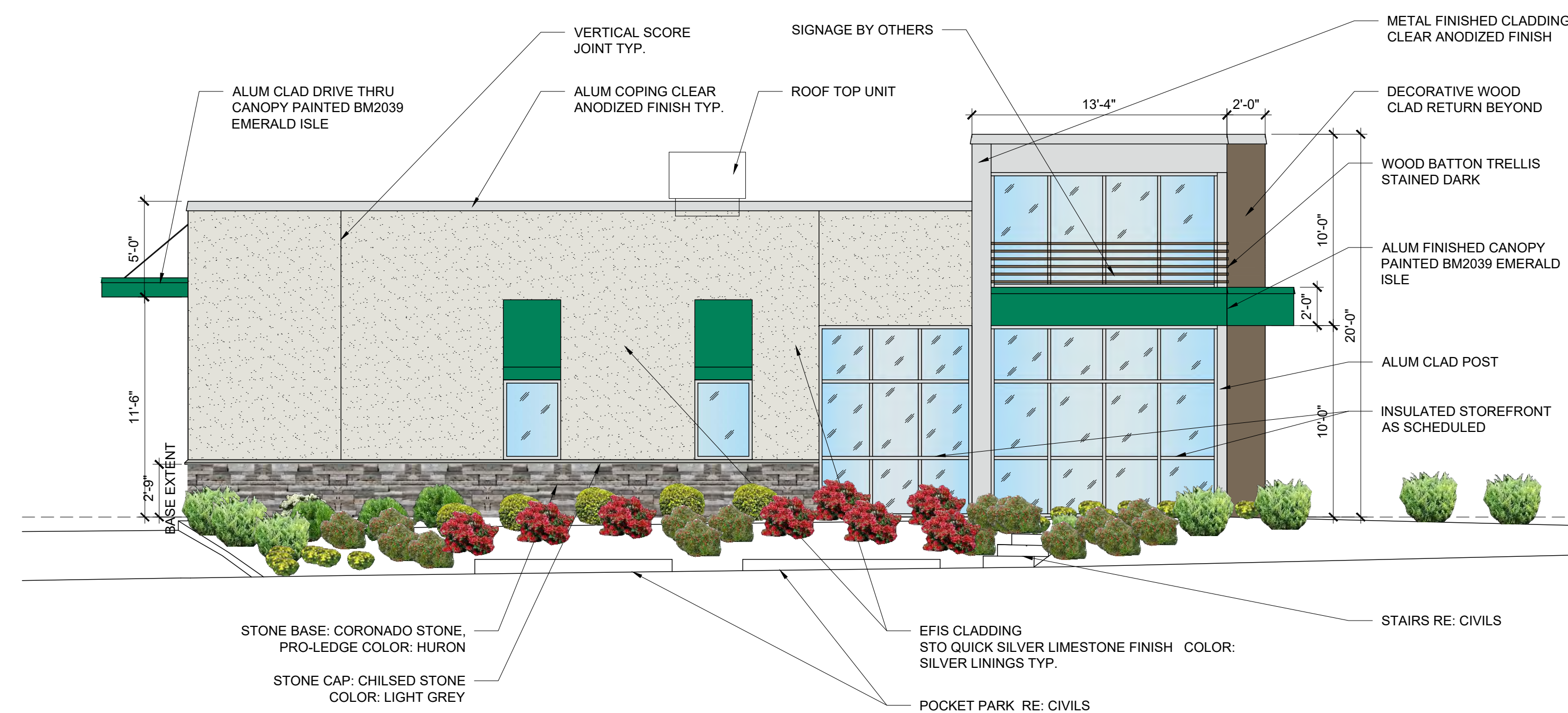
REVIEWED: S.P.P.	APPROVED: G.L.H.	DATE 7-15-16	SCALE 1"=10'	FILE NO. 03-160131A	DWG. NO. 1 OF 1
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MASSACHUSETTS AVENUE

(A.K.A. MASSACHUSETTS STATE ROUTE 2A)
(PUBLIC - VARIABLE WIDTH)
(ASPHALT ROADWAY)





DRAINAGE MEMORANDUM

For



***1420 Massachusetts Avenue
Town of Arlington, Massachusetts
Middlesex County***

Prepared by:

BOHLER
352 Turnpike Road
Southborough, MA 01772
(508) 480-9900 TEL.



Joshua G. Swerling, P.E.
Massachusetts P.E. Lic. # 41697

BOHLER //

January 21, 2021

#W161132

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I. SUMMARY

This report examines the changes in drainage that can be expected as the result of the redevelopment consisting of the demolition of the existing building and construction of a new 2,400± SF bank with associated utility construction and minor parking renovations located at 1420 Massachusetts Avenue in the Town of Arlington, Massachusetts. The site, which contains approximately 0.45 acres of land, contains an existing building, paved parking lot, and associated landscaped areas.

The proposed project includes the construction of a new 2,400± SF bank with associated ATM drive-through. The project also includes construction of new landscaped areas and a new pocket park area along with repaving of the existing parking lot. This report addresses a comparative analysis of the pre- and post-development site runoff conditions using the Rational Method. The project will also provide erosion and sedimentation controls during the demolition and construction periods, as well as long term stabilization of the site.

The majority of the site area currently drains to existing catch basins within the parking area that flow to an existing drain manhole within Massachusetts Avenue. The remainder of the site sheet flows toward Massachusetts Avenue. As a result of this redevelopment, a decrease in flow is expected to all discharge points as a result of the decrease of approximately 970 SF of impervious area.

The proposed site conditions will improve water quality through the decrease in impervious area. The building's roof will be directed to a landscaped depression to the south of the building that will also result in an increase of water quality from the existing condition. Implementation of stormwater Best Management Practices will comply with Massachusetts DEP standards. Stormwater management will meet all redevelopment requirements of the current Massachusetts Department of Environmental Protection Stormwater Policy Handbook and the Town of Arlington's requirements for stormwater drainage.

The soils at the site are mapped as Urban land and Canton-Charlton-Urban land complex Paxton-Urban land complex, which is classified as Hydraulic Soil Group (HSG) A. Based off the data

presented in the Report of Geotechnical Investigation prepared by Whitestone Associates, Inc., the site was modeled with HSG A. Refer to **Appendix C** for additional information.

II. RATIONAL DRAINAGE CALCULATIONS

EXISTING CONDITIONS

<u>Coverage type</u>	<u>acres</u>	<u>pct.</u>	<u>"C"</u>	<u>frac.</u>	
Impervious	0.35	0.78	0.95	0.74	
Landscape / Grass	0.1	0.22	0.30	0.07	
Total	0.45			0.8	(Composite "C")

PROPOSED CONDITIONS

<u>Coverage type</u>	<u>acres</u>	<u>pct.</u>	<u>"C"</u>	<u>frac.</u>	
Impervious	0.32	0.71	0.95	0.68	
Landscape / Grass	0.13	0.29	0.30	0.09	
Total	0.45			0.76	(Composite "C")

Time of Concentration

5 MIN

IDF Chart

	<u>"I"</u>
2-yr storm	4.3
10-yr storm	5.8
50-yr storm	7.2
100-yr storm	8.0

RUNOFF CALCULATIONS "Q" = C x I x A

<u>Existing Conditions</u>	C	I	A	Q	
2-yr storm	0.80	4.3	0.448	1.55	cfs
10-yr storm	0.80	5.8	0.448	2.09	cfs
50-yr storm	0.80	7.2	0.448	2.60	cfs
100-yr storm	0.80	8.0	0.448	2.88	cfs

<u>Proposed Conditions</u>	C	I	A	Q	
2-yr storm	0.76	4.3	0.45	1.47	cfs
10-yr storm	0.76	5.8	0.45	1.99	cfs
50-yr storm	0.76	7.2	0.45	2.47	cfs
100-yr storm	0.76	8.0	0.45	2.74	cfs

Difference (Existing vs. Proposed)

2-yr storm	-0.08	cfs	-5%
10-yr storm	-0.10	cfs	-5%
50-yr storm	-0.13	cfs	-5%
100-yr storm	-0.14	cfs	-5%

III. STORMWATER MANAGEMENT STANDARDS

Standard #1: No New Untreated Discharges

The project has been designed to maintain existing drainage patterns and the amount of impervious area discharging to Massachusetts Avenue has been decreased from the existing condition.

Standard #2: Peak Rate Attenuation

As outlined in **Section II**, the development of the site has been designed so that post-development peak rates of runoff as well as volume are below pre-development conditions for the 2-, 10-, 50-, and 100-year storm events.

Standard #3: Recharge

The project is a redevelopment and results in a decrease of impervious area. Thus, no recharge is required. However, on-site recharge will be increased due to the increase in pervious landscaped areas.

Standard #4: Water Quality

The project is a redevelopment and results in a decrease of impervious area. Thus, no water quality is required. However, water quality will be increased due to the increase in pervious area.

Standard #5: Land Use with Higher Potential Pollutant Loads

Not Applicable for this project.

Standard #6: Critical Areas

Not Applicable for this project.

Standard #7: Redevelopment

The site is considered a redevelopment and results in a decrease of approximately 970 SF of impervious area.

Standard #8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

The proposed project will provide construction period erosion and sedimentation controls as indicated within the site plan set provided for this project. This includes a proposed construction exit, protection for stormwater inlets, protection around temporary material stock piles and various other techniques as outlined on the erosion and sediment control sheets. Additionally, the project is required to file a Notice of Intent with the US EPA and implement a Stormwater Pollution Prevention Plan (SWPPP) during the construction period. The SWPPP will be prepared prior to the start of construction and will be implemented by the site contractor under the guidance and responsibility of the project's proponent.

Standard #9: Operation and Maintenance Plan (O&M Plan)

An Operation and Maintenance (O&M) Plan for this site has been prepared and is included in **Appendix E** of this report. The O&M Plan outlines procedures and timetables for the long term operation and maintenance of the proposed site stormwater management system, including initial inspections upon completion of construction and periodic monitoring of the system components, in accordance with established practices and the manufacturer's recommendations. The O&M Plan includes a list of responsible parties.

Standard #10: Prohibition of Illicit Discharges

The proposed stormwater system will only convey allowable non-stormwater discharges (firefighting waters, irrigation, air conditioning condensation, etc.) and will not contain any illicit discharges from prohibited sources.

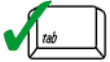
APPENDIX A: MASSACHUSETTS STORMWATER MANAGEMENT CHECKLIST



Checklist for Stormwater Report

A. Introduction

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.¹ This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8²
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

¹ The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

² For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



Checklist for Stormwater Report

B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

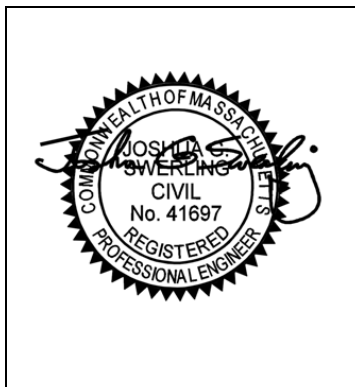
Note: Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



Signature and Date

Checklist

Project Type: Is the application for new development, redevelopment, or a mix of new and redevelopment?

- ☐ New development
- ☒ Redevelopment
- ☐ Mix of New Development and Redevelopment



Checklist for Stormwater Report

Checklist (continued)

LID Measures: Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- ☒ No disturbance to any Wetland Resource Areas
- ☐ Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- ☒ Reduced Impervious Area (Redevelopment Only)
- ☐ Minimizing disturbance to existing trees and shrubs
- ☐ LID Site Design Credit Requested:
 - ☐ Credit 1
 - ☐ Credit 2
 - ☐ Credit 3
- ☐ Use of "country drainage" versus curb and gutter conveyance and pipe
- ☐ Bioretention Cells (includes Rain Gardens)
- ☐ Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- ☐ Treebox Filter
- ☐ Water Quality Swale
- ☐ Grass Channel
- ☐ Green Roof
- ☐ Other (describe): _____

Standard 1: No New Untreated Discharges

- ☒ No new untreated discharges
- ☐ Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- ☐ Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



Checklist for Stormwater Report

Checklist (continued)

Standard 2: Peak Rate Attenuation

- ☐ Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- ☐ Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- ☒ Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

Standard 3: Recharge

- ☒ Soil Analysis provided.
- ☐ Required Recharge Volume calculation provided.
- ☐ Required Recharge volume reduced through use of the LID site Design Credits.
- ☐ Sizing the infiltration, BMPs is based on the following method: Check the method used.
 - ☐ Static
 - ☐ Simple Dynamic
 - ☐ Dynamic Field¹
- ☐ Runoff from all impervious areas at the site discharging to the infiltration BMP.
- ☐ Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- ☐ Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- ☒ Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
 - ☐ Site is comprised solely of C and D soils and/or bedrock at the land surface
 - ☐ M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
 - ☐ Solid Waste Landfill pursuant to 310 CMR 19.000
 - ☒ Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- ☐ Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- ☐ Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

¹ 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



Checklist for Stormwater Report

Checklist (continued)

Standard 3: Recharge (continued)

- ☐ The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- ☐ Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
 - Provisions for storing materials and waste products inside or under cover;
 - Vehicle washing controls;
 - Requirements for routine inspections and maintenance of stormwater BMPs;
 - Spill prevention and response plans;
 - Provisions for maintenance of lawns, gardens, and other landscaped areas;
 - Requirements for storage and use of fertilizers, herbicides, and pesticides;
 - Pet waste management provisions;
 - Provisions for operation and management of septic systems;
 - Provisions for solid waste management;
 - Snow disposal and plowing plans relative to Wetland Resource Areas;
 - Winter Road Salt and/or Sand Use and Storage restrictions;
 - Street sweeping schedules;
 - Provisions for prevention of illicit discharges to the stormwater management system;
 - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
 - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
 - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- ☒ A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
- ☐ Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
- ☐ is within the Zone II or Interim Wellhead Protection Area
 - ☐ is near or to other critical areas
 - ☐ is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
 - ☐ involves runoff from land uses with higher potential pollutant loads.
- ☐ The Required Water Quality Volume is reduced through use of the LID site Design Credits.
- ☐ Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



Checklist for Stormwater Report

Checklist (continued)

Standard 4: Water Quality (continued)

- ☐ The BMP is sized (and calculations provided) based on:
 - ☐ The ½" or 1" Water Quality Volume or
 - ☐ The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- ☐ The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- ☐ A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- ☐ The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- ☐ The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- ☐ The NPDES Multi-Sector General Permit does **not** cover the land use.
- ☐ LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- ☐ All exposure has been eliminated.
- ☐ All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- ☐ The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

Standard 6: Critical Areas

- ☐ The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- ☐ Critical areas and BMPs are identified in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- ☒ The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
 - ☐ Limited Project
 - ☐ Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
 - ☐ Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
 - ☐ Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
 - ☐ Bike Path and/or Foot Path
- ☒ Redevelopment Project
- ☐ Redevelopment portion of mix of new and redevelopment.
- ☐ Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- ☒ The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
 - Construction Period Operation and Maintenance Plan;
 - Names of Persons or Entity Responsible for Plan Compliance;
 - Construction Period Pollution Prevention Measures;
 - Erosion and Sedimentation Control Plan Drawings;
 - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
 - Vegetation Planning;
 - Site Development Plan;
 - Construction Sequencing Plan;
 - Sequencing of Erosion and Sedimentation Controls;
 - Operation and Maintenance of Erosion and Sedimentation Controls;
 - Inspection Schedule;
 - Maintenance Schedule;
 - Inspection and Maintenance Log Form.
- ☒ A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- ☐ The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- ☒ The project is **not** covered by a NPDES Construction General Permit.
- ☐ The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- ☐ The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

Standard 9: Operation and Maintenance Plan

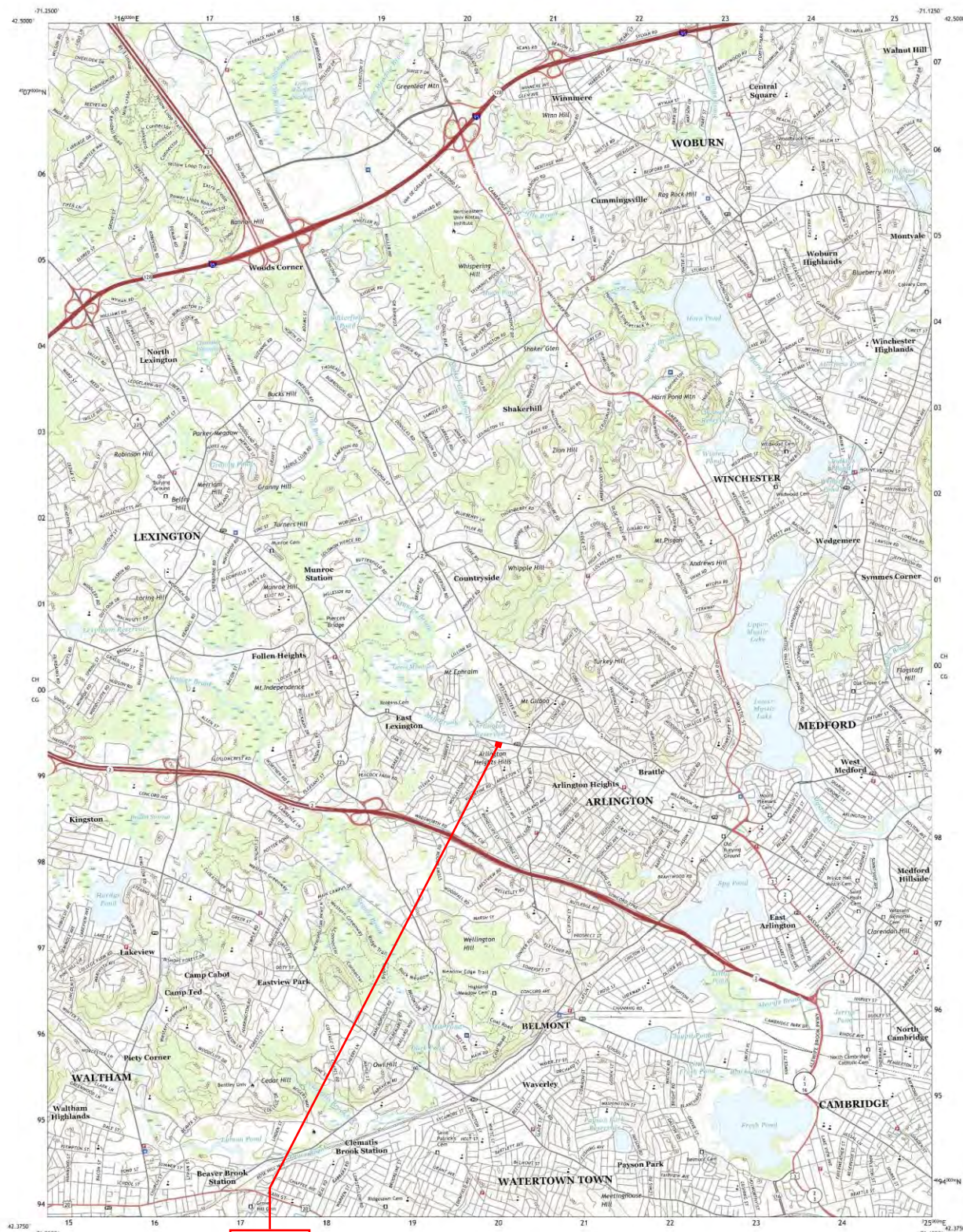
- ☒ The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
 - ☒ Name of the stormwater management system owners;
 - ☒ Party responsible for operation and maintenance;
 - ☒ Schedule for implementation of routine and non-routine maintenance tasks;
 - ☐ Plan showing the location of all stormwater BMPs maintenance access areas;
 - ☐ Description and delineation of public safety features;
 - ☐ Estimated operation and maintenance budget; and
 - ☒ Operation and Maintenance Log Form.
- ☐ The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
 - ☐ A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
 - ☐ A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

Standard 10: Prohibition of Illicit Discharges

- ☐ The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- ☐ An Illicit Discharge Compliance Statement is attached;
- ☒ NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

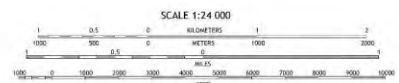
APPENDIX B: PROJECT LOCATION MAPS

- USGS MAP
- FEMA FIRMETTE



Produced by the United States Geological Survey
North American Datum of 1983 (NAD83)
World Geodetic System of 1984 (WGS84) Projection and
100-meter grid interval. Contour interval, 10 feet.
This map is not a legal document. Boundaries may be
inaccurate. For the most accurate information, please consult
the official records of the State of Massachusetts.
Information may not be shown. Obtain permission before
entering private lands.

Imagery: July 2016 - September 2016
Base: U.S. Census Bureau, 2010
Roads: U.S. Census Bureau, 2010
Hydrology: National Hydrographic Survey, 2010
Contours: National Geographic, 2010
Boundaries: Multiple sources, available May 2010
Metadata: FWS National Wetlands Inventory 1991 - 1995



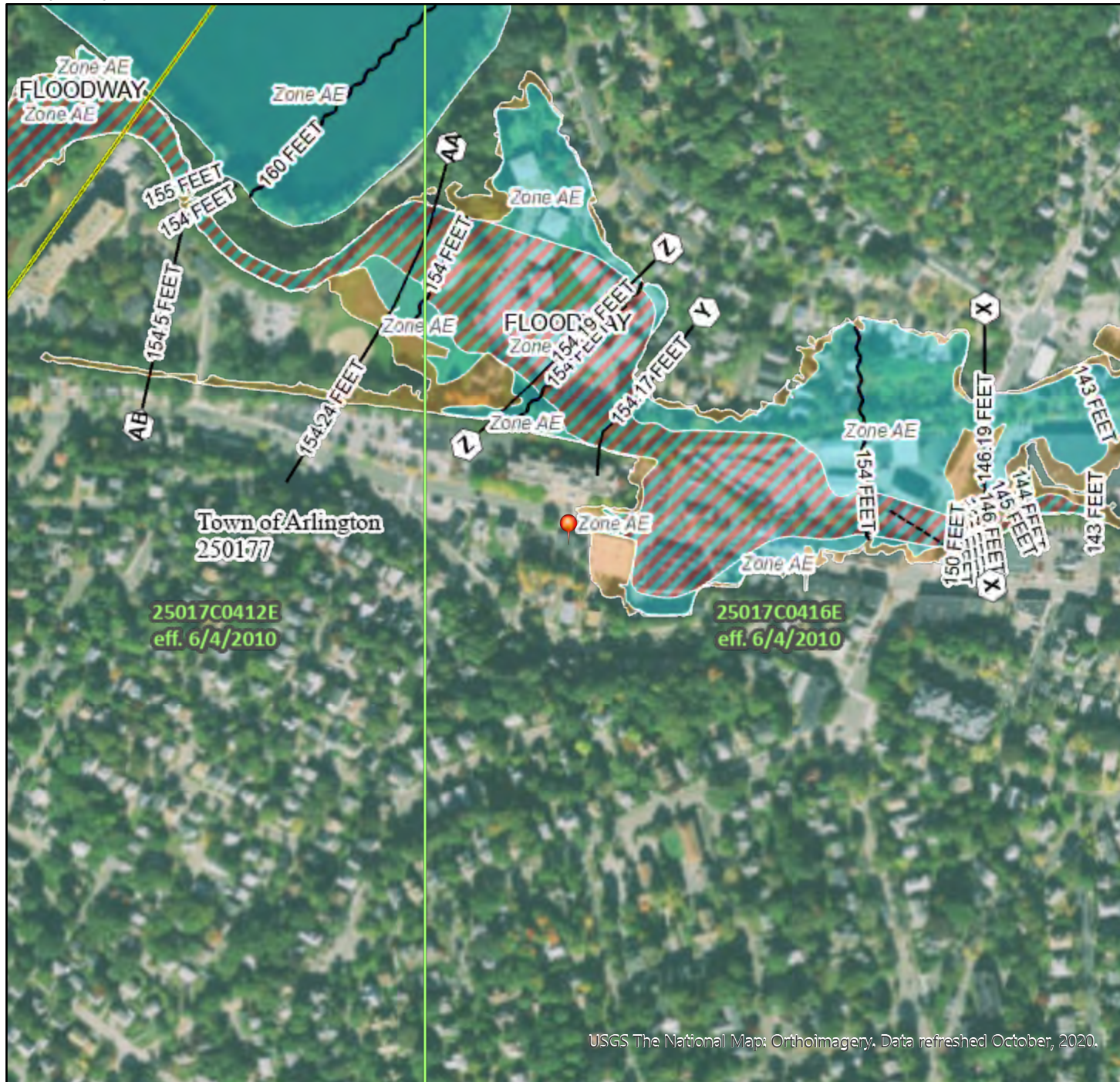
1	2	3
4		5
6	7	8

- 1 Bill
- 2 Wm
- 3 Rob
- 4 Con
- 5 Bo
- 6 Net
- 7 No
- 8 Bo

National Flood Hazard Layer FIRMette



71°11'29"W 42°25'42"N



USGS The National Map: Orthoimagery. Data refreshed October, 2020.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

71°10'51"W 42°25'15"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
OTHER FEATURES		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **12/29/2020 at 9:32 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

APPENDIX C: SOIL AND WETLAND INFORMATION

- *NCRS CUSTOM SOIL RESOURCE REPORT*
- *SOIL TESTING RESULTS*

Hydrologic Soil Group—Middlesex County, Massachusetts



Map Scale: 1:596 if printed on A landscape (11" x 8.5") sheet.

0 5 10 20 30 Meters

0 25 50 100 150 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84



**Natural Resources
Conservation Service**

Web Soil Survey
National Cooperative Soil Survey

12/29/2020
Page 1 of 4

MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils


Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines


 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points






 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available


Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Middlesex County, Massachusetts
 Survey Area Data: Version 20, Jun 9, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 11, 2019—Oct 5, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
602	Urban land		0.8	50.4%
629C	Canton-Charlton-Urban land complex, 3 to 15 percent slopes	A	0.8	49.6%
Totals for Area of Interest			1.5	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher



**WHITESTONE
ASSOCIATES, INC.**

Environmental & Geotechnical Engineers & Consultants

16 OLD FORGE ROAD, SUITE A, ROCKY HILL, CT 06067
860.726.7889 WHITESTONEASSOC.COM


PROJECT:
PROPOSED CITIZENS BANK
1416 - 1420 MASSACHUSETTS AVENUE
ARLINGTON, MIDDLESEX COUNTY, MASSACHUSETTS


PROJECT #:

GM2017460.000

DESIGNED BY: MR	PROJ. MGR.: RR
DATE: 11/24/20	FIGURE: 1
SCALE: 1" = 20'	

LEGEND

 **B-1** **BORING LOCATION (APPROX.)**

 **P-1** **ROCK PROBE LOCATION (APPROX.)**

REFERENCE

THIS PLAN IS BASED UPON A CONCEPTUAL PLAN, DATED OCTOBER 28, 2020, PREPARED BY BKA ARCHITECTS.

1 inch = 20 ft.

APPENDIX A

Records of Subsurface Exploration

RECORD OF SUBSURFACE EXPLORATION

 Boring No.: **B-1**

 Page 1 of 1

Project: Proposed Citizens Bank Rebuild			WAI Project No.: GM2017460.000		
Location: 1416 - 1420 Massachusetts Avenue, Arlington, Middlesex County, Massachusetts			Client: 1420 Massachusetts Avenue, LLC		
Surface Elevation: ± <u>NS</u> feet above NAVD88		Date Started: <u>11/3/2020</u>		Water Depth Elevation	
Termination Depth: <u>22.0</u> feet bgs		Date Completed: <u>11/3/2020</u>		(feet bgs) (ft NAVD88)	
Proposed Location: <u>Building</u>		Logged By: <u>TU</u>		During: <u>10.0</u> <u>--</u> ▼	
Drill / Test Method: <u>HSA / SPT</u>		Contractor: <u>SE</u>		At Completion: <u>--</u> <u>--</u> ▼	
<u>Autohammer</u>		Equipment: <u>Mobile B-57</u>		24 Hours: <u>--</u> <u>--</u> ▼	
				At Completion: <u>--</u> <u>--</u> ▼	
				24 Hours: <u>--</u> <u>--</u> ▼	

SAMPLE INFORMATION						DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	No	Type	Blows Per 6"	Rec. (in.)	N	(feet)			
						0.0	PAVEMENT	4.5" Asphalt	
0 - 2	S-1	X	12 - 14 - 13 - 10	8	27		EXISTING FILL	Brown, Medium Dense, Poorly Graded Sand with Silt and Gravel (FILL)	
2 - 4	S-2	X	25 - 18 - 7 - 9	6	25			As Above (FILL)	
						5.0			
5 - 7	S-3	X	2 - 3 - 13 - 49	4	16	6.0	GLACIO- FLUVIAL DEPOSIT	As Above, Loose (FILL)	
								Brown, Medium Dense, Poorly Graded Sand with Silt and Gravel (SP-SM)	
7 - 9	S-4	X	20 - 19 - 24 - 21	14	43			As Above, Dense (SP-SM)	
						10.0			
10 - 12	S-5	X	11 - 10 - 12 - 13	12	22		GLACIAL TILL	As Above, Medium Dense (SP-SM)	
						15.0			
15 - 17	S-6	X	22 - 26 - 27 - 31	16	53			Brown, Very Dense, Silty Sand with Gravel (SM)	
						20.0			
20 - 22	S-7	X	12 - 21 - 37 - 40	10	58			As Above (SM)	
						25.0			
								Boring Log B-1 Terminated at a Depth of 22.0 Feet Below Ground Surface.	

NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

RECORD OF SUBSURFACE EXPLORATION

 Boring No.: **B-2**

 Page 1 of 1

Project: Proposed Citizens Bank Rebuild		WAI Project No.: GM2017460.000	
Location: 1416 - 1420 Massachusetts Avenue, Arlington, Middlesex County, Massachusetts		Client: 1420 Massachusetts Avenue, LLC	
Surface Elevation: ± <u>NS</u> feet above NAVD88	Date Started: <u>11/3/2020</u>	Water Depth Elevation (feet bgs) (ft NAVD88)	Cave-In Depth Elevation (feet bgs) (ft NAVD88)
Termination Depth: <u>20.0</u> feet bgs	Date Completed: <u>11/3/2020</u>	During: <u>10.0</u> -- ▼	At Completion: -- -- ▼
Proposed Location: <u>Building</u>	Logged By: <u>TU</u>	At Completion: -- -- ▼	At Completion: -- -- ▼
Drill / Test Method: <u>HSA / SPT</u>	Contractor: <u>SE</u>	24 Hours: -- -- ▼	24 Hours: -- -- ▼
<u>Autohammer</u>	Equipment: <u>Mobile B-57</u>		

SAMPLE INFORMATION						DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	No	Type	Blows Per 6"	Rec. (in.)	N	(feet)			
						0.0	TS	6" Mulch	
0 - 2	S-1	X	3 - 8 - 13 - 10	12	21		EXISTING FILL	Brown, Medium Dense, Poorly Graded Sand with Silt and Gravel (FILL)	
2 - 4	S-2	X	17 - 17 - 8 - 4	5	25			As Above (FILL)	
						4.0			
						5.0			
5 - 7	S-3	X	13 - 15 - 5 - 6	7	20		GLACIO- FLUVIAL DEPOSIT	Brown, Medium Dense, Poorly Graded Sand with Silt and Gravel (SP-SM)	
7 - 9	S-4	X	7 - 6 - 6 - 6	8	12			As Above (SP-SM)	
						10.0		As Above (SP-SM)	
10 - 12	S-5	X	10 - 12 - 8 - 9	7	20				
						15.0			
15 - 17	S-6	X	3 - 5 - 5 - 7	10	10			As Above, Loose to Medium Dense (SP-SM)	
						20.0			
						25.0			
								Boring Log B-2 Terminated upon Auger Refusal at a Depth of 20.0 fbg.	

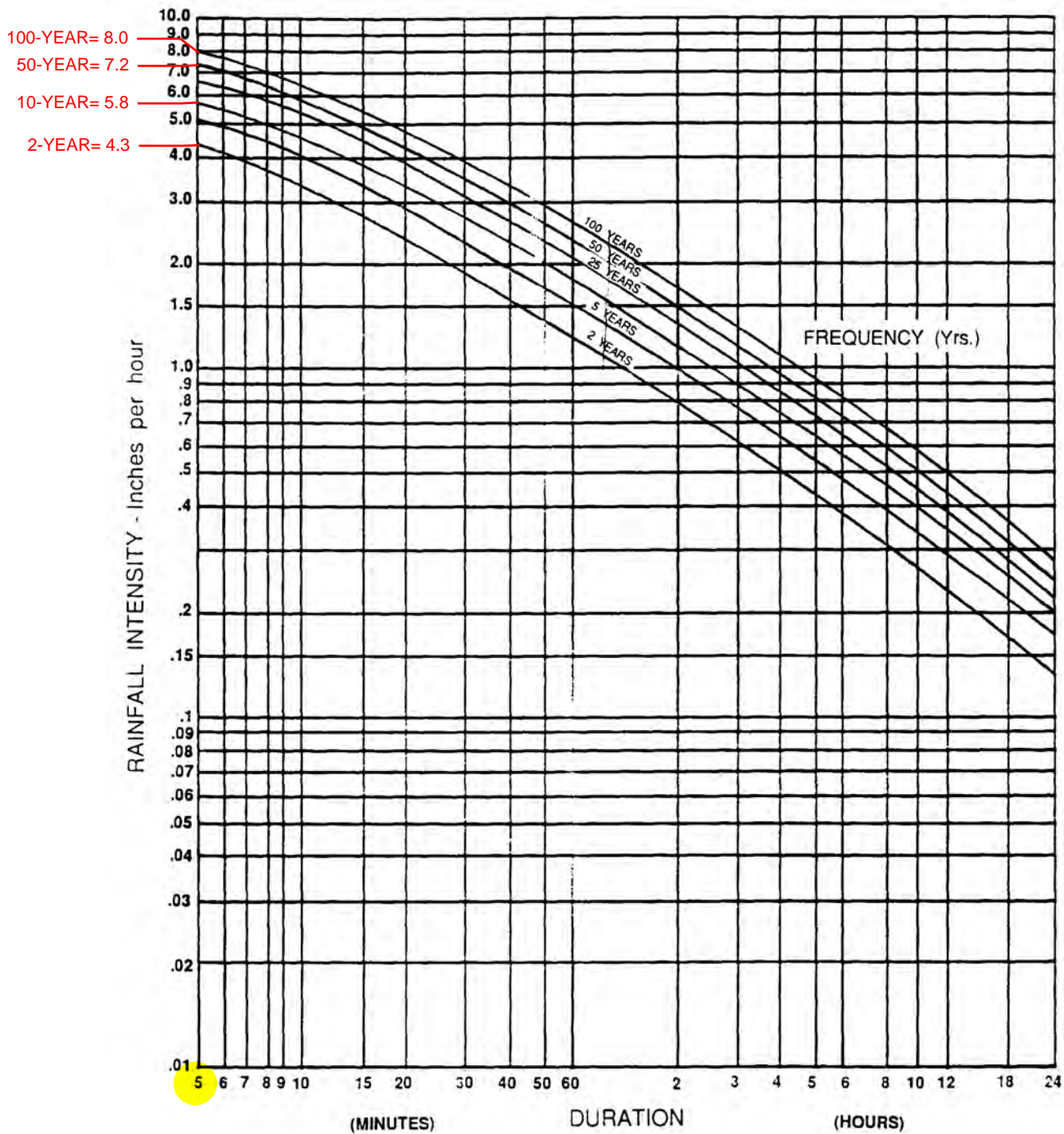
NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

APPENDIX D: RAINFALL DATA

➤ **INTENSITY-DURATION-FREQUENCY CURVE**

Exhibit 8-14

Intensity - Duration - Frequency Curve for Worcester, MA



Source: TR55 - Urban Hydrology for Small Wetlands, NRCS

APPENDIX E: OPERATION AND MAINTENANCE

- *STORMWATER OPERATION AND MAINTENANCE PLAN*
- *INSPECTION REPORT*
- *INSPECTION AND MAINTENANCE LOG FORM*
- *LONG-TERM POLLUTION PREVENTION PLAN*
- *ILLICIT DISCHARGE STATEMENT*
- *SPILL PREVENTION*

STORMWATER OPERATION AND MAINTENANCE PLAN

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

RESPONSIBLE PARTY DURING CONSTRUCTION:

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

RESPONSIBLE PARTY POST CONSTRUCTION:

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

Construction Phase

During the construction phase, all erosion control devices and measures shall be maintained in accordance with the final record plans, local/state approvals and conditions, the EPA Construction General Permit and the Stormwater Pollution Prevention Plan (SWPPP). Additionally, the maintenance of all erosion / siltation control measures during construction shall be the responsibility of the general contractor. Contact information of the OWNER and CONTRACTOR shall be listed in the SWPPP for this site. The SWPPP also includes information regarding construction period allowable and illicit discharges, housekeeping and emergency response procedures. Upon proper notice to the property owner, the Town/City or its authorized designee shall be allowed to enter the property at a reasonable time and in a reasonable manner for the purposes of inspection.

Post Development Controls

Once construction is completed, the post development stormwater controls are to be operated and maintained in compliance with the following permanent procedures (note that the continued implementation of these procedures shall be the responsibility of the Owner or its assignee):

1. Parking lots and on-site driveways: Sweep at least four (4) times per year and on a more frequent basis depending on sanding operations. All resulting sweepings shall be collected and properly disposed of offsite in accordance with MADEP and other applicable requirements.
2. Catch basins, manholes and piping: Inspect four (4) times per year and at the end of foliage and snow-removal seasons. These features shall be cleaned four (4) times per year. or whenever the depth of deposits is greater than or equal to one half the depth from the bottom of the invert of the lowest pipe in the catch basin or underground system. Accumulated sediment and hydrocarbons present must be removed and properly disposed of off site in accordance with MADEP and other applicable requirements.

STORMWATER MANAGEMENT SYSTEM
POST-CONSTRUCTION INSPECTION REPORT

LOCATION:

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

RESPONSIBLE PARTY:

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

NAME OF INSPECTOR:	INSPECTION DATE:
Note Condition of the Following (sediment depth, debris, standing water, damage, etc.):	
Catch Basins:	
Discharge Points/ Flared End Sections / Rip Rap:	
Other:	
Note Recommended Actions to be taken on the Following (sediment and/or debris removal, repairs, etc.):	
Catch Basins:	

Discharge Points / Rip Rap:

Other:

Other:

Comments:

1420 Massachusetts Avenue – Arlington, MA

[illegible]

LONG-TERM POLLUTION PREVENTION PLAN

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

RESPONSIBLE PARTY DURING CONSTRUCTION:

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

RESPONSIBLE PARTY POST CONSTRUCTION:

*Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA*

For this site, the Long-Term Pollution Prevention Plan will consist of the following:

- No outdoor maintenance or washing of vehicles allowed.
- The property owner shall be responsible for “good housekeeping” including proper periodic maintenance of building and pavement areas, curbing, landscaping, etc.
- Proper storage and removal of solid waste (dumpsters).
- Sweeping of driveways a minimum of twice per year with a commercial cleaning unit. Any sediment removed shall be disposed of in accordance with applicable local and state requirements.
- Regular inspections and maintenance of Stormwater Management System as noted in the “O&M Plan”.
- Snow removal shall be the responsibility of the property owner. Snow shall not be plowed, dumped and/or placed in forebays, infiltration basins or similar stormwater controls. Salting and/or sanding of pavement / walkway areas during winter conditions shall only be done in accordance with all state/local requirements and approvals.

OPERATON AND MAINTENANCE TRAINING PROGRAM

The Owner will coordinate an annual in-house training session to discuss the Operations and Maintenance Plan, the Long-Term Pollution Prevention Plan, and the Spill Prevention Plan and response procedures. Annual training will include the following:

Discuss the Operations and Maintenance Plan

- Explain the general operations of the stormwater management system and its BMPs
- Identify potential sources of stormwater pollution and measures / methods of reducing or eliminating that pollution
- Emphasize good housekeeping measures

Discuss the Spill Prevention and Response Procedures

- Explain the process in the event of a spill
- Identify potential sources of spills and procedures for cleanup and /or reporting and notification
- Complete a yearly inventory or Materials Safety Data sheets of all tenants and confirm that no potentially harmful chemicals are in use.
- Trash and other debris shall be removed from all areas of the site at least twice yearly.
- In no case shall snow be disposed of or stored in resource areas (wetlands, floodplain, streams or other water bodies).
- If necessary, stockpiled snow will be removed from the Site and disposed of at an off-site location in accordance with all local, state and federal regulations.

ILLICIT DISCHARGE STATEMENT

Certain types of non-stormwater discharges are allowed under the U.S. Environmental Protection Agency Construction General Permit. These types of discharges will be allowed under the conditions that no pollutants will be allowed to come in contact with the water prior to or after its discharge. The control measures which have been outlined previously in this LTPPP will be strictly followed to ensure that no contamination of these non-storm water discharges takes place. Any existing illicit discharges, if discovered during the course of the work, will be reported to MassDEP and the local DPW, as applicable, to be addressed in accordance with their respective policies. No illicit discharges will be allowed in conjunction with the proposed improvements.

Duly Acknowledged:

Name & Title

SPILL PREVENTION AND RESPONSE PROCEDURES

(POST CONSTRUCTION)

In order to prevent or minimize the potential for a spill of Hazardous Substances or Oil or come into contact with stormwater, the following steps will be implemented:

1. All Hazardous Substances or Oil (such as pesticides, petroleum products, fertilizers, detergents, acids, paints, paint solvents, cleaning solvents, etc.) will be stored in a secure location, with their lids on, preferably under cover, when not in use.
2. The minimum practical quantity of all such materials will be kept on site.
3. A spill control and containment kit (containing, for example, absorbent materials, acid neutralizing powder, brooms, dust pans, mops, rags, gloves, goggles, plastic and metal trash containers, etc.) will be provided on site.
4. Manufacturer's recommended methods for spill cleanup will be clearly posted and site personnel will be trained regarding these procedures and the location of the information and cleanup supplies.
5. It is the OWNER's responsibility to ensure that all Hazardous Waste on site is disposed of properly by a licensed hazardous material disposal company. The OWNER is responsible for not exceeding Hazardous Waste storage requirements mandated by the EPA or state and local authorities.

In the event of a spill of Hazardous Substances or Oil, the following procedures should be followed:

1. All measures should be taken to contain and abate the spill and to prevent the discharge of the Hazardous Substance or Oil to stormwater or off-site. (The spill area should be kept well ventilated and personnel should wear appropriate protective clothing to prevent injury from contact with the Hazardous Substances.)
2. For spills of less than five (5) gallons of material, proceed with source control and containment, clean-up with absorbent materials or other applicable means unless an imminent hazard or other circumstances dictate that the spill should be treated by a professional emergency response contractor.
3. For spills greater than five (5) gallons of material immediately contact the MADEP at the toll-free 24-hour statewide emergency number: **1-888-304-1133**, the local fire department (**9-1-1**) and an approved emergency response contractor. Provide information on the type of material spilled, the location of the spill, the quantity spilled, and the time of the spill to the emergency response contractor or coordinator, and proceed with prevention, containment and/or clean-up if so desired. (Use the form provided, or similar).
4. If there is a Reportable Quantity (RQ) release, then the National Response Center should be notified immediately at (800) 424-8802; within 14 days a report should be submitted to the EPA regional office describing the release, the date and circumstances of the release and the steps taken to prevent another release. This Pollution Prevention Plan should be updated to reflect any such steps or actions taken and measures to prevent the same from reoccurring.

SPILL PREVENTION CONTROL AND COUNTERMEASURE FORM

***Bierbrier Development, Inc.
1420 Massachusetts Avenue
Arlington, MA***

Where a release containing a hazardous substance occurs, the following steps shall be taken by the facility manager and/or supervisor:

1. Immediately notify The Auburn Fire Department (at **9-1-1**)
2. All measures must be taken to contain and abate the spill and to prevent the discharge of the pollutant(s) to off-site locations, receiving waters, wetlands and/or resource areas.
3. Notify the Arlington Board of Health at (781) 316-3170 and the Conservation Commission at (781) 316-3012.
4. Provide documentation from licensed contractor showing disposal and cleanup procedures were completed as well as details on chemicals that were spilled to the Town of Arlington Board of Health and Conservation Commission.

Date of spill:_____ Time:_____ Reported By:_____

Weather Conditions: _____

[illegible]

Cause of Spill: _____

Measures Taken to Clean up Spill: _____

Type of equipment: _____ Make: _____ Size: _____

License or S/N: _____

Location and Method of Disposal _____

Procedures, method, and precautions instituted to prevent a similar occurrence from recurring: _____

Additional Contact Numbers:

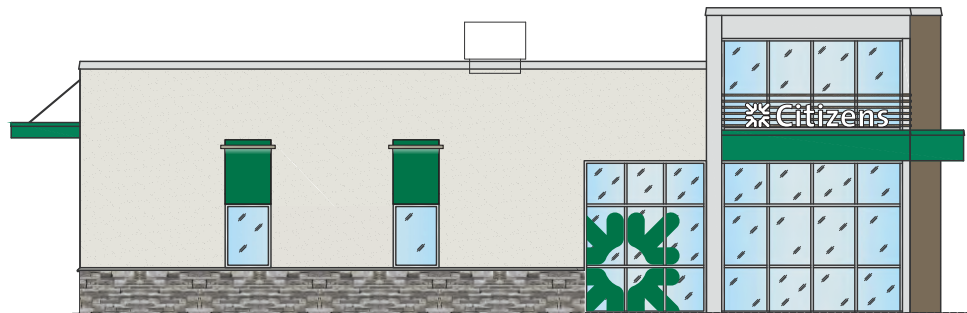
- DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) EMERGENCY PHONE: 1-888-304-1133
- NATIONAL RESPONSE CENTER PHONE: (800) 424-8802
- U.S. ENVIRONMENTAL PROTECTION AGENCY PHONE: (888) 372-7341



Citizens

SIGN SUBMITTAL PACKAGE

Arlington Heights



GENERAL NOTES & PERMIT TIMES	TABLE OF CONTENTS				VARIANCE	
	PAGE	SIGN TYPE	SQ.FT.	COLOR	REQUIRED?	EXPLANATION (IF REQD.)
	2	Site map				
		Massachusetts Avenue				
	3	S1 - ICLL-2-18 - Illum. White channel letters	15.09	White	No	
	4	S3 - ALB-1 - Green awning with light bar	-	Green	No	
	11	S8 - Green window vinyl	-	Green	No	
	7	S9 - DHR-2 - Door hours double doors	-	White	No	
	7	S10 - DH-1 - Door handles	-	Green	No	
		Total Sign Area Requested this Elevation	15.09			
		Right Side (West) Entry Elevation				
	5	S2 - ICLL-2-18 - Illum. White channel letters	15.09	White	Yes	
	6	S4 - ALB-1 - Green awning with light bar	-	Green	No	
		Total Sign Area Requested this Elevation	15.09			
ELECTRICAL ACCESS It is recommend for Electrician to put all exterior signage on a single circuit with a timer or photo-cell to allow for signs to illuminate at night only.		Left Side (East) Drive Thru				
	8	S5 - ATM-DND-1 - ATM w night drop w daisy, edge illum.	-	Green	No	
	8	S6 - ATM-NGP-1 - ATM network panel	-	Gray	No	
	10	S7 - ICLL-1-15- Illum. Green Channel letters	10.5	Green	Yes	
		Total Sign Area Requested this Elevation	10.5			
		Freestanding Signage				
	12	S11 - D/F Pylon Sign Reface				
	13	Code Check				
		Total Sign Area Allowable	40			
		Total Sign Area Requested	40.68			
		Difference	0.68			



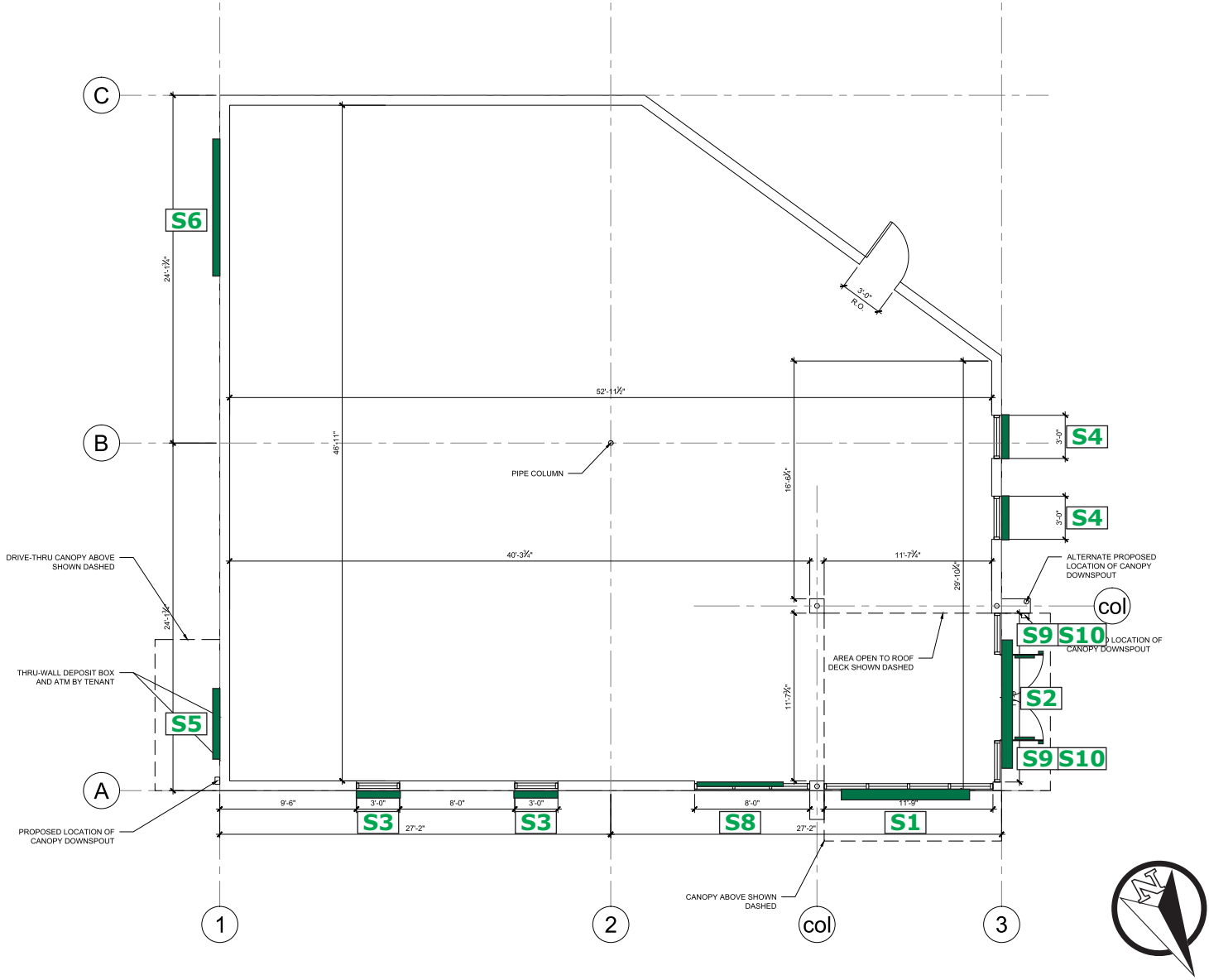
2655 International Pkwy., Virginia Beach, VA 23452
PHONE: (757) 427-1900 - FAX: (757) 430-1297
www.AGI.net

BRANCH NUMBER: R/C NUMBER:
REQUIRES VARIANCE: ☐ NO ☒ YES ☐ TBD
BRANCH NAME & ADDRESS:
Citizens - Arlington Heights
1420 Massachusetts Avenue
Arlington, MA
DESIGNER: JER DATE: 1/12/2021 REV. DATE: 1/14/2021
PATH: O:\Citizens Bank\Site Folders\Arlington Heights

CONTACTS
PROJECT MANAGER:
Devin White
CITIZENS BANK PROJECT MANAGER:

CITIZENS BANK DESIGN MANAGER:

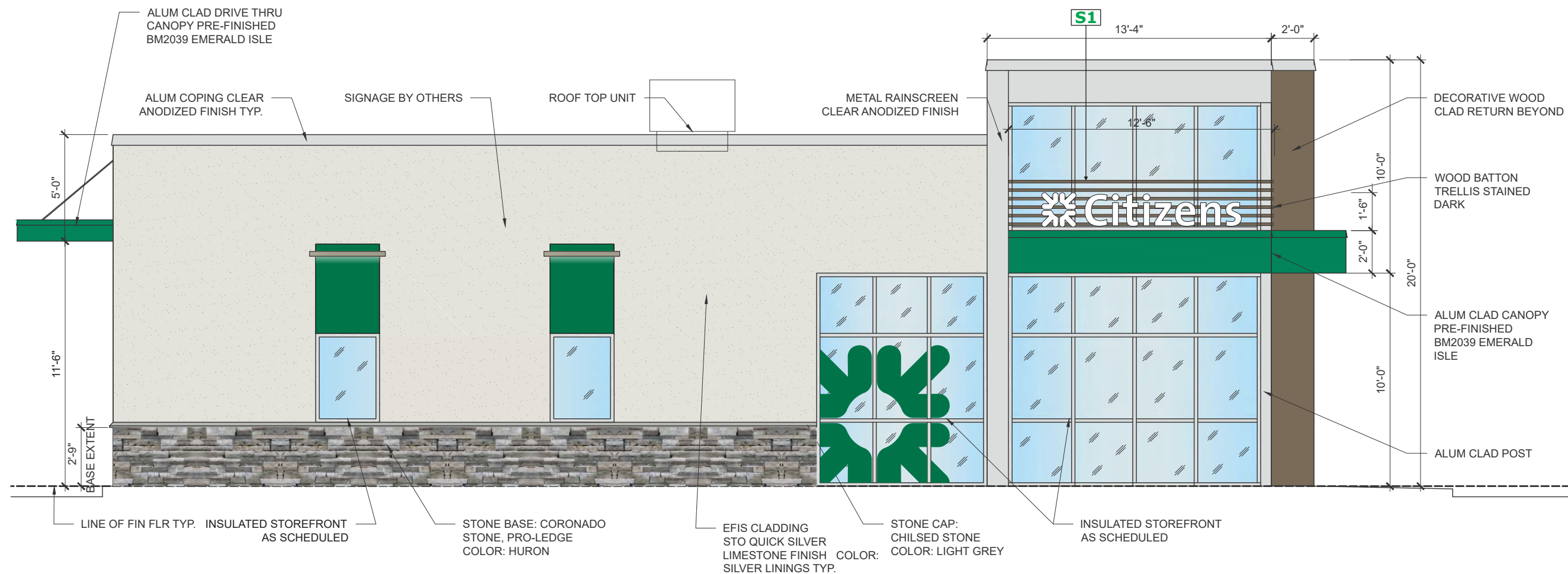
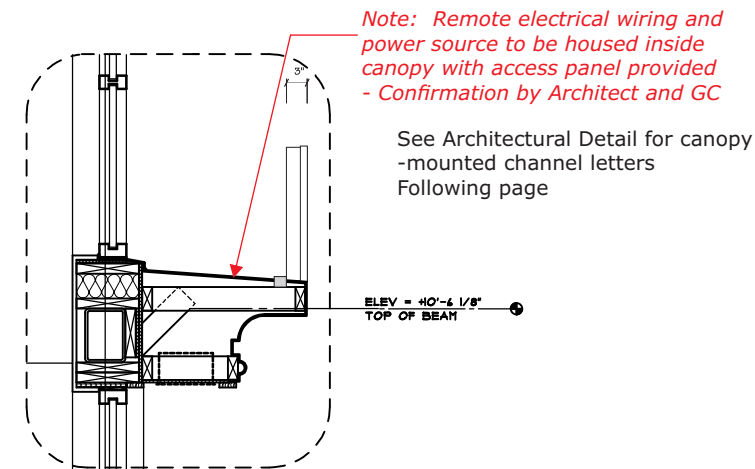
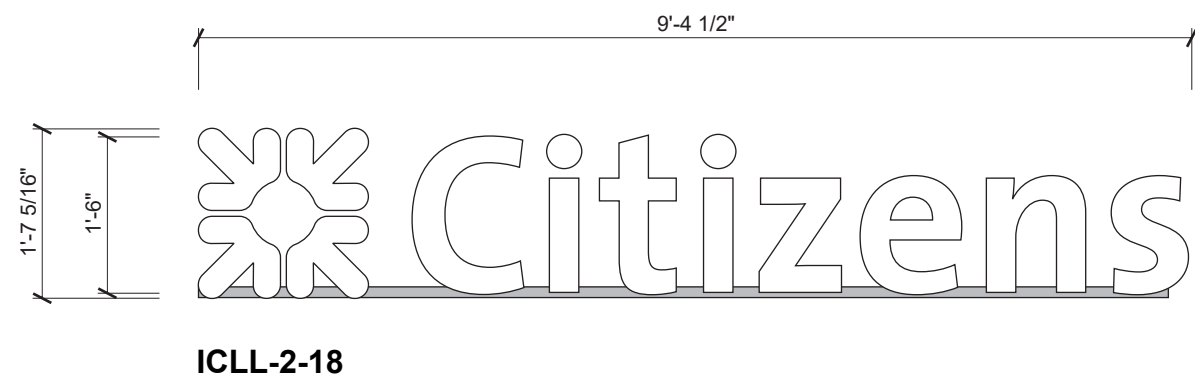
APPROVAL STAMP:



PROPOSED FLOOR PLAN



S1 - ICLL-2-18- Channel Letters, White - illuminated, Horizontal 1'-7 5/16" OAH x 9'-4 1/2" OAW, 15.09 SF
Note: Electrical required 120v @ 3 amps required. Conduit run to sign, provided by GC.



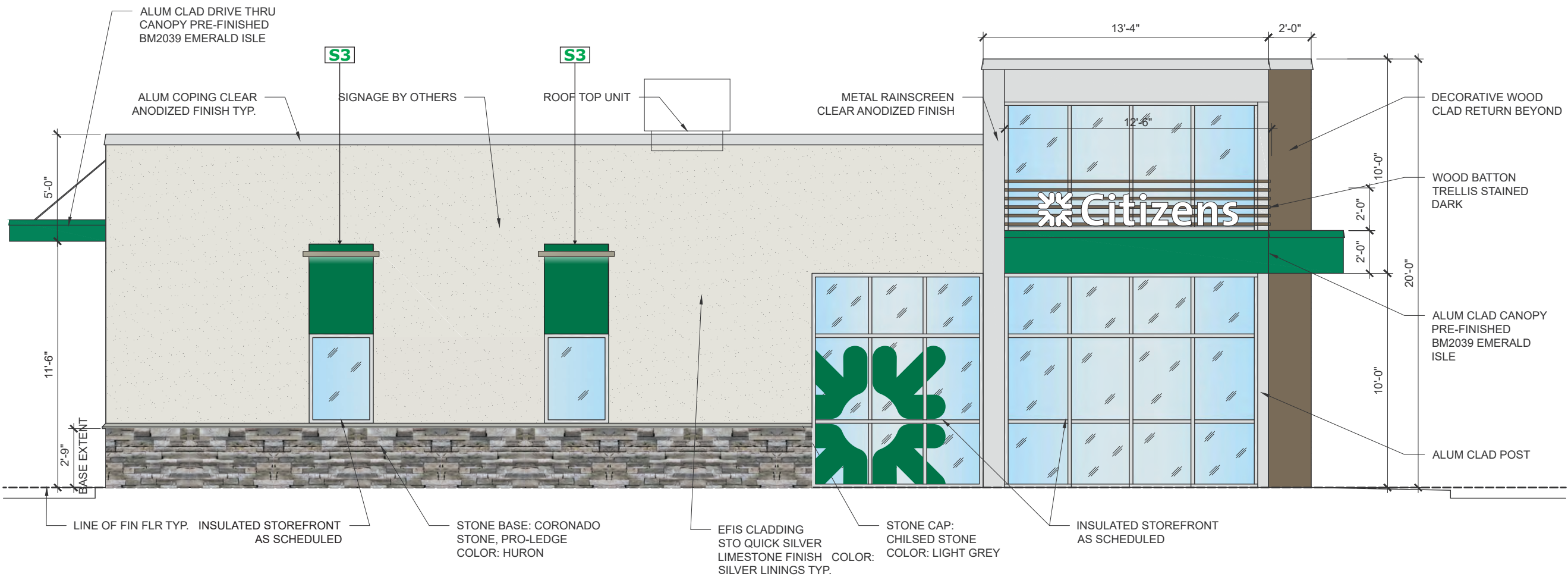
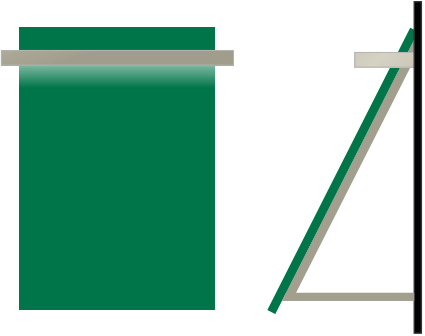
PROPOSED FRONT ELEVATION (MASSACHUSETTS AVE)
SCALE: 3/16"=1'-0"

S3 - ALB-1 - Green awning with light bar

Note: Dimensions (±4'-2"H x ±3'-0"W) to be verified

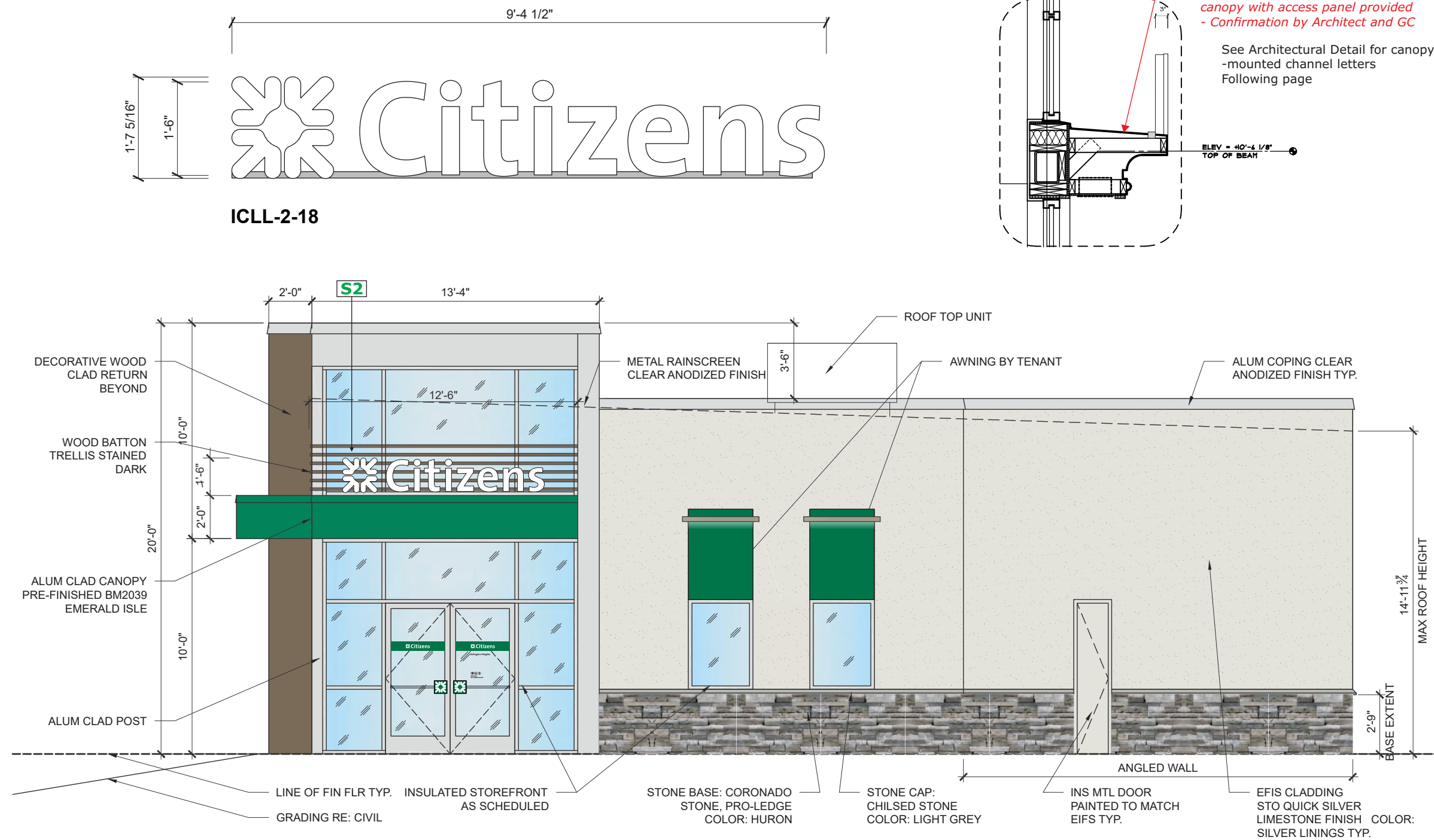
Note: Electrical required 120v @ 3 amps required.

Conduit stub out required for awning light bar by GC.



 **PROPOSED FRONT ELEVATION (MASSACHUSETTS AVE)**
SCALE: 3/16"=1'-0"

S2 - ICLL-2-18- Channel Letters, White - illuminated, Horizontal 1'-7 5/16" OAH x 9'-4 1/2" OAW, 15.09 SF
Note: Electrical required 120v @ 3 amps required. Conduit run to sign, provided by GC.



PROPOSED RIGHT SIDE ELEVATION (HIGHLAND AVE)
SCALE: 3/16"=1'-0"



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PHONE: (757) 427-1900 - FAX: (757) 430-1297
www.AGI.net

BRANCH NUMBER: R/C NUMBER:
REQUIRES VARIANCE: ☐ NO ☐ YES ☐ TBD
BRANCH NAME & ADDRESS:
Citizens - Arlington Heights
1420 Massachusetts Avenue
Arlington, MA
DESIGNER: JER DATE: 1/12/2021 REV. DATE: 1/14/2021
PATH: O:\Citizens Bank\Site Folders\Arlington Heights

CONTACTS
PROJECT MANAGER:
Devin White
CITIZENS BANK PROJECT MANAGER:
CITIZENS BANK DESIGN MANAGER:

APPROVAL STAMP:

MARKET STREET

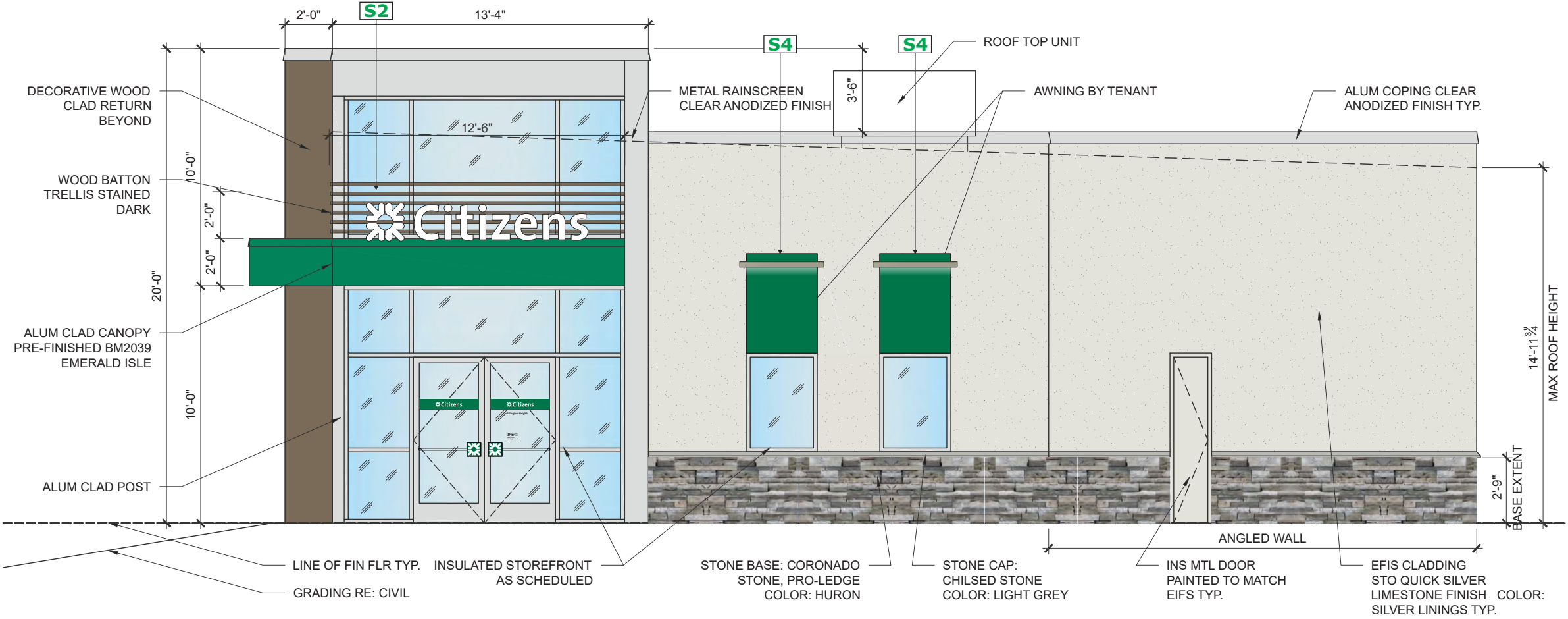
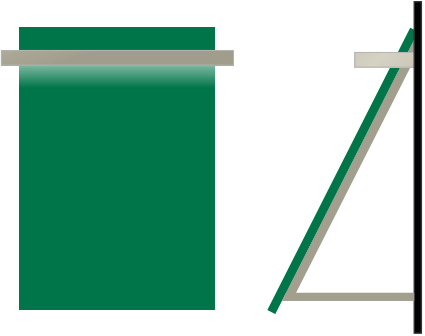
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S4 - ALB-1 - Green awning with light bar

Note: Dimensions (±4'-2"H x ±3'-0"W) to be verified

Note: Electrical required 120v @ 3 amps required.

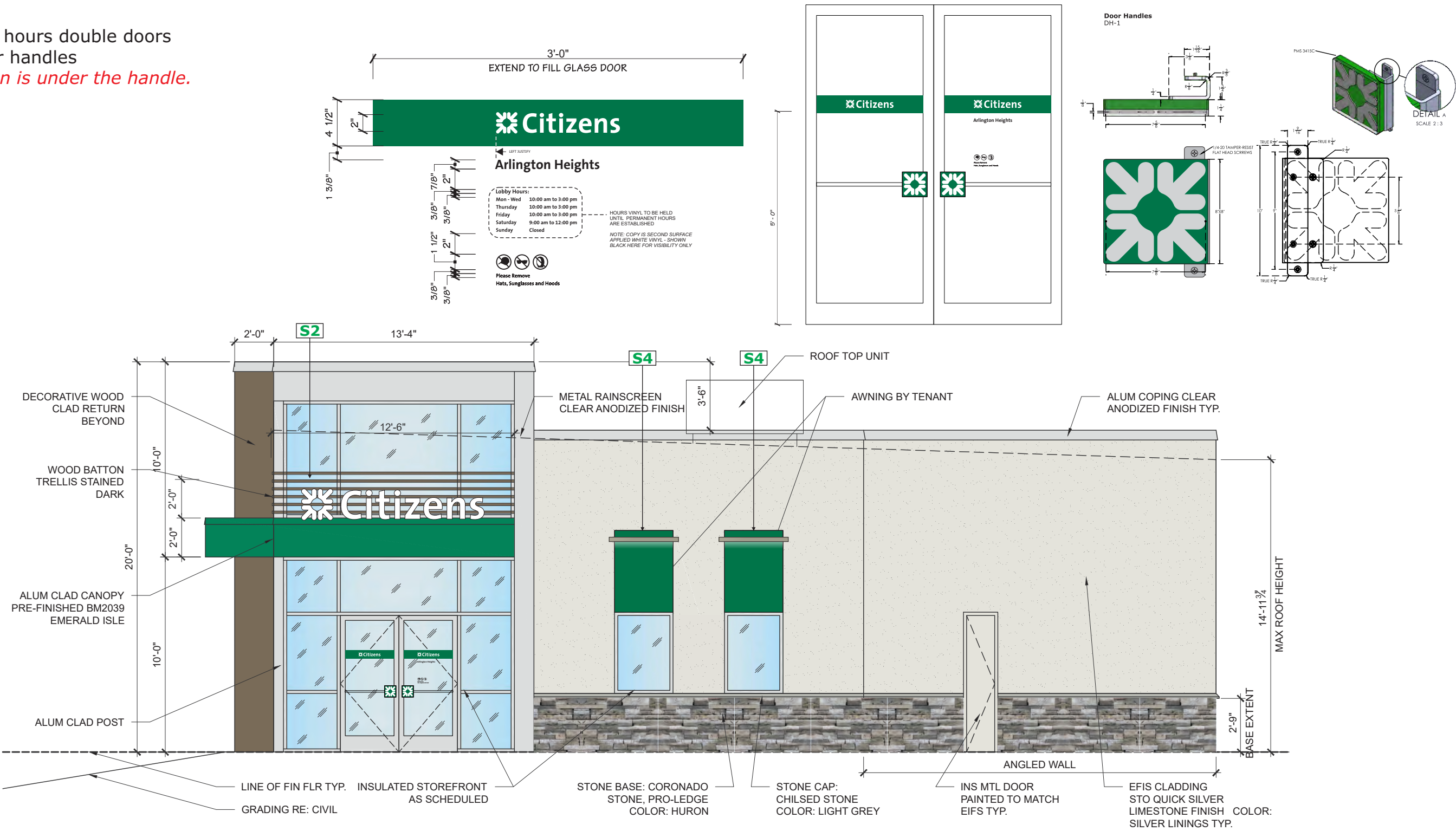
Conduit stub out required for awning light bar by GC.



PROPOSED RIGHT SIDE ELEVATION (HIGHLAND AVE)

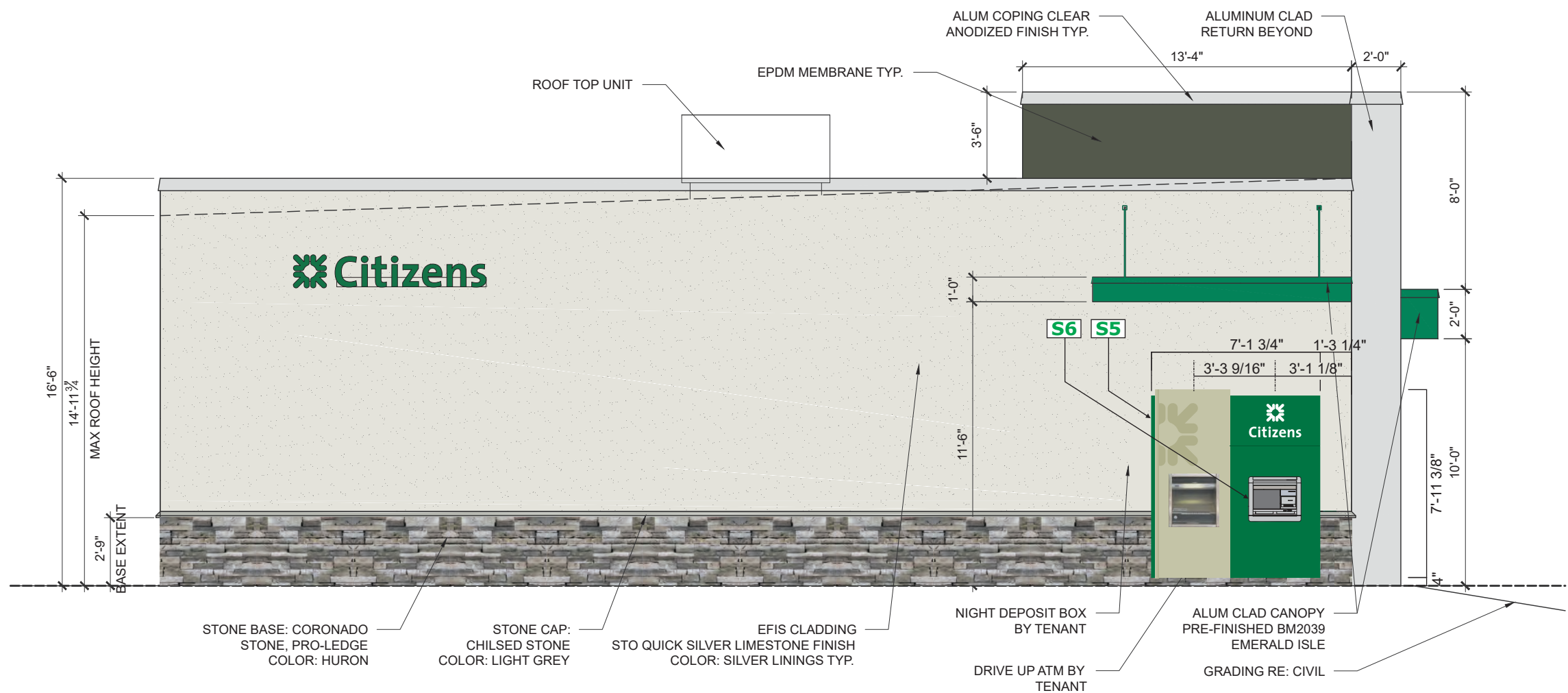
SCALE: 3/16"=1'-0"

S9 - DHR-2 - Door hours double doors
S10 - DH-1 - Door handles
Note: Lock position is under the handle.



PROPOSED RIGHT SIDE ELEVATION (HIGHLAND AVE)
SCALE: 3/16"-1'-0"

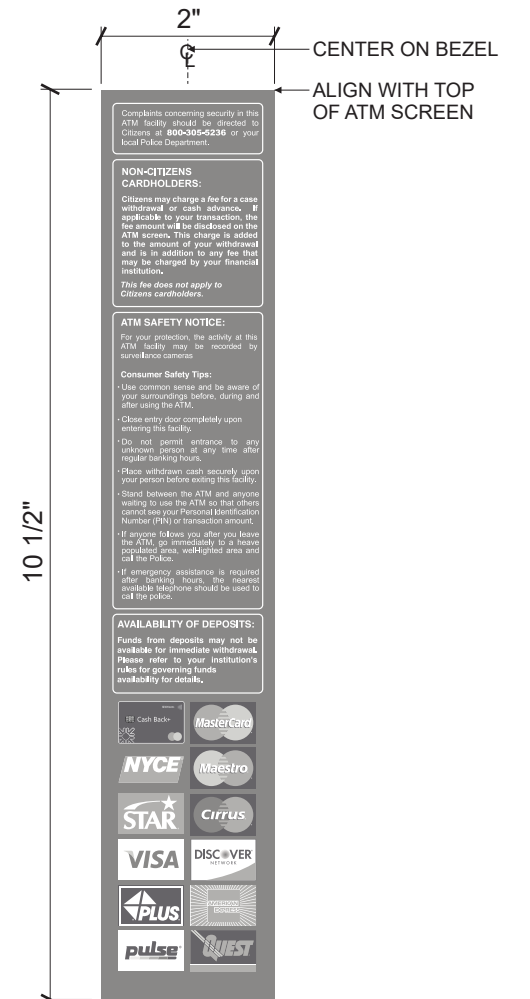
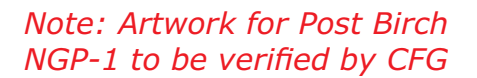
S5 - ATM-DND-1 - ATM w night drop w daisy, edge illum.
S6 - ATM-NGP-1 - ATM network panel
Note: Dimensions and placement of ATM and Night Depository to be confirmed



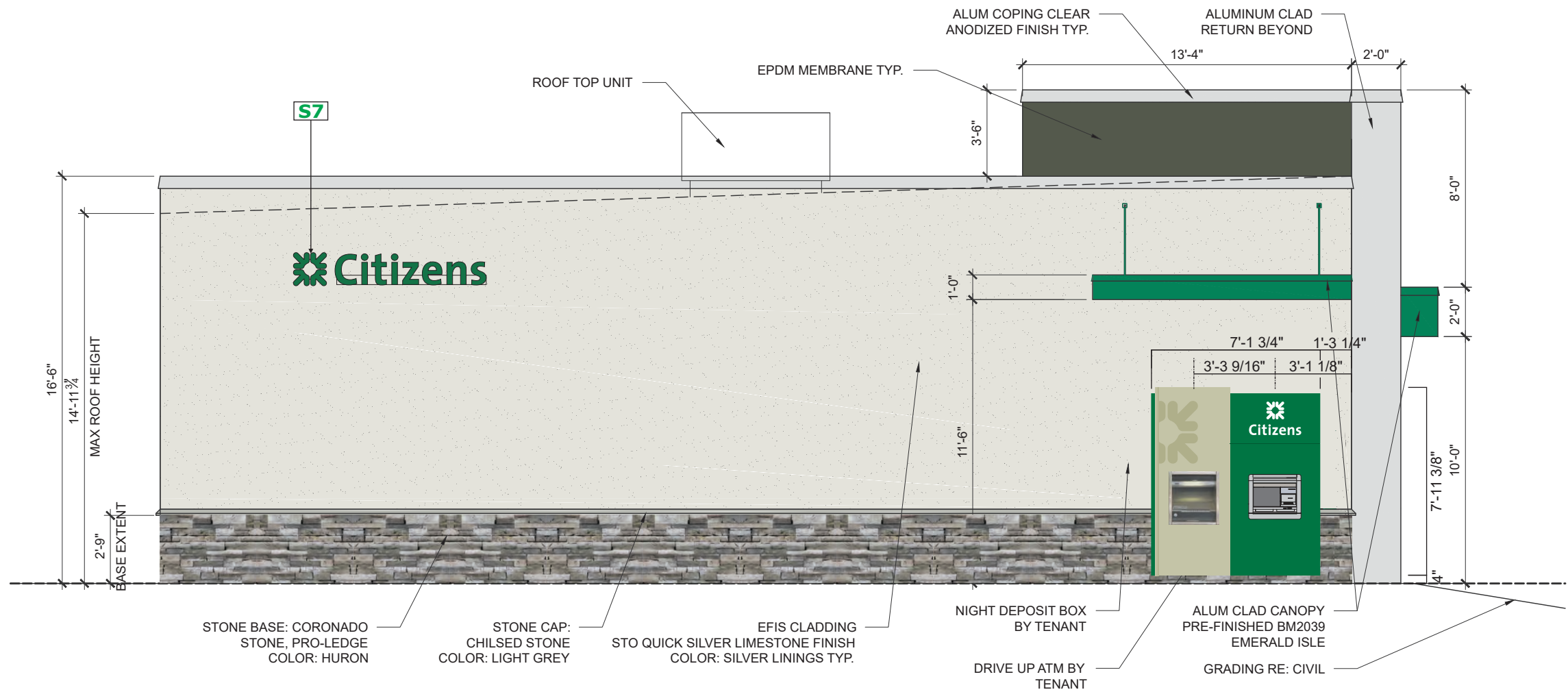
 **PROPOSED LEFT SIDE ELEVATION (DRIVE-THRU)**
SCALE: 3/16"=1'-0"

S6 - ATM-NGP-1 - ATM network panel

NOTES:
1.) CABINET INTERIOR TO BE PAINTED SPRAYLAP
STAR-BRITE LIGHT ENHANCEMENT PAINT.
2.) ATM OPENING & BEZEL SHOWN ARE FOR NCR
6684 PER DESIGN INTENT DRAWINGS.

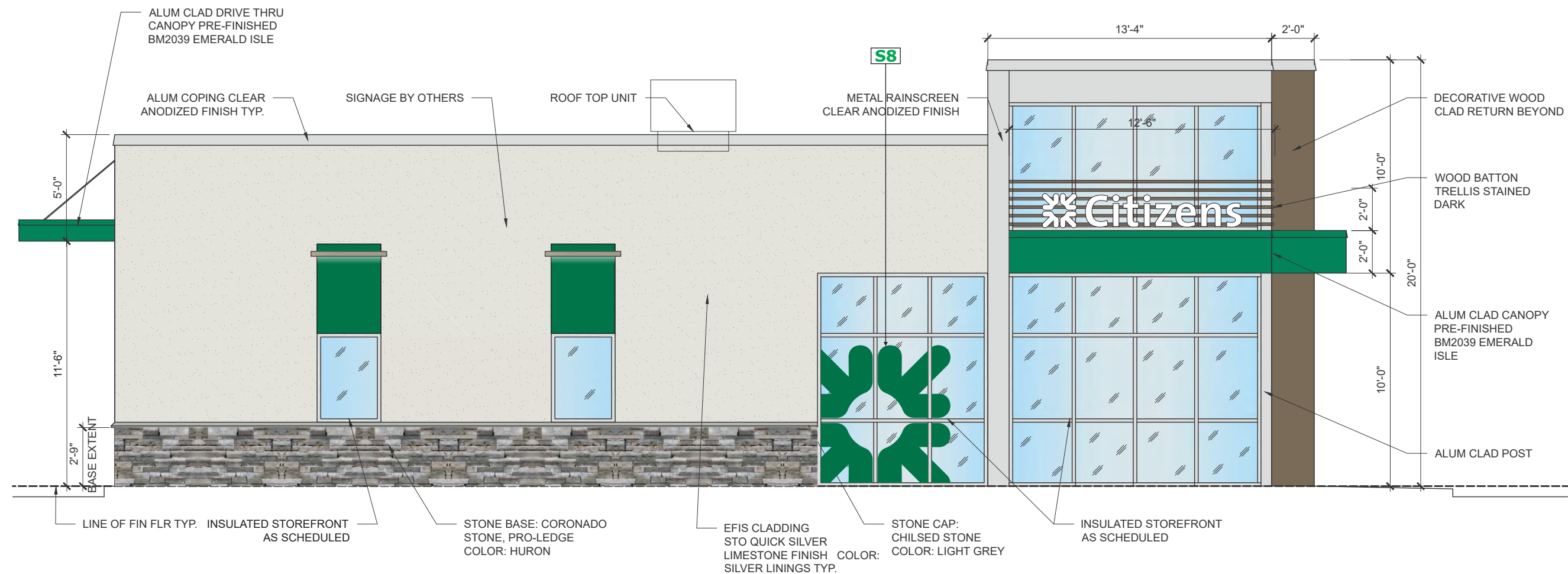


S7 - ICLL-1-15-R - Channel letters, Green - illuminated, Horizontal on raceway 1'-4 1/8" OAH x 7'-9 3/4" OAW, 10.50 SF
Note: Electrical required 120v @ 3 amps required. Conduit run to sign, provided by GC.



 **PROPOSED LEFT SIDE ELEVATION (DRIVE-THRU)**
SCALE: 3/16"=1'-0"

S8 - Green window vinyl
Note: To be provided and installed by MZ



PROPOSED FRONT ELEVATION (MASSACHUSETTS AVE)
SCALE: 3/16"=1'-0"

S11 - Reface existing double-faced Pylon Sign
Note: Reface only, Dimensions to be determined



PRE-PERMIT SIGN INFO		Property ID:	ARLINGTON -001
A.) Project Name:	Citizens Bank	DATE COMPLETED	1/11/21
B.) Street Address:	1420 Massachusetts Avenue		
C.) Town / City / State / Zip:	Arlington, MA 02476		
D.) Contact for Permit/Zoning:	Jennifer Raitt		
E.) Contact Telephone:	781-316-3090		
F.) Jurisdiction: City/Town:	Town of Arlington	Address:	730 Mass Avenue Annex
or, County of:		City, ST Zip:	Arlington, MA 02476

G.) Zoning Classification for property:	B4 Vehicular Oriented Business District.
H.) Is there a Master Sign Plan?	No MSP was found during research, there may be an MSP in place here, we strongly suggest checking with the
I.) Is a permit required?	Yes.
J.) What documents are required to file for the permit?	Application: https://www.arlingtonma.gov/home/showpublisheddocument?id=1952
K.) How long is the permit process?	3-5 weeks.
are there special reviews involved?	Not indicated during research, however the town reserves the right to request additional review(s) based on
overlay districts?	See above.
city and county review required?	See above.
design review board / ARB / DRB ?	See above.
community association review required?	See above.
L.) What are the fees for a sign permit?	https://www.arlingtonma.gov/departments/inspectional-services/applications-fees-forms/permit-fees
M.) Is engineering needed for wall signs?	May be required based on the scope of work, subject to plan review.
N.) Does engineering require a PE stamp?	See above.
O.) Is landlord approval required?	Yes.
P.) Legal Description Required for permit?	Yes.
Q.) Plat/Site Plan required for permit?	Yes.

ATTACHED SIGNS & WINDOW GRAPHICS	
1.) Formula for calculating wall sign square footage (Max. Sq. Footage - Primary &	Wall signs: Maximum 40 sq. ft. per business.
2.) Sq.Ft allowance for bldg. sides/rear:	
The total sign area for signs on single-tenant or multi-tenant buildings may be placed on any building elevation, subject to the following standards:	
(1) At least 1 sign must be placed above or associated with the building entry;	
(2) The width of the sign shall be no greater than 60% of the width of the building element on which it is displayed;	
(3) Signs shall be placed at least 12 inches or 20% of the width of the building element on which they are mounted, whichever is less, from the sides of the building element;	
(4) Signs shall be placed at least 12 inches or 20% of the height of the building element on which they are mounted, whichever is less, from the top and bottom edge of the building element; and	
(5) Signs shall be placed no higher than the lowest of the following:	
a. 25 ft. above grade;	
b. The bottom of the sill of the first level of windows above the first story; or	
c. The cornice line of the building at the building line.	

3.) How is the sign area calculated?	
Signs on Background Panel: Sign copy mounted, affixed, or painted on a background panel or surface distinctively painted, textured, or constructed as a background for the sign copy, is measured as that area contained within the sum of the smallest rectangle(s) that will enclose both the sign copy and the background.	
Signs with Individual Letters: Sign copy mounted as individual letters or graphics against a wall, fascia, mansard, or parapet of a building or surface of another structure, that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, is measured as a sum of the smallest rectangle(s) that will enclose each word and each graphic in the total sign.	
Signs on Illuminated Surfaces: Sign copy mounted, affixed, or painted on an illuminated surface or illuminated element of a building or structure, is measured as the entire illuminated surface or illuminated element, which contains sign copy. Such elements may include lit canopy fascia signs, and/or interior lit awnings.	
Irregular Shaped Signs: Sign area for irregular shaped signs is determined by dividing the sign into squares, rectangles, triangles, circles, arcs, or other shapes the area of which is easily calculated.	
Two face signs: If the interior angle between the two sign faces is 45 degrees or less and the sign faces are less than 42 inches apart, the sign area is determined by the measurement of one sign face only. If the angle between the two sign faces is greater than 45 degrees, the sign area is the sum of the areas of the two sign faces.	
4.) Total # Wall Signs allowed per building elevation:	Wall signs: Maximum 1 per frontage.
5.) What is the max letter/character height allowed?	Signs shall be placed no higher than the lowest of the following:
6.) Does the ordinance restrict color, design or illumination?	Illumination: Non-illuminated, internally illuminated, or externally illuminated. See
7.) Does window vinyl need to be permitted, if so how much is allowed?	Combined area of permanent and temporary window signs must not exceed
8.) Is the entire graphic calculated or just the company logo and name?	Entire graphic area.

FREESTANDING SIGNS	
1.) Formula for calculating freestanding sign sq. footage (Max Sq Footage- Primary & Secondary signs):	
Monument signs: Maximum 24 sq. ft. The name of a property is included in the area and height limits for freestanding signs.	
2.) # F/S Signs allowed:	Monument signs: Maximum 1 per frontage. Internal illumination allowed: Monument signs: Non-illuminated or
3.) Height Maximum:	Monument signs: Maximum 8 feet to the Clearance from grade to sign: Must be monument signs.
4.) Set-back of sign from right-of-way or property line:	
Monument signs: Minimum 5 feet setback from property line.	
Signs may not be placed on property at any corner formed by intersecting streets, within the triangular area formed between the property lines and a diagonal line joining points on the property lines 25 feet from the point of their intersection, or in the case of rounded property line corners, the triangular area between the tangents to the curve at such corner and a diagonal line joining points on the tangents 25 feet from the point of their intersection.	

DIRECTIONAL SIGNS	
5.) Number Allowed:	Wall sign directional/driveway: Max 3 per lot. Maximum Square Footage: Wall sign directional/driveway: Max. 3 sq. ft. per
6.) Illumination Allowed?	Wall sign directional/driveway: Non-illuminated Maximum Height: Wall sign directional/driveway: Mounting height-
7.) Permit Required?:	Wall sign directional/driveway: Sign permit Customer Logo Allowed: Not stipulated by code, subject to plan review.

TEMPORARY BANNERS

1.) What temporary sign types are allowed?

Allowed Sign Types: A-Frame or Upright Signs; Yard Sign Type I, II, and III; Wall Banners; and Window

2.) What is the max sign size area?

Max. 24 sq. ft. per business; excludes the area of temporary wall banner signs and window signs.

3.) How is the sign area calculated?

Signs on Background Panel: Sign copy mounted, affixed, or painted on a background panel or surface distinctively painted, textured, or constructed as a background for the sign copy, is measured as that area contained within the sum of the smallest rectangle(s) that will enclose both the sign copy and the background.

Signs with Individual Letters: Sign copy mounted as individual letters or graphics against a wall, fascia, mansard, or parapet of a building or surface of another structure, that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, is measured as a sum of the smallest rectangle(s) that will enclose each word and each graphic in the total sign.

Signs on Illuminated Surfaces: Sign copy mounted, affixed, or painted on an illuminated surface or illuminated element of a building or structure, is measured as the entire illuminated surface or illuminated element, which contains sign copy. Such elements may include lit canopy fascia signs, and/or interior lit awnings.

Irregular Shaped Signs: Sign area for irregular shaped signs is determined by dividing the sign into squares, rectangles, triangles, circles, arcs, or other shapes the area of which is easily calculated.

Two face signs: If the interior angle between the two sign faces is 45 degrees or less and the sign faces are less than 42 inches apart, the sign area is determined by the measurement of one sign face only. If the angle between the two sign faces is greater than 45 degrees, the sign area is the sum of the areas of the two sign faces.

4.) Are logos factored into sign area?

Yes.

5.) How many signs per elevation?

Number of Signs: Unlimited, except that the total sign area must not exceed 24 sq. ft. per business.

6.) How long can signs be up?

A temporary sign permit for a wall banner is valid for 60 days beginning with the date of issuance.

7.) Does the ordinance restrict color, design or illumination?

A temporary sign permit is required for the display of temporary wall banner signs. Portable and temporary signs are not counted toward the total allowable sign area or number of permanent signs. Sign placement must not create a hazard for pedestrian or vehicular traffic and must allow for a 4-foot wide sidewalk to comply with the Americans with Disabilities Act.

Signs must be of sufficient weight and durability to withstand wind gusts, storms, etc., for the safety of pedestrians, bicyclists, and vehicles.

Prohibited Elements: Illumination, including flashing, blinking, or rotating lights; animation; reflective materials; and attachments, including balloons, ribbons, loudspeakers, etc.

Temporary wall banner: Signs must be mounted on a building wall or on T-posts or stakes installed 6 inches or less from the wall.

VARIANCE INFORMATION

1.) Variance cost?

\$400.00 and up.

2.) Variance time frame?

2-5 months.

3.) Variance document deadline?

One month prior to meeting.

4.) Variance meeting dates?

https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-

5.) Variance documents required?

https://www.arlingtonma.gov/home/showpublisheddocument?id=24805

6.) How many sets?

7 sets.

7.) Likelihood of variance approval?

35%

DOCUMENTS REQUIRED FOR PERMITS

Scaled Plot plan

☒

☒ Building elevations

☒ Elevation Drawings

Electrical Permit

☒

Installation drawings

☒

☒ Legal description

☐ Sealed engineering drawings

Notice of Commencement

☐

Sign drawings

☒

☒ Photo of existing

☒ Property Manager's Approval

Sign Code: https://www.arlingtonma.gov/home/showpublisheddocument?id=43413

Note: If the Building Inspector determines that a separate electrical or structural permit is required, the applicant shall be notified. The sign permit shall not be issued until all other required permits have been obtained.

Prohibited signs: 1. Bandit signs,
2. Cabinet signs, and
3. Electronic message centers or electronic displays.

Signs with the following display features are prohibited:
1. Animated features which rotate, move, or give the appearance of moving by mechanical, wind, or other means.
2. Lighting devices with intermittent, flashing, rotating, blinking or strobe light illumination, animation, motion picture, or laser or motion picture projection, or any lighting effect creating the illusion of motion, as well as laser or hologram lights.
3. Internally illuminated signs with a directly exposed light source, except for neon incorporated into the design of a permanent window sign.
4. Surfaces that reflect light by means of a glossy, polished, or mirrored surface.

Numerals and letters up to 2 square feet in area used to identify an address are not included in the determination of sign area.

All allowed permanent signs may be non-illuminated, illuminated by internal light fixtures, halo illuminated, or illuminated by external indirect illumination, unless otherwise specified. All temporary signs must be nonilluminated.
1. No sign shall be illuminated between 12:00 AM and 6:00 AM, except signs identifying emergency services such as police and ambulance stations or hospitals and signs on premises open for business during that time.
2. Internally Illuminated Signs:
a. Internally illuminated signs include signs constructed with pan channel letters, preferably without raceways, or internal/indirect halo illuminated channel letters on an unlit or otherwise indistinguishable background on a freestanding sign or building wall.
b. Single-color LED signs are considered internally illuminated signs.
3. Externally Illuminated Signs. Externally illuminated signs must be illuminated only with steady, stationary, fully-shielded light sources directed solely onto the sign without causing glare. The light source for externally illuminated signs must be arranged and shielded to substantially confine all direct light rays to the sign face and away from streets and adjacent properties.
4. Direct illumination is limited to marquee signs; see Section 6.2.5(C)(6) and is limited to the illumination of letters, numbers, symbols and accents on the marquee sign. Exposed lamps may only be animated to create an effect of patterned illusionary movement provided the alternate or sequential activation of the illuminated elements occurs on a cycle that exceeds two seconds.

Neon or single-color LED signs placed in a window count toward the aggregate area for all window signs and must not exceed 25 percent of the area of the window. Any individual neon or single-color LED sign must not exceed four square feet in area. Other uses of neon are prohibited.

Structure and Installation: (1) Any angle iron, bracing, guy wires, or similar features used to support a sign must not be visible to the extent technically feasible.
(2) Where electrical service is provided to freestanding signs or building mounted signs, the service must be placed underground and concealed. Electrical service to building mounted signs, including conduit, housings, and wire, must be concealed or, when necessary, painted to match the surface of the structure upon which they are mounted. A building permit shall be issued prior to installation of any new signs requiring electrical service.
(3) Raceway cabinets shall only be used in building mounted signs when access to the wall behind the sign is not feasible, shall not extend in width and height beyond the area of the sign, and shall match the color of the building to which it is attached. Where a raceway cabinet provides a contrast background to sign copy, the colored area is counted in the total allowable sign area allowed for the site or business. A raceway cabinet is not a cabinet sign.
(4) All permanent signs allowed by this Section must be constructed of durable materials capable of withstanding continuous exposure to the elements and the conditions of a built-up environment and must be permanently attached to the ground, a building or another structure by direct attachment to a rigid wall, frame, or structure.

Monument signs: Landscaping- A landscaped area consisting of shrubs, and/or perennial ground cover plants with a max. spacing of 3 ft. on center is required around the base of the signs. The landscape area must be a min. of 2 sq. ft. for each 1 sq. ft. of sign area.

AGI

2655 International Pkwy., Virginia Beach, VA 23452
PHONE: (757) 427-1900 - FAX: (757) 430-1297
www.AGI.net

BRANCH NUMBER:

R/C NUMBER:

REQUIRES VARIANCE: ☐NO ☐YES ☐TBD

BRANCH NAME & ADDRESS:
Citizens - Arlington Heights
1420 Massachusetts Avenue
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DESIGNER: JER DATE:1/12/2021 REV. DATE: 1/14/2021

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CITIZENS BANK DESIGN MANAGER:

APPROVAL STAMP:

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Page 14 of 14