



Town of Arlington, MA Redevelopment Board

Agenda & Meeting Notice July 20, 2020

This meeting is being held remotely in accordance with the Governor's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law G.L. c. 30A, Section 20. Public comments will be accepted during the public comment periods designated in the agenda. The public may email or provide any written comments to jrait@town.arlington.ma.us by July 20, 2020 at 12:00 p.m. If visual information is provided as part of your correspondence, the Board requests this by July 17, 2020 at 12:00 p.m.

The Arlington Redevelopment Board will meet Monday, July 20, 2020 at 7:00 PM in the **Join Zoom Meeting with audio and video by connecting using this link and Meeting ID: <https://zoom.us/j/97369487293> | Enter Meeting ID: 973 6948 7293 or join by phone with by calling: 1-646-876-9923, enter the Meeting ID 973 6948 7293 followed by "#".**

1. Docket #3625, 882-892 Mass Ave *Continued Public Hearing*

7:00 p.m. Board will open public hearing for Special Permit Docket #3625 to review application by 882-892 Massachusetts Ave., LLC, for 882-892 Massachusetts Avenue, to develop a new mixed-use building with twenty-two (22) one-bedroom residential units and one (1) commercial space in a B2 Business District. The opening of the Special Permit is to allow the Board to review and approve the application in accordance with the provisions of MGL Chapter 40A and the Town of Arlington Zoning Bylaw Section 3.4, Environmental Design Review.

- Applicants will be provided 5 minutes for a presentation.
- DPCD staff will be provided 3 minutes to discuss public hearing memo.
- Members of the public will be provided time to comment in accordance with Board rules and regulations.
- Board members will discuss docket and may vote.

2. Presentation and Discussion: Whittemore Park renovations

7:30 p.m. Representatives from Crowley Cottrell and the Department will provide a project update.

Board members will discuss

3. Meeting Minutes (4/27, 5/4, 5/18)

7:50 p.m. Board will review and approve meeting minutes.

4. Open Forum

8:00 p.m. Except in unusual circumstances, any matter presented for consideration of the Board shall neither be acted upon, nor a decision made the night of the presentation. There is a three minute time limit to present a concern or request. Meeting participants will not have access to video.

5. Adjourn

*Estimated 8:20 p.m. – **Adjourn***

6. Correspondence Received

Correspondence received from:

C. Gates

D. Seltzer



Town of Arlington, Massachusetts

Docket #3625, 882-892 Mass Ave *Continued Public Hearing*

Summary:

7:00 p.m.

Board will open public hearing for Special Permit Docket #3625 to review application by 882-892 Massachusetts Ave., LLC, for 882-892 Massachusetts Avenue, to develop a new mixed-use building with twenty-two (22) one-bedroom residential units and one (1) commercial space in a B2 Business District. The opening of the Special Permit is to allow the Board to review and approve the application in accordance with the provisions of MGL Chapter 40A and the Town of Arlington Zoning Bylaw Section 3.4, Environmental Design Review.

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- DPCD staff will be provided 3 minutes to discuss public hearing memo.
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- Board members will discuss docket and may vote.

ATTACHMENTS:

Type	File Name	Description
Reference Material	2020-07-15_ARB_Form.pdf	NEW 2020-7-15 ARB Application
Reference Material	Combined_Application_Materials_-_updated_5-7-20.pdf	Combined Application Materials - updated 5-7-2020
Reference Material	3625_Arlington__Mass_Ave_882-892_deed__plan.pdf	Docket #3625 882-892 Deed and Plan
Reference Material	4_-_Layout__Materials-C-102.pdf	NEW Layout and Materials
Reference Material	10_-_Landscaping-L-101.pdf	NEW Landscaping
Reference Material	2020-07-15_EX-1_-_Open_Space_Lose_2_Stalls.pdf	NEW 2020-7-15 EX-1 - Open Space Lose 2 Stalls
Reference Material	2020-07-15_EX-2_Open_Space_-_Keep_2_Stalls.pdf	NEW 2020-7-15 EX-2- Open Space Keep 2 Stalls
Reference Material	Arlington_Mixed_Use_7.15.20.pdf	NEW Arlington Mixed Use 7.15.20
Reference Material	Correspondence_from_A._Bagnall_received_0518020.pdf	Correspondence from A. Bagnall received 05182020

Reference Material	Correspondence_from_B._Elliott_received_05182020.pdf	Correspondence from B. Elliott received 05182020
Reference Material	Correspondence_received_from_A._Palmer_07202020.pdf	Correspondence from A. Palmer received 07202020
Reference Material	Correspondence_from_B._Rubin_received_05182020.pdf	Correspondence from B. Rubin received 05182020
Reference Material	Correspondence_from_B._Thornton_received_05182020.pdf	Correspondence from B. Thornton received 05182020
Reference Material	Correspondence_Received_from_B._Thornton_07202020.pdf	Correspondence from B. Thornton received 07202020
Reference Material	Correspondence_from_C._Klein_with_attachment_received_05162020.pdf	Correspondence from C. Klein with attachment received 05162020
Reference Material	Attachment_from_C._Klein_received_05162020.pdf	Attachment from C. Klein received 05162020
Reference Material	Correspondence_Received_from_C._Loreti_07202020.pdf	Correspondence from C. Loreti received 07202020
Reference Material	Correspondence_from_D._Seltzer_with_attachments_received_0514020.pdf	Correspondence from D. Seltzer with attachments received 05 14 2020
Reference Material	Attachment_1_from_D._Seltzer_received_05142020.pdf	Attachment 1 from D. Seltzer received 05142020
Reference Material	Attachment_2_from_D._Seltzer_received_05142020.pdf	Attachment 2 from D. Seltzer received 05142020
Reference Material	Attachment_3_from_D._Seltzer_received_05142020.pdf	Attachment 3 from D. Seltzer received 05142020
Reference Material	Correspondence_from_D._Seltzer_received_05112020.pdf	Correspondence from D. Seltzer received 05112020
Reference Material	Correspondence_Received_from_D._Seltzer_07182020_with_attachment.pdf	Correspondence received from D. Seltzer with attachment

- ▢ Reference Material Attachment_received_from_D._Seltzer_07182020.pdf

07182020
Attachment from D. Seltzer received 07182020
- ▢ Reference Material Correspondence_Received_from_D._Seltzer_071920_with_attachment.pdf

Correspondence from D. Seltzer with attachment received 07192020
- ▢ Reference Material Attachment_received_from_D._Seltzer_07192020.pdf

Attachment received from D. Seltzer 07192020
- ▢ Reference Material Correspondence_from_E._Pyle_received_05182020.pdf

Correspondence from E. Pyle received 05182020
- ▢ Reference Material Correspondence_from_H._Helson_received_05182020.pdf

Correspondence from H. Helson received 05182020
- ▢ Reference Material Correspondence_from_M._Varoglu_received_05172020.pdf

Correspondence from M. Varoglu received 05172020
- ▢ Reference Material Correspondence_from_P._Worden_with_attachment_received_051820.pdf

Correspondence from P. Worden with attachment received 05182020
- ▢ Reference Material Attachment_from_P._Worden.pdf

Attachment from P. Worden received 05182020
- ▢ Reference Material Correspondence_from_Z._Brown_received_05182020.pdf

Correspondence from Z. Brown received 05182020



TOWN OF ARLINGTON
REDEVELOPMENT BOARD

Application for Special Permit In Accordance with Environmental Design
Review Procedures (Section 3.4 of the Zoning Bylaw)

Docket No. _____

1. Property Address 882-892 Massachusetts Ave
 Name of Record Owner(s) 882-892 Massachusetts Ave, LLC Phone 781-654-6306
 Address of Owner 452 Massachusetts Ave, Ste 203, Arlington, MA 02474
Street City, State, Zip

2. Name of Applicant(s) (if different than above) Same as above
 Address _____ Phone _____
 Status Relative to Property (occupant, purchaser, etc.) _____

3. Location of Property Map 126, Block 1, Lots 6 and 7
Assessor's Block Plan, Block, Lot No.

4. Deed recorded in the Registry of deeds, Book 1523, Page 101 ;
 -or- registered in Land Registration Office, Cert. No. _____, in Book _____, Page _____.

5. Present Use of Property (include # of dwelling units, if any) Retail, Service, Restaurant

6. Proposed Use of Property (include # of dwelling units, if any) Mixed-Use
21 Apartment Units, 1,750 SF Retail

7. Permit applied for in accordance with the following Zoning Bylaw section(s)	<u>3.4</u>	<u>Environmental Design Review</u>
	<u>5.5.2</u>	<u>Dimensional and Density Regulations</u>
	<u>SP</u>	<u>(Mixed-Use <=20,000SF)</u>
	_____	_____
	<small>section(s)</small>	<small>title(s)</small>

8. Please attach a statement that describes your project and provide any additional information that may aid the ARB in understanding the permits you request. Include any reasons that you feel you should be granted the requested permission.
See Attached

(In the statement below, strike out the words that do not apply)

The applicant states that 882-892 Massachusetts Ave, LLC is the owner -or- occupant -or- purchaser under agreement of the property in Arlington located at 882-892 Massachusetts Ave which is the subject of this application; and that unfavorable action -or- no unfavorable action has been taken by the Zoning Board of Appeals on a similar application regarding this property within the last two years. The applicant expressly agrees to comply with any and all conditions and qualifications imposed upon this permission, either by the Zoning Bylaw or by the Redevelopment Board, should the permit be granted.

 Signature of Applicant(s)

 Address Phone



Town of Arlington Redevelopment Board
Application for Special Permit in accordance with
Environmental Design Review (Section 3.4)

Required Submittals Checklist

Two full sets of materials and one electronic copy are required. A model may be requested. Review the ARB's Rules and Regulations, which can be found at arlingtonma.gov/arb, for the full list of required submittals.

- Dimensional and Parking Information Form (see attached)
- Site plan of proposal
- Model, if required
- Drawing of existing conditions
- Drawing of proposed structure
- Proposed landscaping. May be incorporated into site plan
- Photographs
- Impact statement
- Application and plans for sign permits
- Stormwater management plan (for stormwater management during construction for projects with new construction)

FOR OFFICE USE ONLY

- _____ Special Permit Granted Date: _____
- _____ Received evidence of filing with Registry of Deeds Date: _____
- _____ Notified Building Inspector of Special Permit filing Date: _____

TOWN OF ARLINGTON
REDEVELOPMENT BOARD

Petition for Special Permit under Environmental Design Review (see Section 3.4 of the
Arlington Zoning Bylaw for Applicability)

For projects subject to Environmental Design Review, (see Section 3.4), please submit a statement that completely describes your proposal, and addresses each of the following standards.

1. Preservation of Landscape. The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.
2. Relation of Buildings to Environment. Proposed development shall be related harmoniously to the terrain and to the use, scale, and architecture of existing buildings in the vicinity that have functional or visual relationship to the proposed buildings. The Arlington Redevelopment Board may require a modification in massing to reduce the effect of shadows on abutting property in an R0, R1 or R2 district or on public open space.
3. Open Space. All open space (landscaped and usable) shall be so designed as to add to the visual amenities of the vicinity by maximizing its visibility for persons passing the site or overlooking it from nearby properties. The location and configuration of usable open space shall be so designed as to encourage social interaction, maximize its utility, and facilitate maintenance.
4. Circulation. With respect to vehicular, pedestrian and bicycle circulation, including entrances, ramps, walkways, drives, and parking, special attention shall be given to location and number of access points to the public streets (especially in relation to existing traffic controls and mass transit facilities), width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, access to community facilities, and arrangement of vehicle parking and bicycle parking areas, including bicycle parking spaces required by Section 8.13 that are safe and convenient and, insofar as practicable, do not detract from the use and enjoyment of proposed buildings and structures and the neighboring properties.
5. Surface Water Drainage. Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Available Best Management Practices for the site should be employed, and include site planning to minimize impervious surface and reduce clearing and re-grading. Best Management Practices may include erosion control and storm water treatment by means of swales, filters, plantings, roof gardens, native vegetation, and leaching catch basins. Storm water should be treated at least minimally on the development site; that which cannot be handled on site shall be removed from all roofs, canopies, paved and pooling areas and carried away in an underground drainage system. Surface water in all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, and will not create puddles in the paved areas.

In accordance with Section 3.3.4, the Board may require from any applicant, after consultation with the Director of Public Works, security satisfactory to the Board to insure the maintenance of all storm water facilities such as catch basins, leaching catch basins, detention basins, swales, etc. within the site. The Board may use funds provided by such security to conduct maintenance that the applicant fails to do. The Board may adjust in its sole discretion the amount and type of financial security such that it is satisfied that the amount is sufficient to provide for the future maintenance needs.

6. Utility Service. Electric, telephone, cable TV and other such lines and equipment shall be underground. The proposed method of sanitary sewage disposal and solid waste disposal from all buildings shall be indicated.
7. Advertising Features. The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures or features shall not detract from the use and enjoyment of proposed buildings and structures and the surrounding properties. Advertising features are subject to the provisions of Section 6.2 of the Zoning Bylaw.

8. **Special Features.** Exposed storage areas, exposed machinery installations, service areas, truck loading areas, utility buildings and structures, and similar accessory areas and structures shall be subject to such setbacks, screen plantings or other screening methods as shall reasonably be required to prevent their being incongruous with the existing or contemplated environment and the surrounding properties.
9. **Safety.** With respect to personal safety, all open and enclosed spaces shall be designed to facilitate building evacuation and maximize accessibility by fire, police, and other emergency personnel and equipment. Insofar as practicable, all exterior spaces and interior public and semi-public spaces shall be so designed as to minimize the fear and probability of personal harm or injury by increasing the potential surveillance by neighboring residents and passersby of any accident or attempted criminal act.
10. **Heritage.** With respect to Arlington's heritage, removal or disruption of historic, traditional or significant uses, structures, or architectural elements shall be minimized insofar as practicable, whether these exist on the site or on adjacent properties.
11. **Microclimate.** With respect to the localized climatic characteristics of a given area, any development which proposes new structures, new hard-surface ground coverage, or the installation of machinery which emits heat, vapor, or fumes, shall endeavor to minimize, insofar as practicable, any adverse impact on light, air, and water resources, or on noise and temperature levels of the immediate environment.
12. **Sustainable Building and Site Design.** Projects are encouraged to incorporate best practices related to sustainable sites, water efficiency, energy and atmosphere, materials and resources, and indoor environmental quality. Applicants must submit a current Green Building Council Leadership in Energy and Environmental Design (LEED) checklist, appropriate to the type of development, annotated with narrative description that indicates how the LEED performance objectives will be incorporated into the project. [LEED checklists can be found at <http://www.usgbc.org/DisplayPage.aspx?CMSPageID=220b>]

In addition, projects subject to Environmental Design Review must address and meet the following Special Permit Criteria (see Section 3.3.3 of the Zoning Bylaw):

1. The use requested is listed as a special permit in the use regulations for the applicable district or is so designated elsewhere in this Bylaw.
2. The requested use is essential or desirable to the public convenience or welfare.
3. The requested use will not create undue traffic congestion or unduly impair pedestrian safety.
4. The requested use will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.
5. Any special regulations for the use as may be provided in this Bylaw are fulfilled.
6. The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals, or welfare.
7. The requested use will not, by its addition to a neighborhood, cause an excess of the particular use that could be detrimental to the character of said neighborhood.

TOWN OF ARLINGTON
 Dimensional and Parking Information
 for Application to
 The Arlington Redevelopment Board

Docket No. _____

Property Location 882-892 Massachusetts Ave

Zoning District B2

Owner: 882-892 Massachusetts Ave, LLC

Address: 452 Massachusetts Ave, Arlington, MA

Present Use/Occupancy: No. of Dwelling Units:
Retail, Service, Restaurant

Uses and their gross square feet:
1-Story 5,016 SF

Proposed Use/Occupancy: No. of Dwelling Units:
Mixed-Use, 21 Apartment Units & 1,750 SF Retail

Uses and their gross square feet:
4-Story Mixed-Use

	<u>Present Conditions</u>	<u>Proposed Conditions</u>	<u>Min. or Max. Required by Zoning for Proposed Use</u>
Lot Size	14,381 SF	14,381 SF	min. ----
Frontage	208 FT	208 FT	min. ----
Floor Area Ratio	0.35	1.23	max. 1.5
Lot Coverage (%), where applicable	34.9%	30.8%	max. ----
Lot Area per Dwelling Unit (square feet)	N/A	685 SF	min. ----
Front Yard Depth (feet)	0 FT	2.7 FT	min. ----
Side Yard Width (feet) right side	--	--	min. ----
left side	1.3 FT	3.4 FT	min. ----
Rear Yard Depth (feet)	53.6 FT	63.0 FT	min. 20.3 FT
Height	----	----	min. ----
Stories	1-STORY	4-STORY	stories 4-STORY
Feet	13.5 FT	47'-4" FT	feet 50 FT
Open Space (% of G.F.A.)	----	----	min. ----
Landscaped (square feet)	760 SF	1,226 SF(10.6%)	(s.f.) 1,161 SF (10%)
Usable (square feet)	0 SF	2,325 SF(20%)	(s.f.) 2,323 SF (20%)
Parking Spaces (No.)	UNKNOWN	23 SPACES	min. 25 SPACES
Parking Area Setbacks (feet), where applicable	0 FT	5 FT	min. 5 FT
Loading Spaces (No.)	N/A	N/A	min. N/A
Type of Construction	NEW CONSTRUCTION		
Distance to Nearest Building	12.1 FT	18.3 FT	min.

PETITION FOR SPECIAL PERMIT UNDER ENVIRONMENTAL DESIGN REVIEW

TABLE OF CONTENT

RE: 882-892 Massachusetts Avenue

1. Petition for Special Permit under Environmental Design Review
2. Supplemental Information with respect to Petition under Environmental Design Review
3. Required Submittals Checklist
4. Dimensional and Parking Information
5. Plans and rendering
6. Correspondence from Kristen Welch, Greater Metropolitan Real Estate
7. LEEDS
8. Storm water management plan



TOWN OF ARLINGTON
REDEVELOPMENT BOARD

Application for Special Permit In Accordance with Environmental Design
Review Procedures (Section 3.4 of the Zoning Bylaw)

Docket No. _____

1. Property Address 882-892 Massachusetts Ave
 Name of Record Owner(s) 882-892 Massachusetts Ave, LLC Phone 781-654-6306
 Address of Owner 452 Massachusetts Ave, Ste 203, Arlington, MA 02474
Street City, State, Zip
2. Name of Applicant(s) (if different than above) Same as above
 Address _____ Phone _____
 Status Relative to Property (occupant, purchaser, etc.) _____
3. Location of Property Map 126, Block 1, Lots 6 and 7
Assessor's Block Plan, Block, Lot No.
4. Deed recorded in the Registry of deeds, Book 1523, Page 101;
 -or- registered in Land Registration Office, Cert. No. _____, in Book _____, Page _____
5. Present Use of Property (include # of dwelling units, if any) Retail, Service, Restaurant
6. Proposed Use of Property (include # of dwelling units, if any) Mixed-Use
22 Apartment Units, 700 SF Retail
7. Permit applied for in accordance with the following Zoning Bylaw section(s)

<u>3.4</u>	<u>Environmental Design Review</u>
<u>5.26</u>	<u>Open Space</u>
<u>5.53</u>	<u>Mixed-Use</u>
<small>section(s)</small>	<small>title(s)</small>
8. Please attach a statement that describes your project and provide any additional information that may aid the ARB in understanding the permits you request. Include any reasons that you feel you should be granted the requested permission.
 See Attached

(In the statement below, strike out the words that do not apply)

The applicant states that 882-892 Massachusetts Ave, LLC is the owner -or- occupant -or- purchaser under agreement of the property in Arlington located at 882-892 Massachusetts Ave which is the subject of this application; and that unfavorable action -or- no unfavorable action has been taken by the Zoning Board of Appeals on a similar application regarding this property within the last two years. The applicant expressly agrees to comply with any and all conditions and qualifications imposed upon this permission, either by the Zoning Bylaw or by the Redevelopment Board, should the permit be granted.

Signature of Applicant(s)

1171 Mass Ave., Arlington, MA 02476

Address

781-646-4911

Phone

TOWN OF ARLINGTON

REDEVELOPMENT BOARD

Petition for Special Permit under Environmental Design Review (see Section 3.4. of the Arlington Zoning Bylaw for Applicability)

1. Preservation of Landscape.

Landscaping has been provided on the submitted plans and one parking space has been eliminated in order to add green space to the site and in addition tree plantings are proposed along the Lockland Avenue side of the property which abuts the residential neighborhood.

2. Relation of Buildings to Environment.

The existing site contains a number of small retail stores with the height of the existing building comprising the stores being one story. Petitioner proposes a four story residential commercial mixed use building at the site and suggests to the Members of the Arlington Redevelopment Board that the proposed building will relate harmoniously to the terrain and to the use, scale and architecture of existing buildings in the vicinity of the property. The abutting building on the westerly side of the site consists of a six story apartment building and the proposed building will not adversely impact that abutting apartment building but essentially will be compatible with the physical characteristics of that building. The building fronts on Massachusetts Avenue and the property located along the easterly side of the property across Lockland Avenue consists of a bank with a large parking lot and a drive up teller operation.

The building across Massachusetts Avenue consists of a mixed use building recently approved by the Arlington Redevelopment Board consisting of three retail units on the first level and 2, two bedroom units on the second level and 2, two bedrooms units on the third level with parking located to the rear of that building.

The building which is the subject of this Petition has been designed having in mind that its physical characteristics should not have an adverse massing effect on the residential properties to the rear of the building and also not create a

shadow impact with respect to the residential properties.

3. Open Space.

The landscaped open space at the property would improve with respect to the construction with landscaped square feet being increased from 0 square feet to 1,470 square feet, i.e. 10.2%. The useable open space would be 1,707 square feet, i.e. 11.9% and would require a Special Permit.

4. Circulation.

The circulation with respect to vehicular, pedestrian and bicycle circulation, including entrances and exits are shown on Petitioner's plans and provide for twenty-five (25) parking spaces, outdoor bicycle racks, an indoor short-term bicycle room and a long-term bicycle room which would be accessed by an elevator down to the basement level. All vehicular traffic will enter and exit on the Lockland Avenue side of the property and relevant signage will direct traffic in and out of the parking area.

The total parking spaces at the property will in part consist of a long-term storage bicycle room in the basement which will have the capacity to store twenty-four bicycles with the tenants taking the elevator down one story to that storage room and tenants will also have the option to use other storage areas which are rather of a large capacity in the basement for storage of their bicycles as well.

On the first floor of the building there will be a combination mailroom with "hanging short term" bicycle storage for nine (9) bicycles and the entrance to that room would occur as one rounds Massachusetts Avenue onto Lockland Avenue onto a flat surface with no stairs of any kind being utilized with the result that tenants will have direct access to that short-term bicycle room. There will also be two (2) outdoor short-term bicycle storage racks which will be able to hold another eight to ten bicycles.

The total capacity for bicycle store at the property will be at least forty (40) bicycles.

5. Surface Water Drainage.

The Petitioner has engaged the services of Allen & Major Associates and that firm has conducted a storm water management study and has drafted a mixed-use redevelopment drainage summary letter dated February 26, 2020 which is addressed to Jennifer Raitt, Director of Planning and Community Development describing the existing conditions at the site and proposed conditions at the site.

The report in part provides that the Petitioner proposes to demolish the existing structure and construct a four story 4,693 square foot mixed use building with a combination of residential and retail uses.

There will be twenty-two (22) residential apartments and a 700 square foot retail component and the parking area would be reconstructed within the constraints of the existing pavement area.

The storm water management system would be improved with the installation of a new catch basin with a sump and hood at the outlet pipe to provide storm water treatment. The quantity of storm water runoff would be reduced with the installation of landscaped areas on site as shown on Petitioner's plans.

The proposed work would result in approximately 1,440 square feet of impervious material being replaced with landscaped areas.

Runoff flows were estimated for both pre and post development conditions and the chart in the study points No. 1 and No. 2 contained on the second page of the report demonstrate that flows will enter the on-site catch basin and discharge to the municipal drainage system. In addition the storm water flows that flow onto Massachusetts Avenue will be collected within the street catch basin.

Both study points show that the project will cause a reduction in the peak rate of runoff and volume of storm water leaving the site at both study points No. 1 and No. 2.

In summary, the report indicates that the proposed development will have a positive impact on the sewer water management system by reducing the rate and volume of storm water runoff from the site.

Aaron Mackey, the Representative of Allen & Major Associates has spoken with the Town Engineer with respect to the proposed construction and the Town Engineer has indicated his approval of the storm water drain management system proposed by Petitioner.

6. Utility Service.

All utility service will be located underground.

7. Advertising Features.

There are currently no plans for advertising although advertising signs may be required once a tenant is signed up for the commercial space. It would be the Petitioner's expectation that the signage required could be handled administratively with the Planning Department but if that is not the case then of course a Special Permit would be required.

The owner has indicated that there is a possibility of having an office tenant occupy all of the 700 square feet of commercial base.

8. Special Features.

All equipment servicing the building will be located on the roof such as heating, air conditioning, etc. and will be set back in such a fashion that most of it will be buffered from the view of individuals at ground level by the building parapet. The dumpsters and the totes are located in the back of the property as shown on Petitioner's plans and are sufficient for the needs of both the residential tenants and any future commercial tenants as well.

9. Safety.

The access to and from the parking area at the building is sufficient for fire apparatus to access the property from the parking lot as well as any emergency personnel and equipment.

10. Heritage.

The property is not on the Arlington Historical list and is not in a historical district.

11. Microclimate.

The owner does not contemplate that there will be any installation of machinery which emits heats, vapor or fumes from the site in connection with the proposed construction.

12. Sustainable Building and Site Design.

Petitioner has submitted a LEED checklist prepared by Market Square Architects, LLC entitled: LEED v4 for Building Design and Construction: Homes and Multifamily Lowrise - Project Name: 882-892 Massachusetts Ave, Arlington, MA 02476 – dated March 26, 2020.

The substance of the checklist shows the type of building materials to be used at the site and will demonstrate how the LEED performance objectives will be incorporated into the project.

In addition, projects subject to Environmental Design Review must address and meet the following Special Permit Criteria (see Section 3.3.3 of the Zoning Bylaw):

1. The use requested is listed as a special permit in the use regulations for the applicable district or is so designated elsewhere in this Bylaw.

See Section 3.4 of the Zoning Bylaw and Section 5.5.3 of the Zoning Bylaw which allows an apartment building in a B2 zone.

2. The requested use is essential or desirable to the public convenience or welfare.

It has become more and more apparent over the last year or two that there is dire need for additional residential living space, not only in the Town but in the State as well. The Master Plan for the Town encourages owners and developers to create additional living space in the Town, therefore the creation of twenty-two (22) additional residential units would be essential or desirable to the public convenience or welfare. There will be three (3) affordable housing units located in the building.

3. The requested use will not create undue traffic congestion or unduly impair pedestrian safety.

Proper and adequate steps have been taken to design the parking and traffic circulation at the site appropriately so that there will not be impairment of pedestrian safety.

4. The requested use will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.

The requested use will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.

5. Any special regulations for the use as may be provided in this Bylaw are fulfilled.

Not applicable.

6. The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals or welfare.

The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals or welfare of inhabitants of the Town or the neighborhood in which the property is located because the construction will occur in a mixed commercial and residential area fronting on Massachusetts Avenue which is mainly commercial in the neighborhood of the property and the proposed construction will not adversely impact neighboring properties whether commercial or residential.

- 7. The requested use will not, by its addition to a neighborhood, cause and excess of the particular use that could be detrimental to the character of said neighborhood.**

The proposed construction will not cause an excess of that use in the neighborhood of the property, particularly so in light of the fact that there is a need for additional residential living space and the creation of additional living space is encouraged by the Town Master Plan and the Amended Zoning Bylaw.

**SUPPLEMENT INFORMATION WITH RESPECT TO PETITION UNDER
ENVIRONMENTAL DESIGN REVIEW
SECTION 3.4 of the Arlington Zoning Bylaw**

The 822-892 Massachusetts Avenue real estate contains a total size of 14,381 square feet and is identified on the Town's Tax Map 126 Block 1 as Lots 6 and 7 with Lot 6 covered by an existing one story brick building containing approximately 4,780 square feet consisting of four separate retail stores and Lot 7 consisting of a paved parking area comprising the balance of the property of 9,595 square feet.

The property is located in a B2 Zone as defined within the Arlington Zoning Bylaw.

Petitioner proposes to construct a twenty-two (22) unit mixed use development at the property after demolishing the existing building.

The Petition for Zoning Relief is filed under Section 3.4., i.e. Environmental Design Review as well as the mixed use section of the bylaw defined in the Table of Dimensional and Density Regulations D District Lot Regulations, Sections 526 through 530.

Petitioner proposes in addition to the twenty-two (22) one bedroom residential units to have an office use within the building containing approximately 700 square feet.

The building would contain four stories and there would be twenty-five (25) parking spots within the paved parking portion of the property.

Access to the parking area would be through the curb cut which currently exists on the Lockland Avenue easterly side of the property onto Lockland Avenue.

There would be clearly marked signs indicating the entrance and exist points to and from the parking lot and the parking spots would be clearly marked and lined and would also comply with the parking regulations contained within the Zoning Bylaw with respect to length and width.

The building itself would contain three (3) affordable housing units and there would be ample bicycle parking provided for both with respect to outside bicycle racks, an indoor short term bicycle room and an indoor long term bicycle room. In addition residents would have ample room in their storage units to store bicycles if they so desired.

The proposed bicycle rooms and bicycle parking are depicted on the plans submitted with the Petitioner's Application.

The landscaped space at the property would improve with respect to the construction with the landscaped square feet being increased from 0 square feet to 1,470 square feet, i.e. 10.2%. The useable open space would be 1,707 square feet, i.e. 11.9% and would require a Special Permit.

The front yard setback of the property is currently 0 feet and would be increased 2.8 feet while the zoning requirement in a mixed use development would be 0 feet.

The right side yard setback which is currently 53.6 feet would be increased to 65.3 feet and the left side yard setback would be increased from 1.3 feet to 1.9 feet.

The height of the building would increase from one story to four stories or from 13.5 feet to 39 feet while the zoning bylaw allows a 50 foot height.

The floor area ratio which is presently 0.35 would increase to 1.25 while the maximum required by the zoning bylaw is 1.50.

The abutting property on the westerly side of the building is a six floor multi-unit apartment building and the property located on the easterly side of Lockland Avenue consists of a large parking area and a bank while the abutter properties to the rear consist of residential properties.

Directly across the street is a three level building recently approved by the Arlington Redevelopment Board for three retail stores on the first level, 2 two-bedroom residential units on the second floor and 2 additional two-bedroom units on the second level.

Diagonally across Massachusetts Avenue there is a large Stop & Shop store complex with an accompanying parking area and a liquor store located between the Stop & Shop store and the building mentioned previously recently approved by the Arlington Redevelopment Board.

The Arlington High School is located diagonally across from the property in a north-easterly direction.

The property is located in a long existing mixed use area with a combination of residential and commercial uses with the uses mainly located on Massachusetts Avenue being commercial uses.

Petitioner's plans have been designed to comport with the provisions of the zoning bylaw at Section 5.5.1, further subsection (b) which defines a B2 Zoning District as follows:

B2: Neighborhood Business District. The Neighborhood Business District is intended for small retail and service establishments serving the needs of adjacent neighborhoods and oriented to pedestrian traffic, and mixed-use buildings. Locations are almost all along Massachusetts Avenue or Broadway. The Town discourages uses that would detract from the district's small-scale business character or otherwise interfere with the intent of this Bylaw.

The property has been the subject of prior zoning cases in 1988 and 1991 before the Zoning Board of Appeals for special permits and not for variances and those zoning cases would now be superseded by any action of the Arlington Redevelopment Board with respect to its Special Permit authority under Environmental Design Review and with respect to the Special Permit relief requested by Petitioner.

The owners of the property have indicated their preference for twenty-two (22) one bedroom residential units with respect to the development in part based upon a report they have obtained from Greater Metropolitan Real Estate at 872 Main Street, Winchester, Massachusetts, Kristen Welch, the substance of which indicates that following a study of the real estate market in Arlington and particularly in the neighborhood of the property which is the subject of the

Petition that studio and one bedroom units are always the most sought after and have always been rented fairly quickly.

Two bedroom units will rent but will take longer according to Ms. Welch. She indicates that on average two professional roommates are the most likely clients for a two or even a three bedroom unit and they are willing to pay the higher rental amount attributable to the multi bedroom units.

She indicates that the high rents for such units do not generally attract families.

She further indicates that with proximity to the bike path and bus line most of her clients are young professionals who use the proximity to the bike path and use the adjacent bus line for travelling to and from work in Cambridge, Boston or other nearby cities and towns.

She indicates that she does represent families but the families she represents are mainly looking for a multi-family or single family home with a yard.



Town of Arlington Redevelopment Board
 Application for Special Permit in accordance with
 Environmental Design Review (Section 3.4)

Required Submittals Checklist

Two full sets of materials and one electronic copy are required. A model may be requested. Review the ARB's Rules and Regulations, which can be found at arlingtonma.gov/arb, for the full list of required submittals.

- Dimensional and Parking Information Form (see attached)
- Site plan of proposal
- Model, if required
- Drawing of existing conditions
- Drawing of proposed structure
- Proposed landscaping. May be incorporated into site plan
- Photographs
- Impact statement
- Application and plans for sign permits
- Stormwater management plan (for stormwater management during construction for projects with new construction)

FOR OFFICE USE ONLY

_____ Special Permit Granted Date: _____

_____ Received evidence of filing with Registry of Deeds Date: _____

_____ Notified Building Inspector of Special Permit filing Date: _____

TOWN OF ARLINGTON

Dimensional and Parking Information
for Application to
The Arlington Redevelopment Board

Docket No. _____

Property Location 882-892 Massachusetts Ave

Zoning District B2

Owner: 882-892 Massachusetts Ave, LLC

Address: 452 Massachusetts Ave, Arlington, MA

Present Use/Occupancy: No. of Dwelling Units:

Uses and their gross square feet:

Retail, Service, Restaurant

1-Story 5,016 SF

Proposed Use/Occupancy: No. of Dwelling Units:

Uses and their gross square feet:

Mixed-Use, 22 Apartment Units & 700 SF Retail

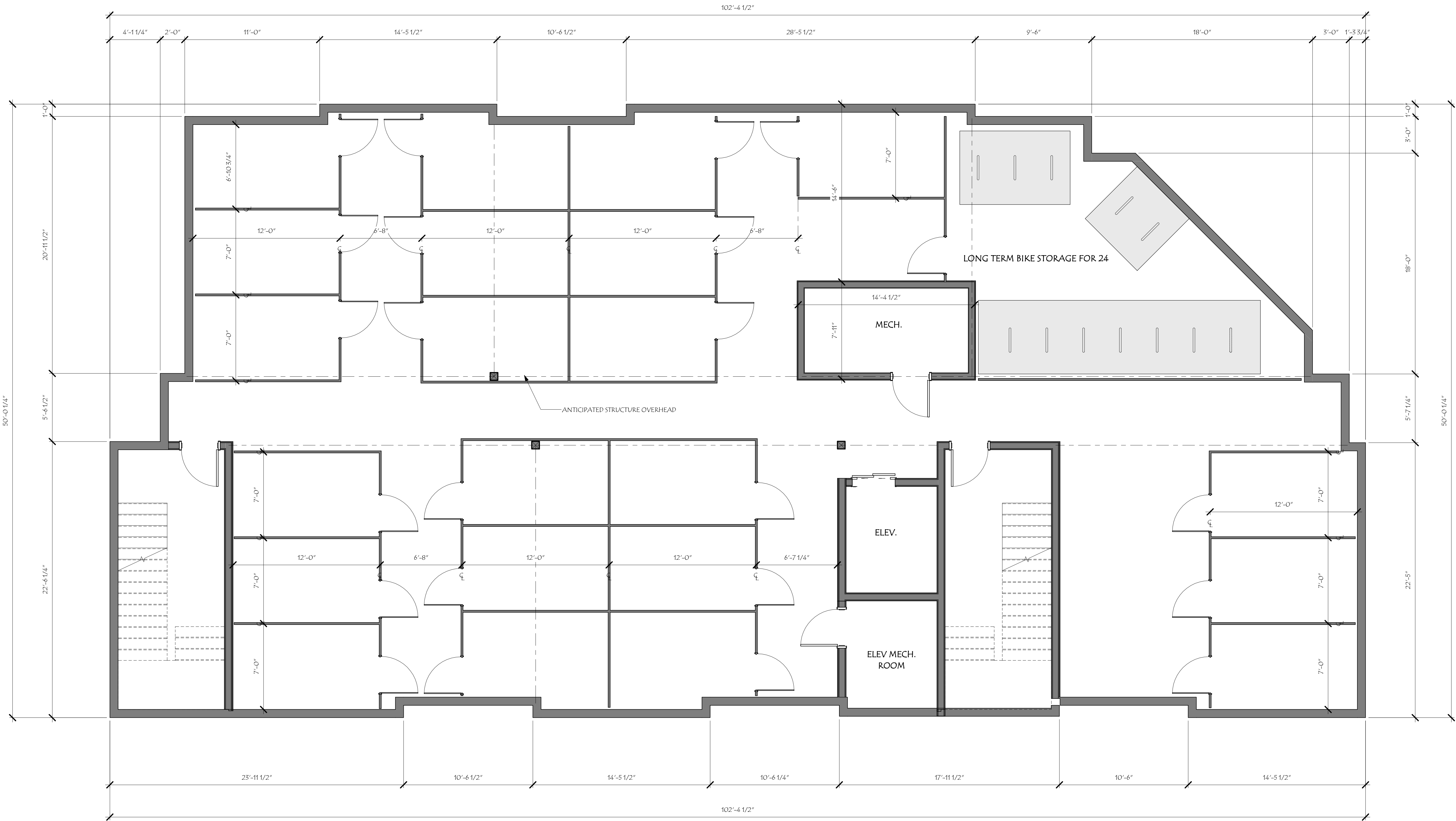
4-Story Mixed-Use 18,009 GSF

	Present Conditions	Proposed Conditions	Min. or Max. Required by Zoning for Proposed Use
Lot Size	14,381 SF	14,381 SF	min. ----
Frontage	208 FT	208 FT	min. ----
Floor Area Ratio	0.35	1.25	max. 1.5
Lot Coverage (%), where applicable	34.9%	32.6%	max. ----
Lot Area per Dwelling Unit (square feet)	N/A	654 SF	min. ----
Front Yard Depth (feet)	0 FT		min. ----
Side Yard Width (feet)			
right side	53.6 FT	65.3 FT	min. ----
left side	1.3 FT	1.9 FT	min. ----
Rear Yard Depth (feet)	N/A	N/A	min. N/A
Height	----	-----	min. -----
Stories	1-STORY	4-STORY	stories 4-STORY
Feet	13.5 FT	39 FT	feet 50 FT
Open Space (% of G.F.A.)	-----	-----	min. -----
Landscaped (square feet)	0 SF	1,470 SF(10.2%) _(s.f.)	1,438 SF (10%)
Usable (square feet)		1,707 SF(11.9%) _(s.f.)	2,876 SF (20%)
Parking Spaces (No.)	UNKNOWN	25 SPACES	min. 25 SPACES
Parking Area Setbacks (feet), where applicable	0 FT	1 FT	min. 5 FT
Loading Spaces (No.)	N/A	N/A	min. N/A
Type of Construction	NEW CONSTRUCTION		
Distance to Nearest Building	12.1 FT	16.3 FT	min.

NOT FOR CONSTRUCTION

ARLINGTON MIXED USE

892 MASS AVE
 ARLINGTON, MA



1 BASEMENT
 1/4" = 1'-0"

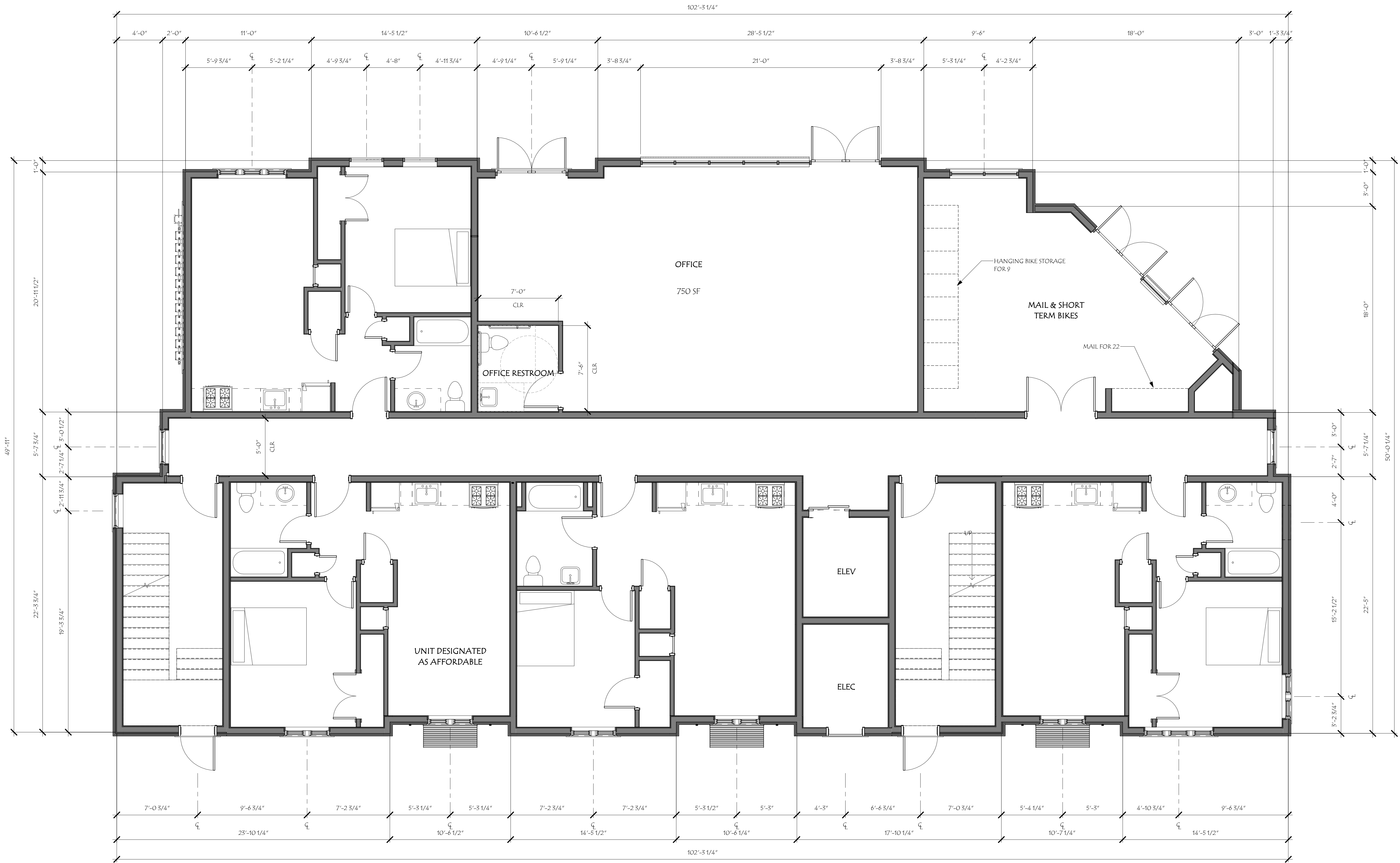
Revisions:	#	Description	Date

Scale:	1/4" = 1'-0"
Drawn By:	PPS
Checked By:	ALW
Project No.:	2020004
Date:	04/05/20

Title:
BASEMENT FLOOR PLAN

A1.00

NOTE:
SEE CIVIL FOR SITE INFORMATION.



NOT FOR CONSTRUCTION

ARLINGTON MIXED USE

892 MASS AVE
ARLINGTON, MA

Revisions:	#	Description	Date

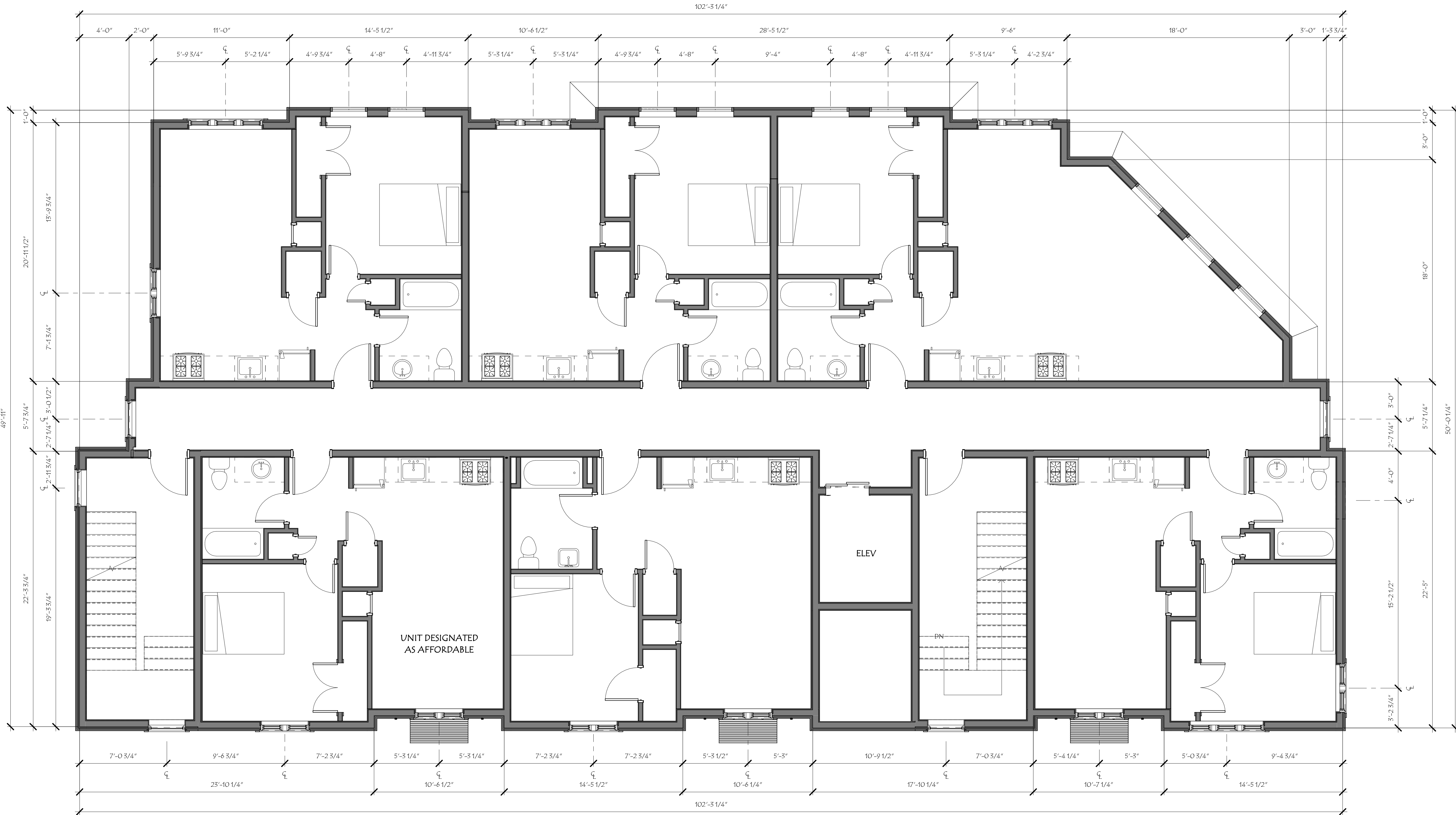
Scale:	1/4" = 1'-0"
Drawn By:	PPS
Checked By:	ALW
Project No.:	20200004
Date:	04/05/20

Title:	FIRST FLOOR PLAN
	A1.01

NOT FOR CONSTRUCTION

ARLINGTON MIXED USE

892 MASS AVE
 ARLINGTON, MA



1 2ND AND 3RD FLOORS
 1/4" = 1'-0"

Revisions:	Description	Date
#		

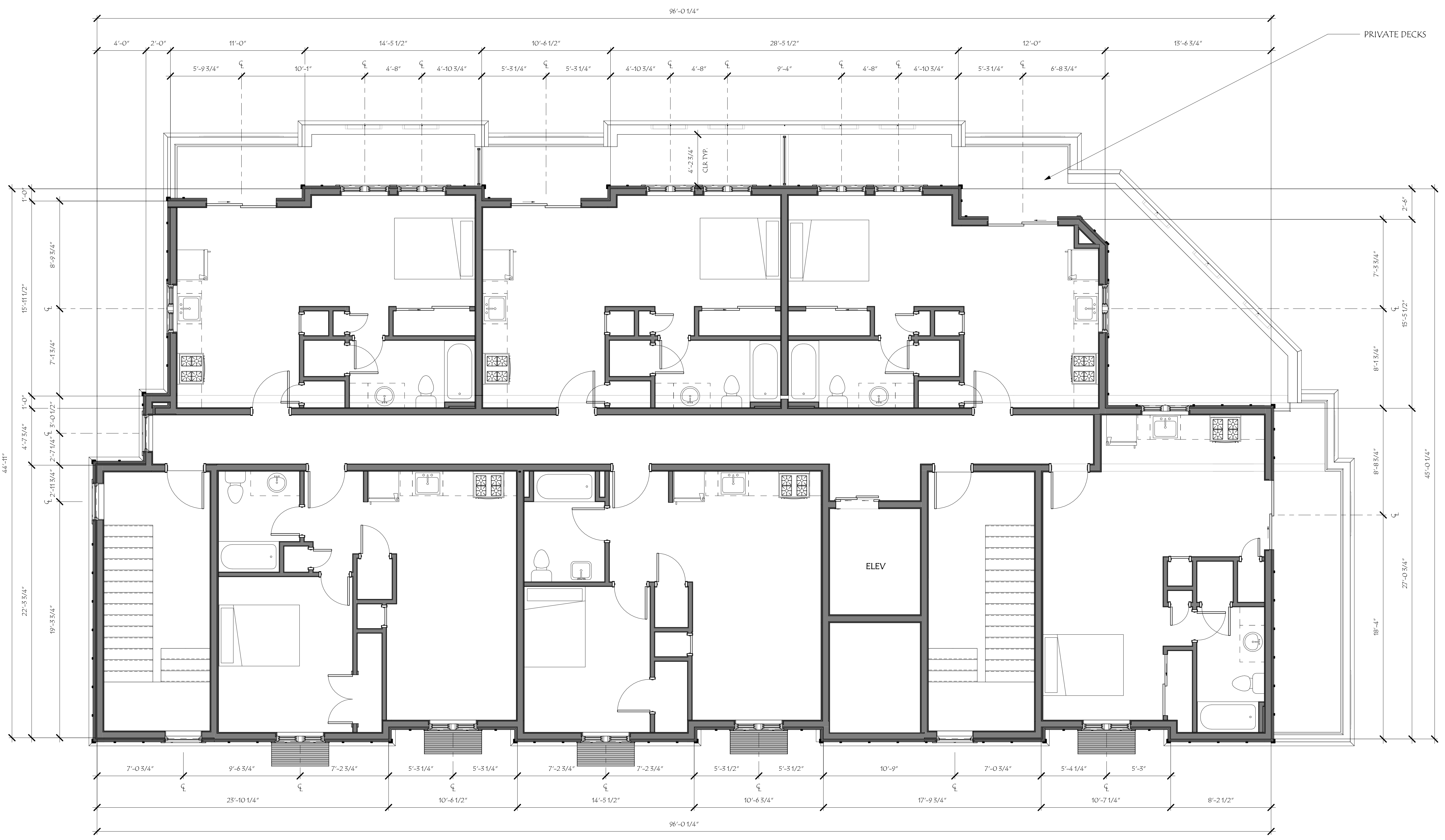
Scale:	1/4" = 1'-0"
Drawn By:	PPS
Checked By:	ALW
Project No.:	2020004
Date:	04/05/20

Title:
SECOND AND THIRD FLOOR PLAN

A1.02

NOT FOR CONSTRUCTION

ARLINGTON MIXED USE
 892 MASS AVE
 ARLINGTON, MA



1 4TH FLOOR
 1/4" = 1'-0"

Revisions:	#	Description	Date
	1/4" = 1'-0"	PPS	
		ALW	
		Project No.: 20200004	04/05/20
		Date:	

Title: **FOURTH FLOOR PLAN**
 A1.03

NOT FOR CONSTRUCTION

ARLINGTON MIXED USE

892 MASS AVE
 ARLINGTON, MA

Revisions:	Description	Date

Scale:	1/8" = 1'-0"
Drawn By:	PPS
Checked By:	ALW
Project No.:	2020004
Date:	04/05/20

Title:	BUILDING ELEVATIONS
Scale:	A2.00



3 CORNER ELEVATION
 1/8" = 1'-0"



2 SOUTH ELEVATION
 1/8" = 1'-0"



1 NORTH ELEVATION
 1/8" = 1'-0"



5 WEST ELEVATION
 1/8" = 1'-0"



4 EAST ELEVATION
 1/8" = 1'-0"



NOT FOR CONSTRUCTION

ARLINGTON MIXED USE
892 MASS AVE
ARLINGTON, MA

Revisions:	#	Description	Date

Scale:	PPS	ALW
Drawn By:		
Checked By:		
Project No.:	2020004	
Date:	04/05/20	

Title:	3D RENDER- MASS AVE
	A9.00



NOT FOR CONSTRUCTION

ARLINGTON MIXED USE
892 MASS AVE
ARLINGTON, MA

Revisions:	#	Description	Date

Scale:	PPS	ALW
Drawn By:		
Checked By:		
Project No.:	2020004	
Date:	04/05/20	

Title:	3D RENDER - LOCKELAND
	A9.01



To whom it may concern,

I have had experience in the rental market in Arlington over the last 8 plus years. I currently have many exclusive landlords that I work with in Arlington and about 60 plus units. The studio and one bedroom units are always the most sought after and always move fairly quickly. Two bedroom units will rent but do take longer. Professional couple wanting a home office or two professional roommates is the most common client for a 2 bed especially in a building and they are willing to pay the high end price. The new and modern two bedroom rentals in a building are usually high end and priced high so this does not attract families. Also on Mass Ave with a bike path and bus line most of my clients are young professionals and not families. I do have some families but mainly looking for a multi family or single family with a yard and neighborhood where you get more or your money. Hope this helps with your research and rental in the Mass Ave Arlington area.

Thanks,

Kristine Welch

Greater Metropolitan Real Estate

872 Main St Winchester, Ma 01890



LEED v4 for Building Design and Construction: Homes and Multifamily Lowrise

Project Checklist

Project Name: 882-892 Massachusetts Ave, Arlington, MA 02476

Date: 3/26/2020

Y ? N

Y	?	N	Credit	Integrative Process	2
8	5	0	Location and Transportation		15
Y			Prereq	Floodplain Avoidance	Required
PERFORMANCE PATH					
			Credit	LEED for Neighborhood Development Location	15
PRESCRIPTIVE PATH					
4	3		Credit	Site Selection	8
2			Credit	Compact Development	3
	2		Credit	Community Resources	2
2			Credit	Access to Transit	2
2	2	0	Sustainable Sites		7
Y			Prereq	Construction Activity Pollution Prevention	Required
Y			Prereq	No Invasive Plants	Required
	1		Credit	Heat Island Reduction	2
	1		Credit	Rainwater Management	3
2			Credit	Non-Toxic Pest Control	2
4	1	0	Water Efficiency		12
Y			Prereq	Water Metering	Required
PERFORMANCE PATH					
			Credit	Total Water Use	12
PRESCRIPTIVE PATH					
4			Credit	Indoor Water Use	6
	1		Credit	Outdoor Water Use	4
15	12	0	Energy and Atmosphere		38
Y			Prereq	Minimum Energy Performance	Required
Y			Prereq	Energy Metering	Required
Y			Prereq	Education of the Homeowner, Tenant or Building Manager	Required
PERFORMANCE PATH					
			Credit	Annual Energy Use	29
BOTH PATHS					
2	3		Credit	Efficient Hot Water Distribution System	5
			Credit	Advanced Utility Tracking	2
1			Credit	Active Solar Ready Design	1
	1		Credit	HVAC Start-Up Credentialing	1
PRESCRIPTIVE PATH					
Y			Prereq	Home Size	Required
			Credit	Building Orientation for Passive Solar	3
2			Credit	Air Infiltration	2
	1		Credit	Envelope Insulation	2
3			Credit	Windows	3
			Credit	Space Heating & Cooling Equipment	4

EA PRESCRIPTIVE PATH (continued)					
	3		Credit	Heating & Cooling Distribution Systems	3
	3		Credit	Efficient Domestic Hot Water Equipment	3
2			Credit	Lighting	2
2			Credit	High Efficiency Appliances	2
3	1		Credit	Renewable Energy	4

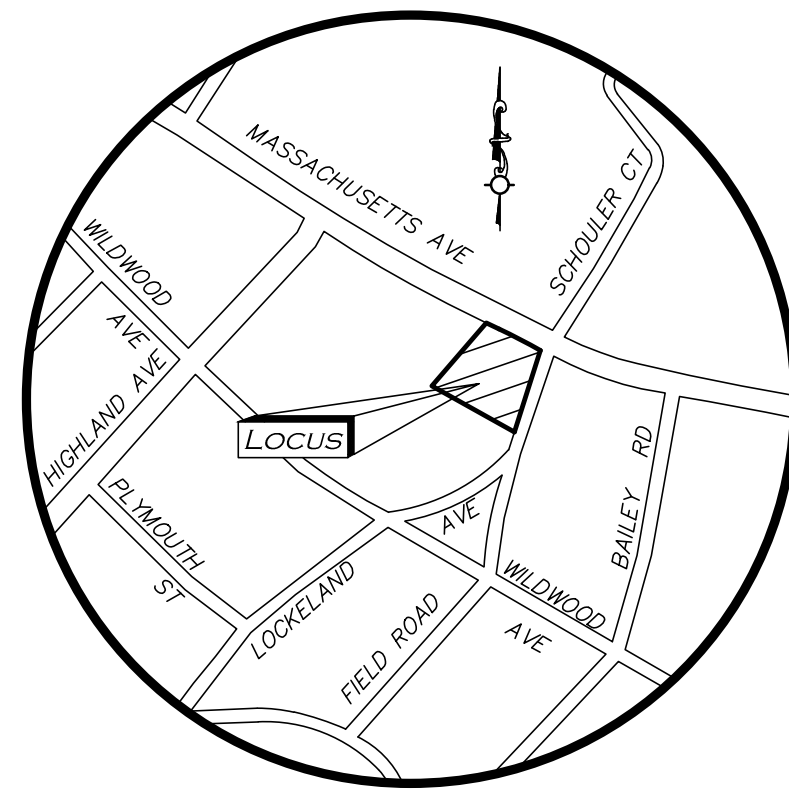
6	2	0	Materials and Resources		10
Y			Prereq	Certified Tropical Wood	Required
Y			Prereq	Durability Management	Required
	1		Credit	Durability Management Verification	1
3	1		Credit	Environmentally Preferable Products	4
3			Credit	Construction Waste Management	3
			Credit	Material Efficient Framing	2

7	2	0	Indoor Environmental Quality		16
Y			Prereq	Ventilation	Required
Y			Prereq	Combustion Venting	Required
Y			Prereq	Garage Pollutant Protection	Required
Y			Prereq	Radon-Resistant Construction	Required
Y			Prereq	Air Filtering	Required
Y			Prereq	Environmental Tobacco Smoke	Required
Y			Prereq	Compartmentalization	Required
1			Credit	Enhanced Ventilation	3
2			Credit	Contaminant Control	2
	2		Credit	Balancing of Heating and Cooling Distribution Systems	3
1			Credit	Enhanced Compartmentalization	1
			Credit	Enhanced Combustion Venting	2
			Credit	Enhanced Garage Pollutant Protection	2
3			Credit	Low Emitting Products	3

0	2	0	Innovation		6
Y			Prereq	Preliminary Rating	Required
	1		Credit	Innovation	5
	1		Credit	LEED AP Homes	1

0	0	0	Regional Priority		4
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1

42	26	0	TOTALS		Possible Points: 110
<p>Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110</p>					



LOCUS MAP
NOT TO SCALE

SITE DEVELOPMENT PLAN SET

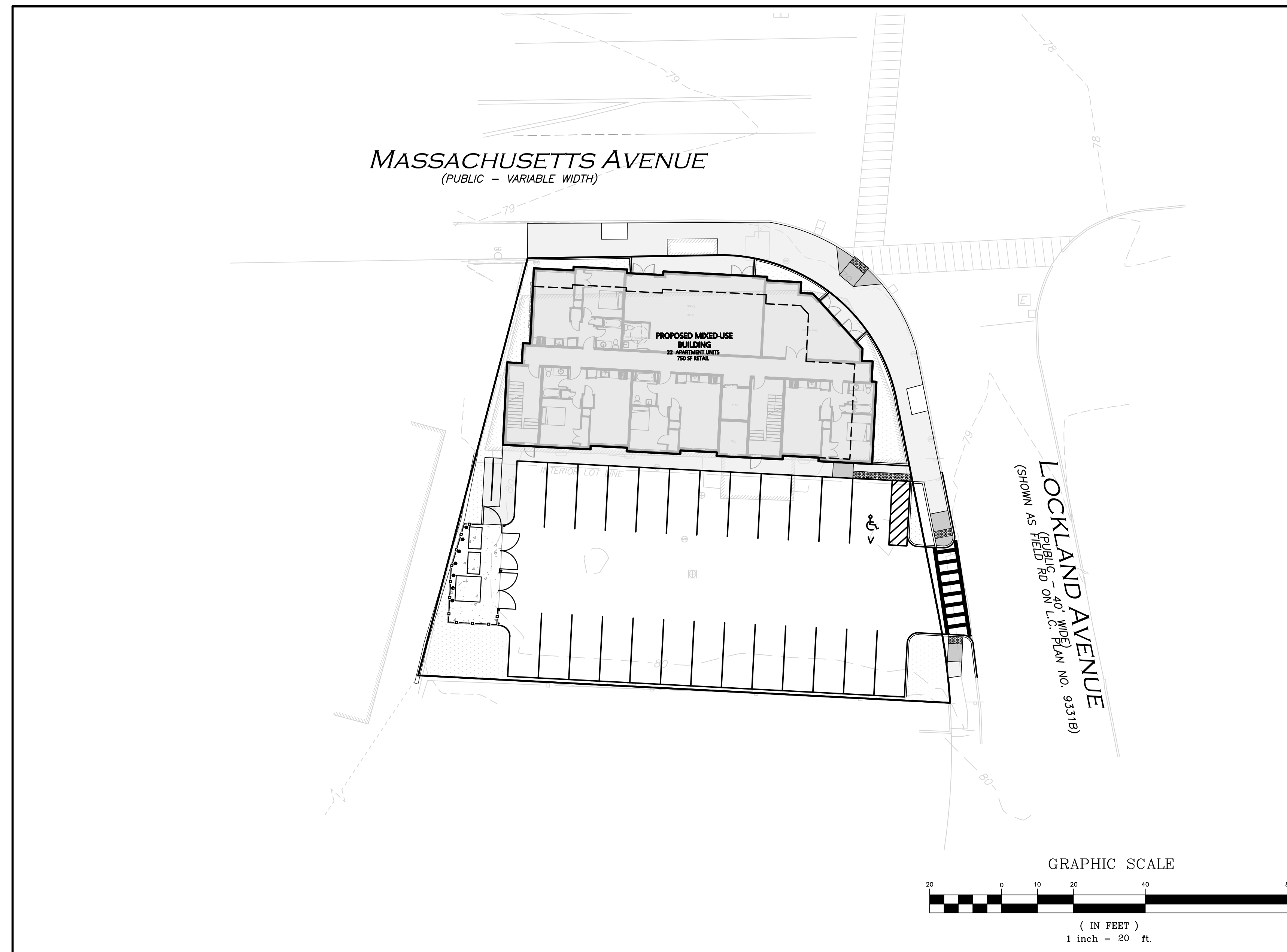
882-892 MASSACHUSETTS AVE

ARLINGTON, MA 02476

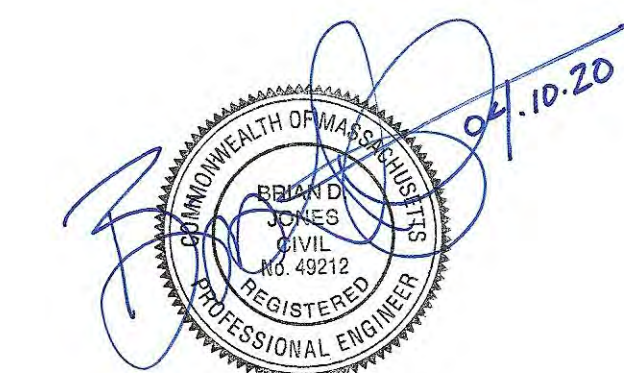
APPLICANT:
882-892 MASSACHUSETTS AVE, LLC
452 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

ARCHITECT:
MARKET SQUARE ARCHITECTS
104 CONGRESS STREET, STE 203
PORTSMOUTH, NH 03801
(603) 501-0202

**CIVIL ENGINEER, LANDSCAPE ARCHITECT &
LAND SURVEYOR:**
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801
(781) 985-6889



LIST OF DRAWINGS			
DRAWING TITLE	SHEET	ISSUED	REVISED
EXISTING CONDITIONS	V-101	4/10/2020	-
SITE PREPARATION PLAN	C-101	4/10/2020	-
LAYOUT & MATERIALS PLAN	C-102	4/10/2020	-
GRADING & DRAINAGE PLAN	C-103	4/10/2020	-
UTILITIES PLAN	C-104	4/10/2020	-
DETAILS	C-501	4/10/2020	-
DETAILS	C-502	4/10/2020	-
DETAILS	C-503	4/10/2020	-
LANDSCAPE PLAN	L-101	4/10/2020	-
LANDSCAPE DETAILS	L-501	4/10/2020	-



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

PREPARED BY:

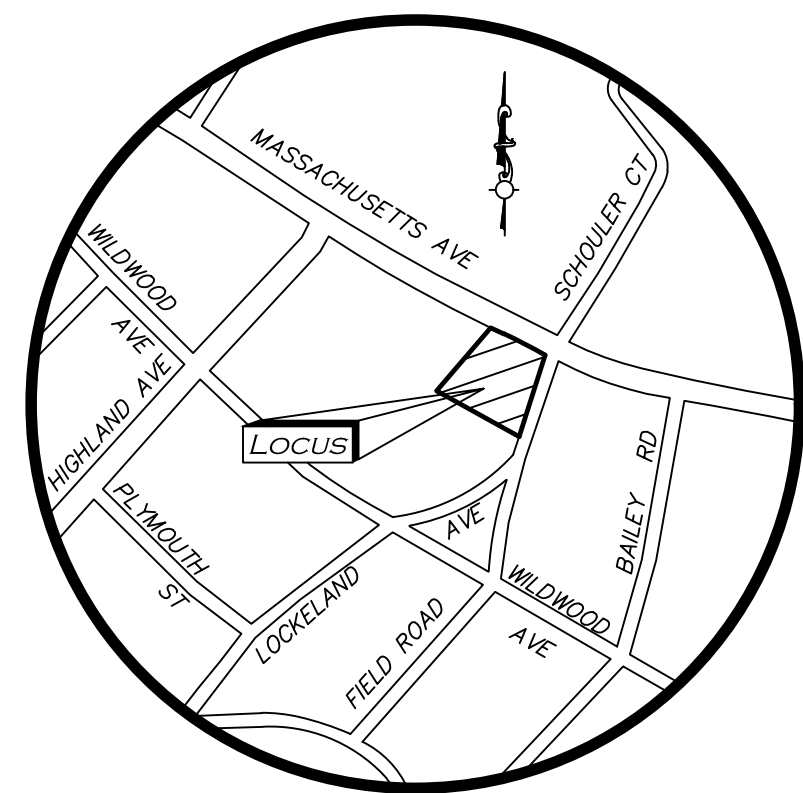


**ALLEN & MAJOR
ASSOCIATES, INC.**

civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

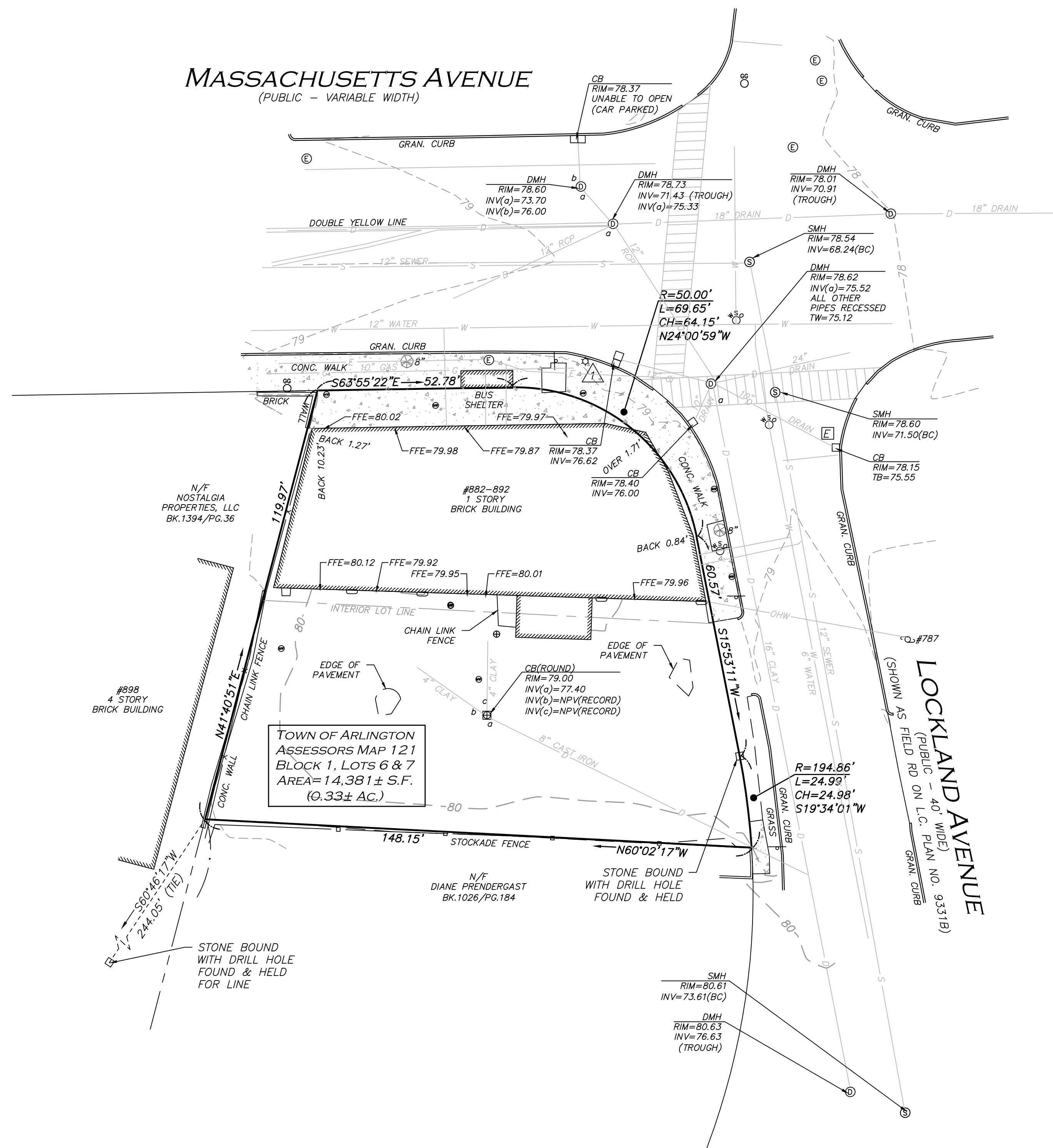
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

ISSUED FOR ARB REVIEW: 4/10/2020



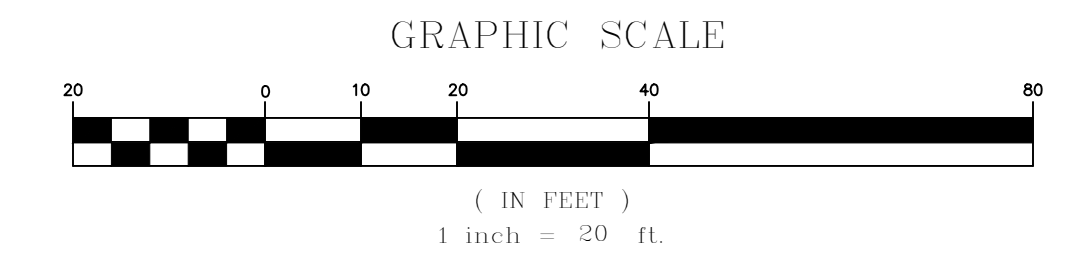
LOCUS MAP
(NOT TO SCALE)

MASSACHUSETTS AVENUE
(PUBLIC - VARIABLE WIDTH)



LEGEND	
STONE BOUND (SB)	[Symbol]
DRAIN MANHOLE (DMH)	[Symbol]
SEWER MANHOLE (SMH)	[Symbol]
ELECTRIC MANHOLE (EMH)	[Symbol]
MISC. MANHOLE (MH)	[Symbol]
TELEPHONE MANHOLE (TMH)	[Symbol]
CATCH BASIN (CB)	[Symbol]
ROUND CATCH BASIN (RCB)	[Symbol]
MONITOR WELL	[Symbol]
DOWNSPOUT	[Symbol]
WATER GATE	[Symbol]
GAS GATE	[Symbol]
BOLLARD	[Symbol]
TREE	[Symbol]
CONCRETE	[Symbol]
BUILDING	[Symbol]
1' CONTOUR	[Symbol]
5' CONTOUR	[Symbol]
PROPERTY LINE	[Symbol]
ABUTTERS LINE	[Symbol]
EDGE OF PAVEMENT	[Symbol]
CURB	[Symbol]
CHAIN LINK FENCE	[Symbol]
STOCKADE FENCE	[Symbol]
WATER LINE	[Symbol]
SEWER LINE	[Symbol]
DRAIN LINE	[Symbol]
GAS LINE	[Symbol]
ELECTRIC LINE	[Symbol]
TELEPHONE LINE	[Symbol]
FINISHED FLOOR ELEVATION	[Symbol]
BITUMINOUS	[Symbol]
CONCRETE	[Symbol]
GRANITE	[Symbol]
NOW OR FORMERLY	[Symbol]
BOOK	[Symbol]
PAGE	[Symbol]
CERTIFICATE OF TITLE	[Symbol]
LAND COURT	[Symbol]
LAND COURT CASE	[Symbol]

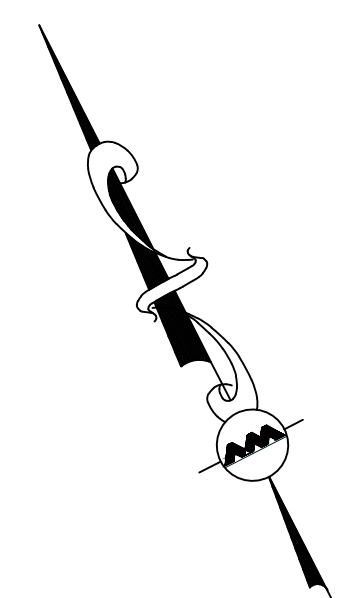
- LOCUS REFERENCES**
- TOWN OF ARLINGTON ASSESSORS MAP 26, BLOCK 1, LOTS 6 & 7.
 - RECORD OWNER: 882-892 MASSACHUSETTS AVENUE, LLC
 - L.C. BOOK 1523, PAGE 101
 - L.C.C. #9331E
- PLAN REFERENCES**
- L.C.C. 9331B
 - L.C.C. 13975B
- NOTES**
- NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
 - BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
 - VERTICAL DATUM IS NAVD 88 ESTABLISHED USING RTK GPS OBSERVATION.
 - CONTOUR INTERVAL IS ONE FOOT (1').
 - THERE WERE NO STRIPED PARKING SPACES OBSERVED ON SITE AT THE TIME OF SURVEY.



UTILITY STATEMENT

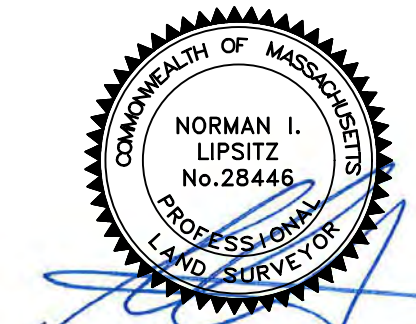
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

BENCHMARK SUMMARY		
TBM #	DESCRIPTION	ELEV.
1	CHISEL SQUARE ON LIGHT POLE BASE	79.15



WE HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON DECEMBER 12, 2019.

[Signature] 04/10/20
PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



APR 10, 2020

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
FRANK PASCIUTO
455 MASSACHUSETTS AVENUE, STE 1
ARLINGTON, MA 02474

PROJECT:
892 MASSACHUSETTS AVENUE
ARLINGTON, MA

PROJECT NO. 2729-01 DATE: 01/14/20

SCALE: 1" = 20' DWG. NAME: S-2729-01-EC

DRAFTED BY: AJR CHECKED BY: NIL

PREPARED BY:

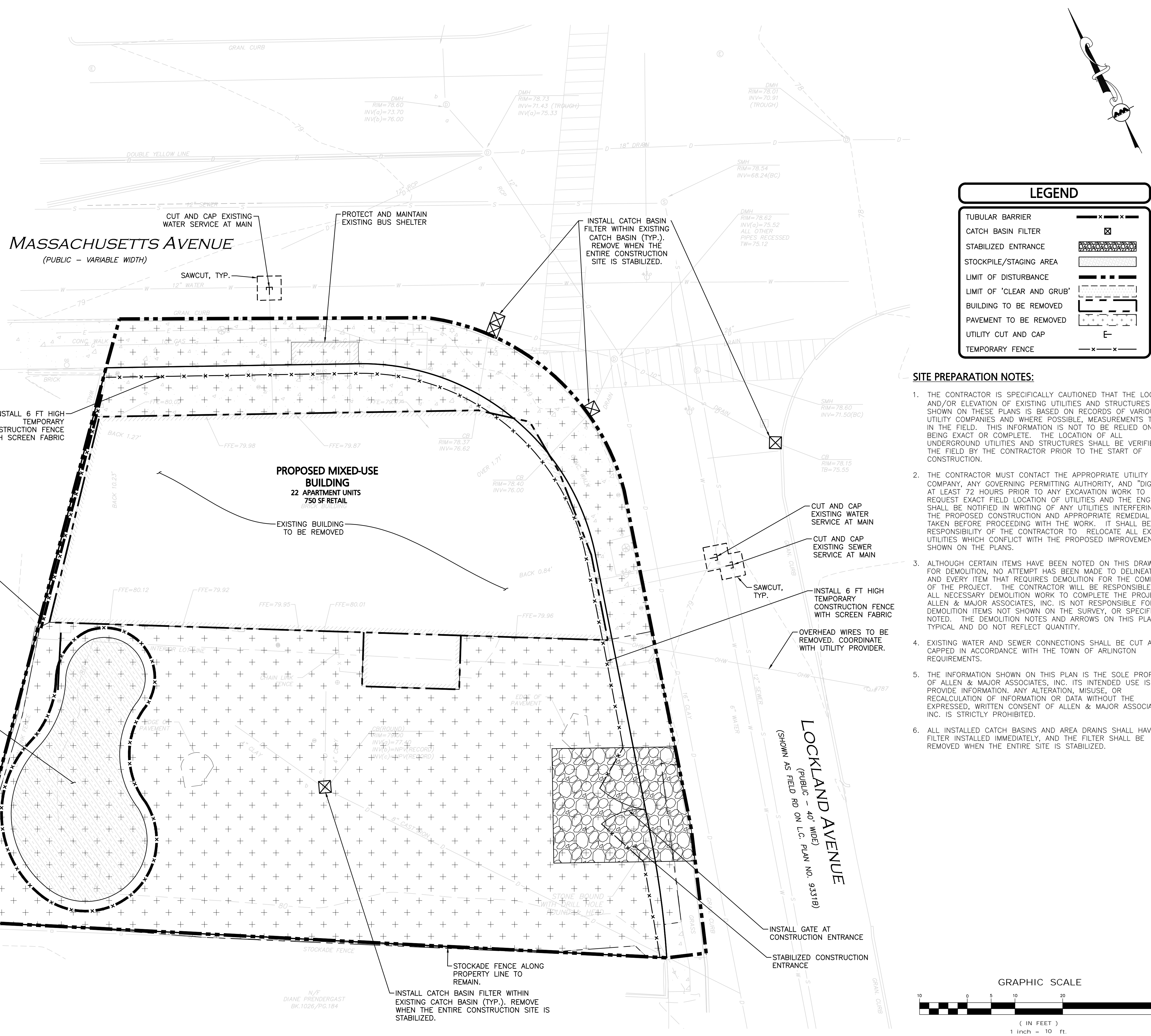
ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CUSTOMER'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE: EXISTING CONDITIONS SHEET NO. V-101

R:\PROJECTS\2729-01\CIVIL\DRAWINGS\CURRENT\C-2729-01_SITE-PREP-DWG



LEGEND

- TUBULAR BARRIER
- CATCH BASIN FILTER
- STABILIZED ENTRANCE
- STOCKPILE/STAGING AREA
- LIMIT OF DISTURBANCE
- LIMIT OF 'CLEAR AND GRUB'
- BUILDING TO BE REMOVED
- PAVEMENT TO BE REMOVED
- UTILITY CUT AND CAP
- TEMPORARY FENCE

- SITE PREPARATION NOTES:**
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 2. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
 4. EXISTING WATER AND SEWER CONNECTIONS SHALL BE CUT AND CAPPED IN ACCORDANCE WITH THE TOWN OF ARLINGTON REQUIREMENTS.
 5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 6. ALL INSTALLED CATCH BASINS AND AREA DRAINS SHALL HAVE A FILTER INSTALLED IMMEDIATELY, AND THE FILTER SHALL BE REMOVED WHEN THE ENTIRE SITE IS STABILIZED.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
882-892 MASSACHUSETTS AVE, LLC
452 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

PROJECT:
892 MASSACHUSETTS AVE
ARLINGTON, MA 02476

PROJECT NO.	2729-01	DATE:	04-10-20
SCALE:	1" = 10'	DWG. NAME:	C272901
DESIGNED BY:	ARM	CHECKED BY:	BDJ/RC

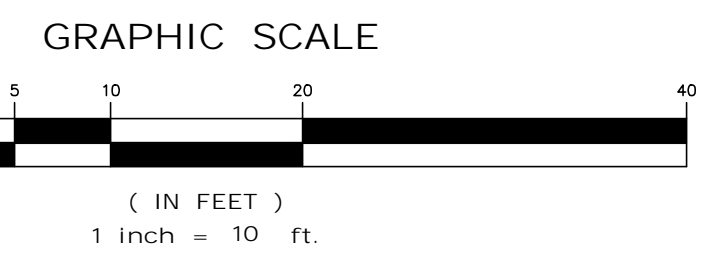
PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
 civil engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com
 100 COMMERCE WAY, SUITE 5
 WOBURN MA 01801
 TEL: (781) 935-6889
 FAX: (781) 935-2896

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DRAWING TITLE: **SITE PREPARATION PLAN** SHEET No. **C-101**



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ZONING SUMMARY TABLE
B2-NEIGHBORHOOD BUSINESS (MIXED-USE <=20,000SF)

ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA	----	14,380± SF	14,380± SF
MINIMUM LOT AREA PER UNIT	----	N/A	575± SF
MINIMUM FRONTAGE	50 FT	208± FT	208± FT
MINIMUM FRONT YARD SETBACK	----	0 FT	1.9 FT
MINIMUM SIDE YARD SETBACK	----	1.3 FT	1.9 FT
MINIMUM REAR YARD SETBACK	N/A	N/A	N/A
LANDSCAPED OPEN SPACE	10%	0%	10.2%
USABLE OPEN SPACE	20%	5.3%	11.9% ⁽²⁾
MAXIMUM HEIGHT	50 FT	13.5± FT	39 FT
MAXIMUM HEIGHT STORIES	4 ⁽¹⁾	1	4
FLOOR AREA RATIO	1.50	0.35	1.25

PARKING SUMMARY TABLE

USE	CALCULATION	MIN. REQUIRED	TOTAL PROPOSED
APARTMENT BUILDING	1.15 SPACES PER 1 BED UNIT 18 X 1.15 = 21 REQUIRED	21	21
	1 SPACE PER EFFICIENCY UNIT 4 X 1 = 4 REQUIRED	4	4
GENERAL RETAIL	1 PER 300 SF 729 SF (UNDER 3,000 SF PARKING N/A)	N/A	N/A
		25	25

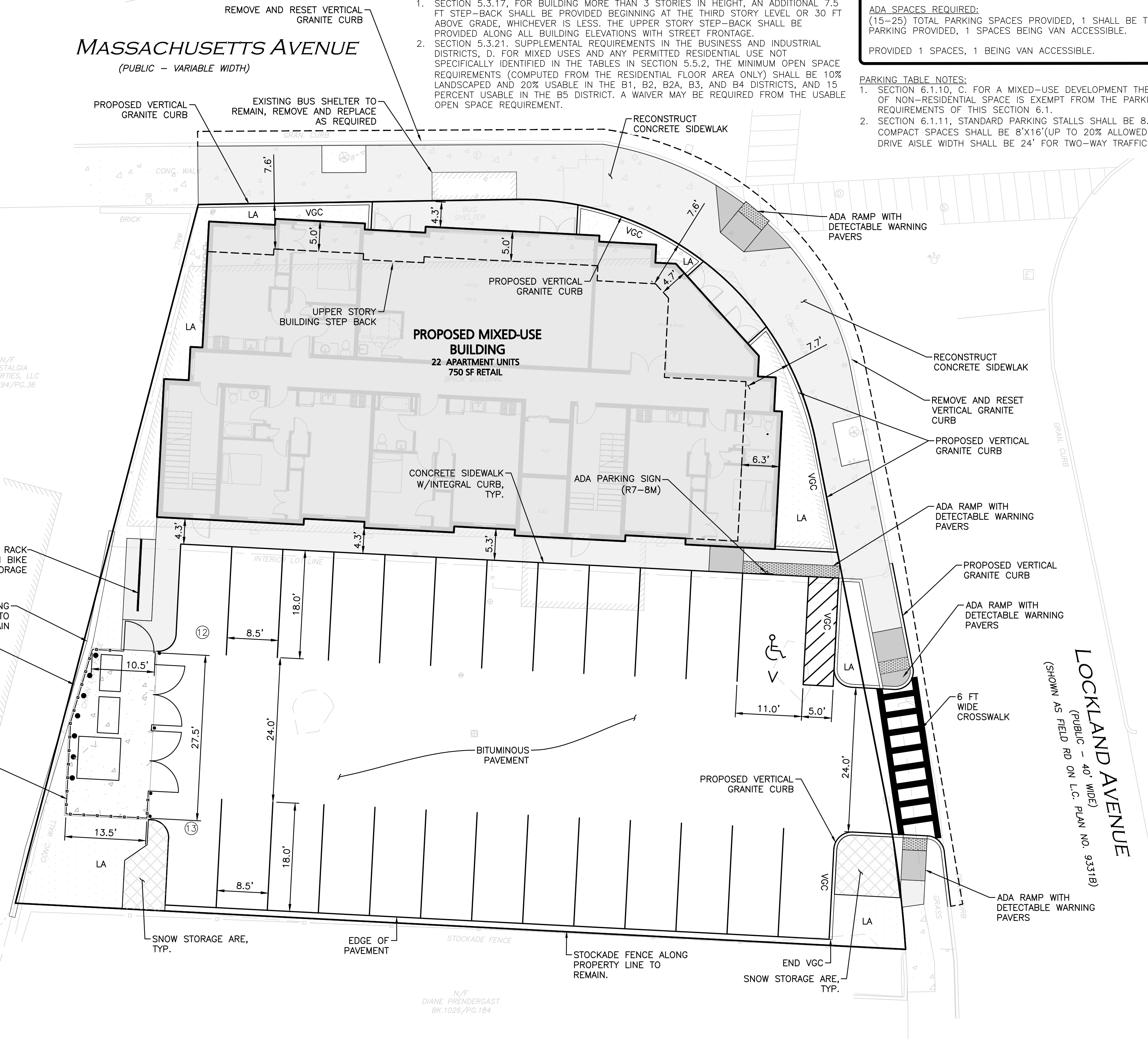
ADA SPACES REQUIRED:
(15-25) TOTAL PARKING SPACES PROVIDED, 1 SHALL BE THE MINIMUM ADA PARKING PROVIDED, 1 SPACES BEING VAN ACCESSIBLE.
PROVIDED 1 SPACES, 1 BEING VAN ACCESSIBLE.

PARKING TABLE NOTES:
1. SECTION 6.1.10, C. FOR A MIXED-USE DEVELOPMENT THE FIRST 3,000 SF OF NON-RESIDENTIAL SPACE IS EXEMPT FROM THE PARKING REQUIREMENTS OF THIS SECTION 6.1.
2. SECTION 6.1.11, STANDARD PARKING STALLS SHALL BE 8.5'X18', AND COMPACT SPACES SHALL BE 8'X16'(UP TO 20% ALLOWED WITH S.P.). DRIVE AISLE WIDTH SHALL BE 24' FOR TWO-WAY TRAFFIC.

LEGEND

PROP. PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	[Hatched Box]
BUILDING ARCHITECTURE	[Hatched Box]
BUILDING INTERIOR WALLS	[Hatched Box]
CURB	---
RETAINING WALL	[Hatched Box]
PARKING STRIPING	[Hatched Box]
ROADWAY STRIPING	[Hatched Box]
SIDEWALK	[Hatched Box]
ADA ACCESSIBLE RAMP	[Hatched Box]
ADA DET. WARNING SURFACE	[Hatched Box]
SNOW STORAGE	[Hatched Box]
SETBACK LINE	---
BASELINE	---
SAW-CUT LINE	---
PARKING COUNT	Ⓣ
COMPACT PARKING STALL	Ⓞ
CHAIN LINK FENCE	-x-x-
WOOD FENCE	-□-□-

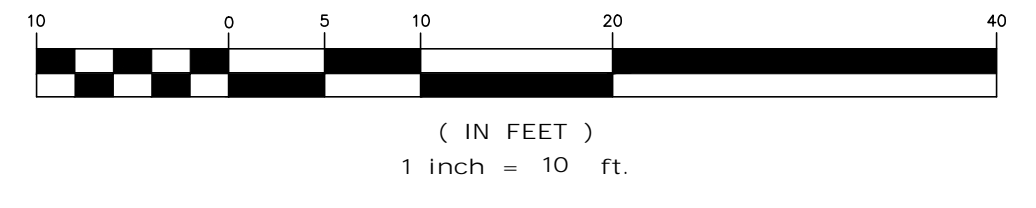
MASSACHUSETTS AVENUE
(PUBLIC - VARIABLE WIDTH)



NOTES

- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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892 MASSACHUSETTS AVE
ARLINGTON, MA 02476

PROJECT NO. 2729-01 DATE: 04-10-20

SCALE: 1" = 10' DWG. NAME: C272901

DESIGNED BY: ARM CHECKED BY: BDJ/RC

PREPARED BY:

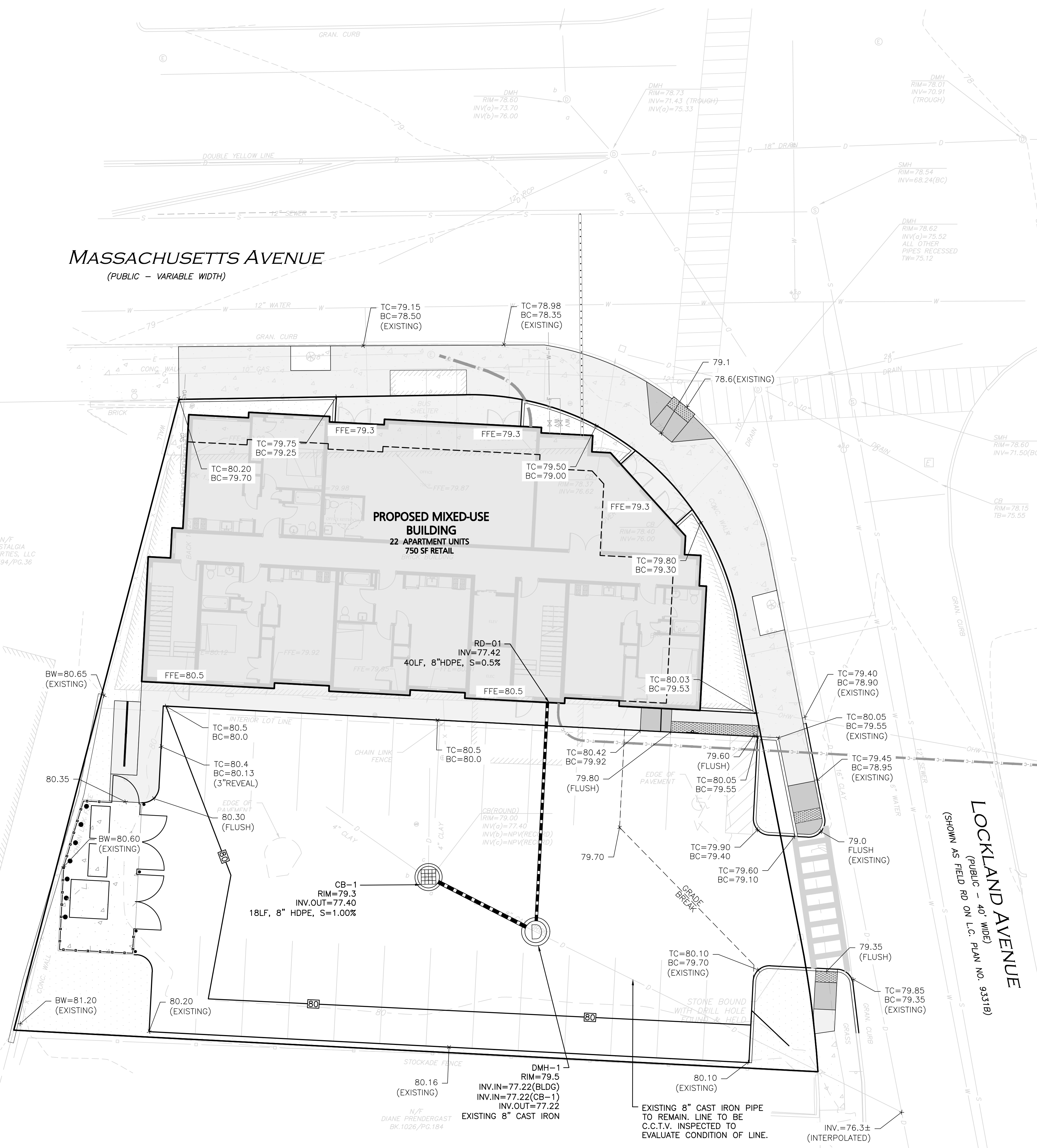
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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET No. C-102

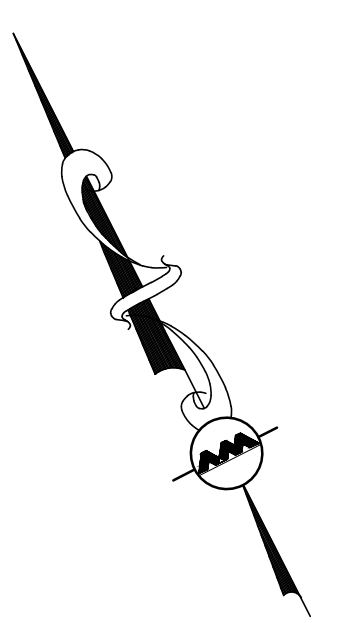
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MASSACHUSETTS AVENUE
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LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- DRAIN LINE
- 10' CONTOUR
- 2' CONTOUR
- SPOT GRADE 79.50



- PLAN NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITY CONNECTIONS SHOULD BE COORDINATED WITH THE MEP PRIOR TO CONSTRUCTION.
 - EXISTING DRAINAGE STRUCTURES TO REMAIN ARE TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT FOR THE FINAL LOCATIONS OF PROPOSED ROOF DRAINS. LOCATIONS ARE SHOWN HEREON FOR COORDINATION PURPOSES ONLY.
 - WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
 - ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
 - ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
 - ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
 - CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF ARLINGTON, MADOT, MADEP, MWRA, MUTCD, AND AASHTO.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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452 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

PROJECT:
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ARLINGTON, MA 02476

PROJECT NO.	2729-01	DATE:	04-10-20
SCALE:	1" = 10'	DWG. NAME:	C272901
DESIGNED BY:	ARM	CHECKED BY:	BDJ/RC

PREPARED BY:

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civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
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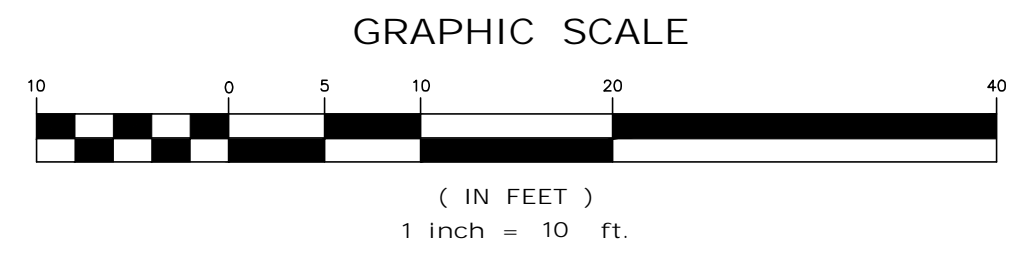
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DRAWING TITLE:	SHEET NO.
GRADING & DRAINAGE PLAN	C-103

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MASSACHUSETTS AVENUE
(PUBLIC - VARIABLE WIDTH)

GAS SERVICE SHOWN FOR COORDINATION PURPOSES ONLY. CONTRACTOR TO COORDINATE WITH GAS COMPANY.
GAS SERVICE BY OTHERS, INSTALL METERS AT BUILDING FACE.

N/F NOSTALGIA PROPERTIES, LLC BK.1394/PG.36

PROPOSED MIXED-USE BUILDING
22 APARTMENT UNITS
750 SF RETAIL

TELE/DATA SERVICE SHOWN FOR COORDINATION PURPOSES ONLY. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.

SEWER SERVICE
INV.=74.0
41LF, 6" DI,
S=2.00%

6" FIRE SERVICE

2" WATER SERVICE

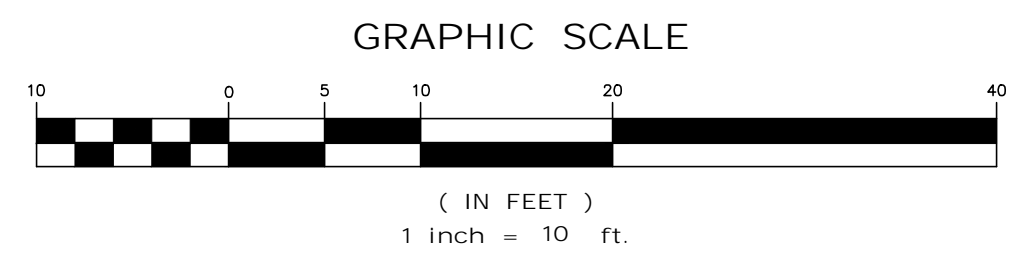
SEWER CHIMNEY CONNECTION TO EXISTING 12" SEWER.
INV.=68.2± (12" SEWER)
INV.=73.18 (6"D.I., TOP CHIMNEY INV.)

SAWCUT, TYP.
12"x6" TAPPING SLEEVE WITH GATE VALVE

LEGEND	
SEWER MANHOLE	
SEWER CLEANOUT	
SEWER VENT	
SEWER LINE	
WATER LINE	
WATER (FIRE SERVICE)	
WATER (DOMESTIC SERVICE)	
WATER VALVE	
GAS LINE	
GAS VALVE	
ELECTRICAL CONDUIT	
TELE/CABLE CONDUIT	

UTILITY NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN AND SEWER LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN AND SEWER LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF EIGHT FEET CENTERED ON THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
3. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
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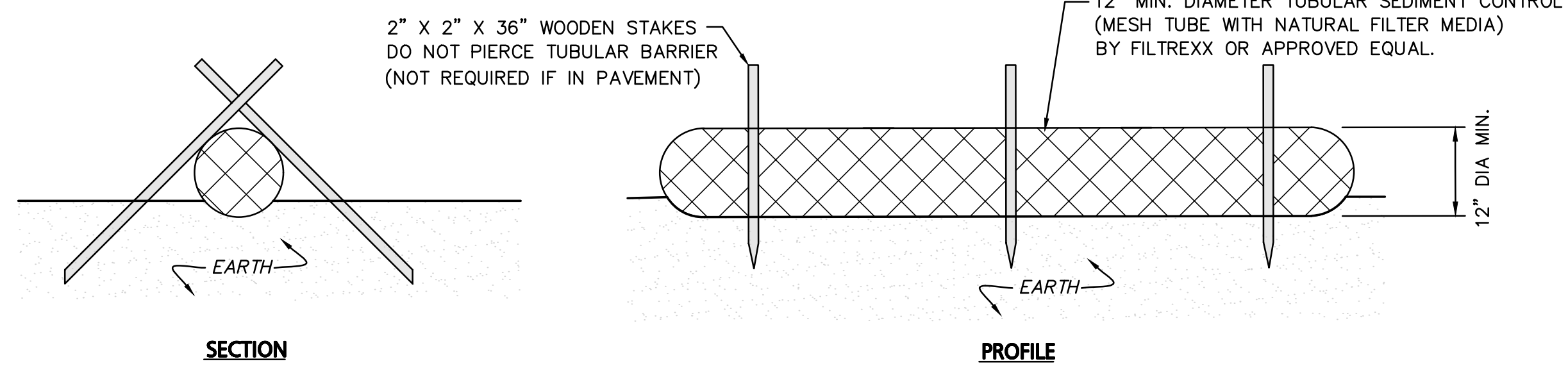
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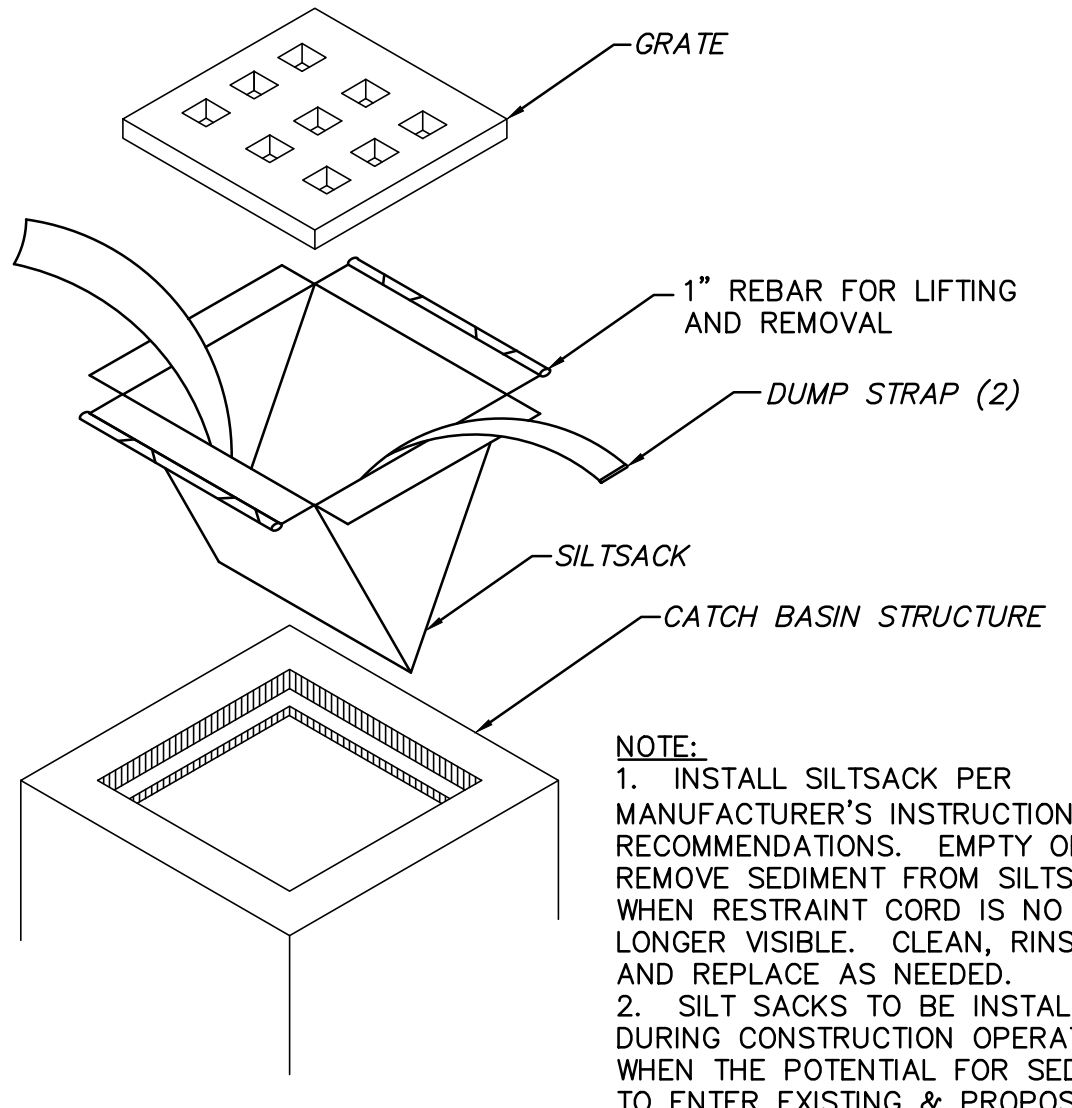
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DRAWING TITLE:	SHEET No.
UTILITIES PLAN	C-104



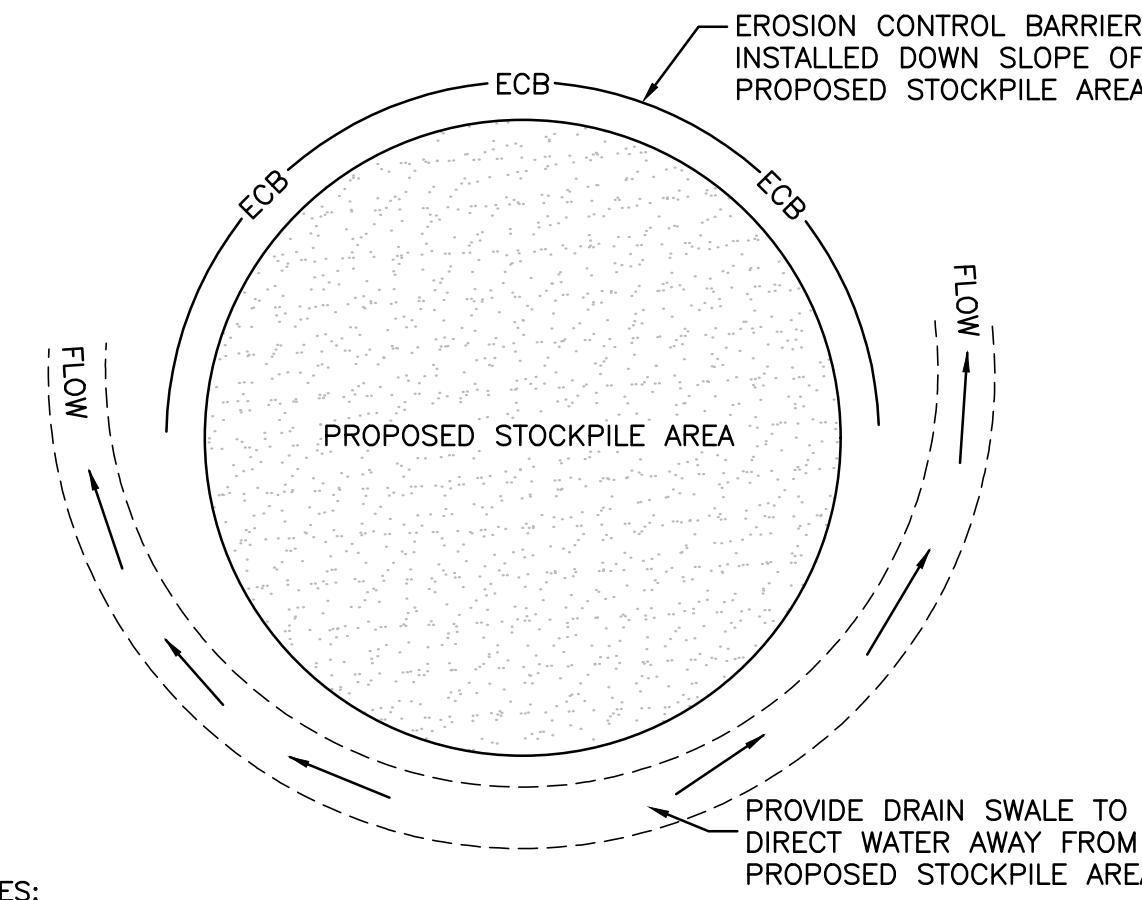
- NOTES:
1. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
 2. INSTALL WOODEN STAKES IN A CRISS-CROSS PATTERN EVERY 8' ON CENTER.
 3. OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
 4. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
 5. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 6. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

TUBULAR SEDIMENT BARRIER
NOT TO SCALE



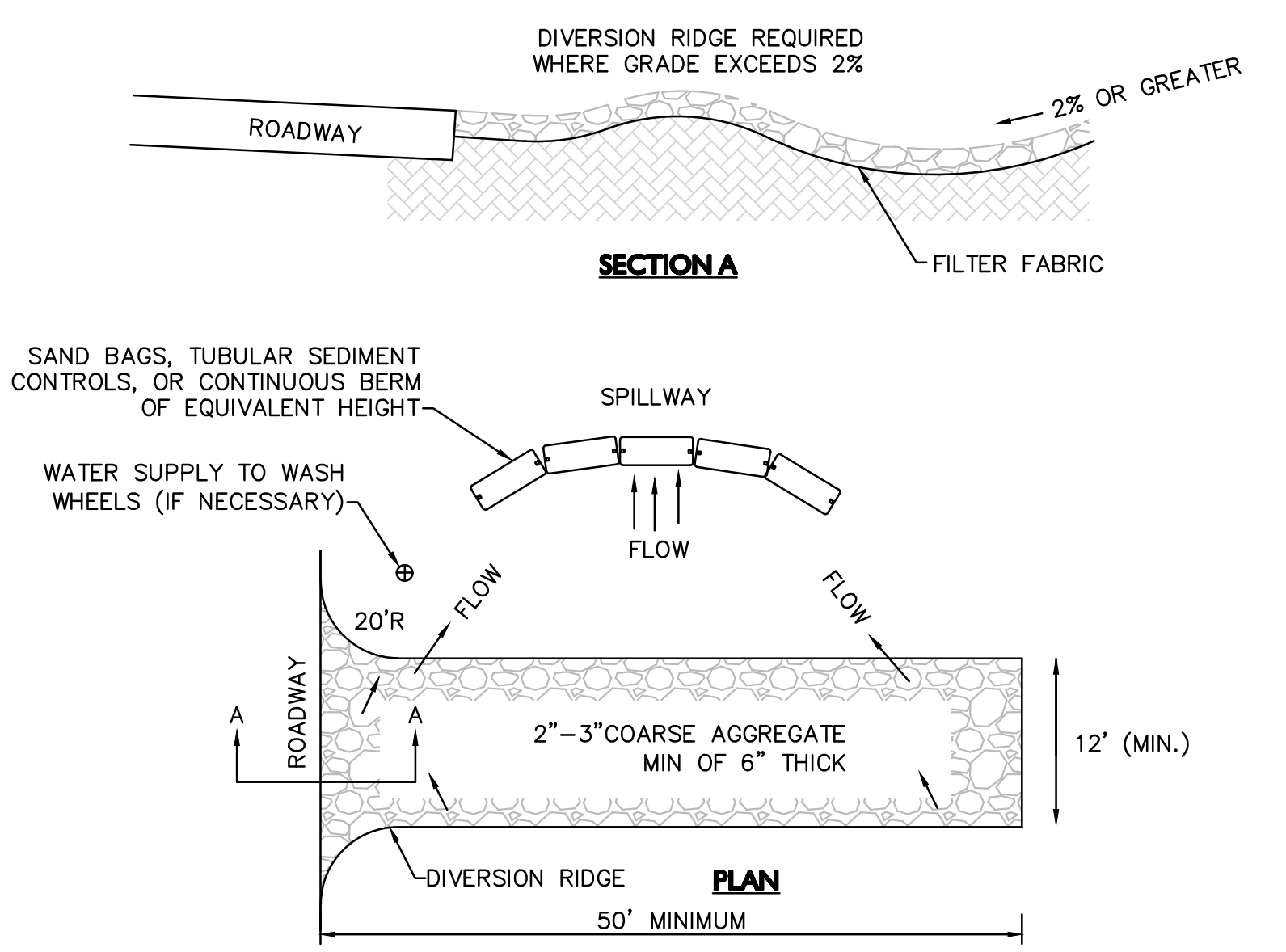
- NOTE:
1. INSTALL SILTSACK PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. EMPTY OR REMOVE SEDIMENT FROM SILTSACK WHEN RESTRAINT CORD IS NO LONGER VISIBLE. CLEAN, RINSE, AND REPLACE AS NEEDED.
 2. SILT SACKS TO BE INSTALLED DURING CONSTRUCTION OPERATIONS WHEN THE POTENTIAL FOR SEDIMENT TO ENTER EXISTING & PROPOSED BASINS EXISTS.

SILTSACK INLET DETAIL
NOT TO SCALE



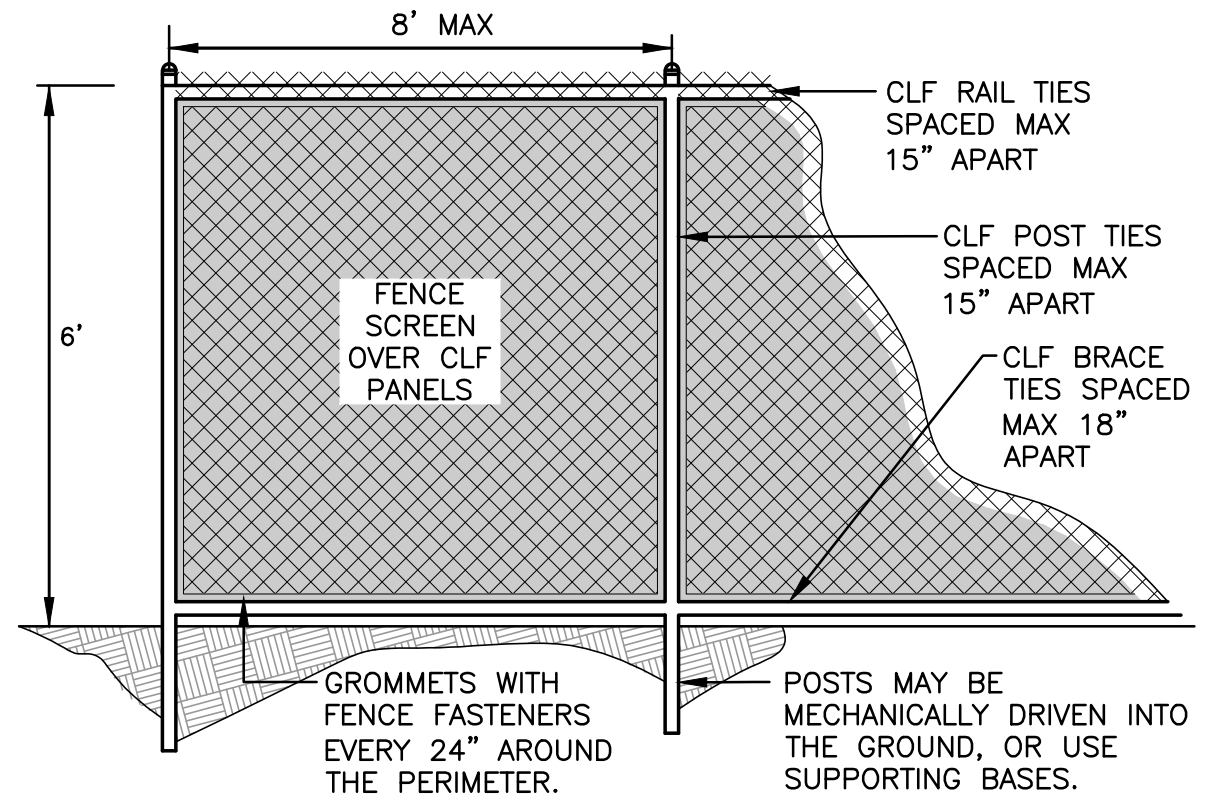
- NOTES:
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH STRAW AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH STRAW MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

STOCKPILE PROTECTION DETAIL
NOT TO SCALE



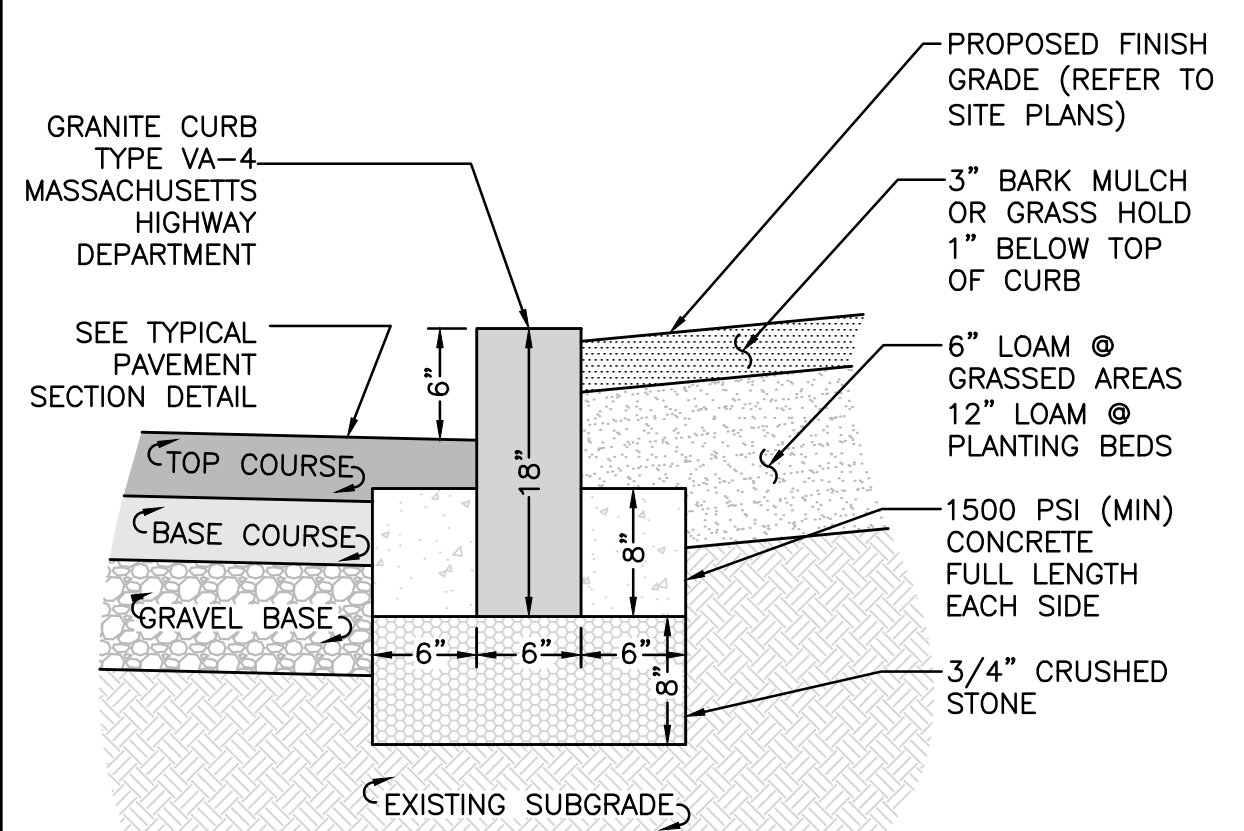
- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. USE SANDBAGS, TUBULAR SEDIMENT CONTROLS, OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

TEMPORARY CONSTRUCTION ENTRANCE/EXIT
NOT TO SCALE



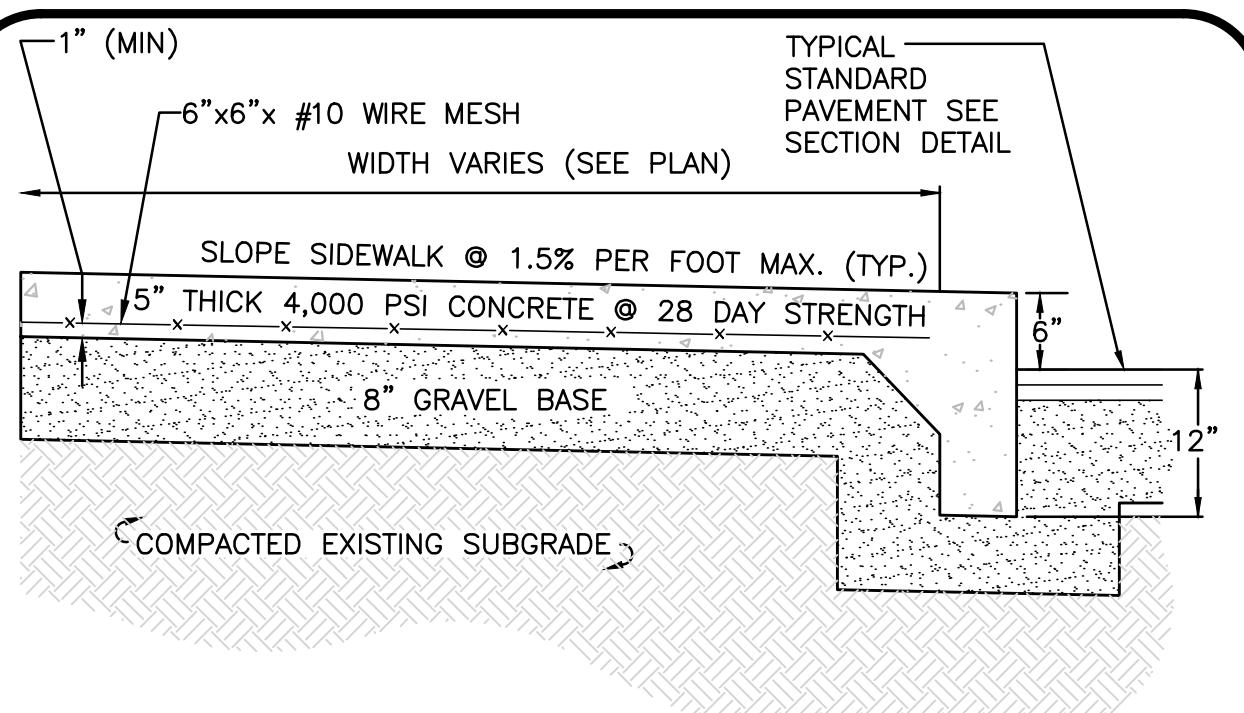
- NOTES:
1. SCREEN MATERIAL SHALL BE MADE FROM KNITTED HIGH DENSITY POLYETHYLENE WITH UV ADDITIVES.
 2. SCREEN FILAMENT STRENGTH SHALL BE A MINIMUM OF 50LBS/FT.
 3. SCREEN MATERIAL BREAK STRENGTH SHALL BE A MINIMUM OF 500 LBS/FT.
 4. SCREEN SHADE / WIND BLOCKAGE SHALL BE A MINIMUM OF 85%.
 5. SCREEN COLOR SHALL BE GREEN OR BLACK.

TEMPORARY CONSTRUCTION FENCE w/ SCREEN
NOT TO SCALE



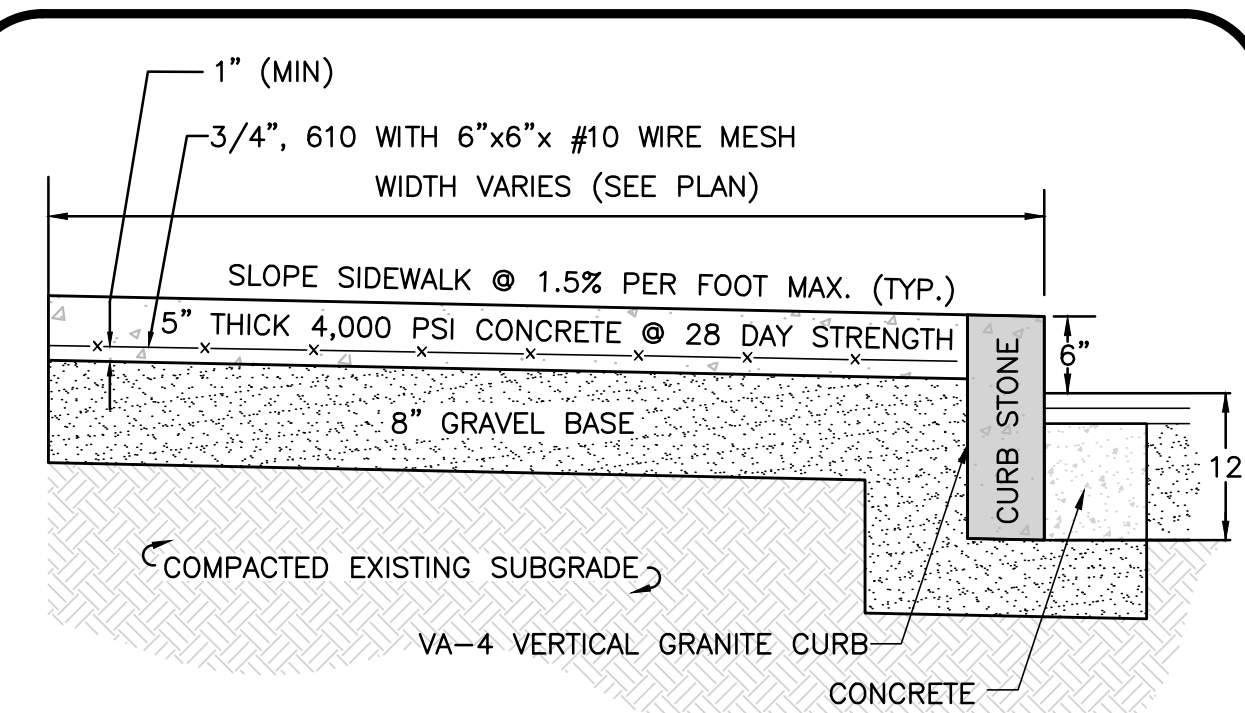
- NOTES:
1. GRANITE CURB TYPE VA-4 MASSACHUSETTS HIGHWAY DEPARTMENT
 2. SEE TYPICAL PAVEMENT SECTION DETAIL
 3. PROPOSED FINISH GRADE (REFER TO SITE PLANS)
 4. 3" BARK MULCH OR GRASS HOLD 1" BELOW TOP OF CURB
 5. 6" LOAM @ GRASSED AREAS
 6. 12" LOAM @ PLANTING BEDS
 7. 1500 PSI (MIN) CONCRETE FULL LENGTH EACH SIDE
 8. 3/4" CRUSHED STONE

VERTICAL GRANITE CURB
NOT TO SCALE



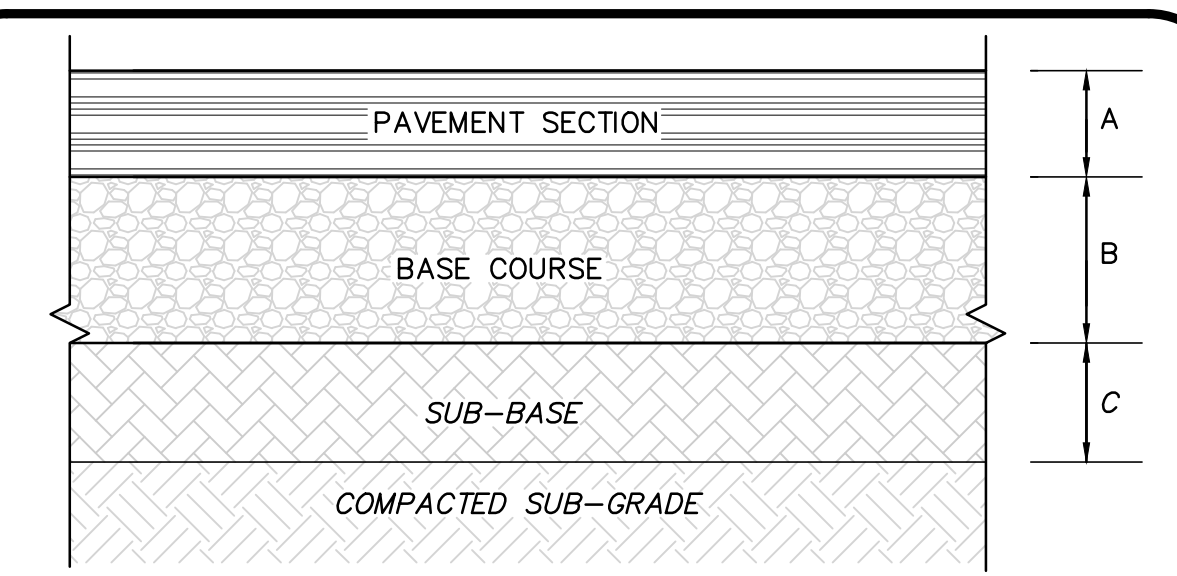
- NOTES:
1. SIDEWALK TO HAVE TOOLED JOINTS IN A 5' x 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER WITH PREMOLDED FILLER.
 2. SEE PLAN FOR ELEVATIONS AT CURB
 3. SIDEWALK CROSS SLOPE TO BE 1.5% MAX & SIDEWALK LONGITUDINAL RUNNING SLOPE TO BE 4.5% MAX, TYP.
 4. APPLY BRUSH MARKS PERPENDICULAR TO TRAVEL PATH.

CONCRETE SIDEWALK WITH MONOLITHIC CURB
NOT TO SCALE



- NOTES:
1. SIDEWALK TO HAVE TOOLED JOINTS IN A 5' x 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PREMOLDED FILLER.
 2. SEE PLAN VIEW FOR ELEVATIONS AT CURB
 3. SIDEWALK CROSS SLOPE TO BE 1.5% MAX & SIDEWALK LONGITUDINAL RUNNING SLOPE TO BE 4.5% MAX, TYP.

CONCRETE SIDEWALK WITH VGC CURBSTONE
NOT TO SCALE

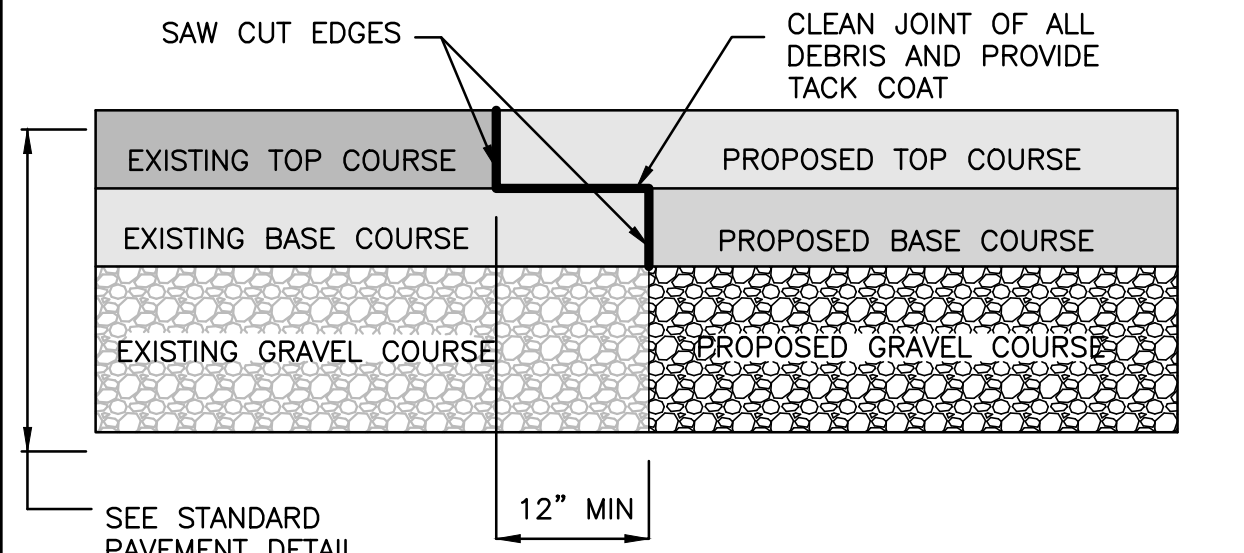


- NOTES:
1. PAVEMENT SECTION, BASE COURSE, AND SUBGRADE SHALL BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IN THE ABSENCE OF A GEOTECHNICAL ENGINEER'S RECOMMENDATION, THE MATERIALS AND THICKNESS SHALL BE AS SHOWN HEREON.
 2. SUBGRADE SHALL BE COMPACTED TO 95% OF PROCTOR
 3. EXISTING SUBSURFACE SOILS SHALL BE PROOF-ROLLED.

- MATERIALS AND THICKNESSES:
- A = 1.5" ASPHALT CONCRETE - SURFACE COURSE (M3.11.0, TABLE A, TOP COURSE)
 - B = 2.5" ASPHALT CONCRETE - BINDER COURSE (M3.11.0, TABLE A, BINDER COURSE)
 - C = 8" PROCESSED GRAVEL BASE (MHD M2.01.7)
 - D = 12" BANK RUN GRAVEL MHD M1.03.0 TYPE B)

ASPHALT PAVEMENT SECTION
NOT TO SCALE

- NOTE:
- TACK COAT - PROVIDE EMULSIFIED ASPHALT WHICH CONFORMS TO THE REQUIREMENTS OF THE STATE SPECIFICATIONS, DILUTED WITH ONE PART WATER TO ONE PART ASPHALT FOLLOWING AASHTO M140/ASTM D997, OR AASHTO M208/ASTM D2397, SS-1H, CSS-1, OR CSS-1H.



- NOTES:
1. SAW CUT EDGES
 2. CLEAN JOINT OF ALL DEBRIS AND PROVIDE TACK COAT
 3. SEE STANDARD PAVEMENT DETAIL

PAVEMENT KEY CUT DETAIL
NOT TO SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
882-892 MASSACHUSETTS AVE, LLC
452 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

PROJECT:
892 MASSACHUSETTS AVE
ARLINGTON, MA 02476

PROJECT NO. 2729-01 DATE: 04-10-20

SCALE: AS SHOWN DWG. NAME: C2729-01

DESIGNED BY: ARM CHECKED BY: BDJ/RC

PREPARED BY:

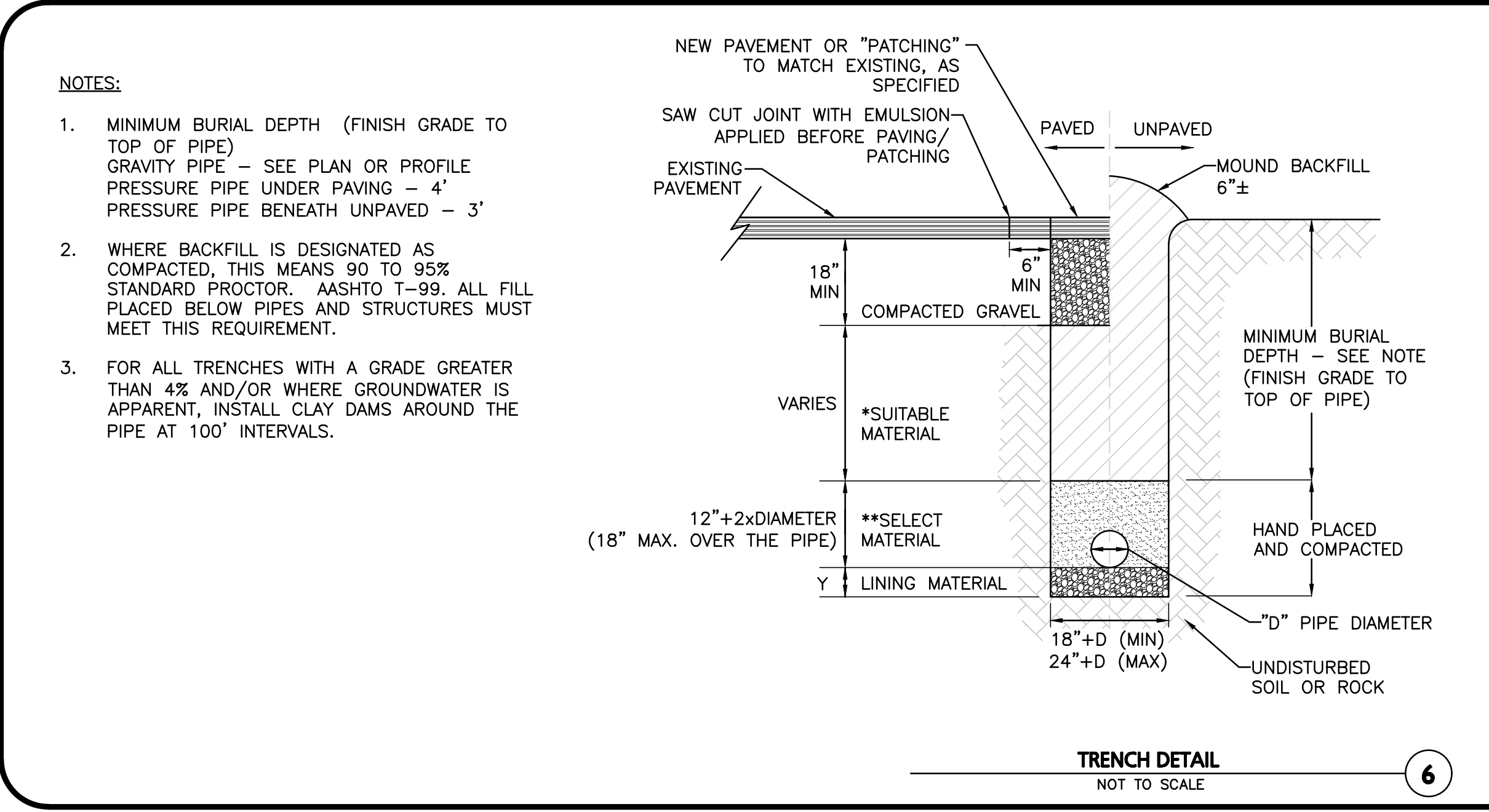
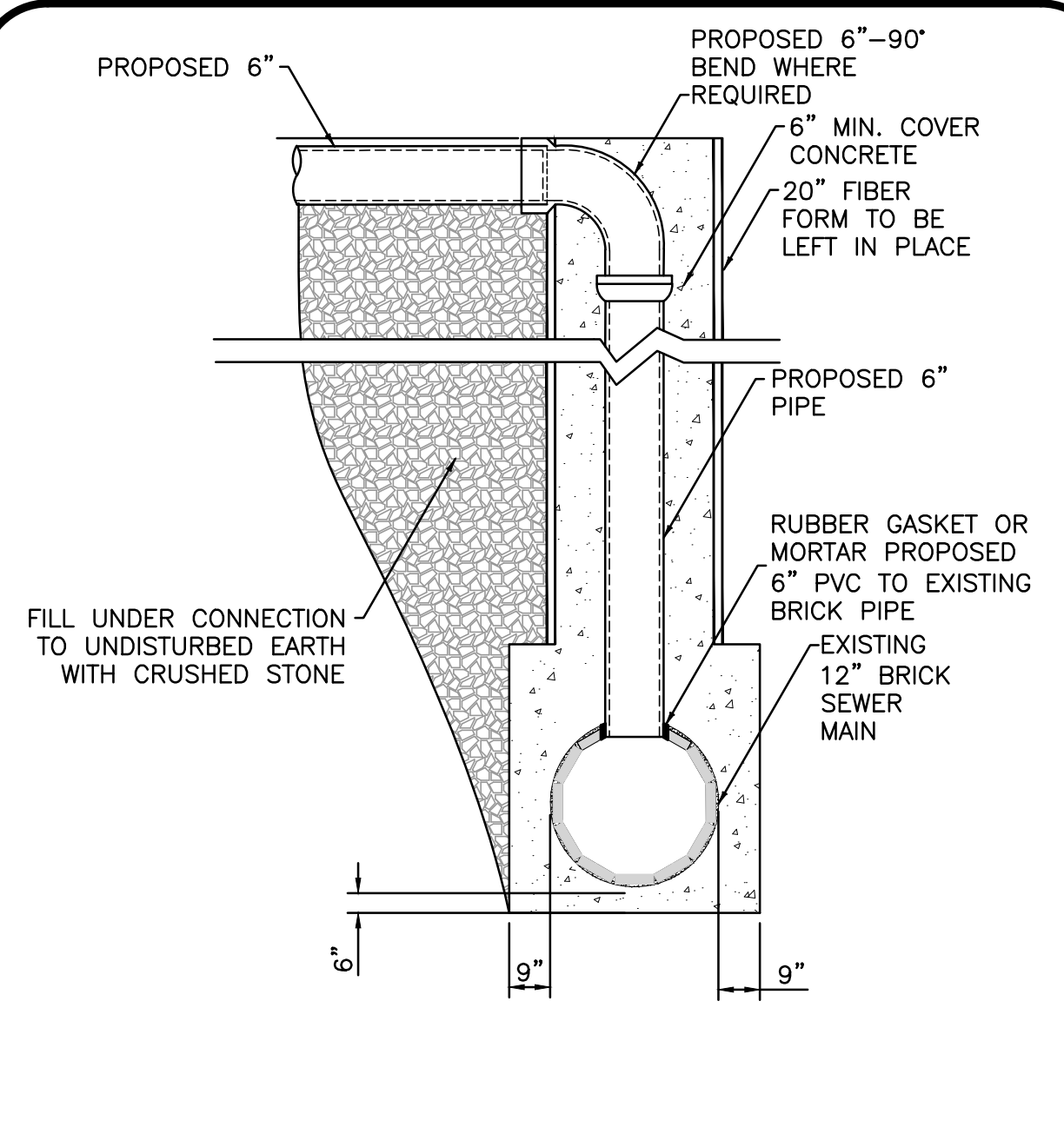
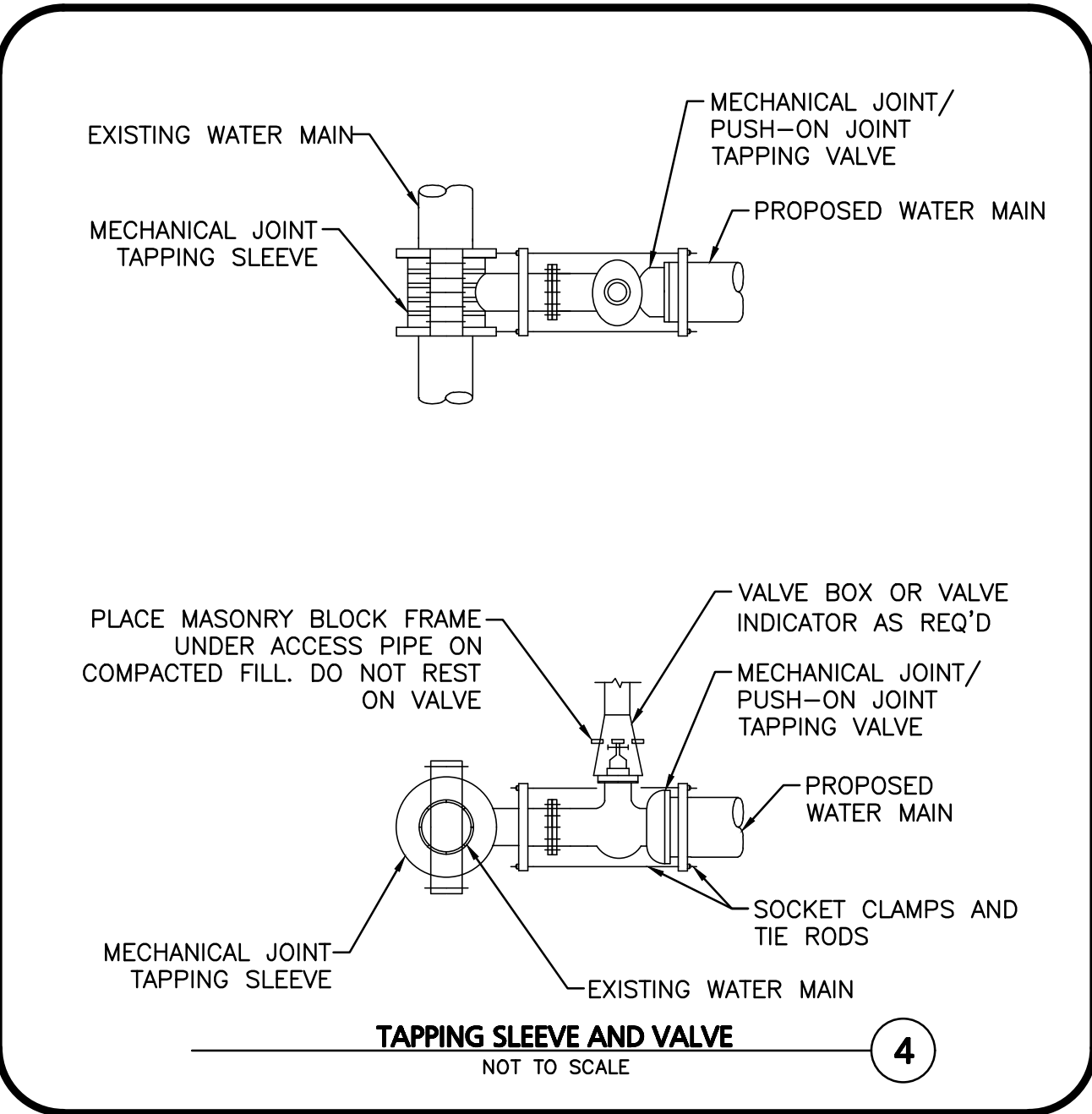
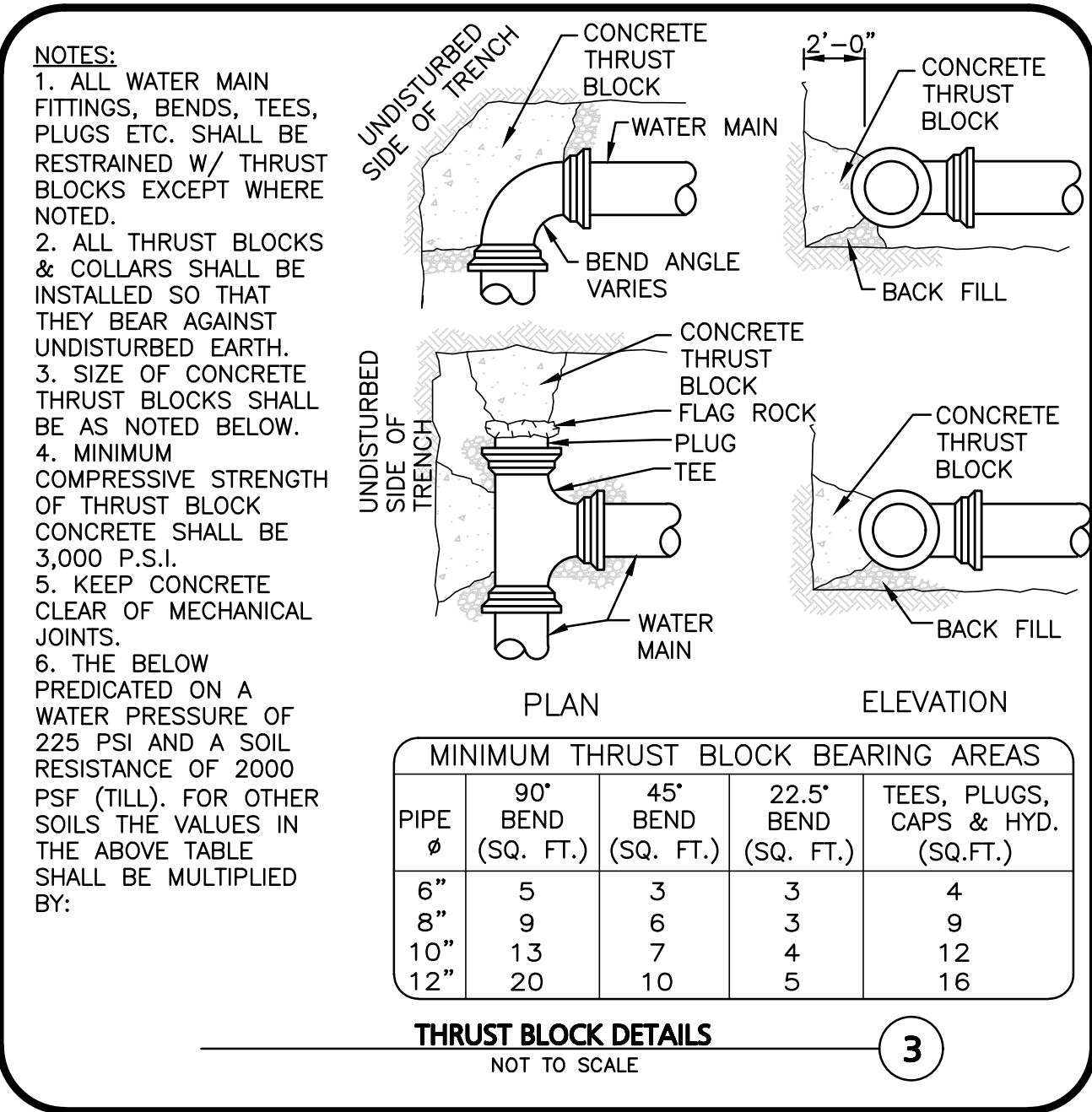
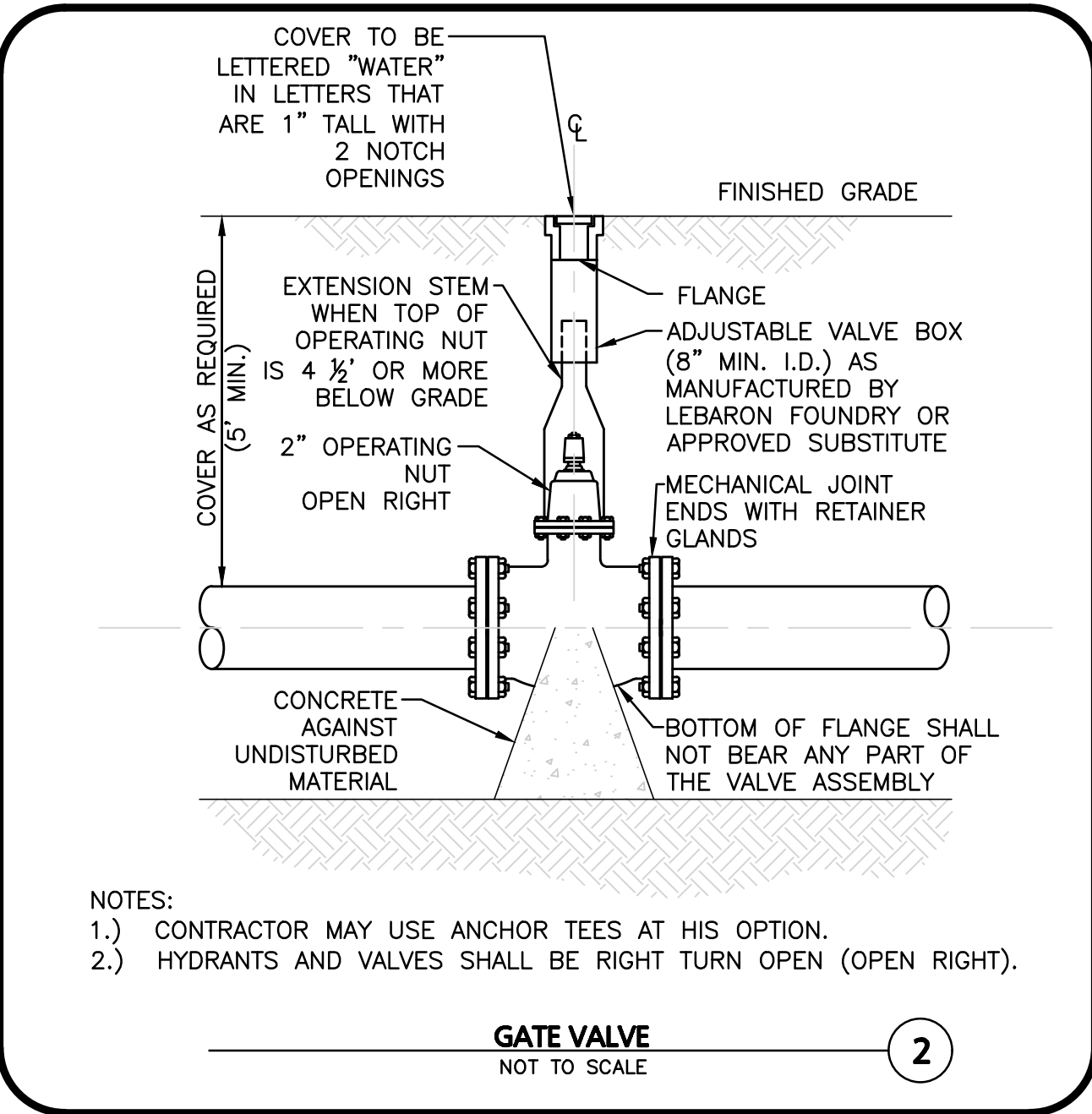
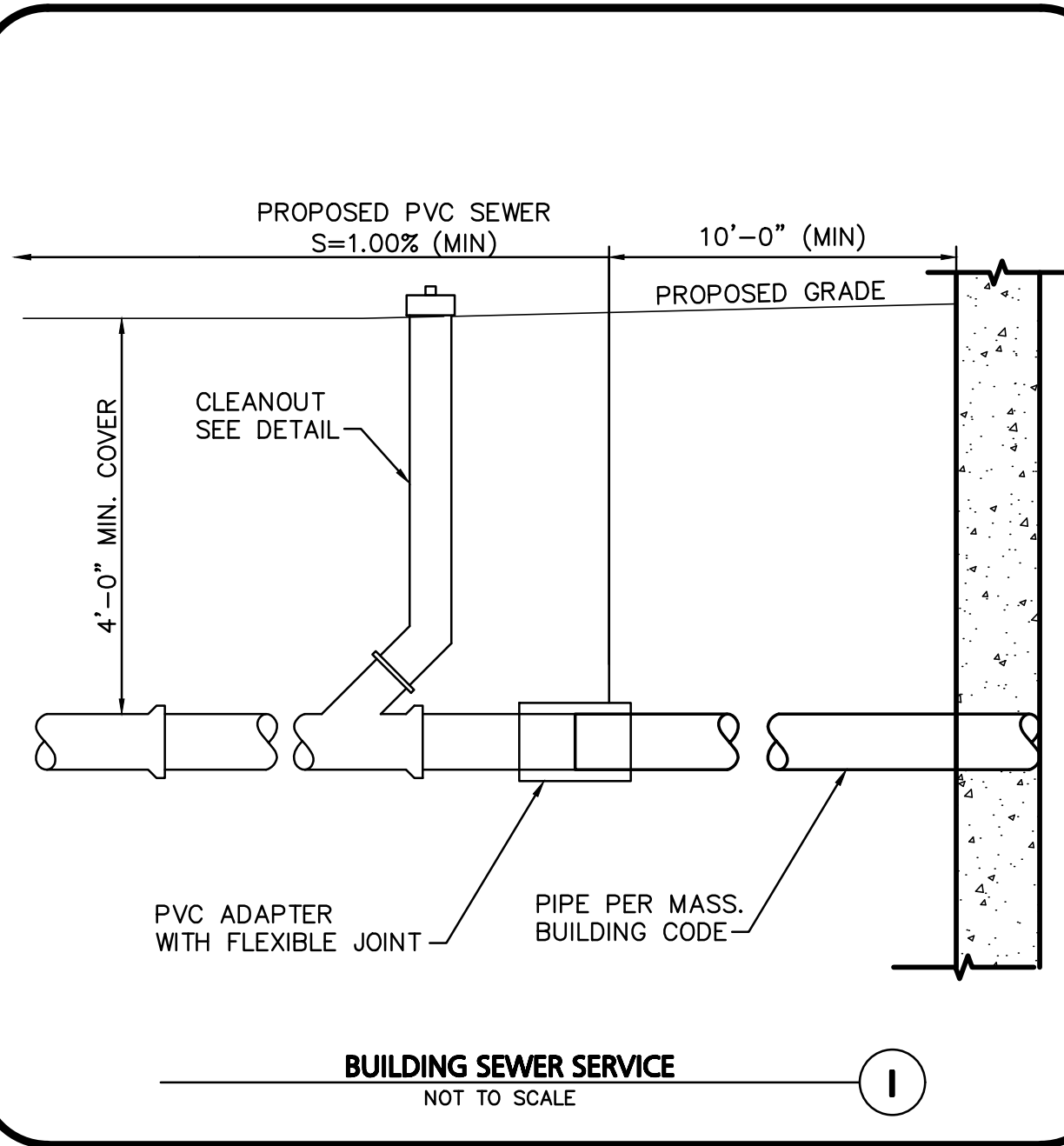
ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE: SHEET No.

DETAILS C-501



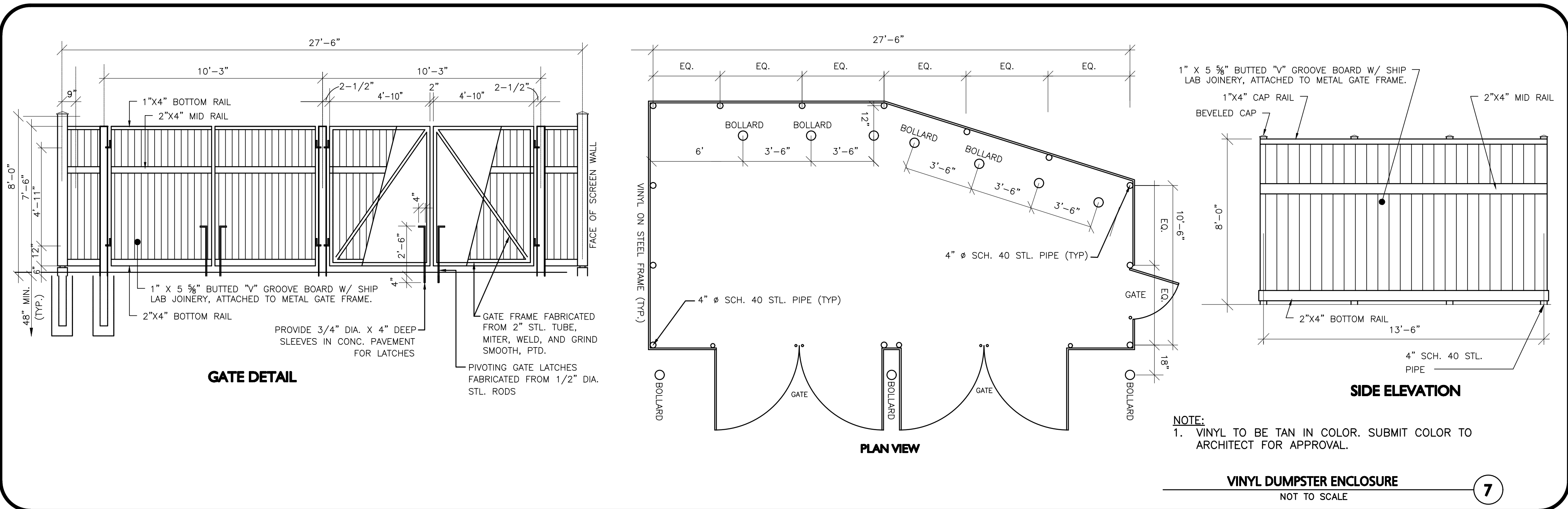
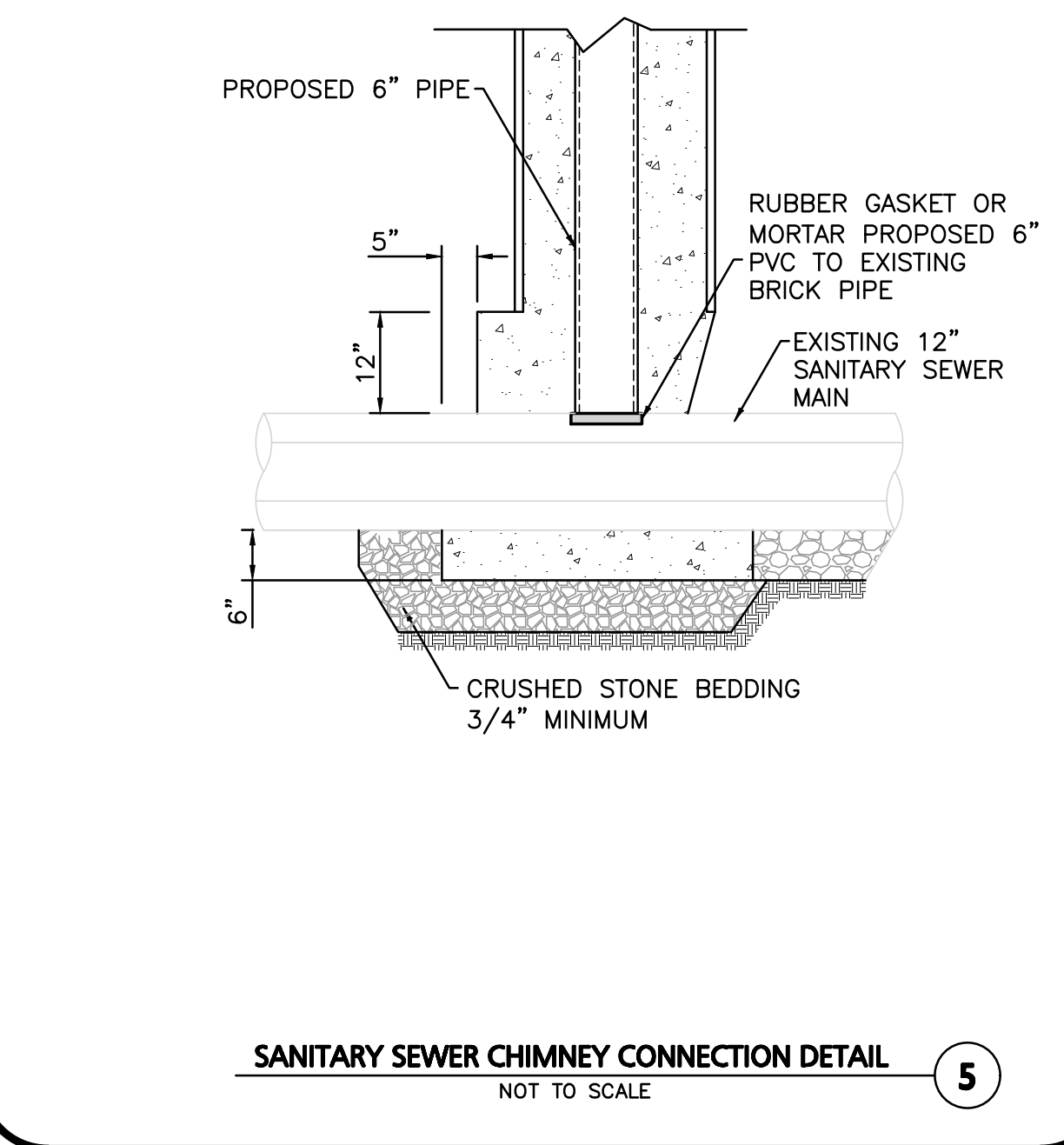
CONDITION & PIPE	**SELECT MATERIAL	LINING MATERIAL	Y-DIMENSION
DUCTILE IRON "ORDINARY SOIL"	TYPE I, II, OR III	SAND OR TYPE III	3"
RCP "ORDINARY SOIL"	TYPE II OR III	SAND OR TYPE III	3"
ALL PIPE OVER BEDROCK OR LEDGE	TYPE II OR III	SAND OR TYPE III	8"
DUCTILE IRON IN CLAY OR MUCK	TYPE II OR III	SAND	4"
RCP IN CLAY	TYPE II OR III	SAND	8"
ALL PLASTICS	TYPE III	SAND OR TYPE III	6"

* SUITABLE MATERIAL SHALL CONTAIN NO STONE GREATER THAN 4" IN DIAMETER, NO FROZEN LUMPS, AND ONLY MINOR AMOUNTS OF CLAY OR ORGANIC MATERIAL. ALL MATERIAL TO BE PLACED IN MAX 12" LIFTS AND COMPACTED BEFORE PLACING NEXT LIFT.

**TYPE I MATERIAL SHALL BE EITHER GRAVEL OR EXCAVATED MATERIAL CONTAINING NO STONES GREATER THAN 1.5" DIAMETER, NO FROZEN LUMPS, CLAY OR ORGANIC MATERIAL.

**TYPE II MATERIAL SHALL BE CLEAN, HARD, CRUSHED OR NATURAL STONE WITH A GRADATION BY WEIGHT OF 100% PASSING A 1.5" SQUARE OPENING, NOT MORE THAN 25% PASSING A 3/4" OPENING, AND NOT MORE THAN 5% PASSING A 1/2" SQUARE OPENING.

**TYPE III MATERIAL SHALL BE CLEAN, HARD, CRUSHED STONE FREE FROM COATINGS AND THOROUGHLY WASHED WITH A GRADATION BY WEIGHT OF 100% PASSING A 1" SQUARE OPENING, AND 0 TO 5% PASSING A 1/2" SQUARE OPENING.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
882-892 MASSACHUSETTS AVE, LLC
452 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

PROJECT:
892 MASSACHUSETTS AVE
ARLINGTON, MA 02476

PROJECT NO. 2729-01 DATE: 04-10-20
SCALE: AS SHOWN DWG. NAME: C272901
DESIGNED BY: ARM CHECKED BY: BDJ/RC

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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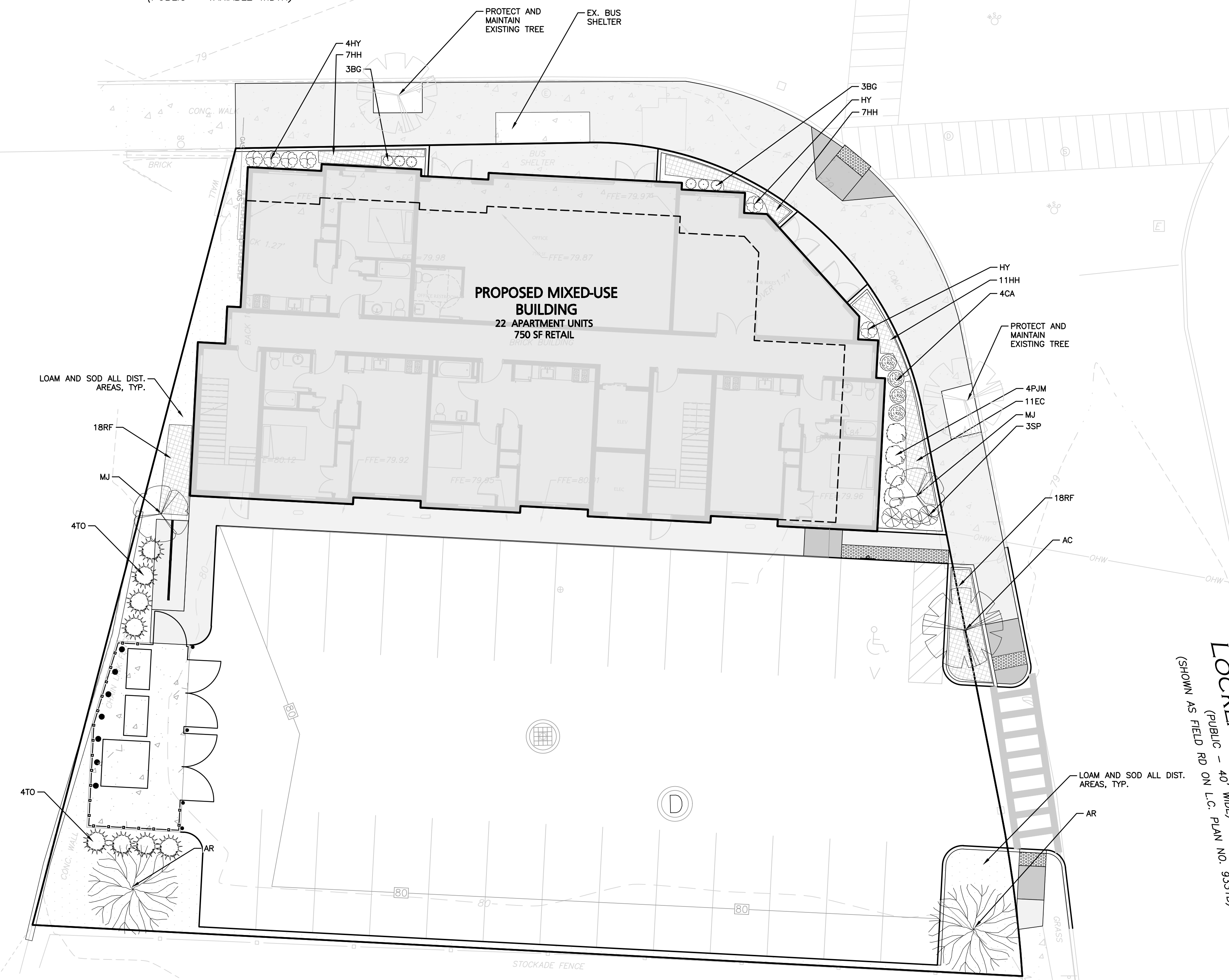
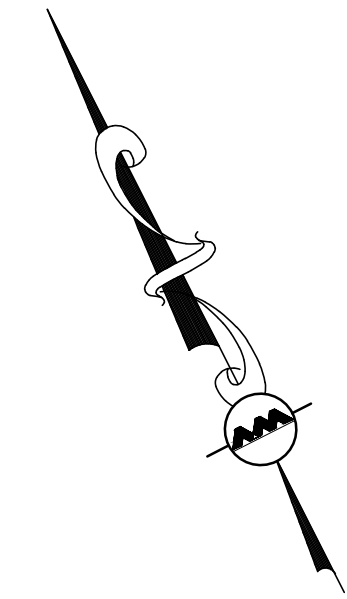
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DRAWING TITLE: DETAILS SHEET NO. C-503

MASSACHUSETTS AVENUE
(PUBLIC - VARIABLE WIDTH)

LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- FLOWERING TREE
- SHRUBS
- MULCH BED
- PERENNIALS/GROUNDCOVER
- WILDFLOWER SEED MIX
- EROSION CONTROL SEED MIX



PLANTING SCHEDULE-TREES, SHRUBS, GROUNDCOVERS & PERENNIALS

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
EVERGREEN TREES						
TO	6	THUJA O. 'WINTERGREEN'	WINTERGREEN ARBORVITAE	6-7' HT	AS SHOWN	B&B
FLOWERING TREES						
AC	1	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	2.5-3" CAL.	AS SHOWN	B&B
AR	2	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	2.5-3" CAL.	AS SHOWN	B&B
MJ	2	MAGNOLIA LILIFLORA 'JANE'	JANE MAGNOLIA	5-6' HT.	AS SHOWN	B&B
SHRUBS						
CA	4	CORNUS ALBA 'IVORY HALO'	IVORY HALO DOGWOOD	#3	AS SHOWN	POT
BG	6	BUXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	#2	AS SHOWN	POT
HY	6	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL HYDRANGEA	#5	AS SHOWN	POT
PJM	4	RHODODENDRON 'PJM COMPACT CLONE'	COMPACT PJM RHODODENDRON	#3	AS SHOWN	B&B
SP	3	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	#5	AS SHOWN	POT
PERENNIALS						
EC	13	ECHINACEA PURPUREA 'KIMS KNEEHIGH'	KIMS KNEEHIGH CONEFLOWER	#1	24" O.C.	STAGGERED
HH	29	HOSTA 'HADSPEN BLUE'	HADSPEN BLUE HOSTA	#1	24" O.C.	STAGGERED
RF	41	RUDBECKIA FULGIDA 'CITY GARDEN'	CITY GARDEN BLACK EYED SUSAN	#1	24" O.C.	STAGGERED



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:
882-892 MASSACHUSETTS AVE, LLC
452 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

PROJECT:
892 MASSACHUSETTS AVE
ARLINGTON, MA 02476

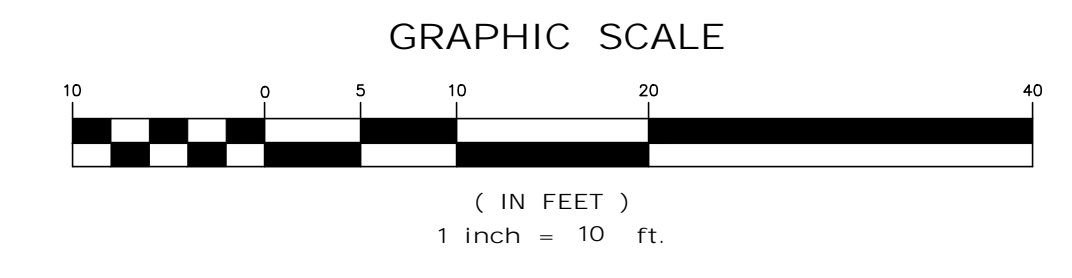
PROJECT NO. 2729-01 DATE: 04-10-20
SCALE: 1" = 10' DWG. NAME: C2729-01
DESIGNED BY: BCD CHECKED BY: BDJ/RC

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
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DRAWING TITLE: LANDSCAPE PLAN SHEET No. L-101



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DIG SAFE

BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

LOAM AND SODDING NOTES

CONTRACTOR SHALL SOD AREAS NOTED ON THE PLANS.

SOD IS TO BE A BLEND OF FOUR TO FIVE CURRENT AND IMPROVED HYBRID BLUEGRASS AND FESCUE MIXES APPROPRIATE FOR BOTH SEMI-SHADED AND AREAS OF SUN.

HYBRIDS MAY INCLUDE: BLACKSTONE KENTUCKY BLUEGRASS, AWARD KENTUCKY BLUEGRASS, CHALLENGER KENTUCKY BLUEGRASS, BLACKBURG II KENTUCKY BLUEGRASS OR COMPARABLE AND EQUAL BLUEGRASS HYBRIDS.

1. SOD SHALL BE HIGH QUALITY, NURSERY GROWN ON CULTIVATED MINERAL AGRICULTURAL SOILS. SOD SHALL BE MOIST, AND MACHINE CUT AT A UNIFORM SOIL THICKNESS OF AT LEAST 3/8" AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL INCLUDE TOP GROWTH AND THATCH. SOD SHALL BE FREE OF DISEASES, WEEDS, BARE SPOTS, OR INSECTS.

2. SODDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SODDING OF BARE SPOTS. IF UNABLE TO SOD WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE), AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SODDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING AT NO ADDITIONAL COST TO OWNER. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO OWNER.

3. COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.

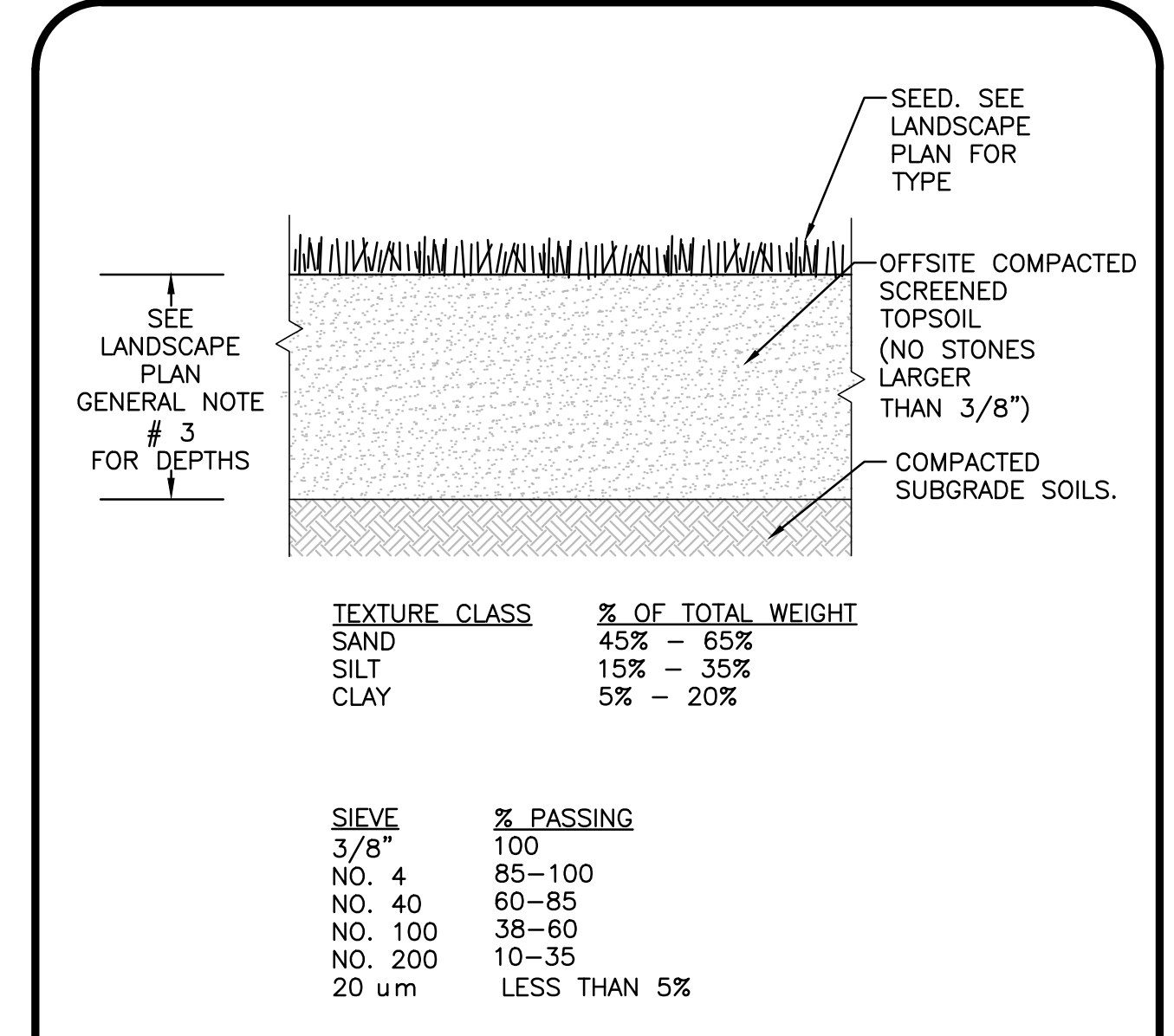
4. CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RE-SODDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

LANDSCAPE NOTES CONT.

- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED LAWNS WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BARRIQUET.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH. GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- ALL TREE STAKES SHALL BE STAINED DARK BROWN.
- CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
- SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- AN MINIMUM 18" WIDE BARRIER OF 1" GRAY OR TAN PEASTONE SHALL BE INSTALLED IN ALL PLANT BEDS WHICH ABUT THE BUILDINGS. NO MULCH IS ALLOWED WITHIN 18" OF ALL BUILDINGS PER THE LATEST EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY DEPARTMENT OF FIRE SERVICES REGULATION (527 CMR 17.00). INSTALL 6" DEEP OF PEASTONE WITH MIRAFI WEED FABRIC BENEATH AND STEEL EDGING BETWEEN THE PEASTONE AND ADJACENT MULCH BED.
- ALL PROPOSED LANDSCAPE AREAS INCLUDING MOWED LAWNS, TREES, SHRUB BEDS, AND PERENNIALS SHALL BE PROVIDED WITH WATER EFFICIENT UNDERGROUND IRRIGATION. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING: USE OF DRIP IRRIGATION FOR SHRUBS AND PERENNIALS, IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE, A CENTRAL SHUT-OFF VALVE, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.

LANDSCAPE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF ARLINGTON, MA.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA, ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.



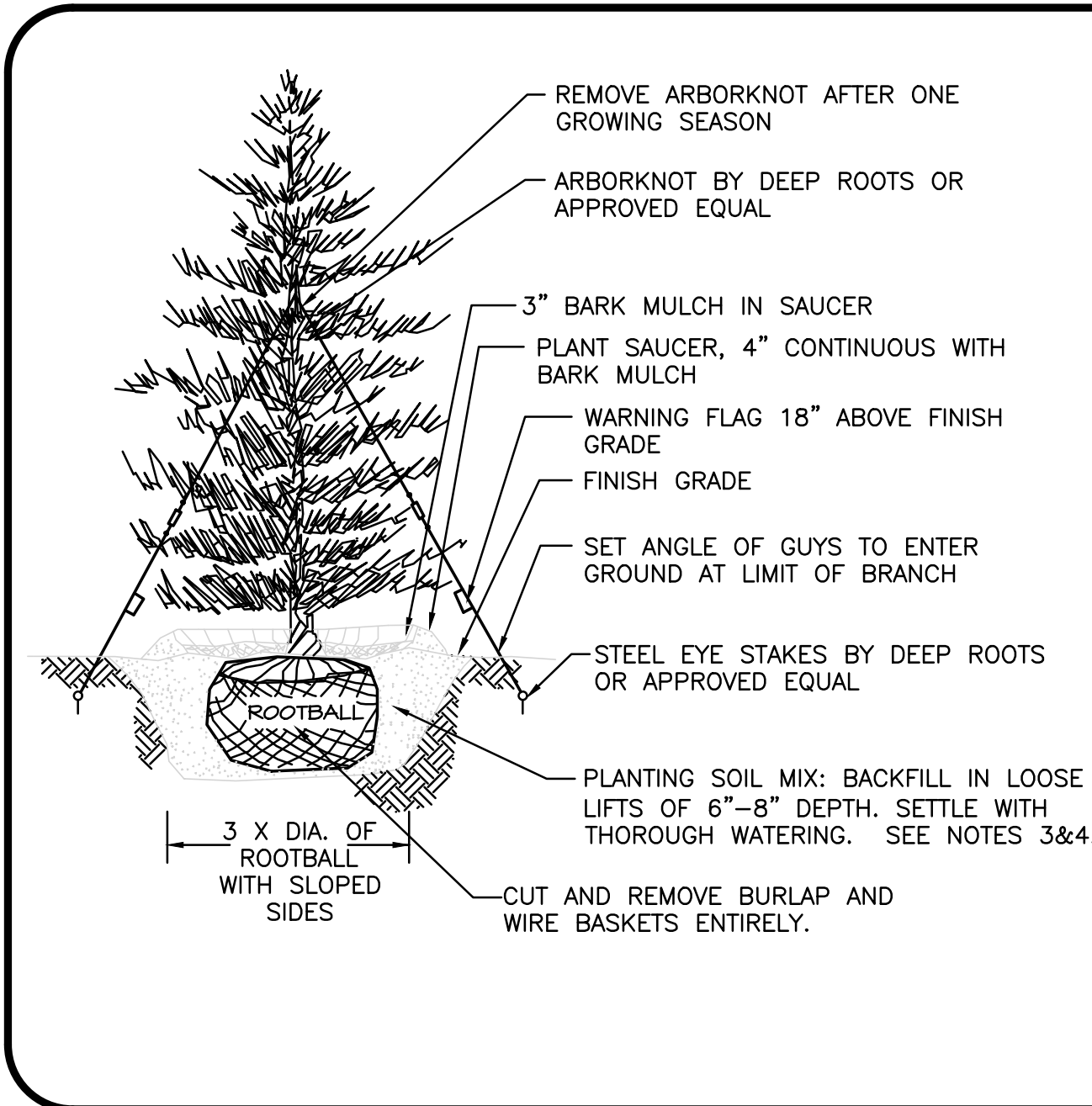
NOTES:

- TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
- ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. OFFSITE SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLODS, STICKS, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEIOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
- THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF ANY TOPSOIL IS PURCHASED OR PLACED PRIOR TO APPROVAL BY OWNER / LANDSCAPE ARCHITECT, IT IS AT CONTRACTORS RISK, AND IT CAN BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
- TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

TOPSOIL FOR LAWN, TREES, SHRUBS, & PERENNIALS

NOT TO SCALE

2



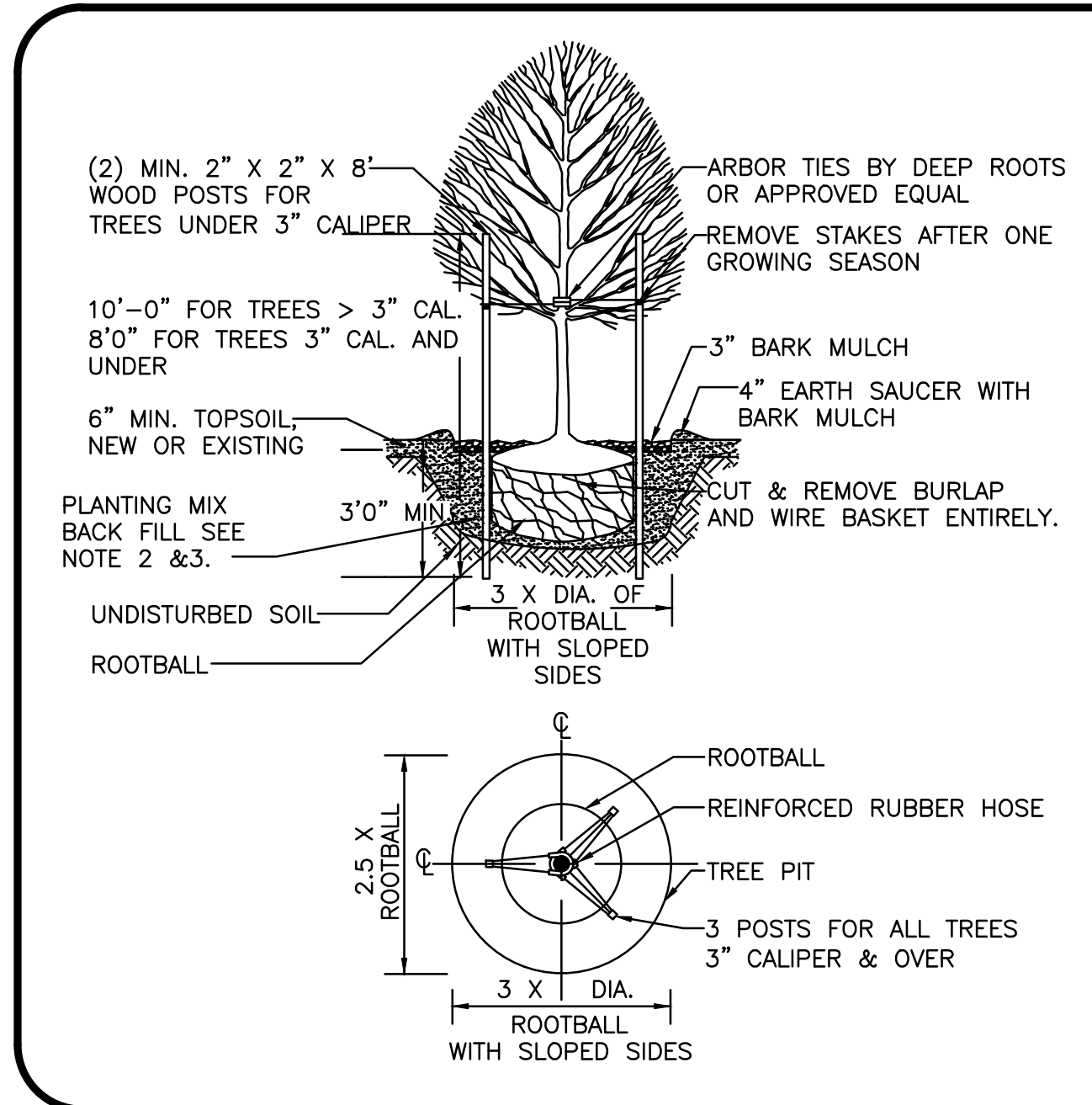
EVERGREEN TREE DETAIL

NOT TO SCALE

1

NOTES

- TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
- INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL.
- ATTACH GUYS AT 2/3 HEIGHT OF TREE.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.



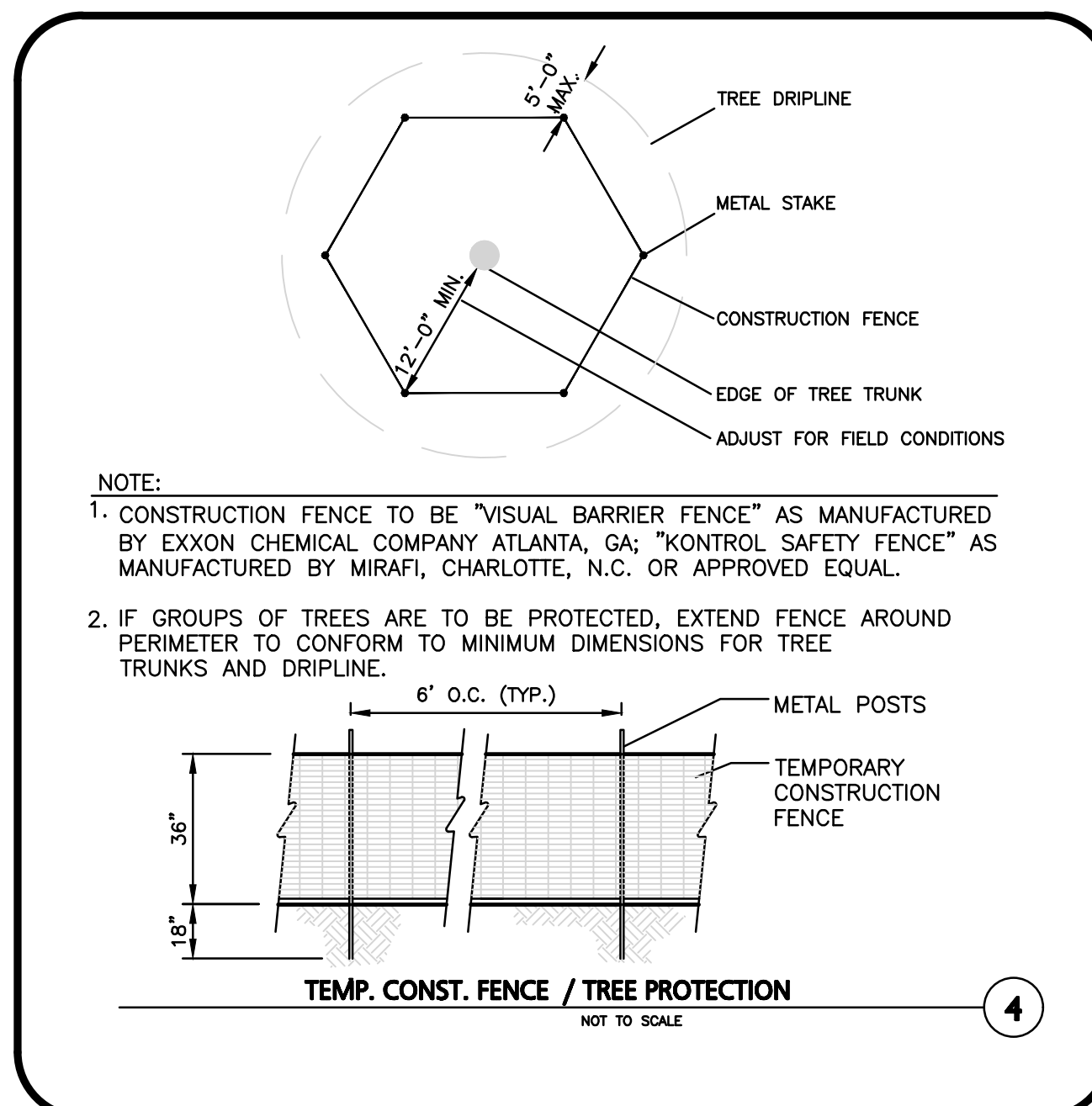
DECIDUOUS TREE DETAIL

NOT TO SCALE

3

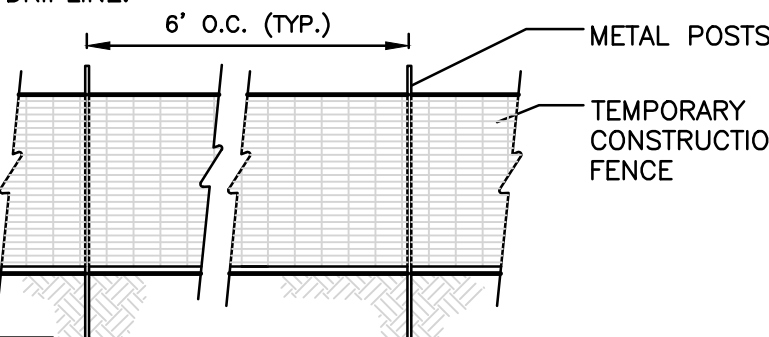
NOTES:

- ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.



NOTE:

- CONSTRUCTION FENCE TO BE "VISUAL BARRIER FENCE" AS MANUFACTURED BY EXXON CHEMICAL COMPANY ATLANTA, GA; "KONTROL SAFETY FENCE" AS MANUFACTURED BY MIRAFI, CHARLOTTE, N.C. OR APPROVED EQUAL.
- IF GROUPS OF TREES ARE TO BE PROTECTED, EXTEND FENCE AROUND PERIMETER TO CONFORM TO MINIMUM DIMENSIONS FOR TREE TRUNKS AND DRILLINE.



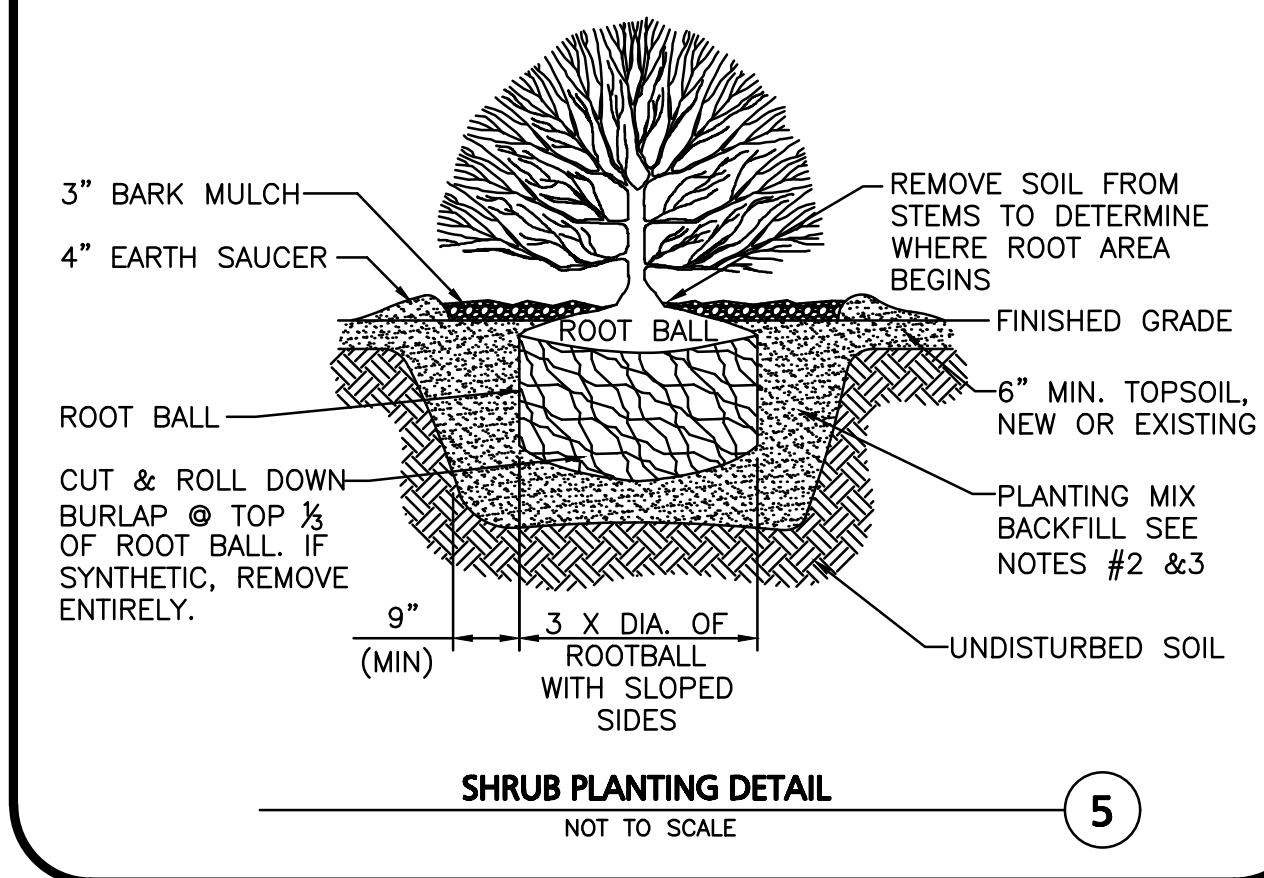
TEMP. CONST. FENCE / TREE PROTECTION

NOT TO SCALE

4

NOTES:

- ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. SET SHRUB 1"-2" ABOVE FINISH GRADE.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.
- SHRUB BEDS TO HAVE 24" MIN. OF CONTINUOUS PLANTING SOIL.



SHRUB PLANTING DETAIL

NOT TO SCALE

5



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:
882-892 MASSACHUSETTS AVE, LLC
452 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

PROJECT:
892 MASSACHUSETTS AVE
ARLINGTON, MA 02476

PROJECT NO. 2729-01 DATE: 04-10-20

SCALE: NTS DWG. NAME: C272901

DESIGNED BY: BCD CHECKED BY: BDJ/RC

PREPARED BY:

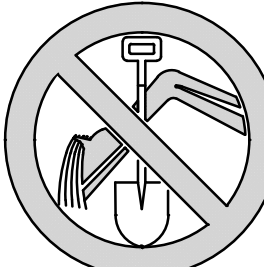
ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE: LANDSCAPE DETAILS SHEET No. L-501

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April 10, 2020

Jennifer Raitt
Director of Planning & Community
Development
730 Massachusetts Ave
Arlington, MA 02476

RE: Mixed-Use Redevelopment
Drainage Summary Letter
882-892 Massachusetts Ave
Arlington, MA 02476

Dear Ms. Raitt,

On behalf of our Client, 882-892 Massachusetts Ave, LLC, Allen & Major Associates (A&M) is pleased to provide this letter in support of the Special Permit application for the Mixed-Use Redevelopment project at 882-892 Massachusetts Ave. This letter will summarize the changes to the stormwater management system which are proposed as part of the redevelopment efforts.

Existing Conditions

The site is located on the corner of Lockeland Avenue and Massachusetts Avenue with access to the parking area from Lockeland Avenue. It is comprised of two property's, identified on the City tax Map 126, Block 1, Lots 6 and 7. Lot 6 is predominantly covered by an existing 1-story brick building, approximately 4,786 square feet. Lot 7 is predominantly covered by paved parking area. Elevations onsite range from elevation 79 to elevation 80. Elevation 79 is the low point on-site located at the existing catch basin, and elevation 80 runs along the southern property line. Stormwater sheet flows from the paved parking lot to onsite to the existing catch basin which discharges to the existing municipal system via an 8" cast iron pipe. The majority of the stormwater from the site discharges through this connection including the roof drainage and parking lot. A review of the NRCS soil report for Middlesex County indicates that the soil onsite is considered Merrimac-Urban Land which has a Hydrologic Soil Group rating of an "A". A copy of the Existing Watershed Plan is included herewith.

Proposed Conditions

The project, proposes to demolish the existing structure to construct a 4-story, 4,693 square foot Mixed-Use building with apartment and retail uses. There are 22 apartment units proposed and a 750 square foot retail component. The parking area is proposed to be reconstructed within the constraints of the existing pavement area. The stormwater management system will be improved with the installation of a new catch basin with a sump and hood at the outlet pipe to provide stormwater treatment. The quantity of stormwater runoff will be reduced with the installation of landscaped areas on-site. The proposed work will result in approximately 1,470 square feet of impervious material being replaced with landscaped areas.

Runoff flows were estimated for both pre and post development conditions using HydroCAD 10.00 software, at two specific "Study Points" (SP-1 & SP-2). Study Point 1 is the flows that will enter the on-site catch basin and discharge to the municipal drainage system. Study Point 2 is the stormwater flows that will flow onto Massachusetts Ave, and be collected within the street catch basins. The table below shows that the project causes a reduction in the peak rate of runoff and volume of stormwater leaving the site at both Study Points. Copies of the HydroCAD worksheets and Watershed Plans are included herewith.

STUDY POINT #1 (flow to on-site catch basin)			
	2-Year	10-Year	100-Year
Existing Flow (CFS)	1.02	1.55	2.83
Proposed Flow (CFS)	0.92	1.47	2.79
Decrease (CFS)	0.10	0.08	0.04
Existing Volume (CF)	3,400	5,267	9,812
Proposed Volume (CF)	2,833	4,671	9,212
Decrease (CF)	567	596	600

STUDY POINT #2 (flow to Mass Ave)			
	2-Year	10-Year	100-Year
Existing Flow (CFS)	0.06	0.09	0.16
Proposed Flow (CFS)	0.01	0.03	0.08
Decrease (CFS)	0.05	0.06	0.08
Existing Volume (CF)	192	297	554
Proposed Volume (CF)	31	81	241
Decrease (CF)	161	216	313

The surface water drainage requirements of the Town of Arlington Zoning Bylaw Environmental Design Review Standards have been reviewed and met with the proposed design. The proposed project will introduce landscaped areas to the site to reduce the impervious area, and a new catch basin is proposed with a sump and hood at the outlet pipe to provide stormwater treatment. The Town of Arlington, Article 15 Stormwater Mitigation, shall not apply as the proposed development will introduce a reduction in impervious area. However, with the proposed landscaped areas the project will reduce the runoff rates for all design storms, and comply with this bylaw.

Summary

As shown in the table above, the proposed development will have a positive impact on the stormwater management system by reducing the rate and volume of stormwater runoff from the site.

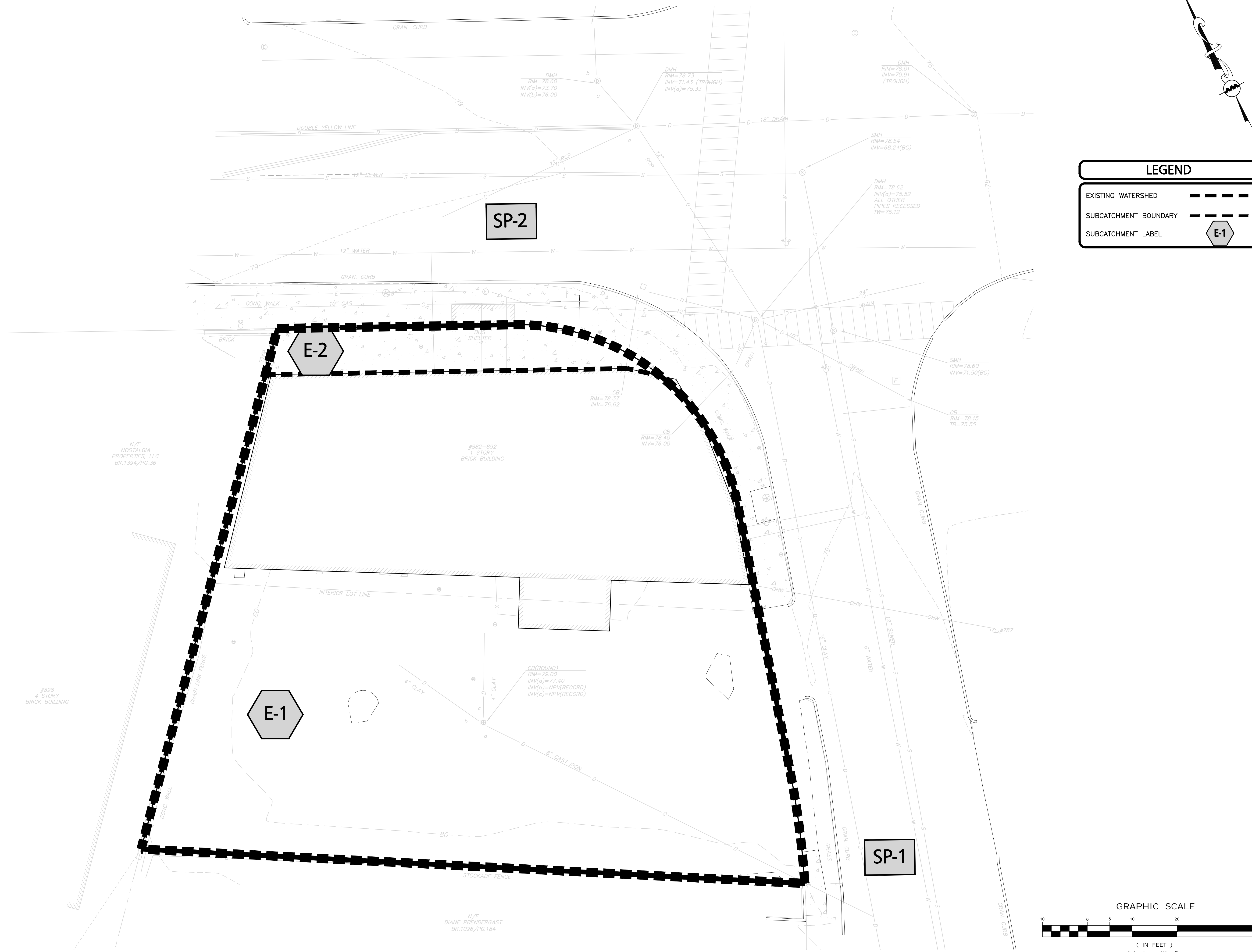
Very truly yours,

ALLEN & MAJOR ASSOCIATES, INC.

Aaron Mackey, PE
Project Engineer

Attachments:

1. Existing Watershed Plan
2. Proposed Watershed Plan
3. Pre development HydroCAD Calculations
4. Post development HydroCAD Calculations
5. Extreme Precipitation Tables
6. NRCS Soil Report



LEGEND

EXISTING WATERSHED ————

SUBCATCHMENT BOUNDARY - - - - -

SUBCATCHMENT LABEL

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
882-892 MASSACHUSETTS AVE, LLC
452 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

PROJECT:
892 MASSACHUSETTS AVE
ARLINGTON, MA 02476

PROJECT NO. **2729-01** DATE: **04-10-20**

SCALE: **1" = 10'** DWG. NAME: **C272901**

DESIGNED BY: **ARM** CHECKED BY: **BDJ/RC**

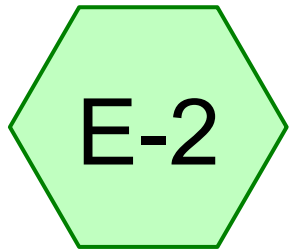
PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
 civil engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com
 100 COMMERCE WAY, SUITE 5
 WOBURN MA 01801
 TEL: (781) 935-6889
 FAX: (781) 935-2896

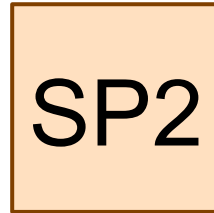
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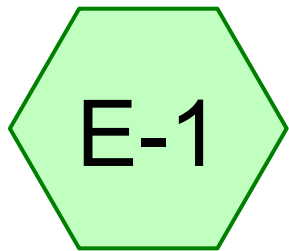
DRAWING TITLE: **EXISTING WATERSHED PLAN** SHEET No. **EWP**



Subcat E-2



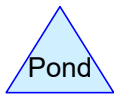
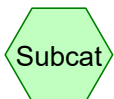
Study Point 2



Subcat E-1



Study Point 1



2729-01_Existing-Conditions

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Page 2

Area Listing (all nodes)

Area (sq-ft)	CN	Description (subcatchment-numbers)
9,372	98	Paved parking, HSG A (E-1, E-2)
5,008	98	Roofs, HSG A (E-1)
14,381	98	TOTAL AREA

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Soil Listing (all nodes)

Area (sq-ft)	Soil Group	Subcatchment Numbers
14,381	HSG A	E-1, E-2
0	HSG B	
0	HSG C	
0	HSG D	
0	Other	
14,381		TOTAL AREA

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Ground Covers (all nodes)

HSG-A (sq-ft)	HSG-B (sq-ft)	HSG-C (sq-ft)	HSG-D (sq-ft)	Other (sq-ft)	Total (sq-ft)	Ground Cover	Subcatchment Numbers
9,372	0	0	0	0	9,372	Paved parking	E-1, E-2
5,008	0	0	0	0	5,008	Roofs	E-1
14,381	0	0	0	0	14,381	TOTAL AREA	

2729-01_Existing-Conditions

Type III 24-hr 2-Year Rainfall=3.23"

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Time span=0.00-72.00 hrs, dt=0.01 hrs, 7201 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment E-1: Subcat E-1

Runoff Area=13,613 sf 100.00% Impervious Runoff Depth=3.00"
Tc=5.0 min CN=98 Runoff=1.02 cfs 3,400 cf

Subcatchment E-2: Subcat E-2

Runoff Area=768 sf 100.00% Impervious Runoff Depth=3.00"
Tc=5.0 min CN=98 Runoff=0.06 cfs 192 cf

Reach SP1: Study Point 1

Inflow=1.02 cfs 3,400 cf
Outflow=1.02 cfs 3,400 cf

Reach SP2: Study Point 2

Inflow=0.06 cfs 192 cf
Outflow=0.06 cfs 192 cf

Total Runoff Area = 14,381 sf Runoff Volume = 3,592 cf Average Runoff Depth = 3.00"
0.00% Pervious = 0 sf 100.00% Impervious = 14,381 sf

2729-01_Existing-Conditions

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Type III 24-hr 2-Year Rainfall=3.23"

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Summary for Subcatchment E-1: Subcat E-1

Runoff = 1.02 cfs @ 12.07 hrs, Volume= 3,400 cf, Depth= 3.00"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 Type III 24-hr 2-Year Rainfall=3.23"

Area (sf)	CN	Description
8,604	98	Paved parking, HSG A
5,008	98	Roofs, HSG A
13,613	98	Weighted Average
13,613		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Assumed

Summary for Subcatchment E-2: Subcat E-2

Runoff = 0.06 cfs @ 12.07 hrs, Volume= 192 cf, Depth= 3.00"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 Type III 24-hr 2-Year Rainfall=3.23"

Area (sf)	CN	Description
768	98	Paved parking, HSG A
768		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Assumed

Summary for Reach SP1: Study Point 1

Inflow Area = 13,613 sf, 100.00% Impervious, Inflow Depth = 3.00" for 2-Year event
 Inflow = 1.02 cfs @ 12.07 hrs, Volume= 3,400 cf
 Outflow = 1.02 cfs @ 12.07 hrs, Volume= 3,400 cf, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs / 3

Summary for Reach SP2: Study Point 2

Inflow Area = 768 sf, 100.00% Impervious, Inflow Depth = 3.00" for 2-Year event
 Inflow = 0.06 cfs @ 12.07 hrs, Volume= 192 cf
 Outflow = 0.06 cfs @ 12.07 hrs, Volume= 192 cf, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs / 3

2729-01_Existing-Conditions

Type III 24-hr 10-Year Rainfall=4.88"

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Time span=0.00-72.00 hrs, dt=0.01 hrs, 7201 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment E-1: Subcat E-1

Runoff Area=13,613 sf 100.00% Impervious Runoff Depth=4.64"
Tc=5.0 min CN=98 Runoff=1.55 cfs 5,267 cf

Subcatchment E-2: Subcat E-2

Runoff Area=768 sf 100.00% Impervious Runoff Depth=4.64"
Tc=5.0 min CN=98 Runoff=0.09 cfs 297 cf

Reach SP1: Study Point 1

Inflow=1.55 cfs 5,267 cf
Outflow=1.55 cfs 5,267 cf

Reach SP2: Study Point 2

Inflow=0.09 cfs 297 cf
Outflow=0.09 cfs 297 cf

Total Runoff Area = 14,381 sf Runoff Volume = 5,565 cf Average Runoff Depth = 4.64"
0.00% Pervious = 0 sf 100.00% Impervious = 14,381 sf

2729-01_Existing-Conditions

Type III 24-hr 10-Year Rainfall=4.88"

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Summary for Subcatchment E-1: Subcat E-1

Runoff = 1.55 cfs @ 12.07 hrs, Volume= 5,267 cf, Depth= 4.64"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
Type III 24-hr 10-Year Rainfall=4.88"

Area (sf)	CN	Description
8,604	98	Paved parking, HSG A
5,008	98	Roofs, HSG A
13,613	98	Weighted Average
13,613		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Assumed

Summary for Subcatchment E-2: Subcat E-2

Runoff = 0.09 cfs @ 12.07 hrs, Volume= 297 cf, Depth= 4.64"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
Type III 24-hr 10-Year Rainfall=4.88"

Area (sf)	CN	Description
768	98	Paved parking, HSG A
768		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Assumed

Summary for Reach SP1: Study Point 1

Inflow Area = 13,613 sf, 100.00% Impervious, Inflow Depth = 4.64" for 10-Year event
 Inflow = 1.55 cfs @ 12.07 hrs, Volume= 5,267 cf
 Outflow = 1.55 cfs @ 12.07 hrs, Volume= 5,267 cf, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs / 3

Summary for Reach SP2: Study Point 2

Inflow Area = 768 sf, 100.00% Impervious, Inflow Depth = 4.64" for 10-Year event
 Inflow = 0.09 cfs @ 12.07 hrs, Volume= 297 cf
 Outflow = 0.09 cfs @ 12.07 hrs, Volume= 297 cf, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs / 3

2729-01_Existing-Conditions

Type III 24-hr 100-Year Rainfall=8.89"

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Time span=0.00-72.00 hrs, dt=0.01 hrs, 7201 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment E-1: Subcat E-1

Runoff Area=13,613 sf 100.00% Impervious Runoff Depth=8.65"
Tc=5.0 min CN=98 Runoff=2.83 cfs 9,812 cf

Subcatchment E-2: Subcat E-2

Runoff Area=768 sf 100.00% Impervious Runoff Depth=8.65"
Tc=5.0 min CN=98 Runoff=0.16 cfs 554 cf

Reach SP1: Study Point 1

Inflow=2.83 cfs 9,812 cf
Outflow=2.83 cfs 9,812 cf

Reach SP2: Study Point 2

Inflow=0.16 cfs 554 cf
Outflow=0.16 cfs 554 cf

Total Runoff Area = 14,381 sf Runoff Volume = 10,366 cf Average Runoff Depth = 8.65"
0.00% Pervious = 0 sf 100.00% Impervious = 14,381 sf

2729-01_Existing-Conditions

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Type III 24-hr 100-Year Rainfall=8.89"

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Summary for Subcatchment E-1: Subcat E-1

Runoff = 2.83 cfs @ 12.07 hrs, Volume= 9,812 cf, Depth= 8.65"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 Type III 24-hr 100-Year Rainfall=8.89"

Area (sf)	CN	Description
8,604	98	Paved parking, HSG A
5,008	98	Roofs, HSG A
13,613	98	Weighted Average
13,613		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Assumed

Summary for Subcatchment E-2: Subcat E-2

Runoff = 0.16 cfs @ 12.07 hrs, Volume= 554 cf, Depth= 8.65"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 Type III 24-hr 100-Year Rainfall=8.89"

Area (sf)	CN	Description
768	98	Paved parking, HSG A
768		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Assumed

Summary for Reach SP1: Study Point 1

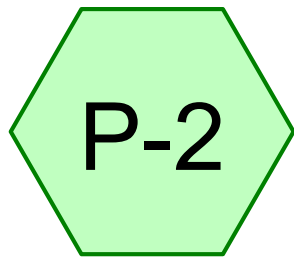
Inflow Area = 13,613 sf, 100.00% Impervious, Inflow Depth = 8.65" for 100-Year event
 Inflow = 2.83 cfs @ 12.07 hrs, Volume= 9,812 cf
 Outflow = 2.83 cfs @ 12.07 hrs, Volume= 9,812 cf, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs / 3

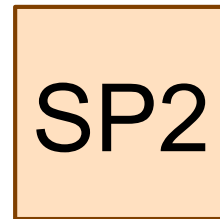
Summary for Reach SP2: Study Point 2

Inflow Area = 768 sf, 100.00% Impervious, Inflow Depth = 8.65" for 100-Year event
 Inflow = 0.16 cfs @ 12.07 hrs, Volume= 554 cf
 Outflow = 0.16 cfs @ 12.07 hrs, Volume= 554 cf, Atten= 0%, Lag= 0.0 min

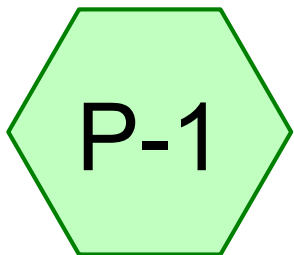
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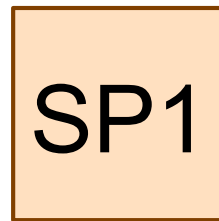
Subcat P-2



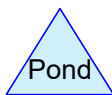
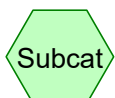
Study Point 2



Subcat P-1



Study Point 1



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Area Listing (all nodes)

Area (sq-ft)	CN	Description (subcatchment-numbers)
1,470	39	>75% Grass cover, Good, HSG A (P-1, P-2)
8,217	98	Paved parking, HSG A (P-1, P-2)
4,693	98	Roofs, HSG A (P-1)
14,381	92	TOTAL AREA

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Soil Listing (all nodes)

Area (sq-ft)	Soil Group	Subcatchment Numbers
14,381	HSG A	P-1, P-2
0	HSG B	
0	HSG C	
0	HSG D	
0	Other	
14,381		TOTAL AREA

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Ground Covers (all nodes)

HSG-A (sq-ft)	HSG-B (sq-ft)	HSG-C (sq-ft)	HSG-D (sq-ft)	Other (sq-ft)	Total (sq-ft)	Ground Cover	Subcatchment Numbers
1,470	0	0	0	0	1,470	>75% Grass cover, Good	P-1, P-2
8,217	0	0	0	0	8,217	Paved parking	P-1, P-2
4,693	0	0	0	0	4,693	Roofs	P-1
14,381	0	0	0	0	14,381	TOTAL AREA	

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Type III 24-hr 2-Year Rainfall=3.23"

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Time span=0.00-72.00 hrs, dt=0.01 hrs, 7201 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment P-1: Subcat P-1

Runoff Area=13,738 sf 92.26% Impervious Runoff Depth=2.47"
Tc=5.0 min CN=93 Runoff=0.92 cfs 2,833 cf

Subcatchment P-2: Subcat P-2

Runoff Area=643 sf 36.61% Impervious Runoff Depth=0.46"
Tc=5.0 min CN=61 Runoff=0.01 cfs 24 cf

Reach SP1: Study Point 1

Inflow=0.92 cfs 2,833 cf
Outflow=0.92 cfs 2,833 cf

Reach SP2: Study Point 2

Inflow=0.01 cfs 24 cf
Outflow=0.01 cfs 24 cf

Total Runoff Area = 14,381 sf Runoff Volume = 2,857 cf Average Runoff Depth = 2.38"
10.22% Pervious = 1,470 sf 89.78% Impervious = 12,910 sf

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Type III 24-hr 2-Year Rainfall=3.23"

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Summary for Subcatchment P-1: Subcat P-1

Runoff = 0.92 cfs @ 12.07 hrs, Volume= 2,833 cf, Depth= 2.47"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 Type III 24-hr 2-Year Rainfall=3.23"

Area (sf)	CN	Description
7,982	98	Paved parking, HSG A
4,693	98	Roofs, HSG A
1,063	39	>75% Grass cover, Good, HSG A
13,738	93	Weighted Average
1,063		7.74% Pervious Area
12,675		92.26% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Assumed

Summary for Subcatchment P-2: Subcat P-2

Runoff = 0.01 cfs @ 12.11 hrs, Volume= 24 cf, Depth= 0.46"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 Type III 24-hr 2-Year Rainfall=3.23"

Area (sf)	CN	Description
408	39	>75% Grass cover, Good, HSG A
235	98	Paved parking, HSG A
643	61	Weighted Average
408		63.39% Pervious Area
235		36.61% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Assumed

Summary for Reach SP1: Study Point 1

Inflow Area = 13,738 sf, 92.26% Impervious, Inflow Depth = 2.47" for 2-Year event
 Inflow = 0.92 cfs @ 12.07 hrs, Volume= 2,833 cf
 Outflow = 0.92 cfs @ 12.07 hrs, Volume= 2,833 cf, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs / 3

Summary for Reach SP2: Study Point 2

Inflow Area = 643 sf, 36.61% Impervious, Inflow Depth = 0.46" for 2-Year event
 Inflow = 0.01 cfs @ 12.11 hrs, Volume= 24 cf
 Outflow = 0.01 cfs @ 12.11 hrs, Volume= 24 cf, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs / 3

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Type III 24-hr 10-Year Rainfall=4.88"

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Time span=0.00-72.00 hrs, dt=0.01 hrs, 7201 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment P-1: Subcat P-1

Runoff Area=13,738 sf 92.26% Impervious Runoff Depth=4.08"
Tc=5.0 min CN=93 Runoff=1.47 cfs 4,671 cf

Subcatchment P-2: Subcat P-2

Runoff Area=643 sf 36.61% Impervious Runoff Depth=1.30"
Tc=5.0 min CN=61 Runoff=0.02 cfs 70 cf

Reach SP1: Study Point 1

Inflow=1.47 cfs 4,671 cf
Outflow=1.47 cfs 4,671 cf

Reach SP2: Study Point 2

Inflow=0.02 cfs 70 cf
Outflow=0.02 cfs 70 cf

Total Runoff Area = 14,381 sf Runoff Volume = 4,740 cf Average Runoff Depth = 3.96"
10.22% Pervious = 1,470 sf 89.78% Impervious = 12,910 sf

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Type III 24-hr 10-Year Rainfall=4.88"

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Summary for Subcatchment P-1: Subcat P-1

Runoff = 1.47 cfs @ 12.07 hrs, Volume= 4,671 cf, Depth= 4.08"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
Type III 24-hr 10-Year Rainfall=4.88"

Area (sf)	CN	Description
7,982	98	Paved parking, HSG A
4,693	98	Roofs, HSG A
1,063	39	>75% Grass cover, Good, HSG A
13,738	93	Weighted Average
1,063		7.74% Pervious Area
12,675		92.26% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Assumed

Summary for Subcatchment P-2: Subcat P-2

Runoff = 0.02 cfs @ 12.08 hrs, Volume= 70 cf, Depth= 1.30"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
Type III 24-hr 10-Year Rainfall=4.88"

Area (sf)	CN	Description
408	39	>75% Grass cover, Good, HSG A
235	98	Paved parking, HSG A
643	61	Weighted Average
408		63.39% Pervious Area
235		36.61% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Assumed

Summary for Reach SP1: Study Point 1

Inflow Area = 13,738 sf, 92.26% Impervious, Inflow Depth = 4.08" for 10-Year event
 Inflow = 1.47 cfs @ 12.07 hrs, Volume= 4,671 cf
 Outflow = 1.47 cfs @ 12.07 hrs, Volume= 4,671 cf, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs / 3

Summary for Reach SP2: Study Point 2

Inflow Area = 643 sf, 36.61% Impervious, Inflow Depth = 1.30" for 10-Year event
 Inflow = 0.02 cfs @ 12.08 hrs, Volume= 70 cf
 Outflow = 0.02 cfs @ 12.08 hrs, Volume= 70 cf, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs / 3

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Type III 24-hr 100-Year Rainfall=8.89"

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Time span=0.00-72.00 hrs, dt=0.01 hrs, 7201 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment P-1: Subcat P-1

Runoff Area=13,738 sf 92.26% Impervious Runoff Depth=8.05"
Tc=5.0 min CN=93 Runoff=2.79 cfs 9,212 cf

Subcatchment P-2: Subcat P-2

Runoff Area=643 sf 36.61% Impervious Runoff Depth=4.14"
Tc=5.0 min CN=61 Runoff=0.07 cfs 222 cf

Reach SP1: Study Point 1

Inflow=2.79 cfs 9,212 cf
Outflow=2.79 cfs 9,212 cf

Reach SP2: Study Point 2

Inflow=0.07 cfs 222 cf
Outflow=0.07 cfs 222 cf

Total Runoff Area = 14,381 sf Runoff Volume = 9,433 cf Average Runoff Depth = 7.87"
10.22% Pervious = 1,470 sf 89.78% Impervious = 12,910 sf

2729-01_Proposed-Conditions

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Type III 24-hr 100-Year Rainfall=8.89"

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Summary for Subcatchment P-1: Subcat P-1

Runoff = 2.79 cfs @ 12.07 hrs, Volume= 9,212 cf, Depth= 8.05"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 Type III 24-hr 100-Year Rainfall=8.89"

Area (sf)	CN	Description
7,982	98	Paved parking, HSG A
4,693	98	Roofs, HSG A
1,063	39	>75% Grass cover, Good, HSG A
13,738	93	Weighted Average
1,063		7.74% Pervious Area
12,675		92.26% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Assumed

Summary for Subcatchment P-2: Subcat P-2

Runoff = 0.07 cfs @ 12.08 hrs, Volume= 222 cf, Depth= 4.14"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs
 Type III 24-hr 100-Year Rainfall=8.89"

Area (sf)	CN	Description
408	39	>75% Grass cover, Good, HSG A
235	98	Paved parking, HSG A
643	61	Weighted Average
408		63.39% Pervious Area
235		36.61% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Assumed

Summary for Reach SP1: Study Point 1

Inflow Area = 13,738 sf, 92.26% Impervious, Inflow Depth = 8.05" for 100-Year event
 Inflow = 2.79 cfs @ 12.07 hrs, Volume= 9,212 cf
 Outflow = 2.79 cfs @ 12.07 hrs, Volume= 9,212 cf, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs / 3

Summary for Reach SP2: Study Point 2

Inflow Area = 643 sf, 36.61% Impervious, Inflow Depth = 4.14" for 100-Year event
 Inflow = 0.07 cfs @ 12.08 hrs, Volume= 222 cf
 Outflow = 0.07 cfs @ 12.08 hrs, Volume= 222 cf, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.01 hrs / 3

Extreme Precipitation Tables

Northeast Regional Climate Center

Data represents point estimates calculated from partial duration series. All precipitation amounts are displayed in inches.

Smoothing	Yes
State	Massachusetts
Location	
Longitude	71.164 degrees West
Latitude	42.417 degrees North
Elevation	0 feet
Date/Time	Wed, 22 Jan 2020 13:40:55 -0500

Extreme Precipitation Estimates

	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr		1day	2day	4day	7day	10day	
1yr	0.28	0.43	0.53	0.70	0.87	1.10	1yr	0.75	1.04	1.28	1.63	2.08	2.68	2.92	1yr	2.37	2.81	3.27	3.96	4.64	1yr
2yr	0.35	0.54	0.67	0.88	1.11	1.40	2yr	0.96	1.28	1.62	2.03	2.56	3.23	3.57	2yr	2.85	3.44	3.94	4.68	5.34	2yr
5yr	0.41	0.64	0.81	1.08	1.39	1.77	5yr	1.20	1.60	2.05	2.59	3.25	4.08	4.55	5yr	3.61	4.37	4.99	5.95	6.68	5yr
10yr	0.47	0.73	0.93	1.26	1.64	2.11	10yr	1.42	1.90	2.46	3.11	3.90	4.88	5.45	10yr	4.32	5.25	5.97	7.14	7.91	10yr
25yr	0.56	0.88	1.12	1.55	2.05	2.66	25yr	1.77	2.39	3.12	3.95	4.96	6.19	6.95	25yr	5.48	6.68	7.57	9.09	9.91	25yr
50yr	0.63	1.01	1.29	1.81	2.44	3.20	50yr	2.10	2.85	3.76	4.76	5.97	7.42	8.35	50yr	6.56	8.03	9.07	10.91	11.75	50yr
100yr	0.72	1.17	1.51	2.13	2.90	3.82	100yr	2.50	3.39	4.50	5.71	7.16	8.89	10.03	100yr	7.86	9.65	10.86	13.10	13.95	100yr
200yr	0.83	1.35	1.74	2.50	3.45	4.57	200yr	2.97	4.03	5.40	6.86	8.59	10.65	12.07	200yr	9.42	11.60	13.02	15.73	16.56	200yr
500yr	1.00	1.64	2.14	3.10	4.34	5.80	500yr	3.74	5.08	6.86	8.74	10.94	13.54	15.41	500yr	11.98	14.82	16.54	20.06	20.78	500yr

Lower Confidence Limits

	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr		1day	2day	4day	7day	10day	
1yr	0.24	0.38	0.46	0.62	0.76	0.84	1yr	0.66	0.83	1.14	1.43	1.77	2.41	2.48	1yr	2.14	2.38	2.92	3.52	4.01	1yr
2yr	0.33	0.51	0.63	0.85	1.05	1.26	2yr	0.91	1.23	1.44	1.91	2.47	3.12	3.45	2yr	2.76	3.32	3.80	4.52	5.17	2yr
5yr	0.39	0.60	0.74	1.02	1.30	1.50	5yr	1.12	1.47	1.72	2.24	2.87	3.75	4.15	5yr	3.32	3.99	4.57	5.45	6.14	5yr
10yr	0.43	0.67	0.82	1.15	1.49	1.72	10yr	1.28	1.68	1.94	2.52	3.23	4.32	4.80	10yr	3.83	4.61	5.24	6.25	7.00	10yr
25yr	0.50	0.76	0.95	1.35	1.78	2.04	25yr	1.53	1.99	2.29	2.95	3.76	5.19	5.78	25yr	4.59	5.56	6.29	7.47	8.28	25yr
50yr	0.55	0.84	1.05	1.51	2.03	2.34	50yr	1.75	2.29	2.60	3.33	4.23	5.94	6.65	50yr	5.26	6.39	7.20	8.51	9.40	50yr
100yr	0.62	0.93	1.17	1.69	2.32	2.66	100yr	2.00	2.60	2.94	3.61	4.75	6.83	7.64	100yr	6.04	7.35	8.26	9.67	10.68	100yr
200yr	0.69	1.04	1.32	1.92	2.67	3.04	200yr	2.31	2.97	3.34	4.04	5.35	7.83	8.79	200yr	6.93	8.45	9.46	10.96	12.10	200yr
500yr	0.81	1.21	1.55	2.25	3.21	3.62	500yr	2.77	3.54	3.93	4.69	6.27	9.39	10.55	500yr	8.31	10.15	11.32	12.90	14.25	500yr

Upper Confidence Limits

	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr		1day	2day	4day	7day	10day	
1yr	0.31	0.48	0.58	0.79	0.97	1.13	1yr	0.83	1.11	1.32	1.76	2.25	2.86	3.16	1yr	2.53	3.04	3.51	4.30	5.03	1yr
2yr	0.36	0.56	0.69	0.93	1.15	1.36	2yr	0.99	1.33	1.57	2.07	2.67	3.35	3.73	2yr	2.97	3.59	4.10	4.88	5.54	2yr
5yr	0.45	0.69	0.86	1.18	1.50	1.78	5yr	1.30	1.74	2.05	2.65	3.37	4.44	5.00	5yr	3.93	4.81	5.43	6.47	7.22	5yr
10yr	0.55	0.84	1.04	1.45	1.88	2.19	10yr	1.62	2.14	2.54	3.20	4.04	5.52	6.25	10yr	4.89	6.01	6.74	8.04	8.84	10yr
25yr	0.71	1.08	1.34	1.92	2.52	2.89	25yr	2.18	2.82	3.37	4.13	5.14	7.34	8.43	25yr	6.50	8.11	8.96	10.76	11.58	25yr
50yr	0.86	1.31	1.63	2.34	3.15	3.57	50yr	2.72	3.49	4.17	5.02	6.17	9.12	10.57	50yr	8.07	10.16	11.11	13.43	14.21	50yr
100yr	1.05	1.59	1.99	2.87	3.94	4.39	100yr	3.40	4.30	5.18	6.33	7.40	11.34	13.27	100yr	10.04	12.76	13.79	16.80	17.48	100yr
200yr	1.28	1.92	2.44	3.53	4.92	5.43	200yr	4.25	5.30	6.43	7.72	8.88	14.11	16.67	200yr	12.49	16.03	17.14	21.02	21.51	200yr
500yr	1.67	2.48	3.19	4.63	6.59	7.15	500yr	5.69	6.99	8.57	10.06	11.30	18.86	22.55	500yr	16.69	21.69	22.82	28.32	28.35	500yr





United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for Middlesex County, Massachusetts



Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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How Soil Surveys Are Made

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

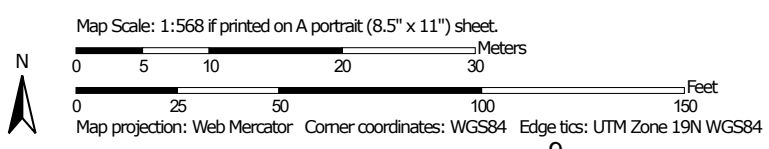
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identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

Soil Map


The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

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Soil Map



MAP LEGEND


Area of Interest (AOI)

 Area of Interest (AOI)




















Soils







 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features






-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Middlesex County, Massachusetts
 Survey Area Data: Version 19, Sep 12, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 11, 2019—Oct 5, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
602	Urban land	0.3	23.4%
626B	Merrimac-Urban land complex, 0 to 8 percent slopes	1.1	76.6%
Totals for Area of Interest		1.5	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however,

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onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Middlesex County, Massachusetts

602—Urban land

Map Unit Setting

National map unit symbol: 9950
Elevation: 0 to 3,000 feet
Mean annual precipitation: 32 to 50 inches
Mean annual air temperature: 45 to 50 degrees F
Frost-free period: 110 to 200 days
Farmland classification: Not prime farmland

Map Unit Composition

Urban land: 85 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Urban Land

Setting

Landform position (two-dimensional): Footslope
Landform position (three-dimensional): Base slope
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Excavated and filled land

Minor Components

Rock outcrop

Percent of map unit: 5 percent
Landform: Ledges
Landform position (two-dimensional): Summit
Landform position (three-dimensional): Head slope
Down-slope shape: Concave
Across-slope shape: Concave

Udorthents, wet substratum

Percent of map unit: 5 percent
Hydric soil rating: No

Udorthents, loamy

Percent of map unit: 5 percent
Hydric soil rating: No

626B—Merrimac-Urban land complex, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: 2tyr9
Elevation: 0 to 820 feet
Mean annual precipitation: 36 to 71 inches

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Mean annual air temperature: 39 to 55 degrees F
Frost-free period: 140 to 250 days
Farmland classification: Not prime farmland

Map Unit Composition

Merrimac and similar soils: 45 percent
Urban land: 40 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Merrimac

Setting

Landform: Moraines, outwash plains, kames, eskers, outwash terraces
Landform position (two-dimensional): Backslope, footslope, summit, shoulder
Landform position (three-dimensional): Side slope, crest, riser, tread
Down-slope shape: Convex
Across-slope shape: Convex
Parent material: Loamy glaciofluvial deposits derived from granite, schist, and gneiss over sandy and gravelly glaciofluvial deposits derived from granite, schist, and gneiss

Typical profile

Ap - 0 to 10 inches: fine sandy loam
Bw1 - 10 to 22 inches: fine sandy loam
Bw2 - 22 to 26 inches: stratified gravel to gravelly loamy sand
2C - 26 to 65 inches: stratified gravel to very gravelly sand

Properties and qualities

Slope: 0 to 8 percent
Depth to restrictive feature: More than 80 inches
Natural drainage class: Somewhat excessively drained
Runoff class: Very low
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to very high (1.42 to 99.90 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum in profile: 2 percent
Salinity, maximum in profile: Nonsaline (0.0 to 1.4 mmhos/cm)
Sodium adsorption ratio, maximum in profile: 1.0
Available water storage in profile: Low (about 4.6 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2e
Hydrologic Soil Group: A
Hydric soil rating: No

Description of Urban Land

Typical profile

M - 0 to 10 inches: cemented material

Properties and qualities

Slope: 0 to 8 percent
Depth to restrictive feature: 0 inches to manufactured layer

Custom Soil Resource Report

Runoff class: Very high

Capacity of the most limiting layer to transmit water (Ksat): Very low (0.00 to 0.00 in/hr)

Available water storage in profile: Very low (about 0.0 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 8

Hydrologic Soil Group: D

Hydric soil rating: Unranked

Minor Components

Windsor

Percent of map unit: 5 percent

Landform: Deltas, outwash plains, dunes, outwash terraces

Landform position (three-dimensional): Riser, tread

Down-slope shape: Linear, convex

Across-slope shape: Linear, convex

Hydric soil rating: No

Sudbury

Percent of map unit: 5 percent

Landform: Terraces, deltas, outwash plains

Landform position (two-dimensional): Footslope

Landform position (three-dimensional): Tread, dip

Down-slope shape: Concave

Across-slope shape: Linear

Hydric soil rating: No

Hinckley

Percent of map unit: 5 percent

Landform: Deltas, outwash plains, kames, eskers

Landform position (two-dimensional): Summit, shoulder, backslope

Landform position (three-dimensional): Nose slope, crest, head slope, side slope, rise

Down-slope shape: Convex

Across-slope shape: Convex, linear

Hydric soil rating: No

Soil Information for All Uses

Soil Properties and Qualities

The Soil Properties and Qualities section includes various soil properties and qualities displayed as thematic maps with a summary table for the soil map units in the selected area of interest. A single value or rating for each map unit is generated by aggregating the interpretive ratings of individual map unit components. This aggregation process is defined for each property or quality.

Soil Physical Properties

Soil Physical Properties are measured or inferred from direct observations in the field or laboratory. Examples of soil physical properties include percent clay, organic matter, saturated hydraulic conductivity, available water capacity, and bulk density.

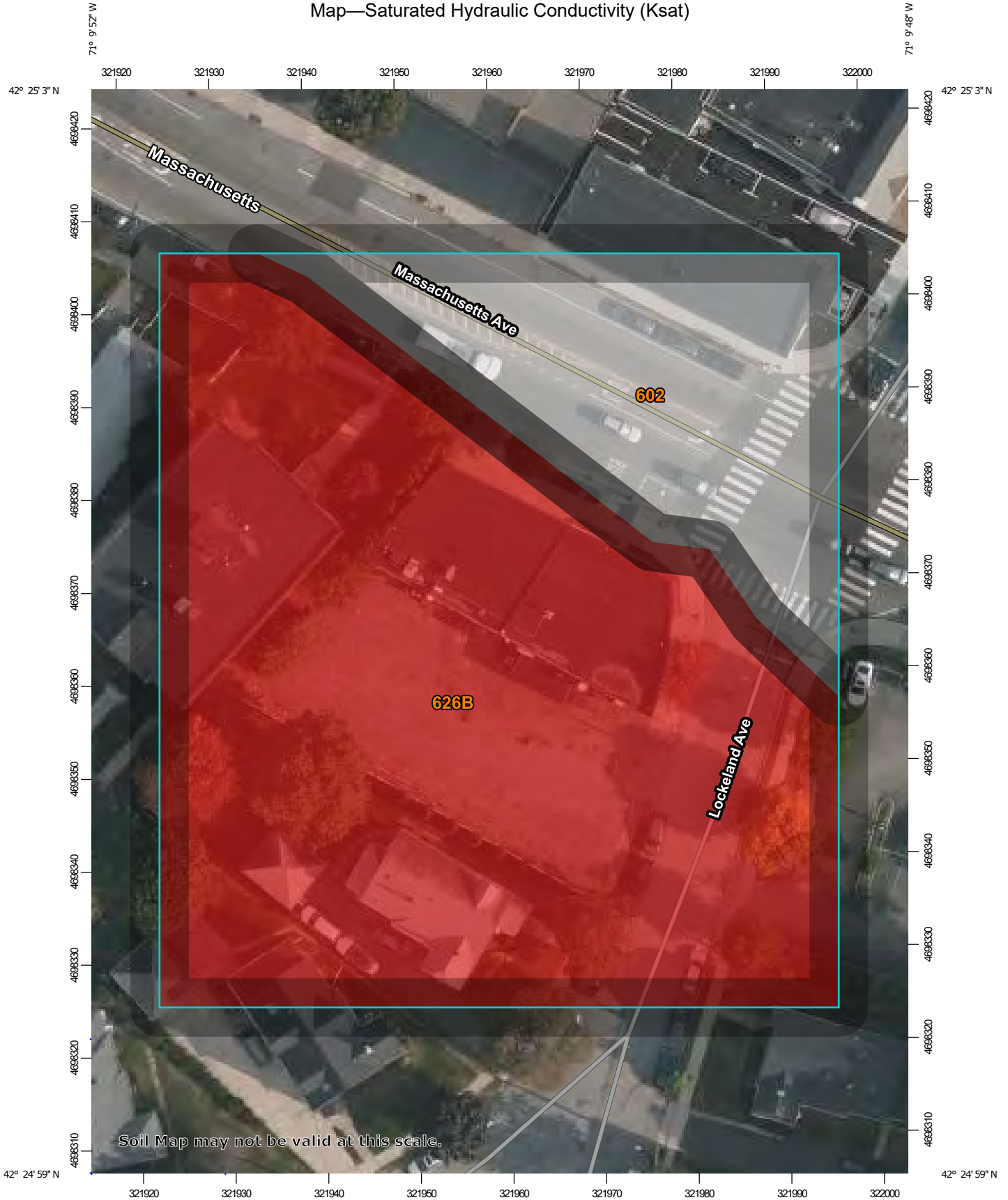
Saturated Hydraulic Conductivity (Ksat)

Saturated hydraulic conductivity (Ksat) refers to the ease with which pores in a saturated soil transmit water. The estimates are expressed in terms of micrometers per second. They are based on soil characteristics observed in the field, particularly structure, porosity, and texture. Saturated hydraulic conductivity is considered in the design of soil drainage systems and septic tank absorption fields.

For each soil layer, this attribute is actually recorded as three separate values in the database. A low value and a high value indicate the range of this attribute for the soil component. A "representative" value indicates the expected value of this attribute for the component. For this soil property, only the representative value is used.

The numeric Ksat values have been grouped according to standard Ksat class limits.

Custom Soil Resource Report
Map—Saturated Hydraulic Conductivity (Ksat)



Map Scale: 1:568 if printed on A portrait (8.5" x 11") sheet.


0 5 10 20 30 Meters

0 25 50 100 150 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84


MAP LEGEND


Area of Interest (AOI)

 Area of Interest (AOI)


Soils

Soil Rating Polygons

 = 100.0000


 Not rated or not available

Soil Rating Lines

 = 100.0000


 Not rated or not available

Soil Rating Points

 = 100.0000

 Not rated or not available

Water Features

 Streams and Canals


Transportation

 Rails


 Interstate Highways

 US Routes

 Major Roads

 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Middlesex County, Massachusetts
 Survey Area Data: Version 19, Sep 12, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 11, 2019—Oct 5, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Table—Saturated Hydraulic Conductivity (Ksat)

Map unit symbol	Map unit name	Rating (micrometers per second)	Acres in AOI	Percent of AOI
602	Urban land		0.3	23.4%
626B	Merrimac-Urban land complex, 0 to 8 percent slopes	100.0000	1.1	76.6%
Totals for Area of Interest			1.5	100.0%

Rating Options—Saturated Hydraulic Conductivity (Ksat)

Units of Measure: micrometers per second

Aggregation Method: Dominant Component

Component Percent Cutoff: None Specified

Tie-break Rule: Fastest

Interpret Nulls as Zero: No

Layer Options (Horizon Aggregation Method): Depth Range (Weighted Average)

Top Depth: 24

Bottom Depth: 90

Units of Measure: Centimeters

Soil Qualities and Features

Soil qualities are behavior and performance attributes that are not directly measured, but are inferred from observations of dynamic conditions and from soil properties. Example soil qualities include natural drainage, and frost action. Soil features are attributes that are not directly part of the soil. Example soil features include slope and depth to restrictive layer. These features can greatly impact the use and management of the soil.

Hydrologic Soil Group

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

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Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

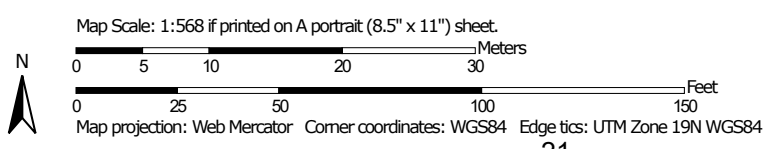
Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.


If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Custom Soil Resource Report
Map—Hydrologic Soil Group



MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

Soil Rating Lines


-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

Soil Rating Points






-  A
-  A/D
-  B
-  B/D

-  C
-  C/D
-  D
-  Not rated or not available

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

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Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Middlesex County, Massachusetts
 Survey Area Data: Version 19, Sep 12, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 11, 2019—Oct 5, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Table—Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
602	Urban land		0.3	23.4%
626B	Merrimac-Urban land complex, 0 to 8 percent slopes	A	1.1	76.6%
Totals for Area of Interest			1.5	100.0%

Rating Options—Hydrologic Soil Group

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

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United States Department of Agriculture, Soil Conservation Service. 1961. Land capability classification. U.S. Department of Agriculture Handbook 210. http://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/nrcs142p2_052290.pdf

Deed



2018 01783071
Bk: 1523 Pg: 101 Cert#: 267194
Doc: DEED 03/06/2018 12:33 PM

QUITCLAIM DEED

FFCP LLC, a , a limited liability company duly formed under the laws of the Commonwealth of Massachusetts and having a principal place of business at 455 Massachusetts Avenue, Suite 1, Arlington, Middlesex County, Commonwealth of Massachusetts

for consideration paid of ~~two hundred~~ One Hundred and 00/100 (\$100.00) Dollars, grants to 882-892 Massachusetts Avenue, LLC, a limited liability company duly formed under the laws of the Commonwealth of Massachusetts and having a principal place of business at 455 Massachusetts Avenue, Suite 1, Arlington, Middlesex County, Commonwealth of Massachusetts

with quitclaim covenants

The premises known as 882-892 Massachusetts Avenue/Field Road, Arlington, Middlesex County, Massachusetts, described as follows:

Parcel I

That certain parcel of land situated in Arlington in the County of Middlesex and said Commonwealth of Massachusetts, bounded and described as follows:

- NORTHEASTERLY: by Massachusetts Avenue, fifty-two and 78/100 (52.78) feet;
- EASTERLY: by Field Road, now called Lockeland Avenue, by a curving line as shown on plan hereinafter mentioned, sixty-nine and 65/100 (69.65) feet;
- SOUTHEASTERLY: by said Field Road, twenty-five and 34/100 (25.34) feet;

RETURN TO:
MacLean Holloway Doherty & Sheehan, P.C.
8 Essex Center Drive
Peabody, MA 01960

263 193 1523-100

Property Address: 882-892 Massachusetts Ave./Field Road, Arlington, MA

SOUTHWESTERLY: by lot 67A on said plan, one hundred twenty-two and 89/100 (122.89) feet; and

NORTHWESTERLY: by land now or formerly of Timothy F. Hurley, fifty-nine and 97/100 (59.97) feet.

Said parcel is shown as lot 68A on said plan (Plan No. 9331E).

All of said boundaries are determined by the Court to be located as shown on a subdivision plan, as approved by the Court, filed with the Land Registration Office in Registration Book 149, Page 209, with Certificate 22249.

The above described land is subject to a Taking by the Town of Arlington for establishment of building line on both sides of Massachusetts Avenue, see the plan filed with the Land Registration Office as Plan No. 774, Document 52309; to a Taking for laying and maintaining main drains and common sewers in Field Road, see the plan filed with the Land Registration Office as Plan Book 355, Plan 42, Document 61387; to a Taking for Easement in Lockeland Avenue for laying and maintaining main drains, filed in the Land Registration Office as Document 81646; and to an Order of Taking for paying out Lockeland Avenue and Estimated Betterment Assessment, filed with the Land Registration Office as Document 112896.

Parcel II

That certain parcel of land in said Arlington, County of Middlesex, Commonwealth of Massachusetts, bounded and described as follows:

SOUTHEASTERLY: by Field Road, sixty and 23/100 (60.23) feet;

SOUTHWESTERLY: by lot 66 as shown on plan hereinafter mentioned, one hundred forty-eight and 15/100 (148.15) feet;

NORTHWESTERLY: by land now or formerly of Timothy F. Hurley; and

NORTHEASTERLY: by lot 68A on said plan, one hundred twenty-two and 89/100 (122.89) feet.

All of said boundaries are determined by the Court to be located as shown on a subdivision plan, as approved by the Court, filed with said Land Registration Office in Registration Book 149, Page 209, with Certificate 22249. Said parcel is shown as lot 67A on said plan (Plan No. 9331E).

The above described land is subject to a Taking by the Town of Arlington for laying and maintaining main drains and common sewers in Field Road, see plan filed with said Land Registration Office in Plan Book 355, Plan 42, Document 61387; to an Order to Taking for the

laying out Lockeland Avenue and Estimated Betterment Assessment, filed with the Land Registration Office as Document 112896.

The Grantor is not classified as a corporation for federal income tax purposes for the current taxable year.

Meaning and intending to convey the same premises described in deed dated October 4, 2017, from Fragio Realty Trust to FFCP, LLC, filed herewith.

[The Following Page Is the Signature Page]

Executed this 21st day of December, 2017 as a sealed instrument.

FFCP, LLC

By: FFP REALTY CORP., Its Manager

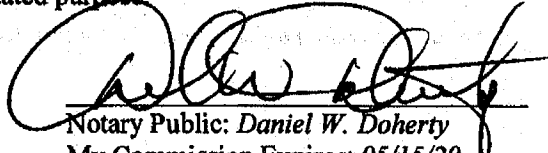
By: 
Frank Pasciuto, Its President and Treasurer

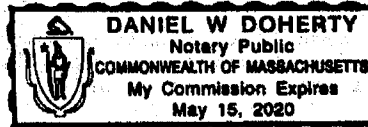
LLC
12/21/17

COMMONWEALTH OF MASSACHUSETTS

Essex, ss.

On this 21st day of December, 2017, before me, the undersigned notary public, personally appeared Frank Pasciuto, as President and Treasurer of FFP Realty Corp., Manager of FFCP, LLC, proved to me through satisfactory evidence of identification, which was personal knowledge, to be the person whose name is signed on the preceding or attached document in my presence, and acknowledged to me that he signed it voluntarily in his capacity as President and Treasurer of FFP Realty Corp. for its stated purpose.


Notary Public: *Daniel W. Doherty*
My Commission Expires: 05/15/20



DOCUMENT 01783071

Southern Middlesex Land Court
REGISTRY DISTRICT

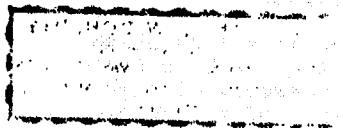
RECEIVED FOR REGISTRATION

On: Mar 06, 2018 at 12:33P

Document Fee: 125.00
Receipt Total: \$325.00

NEW: CERT 267194 BK 01523 PG 101

OLD: CERT 267193 BK 1523 PG 100



9331^E

Subdivision of Lots 67 & 68 shown on plan 9331^B Sh.1

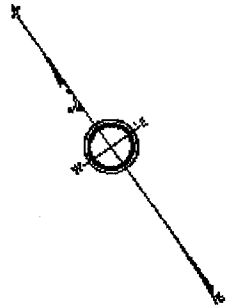
Filed with Cert. of Title No. 19,223 South Registry District of Middlesex County.

LAND IN ARLINGTON

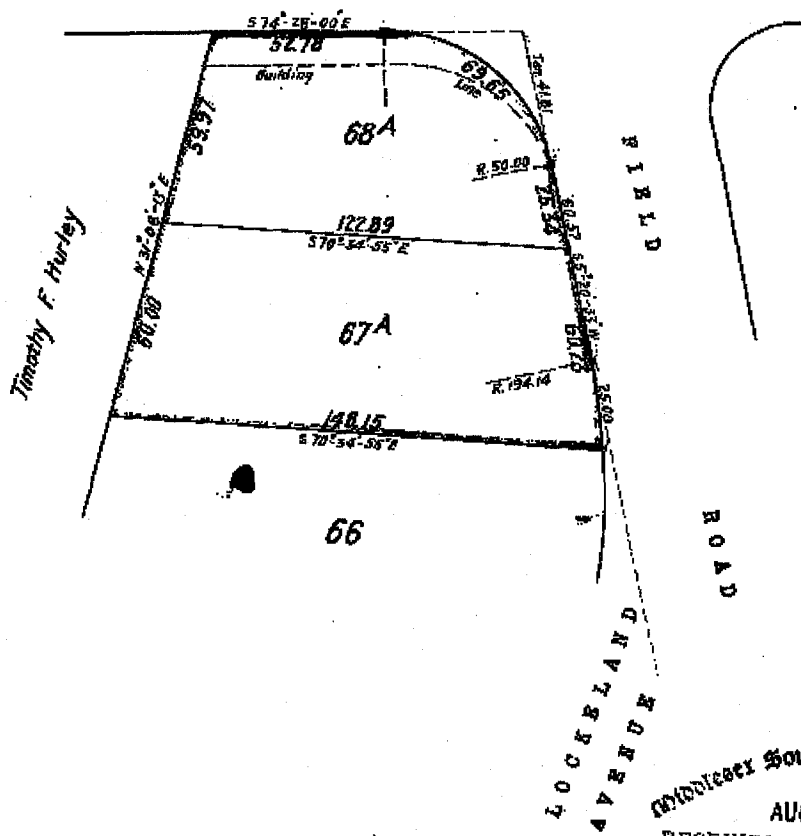
Scale 40 feet to an inch

JUNE 22, 1926

C.H. Gannett, C.E.



MASSACHUSETTS AVENUE



Middlesex South Registry District

AUG 4 1926

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3 O'CLOCK 10 m. J. M.

Jd. 100.

Separate certificates of title may be issued for Lots 67 and 68A as shown hereon By the Court

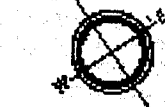
Charles Southworth
Recorder.
JULY 23, 1926

Copy of part of plan filed in
LAND REGISTRATION OFFICE
JULY 22, 1926

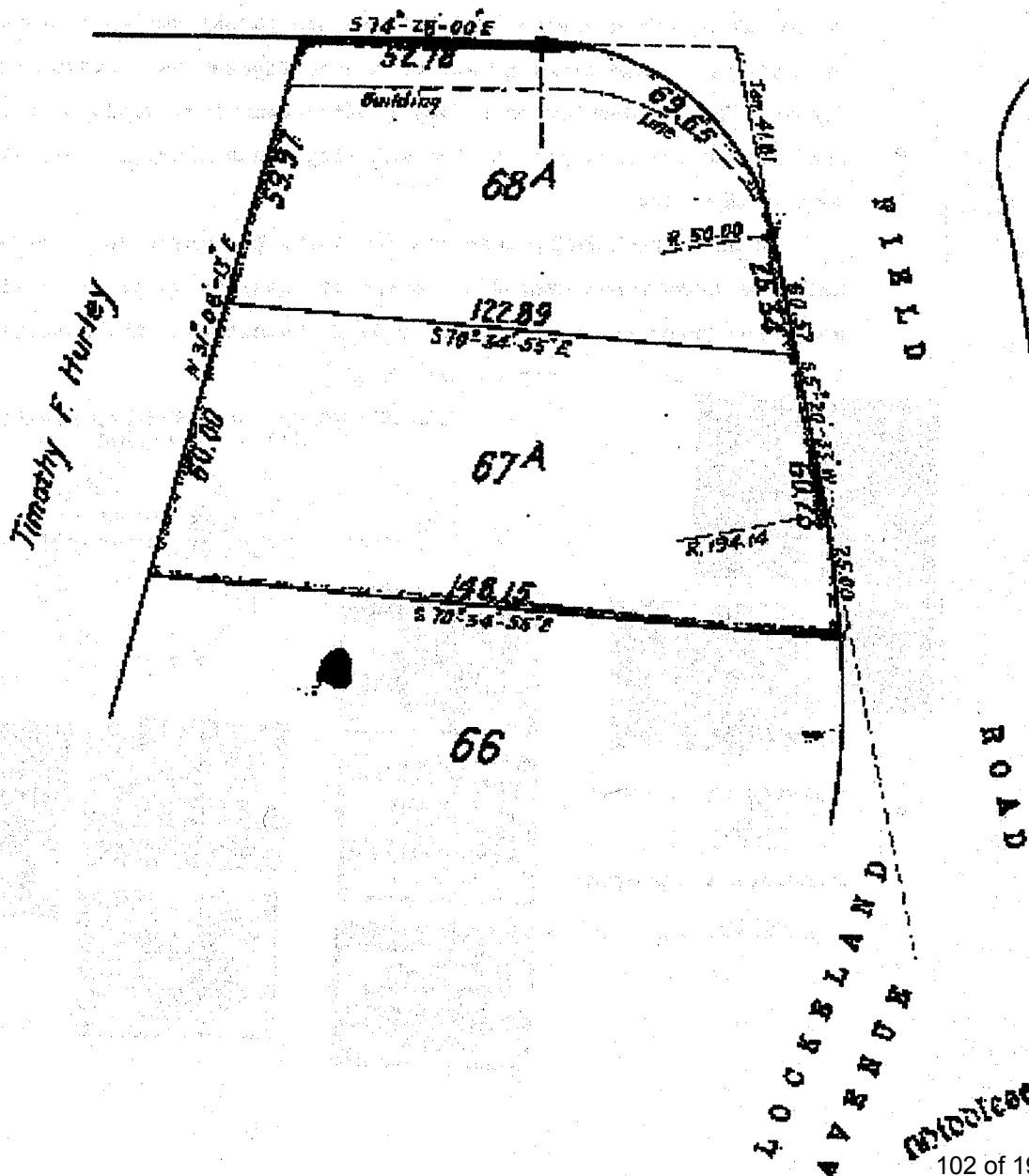
Scale of this plan 40 feet to an inch
C. B. Humphrey, Surveyor for Court

JUNE 22, 1926

C.H. Gannett, C.E.



MASSACHUSETTS AVENUE



102 of 194 AUG 4
 RECEIVED FOR
 [Signature]

ZONING SUMMARY TABLE
B2-NEIGHBORHOOD BUSINESS (MIXED-USE <=20,000SF)

ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA	----	14,380± SF	14,380± SF
MINIMUM LOT AREA PER UNIT	----	N/A	685± SF
MINIMUM FRONTAGE	50 FT	208± FT	208± FT
MINIMUM FRONT YARD SETBACK	----	0 FT	2.7 FT
MINIMUM SIDE YARD SETBACK	----	1.3 FT	3.4 FT
MINIMUM REAR YARD SETBACK	20.3 FT	53.6 FT	63.0 FT
LANDSCAPED OPEN SPACE	10%	5.3%	10.6%
USABLE OPEN SPACE	20%	0.0%	20.0%
MAXIMUM HEIGHT	50 FT	13.5± FT	>50
MAXIMUM HEIGHT STORIES	4 ⁽¹⁾	1	4
FLOOR AREA RATIO	1.50	0.35	1.23

PARKING SUMMARY TABLE

USE	CALCULATION	MIN. REQUIRED	TOTAL PROPOSED
APARTMENT BUILDING	1.15 SPACES PER 1 BED UNIT 21 X 1.15 = 24.15 REQUIRED	25	23 ⁽³⁾
OFFICE BUSINESS OR PROFESSIONAL	1 PER 500 SF 1,750 SF (UNDER 3,000 SF PARKING N/A)	N/A	N/A
		25	23 ⁽³⁾

ADA SPACES REQUIRED: (15-25) TOTAL PARKING SPACES PROVIDED, 1 SHALL BE THE MINIMUM ADA PARKING PROVIDED, 1 SPACES BEING VAN ACCESSIBLE.
PROVIDED 1 SPACES, 1 BEING VAN ACCESSIBLE.

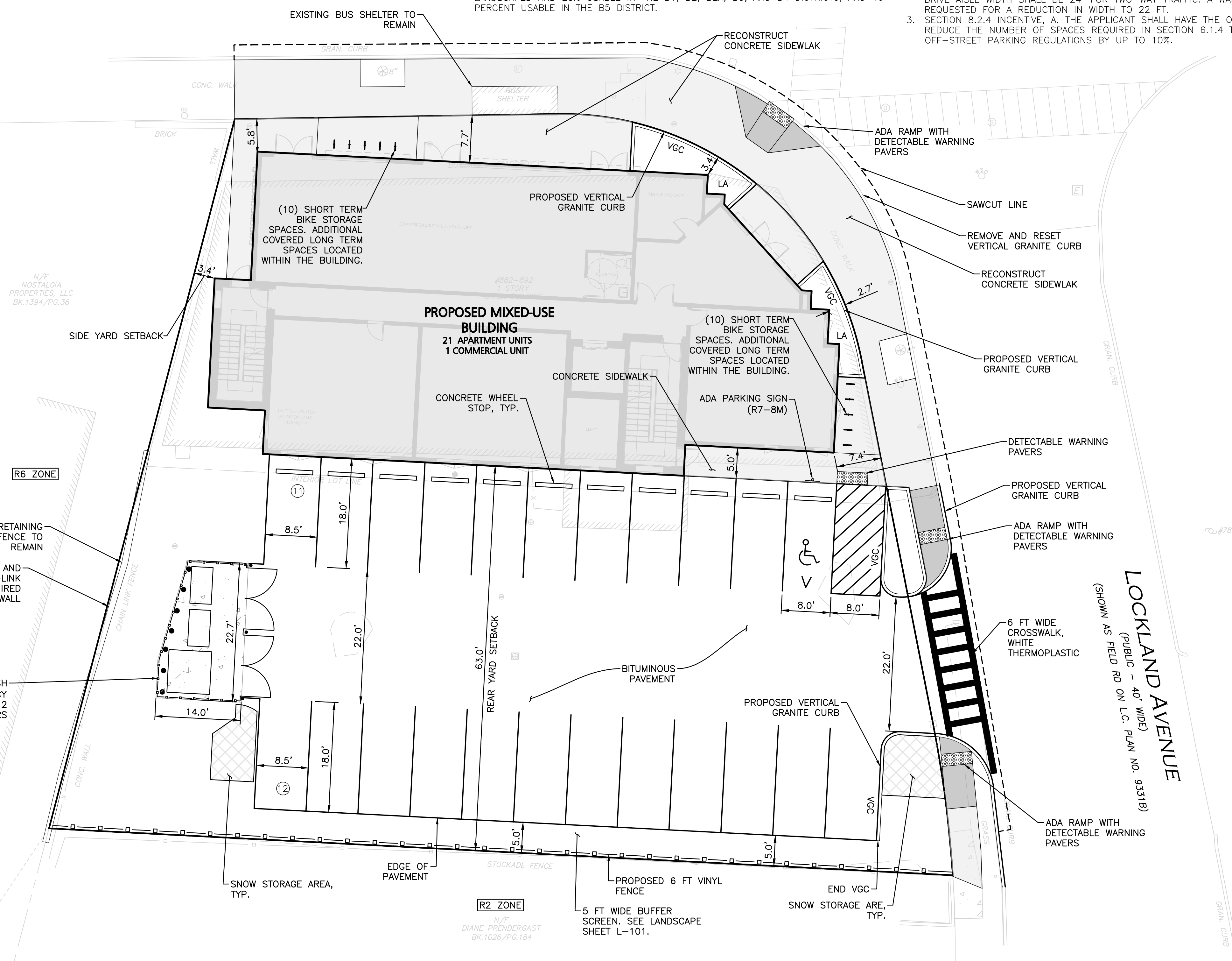
LEGEND

PROP. PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	▭
BUILDING ARCHITECTURE	▭ (with texture)
BUILDING INTERIOR WALLS	▭ (with texture)
CURB	▬
PARKING STRIPING	▬ (with arrows)
ROADWAY STRIPING	▬ (with arrows)
SIDEWALK	▬ (with texture)
ADA ACCESSIBLE RAMP	▬ (with texture)
ADA DET. WARNING SURFACE	▬ (with texture)
SNOW STORAGE	▬ (with texture)
SAW-CUT LINE	▬ (with texture)
PARKING COUNT	10
VINYL FENCE	▬ (with texture)

MASSACHUSETTS AVENUE
(PUBLIC - VARIABLE WIDTH)

ZONING TABLE NOTES:
1. SECTION 5.3.17. FOR BUILDING MORE THAN 3 STORIES IN HEIGHT, AN ADDITIONAL 7.5 FT STEP-BACK SHALL BE PROVIDED BEGINNING AT THE THIRD STORY LEVEL OR 30 FT ABOVE GRADE, WHICHEVER IS LESS. THE UPPER STORY STEP-BACK SHALL BE PROVIDED ALONG ALL BUILDING ELEVATIONS WITH STREET FRONTAGE.
2. SECTION 5.3.21. SUPPLEMENTAL REQUIREMENTS IN THE BUSINESS AND INDUSTRIAL DISTRICTS, D. FOR MIXED USES AND ANY PERMITTED RESIDENTIAL USE NOT SPECIFICALLY IDENTIFIED IN THE TABLES IN SECTION 5.5.2, THE MINIMUM OPEN SPACE REQUIREMENTS (COMPUTED FROM THE RESIDENTIAL FLOOR AREA ONLY) SHALL BE 10% LANDSCAPED AND 20% USABLE IN THE B1, B2, B2A, B3, AND B4 DISTRICTS, AND 15 PERCENT USABLE IN THE B5 DISTRICT.

PARKING TABLE NOTES:
1. SECTION 6.1.10. C. FOR A MIXED-USE DEVELOPMENT THE FIRST 3,000 SF OF NON-RESIDENTIAL SPACE IS EXEMPT FROM THE PARKING REQUIREMENTS OF THIS SECTION 6.1.
2. SECTION 6.1.11. STANDARD PARKING STALLS SHALL BE 8.5'X18', AND COMPACT SPACES SHALL BE 8'X16'(UP TO 20% ALLOWED WITH S.P.). DRIVE AISLE WIDTH SHALL BE 24' FOR TWO-WAY TRAFFIC. A WAIVER IS REQUESTED FOR A REDUCTION IN WIDTH TO 22 FT.
3. SECTION 8.2.4 INCENTIVE, A. THE APPLICANT SHALL HAVE THE OPTION TO REDUCE THE NUMBER OF SPACES REQUIRED IN SECTION 6.1.4 TABLE OF OFF-STREET PARKING REGULATIONS BY UP TO 10%.



NOTES

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ISSUED FOR REVIEW
7/15/2020

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	06/23/2020	ISSUED FOR ARB
1	04/10/2020	ISSUED FOR ARB

APPLICANT/OWNER:
882-892 MASSACHUSETTS AVE, LLC
452 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

PROJECT:
892 MASSACHUSETTS AVE
ARLINGTON, MA 02476

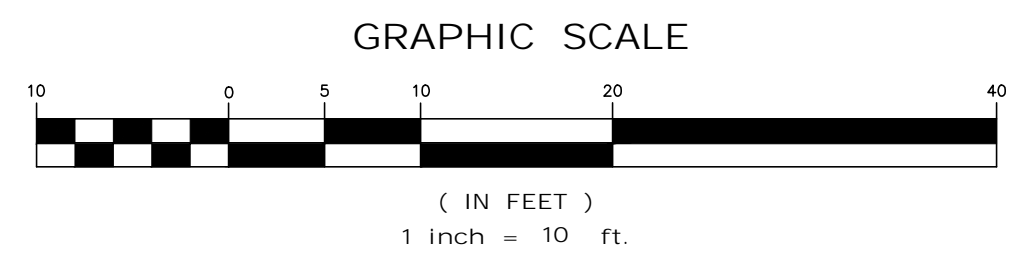
PROJECT NO.	2729-01	DATE:	04-10-20
SCALE:	1" = 10'	DWG. NAME:	C2729-01
DESIGNED BY:	ARM	CHECKED BY:	BDJ/RC

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE: **LAYOUT & MATERIALS PLAN** SHEET No. **C-102**

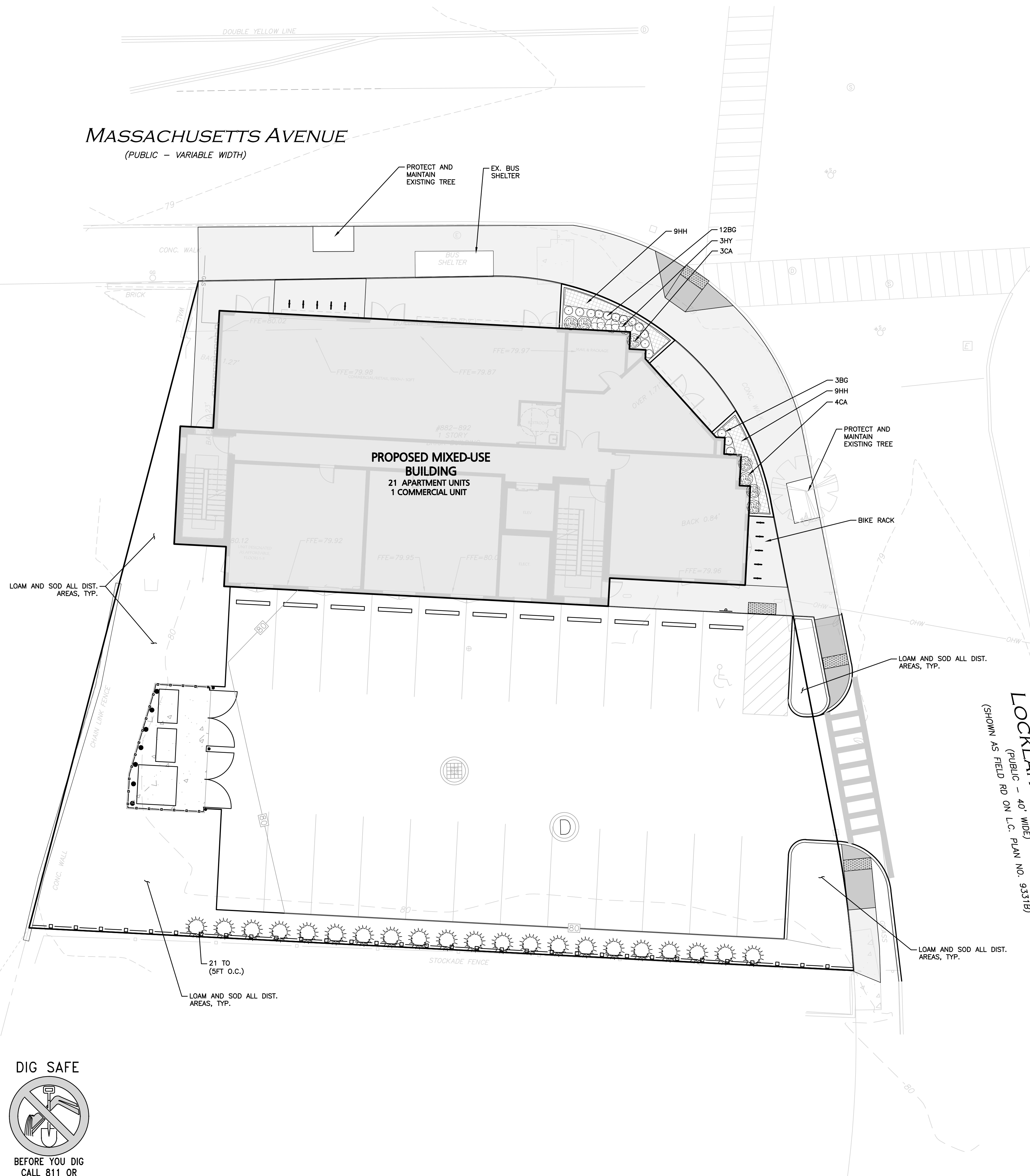


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MASSACHUSETTS AVENUE
(PUBLIC - VARIABLE WIDTH)



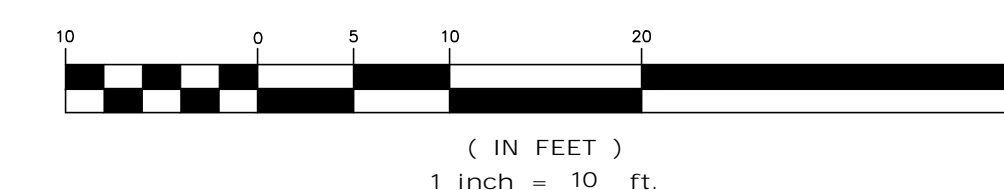
LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- FLOWERING TREE
- SHRUBS
- MULCH BED
- PERENNIALS/GROUNDCOVER
- WILDFLOWER SEED MIX
- EROSION CONTROL SEED MIX

PLANTING SCHEDULE-TREES, SHRUBS, GROUNDCOVERS & PERENNIALS

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
EVERGREEN TREES						
TO	21	THUJA O. 'WINTERGREEN'	WINTERGREEN ARBORVITAE	6-7' HT	AS SHOWN	B&B
SHRUBS						
CA	7	CORNUS ALBA 'IVORY HALO'	IVORY HALO DOGWOOD	#3	AS SHOWN	POT
BG	15	BUXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	#2	AS SHOWN	POT
HY	3	HYDRANGEA ARBORESCENS INCREDIBALL	INCREDIBALL HYDRANGEA	#5	AS SHOWN	POT
PERENNIALS						
HH	18	HOSTA 'HADSPEN BLUE'	HADSPEN BLUE HOSTA	#1	24" O.C	STAGGERED

GRAPHIC SCALE



ISSUED FOR REVIEW
7/15/2020

REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	06/23/2020	ISSUED FOR ARB
1	04/10/2020	ISSUED FOR ARB

APPLICANT/OWNER:
882-892 MASSACHUSETTS AVE, LLC
452 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

PROJECT:
892 MASSACHUSETTS AVE
ARLINGTON, MA 02476

PROJECT NO. 2729-01 DATE: 04-10-20

SCALE: 1" = 10' DWG. NAME: C2729-01

DESIGNED BY: BCD CHECKED BY: BDJ/RC

PREPARED BY:



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LANDSCAPED OPEN SPACE

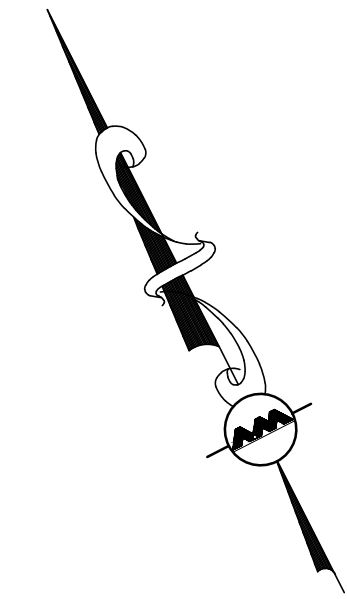
719 SF WALKS
507 SF LANDSCAPED
1,226 SF TOTAL

1,226 SF / 11,614 SF (RESIDENTIAL FLOOR AREA) = 10.6%

USABLE OPEN SPACE

2,142 SF GRASS
183 SF BIKE RACK
2,325 SF TOTAL

2,325 SF / 11,614 SF (RESIDENTIAL FLOOR AREA) = 20.0%



MASSACHUSETTS AVENUE
(PUBLIC - VARIABLE WIDTH)

LEGEND	
LANDSCAPED OPEN SPACE = 1,226 SF	
USABLE OPEN SPACE = 2,325 SF	

NOTES

1. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
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ISSUED FOR REVIEW
7/15/2020

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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1	04/10/2020	ISSUED FOR ARB

APPLICANT/OWNER:
882-892 MASSACHUSETTS AVE, LLC
452 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

PROJECT:
892 MASSACHUSETTS AVE
ARLINGTON, MA 02476

PROJECT NO. 2729-01 DATE: 04-10-20

SCALE: 1" = 10' DWG. NAME: C2729-01

DESIGNED BY: ARM CHECKED BY: BDJ/RC

PREPARED BY:



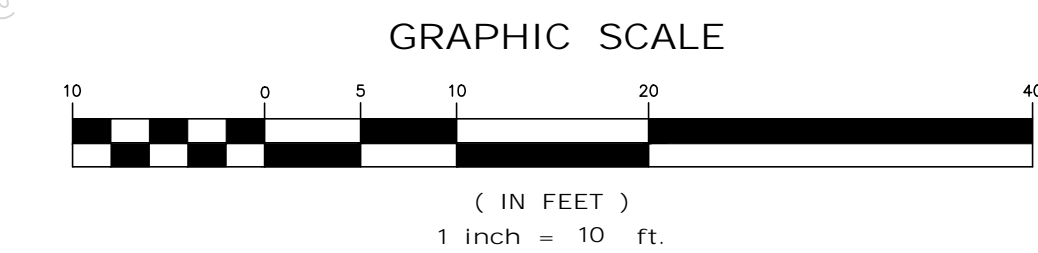
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OPEN SPACE FIGURE EX-1

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LANDSCAPED OPEN SPACE

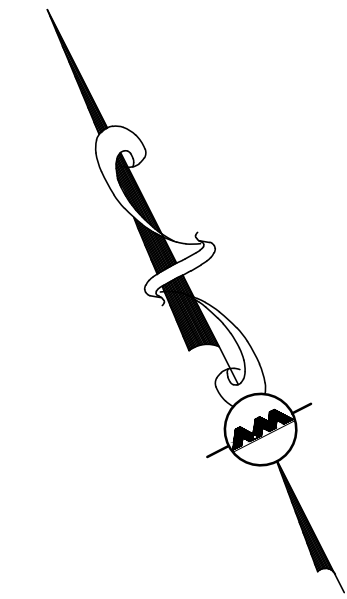
719 SF WALKS
507 SF LANDSCAPED
1,226 SF TOTAL

1,226 SF / 11,614 SF (RESIDENTIAL FLOOR AREA) = 10.6%

USABLE OPEN SPACE

1,607 SF GRASS
183 SF BIKE RACK
1,790 SF TOTAL

1,790 SF / 11,614 SF (RESIDENTIAL FLOOR AREA) = 15.4%



MASSACHUSETTS AVENUE
(PUBLIC - VARIABLE WIDTH)

LEGEND	
LANDSCAPED OPEN SPACE = 1,226 SF	
USABLE OPEN SPACE = 1,644 SF	

NOTES

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892 MASSACHUSETTS AVE
ARLINGTON, MA 02476

PROJECT NO. 2729-01 DATE: 04-10-20

SCALE: 1" = 10' DWG. NAME: C2729-01

DESIGNED BY: ARM CHECKED BY: BDJ/RC

PREPARED BY:



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civil engineering • land surveying
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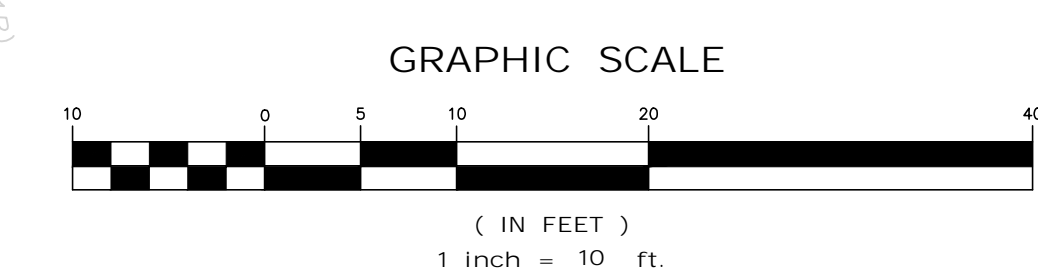
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OPEN SPACE FIGURE EX-2

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NOT FOR CONSTRUCTION



ARLINGTON MIXED USE
 882-892 MASS AVE
 ARLINGTON, MA

Revisions:	#	Description	Date

Scale:	1/4" = 1'-0"
Drawn By:	PPS/LS
Checked By:	ALW
Project No.:	2020004
Date:	07/20/20

Title: **OVERALL PLAN - BASEMENT**
A1.01
 2020 Market Square Architects 7/14/2020 9:16:58 PM

NOTE: SEE CIVIL FOR SITEWORK

NOT FOR CONSTRUCTION

ARLINGTON MIXED USE

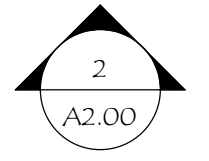
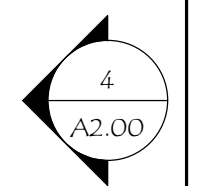
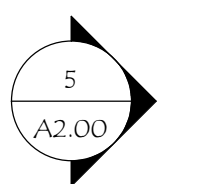
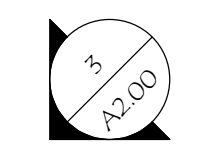
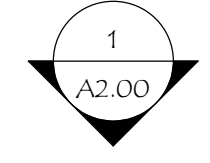
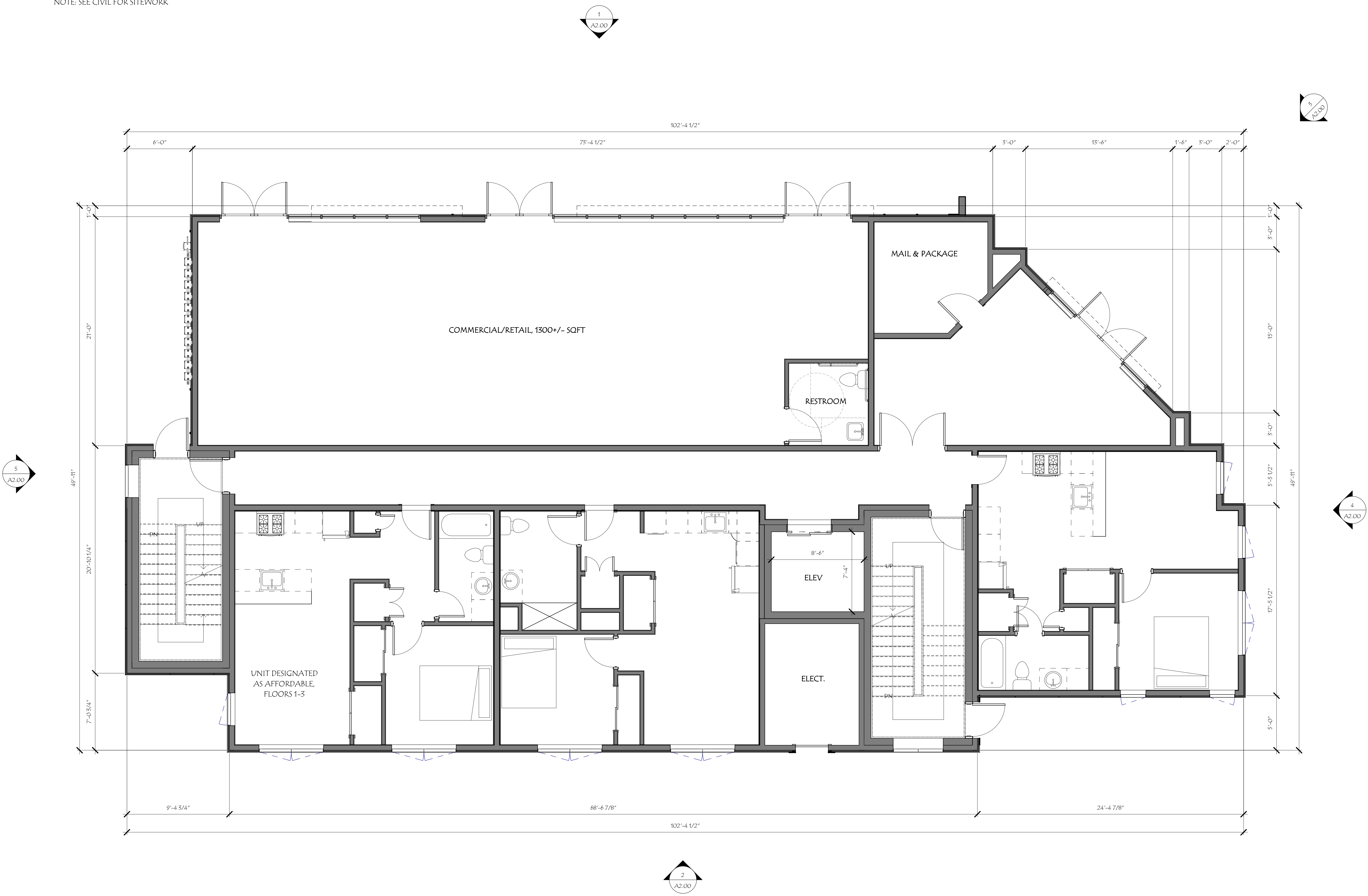
882-892 MASS AVE
 ARLINGTON, MA

Revisions:	#	Description	Date

Scale:	1/4" = 1'-0"
Drawn By:	PPS/LS
Checked By:	ALW
Project No.:	2020004
Date:	07/20/20

Title:
OVERALL PLAN - FIRST FLOOR

A1.02



NOT FOR CONSTRUCTION

ARLINGTON MIXED USE

882-892 MASS AVE
 ARLINGTON, MA

Revisions:	#	Description	Date

Scale:	1/4" = 1'-0"
Drawn By:	PPS/LS
Checked By:	ALW
Project No.:	2020004
Date:	07/20/20

Title:
**OVERALL PLAN -
 UPPER FLOORS**

A1.03



1
 A2.00

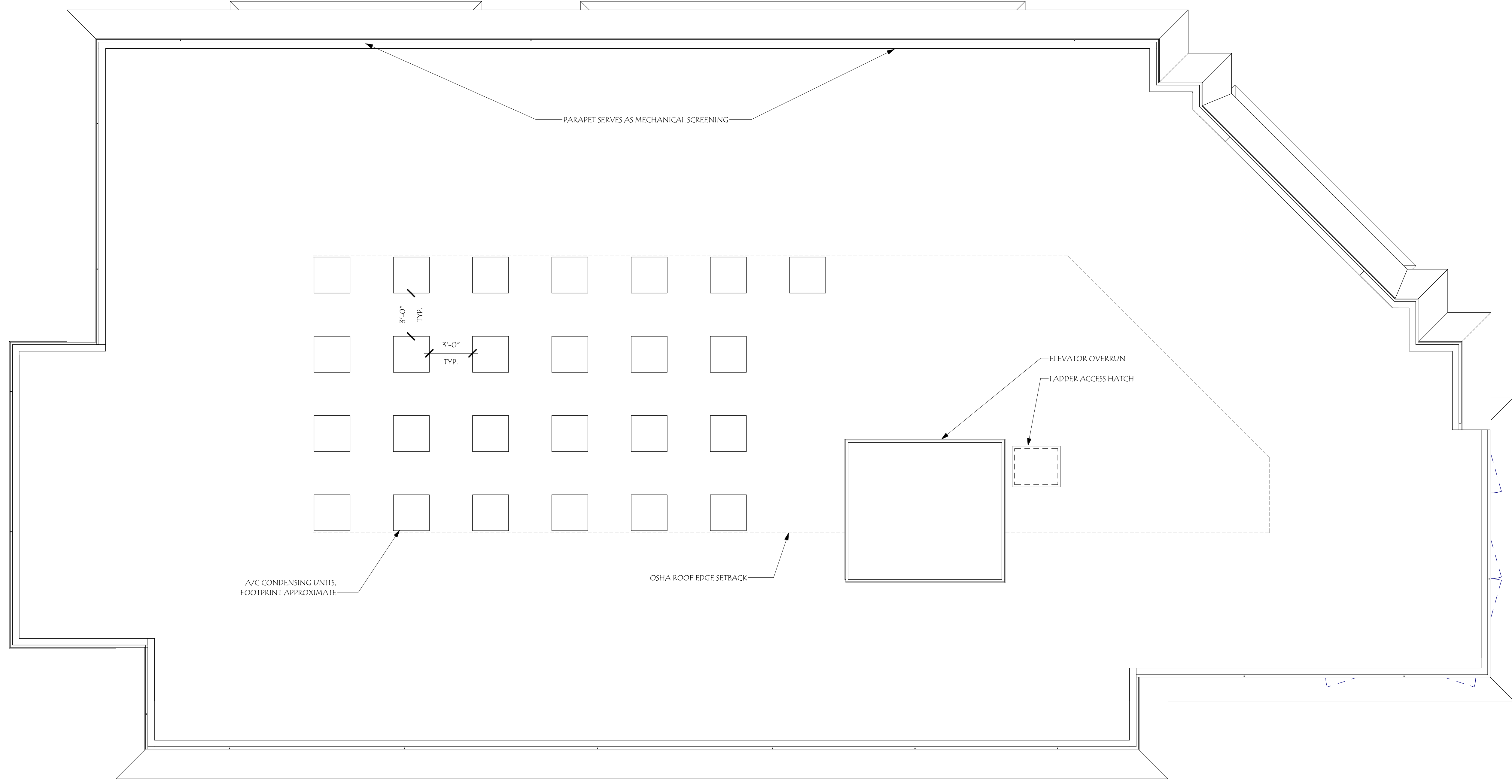
3
 A2.00

5
 A2.00

4
 A2.00

2
 A2.00

1 UPPER FLOORS
 1/4" = 1'-0"



NOT FOR CONSTRUCTION

ARLINGTON MIXED USE

882-892 MASS AVE
ARLINGTON, MA

Revisions:	#	Description	Date

Scale:	1/4" = 1'-0"
Drawn By:	PPS/LS
Checked By:	ALW
Project No.:	2020004
Date:	07/20/20

Title:	OVERALL PLAN - ROOF
	A1.04

NOT FOR CONSTRUCTION

ARLINGTON MIXED USE

882-892 MASS AVE
 ARLINGTON, MA

Revisions:	#	Description	Date

Scale:	1/8" = 1'-0"
Drawn By:	PPS/LS
Checked By:	ALW
Project No.:	20200004
Date:	07/20/20

Title:	BUILDING ELEVATIONS
	A2.00



③ CORNER ELEVATION
 1/8" = 1'-0"



⑤ WEST ELEVATION
 1/8" = 1'-0"

MATERIAL NOTES:

- ◊ PAINTED FIBER CEMENT PANEL, TYP. ALL LOCATIONS.
- ◊ CORNICE/TRIM TO BE FIBER CEMENT OR AZEK WITH METAL FLASHING PAINTED TO MATCH.



② SOUTH ELEVATION
 1/8" = 1'-0"



④ EAST ELEVATION
 1/8" = 1'-0"



① NORTH ELEVATION
 1/8" = 1'-0"

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ARLINGTON MIXED USE

882-892 MASS AVE
 ARLINGTON, MA



② RETAIL CORNER



① STREET INTERSECTION

Revisions:

#	Description	Date

Scale:	PPS/LS	ALW
Drawn By:		
Checked By:		
Project No.:	20200004	
Date:	07/20/20	

Title:	BUILDING PERSPECTIVES
	A2.01

NOTE: CONTEXT BUILDING HEIGHTS AND ELEVATIONS APPROXIMATED.

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② LOCKELAND AVE ELEVATION
 1/16" = 1'-0"



① MASS AVE ELEVATION
 1/16" = 1'-0"

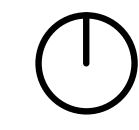
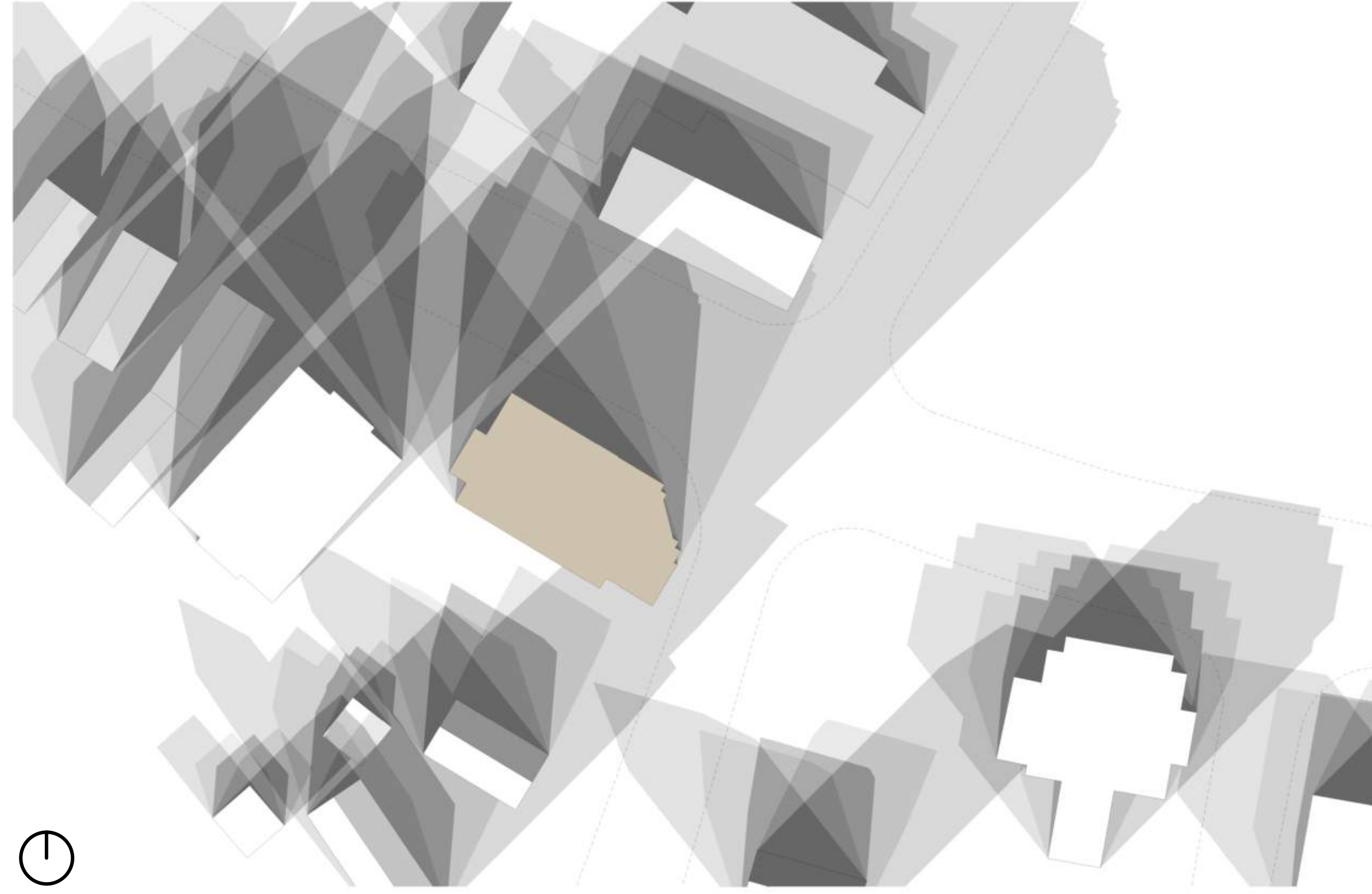
ARLINGTON MIXED USE

882-892 MASS AVE
 ARLINGTON, MA

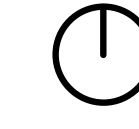
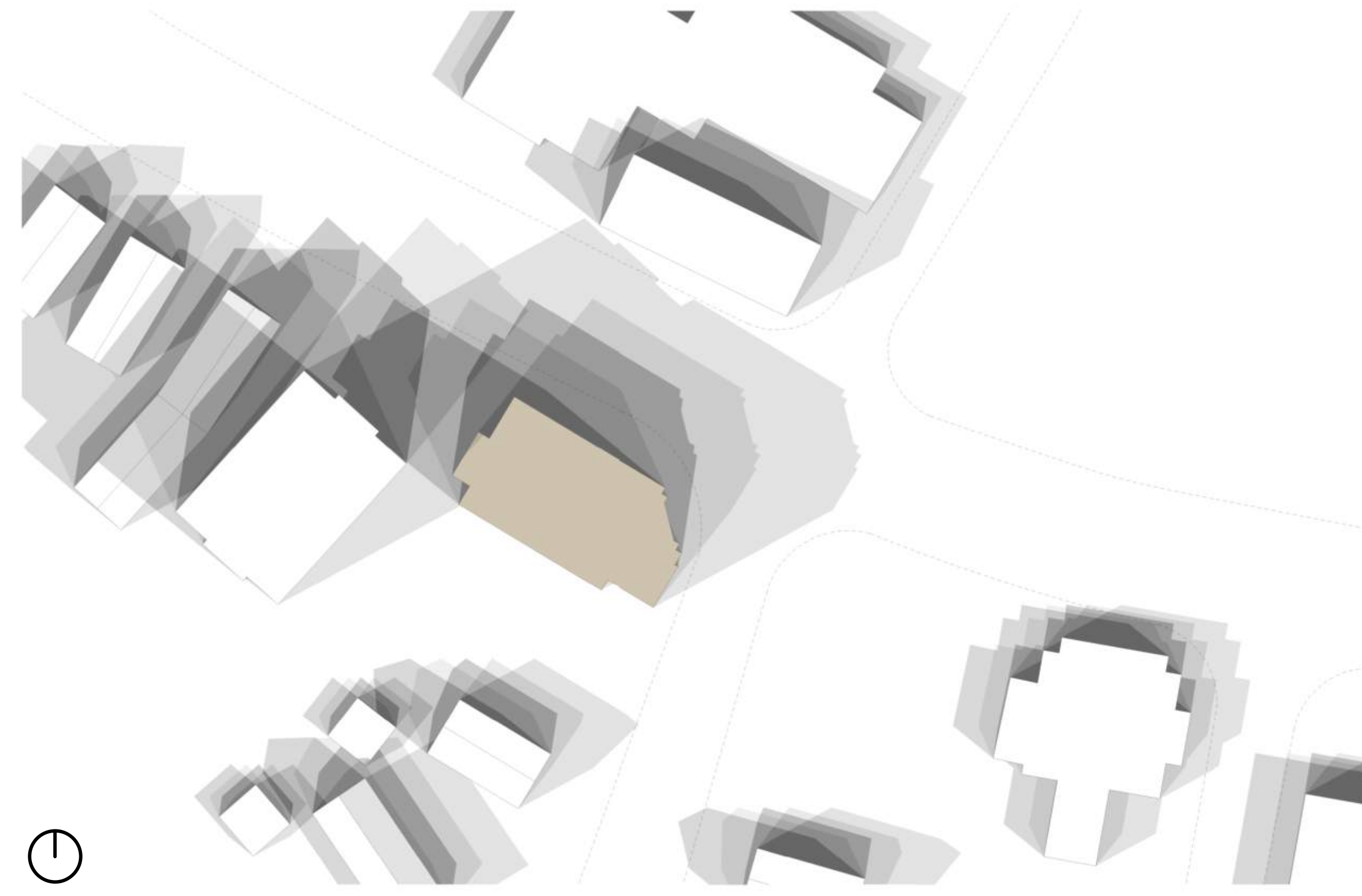
Revisions:	#	Description	Date

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Drawn By:	PPS/LS
Checked By:	ALW
Project No.:	20200004
Date:	07/20/20

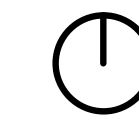
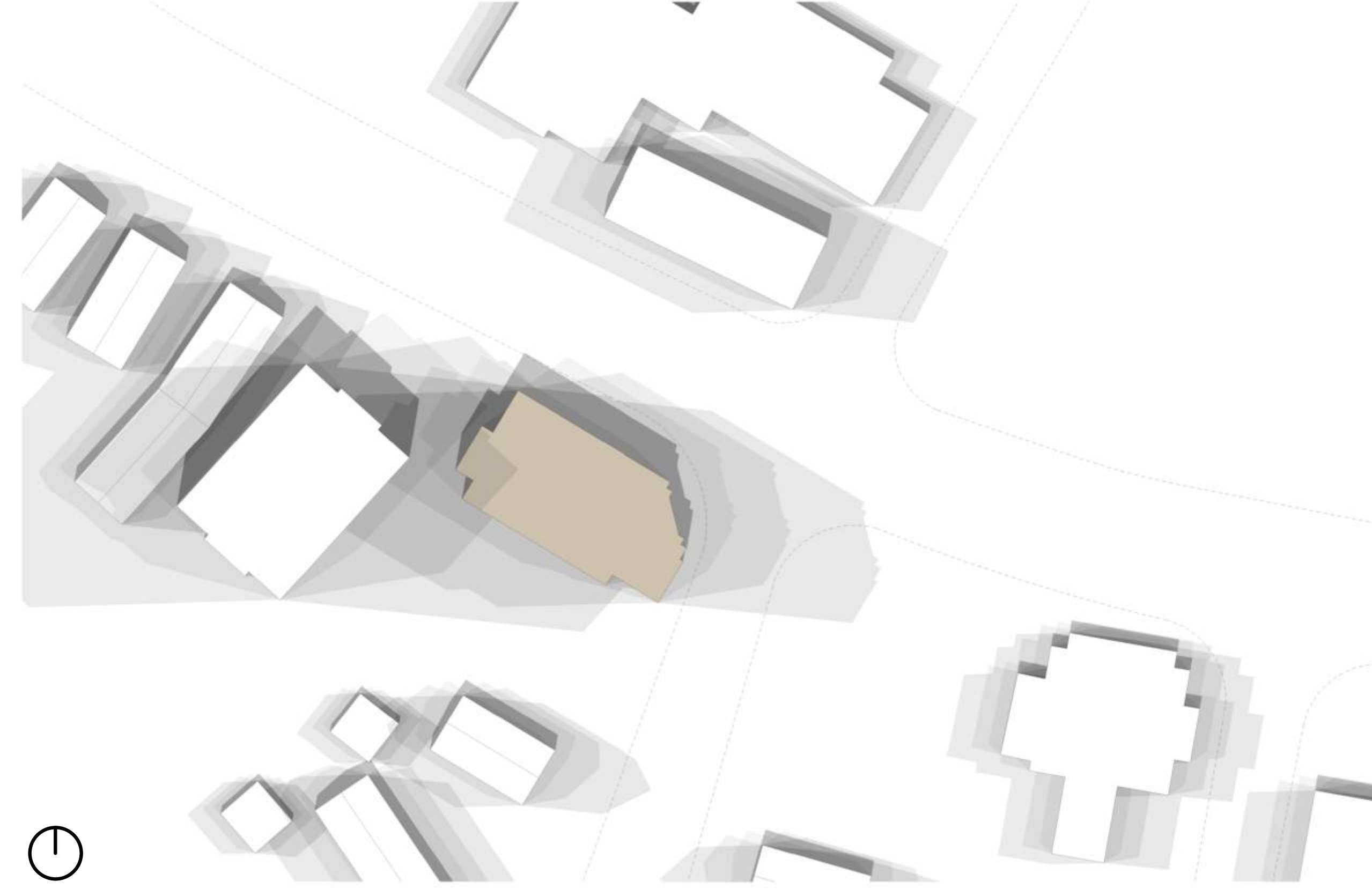
Title:	STREET ELEVATIONS
	A2.02



WINTER - 9:00AM TO 3:00PM



SPRING/FALL - 9:00AM TO 3:00PM



SUMMER - 7:30AM TO 4:30PM

NOT FOR CONSTRUCTION

ARLINGTON MIXED USE

882-892 MASS AVE
 ARLINGTON, MA

Revisions:	#	Description	Date

Scale:	Drawn By:	Checked By:	Project No.:	Date:
PPS/LS	ALW	2020004	07/20/20	

Title:	A9.01
SOLAR STUDIES	



NOT FOR CONSTRUCTION

ARLINGTON MIXED USE

882-892 MASS AVE
 ARLINGTON, MA

Revisions:	#	Description	Date

Scale:	PPS/LS
Drawn By:	ALW
Checked By:	20200004
Project No.:	07/20/20
Date:	

Title:	CORNER RENDER
	A9.02



NOT FOR CONSTRUCTION

ARLINGTON MIXED USE

882-892 MASS AVE
ARLINGTON, MA

Revisions:	#	Description	Date

Scale:	PPS/LS	ALW
Drawn By:		
Checked By:		
Project No.:	2020004	
Date:	07/20/20	

Title:	LOCKELAND RENDER
	A9.03

From: Alex Bagnall <alex.bagnall.tmm@gmail.com>
To: Jenny Raitt <jrait@town.arlington.ma.us>
Date: Mon, 18 May 2020 09:47:24 -0400
Subject: 882-892 Massachusetts Ave

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "< >" brackets) and you know the content is safe.

Hello Ms. Raitt,

I would like to register my general support for the project at 882-892 Mass Ave. I am in favor of the creation of more housing, including some deeded affordable units, along one of our most walkable and transportation accessible streets. I appreciate that the design includes significant accommodation for bike storage. In all, this seems like a much better use of the lot than the single-story building that is there now.

Best,
Alex Bagnall

From: Beth Elliott <bmelliott@gmail.com>
To: jraitt@town.arlington.ma.us
Date: Mon, 18 May 2020 09:19:39 -0400
Subject: 882-892 Mass Ave

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Dear Ms. Raitt,

My name is Beth Elliott, and I reside at 98 Highland Ave, Arlington, MA 02476.

Please accept my comments in support of the proposed demolition of the property currently located at 882-892 Mass Ave and its replacement with a multi-story mixed use development. I support this project for the following reasons:

1. It will provide much needed additional housing in Arlington, including affordable units.
2. The scale of the proposed building is consistent with the neighborhood, as there are existing multi-story apartment buildings within one or two blocks on the same side of Mass. Ave. that are the same height or taller than the proposed structure. The proposed set-back of the top floor, in addition, reduces the visual impact of the building from the street.
3. The incorporation of commercial space on the ground floor is consistent with the current usage of the space and will therefore harmonize with existing development patterns.
4. Although the proposal would reduce the sidewalk width, the sidewalk in front of the current building are significantly wider than the sidewalks on the same side of Mass. Ave immediately north and south of the site. Even lessening the sidewalk in the area of the current bus stop would not shrink the sidewalk/bus stop area in a manner inconsistent with other bus stops nearby along Mass. Ave. As a commuter who uses this bus stop frequently, I have no concerns that use of the bus stop will be made more difficult nor pedestrian traffic impeded.
5. This is an excellent site for housing from a transit/walkability perspective, due to the bus stop and the many amenities available within walking distance, such as multiple grocery stores, the Arlington public library, and several local restaurants. The inclusion of significant bike parking, both long and short-term, will also encourage residents to make use of bike travel as well. I would therefore expect the additional traffic generated by this development to be negligible.

Thank you,
Beth Elliott

From: Allysen Palmer Carver <apalmer@starrigger.net>
Date: July 20, 2020 at 12:37:23 PM EDT
To: "jraitt@town.arlington.ma.us" <jraitt@town.arlington.ma.us>
Subject: 882-892 Mass. Ave., Arlington

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "<>" brackets) and you know the content is safe.

Dear members of the Redevelopment Board,

The proposed development at 882-892 Mass. Ave., Arlington, is too wide, too tall, has too many apartments, and will cost us all a great deal—in loss revenue from business, and also in loss of space and town character. We do not need another residential building that will *cost us!* in town services while reducing commercial space.

And we do not need another ugly building that butts up too closely to the street—that must be against current zoning. WHY are we even considering this kind of building?! We need commercial space and we need inviting civic space and we need green space. This takes away all three.

Nor am I persuaded that this is the only way to increase affordable housing. Affordable housing doesn't have to be ugly and financially damaging over the long term.

Please deny this application. This type of large, characterless development is detrimental to the town. The building must be lower, must be well set back, and must include lots of commercial space ("**small retail and service establishments serving the needs of adjacent neighborhoods**"). It must be redesigned to look attractive and be inviting to walk past, linger by, and walk into. It should allow space so restaurants can put tables out on the sidewalk for service. It should attract customers! It should allow trees and plantings (not token strips) all around, and have great sightlines for walkers, cyclists, and drivers.

This building is not all at what I envision when I think of "mixed use." Please just say no.

Yours,

Allysen Palmer
102 Melrose St., Arlington

From: Bill Rubin <brubin613@gmail.com>
To: jraitt@town.arlington.ma.us
Date: Mon, 18 May 2020 19:06:21 -0400
Subject: 882-892 Mass Ave Project -

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Hello Jennifer,

I hope you, your family and friends are doing well.

I am writing regarding the redevelopment of 882-892 Mass Ave.

There are many issues I have with the project.

One is the size of the project right across the street from another tall building. It gives the feeling and look of being hemmed in; it will have a tight and narrow part of Mass Ave, unlike any other Arlington location, particularly on Mass Ave. It is not a good look or feel.

My main concern is narrowing the sidewalk if this project is going to go through. This project's location has a higher pedestrian volume because of its proximity to the high school and the high-volume bus stop. The wider sidewalks are needed in that area.

Please keep the sidewalks wide!

Thank you for listening.

-Bill Rubin
10 Bonad Road,
Arlington, MA 02476

From: Barbara Thornton <barbarathor@gmail.com>
To: Andrew Bunnell <ABunnell@town.arlington.ma.us>, Ebenson@town.arlington.ma.us, Kin Lau <KLau@town.arlington.ma.us>, David Watson <DWatson@town.arlington.ma.us>, Rachel Zsembery <rzsembery@town.arlington.ma.us>
Cc: Jenny Raitt <JRaitt@town.arlington.ma.us>, Erin Zwirko <ezwirko@town.arlington.ma.us>
Date: Mon, 18 May 2020 18:31:28 -0400
Subject: Special Permit for 882-892 Mass Ave. - Housing

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TO: ARB

The proposed 22 unit (plus commercial) project scheduled to replace 3 commercial buildings at 882-892 of Mass Ave., across from the high school is scheduled for a first hearing by the ARB tonight. Special Permit Docket #3625

Apparently all are single bedrooms. Based on the Design Study done by MIT last Fall, there is a real need for more single bedroom units in Arlington. They address two niches: 1) they are likely to be more affordable because they are smaller and 2) they provide a home for young single, pre-child rearing, professionals in their early careers and for older, post child rearing singles.

My concern, especially given Arlington's own participation in the effort to meet the region's need for housing, is that only THREE of the 22 residential units are dedicated for affordable housing.

As the regulatory agency with approval rights over this project, the ARB has considerable "soft power" and negotiating opportunity to have this development do better for the community.

I propose - give them another story, another 7 units. Encourage them to have TEN units affordable out of a total of ca. 30 units. Limit these to permanently rental units, not potential condos.

Consider your potential use of eminent domain and step back from that to negotiate aggressively on behalf of the Town's larger interests, not just whether they comply with zoning regulations.

I'd also like to take this opportunity to comment on the sidewalk width. As we reconsider our towns, especially our transit corridors, in the post Covid 19 era, we will be looking for ways to create opportunities for maintaining "social distance" and for avoiding the pushing together of pedestrians on sidewalk corridors, especially those near transit stops or other uses that attract pedestrians to stop and linger.

Thank you for this opportunity to share my thoughts.

Barbara Thornton
MCP
Precinct 16

From: Barbara Thornton <bthornton@assetstewardship.com>
Date: July 20, 2020 at 8:57:29 AM EDT
To: Arlington <arlington@arlingtonlist.org>
Cc: Andrew Bunnell <abunnell@gmail.com>
Subject: **Toraya Block**

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Unless we want Arlington to be dominated by larger single family homes with price tags over \$1.5MM, we need to build more housing projects like the one proposed on the Toraya block.

If you are a single person, an older person, in Arlington, and not a millionaire or a long time home owner here, you have almost no choices for living here. Do we really want our town to be so exclusive? Such a "mono culture"?

Lets worry about getting more cafes when we fill the empty spaces we now have and when we get more people in town who like to go to cafes.

Please ARB.... approve those units to build now! This is a risky financial time for developers. We will lose all development opportunities if we don't start taking advantage of these opportunities that are on the table now.

BARBARA THORNTON

From: Christian Klein <cmqklein@gmail.com>
To: Jenny Raitt <jrait@town.arlington.ma.us>
Date: Sat, 16 May 2020 18:37:16 -0400
Subject: 882-892 Mass Ave - Letter to ARB

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "<>" brackets) and you know the content is safe.

Ms. Raitt,

Please accept the attached letter into the record for the hearing regarding 882-892 Mass Ave. I intend to attend the meeting Monday evening, and I look forward to the opportunity to highlight the concerns raised in my letter.

If you have any questions, please feel free to reply to this email.

Best, and good health,

Christian Klein
54 Newport Street

May 16, 2020

Christian Klein
54 Newport Street
Arlington, MA 02476

Arlington Redevelopment Board
c/o Department of Planning and Community Development
Arlington Town Hall
730 Massachusetts Avenue
Arlington, MA 02476

Re: 882-892 Massachusetts Avenue

Dear Chairman Bunnell:

Solely as a resident of Arlington who lives in the same precinct, I am writing in regards to the proposed redevelopment of the existing single-story commercial building at 882-892 Massachusetts Avenue. I have many concerns regarding this project as it relates to both statutory compliance and benefit to the adjacent neighborhood where I live. I do believe that this parcel could be further developed. However, the proposal as it stands does not serve the existing neighborhood, nor does it serve its future tenants.

Zoning District Concerns:

The project site is in a B2 Neighborhood District. Per Section 5.5.1.B in the Town of Arlington Zoning Bylaw as amended through April 22, 2019 (hereafter ZBL), this district is “intended for small retail and service establishments serving the needs of adjacent neighborhoods and oriented to pedestrian traffic, and mixed-use buildings. ... The Town discourages uses that would detract from the district’s small-scale business character or otherwise interfere with the intent of this Bylaw.” The existing building conforms very well to this standard. It is comprised of five storefront commercial spaces featuring a variety of services vital to the residents of the neighborhood. There are two restaurants, a local media studio, and a food bank serving the vulnerable members of our community.

By creating a new building with only a single “office” use, it seems only the media studio could reoccupy the building. In regards to microclimate considerations, the Applicant states that “the owner does not contemplate that there will be any installation of machinery which emits heats [sic], vapor or fumes from the site...” The proposed plans do not include any interior shafts leading from the first floor to the roof. As such, no restaurant could move in. It is also unlikely that the space would be amenable to the local food bank.

I do not object to the addition of residential units. To the contrary, I agree that the addition of apartments on this site would be appropriate and desirable. I ask the Board to consider requiring that the ground floor remain exclusively commercial, with the exception of access to the residential units above, to maintain the diversity of small retail and service establishments that exist on the site. To do otherwise would result in a substantial adverse impact upon the character of the neighborhood.

Mixed-Use Concerns:

The ZBL defines Mixed-Use as a “combination of two or more distinct land uses, such as commercial, ... [and] residential in a single multi-story structure to maximize space usage and promote a vibrant,

pedestrian-oriented live-work environment.” (emphasis added). What makes a vibrant environment? Merriam –Webster defines Vibrant as “pulsating with life, vigor, or activity.” This block is already vibrant because of the multitude of different commercial uses, the very active bus-stop, and the ebb-and-flow of high school students. Reducing the number of commercial spaces to only one and closing off the remainder of the Mass Ave. frontage to public engagement makes the building far less vibrant than it is today. I contend this will have a substantially adverse impact upon the character of the neighborhood.

Bus Shelter Concerns:

There is a sheltered bus stop on Mass Ave. directly in front of this building. It is a very busy stop serving both residents commuting towards Cambridge and Boston and students heading to the high school. Few of the bus stops on this route have shelters, making this stop special. The shelter fits here because the existing sidewalk is eight-feet wide and the building is set approx. eight-feet back from the property line allowing generous space for pedestrians to pass easily behind the shelter.

The future of the shelter is unclear in the provided documents. Sheet G-101 notes that the Contractor is to “PROTECT AND MAINTAIN [the] EXISTING BUS SHELTER”. This means the shelter remains during construction, with its structure protected against damage. However, sheet C-102 states “EXISTING BUS SHELTER TO REMAIN, REMOVE AND REPLACE AS REQUIRED”. This means that the shelter could stay, it could be removed temporarily and returned, or it could be taken away and replaced with something else. That would be completely unacceptable.

The renderings provided by the Applicant imply that the bus shelter, and for that matter, the entire bus stop are going away. The image on sheet A9.00 does not include the bus stop or bus shelter. Instead, it shows an exposed bench against the building and metered parking spaces on both Mass Ave. and Lockland Ave. This is highly deceptive, because it falsely portrays the space in front of the building. Removing the bus shelter or replacing the bus shelter with something far less protective of riders will have a substantially adverse impact upon the residents of the neighborhood.

First Floor and Sidewalk Connection Concerns:

The existing building has a significant connection to Mass Ave. The position of the building eight-feet back from the edge of the sidewalk, allows pedestrians to stop in front of the building to look in through the windows without holding up pedestrian traffic. It allowed patrons waiting for a table at a restaurant to wait outside without blocking the sidewalk. Now, it allows patrons (myself included) waiting for take-out to maintain social distance. That additional space allows high school students to have space to congregate while they wait for the walk signal to cross Mass Ave. It also provides enough space for commuters to stand aside while students disembark from the bus before they can climb on.

The proposed plan shifts the building closer to the street and includes planting beds between the building and the sidewalk to keep pedestrians away from the residential uses on the ground floor. The beds are not in front of the commercial space, allowing pedestrians to come closer to the building. This is essential, because there would not be enough space to move down the sidewalk otherwise due to the bus shelter. The commercial space doors are located to either side of the shelter, which at least maintains a direct egress path from that space. However, the proposal to replace the pedestrian zone residents enjoy today with building and planting beds will have a substantially adverse impact on the pedestrians, bus commuters, and high school students from the neighborhood.

Open Space Concerns:

The statement from the Applicant to the Arlington Redevelopment Board (hereafter ARB) indicates that the proposed site plan meets the landscaped open space requirement by providing 10.2% of GFA, 0.2% more than is required by the ZBL. They also note that they are only providing 11.9% of GFA as usable open space, 8.1% less than is required by the ZBL. They indicate that this will require a special permit to remedy.

The Applicant's plans include ZERO usable open space. The definition of Usable Open Space in the ZBL indicates that it is "part or parts of a lot designed and developed for outdoor use by the occupants of the lot for recreation, including swimming pools, tennis courts, or similar facilities, or for garden or for household service activities such as clothes drying; which space is at least 75% open to the sky, free of automotive traffic and parking, and readily accessible by all those for whom it is required. Such space may include open area accessible to and developed for the use of the occupants of the building, and located upon a roof not more than 10 feet above the level of the lowest story used for dwelling purposes. Open space shall be deemed usable only if at least 75% of the area has a grade of less than 8%, and no horizontal dimension is less than 25 feet." (emphasis added) There is no area on this site that meets this requirement.

I do not understand the Applicant's assertion that only a special permit is required to eliminate the requirement for Usable Open Space. Since this would constitute a significant deviation from the requirements of the ZBL, it would appear that a Variance would be required. The Applicant has not addressed the requirements for a Variance.

Bicycle Parking Concerns:

The Applicant did make an attempt to comply with the ZBL in regards to bicycle parking. There are short-term spaces in the residential lobby and behind the building at the far end of the parking lot. There are long-term spaces in the basement.

The ZBL notes in Section 6.1.12.B that "Bicycle parking as required by this Section refers to the accessory storage of bicycles (which may include trailers or other customary accessories) in a secure manner that allows for quick and convenient access, storage, and removal of the bicycles by users who are making trips to or from the associated principal use." (emphasis added)

The ZBL differentiates between short- and long-term bicycle parking, noting in Section 6.1.12.C(2) that short-term spaces are "intended primarily to serve visitors, such as retail patrons, making trips of up to two hours to a particular use; however, it may serve other bicycle users as needed. Short-term bicycle parking is typically located in a publicly accessible area near pedestrian entrances to the use they are intended to serve." The short term spaces are located just about as far from the retail entrances as they possibly could be. This is not in keeping with the intent of the ZBL.

The ZBL indicates in Section 6.1.12.C(1) that "Long-term bicycle parking shall be intended primarily to serve residents, employees, and other persons who would require storage of a bicycle for a substantial portion of the day, for an overnight period, or for multiple days." As noted earlier, bicycle spaces are required to "provide quick and convenient access, storage, and removal of the bicycles..." Looking at the proposed floor plans (A1.00 and A1.01), it appears that the procedure for parking a bike in long term storage involves coming in through the corner entrance, through doors into the common corridor, taking the only elevator to the basement, exiting the elevator, avoiding a post nearly in front of the elevator door, and navigating a series of tight turns before arriving at the door to the long-term bike storage. The reverse procedure would be required to take a bike back out. The only alternative is to take the stairs. There is no possible way to describe this as "quick and convenient".

(As an aside, I also note that the Applicant's rendering on sheet A9.01 clearly shows a bicycle being ridden on the sidewalk in violation of Title III, Article 1, Section 5 of the Town Bylaws.)

The locations of the bicycle parking areas do not abide by the requirements of the ZBL and should not be considered acceptable. Indeed, they will have a substantial adverse impact upon the patrons and residents of the building and a substantially adverse impact upon the use of bicycles.

Conclusion:

Throughout this letter, I have pointed to issues with the proposal that pose a substantially adverse impact. As you are well aware, by Section 3.4.3.E of the ZBL, the ARB shall not deny a special permit "unless it finds that the proposed use does not comply with the Environmental Design Review Standards listed below to such a degree that such use would result in a substantial adverse impact upon the character of the neighborhood or the town, and upon traffic, utilities, and public or private investments, thereby conflicting with the purposes of this Bylaw." I believe that a full review of the proposed building project should lead to a finding that the project will have a substantially adverse impact on the neighborhood, and it is in conflict with the purpose of the ZBL.

I do believe there are steps which could be taken to greatly improve the proposal. The Public Hearing Memorandum issued by the Department of Planning and Community Development references a prior application made and approved in 1988 which sought to add up to six two-bedroom apartments above the existing masonry building. I would fully support this approach. It maintains the open space in front of the building. It maintains ground level commercial space on Mass Ave. It preserves the original 1910 façade, an example of early twentieth century commercial building construction. If the Applicant sought to provide eighteen residential units, surely the project would remain viable, and the town would still be able to claim three new affordable units.

Future renderings and elevations should either include the existing bus shelter, or they should include whatever the Landlord is proposing to replace the shelter. Since the shelter is on Town property and may be the property of the MBTA, any change to the shelter will require careful scrutiny by the public.

The Applicant also needs to demonstrate that the project is in compliance with the Commonwealth's accessibility access law (521 CMR). A quick review of the plans indicates that the New Hampshire based architecture firm is unfamiliar with local regulations. It is unfortunate that the Environmental Design Review Standards do not include review of accessibility features.

This might also be a good time for consideration of what post-Covid housing should look like. Is funneling that many residents through limited vertical conveyances a good idea? Should there be an exploration of how to limit the number of interactions between the various apartments to allow the residents to come and go without exposing themselves to their neighbors? These are questions to which I have no answers, but I think it would be valuable to ask the Board of Health for their opinion on this and other future multi-family and mixed-use developments.

I appreciate the good work that you and your Board do on behalf of the residents of Arlington. I look forward to your discussion and deliberation on this proposed project.

Sincerely,



Christian Klein

54 Newport Street

From: Chris Loreti <cloreti@verizon.net>
To: "abunnell@town.arlington.ma.us" <ABunnell@town.arlington.ma.us>, rzsembery@town.arlington.ma.us, KLau@town.arlington.ma.us, EBenson@town.arlington.ma.us, Jenny Raitt <jrait@town.arlington.ma.us>
Cc: JHurd@town.arlington.ma.us, JCurro@town.arlington.ma.us, DMahon@town.arlington.ma.us, SDecourcey@town.arlington.ma.us, LDiggins@town.arlington.ma.us, Douglas Heim <dheim@town.arlington.ma.us>, Adam Chapdelaine <achapdelaine@town.arlington.ma.us>, Christian Klein <CKlein@town.arlington.ma.us>
Date: Mon, 20 Jul 2020 11:09:00 -0400
Subject: ARB Docket 3625: Public Comments to be Entered into the Hearing Record

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "<>" brackets) and you know the content is safe.

Dear ARB Chair Bunnell and Members:

The following are public comments for the special permit hearing on 882-892 Mass. Ave. (Docket 3625). I request that they be made part of the record for the hearing.

These comments pertain to the open space proposed by the developer for the site, and its failure to meet the requirements of the Arlington Zoning Bylaw (hereafter referred to as "the bylaw").

1. Comments have been made to the effect that the existing development is currently non-conforming with respect to usable open space. That is not correct. Usable open space is only required for residential uses. Since there are no residential uses on the site at present, zero usable open space is entirely conforming with the bylaw.
2. Once the use of a site changes, all of the dimensional requirements for the new use apply. The developer does not get to choose only those that are less stringent, and claim that those it cannot now meet as a result of the change in use are somehow grandfathered.
3. The developer has improperly calculated usable and landscaped open space in its latest submission, and the usable open space clearly does not meet the minimum 25 foot dimensional requirement in the definition of "usable" open space.
4. The ARB is allowed to grant relief from the dimensional requirements of the bylaw only when explicitly authorized to do so by the bylaw. The bylaw provides no such authority for reducing the amount of required landscaped and usable open space, nor does it provide any authority for changing the definition of usable open space.
5. The developer has two options for obtaining the special permit: change the plans to conform with the bylaw's open space requirements or obtain a variance from the Zoning Board of Appeals.
6. Because the proposed development does not meet the open space requirements of the bylaw and the ARB lacks the authority to grant relief in this regard, until the developer makes use of one of the two options listed above, it would be arbitrary, capricious, and contrary to the law for the ARB to grant a special permit for this development.

7. Members of the ARB must understand that they are acting in a quasi-judicial capacity when they are acting on special permits. While some, including an unfortunate number of town officials, would have you believe you are judging a popularity contest, your vote on special permits must be in accordance with the bylaw.

Finally, I would note that compliance with the open space requirements of the bylaw is a continuing problem with the mixed-use proposals that come before the ARB. I urge you to work with the Town Manager and the Select Board to ensure that Inspectional Services provides a written review of all such proposals documenting compliance with the open space and the other dimensional requirements of the bylaw before the special permit hearings begin. If a proposal fails to meet the dimensional requirements of the bylaw, as this one does, then Inspectional Services must refer it to the Zoning Board of Appeals for a variance before the ARB begins its EDR special permit hearing.

Sincerely,

Christopher Loreti
56 Adams St.
Arlington

cc: Arlington Select Board
Arlington Town Manager
Arlington Town Counsel
Chair, Arlington Zoning Board of Appeals

From: Don Seltzer <timoneer@gmail.com>
To: Erin Zwirko <EZwirko@town.arlington.ma.us>
Cc: Andrew Bunnell <ABunnell@town.arlington.ma.us>, EBenson@town.arlington.ma.us, KLau@town.arlington.ma.us, David Watson <DWatson@town.arlington.ma.us>, rzsebery@town.arlington.ma.us, Jenny Raitt <jrait@town.arlington.ma.us>
Date: Thu, 14 May 2020 15:37:00 -0400
Subject: Environmental Design Review Docket 3625, 882-892 Massachusetts Ave

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In advance of the May 18 meeting, I offer the following observations regarding the plans submitted for a four story, mixed use building at 882 Mass Ave. There are five significant zoning problems that stand out.

The first problem is with the parking area. Zoning Bylaw 5.3.7, 5.3.21, and 6.1.11 all require a buffer strip along the lot line adjoining the residential lot next door on Lockland. With the stockade fence indicated, the buffer strip must be a minimum of 5 feet wide.

The property is a corner lot. 5.3.8 requires that on the Lockland St side the building setback be 20 feet.

The proposed apartment building requires significant Usable Open Space. There is no area on the lot that meets the definition of Usable Open Space.

5.3.17 requires an Upper Story Step-back beginning at the third floor, not the fourth as shown in the plans

5.3.17 also requires that this Step-back be a minimum of 7.5 feet. Only a very small portion of the proposed building meets

this requirement. It appears that the architect has misinterpreted the bylaw to mean a minimum distance from the front lot line rather than the front of the building.

Attached are three figures that illustrate these problems.

Sincerely,

Don Seltzer

MASSACHUSETTS AVENUE
(PUBLIC - VARIABLE WIDTH)

- SECTION 5.3.17. FOR BUILDING MORE THAN 3 STORIES IN HEIGHT, AN ADDITIONAL 7.5 FT STEP-BACK SHALL BE PROVIDED BEGINNING AT THE THIRD STORY LEVEL OR 30 FT ABOVE GRADE, WHICHEVER IS LESS. THE UPPER STORY STEP-BACK SHALL BE PROVIDED ALONG ALL BUILDING ELEVATIONS WITH STREET FRONTAGE.
- SECTION 5.3.21. SUPPLEMENTAL REQUIREMENTS IN THE BUSINESS AND INDUSTRIAL DISTRICTS, D. FOR MIXED USES AND ANY PERMITTED RESIDENTIAL USE NOT SPECIFICALLY IDENTIFIED IN THE TABLES IN SECTION 5.5.2, THE MINIMUM OPEN SPACE REQUIREMENTS (COMPUTED FROM THE RESIDENTIAL FLOOR AREA ONLY) SHALL BE 10% LANDSCAPED AND 20% USABLE IN THE B1, B2, B2A, B3, AND B4 DISTRICTS, AND 15 PERCENT USABLE IN THE B5 DISTRICT. A WAIVER MAY BE REQUIRED FROM THE USABLE OPEN SPACE REQUIREMENT.

ADA SPACES REQUIRED:
(15-25) TOTAL PARKING SPACES PROVIDED, 1 SHALL BE THE MINIMUM ADA PARKING PROVIDED, 1 SPACES BEING VAN ACCESSIBLE.
PROVIDED 1 SPACES, 1 BEING VAN ACCESSIBLE.

- PARKING TABLE NOTES:**
- SECTION 6.1.10, C. FOR A MIXED-USE DEVELOPMENT THE FIRST 3,000 SF OF NON-RESIDENTIAL SPACE IS EXEMPT FROM THE PARKING REQUIREMENTS OF THIS SECTION 6.1.
 - SECTION 6.1.11. STANDARD PARKING STALLS SHALL BE 8.5'X18', AND COMPACT SPACES SHALL BE 8'X16'(UP TO 20% ALLOWED WITH S.P.). DRIVE AISLE WIDTH SHALL BE 24' FOR TWO-WAY TRAFFIC.

PROP. PROPERTY LINE	SYMBOL
SIGN	•
BOLLARD	○
BUILDING	▭
BUILDING ARCHITECTURE	▭ (with texture)
BUILDING INTERIOR WALLS	▭ (with texture)
CURB	▬
RETAINING WALL	▬ (with texture)
PARKING STRIPING	▬ (with texture)
ROADWAY STRIPING	▬ (with texture)
SIDEWALK	▬ (with texture)
ADA ACCESSIBLE RAMP	▬ (with texture)
ADA DET. WARNING SURFACE	▬ (with texture)
SNOW STORAGE	▬ (with texture)
SETBACK LINE	▬ (dashed)
BASELINE	▬ (dashed)
SAW-CUT LINE	▬ (dashed)
PARKING COUNT	Ⓢ
COMPACT PARKING STALL	Ⓢ
CHAIN LINK FENCE	▬ (with texture)
WOOD FENCE	▬ (with texture)



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

5.3.8 Corner Lots

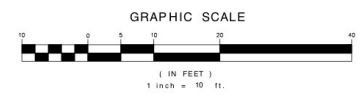
Minimum 20' Yard Setback

Where is the usable Open Space?

- NOTES**
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION TO VERIFY DIMENSIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS, SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE CONSULTED. ALL SITE ITEMS SHALL BE SET BY A LICENSED LAND SURVEYOR.
 - OWNERS ON THIS PLAN IS THE SOLE PROPERTY ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION OR DATA WITHOUT THE CONSENT OF ALLEN & MAJOR ASSOCIATES, INC.

Minimum 5' Buffer strip

5.3.7, 5.3.21, 6.1.11 D



REV	DATE	DESCRIPTION

APPLICANT/OWNER:

882-892 MASSACHUSETTS AVE, LLC
452 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

PROJECT:

892 MASSACHUSETTS AVE
ARLINGTON, MA 02476

PROJECT NO.	DATE
2729-01	04-10-20

SCALE:	DWG. NAME:
1" = 10'	C279-01

DESIGNED BY:	CHECKED BY:
ARM	BDJ/RC

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 2
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2956

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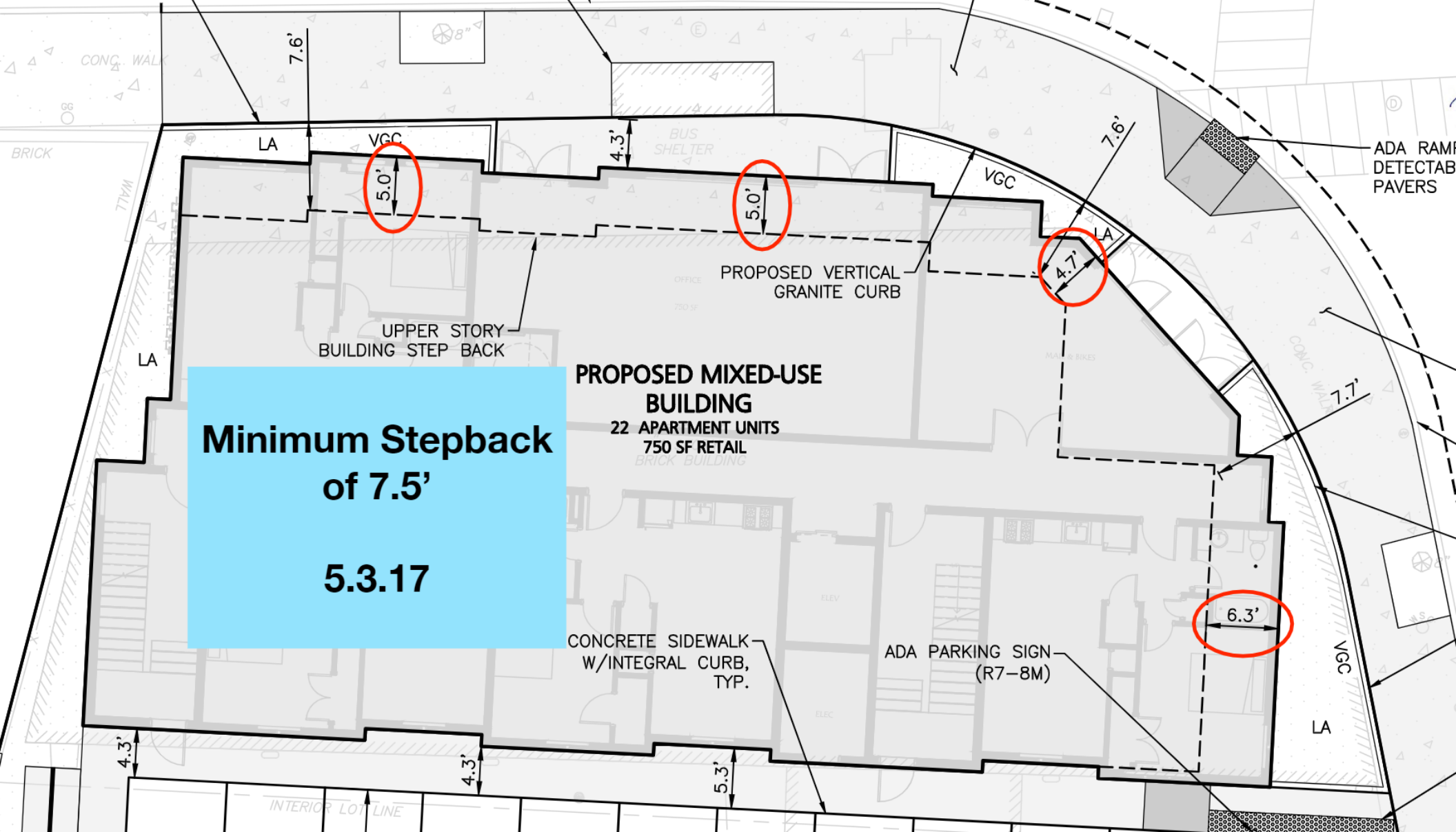
DRAWING TITLE:	SHEET NO.
LAYOUT & MATERIALS PLAN	C-102

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**Upper Story Stepback
Begins at 3rd Floor**

5.3.17



From: Don Seltzer <timoneer@gmail.com>
To: Jenny Raitt <jrait@town.arlington.ma.us>, Erin Zwirko <EZwirko@town.arlington.ma.us>, Andrew Bunnell <ABunnell@town.arlington.ma.us>, David Watson <DWatson@town.arlington.ma.us>, KLau@town.arlington.ma.us, EBenson@town.arlington.ma.us, rzsembery@town.arlington.ma.us
Date: Mon, 11 May 2020 10:32:24 -0400
Subject: Soil Contamination at 882-892 Mass Ave Docket 3625

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "<>" brackets) and you know the content is safe.

In reviewing the application packet for 882 Mass Ave I am surprised to find that there is no mention of the PCE soil contamination problem that exists at that site. It has been known for at least the last eight years. Active measures such as sub-slab depressurization and air purification systems are currently needed to control the internal vapor levels of PCE. One would think that this is relevant information to include in describing the site and that future mitigation methods would be part of the plans for a new building that places residential units on the ground floor.

Some of the PCE contamination has apparently migrated across Mass Ave towards the High School and the mixed use building at 887 Mass Ave. The latter was a property that was reviewed by this Board just a few years ago. There does not seem to be any documentation for that Special Permit application that addresses possible environmental contamination issues, despite that the site was formerly a gas station for many years during a time when little care was given to disposal of toxic chemicals. It should be of particular concern because the original proposed use has changed from ground floor retail to preschool.

That has frequently been the case for several recent properties that the Board has reviewed. 883 Summer St, the Downing

Square project, and the current application for 1207-1211 Mass Ave are all automotive repair/servicing sites that might reasonably be assumed to have soil contamination issues. Only the Downing Square project submitted documentation relating to that issue.

This suggests that a required element of the Board's Environmental Design Review process should be a specific review item related to local soil contamination conditions.

Sincerely,

Don Seltzer

From: Don Seltzer <timoneer@gmail.com>
Date: July 18, 2020 at 2:14:46 PM EDT
To: Andrew Bunnell <abunnell@town.arlington.ma.us>, Eugene Benson <EBenson@town.arlington.ma.us>, David Watson <dwatson@town.arlington.ma.us>, "KLau@town.arlington.ma.us" <KLau@town.arlington.ma.us>, "rzsembery@town.arlington.ma.us" <rzsembery@town.arlington.ma.us>, Erin Zwirko <EZwirko@town.arlington.ma.us>, Jenny Raitt <JRRaitt@town.arlington.ma.us>
Subject: Docket 3625 - Parking and Open Space Issues

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Please see the attached letter on the parking and open space deficiencies of the latest proposal for 882 Mass Ave

Don Seltzer

To: Arlington Redevelopment Board
Subj: Docket 3625 - Parking and Open Space Issues

Having reviewed the latest plans for 882 Mass Ave which were released to the public this past Thursday afternoon, I am disappointed to see that no attempt was made to correct the parking problems that were revealed at the first hearing on July 6. Additionally, the plans show a lack of understanding of several of Arlington's zoning bylaws regarding the requirements for landscaped and usable open space.

Section 6 of the Bylaw, listed below, is quite clear that the parking spaces in the two rows in the plan must each be 18 feet long. The aisle space between the two rows must be 24 feet wide. Five foot wide green buffers must be provided between the parking area and the building, and also the rear/side lot lines. Based upon these restrictions, a two row parking lot as portrayed on the plans must have a minimum width of $18 + 18 + 24 + 5 + 5 = 70$ feet. When the architects moved the building back from the street by a few feet and failed to reduce its depth, they reduced the available parking width to just 63 feet. This is simply too small to accommodate the minimum dimensions required by the Bylaw. Additionally, the frontage along Lockland is considered a front yard, and the parking area must be set back a minimum of 20 feet from the street.

Without radical design changes to the size, shape, and location of the building, there does not seem to be any way to accommodate more than a single row of about 10 to 12 parking spaces.

The latest plans claim that various areas of landscaping about the lot comprise the required Usable Open Space. Dimensions are

lacking, but it appears that none of the claimed areas meet the basic bylaw definition **ZBL Section 2: Open space shall be deemed usable only if ... no horizontal dimension is less than 25 feet.**

The claimed areas also fail to meet the basic standards set out in the bylaw for the Board's environmental review, **ZBL 3.4.4.C:**

- **Open Space. All open space (landscaped and usable) shall be so designed as to add to the visual amenities of the vicinity by maximizing its visibility for persons passing the site or overlooking it from nearby properties. The location and configuration of usable open space shall be so designed as to encourage social interaction, maximize its utility, and facilitate maintenance.**

It hardly needs to be said that the space hidden behind a dumpster does not meet this standard.

There are two steps that can resolve these fundamental problems with the parking and lack of open space. One row of parking should be eliminated, reducing the number of spaces by half. The reclaimed land can then be used to satisfy the Bylaw's dimensional requirements for open space.

I do not believe that the Redevelopment Board has the authority to exempt the developer from the basic dimensional parking requirements of Section 6 of the Bylaw, but you do have the authority to reduce the number of parking spaces.

It is worth noting that if the developer had wished to build a straightforward apartment building on his 14,000 sf B2 lot, he would be allowed only a nine unit building. That is consistent with what a lot this size can support. Relabelling it as a mixed use development relaxes certain zoning requirements but does not magically create the needed

space. A 14,000 sf lot is simply not adequate for a twenty-one unit apartment building. It is suitable for a two or three story building with the ground floor all commercial and one or two residential floors above, with six to twelve apartments. That is the vision that was presented to Town Meeting in 2016 when they voted for Mixed Use.

Parking Bylaw articles relevant to 882 Mass Ave.

6.1.11. Parking and Loading Space Standards

- A parking space may be inside or outside a structure and shall be for the exclusive use of one motor vehicle. Spaces entered from the front or rear, and stacked spaces, shall have **minimum dimensions of 8.5 feet by 18 feet**. Compact car parking spaces permitted in accordance with Paragraph C(11) below shall be at least 8 feet by 16 feet. For parallel parking, a space shall have minimum dimensions of 8 feet by 22 feet, except that such spaces which are open and unobstructed at one end may be only 18 feet in length. In residential side yards, the width of a parking space may be the width of the side yard, but in no case less than 7.5 feet.
- All parking and loading areas containing over five spaces, including automotive and drive-in establishments of all types, shall be paved and subject to the following:
 - (3) Each required off-street parking space shall have direct access to an aisle or driveway having a **minimum width of 24 feet** in the case of two-way traffic

D. All parking and loading areas containing over five spaces which are not inside a structure shall also be subject to the following.

- (1) The surfaced area shall be set back at least 10 feet from front lot lines and from all lot lines of abutting property used for residential purposes; however, **for side and rear lot lines the setback need only be five feet if the setback includes a solid wall or solid wooden fence**, five to six feet in height complemented by suitable plantings. **In no case shall the paved area be set back from the front lot line a distance less than the minimum front yard setback** for the district, nor from a side or rear lot line a distance less than the minimum buffer width required in the Density and Dimensional Regulations of the district. Where deemed appropriate by property owner, acceptable to immediate abutters, and approved by the Building Inspector, another wall or fence height or fence type may be substituted for the required wall or fence.
- 2) The area shall be effectively screened with suitable planting or fencing on each side that faces abutting lots used for residential purposes. The screening shall be within the lot boundaries and at least five feet and not more than six feet high. Parking areas and access driveways accessory to any multi-family dwelling **shall be separated from the building by a buffer strip of green open space not less than five feet wide and suitably planted.**
- (3) The area within the setback from the front lot line shall be landscaped and shall contain a compact hedge, fence, or berm at least three feet high, placed parallel to the street except within 10 feet of driveways.
- (4) **Parking shall not be located within the required front yard area in any district.**

It is the purpose of this Bylaw to discourage the perpetuity of nonconforming uses and structures whenever possible.

Don Seltzer

18 July, 2020

From: Don Seltzer <timoneer@gmail.com>
Date: July 19, 2020 at 12:20:57 PM EDT
To: Andrew Bunnell <abunnell@town.arlington.ma.us>, Eugene Benson <EBenson@town.arlington.ma.us>, "KLau@town.arlington.ma.us" <KLau@town.arlington.ma.us>, David Watson <dwatson@town.arlington.ma.us>, "rzsembery@town.arlington.ma.us" <rzsembery@town.arlington.ma.us>, Erin Zwirko <EZwirko@town.arlington.ma.us>, Jenny Raitt <JRaitt@town.arlington.ma.us>
Subject: Docket #3625 GFA calculations for Open Space requirements

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To Arlington Redevelopment Board

I regret these last minute comments, but I believe them to be important to the Board's consideration before tomorrow's hearing.

Don Seltzer

To: Arlington Redevelopment Board
 Subj: Docket 3625 - Floor Area Calculations

The original plans submitted for 882-892 Mass Ave claimed a Gross Floor Area of 18,009 square feet.

Property Location 882-892 Massachusetts Ave Zoning District B2
 Owner: 882-892 Massachusetts Ave, LLC Address: 452 Massachusetts Ave, Arlington, MA
 Present Use/Occupancy: No. of Dwelling Units: Uses and their gross square feet:
Retail, Service, Restaurant 1-Story 5,016 SF
 Proposed Use/Occupancy: No. of Dwelling Units: Uses and their gross square feet:
Mixed-Use, 22 Apartment Units & 700 SF Retail 4-Story Mixed-Use 18,009 GSF

	Present Conditions	Proposed Conditions	Min. or Max. Required by Zoning for Proposed Use
Lot Size	14,381 SF	14,381 SF	min. ----
Frontage	208 FT	208 FT	min. ----
Floor Area Ratio	0.35	1.25	max. 1.5

The revised plans, submitted in early July, showed the expansion of the 4th floor by elimination of the stepbacks, and a small decrease in the building location and footprint. The net change resulted in a claimed GFA of 17,720 sf.

Property Location 882-892 Massachusetts Ave Zoning District B2
 Owner: 882-892 Massachusetts Ave, LLC Address: 452 Massachusetts Ave, Arlington, MA
 Present Use/Occupancy: No. of Dwelling Units: Uses and their gross square feet:
Retail, Service, Restaurant 1-Story 5,016 SF
 Proposed Use/Occupancy: No. of Dwelling Units: Uses and their gross square feet:
Mixed-Use, 22 Apartment Units & 1,300 SF Retail 4-Story Mixed-Use 17,720 GSF

	Present Conditions	Proposed Conditions	Min. or Max. Required by Zoning for Proposed Use
Lot Size	14,381 SF	14,381 SF	min. ----
Frontage	208 FT	208 FT	min. ----
Floor Area Ratio	0.35	1.23	max. 1.5

The most recent plans submitted for the July 20 hearing do not specify a GFA, but it appears that the only change to floor area is reclassifying 450 sf in the basement from residential use to commercial use.

Both of these claims of GFA, whether 18,009 or 17,729 sf are restricted to the ground and upper floors. They fail to include any footage of the lower level. Some of this area can be excluded, with the exact amount depending upon whether the space is classified as Basement or Cellar. A reasonable approximation is that at least 3500 sf of this lower level should be included in the GFA calculation.

The calculations for the required Open Space, both Landscaped (10%) and Usable (20%), show a similar lack of understanding of Arlington’s bylaws. Both the May and early July plans calculated the required areas as percentages of the lot size, 14,381 sf instead of the GFA used for residential. This resulted in a significant understatement of the requirements.

ZBL 5.3.21. Supplemental Requirements in the Business and Industrial Districts

- D. For mixed uses and any permitted residential use not specifically identified in the tables in Section 5.5.2, the minimum open space requirements (computed from the residential floor area only) shall be 10% landscaped and 20% usable in the B1, B2, B2A, B3, and B4 districts, and 15 percent usable in the B5 district.

More perplexing is how the latest plan submission calculated these areas. The basis of GFA is only 11,161 sf. I am at a loss to puzzle out how this number was derived. Even allowing for the error of excluding all lower level floor area, the basis should be 16,640 sf (17,720-1,300) based upon the applicants claim of total GFA minus the 1300 sf assigned to commercial space. This equates to 1,664 sf of landscaped open space and 3,284 sf of usable open space.

Open Space (% of G.F.A.)	----	-----	min. -----
Landscaped (square feet)	760 SF	1,226 SF (10.6%) (s.f.)	1,161 SF (10%)
Usable (square feet)	0 SF	2,325 SF (20%) (s.f.)	2,323 SF (20%)

As I noted in a previous letter, the latest plans display an ignorance of our basic bylaw definition.

ZBL Section 2: Open space shall be deemed usable only if ... no horizontal dimension is less than 25 feet.

In one version of the newly submitted plans there is a small area behind the dumpster which may meet the dimensional requirement of 25 feet. In a second alternative, possibly a few hundred more square feet on the other side of the dumpster can be claimed as usable open space. The narrow strips of landscaping around the perimeter of the lot and the bicycle racks in front in no way meet the bylaw definition.

The claimed areas also fail to meet the basic standards set out in the bylaw for the Board's environmental review, **ZBL 3.4.4.C:**

- **Open Space. All open space (landscaped and usable) shall be so designed as to add to the visual amenities of the vicinity by maximizing its visibility for persons passing the site or overlooking it from nearby properties. The location and configuration of usable open space shall be so designed as to encourage social interaction, maximize its utility, and facilitate maintenance.**

It hardly needs to be said that the space hidden behind a dumpster does not meet this standard.

As I previously suggested, there are two steps that can resolve these fundamental problems with the parking and lack of open space. One row of parking should be eliminated, reducing the number of spaces by half. The reclaimed land can then be used to satisfy the Bylaw's dimensional requirements for open space.

I do not believe that the Redevelopment Board has the authority to exempt the developer from the basic dimensional parking requirements of Section 6 of the Bylaw, but you do have the authority to reduce the number of parking spaces.

It is worth noting that if the developer had wished to build a straightforward apartment building on his 14,000 sf B2 lot, he would be allowed only a nine unit building. That is consistent with what a lot this size can support. Relabelling it as a mixed use development relaxes certain zoning requirements but does not magically create the needed space. A 14,000 sf lot is simply not adequate for a twenty-one unit apartment building. It is suitable for a two or three story building with the ground floor all commercial and one or two residential floors above, with six to twelve apartments. That is the vision that was presented to Town Meeting in 2016 when they voted for Mixed Use.

•

It is the purpose of this Bylaw to discourage the perpetuity of nonconforming uses and structures whenever possible.

Don Seltzer

19 July, 2020

From: Elizabeth Pyle <elizabeth.m.pyle@gmail.com>
To: Jenny Raitt <JRaitt@town.arlington.ma.us>
Date: Mon, 18 May 2020 12:23:30 -0400
Subject: 882-892 Massachusetts Avenue

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Dear Ms. Raitt,

I am writing to provide to comments on the application for 882-892 Massachusetts Avenue, which will be heard by the ARB this evening. Please forward these comments to the Board, and include them in the official record.

I live close to the 882-892 Massachusetts Avenue block, and my family has long enjoyed the Toraya and Thana Thai restaurants that are current tenants of this building. Small restaurants like these make this community (and Arlington) a desirable and convenient place to live, and contribute to the diversity of the area. We are disappointed that the current owners of this building have decided to displace their current tenants, especially at this time when small businesses are suffering so much from the impacts of Covid-19.

As a Town Meeting Member from Precinct 10, I can also report that our community values these restaurants as improving the quality of life in this area, and that my neighbors are upset that these long-time tenants are being forced out in favor of the proposed residential/office development.

The proposed development is too big, contains too many units, is too many stories tall and will detract from the character of the community. This is just the kind of development that this area does not need or want. The proposed building looks like every other generic office or apartment building, and it could be located anywhere in the country. No effort has been made to give it New England character, or to attempt to fit it in with the Arlington community. Coupled with the new 3-story building directly across the street, it will make a canyon of new (undesirable) modern towers on this block of Massachusetts Avenue. If it's anything like the building across the street, the landlord will rent the residential units at high prices, while the first floor office space sits vacant, or poorly utilized, for years. This completely eliminates the vibrant character that currently exists in this neighborhood, and would be a detriment to our community.

In addition, the community is concerned about the environmental impacts of soil contamination at this site and air quality impacts from the proposal -- especially since the new High School construction (in part on contaminated soil) will also be happening in this vicinity. Therefore, to the extent any project is approved, we urge the ARB to require the maximum environmental monitoring of this site, including air quality monitoring, so as not to negatively impact the health of abutters and pedestrians.

In conclusion, I urge you to please deny this application. This type of generic, dense, tall development that displaces valued institutions is not what this neighborhood wants. At a minimum, the building should be reduced by one story in height, it should be set back farther from all sidewalks, the landlord should include commercial space appropriate for restaurants on the first floor (not offices), and it should be redesigned to look more like a traditional New England commercial block with brick or other features common to existing buildings along Massachusetts Avenue.

Thank you for your consideration of these comments.

Sincerely yours,

Elizabeth Pyle
Town Meeting Member, Precinct 10
66 Gloucester Street
Arlington, MA 02476

From: <ARB@HaroldHelson.us>
To: "Jenny_Raitt" <jraitt@town.arlington.ma.us>, "Erin_Zwirko" <EZwirko@town.arlington.ma.us>,
"Joe_Andrews" <heartsmoon@aol.com>, "Bunnell" <ABunnell@town.arlington.ma.us>,
"David_Watson" <DWatson@town.arlington.ma.us>, <KLau@town.arlington.ma.us>,
"Eugene_Benson" <EBenson@town.arlington.ma.us>, <rzsebery@town.arlington.ma.us>
Date: Mon, 18 May 2020 01:43:02 -0400
Subject: [ARB] Please do not allow zoning exceptions to build ugly

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "<>" brackets) and you know the content is safe.

Dear esteemed ARB members & staff:

In reference to tonight's meeting...

I am troubled by the modern trend of replacing attractive old buildings with extremely ugly new ones. Here in Arlington, the one next to Mystic Wine Shoppe should never have been built. (I have been told there were special factors involved, namely the acceptance of the builder to cope with environmental pollution that made the property undesirable to develop. I don't know about that.)

The ARB should not make exceptions to zoning laws to allow "ugly" buildings to replace stately old ones. The 882 Mass Ave case is one. The loss of the small businesses there I patronized and relied upon is painful, but moreover we *do not want a nonconforming replacement*. It should not be 4 stories tall regardless of the zoning laws. It should have full setbacks. And to the extent this can be dictated objectively, it should be beautiful. What you allow to be built will endure for a hundred years. You want to be careful. We don't want ugly. Maintain aesthetic standards, please.

The reason we live in Arlington is *not* to be surrounded by buildings like the one earlier cited. The reason we live here is *not* because we have crowded in a lot of people, which makes parking and traffic terrible. We *do not* have to increase housing or population in Arlington. The trend we are on will make housing much less affordable, under the pretense of doing the opposite.

The path I fear you are on will destroy the Arlington we love, bit by bit.

I do not mind building or development per se. I strongly mind ugly buildings and increases in population density. If you think that ugly buildings are necessary because pretty buildings are too expensive to build, and building must occur, I take exception. Building does not have to occur at that cost; don't tear down the old building at all.

So please do not grant exceptions to our zoning laws.

Please forgive me for taking up so much of your time, and especially, if I do not have an accurate view of your intentions or reasoning. I'm quite an amateur...but my visceral reaction to the decay of our corridor is well founded I think.

Respectfully yours,
Harold Helson
Bartlett Ave

<mailto:ARB@HaroldHelson.us>

From: Mustafa Varoglu <mvaroglu@gmail.com>
To: jraitt@town.arlington.ma.us
Date: Sun, 17 May 2020 15:15:14 -0400
Subject: Environmental Design Review Docket 3625, 882-892 Massachusetts Avenue

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "< >" brackets) and you know the content is safe.

Dear Ms. Raitt,

I'm writing to comment on the plans for the design of the proposed building at 882-892 Mass Ave. I'm a resident of the neighborhood and in favor of additional housing, but have concerns about specifics of the design at the ground level.

From what I can tell from the plans, the sidewalk between the new building and the Mass Ave curb will be narrowed by 4 or more feet. Just from this point of view this will make Mass Ave less inviting to walk as well as lead to bunching of students going to and from the high school. In front of this building there is an existing bus stop that should remain on this block for convenient access to the local businesses for those without cars. With the bus stop present people will be forced to funnel through a narrow pinch point while out in public which is poor street and pedestrian design. Especially in a post-Covid-19 scenario.

There appears to be an ample parking space in the back, perhaps the building can be moved back the same distance on the property or be made nominally smaller in the north to south dimension by using some of the space of the lot at back. It does not seem right to occupy what is now public space in a heavily trafficked corridor with this new design.

Regarding the new business space, as the landlord is not asking for permits for fumes etc it appears that a restaurant or coffee shop will not be able to occupy this space. This is a pity as we are losing two good restaurants in our neighborhood with this project. In addition, what mitigation is there that the embedded office space will not be converted to apartments in the future, can something be put in writing to have the landlords recognize this conversion is not possible?

Maintaining a streetscape with first floor businesses and inviting pedestrian travel makes Arlington a more attractive place to live.

Sincerely,

Mustafa Varoglu
26 Shawnee Rd.
Arlington

From: Patricia Worden <pbworden@gmail.com>
To: Jenny Raitt <jraitt@town.arlington.ma.us>, "ABunnell@town.arlington.ma.us" <ABunnell@town.arlington.ma.us>, klau@town.arlington.ma.us, ebenson@town.arlington.ma.us, dwatson@town.arlington.ma.us, rzsembery@town.arlington.ma.us
Date: Mon, 18 May 2020 11:27:16 -0400
Subject: Testimony for Hearing May 18, 2020

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "<>" brackets) and you know the content is safe.

Testimony of Patricia Barron Worden Re;

Public hearing for Special Permit Docket #3625 to review application by 882-892 Massachusetts Ave., LLC, for 882-892 1 of 275 Massachusetts Avenue, to develop a new mixed-use building with twenty two (22) one-bedroom residential units and one (1) commercial space in a B2 Business District.

Chairperson Bunnell and Members of the Arlington Redevelopment Board

Please include the following testimony with the other materials pertaining to Special Permit Docket #3625

Reasons that this project as it is currently described should be denied a permit include the following:

1. 882-292 Mass. Av. is in the B2 district. Arlington Zoning Bylaw specifies as the primary requirement for the B2 Neighborhood Business District that:

it is for "small retail and service establishments serving the needs of adjacent neighborhoods"
Town of Arlington Zoning Bylaw, Section 5.5.1 B

The plan to eliminate the restaurant and business uses including the Arlington Community Media Studio B and replace them with dense residences with only a tiny room-sized commercial space is clearly not in conformance with the purposes of the zoning district.

2. 5.3.8 may require that on the Lockland Avenue side the building setback be 20 feet since the property is a corner lot.
Also, the plan does not satisfy the Open Space requirement

3. 5.3.17 also requires that The Upper Story Step-back should be a minimum of 7.5 feet. That is not the case for much of the building.

5. The project is antithetical to the premise upon which Mixed Use zoning was presented to Arlington Town Meeting members to secure their approval. It was claimed to be a device for attracting business and commercial interests and having a residential component. It is instead in

this case being used for the opposite purpose of eliminating thriving and taxpaying restaurants and businesses and a studio of importance to the community. It was claimed that any problems with proper adherence to the goals of increasing business and commercial interests would be prevented by the ARB in the Special Permit process. But what is taking place at the May 18, 2020 hearing is using the Mixed Use provision in a barefaced attempt to enable an apartment building very much larger than would be allowed without Mixed Use and to destroy all businesses at the site. For this the proponent's strategy is to include one small room for commercial use. Does the ARB recognize its role in implementing honestly its assurances made of its ability to conduct satisfactory controls through the Special Permit process? If so then this Permit should reflect that or else, ideally, the permit should be denied. In this regard some early warnings indicating necessity for a more appropriate and enforceable Mixed Use provision are prescient – please see:

https://youtu.be/AO6EYDKnL_o

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To:

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https://youtu.be/AO6EYDKnL_o

From: Zeke Brown <zeke@brownfenollosa.com>
To: Jenny Raitt <jrait@town.arlington.ma.us>
Date: Mon, 18 May 2020 16:36:09 -0400
Subject: 892 Mass ave

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "<>" brackets) and you know the content is safe.

Hello Jenny,

I'm not sure how best to make comments on this evening's hearing for 22 single bedroom apartments on the Toraya site. I do have a couple of observations. Maybe they are entered into the project or meeting notes...

For background, I am an architect, a resident of the Town for more than 15 years and nearly a neighbor to this site. I also have an office in town and I drive by this building almost daily. It is a very prominent site.

1. To call this 'mixed use' is not really accurate. It is an apartment building with an absolute maximum number of units pressed onto the lot with a very small 'office' space on the first level to gain the mixed use qualification. To further elucidate the point- there is actually an apartment and a bedroom which has the exact same relationship to the sidewalk (and bus stop) as the office space right next to it! And the situation repeats itself on Lockeland Ave... It seems that as a town we should be asking if this is how we want to give over space which sits very prominently within the public realm.
2. The sidewalk. The existing building steps back and has a very generous sidewalk in front of it. I often see people lingering here because of this extra space. It is a feature which is critical to good civic space (and it is good for business). In direct contrast, the building across the street has a sidewalk that barely allows a person with a stroller to pass another pedestrian without being forced to move out of the way. I have never seen anyone linger over there despite multiple entrances along the street and it being a daycare center. To further my point there is lots of space in front of the Blue Ribbon BBQ building and again, it is inviting, gives refuge and relief from the vehicular dominated roadway and it encourages people to linger. I think it would be a big mistake to press this new building so close to the street and turn our sidewalks into narrow thoroughfares rather than generous public spaces that actually encourage small business activity.
3. What is the office space going to be? An office which puts block-out shades in the windows and turns its back to the town? Why not make a fantastic restaurant space that opens to the street and is inviting and will make all the singles who live in the building actually want to move here? Why give the most prominent corner to the residential lobby instead of something which opens to the street and Mass ave, like a cafe? Give the business use on the first level the locations which can activate the streetscape.
4. And finally, is it possible to insist on commercial leases with programming that actually gives back to the greater community? We are losing a great restaurant, a media center, food link and other small shops. I think it would be a real missed opportunity to have another unfriendly and totally private facade jammed right up to the very edge of the sidewalk along this stretch of Mass ave. Have we not learned anything from the building across the street?

I am not anti development by any stretch. I just see an unfortunate pattern to much of it which minimizes civic engagement and responsibility in favor of shorter term gain. This stretch of Mass ave is way too important to not have a broader conversation about how the development of the site will give back to the community in exchange for being permitted to put up an entirely new building.

Many thanks and I hope you are well.

Z

--

Zeke Brown
Architect

BROWN FENOLLOSA ARCHITECTS INC

197 Broadway Arlington MA 02474

p.781.641.9500 c.617.461.8191

zeke@brownfenollosa.com

www.brownfenollosa.com



Town of Arlington, Massachusetts

Presentation and Discussion: Whittemore Park renovations

Summary:

7:30 p.m. Representatives from Crowley Cottrell and the Department will provide a project update.

Board members will discuss

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	Agenda_Item_2_-_200629_ARB_Meeting_r.pdf	Whittemore Park Presentation

PROJECT GOALS

- Improve circulation in the park
- Increase visibility and prominence of the park
- Cultivate opportunities for passive recreation, programs, and events
- Enhance historic, cultural, and natural landscape in Arlington Center
- Create a park that is democratic in that it could be used by many types of people
- Create a park that is flexible in that it could be used use for many kinds of activities
- Create a park that is beloved, inspires stewardship, and is culturally appropriate for town



DIAGRAM-EXISTING

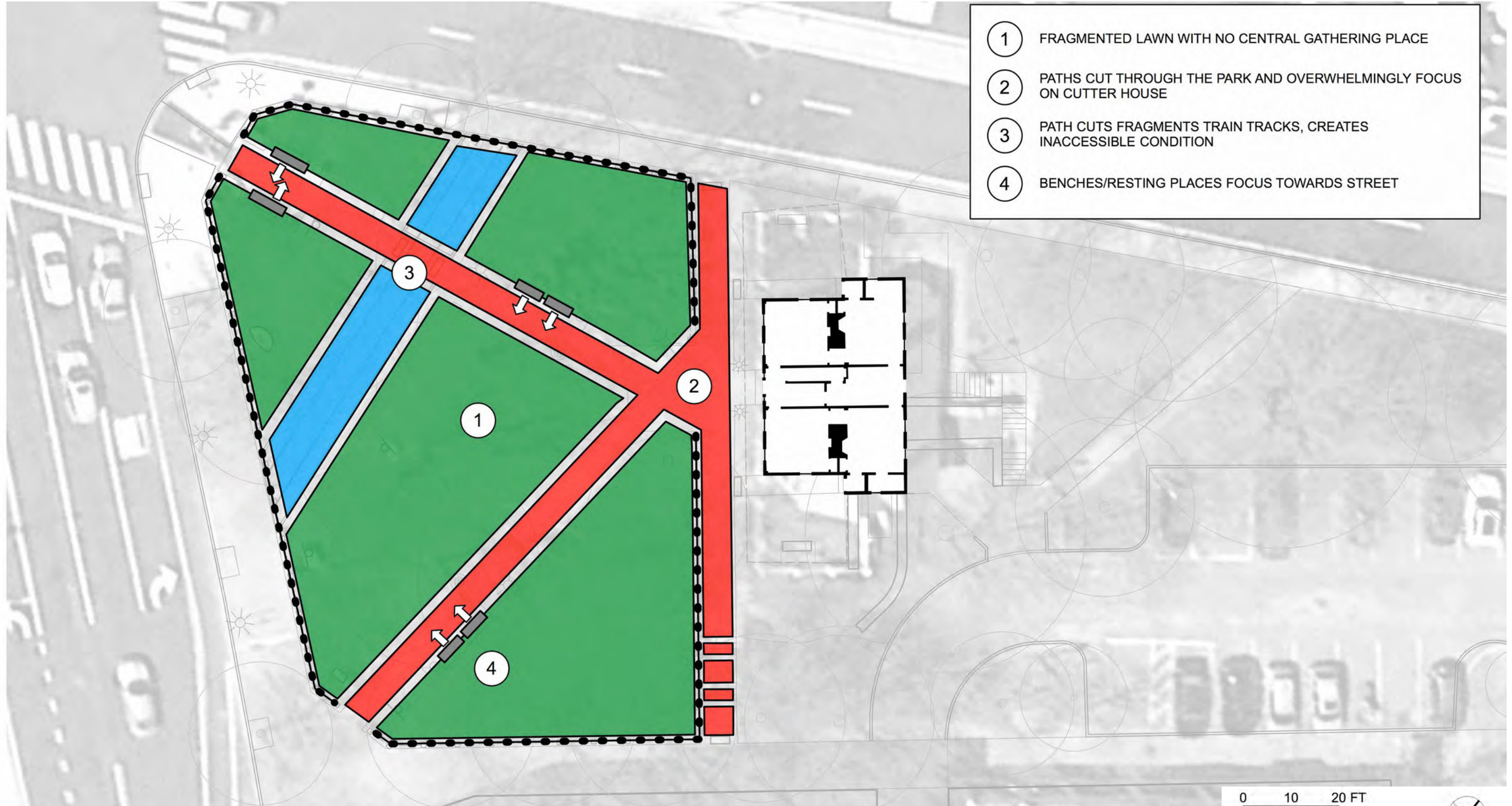
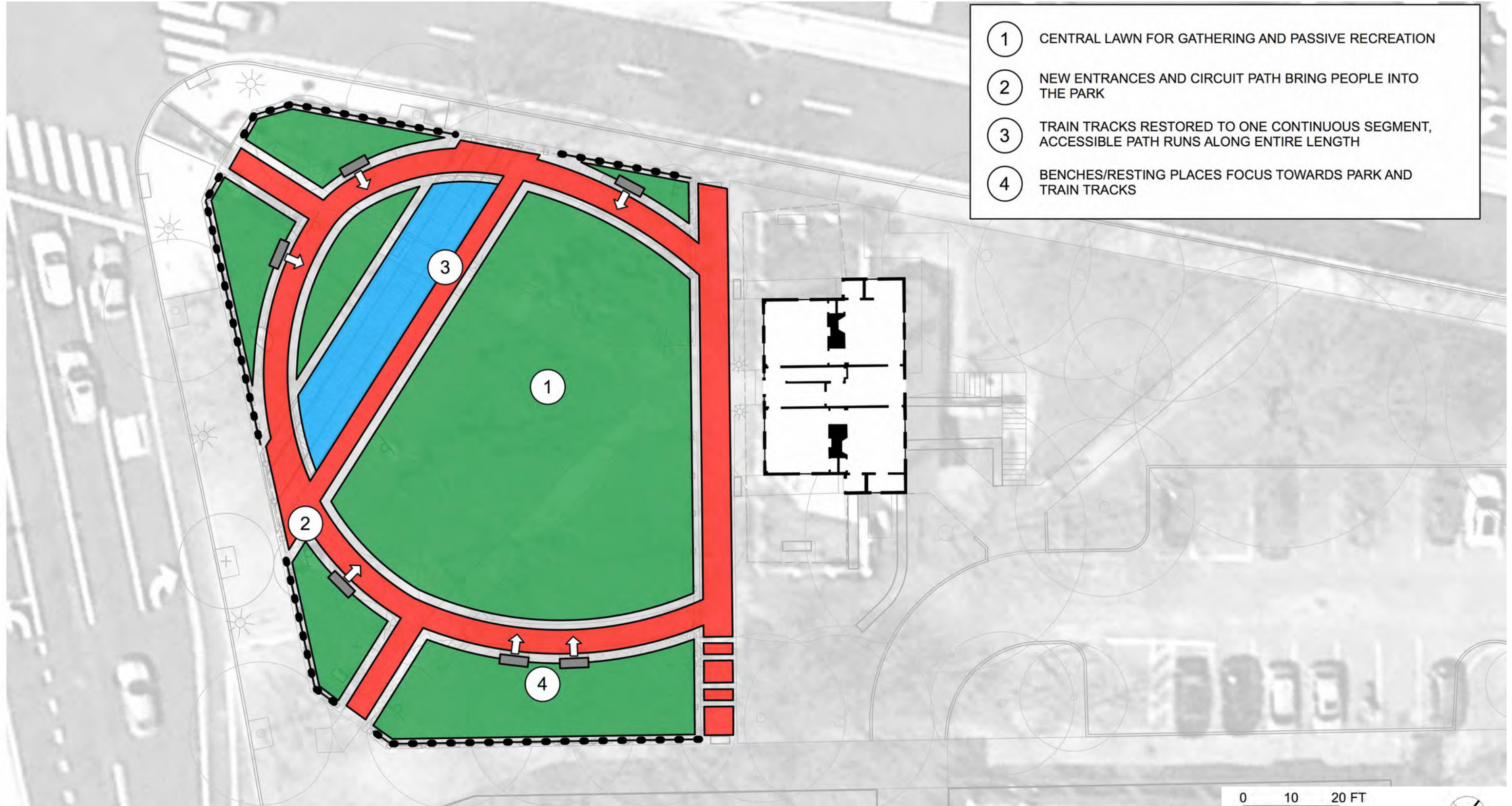


DIAGRAM-PROPOSED











Resin-bound aggregate paving between existing tracks.



Changes in color and indication of tracks in paving.



Canopy Trees

- Thornless Honeylocust
- Tuliptree
- Swamp White Oak

Mid-Size Trees

- Yellowwood

Flowering Ornamentals

- Hawthorn
- Redbud



Cercis canadensis

Redbud



Cladrastis kentukea

Yellowwood



Crataegus viridis

Hawthorn



Gleditsia triacanthos var. inermis

Thornless Honeylocust



Liriodendron tulipifera

Tuliptree



Quercus bicolor

Swamp White Oak



Native Deciduous Shrubs

- Summersweet
- Dwarf Fothergilla
- Oakleaf Hydrangea

Native Evergreen Shrubs

- Inkberry

Groundcovers

- Vinca
- Dwarf Fragrant Sumac



Clethra alnifolia 'Compacta' Summersweet



Fothergilla gardenii Dwarf Fothergilla



Hydrangea quercifolia 'Pee Wee' Oakleaf Hydrangea



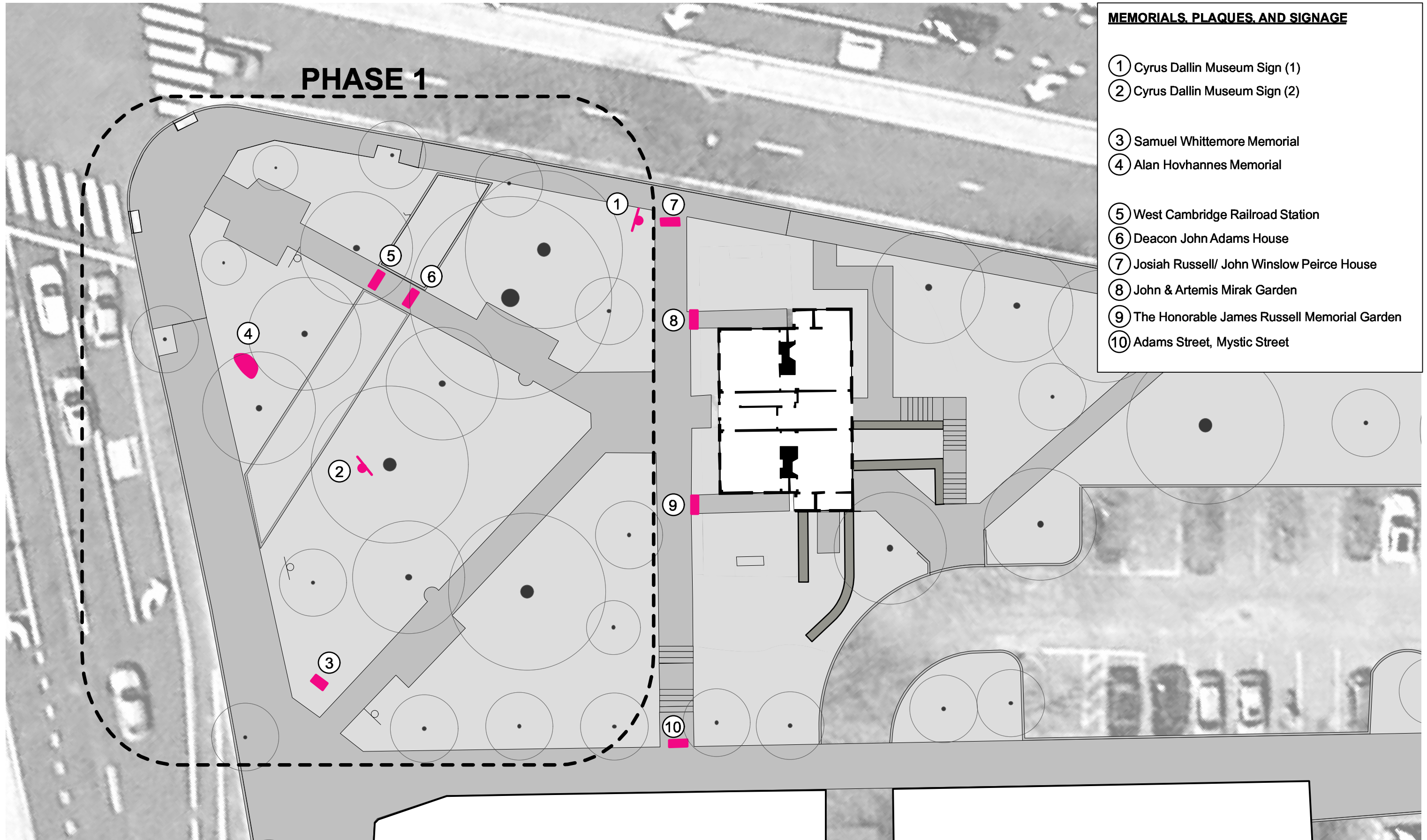
Ilex glabra 'Shamrock' Inkberry



Rhus aromatica 'Gro-low' Dwarf Fragrant Sumac



Vinca minor Periwinkle



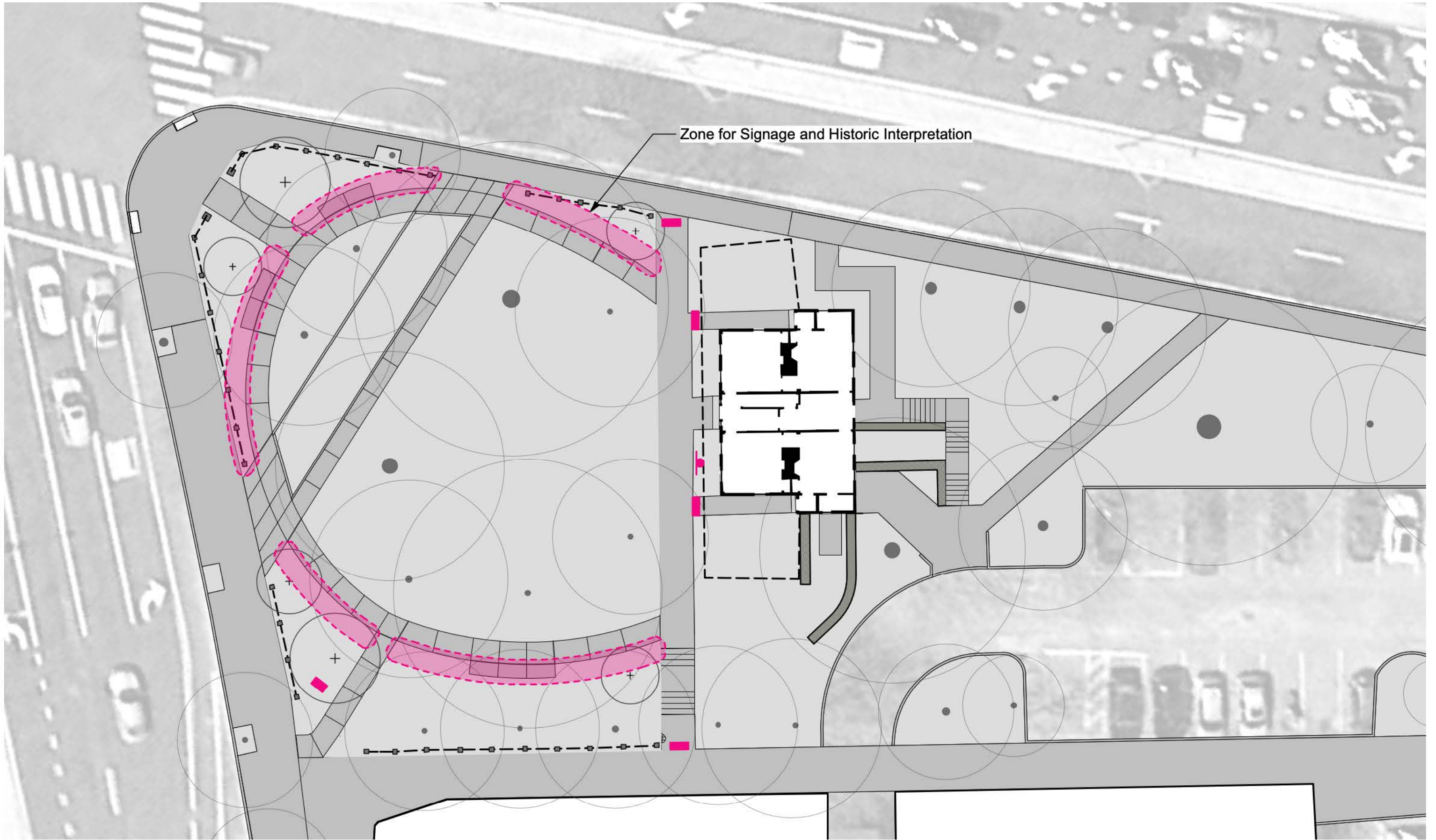
MEMORIALS, PLAQUES, AND SIGNAGE

- ① Cyrus Dallin Museum Sign (1)
- ② Cyrus Dallin Museum Sign (2)

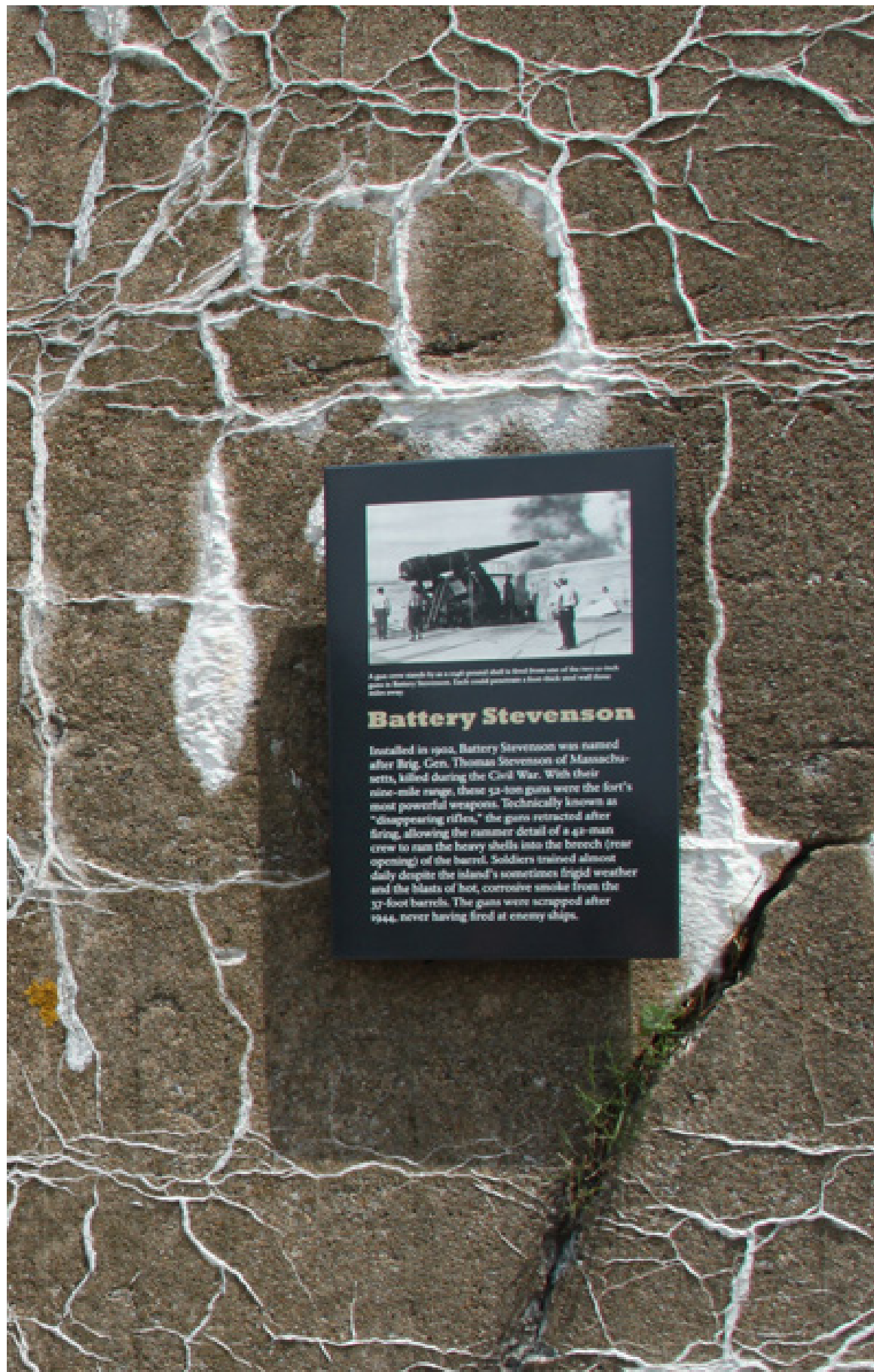
- ③ Samuel Whittimore Memorial
- ④ Alan Hovhannes Memorial

- ⑤ West Cambridge Railroad Station
- ⑥ Deacon John Adams House
- ⑦ Josiah Russell/ John Winslow Peirce House
- ⑧ John & Artemis Mirak Garden
- ⑨ The Honorable James Russell Memorial Garden
- ⑩ Adams Street, Mystic Street





Zone for Signage and Historic Interpretation





FURNISHINGS







Town of Arlington, Massachusetts

Meeting Minutes (4/27, 5/4, 5/18)

Summary:

7:50 p.m. Board will review and approve meeting minutes.

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	Agenda_Item_3_-_04272020_Draft_ARB_Minutes.docx	04272020 Draft ARB Minutes
▢ Reference Material	Agenda_Item_3_-_05042020_Draft_ARB_Minutes.docx	05042020 Draft ARB Minutes
▢ Reference Material	Agenda_Item_3_-_05182020_Draft_ARB_Minutes.docx	05182020 Draft ARB Minutes

Arlington Redevelopment Board
Monday, April 27, 2020, 7:00 PM
Meeting Conducted Remotely via Zoom
Meeting Minutes

This meeting was recorded by ACMI.

PRESENT: Andrew Bunnell (Chair), Kin Lau, Eugene Benson, David Watson, Rachel Zsembery

STAFF: Jennifer Raitt, Director of Planning and Community Development and Erin Zwirko, Assistant Director

The Chair called the meeting to order and notified all attending that the meeting is being recorded by ACMI.

The Chair explained that this meeting is being held remotely in accordance with the Governor's March 12, 2020 order suspending certain provisions of the Open Meeting Law G.L. c. 30A, Section 20. This order from Governor Baker allows for meetings to be held remotely during this time to avoid public gatherings.

The Chair introduced the first agenda item, Continued Public Hearings. The Chair said that the Board will take Docket #3348, 833 Massachusetts Avenue, for the Atwood House first. Bob Annese attorney for the proponent, Jeff Noyes owner, Monty French Architect. Submitted plans sent to ARB with an updated proposal that states the Atwood House would have to come down. They need to go in front of the Historical Commission and file for a demolition permit with the Town. Monty French opined that even though the building is structurally sound it would not be feasible to rehab the building. Mr. Annese said the Atwood House is on the list of historically significant buildings. Mr. Annese said that at this point they have to determine if they will apply for a demolition permit and meet with the Historical Commission. The plans are for a mixed-use building with residential and commercial space. Mr. Annese asked for the Board's guidance with going ahead with applying for a demolition permit. Mr. Annese said that he submitted a memo as requested regarding the jurisdiction of the Historical Commission. The Chair said that he is appreciative of the efforts that Mr. Annese has put forward and at this time the board should close this hearing and Mr. Annese should apply for a demolition permit and submit an EDR package to the Department of Planning and Community Development. Mr. Annese said that the applicant is prepared to do that.

Mr. Lau said that he agrees with The Chair and we can talk more about the building itself. Mr. Watson said that he agrees and appreciates what Mr. Annese has tried to do with the building moving into a new appropriate process with other Committee's in Town to review and comment is the best way to go at this moment. Mr. Benson said he agrees with some additions; he does not have a final opinion whether the building should be demolished or rehabbed. Mr. Benson would like to have some conditions if the Board closes this hearing so the project can move forward quickly. Mr. Benson said that he would like to have the demolition permit or EDR application to rehab the existing house within 30 days. Ms. Zsembery said that she agrees with Mr. Benson, her concern is the timeline after this hearing is closed. Mr. Annese said that he believes that they need more 30 days given COVID-19. Mr. Annese said that he would like to consult with Mr. French and thinks that a 90 day period may be more reasonable. Mr. French said 90 days seems more appropriate at this time. Mr. Benson asked for an explanation of the steps to file a demolition permit and why it would take more than 30 days. Mr. Annese said that he cannot get into to meet with the Building Department in person at this time business must be done via email. Mr. Annese said he cannot predict the obstacles he will encounter during this health crisis. Ms. Zsembery said that 90 days is the absolute maximum she would consider. Mr. Benson said perhaps the Board should consider 60 days since the Town is open for business, they are just not conducting meetings in person. Ms. Raitt said that if the Board is only requesting to file the demo permit application, then 30 days is a feasible timeline. Mr. Benson suggested that the demo permit application must be filed within 30 days or 60 days to file an EDR permit if the proponent decides to rehab the building. The Chair said that in the interest of moving this project to the next point the plans filed for this meeting will not be reviewed.

The Chair opened the floor to members of the public to comment.

Patrice Smith commented that in order to raise your hand in a Zoom meeting one must select participants.

John Worden said that it is outrageous that after years of moldering away, in the middle of this unprecedented pandemic that this building must be taken care of in such a hurry. If it is possible to have someone move this house. It should be rehabbed before making the house available to move. Mr. Atwood was a doctor that helped so many residents during the last epidemic. Mr. Worden said that he would like to hold off on decisions until meetings can resume in person.

Mr. Benson said that the Board is not approving the project. The proponent has a right to request a demolition permit or submit plans to the Board for approval. Ms. Raitt said that the Town is still working during this unusual time and the proponent would be submitting applications at this time, which could take up to a year due to the demolition delay.

Mr. Watson said that it is not fair to say that this is not a real meeting. The Board is conducting business during this time as outlined by the Commonwealth and Town.

Mr. Seltzer asked to be on video. The Board said that Town Counsel advised not to allow share screens during Board meetings. Mr. Seltzer said that he wanted to present something but if he is unable to see his face Mr. Seltzer declined to comment.

Mr. Benson motioned to close the hearing with the following conditions: Either within 30 days to file a demolition permit or within 60 days to file and EDR application if they intend to renovate the house. If the house is demolished, then an EDR application with plans for the site must be filed within a month. Mr. Lau seconds, all approved 5-0.

The Chair introduced the next item, Docket #3616, 434 Massachusetts Avenue. Charlie from Vital Signs representing the proponent from Taipei-Tokyo. Charlie reviewed the updated sign proposal. Ms. Zsembery said that removing the lettering on the left hand sign brings the sign closer to adherence with the sign by-law. Mr. Benson said that he thinks the changes are not enough. Mr. Benson said that he thinks that the center logo meets the definition of a sign as described in the by-law. Mr. Lau said he agrees with Ms. Zsembery. Mr. Lau said he feels the center panel is not a distracting from the rest of the building. The signage does not follow the by-law by the letter but Mr. Lau does not want to put an undue burden on this business. Mr. Watson said that he watched the last hearing where this signage was discussed. Mr. Watson said that this may be a grey area whether the center panel is artwork or a sign. Mr. Watson said that he will give the proponent leeway since they have worked so closely with the Board. The Chair said that he is comfortable with the Department's view that the center sign is artwork. Mr. Benson said that he appreciates the Board's position but he is afraid this may set a bad precedent going forward. Ms. Zsembery said that while she understands Mr. Benson's view, there is room with artwork to complement a sign. Ms. Zsembery said her concern about removing the artwork is that the artwork is actually over the entry to the restaurant. Mr. Benson moved to approve the revised sign proposal as submitted. Ms. Zsembery seconded, approved 4-1 (Mr. Benson opposed).

The Chair introduced the third hearing, Docket #2818, 880 Massachusetts Avenue. Jason Parillo with Back Bay Signs is representing the proponent. Mr. Parillo gave an overview of the proposed TD Bank directional sign. Mr. Parillo proposed sign that is not designed to be illuminated to comply with Town sign by-laws. Ms. Zsembery said she is recusing herself due to potential conflict of interest. Ms. Zsembery said that she has a business relationship with TD Bank. Mr. Lau asked if the proposed sign is larger than the current sign. Mr. Parillo said that this sign is slightly larger. Mr. Lau said he is concerned about the size of the sign closest to the residential area. Mr. Lau said he would either like the sign moved to the public corner or to make the sign smaller if it remains so close to the residential area. Mr. Watson said if the sign is larger than what the by-law allows, the sign should then be made smaller. Mr. Benson said he is not concerned about the placement

but the sign dimensions should be in compliance sign by-law requirements. The Chair opened the floor to public comment.

Michael Smith 10 Lockland Ave. said he is concerned about the up lighting on the existing sign and wanted to double check that the new sign will not be illuminated in any way. Mr. Parillo confirmed the sign would not be illuminated.

Mr. Parillo said that he thinks he can work with the staff and have updated drawings within a week. Ms. Raitt said that the next hearing date would be May 18th and Ms. Raitt said that the Board would need the revised plans a week before that hearing. Mr. Lau motioned to continue this hearing until May 18th, seconded by Mr. Benson, approved 4-0 (Ms. Zsembery abstained).

The Chair introduced the second agenda item, Discussion and Vote. Ms. Raitt said that currently Town Meeting has to be a formal, in person meeting. A bill to allow a virtual meeting has not yet been approved. Town Meeting would only focus on financial issues as a budget has to be approved by Town Meeting by the new fiscal year. Warrant Articles, Town by-law amendments, resolutions, and actions would be taken up at a future Town Meeting. Ms. Raitt shared a supplemental memo which outlines language to use for the Board's vote, which is recommended by Town Counsel and the moderator. The Chair said this would ensure that any citizen proponent articles are not stalled by the two year limitation under 40A and gives the Board a chance to review their own articles that have to be discussed. This vote would put those articles on hold and allows for further public discussion. Mr. Benson moved that vote that articles 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, and 47 be referred to the Redevelopment Board for further study and all such articles be placed on the warrant for the next Annual or Special Town Meeting by the Redevelopment Board, whichever occurs first. For such meeting also not intended to be a limited meeting purpose due to the emergency recommendation with whatever recommendations that the ARB deems appropriate. This action is being taken due the extraordinary circumstances due to the current COVID-19 pandemic and emergency. Mr. Watson seconds, approved 5-0.

The Chair introduced the next agenda item, Director's updates. Ms. Raitt said that the Department continues to work on current projects such as the Sustainable Transportation Plan, Net Zero Plan, and the economic analysis of Arlington's industrial districts. Ms. Raitt will be able to announce dates that the engagement events will be held, whether public or virtual meetings. Ms. Raitt said at this time the Board should be focusing on the Master Plan, Economic Development, and thoughtfully continue the conversations with the community. Ms. Raitt asked the Board to provide any guidance about any other topics that the Department should consider. Ms. Raitt said everyone should be thinking about how the business community can recover from the pandemic. Ms. Raitt notified the Board that the Town has received additional CDBG funds for rental assistance, micro-enterprise assistance, and social service agencies dealing with the effects of the pandemic.

The Chair introduced the next agenda item, Meeting Minutes for 2/24/2020 Mr. Benson moved to accept the 2/24/20 meeting minutes, Ms. Zsembery seconded, approved 4-0 (Mr. Watson abstained as he was absent on 2/24/20.)

Ms. Zsembery moved to accept the 3/2/2020 meeting minutes, Mr. Lau seconded, approved 5-0.

The Chair introduced the last agenda item, Open Forum. The Chair opened the floor to the public no comments

Mr. Lau moved to adjourn, Mr. Watson seconded, approved 5-0.

Meeting adjourned.

Arlington Redevelopment Board
Monday, May 4, 2020, 7:00 PM
Meeting Conducted Remotely via Zoom
Meeting Minutes

This meeting was recorded by ACMi.

PRESENT: Andrew Bunnell (Chair), Kin Lau, Eugene Benson, David Watson, Rachel Zsembery

STAFF: Jennifer Raitt, Director of Planning and Community Development

The Chair called the meeting to order and notified all attending this Zoom meeting that the meeting is being recorded by ACMi.

The Chair explained that this meeting is being held remotely in accordance with the Governor's March 12, 2020 order suspending certain provisions of the Open Meeting Law G.L. c. 30A, Section 20. This order from Governor Baker allows for meetings to be held remotely during this time to avoid public gatherings.

The Chair asked if anyone would like to speak to please use the raise hand function and the Chair will allow time to speak during the Open Forum portion of the meeting. The Chair said that going forward speakers will be unmuted and may be on video if they like.

The Chair introduced the first agenda item, ARB Property Update. Ms. Raitt said that the Town was waiting for the State to issue construction site COVID-19 precautions and guidelines. After reviewing, them we are now signing the contract and issuing a notice to proceed on Monday May 11, 2020. The first part of the Central School Renovation Project will take place on the second floor and the ground and first floor renovations will follow. Mr. Lau asked what the premium to proceed with the current protocol will cost. Ms. Raitt said that Health and Human Services have reviewed the protocols and anticipate that it will be approximately an additional \$20,000.00, which would come from contingency. Mr. Lau said that due to increased costs, some of his projects have asked to hold off until the extra procedures are not required. Mr. Lau asked if delaying the project has been considered. Ms. Raitt said the Town has already postponed signing the contract and are ready to proceed. Ms. Raitt said that they would likely have to hire a new designer if the project is significantly delayed. Mr. Watson asked what the cost implications would be if the project must start over. Ms. Raitt said that they must release the bond of \$7.8 million for the project, submit a new RFP, and pay the fee to hire a new designer. The Town has already spent funds on designer and OPM services.

Ms. Raitt said she would like to discuss the request for proposals timeline and process for the 23 Maple Street property. The tenant lease is ending on June 30, 2020 and all space in the building will become available. Ms. Raitt said that the tenant at 23 Maple Street is currently the highest paying tenant in the portfolio at \$52,800.00 annually. This property is Zoned as R7 and has 10 dedicated parking spaces behind the building. Ms. Raitt said that she needs to issue a RFP to request proposals from prospective tenants and will need one or two members of the Board to review the RFP proposals received. Ms. Raitt said that the process may start in July. The Chair asked about the state of the current tenant and if there were any changes due to COVID-19. Ms. Raitt said that the tenant is scheduled to move out at the end of the lease and at that point Ms. Raitt said can evaluate property conditions. Mr. Lau asked what the building may be used for. Ms. Raitt said that it will probably be used as office space. Ms. Raitt would like to consider what would be a good fit for the neighborhood and would look for a management plan from potential tenants. The Chair volunteered to assist on the RFP committee.

Mr. Watson moved to approve The Chair's nomination to the RFP Committee for 23 Maple Street, Mr. Lau seconded, approved 5-0.

Mr. Lau moved to approve the Department's submittal of an RFP for the 23 Maple St. property, Ms. Zsembery seconded, approved 5-0.

The Chair introduced the last agenda item, Open Forum. The Chair opened the floor to the public.

Don Seltzer presented a visualization of the Hotel Lexington on Mass. Ave. from the perspective approaching from the west. Mr. Seltzer said he found irregularities in the picture. (Mr. Seltzer shared his screen to show the images of this area of Mass. Ave that he discussed.) Mr. Seltzer compared the telephone poles in the images against the Town's GIS data to show irregularities in the developer's visualization. Ms. Zsembery said that the building department relies on the actual plans and elevations, not photoshopped images provided by the developer.

Michael Ruderman said that he sent correspondence to the Board regarding the Board's policy of concealing images of participants during remote Zoom meetings. Mr. Ruderman asked why this is the Board's policy, why it is preferable to not allow full participation of the public, what is the risk of doing so, and when the Board adopted this policy. The Chair said that the policy is at his discretion and the Board will continue to review the policy as meetings go forward. The Chair said that anyone who wishes to speak may do so. Mr. Lau said it is never the Board's intention to censor anyone. The Board is learning as we move forward and is looking to prevent incidents like what happened during the Conservation Committee meeting ("Zoombombing"). Mr. Ruderman said that his comments are being presented at a lesser value than other commenters.

Michael Quinn, The Council on Aging Board Chair, thanked the Board for the Central School Renovation project update. Mr. Quinn said he looks forward to updates going forward and offered help if there is anything the Council on Aging can do to move progress along.

The Chair said that he feels that the current way meetings are being run is the best way. Mr. Benson said that he finds it helpful to see the person speaking and there are limited numbers of thumbnails with video available. There are advantages of having the speaker on the screen, and not others in attendance. Mr. Benson also said he likes to see materials on the screen during meetings but would like to review materials and visit sites in advance. Ms. Raitt said that any public comments are currently due by noon the Friday before the meeting. Mr. Benson said it would be helpful to spend some more time with materials before the meeting. Ms. Zsembery said that she agrees with Mr. Benson that it would be helpful to have more time to review visuals in advance. The Chair said Open Forum is to bring items that are outside the current schedule and it would be best to submit materials to be shown during a meeting by Friday at noon. Ms. Raitt suggested asking to have all visuals be received by noon on Friday and written comments must be received by noon on Monday before meetings.

Mr. Lau moved to adjourn, Mr. Watson seconded, approved 5-0.

Meeting adjourned.

Arlington Redevelopment Board
Monday, May 18, 2020, 7:00 PM
Meeting Conducted Remotely via Zoom
Meeting Minutes

This meeting was recorded by ACMi.

PRESENT: Andrew Bunnell (Chair), Kin Lau, Eugene Benson, David Watson, Rachel Zsembery

STAFF: Jennifer Raitt, Director of Planning and Community Development, and Erin Zwirko, Assistant Director

The Chair called the meeting to order and notified all attending that the meeting is being recorded by ACMi.

The Chair explained that this meeting is being held remotely in accordance with the Governor's March 12, 2020 order suspending certain provisions of the Open Meeting Law G.L. c. 30A, Section 20. This order from Governor Baker allows for meetings to be held remotely during this time to avoid public gatherings.

The Chair asked if anyone would like to speak to please use the raise hand function and the Chair will allow time to speak during the Open Forum portion of the meeting. The Chair said that going forward speakers will be unmuted and may be on video if they like.

The Chair said he would take the agenda items out of order and introduced the second agenda item first, discussion and vote in order to discuss the schedule for upcoming meetings. Ms. Raitt proposed that June 8, 2020 at 7:00 PM be the next meeting date. Mr. Lau motioned to hold the next meeting at 7:00PM on June 8, 2020, Mr. Watson seconded, approved 5-0.

Ms. Raitt said that there will be a joint ARB Select Board meeting in July and she will provide that meeting date when it is available.

The Chair introduced the first agenda item, Public Hearings. Docket #3625 882-892 Mass. Ave. Bob Annese has asked for a continuance in order to reconfigure designs after receiving feedback from members of the public. The Chair said that he agrees that businesses should not be displaced for new construction. Mr. Lau said he reviewed what was submitted and found that modifications are needed and there should be more commercial space on the ground floor. Mr. Lau would like the applicant to consider limiting parking and limiting ground floor housing units. Mr. Lau said he would like to see the corner lot with side elevation facing Lockland Ave, including adding more windows. Mr. Lau asked that updated elevations be submitted with the surrounding buildings for more context and rethink the curb cuts. Mr. Benson said he also had concerns about narrowing the sidewalk and the lack of usable open space and landscape. Mr. Benson asked the applicant to consider a solar roof and electric charging station in the parking lot. Mr. Watson agreed that the loss of commercial space is unfortunate and would like to maintain existing or increase the proposed commercial space. Mr. Watson said that the plan for bicycle parking is not in compliance regarding both amount and type of bicycle parking. Mr. Watson said he would like the redesign to incorporate aspects of the existing structure or the current look and feel of the existing structure may be an interesting approach. Ms. Zsembery agrees that there are a lot of challenges with the proposed commercial space. Ms. Zsembery would like the developer look at materials including much more detail than the initial proposal.

The Chair said the mixed-use properties that have been developed in town so far have developed blighted properties. The Chair said that the intent of redevelopment was not to eliminate or reduce the number of businesses. The Chair asked that Mr. Annese meet with the Department and with Ms. Zsembery or Mr. Lau to review the Board's concerns about the initial designs. Mr. Annese said that there is a phase 3 contamination study on the site. The development will move to phase 4 once the building is demolished. Mr. Annese said an EDR decision from 1988 allowed building on top of the existing stores. Mr. Annese said that this B2 zone is an orphan zone, neighboring a higher density residential zoning district, including a

building with 4 plus floors with 33 residential units. This development would be consistent with the residential building next door. Mr. Annese said that the existing tenants are not being asked to leave but all of the leases in the building have expired. Mr. Annese said that the property owner has been discussing other location options with the current tenants. Mr. Annese said that the addition of 22 units will further the Governor's and Town's objectives of having more residential units in town. Mr. Annese said he would meet with Mr. Lau or Ms. Zsembery for guidance and will present an updated design at the next hearing. Mr. Benson said he is glad that Mr. Annese mentioned the site remediation and asked for a proposed timeline for the demolition and the remediation project. Mr. Lau volunteered to meet with Mr. Annese to review plans.

The Chair opened the floor to public comment and asked participants to raise their hands electronically in the Zoom meeting if they would like to speak. Steve Revilak said he concurred with the Chair's comments. It would be nice to retain a full first floor of retail space. Mr. Revilak said he was glad to hear Mr. Annese's client is considering proposal for more housing that will complement the neighboring building. Mr. Revilak said that smaller studio and one bedroom units are lacking in town. Carl Wagner said he appreciates the Board's feedback regarding the proposed development. Mr. Wagner said he is concerned that the new mixed-use building will look like the building across the street. Mr. Wagner said that perhaps the mixed-use law should be changed if these types of buildings are being approved. Christian Klein wanted to confirm that written comments will be forwarded to the developer for inclusion. The Chair confirmed that written comments that the Board received have been made part of the record and made available to Mr. Annese to share with the developer. Jim Kempf said he liked a lot of the comments from the Board and would like to see 22 single units, but he is concerned about increased traffic and lack of parking. Mr. Kempf asked if the bus stop will be removed or moved since he does not see the bus stop in the plans. Mr. Kempf said that part of the Town's character is given up when buildings are built too close to the sidewalk and have limited green space. The Town's future aesthetic should be considered. Michael Ruderman said he agrees with Board's response that a lot of work needs to be done along with accurate site plans. Mr. Ruderman said that that is not true that all leases have been expired. Mr. Ruderman, Treasurer of ACMi, says that ACMi Studio B's lease has not expired. The lease expires in August with two additional three-year lease extensions through 2026. ACMi invested a large amount of money, estimated at \$70,000, to turn the space into a television studio. Mr. Ruderman said that ACMi was not aware of the site contamination when they began their lease in 2012. Patrice Smith said she is concerned about the height of the building, and would like to see shadow studies, groundwater studies, studies that show the impact of run off or flooding of neighboring properties, traffic impact studies, and an explanation of the proposed set back. Ms. Raitt asked members of the public to forward her written comments to share with the Board. John Worden said that he thinks this is not a fair public meeting if he cannot see or hear the meeting due to technical issues. Mr. Worden agrees that the proposed development does not have enough commercial space and that the ground floor should be commercial space. Judy Alexander asked about traffic patterns when both this project and the high school's construction are both being conducted at the same time. Mr. Annese said that is something that will be looked at and addressed for the next meeting along with the lease information.

Norman McLeod executive director for ACMi supported Mr. Ruderman's comments. Mr. McLeod understood that the lease was long enough to update the studio, now ACMi must find space to accommodate the specialized studio equipment. Mr. McLeod said that ACMi has not had contact with the applicant regarding finding a new location. Mr. McLeod said when he received the letter stating the building would be razed there was no documentation included to show that the EPA required it. Mr. McLeod said all he had heard about the environmental issue was that three years ago the space failed an air quality test, was tested again two years ago and passed. Mr. McLeod said he then received the letter that the building should be razed Mr. McLeod said he would like to see that documentation from the EPA. The Chair said that the Board will continue to accept written comments and the new plans will be posted by the Board.

Mr. Lau motioned to continue this hearing for Docket # 3625 to July 6, 2020 at 7:00 PM, Mr. Watson seconded, approved 5-0.

The Chair introduced continued hearing for Docket #2818, 880 Mass. Ave. Back Bay Signs, Jay Parillo, explained that sign EO5 in the package now meets the requirements in the by-law. Mr. Benson moved to approve the sign, Mr. Lau seconded, approved 4-0 (Ms. Zsembery abstained).

The Chair introduced the continued public hearing for Docket #3602 1207-1211 Mass Ave. Mary O'Connor represents 1211 Mass Ave Realty Trust. Ms. O'Connor asked to address several zoning issues including the classification of property as mixed-use. Bonus FAR calculations will be submitted to the Board. She also stated that the restaurant use would not be included in the calculation for parking spaces and they are seeking a parking reduction to 56 spaces. Ms. O'Connor said that there is no issue regarding the 4th floor step-back. Ms. O'Connor said that Mr. Doherty is ready to submit updates to the Board. Ms. O'Connor said that items 1 and 2 are not yet available to present to the Board.

Mr. Watson said he thinks there are two issues regarding the upper story step-back, if the set-back needs to start at the third or fourth floor. Mr. Watson said his concern was whether the depth of the step-back can be altered from the 7.5 feet called for in the zoning by-law since the applicant has proposed splitting the set-back over several floors. Mr. Benson agrees with Town Counsel's finding that the by-law should read the 4th floor. Mr. Watson said he is glad to hear the applicant is moving forward with the traffic study since there was a recent fatal bicycle accident on Appleton Street.

Mr. Watson asked about the square footage for public access space and a draft of what the public easement would be, set-backs must meet the set-backs for Clark Street and would like to know why Ms. O'Connor thinks the hotel should have the requirement waived. Mr. Lau said that Clark Street is considered the front yard set-back. Mr. Lau said that the average front yard set-back in the area is 6 to 7 feet and the hotel meets that requirement. Mr. Benson asked about the parking valet parking being only for overnight guests of the hotel and not for restaurant guests, Mr. Benson would like to see that explanation in writing. Mr. Lau asked to review what Ms. O'Connor will be providing going forward. Ms. O'Connor said that all of the items are included with Ms. Raitt's memo dated January 21, 2020.

The Chair said he would like to see accurate elevations for the site and the traffic study. Ms. Zsembery asked Ms. O'Connor to review the Board's list of requests from the last meeting in January especially the quality and detail of the plan drawings. Mr. Benson asked for some clarification regarding the new shadow studies including the neighboring properties with solar arrays. Mr. Benson would like to know how the traffic studies will be conducted without accurate traffic conditions due to the current COVID-19 conditions and school summer break. Mr. Watson said it would be very helpful to look at the 2012 traffic report even though traffic and bicycle volumes have increased significantly since 2012. Ms. Raitt said that TAC will be reviewing the traffic study due to the recent fatal traffic accident but the applicant's traffic study needs to be updated and focus on neighborhood impact.

The Chair opened the floor to members of the public for comment. Don Seltzer commented on the statement that this lot is not for residential use and the waiver under the floor area ratio is not available because the lot is less than 20,000 square feet. Mr. Seltzer said he has the following concerns: there is no frontage along Clark Street, the current shadow studies, 4th floor step-back must be on both Clark Street and Mass. Ave. Mr. Seltzer said he feels that new elevations will exceed the 50 foot elevations that previous plans show. Mr. Seltzer is also concerned about delivery trucks having enough room to maneuver. Carl Wagner says he feels it is strange that people who have powerful positions in Town Government or related to Town Government can then represent people in front of Town Boards. Mr. Wagner said someone on the Board of Assessors who can lead the Board one way or the other. Ms. O'Connor said that she is a Special Town Employee exempted

and able to represent parties in front of the Board as a matter of Massachusetts law.

Lisa Hines wanted to speak in favor of the project as a property owner in the vicinity and would like to voice support for investment in this property. Ann LeRoyer said that she has questions regarding the bonus FAR and public access. Ms. LeRoyer has questions about how Mr. Doherty would steward this property in the future. Ms. LeRoyer said traffic is a major concern for the neighborhood, the building across the street is being renovated and will bring more traffic into the area. Ms. LeRoyer said neighbors are concerned about what recourse they may have in the future if the hotel is not successful and is abandoned.

Chris Loreti said he is concerned about legal aspects that pertain to the case including the by-law. Legal notice for this hearing was defective because Section 11 of 40A of the state zoning act requires that the nature of the relief should be put into the legal notice for the Special Permit Hearing. Mr. Loreti asked the Board to consider Section 1.4 and take the most restrictive reading of it. Mr. Loreti said that a hotel does not fit the B2 zoning district according to the by-law. Mr. Loreti said the bonus provision does not apply due to the lot size, as B2 is not listed at all. Mr. Loreti said he is also concerned that here is no usable open space and no provisions for landscaped open space, and the gross floor calculation. Mr. Loreti said public comments should be included with the docket materials.

Michael Sandler said that since the DPW, High School, and the building across the street will be under construction, the neighborhood is experiencing transition and needs an actual traffic study for this project. Carol McDonald said nothing should go forward without a traffic study. Ms. McDonald asked to see the permit if the tanks were removed from that site and how comprehensive the contamination study is. Ms. McDonald said hotels are being built in Somerville and Cambridge and asked what the impact will be on a smaller hotel in Arlington.

Ms. McDonald asked why the Town is not renting out the DAV building in the meantime to have some income coming into the Town. Ms. O'Connor said that the building is owned by the Town and that is the Town's choice.

Andrea Dwyer is eager to see the property cleaned up; the property is currently an eyesore. Ms. Dwyer said she has concerns about traffic, parking, and privacy issues with having a hotel in the neighborhood. Ms. Dwyer would like an elevation that shows the rear of the property so neighbors can see the expected height of the building as she is concerned about having a building looming over her property.

Marina Darlow lives across the street from the property concerned about traffic, parking, and restaurant patrons possibly parking on neighboring side streets. Ms. Darlow would like to see more detailed elevations and set-back details with better quality drawings so neighbors can see what the hotel will really look like.

Chris Loreti asked if the Chair could confirm that the Chair received the transcript Mr. Loreti sent from Town Meeting at the time the mixed-use zoning by-law was passed. The Chair confirmed that it was received. Mr. Benson said that he feels bound by the finding of Town Counsel that the proposed hotel meets the requirements for mixed-use property and the required 4th floor step-backs. Ms. Zsemberly said that she would like to be able to review the traffic study the next time this continued hearing is in front of the board. Mr. Benson moved to continue this hearing to July 6, 2020 at 7:00PM, Mr. Lau seconded, approved 5-0.

The Chair introduced the third agenda item, Director's updates. Ms. Raitt said that the Department continues to work remotely and anticipates remote meetings though the summer. Staffing capacity has been reduced due to staff working on the COVID-19 response. Ms. Raitt said the Department does not have virtual forums scheduled at this point and the Department is exploring other options for feedback for plans and studies in progress. Ms. Raitt said that there are currently

surveys out for the sustainable transportation plan, housing and economic development, and residential design guidelines.

The Chair opened the floor to comment from the public for the Open Forum portion of the meeting. There were no comments.

Mr. Lau moved to adjourn, Mr. Benson seconded, approved 5-0.

Meeting adjourned.

DRAFT



Town of Arlington, Massachusetts

Correspondence Received

Summary:

Correspondence received from:

- C. Gates
- D. Seltzer

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	Correspondence_Received_from_C._Gates_071520_for_Docket_3625.pdf	Correspondence received from C. Gates 071520 for Docket 3625
▢ Reference Material	Correspondence_Received_from_D._Seltzer_0720_for_Agenda_Item_3.pdf	Correspondence from D. Seltzer 071620 for Agenda Item 3

From: Carla Gates <carlagates247@gmail.com>
To: jrait@town.arlington.ma.us
Date: 07/15/2020 12:40 PM
Subject: Expressing opposition to proposed Mass Ave development across from high school

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "< >" brackets) and you know the content is safe.

Dear Sir / Madam on the ARB:

I am writing to express our family's opposition to the proposed commercial development across from the high school on Mass. Ave. I understand you are meeting on July 20 and I cannot attend.

https://www.yourarlington.com/arlington-archives/town-school/planning/17473-arb-071320.html?fbclid=IwAR0xupamai_NyfNDtpg74_6rpDAoTgyel9K_DIUGGtuh9XIEiWFn_BwS8r8

>> I thought you may also be interested in the comments of other town residents about this development. Screenshots are attached with all names redacted. These comments (and more are being added daily) were in response to the above article.

In our family's opinion, the proposed design is:

- truly unattractive - too dark and modern - non "local" materials and building methods
- out off step with the best of the "look and feel" of the neighborhood - there are lovely homes behind this building! - how visually disruptive this would be!
- too large for Arlington and the location - too many stories, too massive-looking
- has no "nod" to Arlington's past - either our colonial past or at the very least the era when most of the houses were built in Arlington (1910 - 1940)

It seems like the architect / developer didn't even take into account the local Arlington 'vibe' but just designed an ugly building - out of context - in their office far away from Arlington. We're already horrified that the ARB approved the multi-story building across the street which looks so out of place in that spot. Friends and family who visit us from out of town often remark on how non-cohesive Arlington's commercial architecture is. And this proposed building is amongst the worst plans we've seen to-date.

Please do not approve.

Towns which have done better job with recent "downtown" / village commercial architecture and development: Winchester, Belmont, Wellesley, Needham, Lexington. Can we look to those towns as models?

Thank you,
Carla Gates and family
(20-year+ residents)

12:00 11:56

Current Residents - Arlington, MA

I miss Toraya 😞 2

3h Like Reply

What? I like development. I just cannot believe that anyone would want to see this built.

2h Like Reply

Perhaps somebody that would rather live in Arlington than in say Peabody? Maybe anybody who would seek to live there overall would like to see it built.

But lets level set - if they could tweak the facade, use some faux brick, a couple of columns, whatever makes this at least nondescript to you, Nanci. Is adding 20 or so one bedroom apartments something that you believe is a net positive for our town and to help people find housing?

1h Like Reply

Write a reply...

YOURARLINGTON.COM
Altered Mass. Ave. block proposal to return July 20
 Drawing of proposal for 882-892 Mass. Ave. The de...

Oh my god, that's ugly. What in the world were they thinking? This is a small town, not Manhattan.

1d Like Reply

James Fleming
 What's ugly about it specifically?

1d Like Reply

James Fleming
 What's ugly about it specifically? The design. The color. Its depressing. It just makes the whole block crowded cant we have something attractive?

23h Like Reply

Re: desian - Would it be more

Write a comment...

11:56 11:56

Current Residents - Arlington, MA

attractive if it was made of red brick, like what's there now?

23h Like Reply

James Fleming
 Yes. And two stories shorter with setbacks and open space -- which is required but the developers are trying to eliminate.

18h Like Reply

is open space is required via by-law?

15h Like Reply

I agree it is rather ugly, though much less so than some of the ugly 1970's 'pill boxes' in the East. But this ain't really no 'small town' anymore. Its an inner suburb of an extremely prospering city where new buildable land has run out.

1d Like Reply

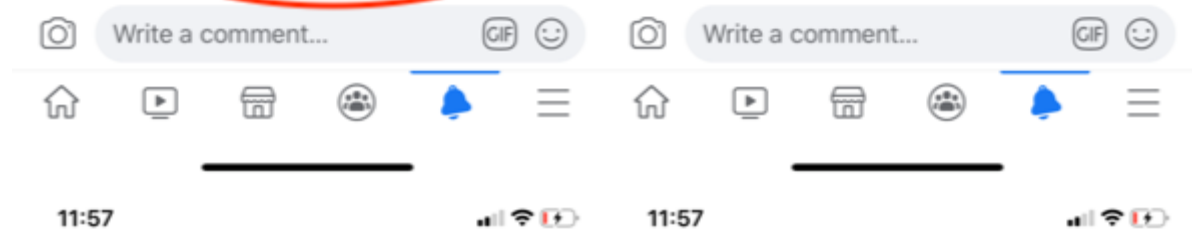
It is not that prospering if you look at the tax rate. With almost no commercial property all the expenses of the town fall on home owners. Residential apartments

buildings do not pay in taxes what they cost the town. We need true commercial properties not phony mixed use that has a tiny space supposedly for commercial which will never be rented.

this isn't Manhattan. But it's also not a *small* town.

Arlington is desirable to live in because we have a smaller town feel. This looks like a boutique hotel or a bank. It could be on any street in Manhattan. Do we really want to

Serious question - where would we put these commercial properties? Like I said, there is no real buildable land. I'm not sure I understand the



Arlington, MA
Current Residents
1d

Arlington, MA
Current Residents
1d

That is a horrific looking building. Not enough retail space. I wouldn't want that in my neighborhood. I feel sorry for abutters. I hope the board votes it down

The Capitol Theater block vs this monstrosity? Absolutely, positively. Listen, these developers are coming in here and buy up property thinking they're going to make a fat profit because people want to live here. Why? Partly because everything *isn't* built up. But the developers aren't living here, forced to look at what they built every day like we are. That square is going to be ruined by all the new modern block buildings going up. The proposed building is better than a lot of things that are slapped up quickly, but this architecture has NOTHING to do with Arlington. There's not even a nod to the histori... See More

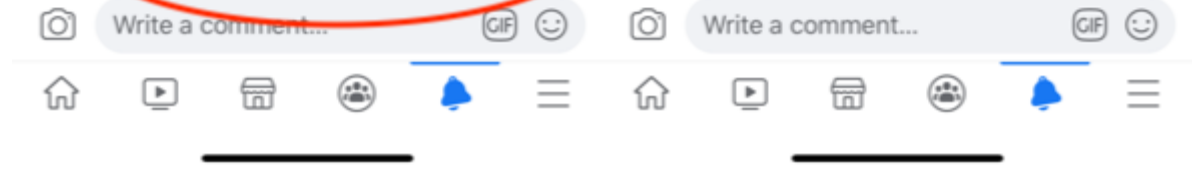
You should zoom into the ARB meeting on July 20 to voice your opinion during public comment.

Not attractive.

They're destroying Toraya for THIS?!

Ugh. With a residential area just behind it? How about a design that is more sympathetic to the immediate

I have no problem with modern buildings. These things are just plain fugly.





11:59



< [Profile] > Arlington, MA
Current Residents
1d · [Image]



[Redacted]
I whole-heartedly support well-designed development.

13h Like Reply 2



And this is not an example of well-designed anything

4h Like Reply



Write a reply...



[Redacted]
There seems to always be big "But" whenever a development moves from a theoretical to a reality - the "I support the need for more housing, just not this housing."

I remember a recent post where the poster criticized the Thorndike Place, the new Mirak development, and this one in the same piece of text. That took some work.

12h Like Reply 2



[Redacted]
An esteemed TMM (John Worden) warned about the poorly worded bylaw



Write a comment...



From: Don Seltzer <timoneer@gmail.com>
Andrew Bunnell <ABunnell@town.arlington.ma.us>, KLau@town.arlington.ma.us, David Watson <DWatson@town.arlington.ma.us>, Eugene Benson <EBenson@town.arlington.ma.us>, rzsembery@town.arlington.ma.us, Jenny Raitt <jrait@town.arlington.ma.us>, Erin Zwirko <EZwirko@town.arlington.ma.us>
To:
Date: 07/13/2020 10:05 AM
Subject: Correction to minutes 18 May 2020

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "< >" brackets) and you know the content is safe.

I wish to make the following correction to the minutes of the ARB for May 18, 2020

According to the draft minutes,

Mr. Seltzer said he has the following concerns: there is no frontage along Clark Street

I stated the exact opposite. My exact words were:

"This is a corner property. It has frontage on Clark Street and all the things that relate to yard setback and upper story step back apply to this building."

Thank you,

Don Seltzer