



## Arlington Zoning Board of Appeals

**Date:** Tuesday, April 9, 2024  
**Time:** 7:30 PM  
**Location:** Conducted by Remote Participation  
**Additional Details:**

### **Agenda Items**

#### **Administrative Items**

1. **Conducted by Remote Participation**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Healey's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: [Massachusetts Open Meeting Law](#)

For additional information on Arlington's Zoning Board please visit their website. Reference material for this meeting will be available 48 business hours prior to the meeting and may be viewed on the Board's Agendas and Minutes page.

Per Board Rules and Regulations, public comments will be accepted during the public comment periods designated on the agenda. Written comments may be provided by email to [ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us) 48 hours prior to the start of the meeting.

You are invited to a Zoom meeting.

When: Apr 9, 2024 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

[https://town-arlington-ma-us.zoom.us/meeting/register/tZckc-qspzlpH9LCwzmCG\\_QIivHYGkofJx\\_](https://town-arlington-ma-us.zoom.us/meeting/register/tZckc-qspzlpH9LCwzmCG_QIivHYGkofJx_)

After registering, you will receive a confirmation email containing information about joining the meeting.

#### **Hearings**

2. **Docket #3779 9 Morton Road (continuance)**
3. **Docket #3781 165 Franklin Street (continuance)**
4. **Docket #3788 70 Robbins Road**

#### **Meeting Adjourn**









## **Town of Arlington, Massachusetts**

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### **Conducted by Remote Participation**

#### **Summary:**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

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[https://town-arlington-ma-us.zoom.us/meeting/register/tZckc-qspzlpH9LCwvzmCG\\_QIivHYGkofJx\\_](https://town-arlington-ma-us.zoom.us/meeting/register/tZckc-qspzlpH9LCwvzmCG_QIivHYGkofJx_)

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## Town of Arlington, Massachusetts

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### Docket #3779 9 Morton Road (continuance)

#### ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	#3779_9_Morton_Road_Variance.pdf	#3779 9 Morton Road Variance
▢ Reference Material	#3779_9_Morton_Road_Legal_Notice.pdf	#3779 9 Morton Road Legal Notice
▢ Reference Material	#3779_9_Morton_Road_Special_Permit.pdf	#3779 9 Morton Road Special Permit
▢ Reference Material	PlotPlan-3-Driveway.pdf	Certified Plot Plan-3-Driveway
▢ Reference Material	Plot_Plan_with_shed_placement.pdf	Plot Plan with shed placement
▢ Reference Material	9_Morton_Road_Shed_Rendering.pdf	#3779 9 Morton Road Shed
▢ Reference Material	ZBA_Continuation_Request_-_Letter_3-12-24_mtg.pdf	#3779 ZBA Continuation Request 3-12-24 mtg





## V-23-4

### Variance Permit Application (ZBA)

Status: Active

Submitted On: 11/21/2023


### Primary Location

9 MORTON RD  
Arlington, MA 02476

### Owner

GREGORIO ANTHONY J;  
GREGORIO KATHARINE M  
9 MORTON ROAD  
ARLINGTON, MA 02476

### Applicant

 Kate Gregorio  
 +1 315-382-0559  
 @ katemgregorio@gmail.com  
 9 Morton Rd  
Arlington, MA 02476

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## Special Permit Criteria

**Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.\***

Our property boundary has a unique shape which tapers toward the back, and has a number of mature trees/plantings that result in limited space available for construction. The irregular shape of our lot restricts our ability to meet the standard 6' setbacks required by the Zoning Bylaw.

**Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.\***

Strict enforcement of the 6' setbacks would create substantial hardship for our plans. Adhering to these setback requirements would force us to significantly reduce the size of the accessory dwelling unit or even prevent us from constructing it altogether. This reduction in living space could negatively impact the functionality and long-term usability of the ADU.



**Describe how desirable relief may be granted without substantial detriment to the public good. \***

Granting this variance would not be detrimental to the public good. The proposed ADU will comply with all other aspects of the Zoning Bylaw, including height, lot coverage, and design standards. Furthermore, it aligns with the town's encouragement of ADU development (Section 5.9.2 A). Our neighbors have expressed support for the project, and we have taken steps to ensure that the ADU's design is in harmony with the surrounding properties.

**Describe how desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.\***

Granting this variance would not nullify or substantially derogate from the intent of the Zoning Bylaw. The primary purpose of the setback requirements is to ensure adequate spacing between structures for safety and aesthetics. The proposed ADU will maintain a reasonable distance from adjacent properties and will not compromise safety or the aesthetic character of the neighborhood. Additionally, it supports the town's policy to promote accessory dwelling units as a means to address housing needs while respecting the existing neighborhood context.

In more detail:

- We will still have 3.5'+ setbacks on all sides which is more than some other ADUs in Arlington (which have either been granted Variance Permits or Special Use Permits).
- Many of our neighbors have out-buildings within 3' of our property lines.
- This structure would still be more than 100' away from any other dwellings due to the lot sizes of the neighboring properties.
- Most neighbors wouldn't be able to see it at all due to the trees and privacy property fence already in place.

State Law (MGL Chapter 40a, Section 10) requires that the Zoning Board of Appeals must find that all four (4) criteria are met in order to be authorized to grant a Variance. If any one of the standards is not met, the Board must deny the Variance.

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## Dimensional and Parking Information

**Present Use/Occupancy \***

Residential

**Proposed Use/Occupancy \***

Residential



**TOWN OF ARLINGTON**  
Dimensional and Parking Information  
For Applications to the Zoning Board of Appeals

1. Property Location: 9 Morton Rd Zoning District: R1
2. Present Use/Occupancy: SF Residential No. of dwelling units 1
3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
2250 Sq. Ft.
4. Proposed Use/Occupancy: Residential No. of dwelling units 2 (1 SFR + 1 ADU)
5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
2450 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	7744	7744	min. 6000
7. Frontage (Ft.)	80	80	min. 60
8. Floor area ratio	.29	.31	max. .35
9. Lot Coverage (%)	.145	.158	max .35
10. Lot Area per Dwelling Unit (Sq. Ft.)	7744	3872	min.
11. Front Yard Depth (Ft.)	-	-	min.
12. Left Side Yard Depth (Ft.)	-	3.5	min. 6
13. Right Side Yard Depth (Ft.)	-	3.5	min. 6
14. Rear Side Yard Depth (Ft.)	-	3.5	min. 6
15. Height (Stories)	-	1	max. 2.5
16. Height (Ft.)	-	10'	max. 35'
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	5780	5580	
17A. Landscaped Open Space (% of GFA)	74%	72%	min.
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	4875	4409	
18A. Usable Open Space (% of GFA)	63%	57%	min.
19. Number of Parking Spaces	4	4	min.
20. Parking area setbacks (if applicable)	-	-	min.
21. Number of Loading Spaces (if applicable)	-	-	min.
22. Type of construction	-	V	N/A
23. Slope of proposed roof(s) (in. per ft.)	-	2.4/12	min.

]

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**TOWN OF ARLINGTON**  
 Open Space / Gross Floor Area Information  
 For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 9 Morton Rd Zoning District: R21

<b><u>OPEN SPACE*</u></b>	<b>EXISTING</b>	<b>PROPOSED</b>
Total lot area	<u>7744</u>	<u>7744</u>
Open Space, Usable	<u>4875</u>	<u>4409</u>
Open Space, Landscaped	<u>5780</u>	<u>5580</u>

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

**GROSS FLOOR AREA (GFA) †**

Accessory Building	<u>-</u>	<u>200</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>1125</u>	<u>1125</u>
1 <sup>st</sup> Floor	<u>1125</u>	<u>1125</u>
2 <sup>nd</sup> Floor	<u></u>	<u></u>
3 <sup>rd</sup> Floor	<u></u>	<u></u>
4 <sup>th</sup> Floor	<u></u>	<u></u>
5 <sup>th</sup> Floor	<u></u>	<u></u>
Attic (greater than 7'-0" in height, excluding elevator machinery; or mechanical equipment)	<u></u>	<u></u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u></u>	<u></u>
All weather habitable porches and balconies	<u></u>	<u></u>
<b>Total Gross Floor Area (GFA)</b>	<u>2250</u>	<u>2450</u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

**REQUIRED MINIMUM OPEN SPACE AREA**

Landscaped Open Space (Sq. Ft.)	<u>5780</u>	<u>5580</u>
Landscaped Open Space (% of GFA)	<u>74%</u>	<u>72%</u>
Usable Open Space (Sq. Ft.)	<u>4875</u>	<u>4409</u>
Usable Open Space (% of GFA)	<u>63%</u>	<u>57%</u>

This worksheet applies to plans dated n/a designed by n/a

Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_





Town of Arlington  
Zoning Board of Appeals  
23 Maple Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

## LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2A of the Zoning Bylaws that there has been an application filed by **Kate and Anthony Gregorio** of Arlington, MA. On November 21, 2023 a petition seeking permission to alter their property located at **9 Morton Road - Block Plan 135.0-0001-0006.0**. Said petition would require a Variance under **Section 5.9.2(B)(1)(Paragraph 5)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on January 23, 2024 as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**  
<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

**DOCKET NO 3779**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**





## SP-24-1

### Special Use Permit Application (ZBA)

Status: Active

Submitted On: 1/23/2024


### Primary Location

9 MORTON RD  
Arlington, MA 02476

### Owner

GREGORIO ANTHONY J;  
GREGORIO KATHARINE M  
9 MORTON ROAD  
ARLINGTON, MA 02476

### Applicant

 Kate Gregorio  
 +1 315-382-0559  
 @ katemgregorio@gmail.com  
 9 Morton Rd  
Arlington, MA 02476

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## Special Permit Criteria

**Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.\***

Sections 5.3.13 and 5.9.2

**Explain why the requested use is essential or desirable to the public convenience or welfare.\***

The primary use will be as an extended office space for the current occupants of the existing home, reducing traffic and emissions required for commuting to an office elsewhere. Secondary use will be as a living space for one of our parents, should they fall ill or unable to care for themselves, allowing our parents to age in place with us.

**Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\***

Neither the primary or secondary use would include any additional vehicles, and would in fact reduce traffic congestion. As far as pedestrian safety, the access point will be through our primary home's back door -- which should not impact public pedestrian traffic in any way.



**Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\***

Our home currently houses 4 occupants in 4 bedrooms. This additional structure would not increase the occupancy unless one of our parents moves in, in which case the occupancy for the entire property would remain capped at 5 people, which is well within the load intended for a single family house in R1 zoning.

**Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\***

Section 8.1.6 : Reduction or Increase

We are requesting a variance in setback regulations, from 6 feet to 3.5 feet. Our property boundary has a unique shape which tapers toward the back, and has a number of mature trees/plantings that result in limited space available for construction. The irregular shape of our lot restricts our ability to meet the standard 6' setbacks required by the Zoning Bylaw.

Strict enforcement of the 6' setbacks would create substantial hardship for our plans. Adhering to these setback requirements would force us to significantly reduce the size of the accessory dwelling unit or even prevent us from constructing it altogether. This reduction in living space could negatively impact the functionality and long-term usability of the ADU.

Granting this variance would not be detrimental to the public good. The proposed ADU will comply with all other aspects of the Zoning Bylaw, including height, lot coverage, and design standards. Furthermore, it aligns with the town's encouragement of ADU development (Section 5.9.2 A). Our neighbors have expressed support for the project, and we have taken steps to ensure that the ADU's design is in harmony with the surrounding properties.



**Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\***

The main purpose of the setback requirements is to ensure adequate spacing between structures for safety and aesthetics. The proposed "ADU" structure will maintain a reasonable distance from adjacent properties and will not compromise safety or the aesthetic character of the neighborhood. Additionally, it supports the town's policy to promote accessory dwelling units as a means to address housing needs while respecting the existing neighborhood context.

In more detail:

- We will still have 3.5'+ setbacks on all sides which is more than some other ADUs in Arlington (which have either been granted Variance Permits or Special Use Permits).
- Many of our neighbors have out-buildings within 3' of our property lines.
- This structure would still be more than 100' away from any other dwellings due to the lot sizes of the neighboring properties.
- Most neighbors wouldn't be able to see it at all due to the trees and privacy property fence already in place.

**Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\***

The primary use will be as an extended office space for the current occupants of the existing home. Secondary use will be as a living space for one of our parents, should they fall ill or unable to care for themselves. Neither of these use cases will substantially impact the number of occupants of the property as a whole, or change the character of how we use our property in any way.

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## Dimensional and Parking Information

**Present Use/Occupancy \***

SF Residential

**Proposed Use/Occupancy \***

Residential

**Existing Number of Dwelling Units\***

1

**Proposed Number of Dwelling Units\***

2



Existing Gross Floor Area (Sq. Ft.)\*

2250

Proposed Gross Floor Area (Sq. Ft.)\*

2450

Existing Lot Size (Sq. Ft.)\*

7744

Proposed Lot Size (Sq. Ft.)\* 

7744

Minimum Lot Size required by Zoning\*

6000

Existing Frontage (ft.)\*

80

Proposed Frontage (ft.)\*

80

Minimum Frontage required by Zoning\*

60

Existing Floor Area Ratio\*

0.29

Proposed Floor Area Ratio\*

0.31

Max. Floor Area Ratio required by Zoning\*

0.35

Existing Lot Coverage (%)\*

0.145

Proposed Lot Coverage (%)\*

0.158

Max. Lot Coverage required by Zoning\*

0.35

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

7740

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

3872

Minimum Lot Area per Dwelling Unit required by Zoning\*

0

Existing Front Yard Depth (ft.)\*

30



Proposed Front Yard Depth (ft.)\*

30

Minimum Front Yard Depth required by Zoning\*

0

Existing Left Side Yard Depth (ft.)\*

0

Proposed Left Side Yard Depth (ft.)\*

3.5

Minimum Left Side Yard Depth required by Zoning\*

6

Existing Right Side Yard Depth (ft.)\*

0

Proposed Right Side Yard Depth (ft.)\*

3.5

Minimum Right Side Yard Depth required by Zoning\*

6

Existing Rear Yard Depth (ft.)\*

0

Proposed Rear Yard Depth (ft.)\*

3.5

Minimum Rear Yard Depth required by Zoning\*

6

Existing Height (stories)

0

Proposed Height (stories)\*

1

Maximum Height (stories) required by Zoning\*

2.5

Existing Height (ft.)\*

0

Proposed Height (ft.)\*

10

Maximum Height (ft.) required by Zoning\*

35



For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

5780

Proposed Landscaped Open Space (Sq. Ft.)\*

5580

Existing Landscaped Open Space (% of GFA)\*

74

Proposed Landscaped Open Space (% of GFA)\*

72

Minimum Landscaped Open Space (% of GFA)  
required by Zoning\*

0

Existing Usable Open Space (Sq. Ft.)\*

4875

Proposed Usable Open Space (Sq. Ft.)\*

4409

Existing Usable Open Space (% of GFA)\*

63

Proposed Usable Open Space (% of GFA)\*

57

Minimum Usable Open Space required by Zoning\*

0

Existing Number of Parking Spaces\*

4

Proposed Number of Parking Spaces\*

4

Minimum Number of Parking Spaces required by  
Zoning\*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks \*

0

Minimum Parking Area Setbacks required by  
Zoning\*

0



Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

0

Proposed Slope of proposed roof(s) (in. per ft.)\*

0.2

Minimum Slope of Proposed Roof(s) required by Zoning\*

0

Existing type of construction\*

0

Proposed type of construction\*

V

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## Open Space Information

Existing Total Lot Area\*

7740

Proposed Total Lot Area\*

7740

Existing Open Space, Usable\*

4875

Proposed Open Space, Usable\*

4409

Existing Open Space, Landscaped\*

5780

Proposed Open Space, Landscaped\*

5580

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## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

200



Basement or Cellar, Existing Gross Floor Area ?

1125

Basement or Cellar, Proposed Gross Floor Area

1125

1st Floor, Existing Gross Floor Area

1125

New Field

—

1st Floor, Proposed Gross Floor Area

1125

2nd Floor, Existing Gross Floor Area

—

2nd Floor, Proposed Gross Floor Area

—

3rd Floor, Existing Gross Floor Area

—

3rd Floor, Proposed Gross Floor Area

—

4th Floor, Existing Gross Floor Area

—

4th Floor, Proposed Gross Floor Area

—

5th Floor, Existing Gross Floor Area

—

5th Floor, Proposed Gross Floor Area

—

Attic, Existing Gross Floor Area ?

—

Attic, Proposed Gross Floor Area

—

Parking Garages, Existing Gross Floor Area ?

—

Parking Garages, Proposed Gross Floor Area

—

All weather habitable porches and balconies,  
Existing Gross Floor Area

—



All weather habitable porches and balconies,  
Proposed Gross Floor Area

—

Total Existing Gross Floor Area

2250



Total Proposed Gross Floor Area

2450



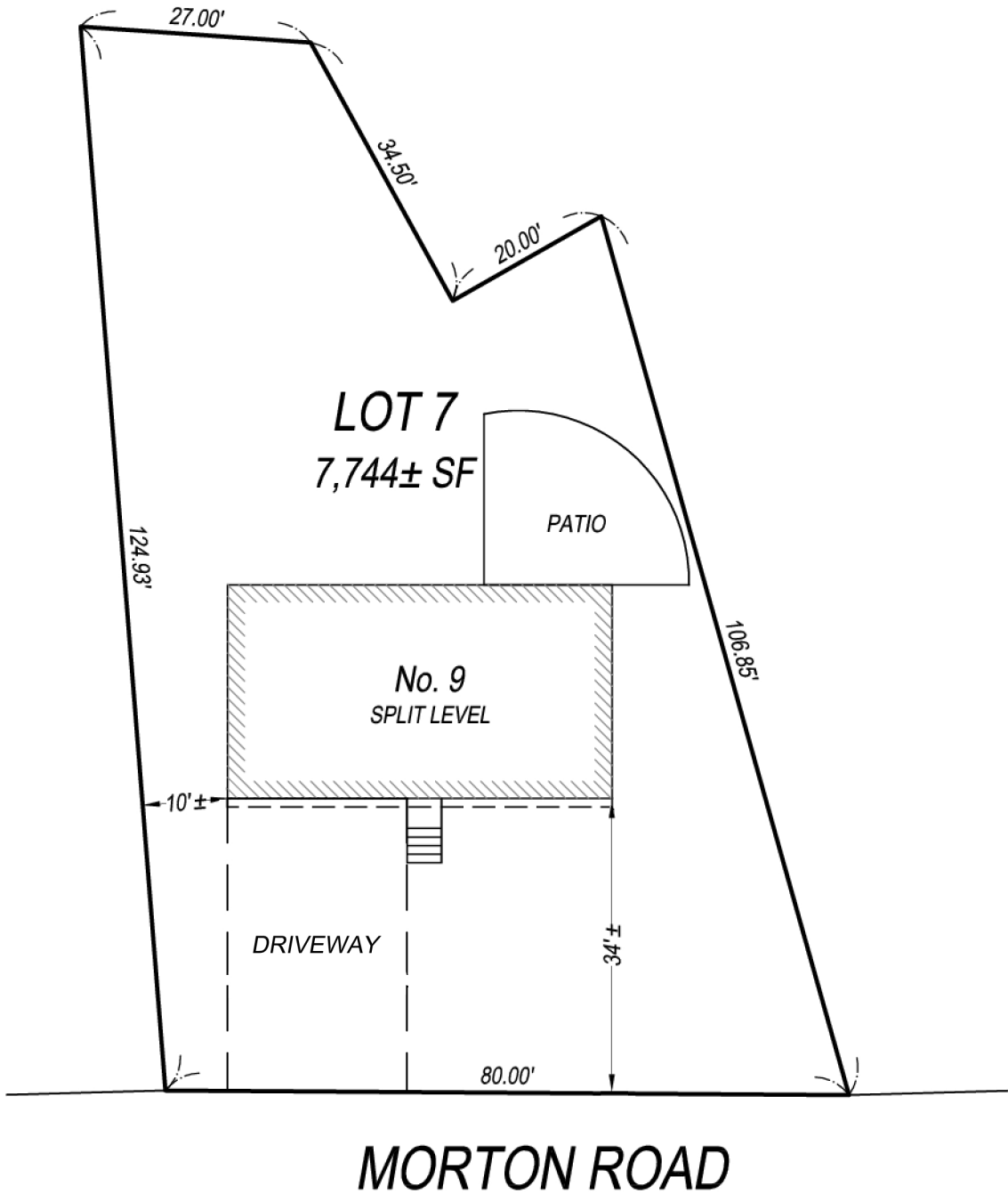
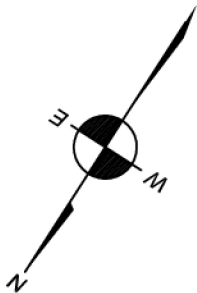


MORTGAGE INSPECTION PLAN

LOCATION:9 MORTON ROAD  
CITY, STATE:ARLINGTON, MA  
APPLICANT: GREGORIO  
CERTIFIED TO: RESIDENTIAL MORTGAGE  
DATE: 03-16-2021



21-03486  
**BOSTON**  
**SURVEY, INC.**  
P.O. BOX 290220  
CHARLESTOWN, MA 02129  
T (617) 242-1313; F (617) 242-1616  
WWW.BOSTONSURVEYINC.COM



SCALE: 1" = 20'

FLOOD DETERMINATION

According to Federal Emergency Management Agency maps, the major improvements on this property fall in as area designated as  
**ZONE: X**  
**COMMUNITY PANEL No. 25017C0416E**  
**EFFECTIVE DATE: 6/4/2010**

REFERENCES

**DEED REF: 57807/594**  
**PLAN REF: 6099/END**

NOTE: To show an accurate scale this plan must be printed on legal sized paper (8.5" x 14")

The permanent structures are approximately located on the ground as shown. They either conformed to the setback requirements of the local zoning ordinances in effect at the time of construction, or are exempt from violation enforcement action under M.G.L. Title VII, Chapter 40A, Section 7, and that are no encroachments of major improvements across property lines except as shown and noted hereon.

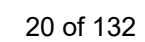
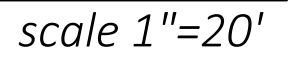
This is not a boundary or title insurance survey. This plan should not be used for construction, recording purposes or verification of property lines.



George C. Collins, PLS  
19 of 132



Paper Size: 11"x17"







**Current Size: 10x20x8**



**View Shed In AR**



**From:** Kate and Anthony Gregorio, 9 Morton Rd. Arlington MA 02476

**To:** Zoning Board of Appeals, Arlington MA

**On:** ZBA Meeting, Tuesday March 12, 2024

**Regarding:** Continuance Request

Dear Chairman and Board Members,

We are writing to request a continuance to our ZBA Special Use/Variance Permit Application. We do not yet have plans ready to share with the board.

If possible, we'd like to defer until May, as we anticipate a delay and slowdown in the coming months.

Thank you for your time,

Anthony and Kate Gregorio  
9 Morton Rd





## Town of Arlington, Massachusetts

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### Docket #3781 165 Franklin Street (continuance)

#### ATTACHMENTS:

Type	File Name	Description
Reference Material	#3781_165_Franklin_Street_Special_Permit.pdf	#3781 165 Franklin Street Special Permit
Reference Material	#3781_165_Franklin_Street_Legal_ad.pdf	#3781 165 Franklin Street Legal ad
Reference Material	23057_-_165_Franklin_St.Arlington_MA_INITIAL_SET.pdf	165 Franklin St. Initial Drawings
Reference Material	165_Franklin_St._Second_Decision_AHC.pdf	165 Franklin St. Second Decision AHC 02052024
Reference Material	ARL.182_Inventory_165-167_Franklin_St.__1850.pdf	ARL.182 Inventory 165-167 Franklin St 1850 AHC 020524
Reference Material	23057_-_165_Franklin_St.Arlington__MA_AHC_09JAN24_(1).pdf	23057 - 165 Franklin St.Arlington, MA AHC 09JAN24
Reference Material	23057_-_165_Franklin_St.Arlington__MA_-_9JAN24_(11X17).pdf	23057 - 165 Franklin St.Arlington, MA - 9JAN24 (11X17)
Reference Material	23057_-_165_Franklin_St.Arlington__MA_9JAN24.pdf	23057 - 165 Franklin St.Arlington, MA 9JAN24
Reference Material	B_Mangrum_letter_165_Franklin.pdf	B Mangrum letter 165 Franklin
Reference Material	23057__165_Franklin_St_Arlington__MA__7MAR24_ZBA11X17.pdf	165 Franklin St Arlington MA 7MAR24
Reference Material	#3781_165_Franklin_St._Arlington_MA_GFA_3-12-2024.pdf	#3781 165 Franklin St. Arlington MA GFA 3-12-2024
Reference Material	#3781_65_Franklin_St_Arlington_MA_Z0_3-12-2024.pdf	#3781 65 Franklin St Arlington MA Z0 3-12-2024
Reference Material	23057__165_Franklin_St_Arlington__MA__9APRIL24_ZBA11X17.pdf	#3781 165 Franklin Street 04-04-2024





## SP-23-8

### Special Use Permit Application (ZBA)

Status: Active

Submitted On: 12/7/2023

### Primary Location


165 FRANKLIN ST  
Arlington, MA 02474

### Owner


Kristen Germano  
FRANKLIN ST 165  
ARLINGTON, MA 02474

### Applicant

 Gregory Zalanskas

 +1 978-835-5194

greg.zalanskas@comcast.net

 34 Birch Rd  
MA Andover, Ma 01810

---

## Special Permit Criteria

**Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.\***

5,4,2,B,6 large additions

**Explain why the requested use is essential or desirable to the public convenience or welfare.\***

Larger Dwellings units and generous lot will be desirable to families, and long term ownership.

**Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\***

the intensity of use ,or occupancy does not change from the existing two family residence.

**Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\***

there is no increase in the number of households and therefore will not result in an increased burden on systems and services.



**Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\***

the increase in area will conform to the required setbacks, allowed height, and lot coverage.

**Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\***

the proposed & renovated structure will be in keeping with adjacent structures, and shall not be detrimental to the health or welfare of the neighborhood.

**Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\***

the use remains a 2 family residence, the massing of 2 attached homes, and character of the structure will be similar to that of detached single family structures in the vicinity.

---

## Dimensional and Parking Information

**Present Use/Occupancy \***

two family

**Proposed Use/Occupancy \***

two family

**Existing Number of Dwelling Units\***

2

**Proposed Number of Dwelling Units\***

2

**Existing Gross Floor Area (Sq. Ft.)\***

4102

**Proposed Gross Floor Area (Sq. Ft.)\***

7563

**Existing Lot Size (Sq. Ft.)\***

11088

**Proposed Lot Size (Sq. Ft.)\* ?**

11088



Minimum Lot Size required by Zoning\*

6000

Existing Frontage (ft.)\*

56

Proposed Frontage (ft.)\*

56

Minimum Frontage required by Zoning\*

60

Existing Floor Area Ratio\*

0.37

Proposed Floor Area Ratio\*

0.68

Max. Floor Area Ratio required by Zoning\*

-1

Existing Lot Coverage (%)\*

15

Proposed Lot Coverage (%)\*

28.5

Max. Lot Coverage required by Zoning\*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

5544

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

5544

Minimum Lot Area per Dwelling Unit required by  
Zoning\*

3000

Existing Front Yard Depth (ft.)\*

37

Proposed Front Yard Depth (ft.)\*

37

Minimum Front Yard Depth required by Zoning\*

20

Existing Left Side Yard Depth (ft.)\*

8.8

Proposed Left Side Yard Depth (ft.)\*

9



Minimum Left Side Yard Depth required by Zoning\*

10

Existing Right Side Yard Depth (ft.)\*

11.8

Proposed Right Side Yard Depth (ft.)\*

11.2

Minimum Right Side Yard Depth required by Zoning\*

10

Existing Rear Yard Depth (ft.)\*

94.5

Proposed Rear Yard Depth (ft.)\*

32.2

Minimum Rear Yard Depth required by Zoning\*

11

Existing Height (stories)

2.5

Proposed Height (stories)\*

2.5

Maximum Height (stories) required by Zoning\*

2.5

Existing Height (ft.)\*

32.25

Proposed Height (ft.)\*

32.88

Maximum Height (ft.) required by Zoning\*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

5948

Proposed Landscaped Open Space (Sq. Ft.)\*

6125



Existing Landscaped Open Space (% of GFA)\*

250

Proposed Landscaped Open Space (% of GFA)\*

81

Minimum Landscaped Open Space (% of GFA)  
required by Zoning\*

10

Existing Usable Open Space (Sq. Ft.)\*

5948

Proposed Usable Open Space (Sq. Ft.)\*

3468

Existing Usable Open Space (% of GFA)\*

201

Proposed Usable Open Space (% of GFA)\*

46

Minimum Usable Open Space required by Zoning\*

30

Existing Number of Parking Spaces\*

4

Proposed Number of Parking Spaces\*

4

Minimum Number of Parking Spaces required by  
Zoning\*

2

Existing Parking area setbacks

—

Proposed Parking area setbacks \*

64

Minimum Parking Area Setbacks required by  
Zoning\*

20

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by  
Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

8



Proposed Slope of proposed roof(s) (in. per ft.)\*

8

Minimum Slope of Proposed Roof(s) required by Zoning\*

2

Existing type of construction\*

wood

Proposed type of construction\*

wood frame

---

## Open Space Information

Existing Total Lot Area\*

11088

Proposed Total Lot Area\*

11088

Existing Open Space, Usable\*

5948

Proposed Open Space, Usable\*

3468

Existing Open Space, Landscaped\*

250

Proposed Open Space, Landscaped\*

81

---

## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

1159

Basement or Cellar, Proposed Gross Floor Area

1964

1st Floor, Existing Gross Floor Area

1661

New Field

0



1st Floor, Proposed Gross Floor Area

2474

2nd Floor, Existing Gross Floor Area

1183

2nd Floor, Proposed Gross Floor Area

2567

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

99

Attic, Proposed Gross Floor Area

558

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

606

All weather habitable porches and balconies,  
Existing Gross Floor Area

0

All weather habitable porches and balconies,  
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

4102



Total Proposed Gross Floor Area

8169





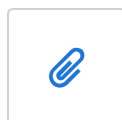
## Attachments



### **23057 - 165 Franklin St.Arlington MA INITIAL SET.pdf**

23057 - 165 Franklin St.Arlington MA INITIAL SET.pdf

Uploaded by Gregory Zalanskas on Dec 8, 2023 at 2:35 PM



### **Supporting Documentation [worksheet and drawings]**

plans 165 Franklin St. Arlington MA - 1st set for special permit.pdf

Uploaded by Gregory Zalanskas on Dec 7, 2023 at 3:59 PM

**REQUIRED**

---

## History

Date	Activity
11/25/2023, 9:43:31 AM	Gregory Zalanskas started a draft of Record SP-23-8
11/25/2023, 9:45:59 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerEmail from "" to "greg.zalanskas@comcast.net"
11/25/2023, 9:45:59 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerName from "CHELARIU CRISTIAN" to "Kristen Germano"
11/25/2023, 9:45:59 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerPhoneNo from "" to "6175290332"
11/25/2023, 9:46:00 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerStreetName from "165 FRANKLIN ST" to " FRANKLIN ST"
11/25/2023, 9:46:00 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerStreetNo from "" to "165"
12/7/2023, 4:01:02 PM	Gregory Zalanskas submitted Record SP-23-8
12/7/2023, 4:01:03 PM	Gregory Zalanskas submitted Record SP-23-8
12/7/2023, 4:01:03 PM	approval step Zoning Administrator Reviewwas assigned to Colleen Ralston on Record SP-23-8
12/8/2023, 2:35:35 PM	Gregory Zalanskas added attachment 23057 - 165 Franklin St.Arlington MA INITIAL SET.pdf to Record SP-23-8
12/11/2023, 11:40:32 AM	Colleen Ralston approved approval step Zoning Administrator Review on Record SP-23-8



Date	Activity
12/11/2023, 11:40:32 AM	approval step Building Inspector Review was assigned to Michael Ciampa on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Gross Floor Area (Sq. Ft.) from "4258" to "4102" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Gross Floor Area (Sq. Ft.) from "6102" to "7563" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Floor Area Ratio from "0.38" to "0.37" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Floor Area Ratio from "0.55" to "0.68" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Max. Floor Area Ratio required by Zoning from "0" to "-1" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Lot Coverage (%) from "28" to "28.5" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Rear Yard Depth (ft.) from "94.63" to "94.5" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Rear Yard Depth (ft.) from "37.2" to "32.2" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Minimum Rear Yard Depth required by Zoning from "12" to "11" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Landscaped Open Space (Sq. Ft.) from "3468" to "6125" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Landscaped Open Space (% of GFA) from "139" to "250" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Landscaped Open Space (% of GFA) from "57" to "81" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Usable Open Space (% of GFA) from "139" to "201" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Usable Open Space (% of GFA) from "57" to "46" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Parking area setbacks from "65" to "64" on Record SP-23-8
12/13/2023, 10:04:41 AM	Kerri O'Brien changed Minimum Parking Area Setbacks required by Zoning from "15" to "20" on Record SP-23-8
12/13/2023, 10:04:41 AM	Kerri O'Brien changed Minimum Slope of Proposed Roof(s) required by Zoning from "0" to "2" on Record SP-23-8



Date	Activity
12/13/2023, 10:05:08 AM	Kerri O'Brien changed Existing Open Space, Landscaped from "139" to "250" on Record SP-23-8
12/13/2023, 10:05:08 AM	Kerri O'Brien changed Proposed Open Space, Landscaped from "57" to "81" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Basement or Cellar, Proposed Gross Floor Area from "1936" to "1964" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Total Proposed Gross Floor Area from "8644" to "8169" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Attic, Existing Gross Floor Area from "255" to "99" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Total Existing Gross Floor Area from "4258" to "4102" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Attic, Proposed Gross Floor Area from "1061" to "558" on Record SP-23-8

## Timeline

Label	Activated	Completed	Assignee	Due Date
✓ Zoning Administrator Review	12/7/2023, 4:01:03 PM	12/11/2023, 11:40:32 AM	Colleen Ralston	-
✓ Building Inspector Review	12/11/2023, 11:40:32 AM	-	Michael Ciampa	-
✓ Create Docket Number	-	-	-	-
✓ Create Legal Notice	-	-	-	-
✓ Legal Notice Stamped by Town Clerk	-	-	-	-
✓ Request abutters list from Assessors	-	-	-	-
✓ Send Legal Notice to Newspaper	-	-	-	-
✓ Send Legal Notice to Abutters	-	-	-	-
✓ Create Docket Folder (Z Drive)	-	-	-	-



Label	Activated	Completed	Assignee	Due Date
✓ Share with Planning	-	-	-	-
✓ Create Item in Novus Agenda (add documents)	-	-	-	-
✓ Add Item to Meeting Agenda	-	-	-	-
✓ Building Inspector letter to Novus Agenda	-	-	-	-
✓ Create Meeting for Town Calendar	-	-	-	-
✓ Add Draft decision to the Meeting Agenda	-	-	-	-
✓ Approved Decisions send to Docusign	-	-	-	-
✓ Completed Decisions to the Town Clerk for Date Stamp	-	-	-	-
✓ Completed Decisions with Date Stamp add to the Docket Folder	-	-	-	-
✓ Permit Issued 20 days after decision (signed and stamped)*	-	-	-	-
💰 Application Fee	-	-	Gregory Zalanskas	-





Town of Arlington  
Zoning Board of Appeals  
23 Maple Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

## LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **165 Franklin Street, LLC** of Arlington, MA. on December 7, 2023, a petition seeking to alter their property located at **165 Franklin Street - Block Plan 044.0-0001-0013.0**. Said petition would require a **Special Permit** under **Section 5.4.2(B)(6)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on February 13, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

**DOCKET NO 3781**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**



I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JULY 21, 2023 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ELEVATIONS SHOWN HEREON ARE RELATIVE TO A ASSUMED DATUM OF 500.0'

BENCHMARK:  
MAG NAIL SET IN UTILITY POLE  
ELEV. = 502.3' ( ASSUMED )

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS  
ZONE: X  
COMMUNITY PANEL: 25017C0417E  
EFFECTIVE DATE: 06-04-2010

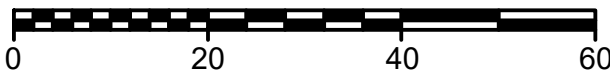
PREPARED FOR:  
CARMEN & CRISTIAN CHELARIU  
165 FRANKLIN ST.  
ARLINGTON, MA

DEED: BK 56731; PG 579  
PLAN: BK 1192; PG 181  
No. 1324 OF 1929  
PL BK 305; PL 19

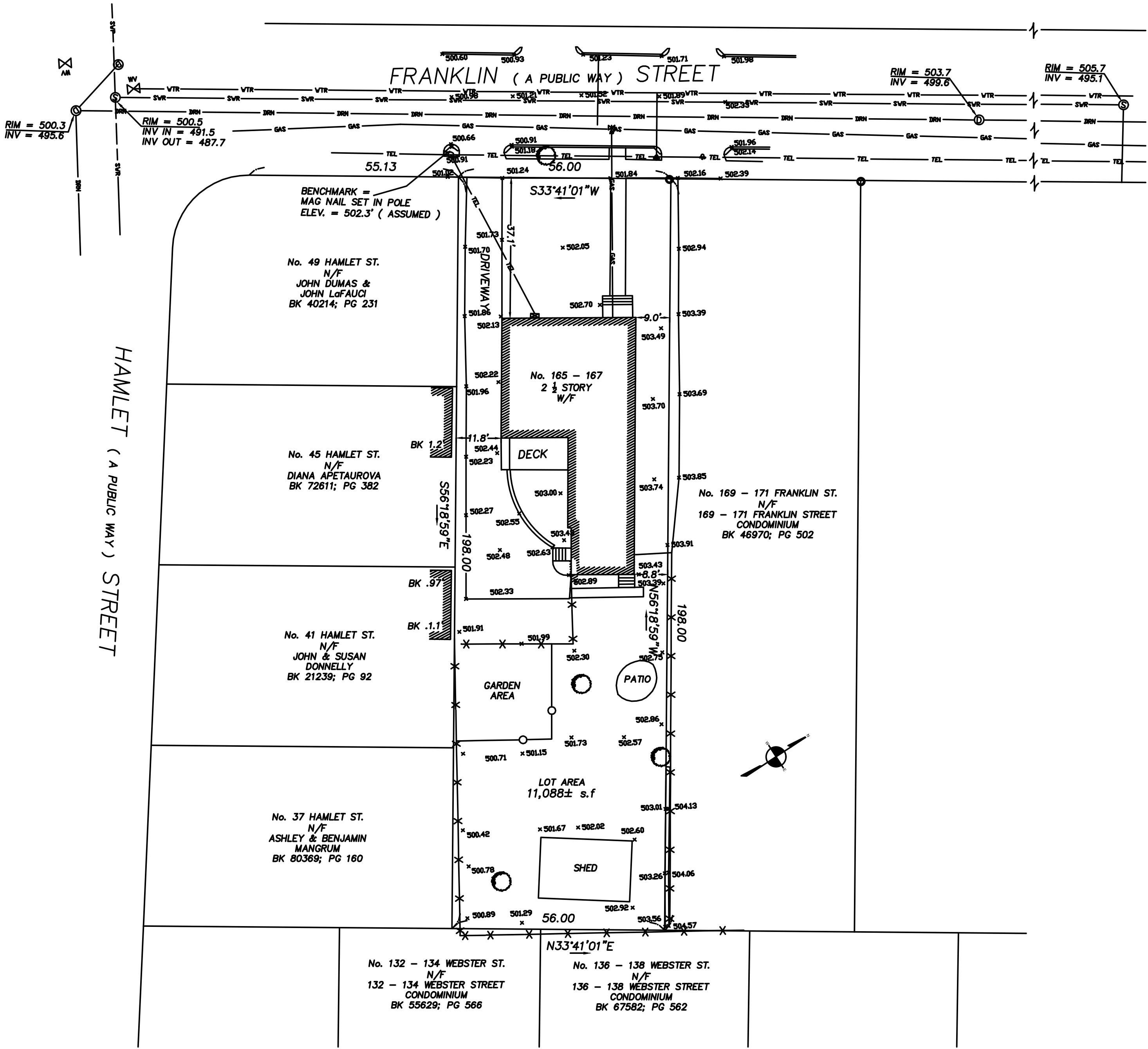
NOTES:  
PARCEL ID:044.0-0001-0013.0  
ZONING: R2

SITE PLAN OF LAND  
LOCATED AT  
165 - 167 FRANKLIN STREET  
ARLINGTON, MA

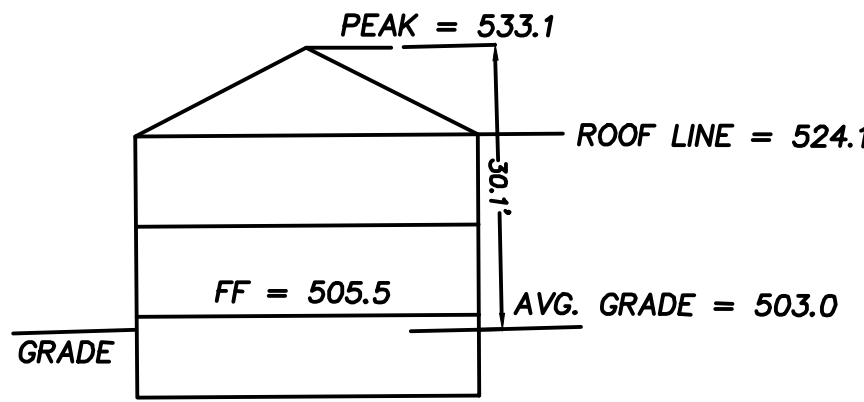
DATE: JULY 23, 2023 SCALE: 1.0 INCH = 20.0 FEET



GEORGE C. COLLINS, P.L.S.  
UNIT C-4 SHIPWAY PLACE  
CHARLESTOWN, MA 02129  
(617) 242-1313



HEIGHT SKETCH:  
NOT TO SCALE



ZONING TABLE:	REQUIRED	EXISTING
DISTRICT:	R2	
LOT AREA:	6,000 s.f	11,088 s.f
LOT FRONTAGE:	60'	56'
FRONT SETBACK:	20'	37.1'
SIDE SETBACK:	10'	8.8'
REAR SETBACK:	20'	93.5'
LOT COVERAGE:	35%	19%
OPEN SPACE:	30%	35.9%
LANDSCAPE:	10%	10%
MAX. HEIGHT:	35'	30.1'
MAX. STORIES:	2.5	2.5

FIELD:	JJH
DRAFT:	JJH
CHECK:	GCO
DATE:	07/23/23





A

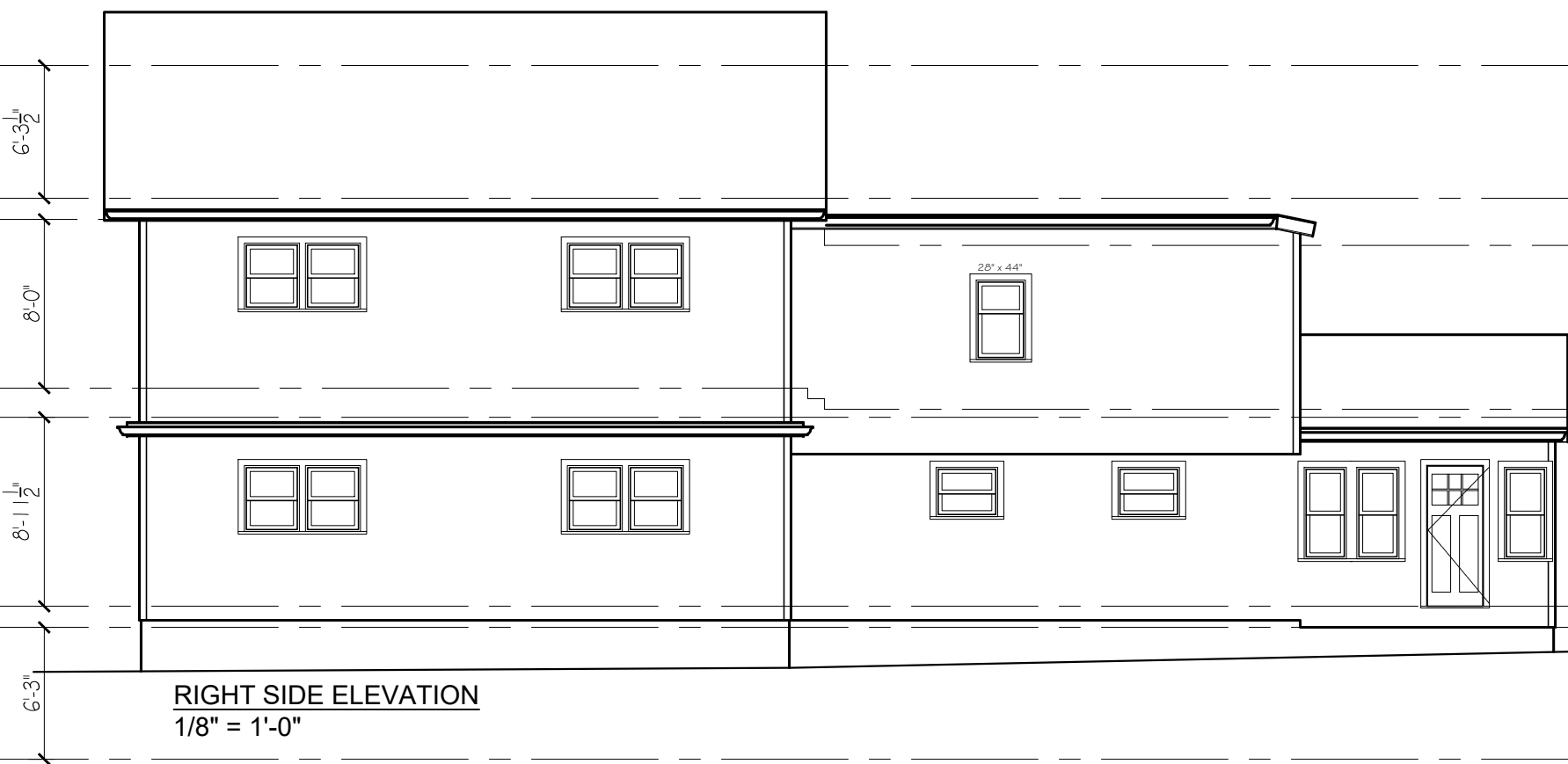
B

C

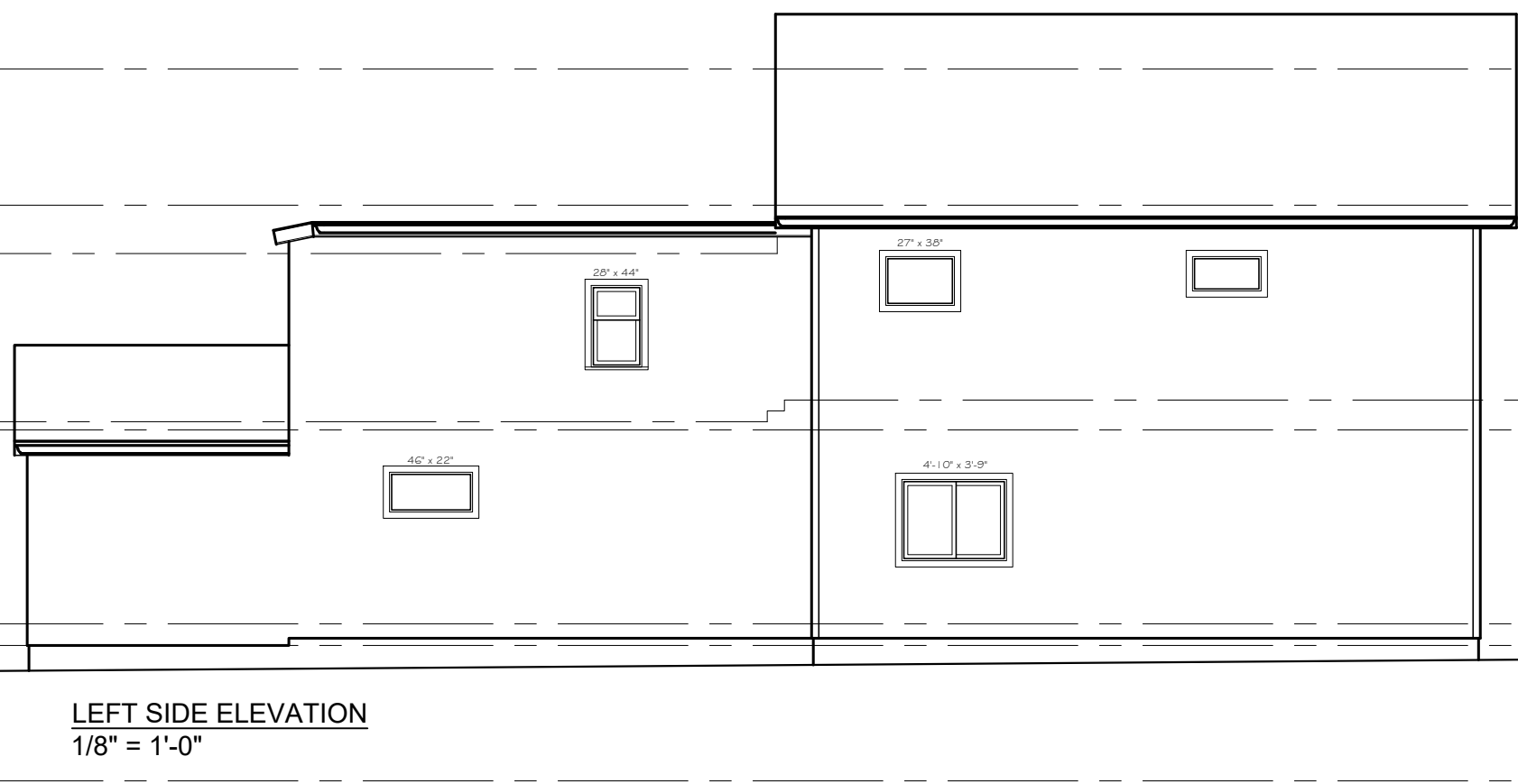
D



FRONT ELEVATION  
1/8" = 1'-0"



RIGHT SIDE ELEVATION  
1/8" = 1'-0"

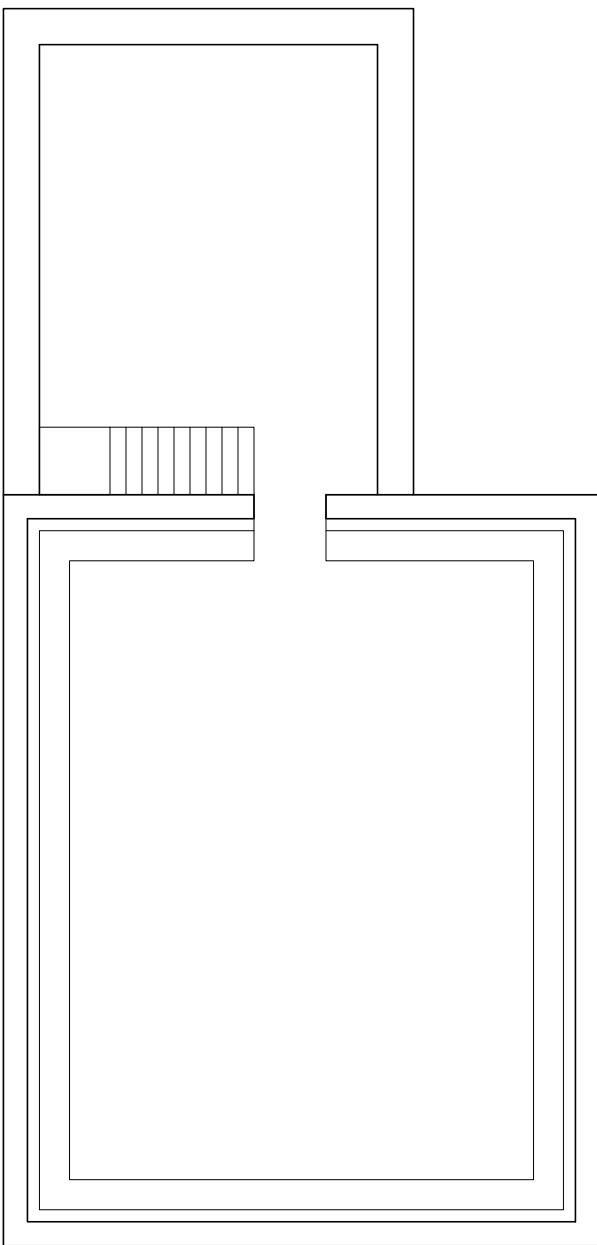


LEFT SIDE ELEVATION  
1/8" = 1'-0"

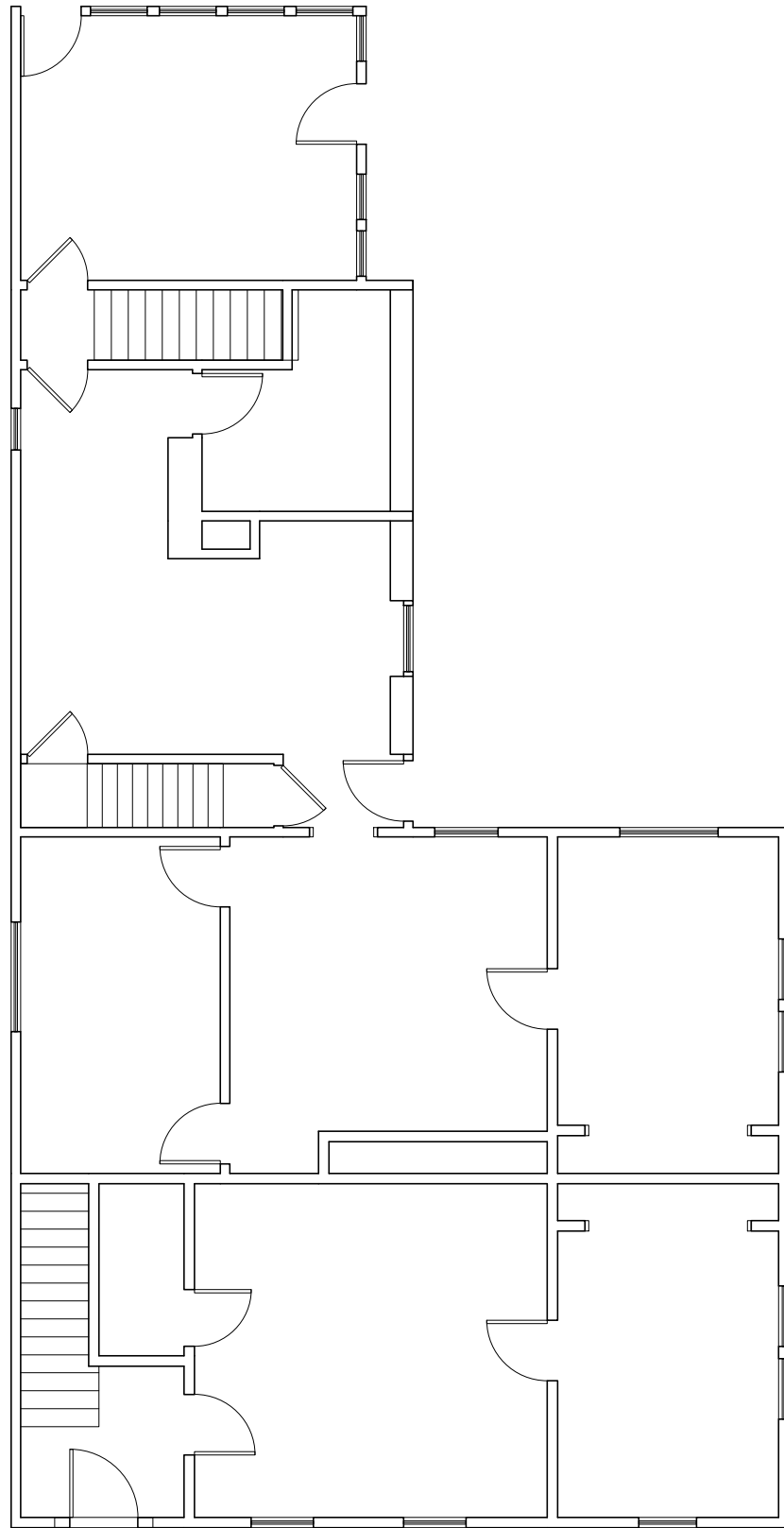


REAR ELEVATION  
1/8" = 1'-0"

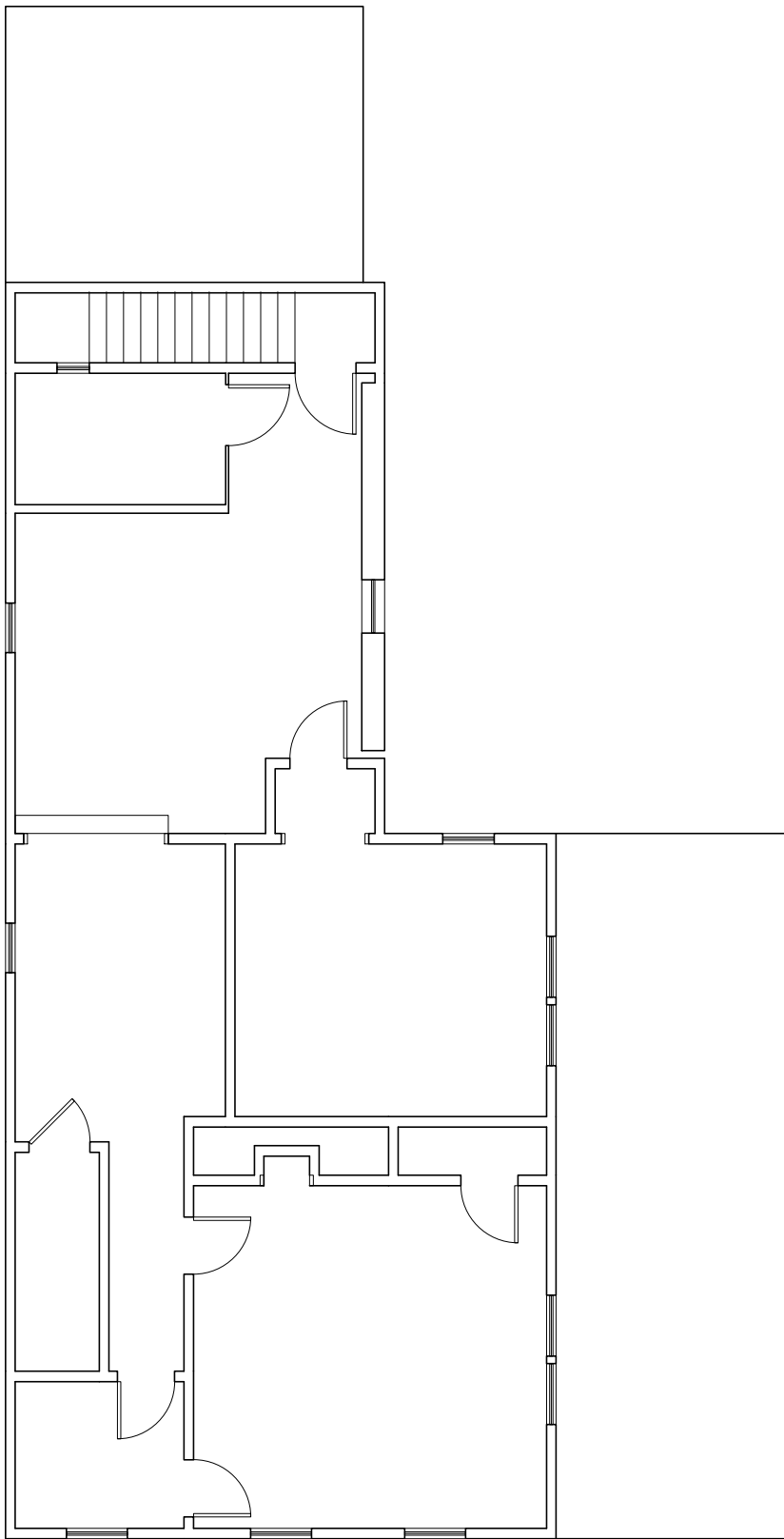
BASEMENT PLAN  
1/8" = 1'-0"



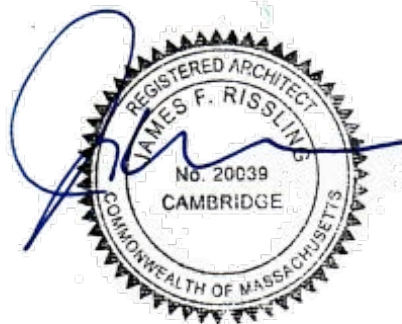
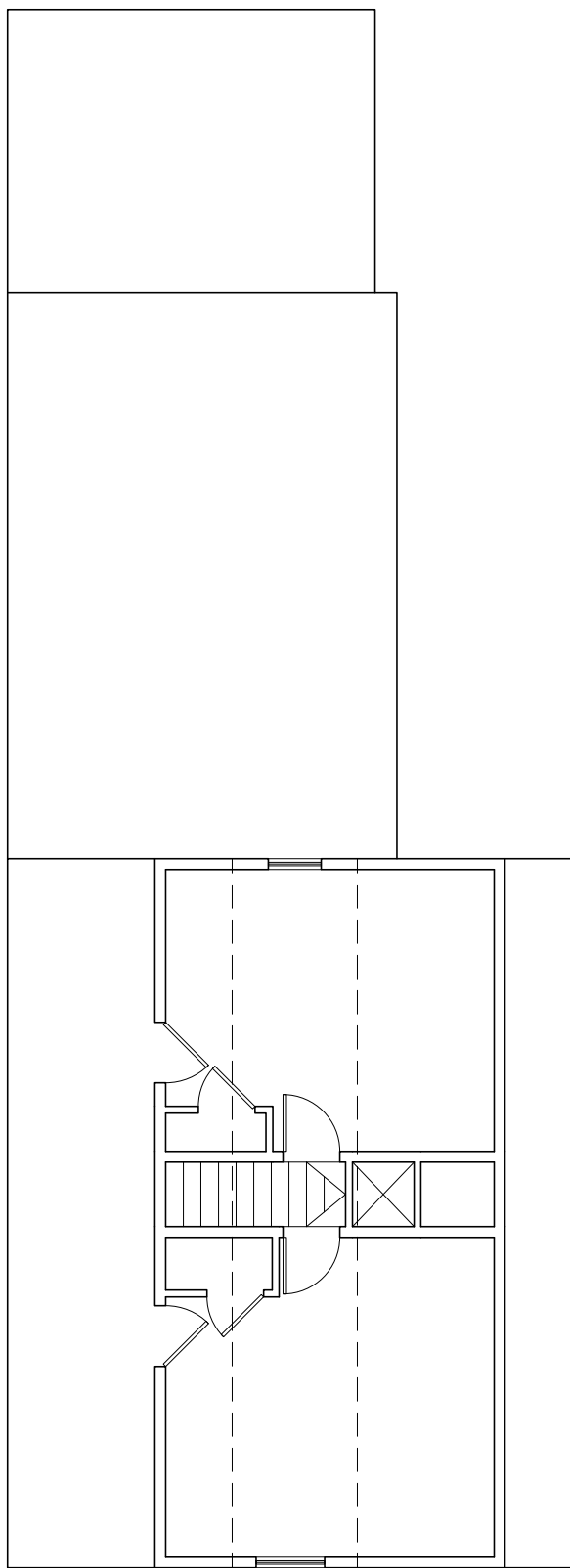
FIRST FLOOR PLAN  
1/8" = 1'-0"



SECOND FLOOR PLAN  
1/8" = 1'-0"



ATTIC PLAN  
1/8" = 1'-0"



Project Title:

165 FRANKLIN STREET  
ARLINGTON, MA

Drawing Title:

EXISTING CONDITIONS:  
PLANS AND ELEVATIONS

Project #

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

Date:

8DEC23

Drawing #:

EX1.1



A



IMAGE 1  
FRONT

B



IMAGE 4  
FRONT CIRCA 1980 - MHC IMAGE

C

D



IMAGE 2  
FRONT



IMAGE 5  
FRONT RIGHT CORNER



IMAGE 3  
FRONT



IMAGE 6  
REAR RIGHTSIDE

LR Designs

DESIGNERS, ARCHITECTS, PLANNERS, DEVELOPMENT ADVISORS

64 ALSTON STREET, SUITE 5  
CAMBRIDGE, MA 02139  
LRS@LRDN.COM

Project Title:

165 FRANKLIN STREET  
ARLINGTON, MA

Drawing Title:

PHOTO MONTAGE

Project #

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

Date:

8DEC23

Drawing #:

IMAGES

1

38 of 132

2

3

4

5



165 FRANKLIN STREET  
ARLINGTON, MA

Project Title:

PROPOSED RENOVATIONS:  
SITE DIAGRAM & ZONING  
INFORMATION

Drawing Title:

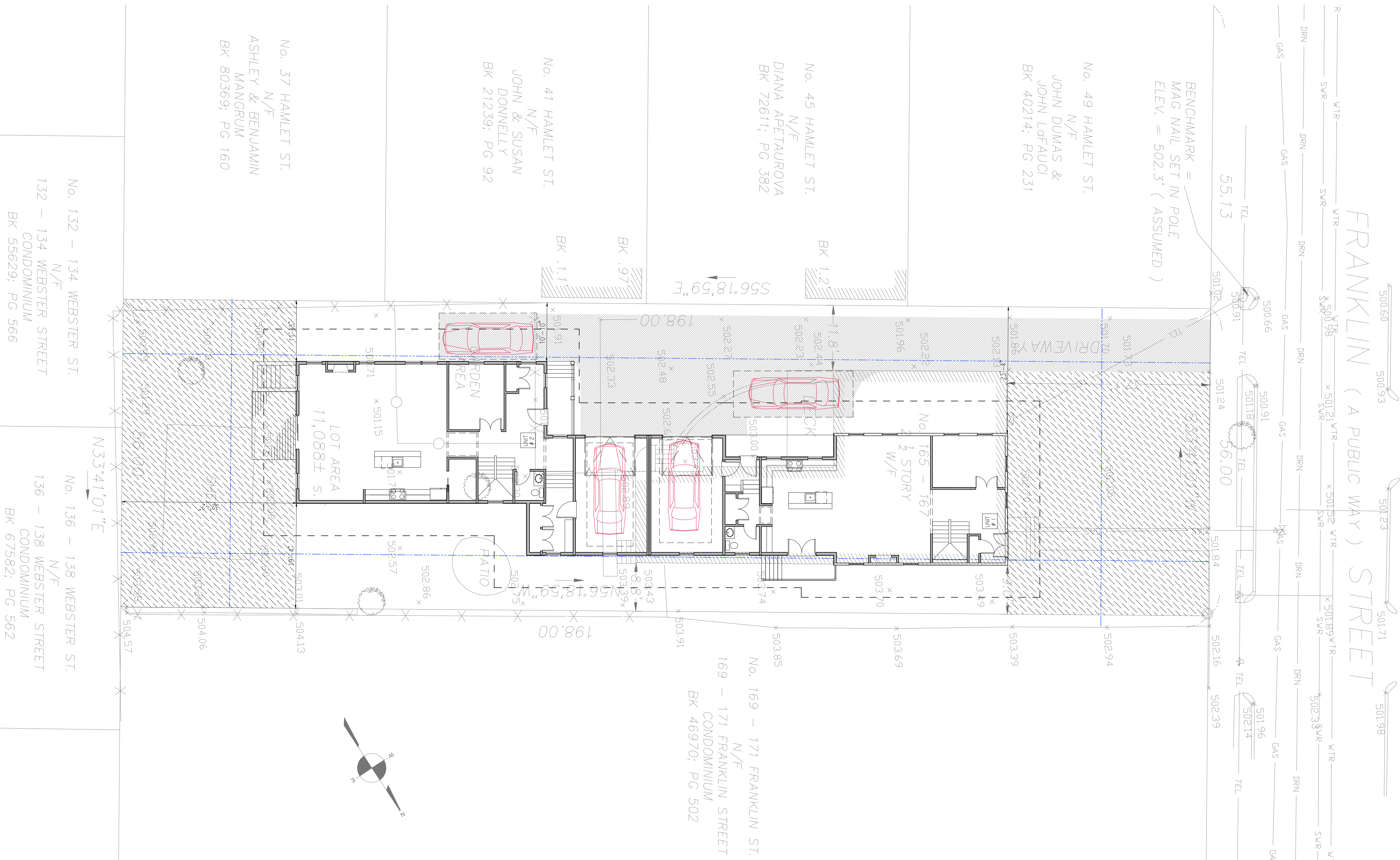
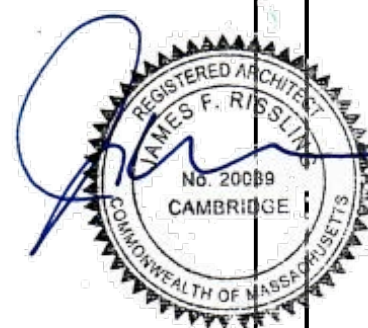
Project #  
22028

Drawn By: EE  
Reviewed By: JFR

Scale: 1" = 10'  
Date: 8DEC23

Drawing #:

Z0.1



BUILDING AREA CALCULATIONS (GROSS SQ. FT.) - ZONING					
	EXIST. AREA (ASSESSORS)	MINUS AREA	ADDED AREA	TOTAL AREA (USING ASSESSORS DATA)	ALLOWED HALF STORY (GREATER THAN F.F.T.) TOTAL ADDITION
BASEMENT (CELLAR)	1,159	391	1,196	1,954	
1ST FLOOR	1,661	886	1,699	2,474	
2ND FLOOR	1,183	408	1,792	2,567	1,257.83
ATTIC (SURVEYED)	99	0	459	558	
GARAGE (ACCESSORY PARKING)	0	0	606	606	
TOTAL GROSS FLOOR AREA	4,102	1,685	5,146	7,563	3,461.00
TOTAL GROSS AREA	4,102	1,685	5,752	8,169	

**BUILDING HEIGHT CALCULATION:**  
SITE SLOPE: >5%  
SITE HIGHEST GRADE 503.91'  
SITE LOWEST GRADE 500.71'  
503.91' - 500.71' = 3.20' / LOT DEPTH 198' = 0.016

AVERAGE FINISHED GRADE OF SITE @  
6' FROM BUILDING (GRADE PLANE): (NOT USED)  
503.74' + 500.42' = 1,004.16' / 2 = 502.8'

AVERAGE GRADE = 503.0' (503.0' PER SURVEY)

AVERAGE GRADE @ CURB :  
502.14' + 500.91' = 1,003.05' / 2 = 501.525'

ELEVATION OF EXISTING RIDGE = 533.1' (PER SURVEY)

HEIGHT OF EXISTING RIDGE CALCULATED  
533.1' - 501.435' = 31.67'

PROPOSED RIDGE  
501.435' + 534.33' = 32.895'

32.9' < 35' MAX. ALLOWED

**USEABLE OPEN SPACE CALCULATION:**  
REQUIRED USEABLE, OPEN SPACE  
7,563 GSF x 0.30 = 2,268 SF  
PROPOSED USEABLE OPEN SPACE: 3,468F  
2,268 SF REQUIRED < 3,468 SF PROPOSED

**HALF-STORY CALCULATION:**  
PROPOSED GROSS AREA 2ND FLOOR  
2,567 X .49 = 1,257 GSF  
TOTAL ALLOWED > 7' = 1,257 GSF  
558 GSF PROPOSED < 1,257 GSF ALLOWED

**LARGE ADDITION CALCULATION: §5.4.2.B.6**  
DEMO = 1,685 GSF  
PROPOSED = 5,146 GSF  
TOTAL ADDITON 3,461 GSF

ZONING DATA PER §6.00 - TABLE OF DIMENSIONAL AND DENSITY REGULATIONS: ARLINGTON, MA					
	ZONING DISTRICT - R2	ALLOWED/ REQUIRED	EXISTING	PROPOSED	COMPLIANCE
A	MINIMUM LOT SIZE (S.F.)	6,000	±11,088	NO CHANGE	CONFORMS
B	MIN. FRONTAGE (FT)	60	56	NO CHANGE	EXISTING NON-CONF.
C	FLOOR AREA RATIO MAX. (FAR)	NA	--	--	NA
D	LOT COVERAGE MAX. (%) (PROPOSED 3,161 SF / 11,088 SF = 28.5)	35	19	28.5	CONFORMS
E	MINIMUM LOT AREA PER DWELLING UNIT (S.F.)	NA	--	--	NA
F	MIN. FRONT YARD (FT)	20	37.1	NO CHANGE	EXISTING NON-CONF.
G	MIN. SIDE YARD - RIGHT	10	11.8	11.2	CONFORMS
	MIN. SIDE YARD - LEFT	10	8.8	9	EXISTING NON-CONF. (EXISTING STRUCTURE ONLY)
H	MIN. REAR YARD (FT)	20	94.5	32.2	CONFORMS
I	MAX. HEIGHT (STORIES / FT)	2 1/2 / 35	2 1/2 / 32.25	2 1/2 / 32.88	CONFORMS
J	OPEN SPACE: MIN. LANDSCAPED AREA (%) (PROPOSED 6,125 SF / 7,563 GSF = 80.9)	10	250	81	CONFORMS
K	OPEN SPACE: MIN. USABLE AREA (%) (PROPOSED 3,468 SF / 7,563 GSF = 45.8)	30	201	46	CONFORMS
§6.1. 4	MIN. NO. OF PARKING SPACES	2	4	4	CONFORMS

A

B

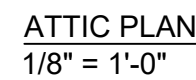
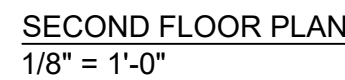
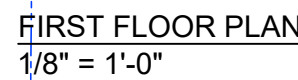
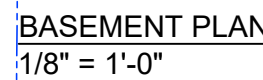
C

D



Drawing Title: **PROPOSED RENOVATIONS:  
PLANS**

Project #		22028	
Drawn By: EE		Reviewed By: JFR	
Scale: 1/8" = 1'-0"		Date: 8DEC23	
Drawing #:			
SD1.1			



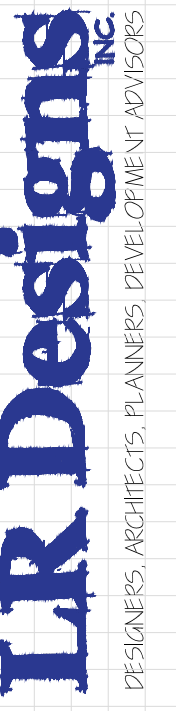
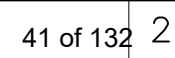




B



D



64 ALLSTON STREET, SUITE 3  
CAMBRIDGE, MA 02139  
617.583.2115  
LIFEDESIGNINC.COM

Project Time.

165 FRANKLIN STREET  
ARLINGTON, MA

Drawing 110c.

**PROPOSED RENOVATIONS:  
EXTERIOR ELEVATIONS  
(EXISTING & PROPOSED)**

Project #

22028

Drawn By:  
EE

Scale:	Date:
1/8" = 1'-0"	8DEC23

Drawing #:

SD2.2



A

B

C

D



PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION  
3/16" = 1'-0"



Project Title:

165 FRANKLIN STREET  
ARLINGTON, MA

Drawing Title:

PROPOSED RENOVATIONS:  
EXTERIOR ELEVATIONS

Project #

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

Date:

8DEC23

Drawing #:

SD2.1

LR Designs

DESIGNERS, ARCHITECTS, PLANNERS, DEVELOPMENT ADVISORS

64 ALSTON STREET, SUITE 5  
CAMBRIDGE, MA 02139  
LDESIGNINC.COM



THE ARLINGTON HISTORICAL COMMISSION  
WHITTEMORE ROBBINS HOUSE  
ARLINGTON, MASSACHUSETTS 02476

Menotomy • 1635    West Cambridge • 1807    Arlington • 1867

---

Memorandum

**DATE:**        **January 30, 2024**  
**TO:**         **Michael Ciampa, Director, Arlington Inspectional Services**  
**CC:**         **zba@town.arlington.ma.us**  
**FROM:**      **JoAnn Robinson, Chair, Arlington Historical Commission**  
**RE:**         **165 Franklin Street—Second Phase Decision**

This address is included on the Arlington Historical Commission Inventory of Significant Properties. The significant Greek revival building was built about 1850. Please see the attached inventory which describes the existing status in 1980.

At the meeting on January 9, 2024 the Arlington Historical Commission voted to approve the following.

The Commissioners approved the plans to build the garage and additional residence at the back of the original house. The plan for this addition is attached to this email. Once again, we will monitor the materials for all windows, siding, trim, etc. for the garage and second residence.

A motion was made by Commissioner Stange to move forward on the plans that describe the footprint and the dimensions of the addition behind the original building. Commissioner Schaefer seconded the motion and a roll call vote was taken and all voted in favor of the motion.

Please let me know if you have any questions.

Regards



JoAnn Robinson  
Chair, Arlington Historical Commission



# Massachusetts Cultural Resource Information System

## Scanned Record Cover Page

<b>Inventory No:</b>	ARL.182
<b>Historic Name:</b>	Jones, William H. House
<b>Common Name:</b>	
<b>Address:</b>	165-167 Franklin St
<b>City/Town:</b>	Arlington
<b>Village/Neighborhood:</b>	Arlington Center;
<b>Local No:</b>	155;
<b>Year Constructed:</b>	C 1850
<b>Architectural Style(s):</b>	Greek Revival;
<b>Use(s):</b>	Multiple Family Dwelling House; Single Family Dwelling House;
<b>Significance:</b>	Architecture;
<b>Area(s):</b>	
<b>Designation(s):</b>	
<b>Building Materials:</b>	Roof: Asphalt Shingle; Wall: Wood; Wood Clapboard;
<b>Demolished</b>	No



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

The MACRIS database and scanned files are highly dynamic; new information is added daily and both database records and related scanned files may be updated as new information is incorporated into MHC files. Users should note that there may be a considerable lag time between the receipt of new or updated records by MHC and the appearance of related information in MACRIS. Users should also note that not all source materials for the MACRIS database are made available as scanned images. Users may consult the records, files and maps available in MHC's public research area at its offices at the State Archives Building, 220 Morrissey Boulevard, Boston, open M-F, 9-5.

Users of this digital material acknowledge that they have read and understood the MACRIS Information and Disclaimer (<http://mhc-macris.net/macrisdisclaimer.htm>)

Data available via the MACRIS web interface, and associated scanned files are for information purposes only. THE ACT OF CHECKING THIS DATABASE AND ASSOCIATED SCANNED FILES DOES NOT SUBSTITUTE FOR COMPLIANCE WITH APPLICABLE LOCAL, STATE OR FEDERAL LAWS AND REGULATIONS. IF YOU ARE REPRESENTING A DEVELOPER AND/OR A PROPOSED PROJECT THAT WILL REQUIRE A PERMIT, LICENSE OR FUNDING FROM ANY STATE OR FEDERAL AGENCY YOU MUST SUBMIT A PROJECT NOTIFICATION FORM TO MHC FOR MHC'S REVIEW AND COMMENT. You can obtain a copy of a PNF through the MHC web site ([www.sec.state.ma.us/mhc](http://www.sec.state.ma.us/mhc)) under the subject heading "MHC Forms."

Commonwealth of Massachusetts  
Massachusetts Historical Commission  
220 Morrissey Boulevard, Boston, Massachusetts 02125  
[www.sec.state.ma.us/mhc](http://www.sec.state.ma.us/mhc)

This file was accessed on: Tuesday, October 3, 2023 at 4:23 PM



FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION  
294 Washington Street, Boston, MA 02108

Area	Form no. <u>155</u> <u>182</u>
------	--------------------------------------

*Pl - Arl. Cut.*



Draw map showing property location in relation to nearest cross streets and other buildings or geographical features. Indicate north.

Arlington, MA.

65-167 Franklin Street

ic Name William H. Jones House

original residential

resent " "

hip: ☒ Private individual

Private organization

ris F. and Patricia M. Rahilly

Public

original owner William H. Jones

DESCRIPTION:

Date c. 1850

Source Arlington maps and directories

Style Greek Revival/ Frame Vernacular hybrid

Architect

Exterior wall fabric clapboard

Outbuildings

Major alterations (with dates)

Moved Date

Approx. acreage less than 1 acre

Setting

Recorded by E. Gordon, N. Doonan

Organization American Landmarks, Inc.

Date September 23, 1980



ARCHITECTURAL SIGNIFICANCE (describe important architectural features and evaluate in terms of other buildings within community)

One of the few houses in Northeast Arlington which possesses characteristics of a specific architectural style, this Greek Revival dwelling dates to Ca. 1850. Most of the houses on Franklin Street date to the early 20th Century. Its main facade is three bays long. Its main entrance is enframed by wide pilasters and a heavy entablature. The length of the windows to the right of the entrance has been reduced. Its stylistic affiliation notwithstanding, this residence plainly betrays its vernacular origins in the treatment of simple rear eaves and fenestration.

HISTORICAL SIGNIFICANCE (explain the role owners played in local or state history and how the building relates to the development of the community)

This house is the southernmost of a trio of houses on Northern Franklin Street built during the mid 19th Century. From the 1860's until the 1880's it was the residence of William H. Jones. He is listed in the Arlington Mass. Business Directories as a clerk in 1869-70 and as a poultry dealer in 1883. By 1890, another poultry dealer, James H. Russell, occupied this dwelling.

BIBLIOGRAPHY and/or REFERENCES

1875 Beers & Co. Atlas

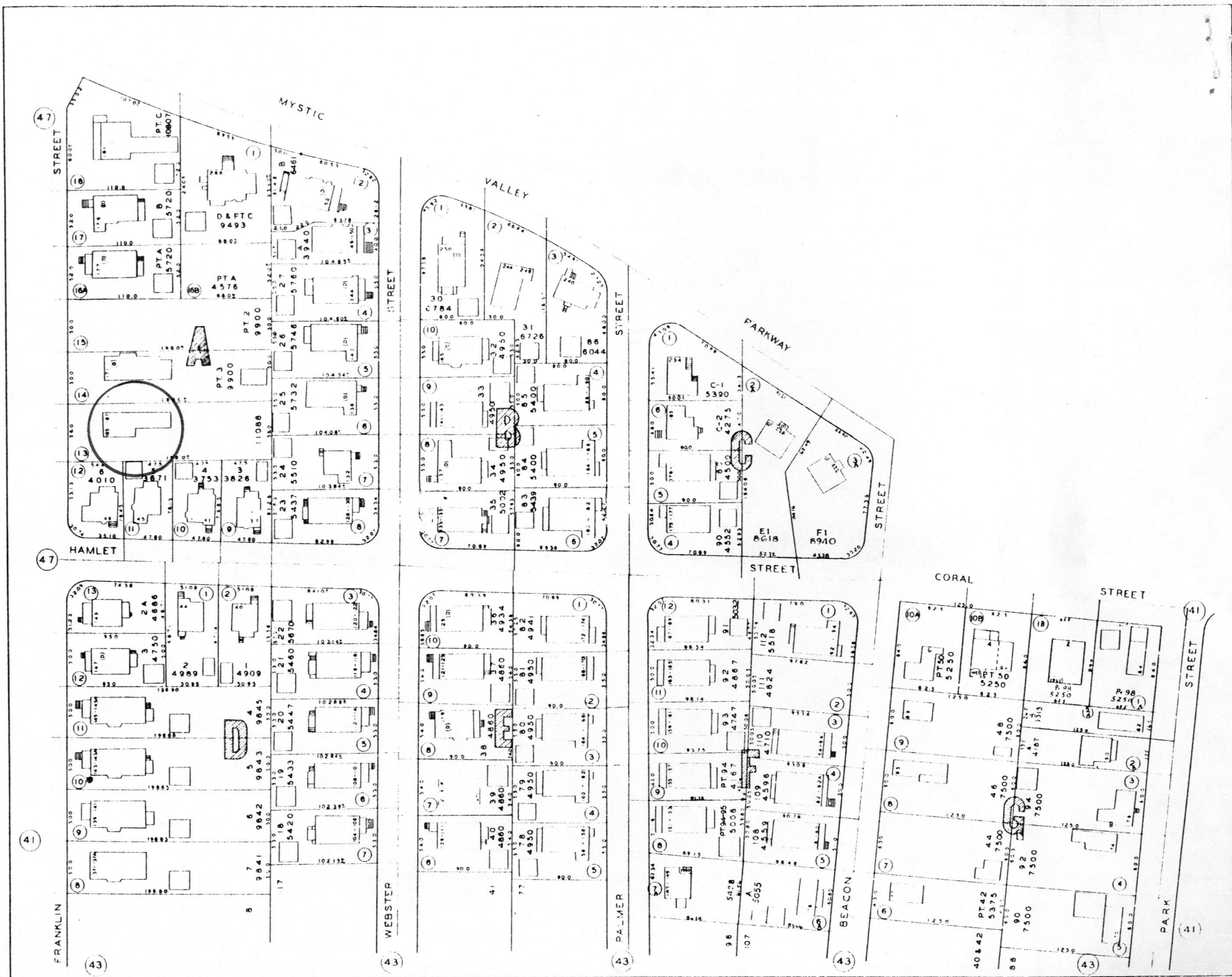
1884 Bird's Eye View of Arlington, Arlington Advocate

1898 Stadley & Co. Atlas

1923 Sanborn Map Co. Atlas

Arlington Directories of 1869/70, 1883, 1890, 1898, 1923





SCALE 1" = 132' 0"

BLOCK PLAN NO. 44

165-167 Franklin Street



A

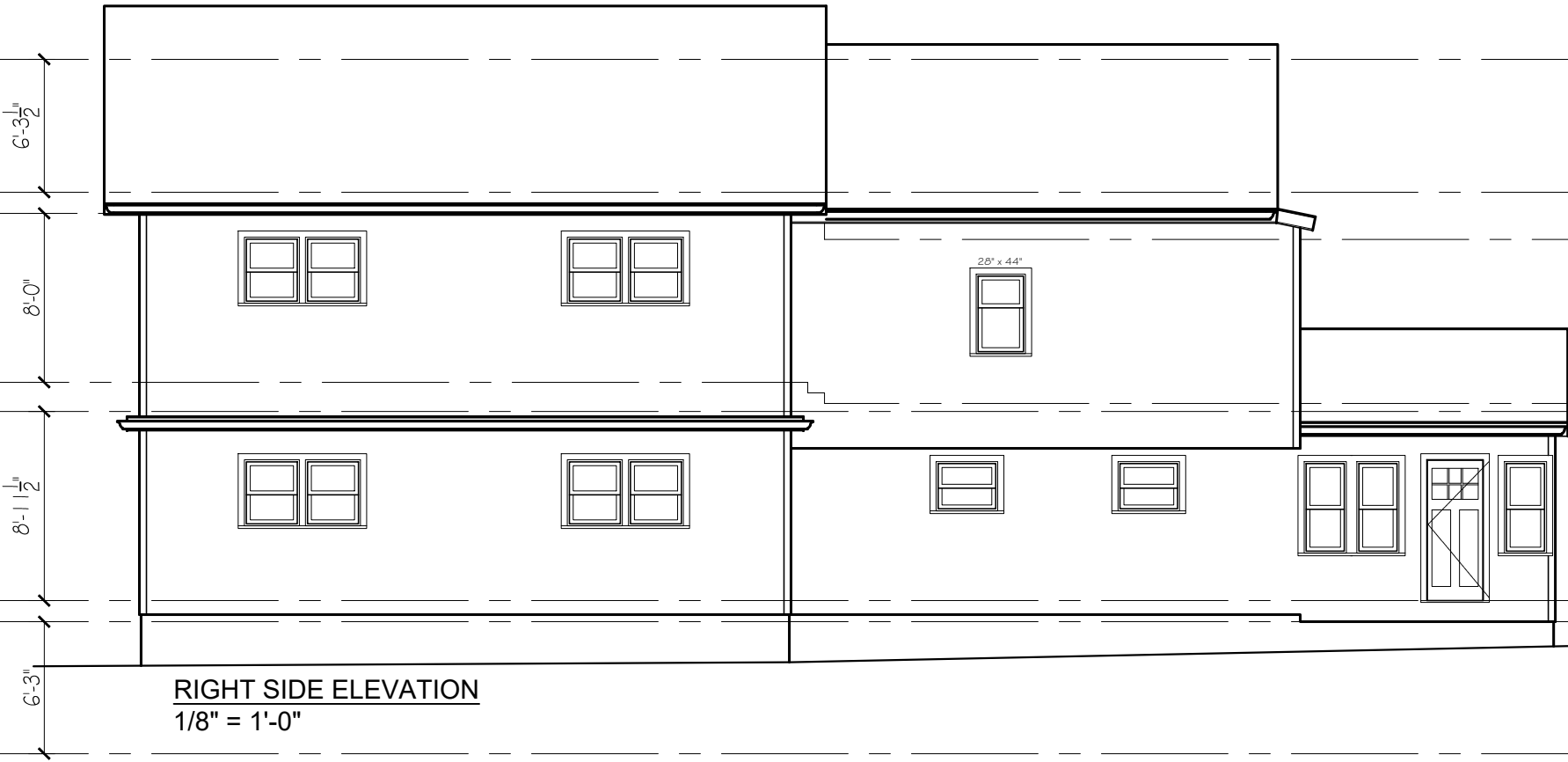
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C

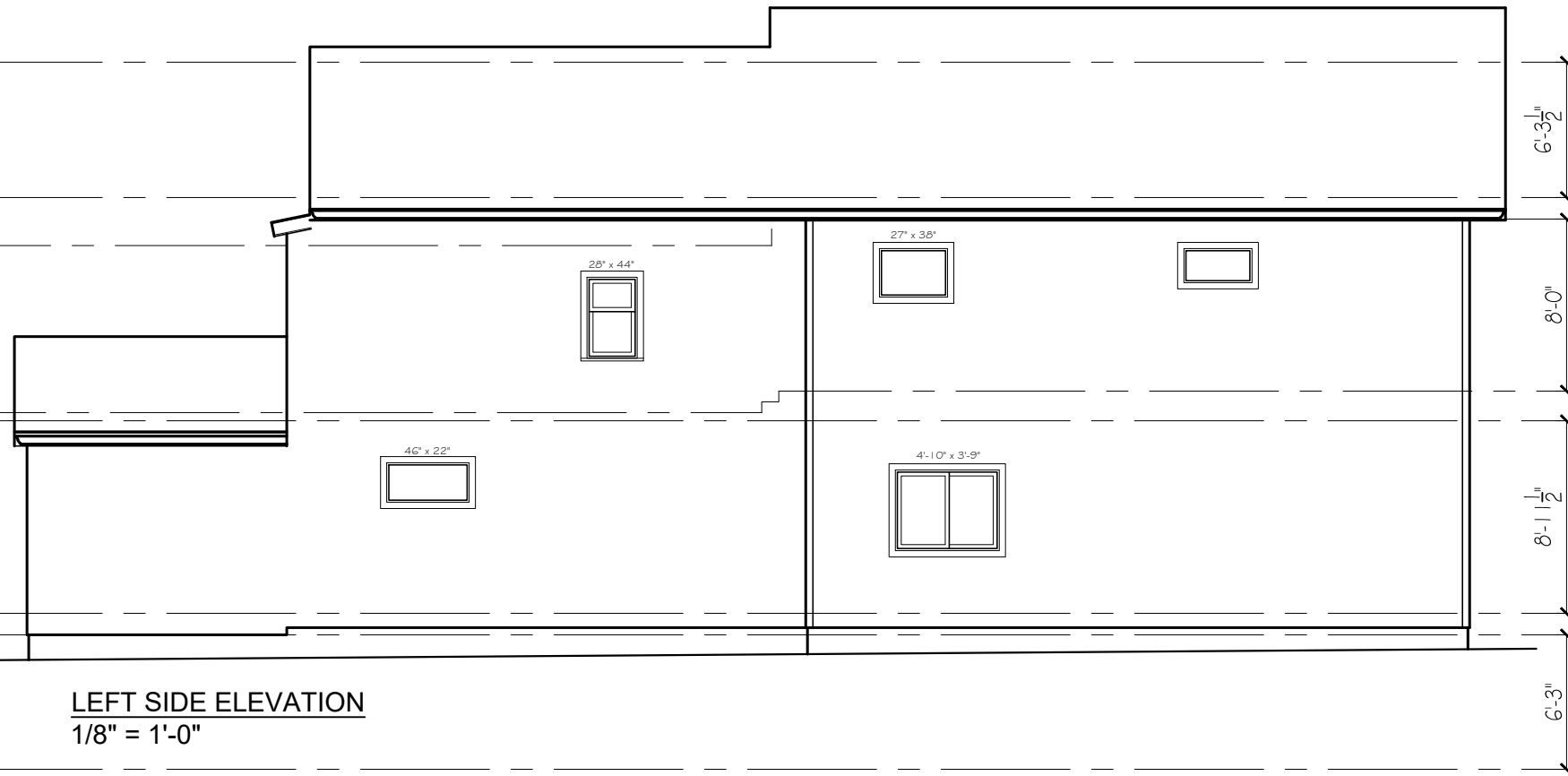
D



FRONT ELEVATION  
1/8" = 1'-0"



RIGHT SIDE ELEVATION  
1/8" = 1'-0"

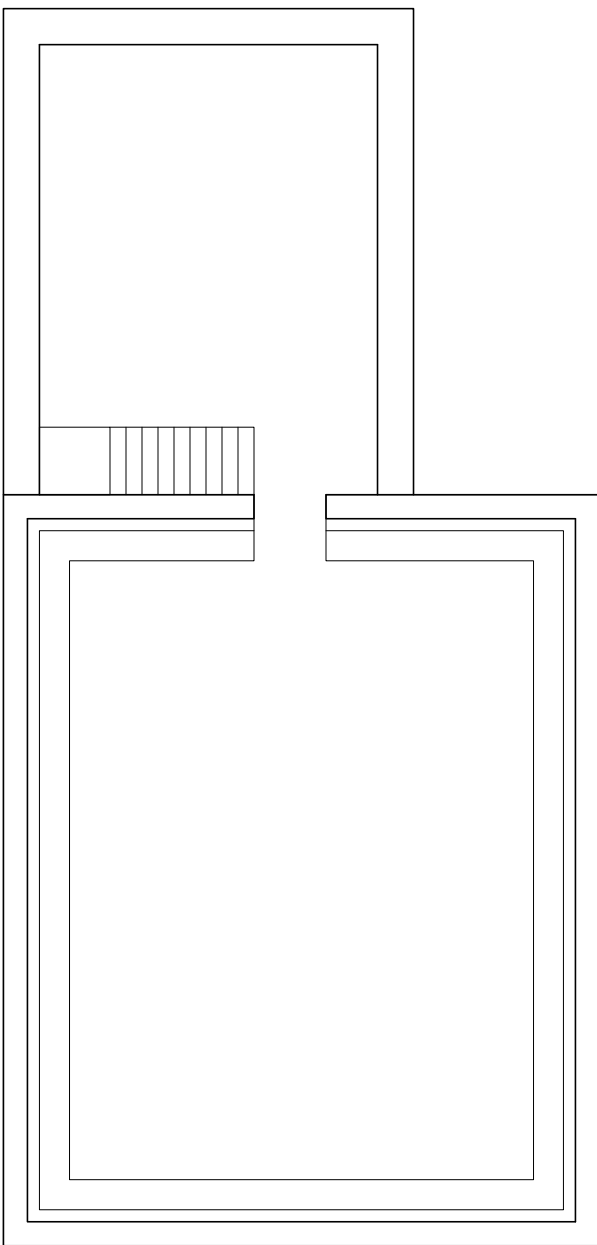


LEFT SIDE ELEVATION  
1/8" = 1'-0"

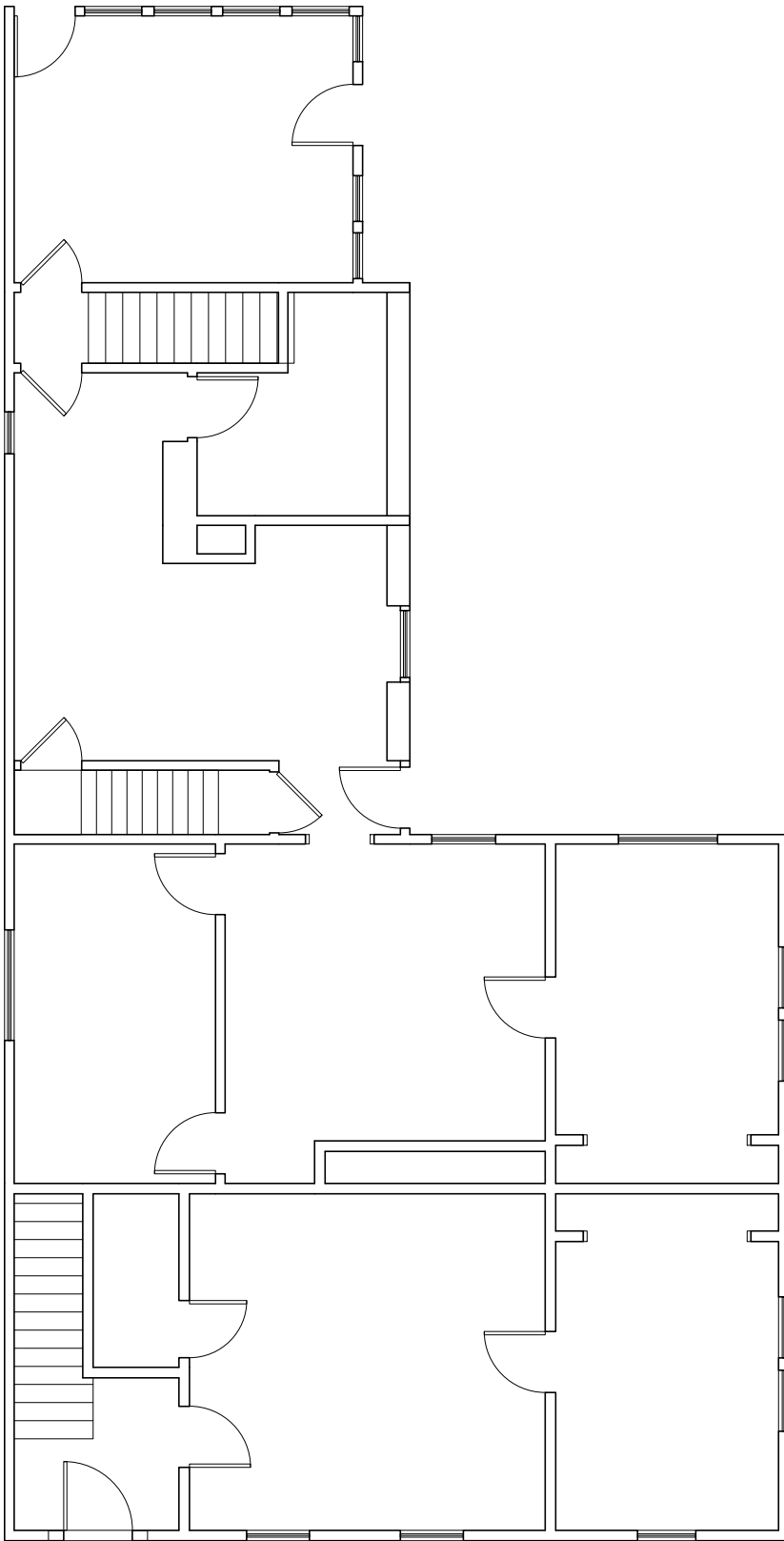


REAR ELEVATION  
1/8" = 1'-0"

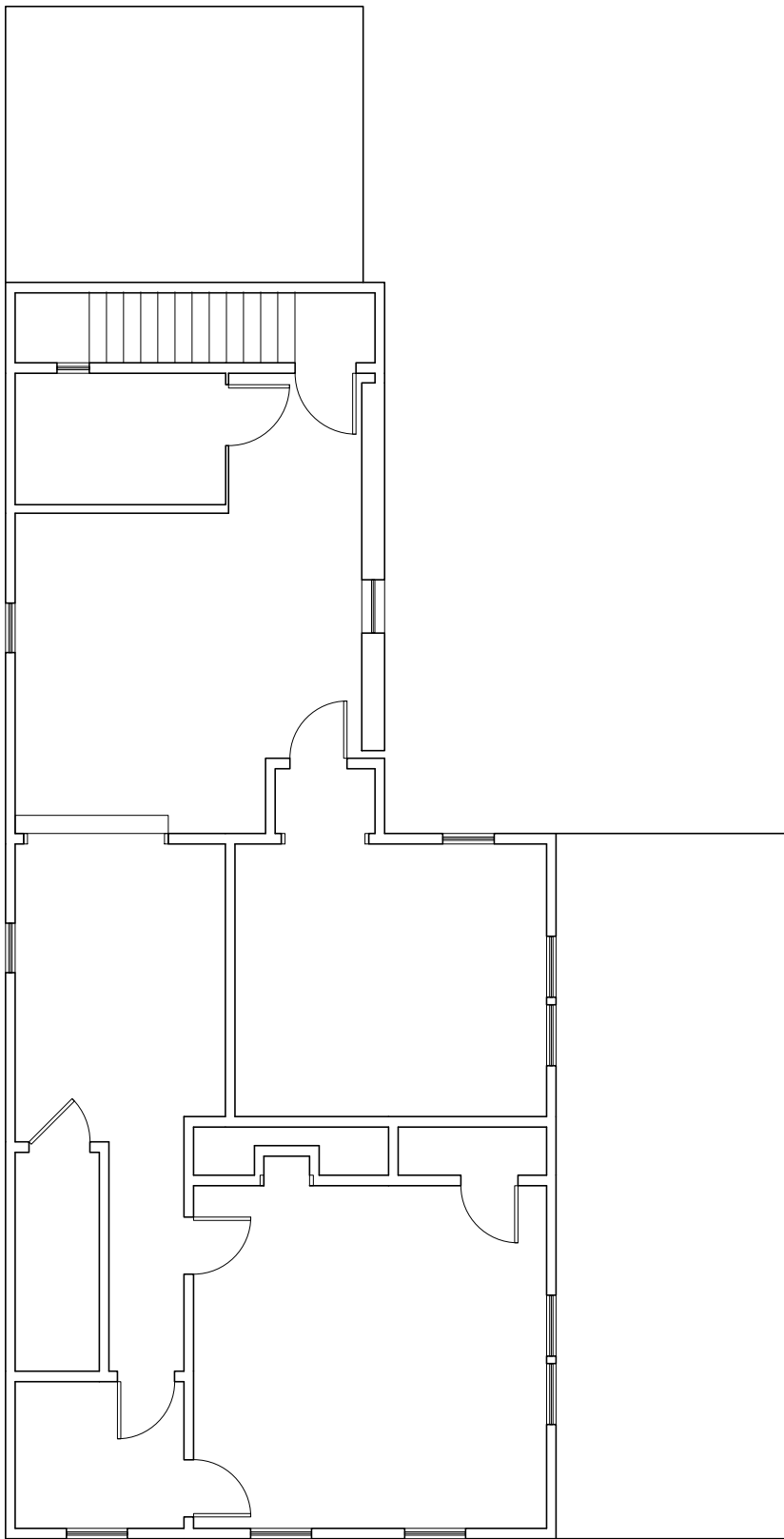
BASEMENT PLAN  
1/8" = 1'-0"



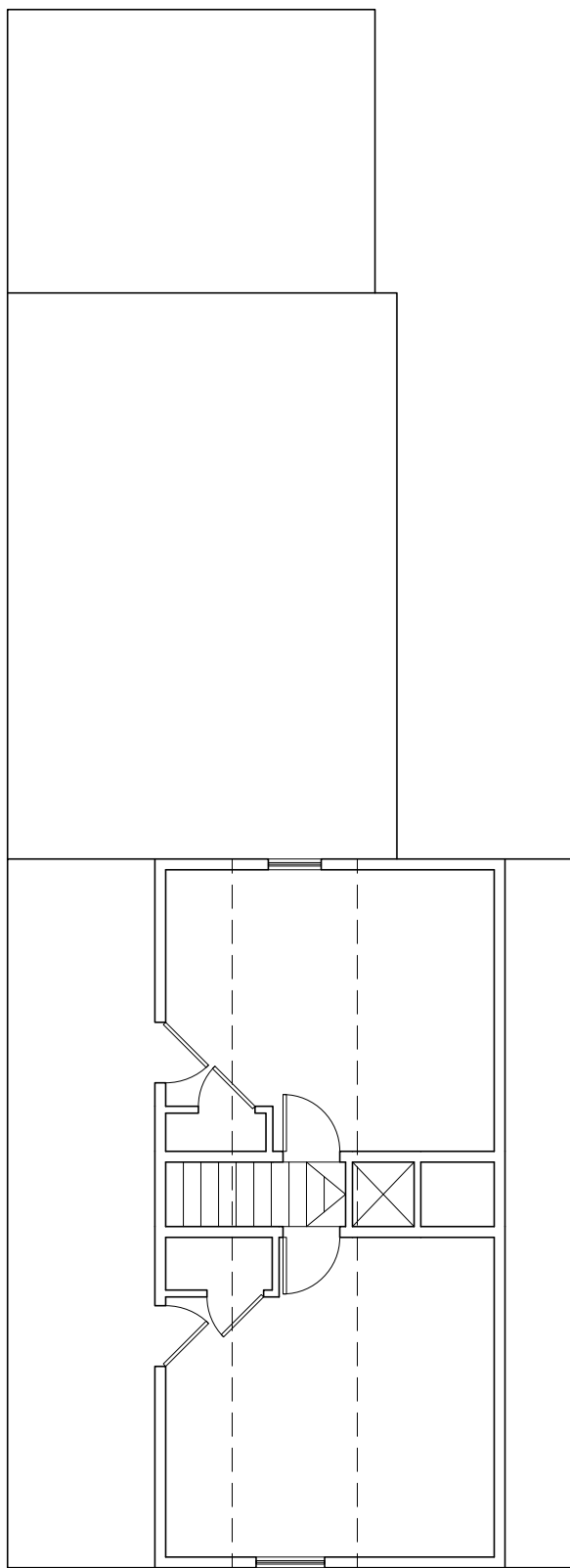
FIRST FLOOR PLAN  
1/8" = 1'-0"



SECOND FLOOR PLAN  
1/8" = 1'-0"



ATTIC PLAN  
1/8" = 1'-0"



165 FRANKLIN STREET  
ARLINGTON, MA

EXISTING CONDITIONS:  
PLANS AND ELEVATIONS

Project Title:

Drawing Title:

Project #

22028

Drawn By:  
EE

Reviewed By:  
JFR

Scale:  
1/8" = 1'-0"

Date:  
9JAN24

Drawing #:

EX1.1

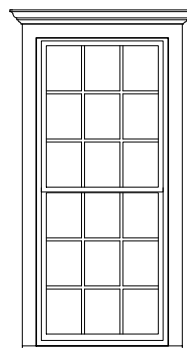
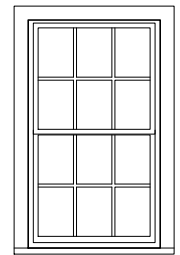
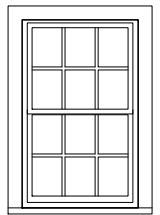
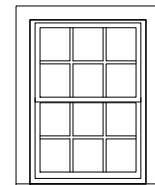




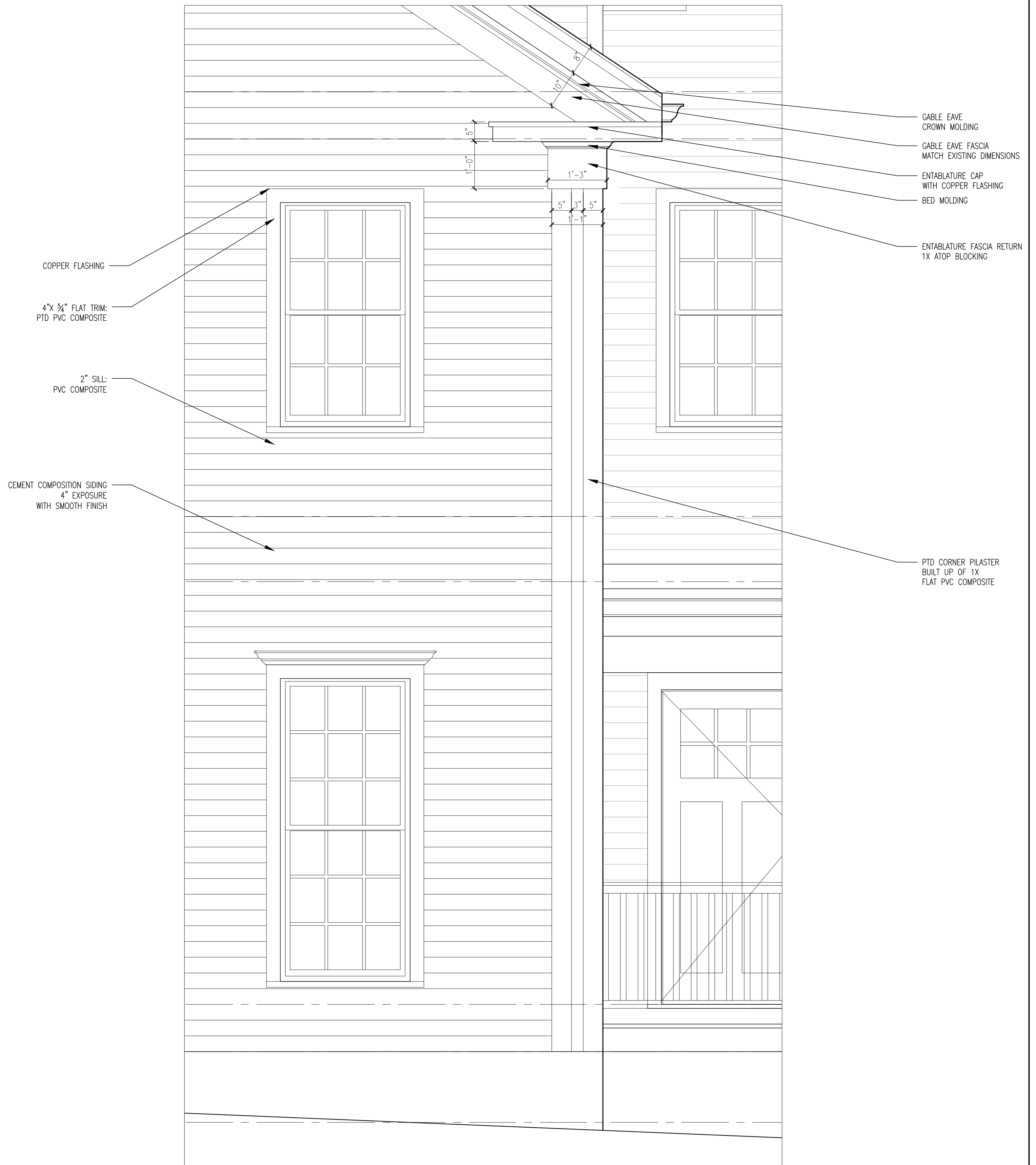






WINDOW SCHEDULE			
<p style="text-align: center;">(A)</p> 		<p style="text-align: center;">(B)</p> 	
<p>ELEVATION - 1/4" = 1'-0"</p> <p>MANUFACTURER: PELLA - LIFESTYLE UNIT NUMBER: 3377</p>		<p>ELEVATION - 1/4" = 1'-0"</p> <p>MANUFACTURER: PELLA - LIFESTYLE UNIT NUMBER: 3357</p>	
<p>WINDOW TYPE: CLAD DOUBLE-HUNG</p>		<p>WINDOW TYPE: CLAD DOUBLE-HUNG</p>	
ROUGH OPENING: 2'-9 3/4" x 6'-5 3/4"	HEADER HEIGHT: TBD	ROUGH OPENING: 2'-9 3/4" x 4'-9 3/4"	HEADER HEIGHT: TBD
<p>REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS</p>		<p>REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS</p>	
<p style="text-align: center;">(C)</p> 		<p style="text-align: center;">(D)</p> 	
<p>ELEVATION - 1/4" = 1'-0"</p> <p>MANUFACTURER: PELLA - LIFESTYLE UNIT NUMBER: 2947</p>		<p>ELEVATION - 1/4" = 1'-0"</p> <p>MANUFACTURER: PELLA - LIFESTYLE UNIT NUMBER: 2941</p>	
<p>WINDOW TYPE: CLAD DOUBLE-HUNG</p>		<p>WINDOW TYPE: CLAD DOUBLE-HUNG</p>	
ROUGH OPENING: 2'-5 3/4" x 3'-11 3/4"	HEADER HEIGHT: TBD	ROUGH OPENING: 2'-5 3/4" x 3'-5 3/4"	HEADER HEIGHT: TBD
<p>REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS</p>		<p>REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS</p>	

NOTES:  
VERIFY ALL ROUGH OPENINGS. QUANTITIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. PROVIDE TEMPERED GLAZING AT ALL HAZARD LOCATIONS. VERIFY EGRESS DIMENSIONS AT REQUIRED LOCATIONS.



CORNER BOARD DETAILS  
3/4" = 1'-0"

165 FRANKLIN STREET  
ARLINGTON, MA

## PROPOSED RENOVATIONS: EXTERIOR DETAILS

Project #	
22028	
Drawn By: EE	Reviewed By: JFR
Scale: 1" = 1'-0"	Date: 9JAN24
Drawing #:	

SD3.1



A



IMAGE 1  
FRONT



IMAGE 2  
FRONT



IMAGE 3  
FRONT

B



IMAGE 4  
FRONT CIRCA 1980 - MHC IMAGE



IMAGE 5  
FRONT RIGHT CORNER



IMAGE 6  
REAR RIGHTSIDE

C

D

LR Designs

DESIGNERS, ARCHITECTS, PLANNERS, DEVELOPMENT ADVISORS

64 ALSTON STREET, SUITE 5

CAMBRIDGE, MA 02139

LRDESIGNINC.COM

Project Title:

165 FRANKLIN STREET  
ARLINGTON, MA

Drawing Title:

PHOTO MONTAGE

Project #

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

Date:

9JAN24

Drawing #:

IMAGES



A



B



C



D

1

53 of 132 2

3

4

5



A

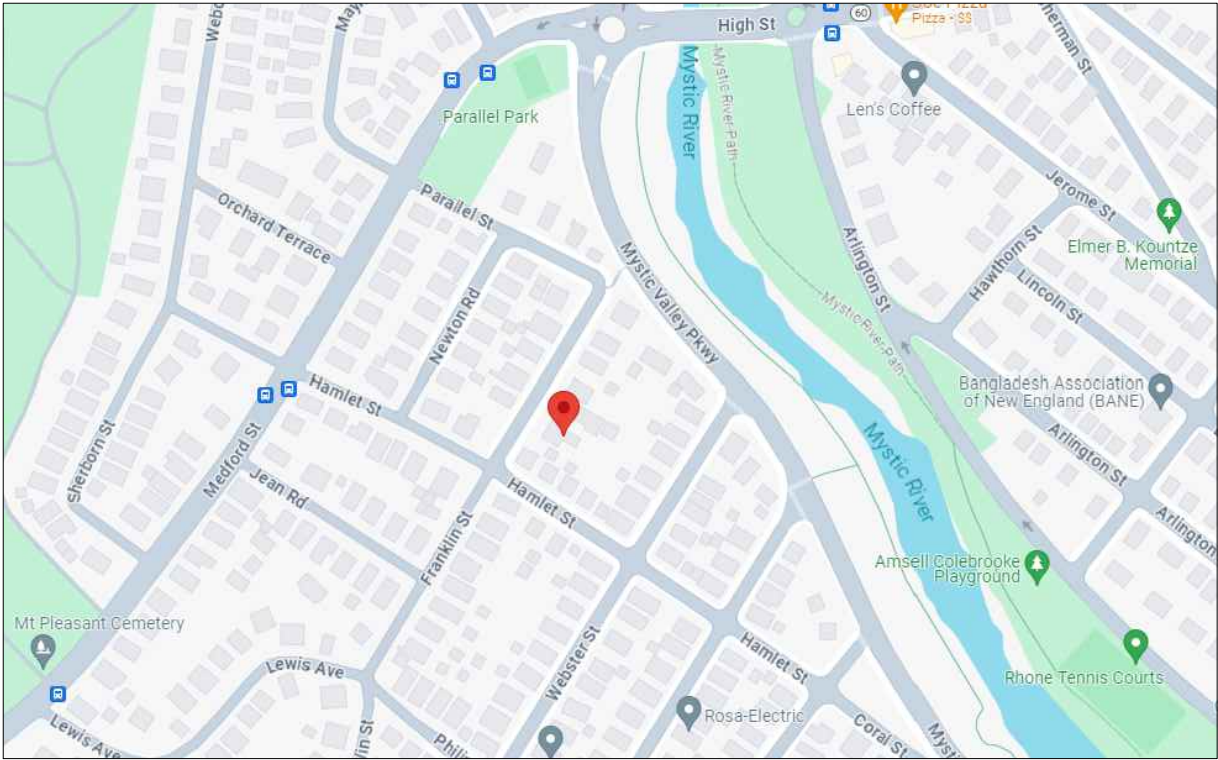
B

C

D








PROJECT LOCATION:  
**165 FRANKLIN ST.**  
**ARLINGTON, MA**  
ZONING DISTRICT R2- TWO- FAMILY

STRUCTURAL NOTES: ARLINGTON, MA LOADS, PER 780 CMR:  
LIVE LOADS 30lb.s/SF (BEDROOMS)  
40lb.s/SF (OTHER ROOMS)  
GROUND SNOW LOAD 40lb.s/SF  
WIND LOAD 127MPH

LIST OF DRAWINGS	
	PERMIT SET
ISSUED	NOV. 15, 2021
COVER	●
Z0.1 ZONING INFORMATION	●
SURVEY	●
EX1.1 EXISTING CONDITIONS: PLANS	●
EX1.2 EXISTING CONDITIONS: PLANS	●
EX2.1 EXISTING CONDITIONS: ELEVATIONS	●
A1.1 PROPOSED PLANS	●
A1.2 PROPOSED PLANS	●
A1.3 PROPOSED PLANS	●
A1.4 PROPOSED PLANS	●
A1.5 PROPOSED PLANS	●
A1.6 PROPOSED PLANS	●
A2.1 PROPOSED ELEVATIONS	●
A3.1 PROPOSED BUILDING DETAILS	●

**INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT: 780 CMR (2021 IECC)**

Building Envelope- Climate Zone 5 Group R	R402.1.3
Roofs	
Attic and other	R-60
Walls, Above Grade	
Wood framed & other	R-20+5
Walls, Below Grade	
Crawlspace Walls	R-15/19
Basement Walls	R-15/19
Floors	
Joist/Framing	R-30
Slab Floors	
Unheated slabs	R-10 for 48 in.
Glazed Fenestration	
Fenestration U- Factor	U-0.30
Skylights	U-0.55
Glazed	U-0.40



DESIGNERS, ARCHITECTS, DEVELOPERS, ADVISORS

165 Franklin Street  
Arlington, MA

PROJECT INFORMATION

Revisions:

#	Description	date

Project # 23057

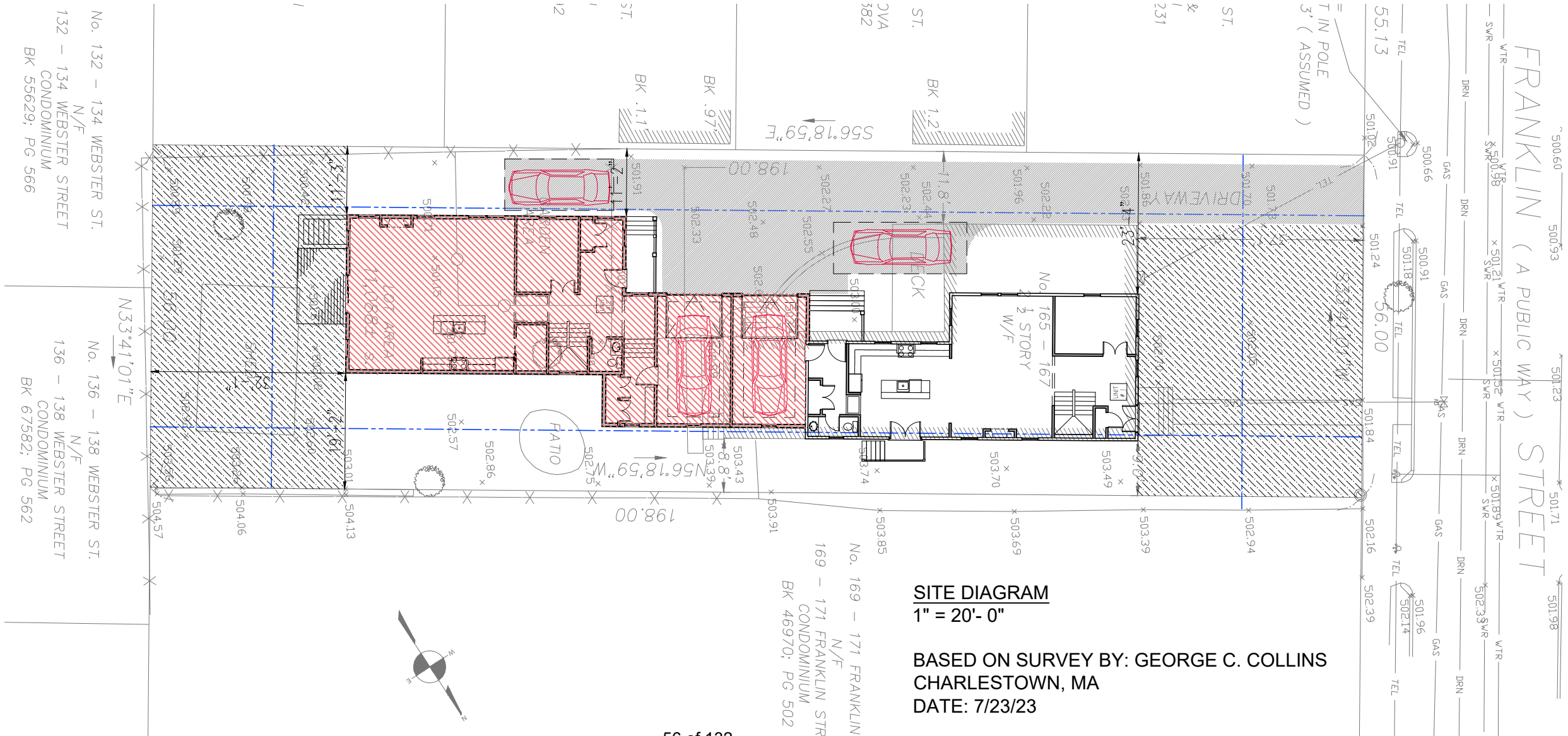
Scale: 1/8" = 1'-0"

Date: 09JAN24

Drawing # COVER



ZONING DATA PER SEC. 94-171 - GENERAL DIMENSIONAL REGULATIONS					
	ZONING DISTRICT - GR- General Residential (Single-Family)	ALLOWED	EXISTING	PROPOSED	COMPLIANCE
A	LOT AREA MIN.	5,000	6,325	NO CHANGE	CONFORMS
B	LOT FRONTAGE MIN. (FT)	35	61.75	NO CHANGE	CONFORMS
C	LOT WIDTH MIN. (FT)	60	61.75	NO CHANGE	CONFORMS
D	LOT DEPTH MIN. (FT)	60	101	NO CHANGE	CONFORMS
E	FRONT YARD MIN. DEPTH (FT)	15	11	ADDITION (15.8)	EXISTING NON-CONFORMING (ADDITION CONFORMS)
F	SIDE YARD MIN. WIDTH - RIGHT	7.5	25.8	18.1	CONFORMS
G	SIDE YARD MIN. WIDTH - LEFT	7.5	21	NO CHANGE	CONFORMS
H	REAR YARD MIN. DEPTH (FT)	15	45.8	NO CHANGE	CONFORMS
I	LOT COVERAGE MAX. % (1,078 / 6,325)	40	12.8	17	CONFORMS
J	BUILDING HEIGHT MAX. (STORIES / FT)	2.5 / 35	23.3	NO CHANGE	CONFORMS



SITE DIAGRAM

1" = 20'- 0"

BASED ON SURVEY BY: GEORGE C. COLLINS  
CHARLESTOWN, MA  
DATE: 7/23/23

L.R. Designs

DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

CHARLESTOWN STREET  
SUITE 5  
CHARLESTOWN, MA 02129  
617.568.2119  
LRDESIGNMA.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

ZONING INFORMATION

Revisions:		
#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

Date:

09JAN24

Drawing #

Z0.1





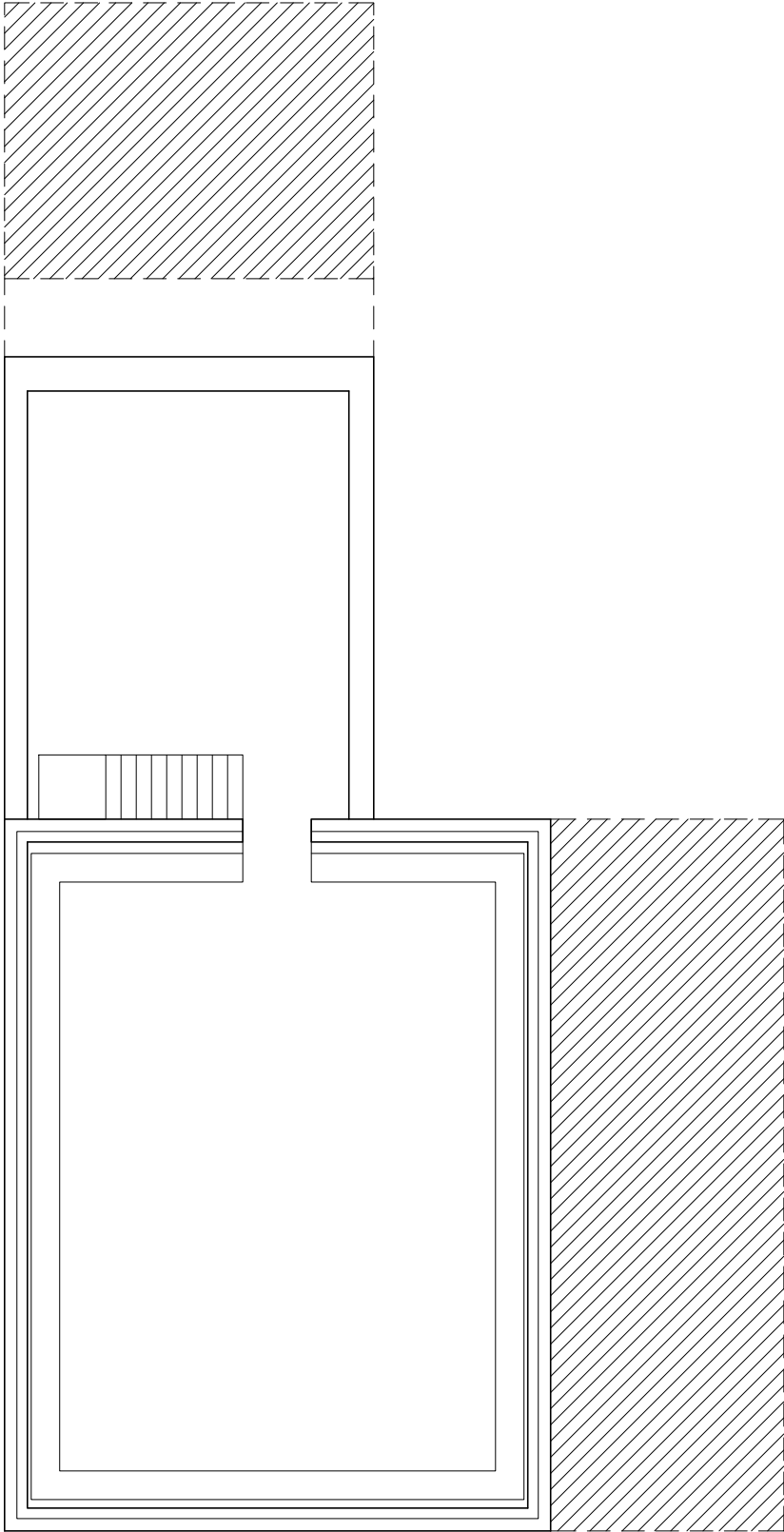


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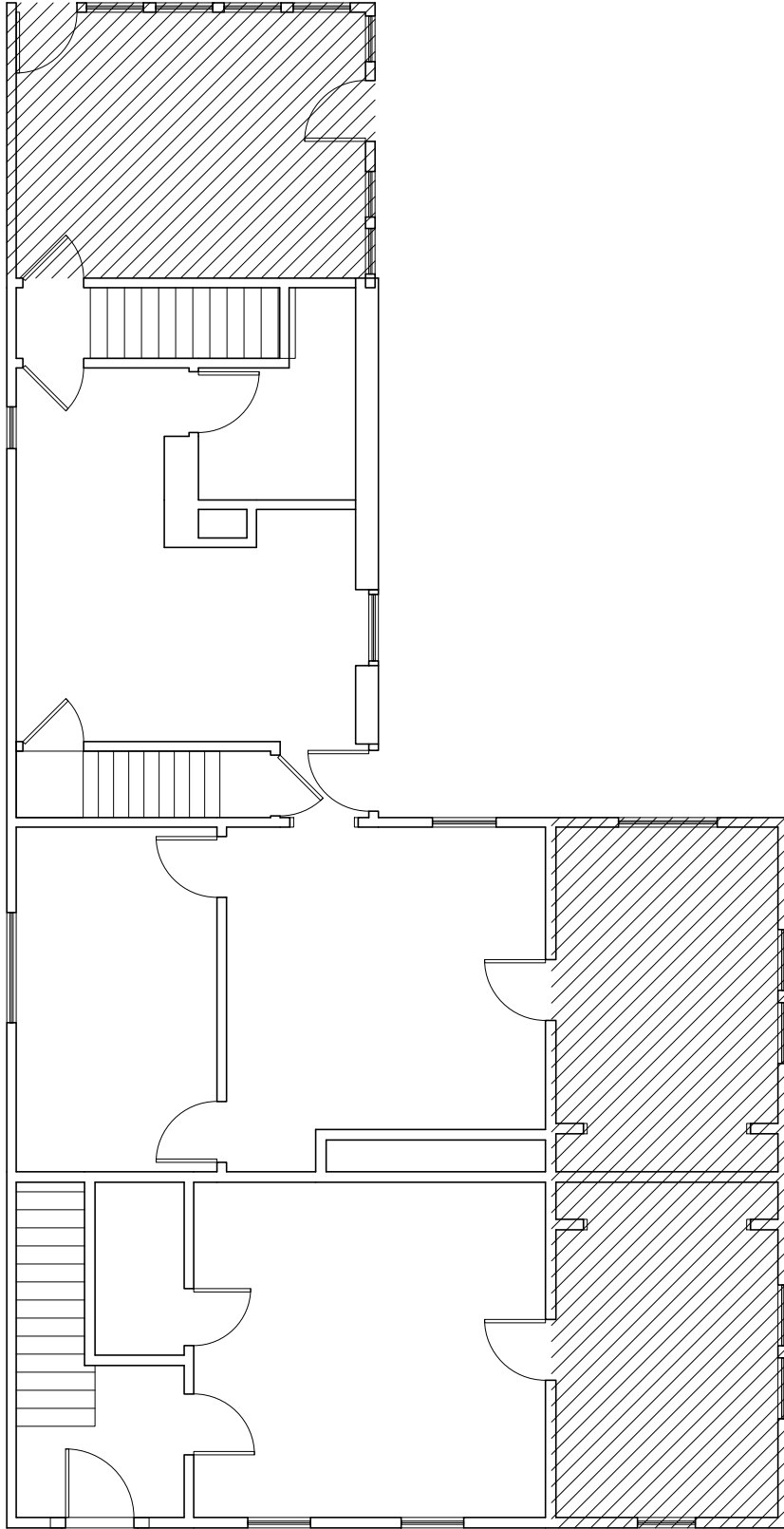
B

C

D



**BASEMENT PLAN**  
1/8" = 1'-0"



**FIRST FLOOR PLAN**  
1/8" = 1'-0"

2

3

4

5

Revisions:		
#	Description	date

Project #  
23057

Scale:  
1/8" = 1'-0"

Date:  
09JAN24

Drawing #  
**EX1.1**

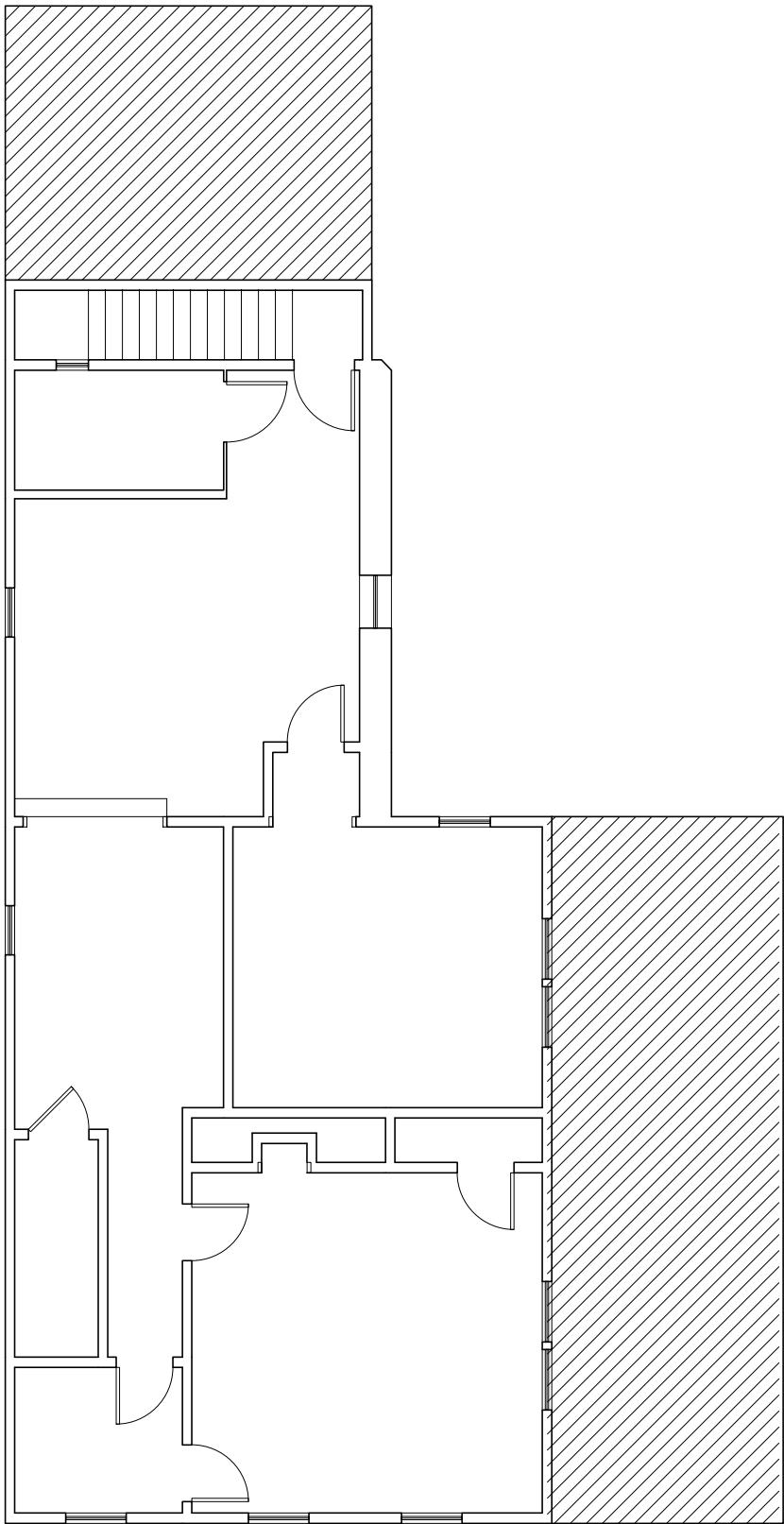


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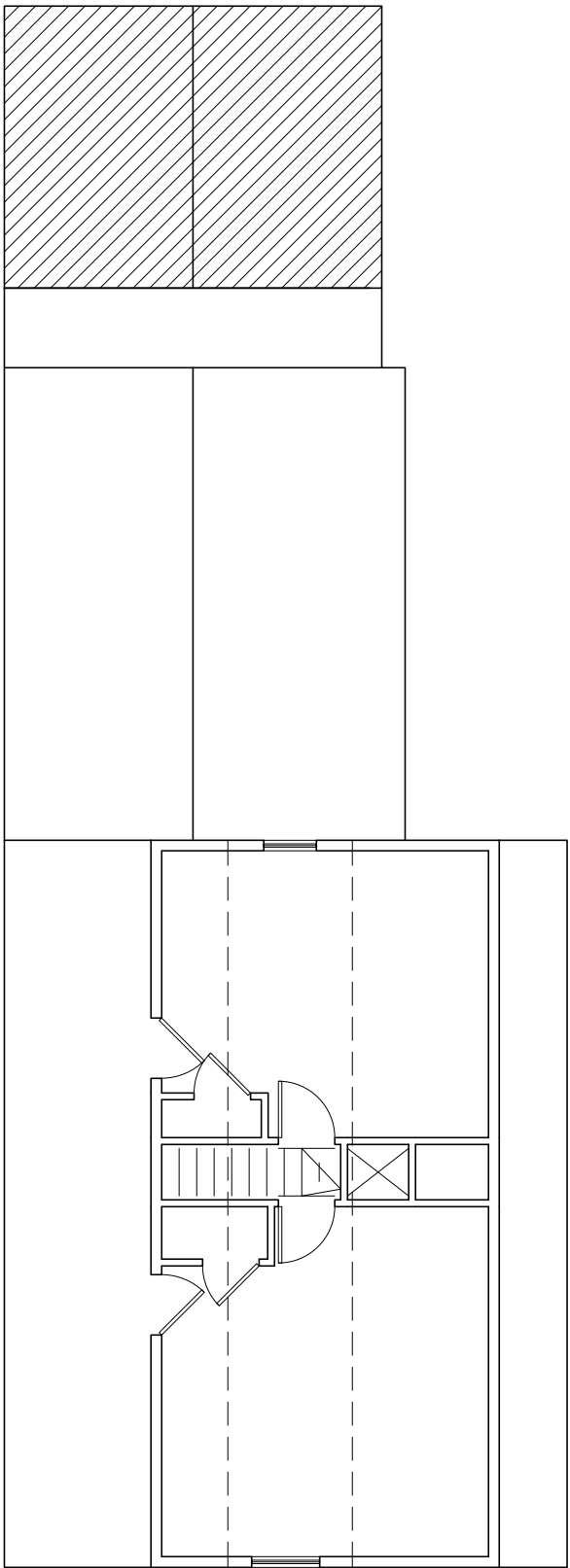
B

C

D



SECOND FLOOR PLAN  
1/8" = 1'-0"



ATTIC PLAN  
1/8" = 1'-0"

**L.R. Designs**

DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 FRANKLIN STREET

SUITE 5

ARLINGTON, MA 02159

617.568.2119

LRDESIGNSONLINE.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

EXISTING CONDITIONS:  
FLOOR PLANS

Revisions:		
#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

Date:

09JAN24

Drawing #

EX1.2





165 Franklin Street  
Arlington, MA

ing Title:

**EXISTING CONDITIONS:  
EXTERIOR ELEVATIONS**

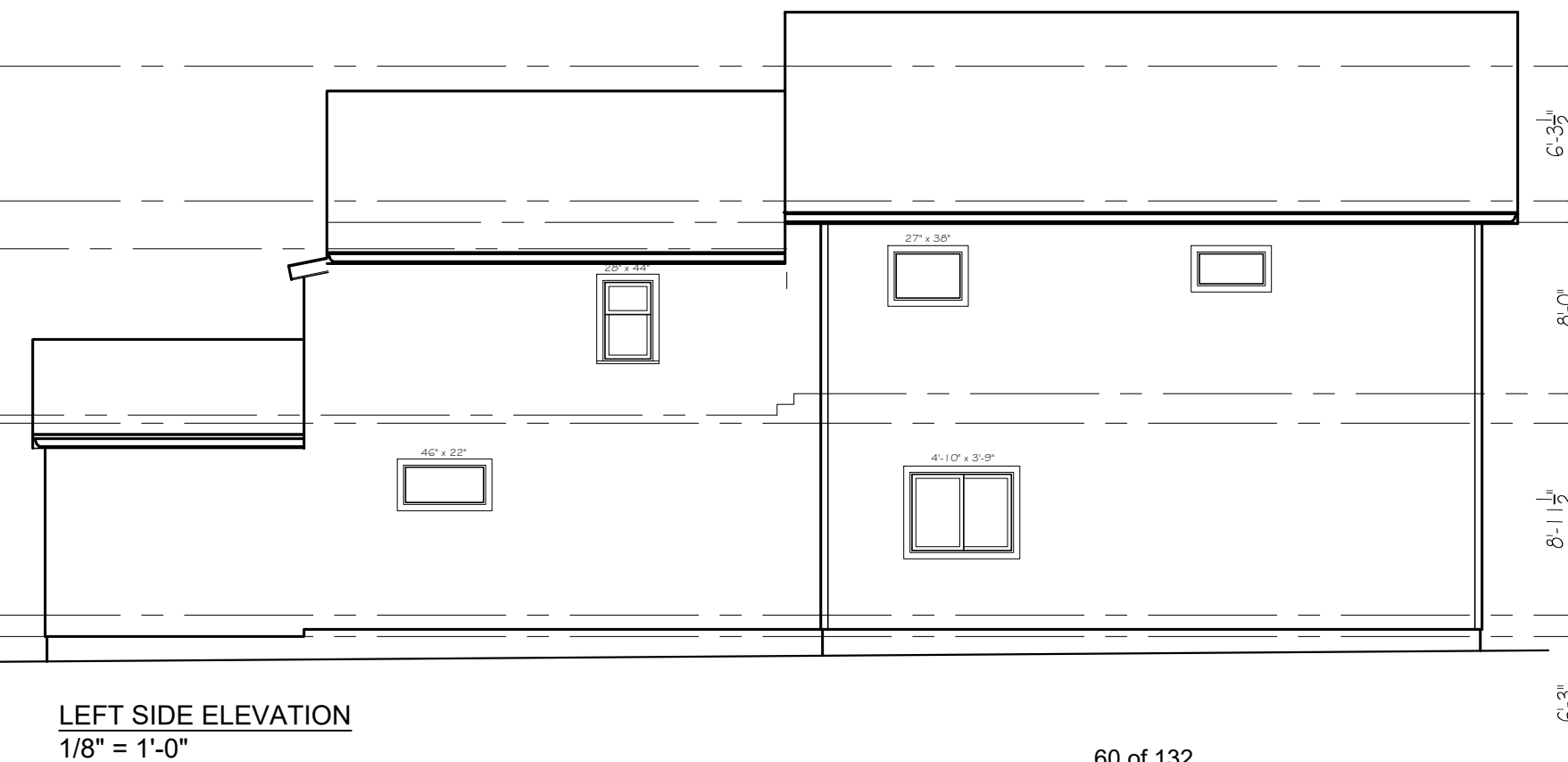
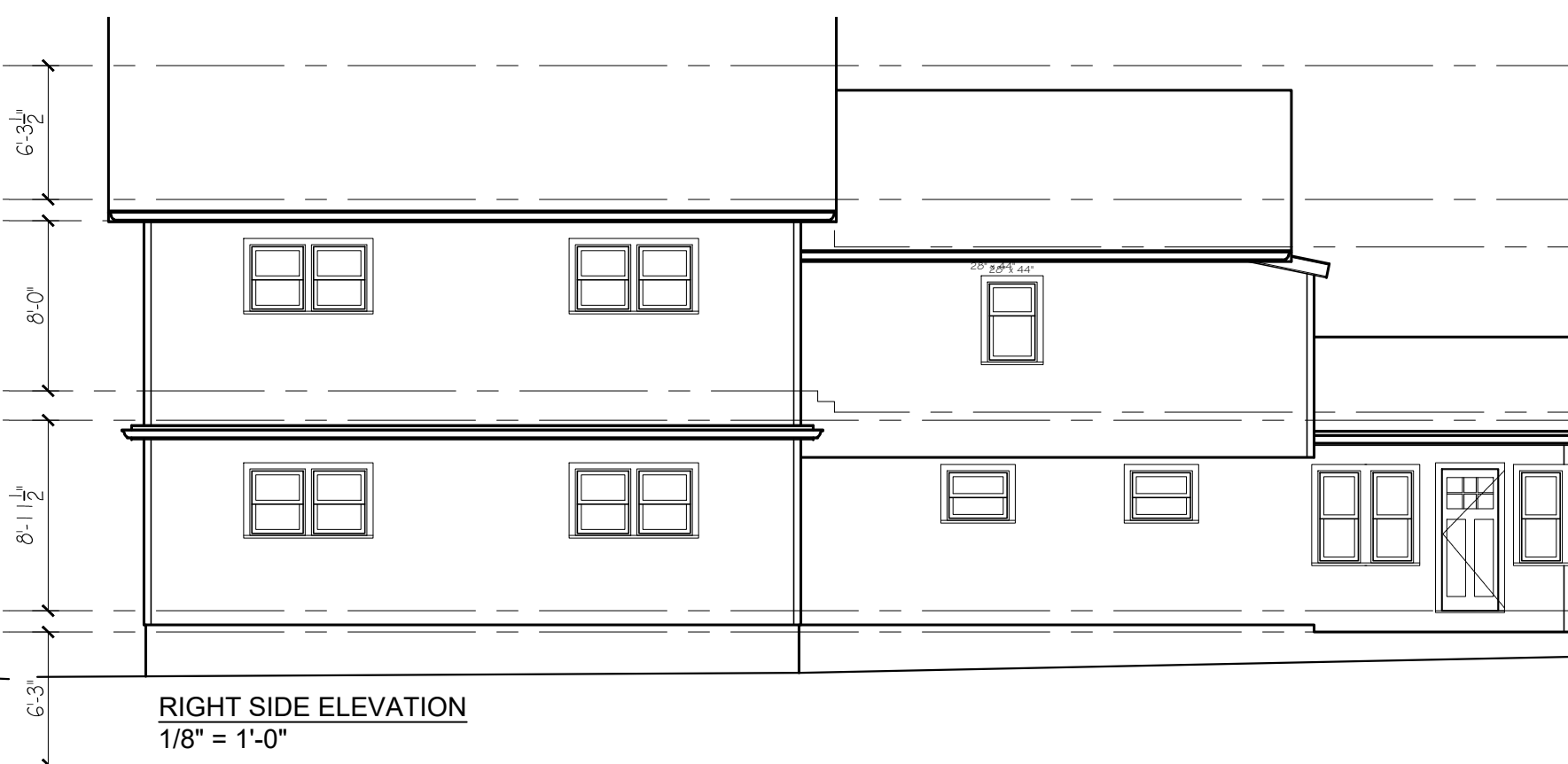
Revisions:		
#	Description	date

Project #	23057
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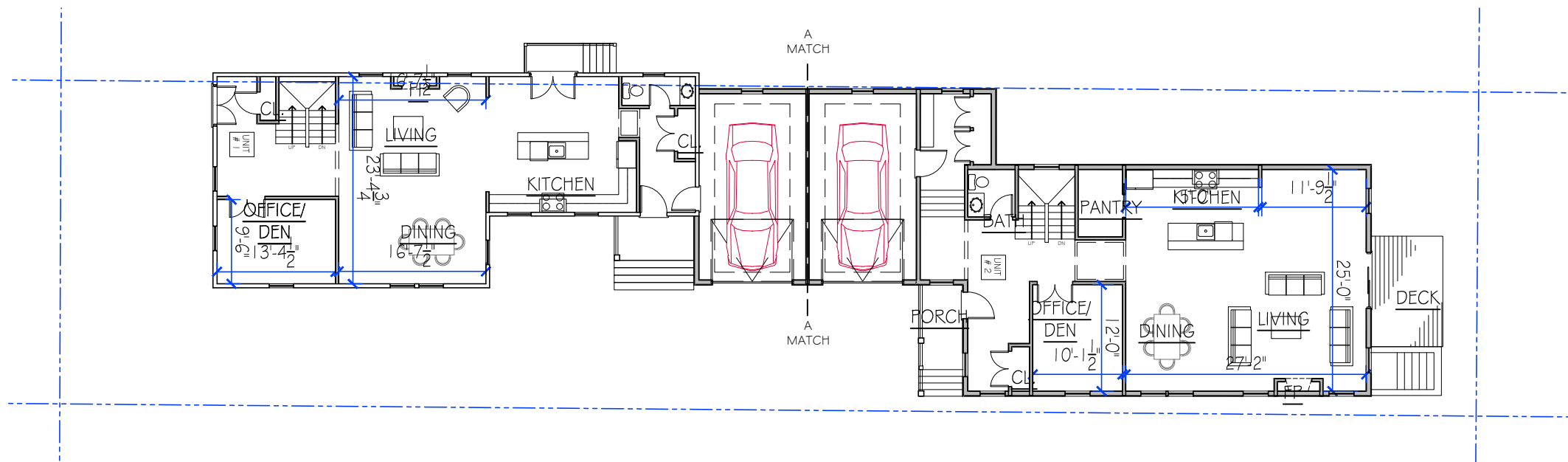
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Date: 09JAN24

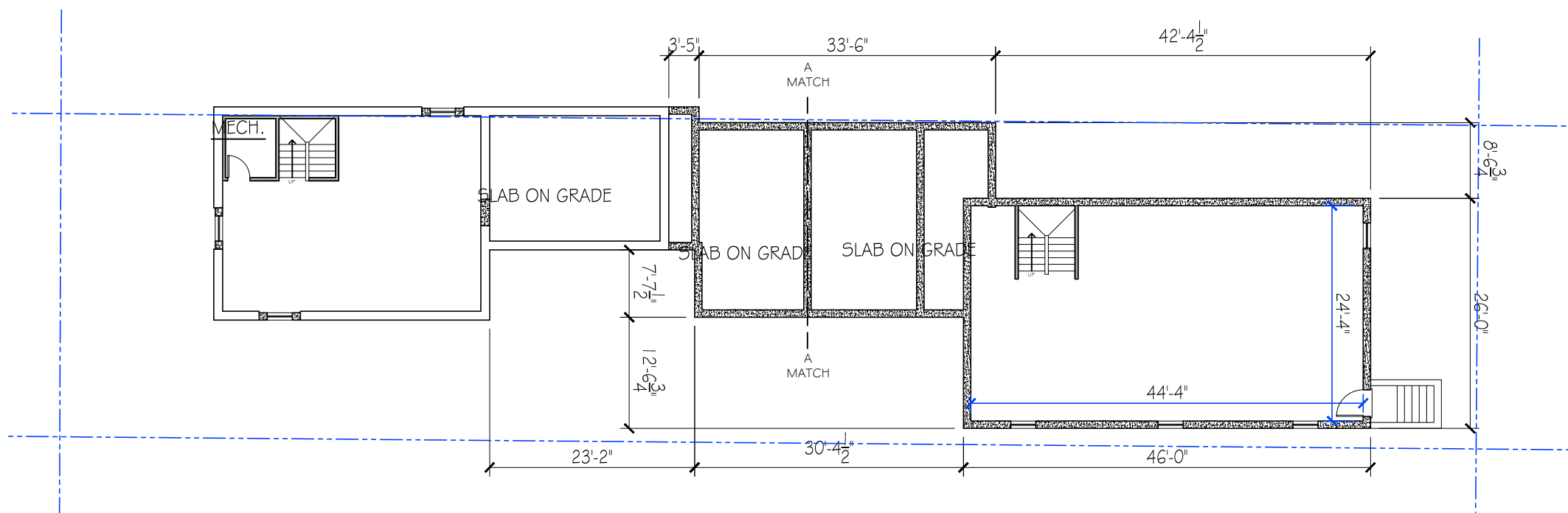
Drawing # **EX2.1**







**FIRST FLOOR PLAN**  
1/16" = 1'-0"



**BASEMENT PLAN**  
1/16" = 1'-0"

LEGEND	
	1 HOUR RATED ASSEMBLY
	PROPOSED NEW WALL
	1 HOUR RATED EXTERIOR WALL BASED ON UL V340
	SMOKE/CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	HEAT DETECTOR

NOTE ON DIMENSIONS:  
DIMENSIONS ARE FROM FACE OF NEW  
FRAMING, UNLESS OTHERWISE NOTED.

Project Title:  
**165 Franklin Street  
Arlington, MA**

Drawing Title:  
**PROPOSED RENOVATIONS:  
FLOOR PLANS**

Revisions:		
#	Description	date

Project #  
**23057**

Scale:  
**1/8" = 1'-0"**

Date:  
**09JAN24**

Drawing #  
**A1.1**

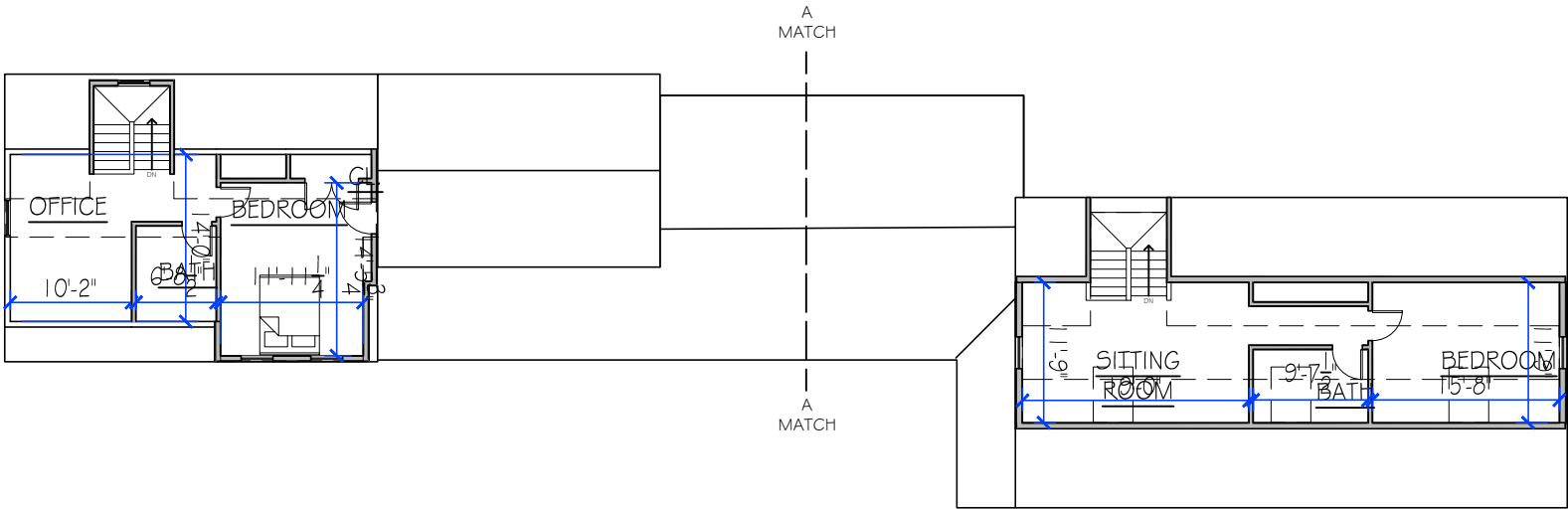


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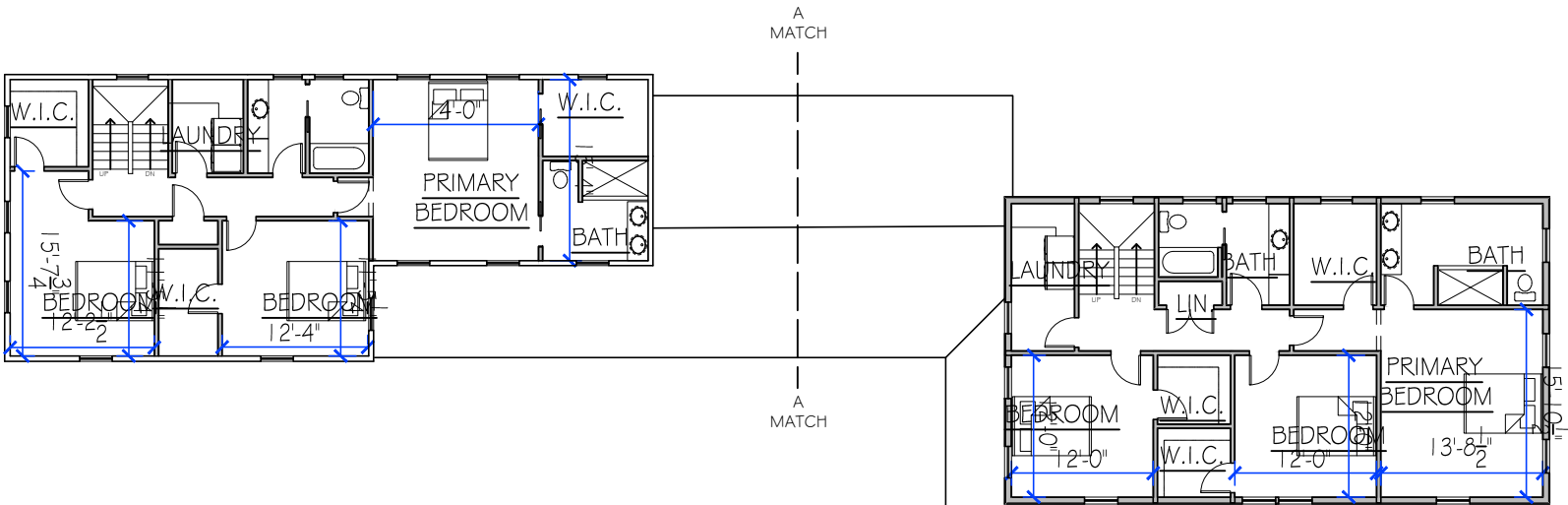
B

C

D



ATTIC PLAN  
1/16" = 1'-0"



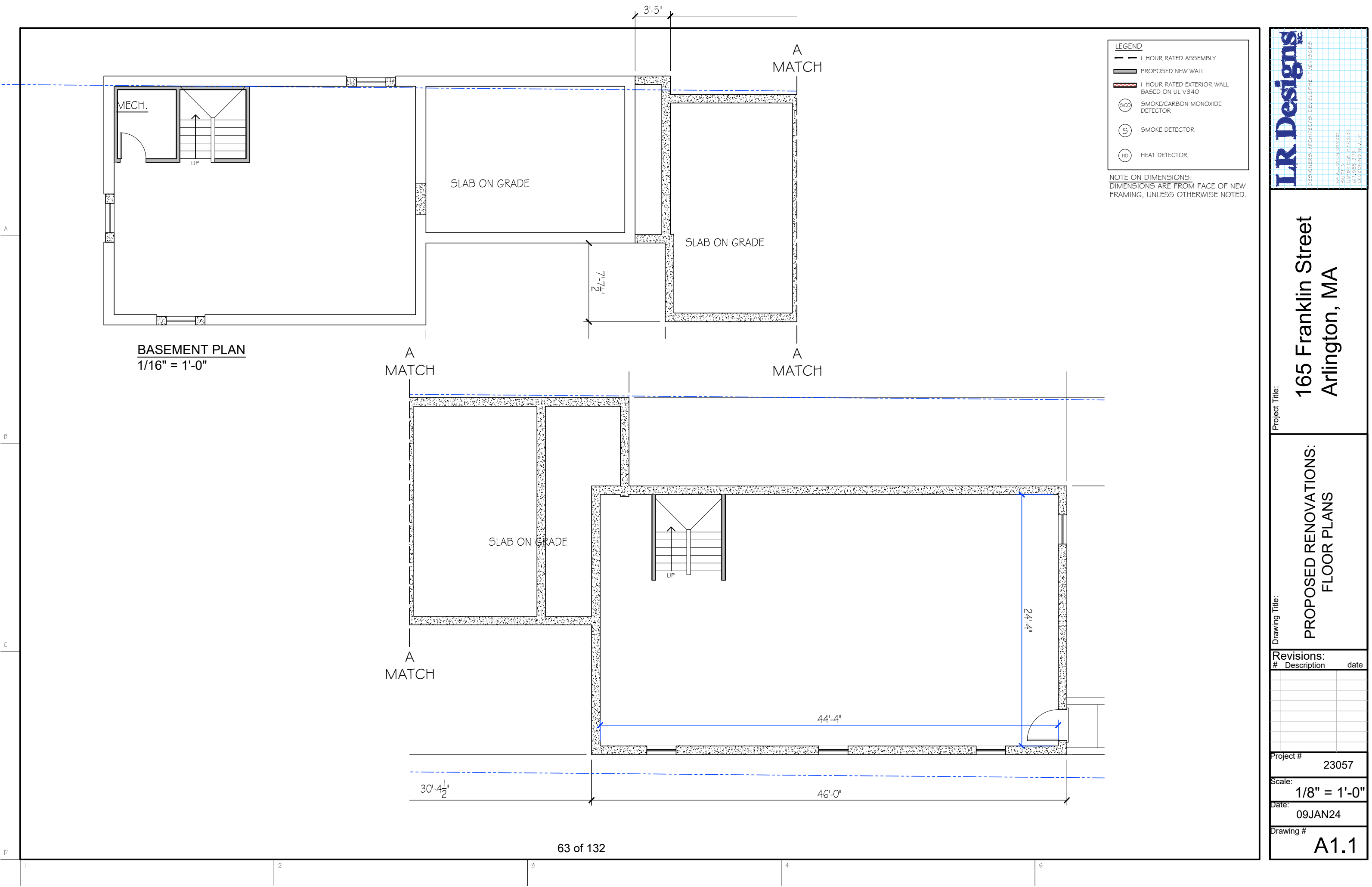
SECOND FLOOR PLAN  
1/16" = 1'-0"

LEGEND		
	1 HOUR RATED ASSEMBLY	
	PROPOSED NEW WALL	
	1 HOUR RATED EXTERIOR WALL BASED ON UL V340	
	SMOKE/CARBON MONOXIDE DETECTOR	
	SMOKE DETECTOR	
	HEAT DETECTOR	

NOTE ON DIMENSIONS:  
DIMENSIONS ARE FROM FACE OF NEW  
FRAMING, UNLESS OTHERWISE NOTED.

Revisions:		
#	Description	date





L.R. Designs

DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 FRANKLIN STREET  
SUITE 5  
ARLINGTON, MA 02159  
617.568.2119  
LRDESIGNS@GMAIL.COM

Project Title:  
165 Franklin Street  
Arlington, MA

Drawing Title:  
PROPOSED RENOVATIONS:  
FLOOR PLANS

Revisions:  
# Description date

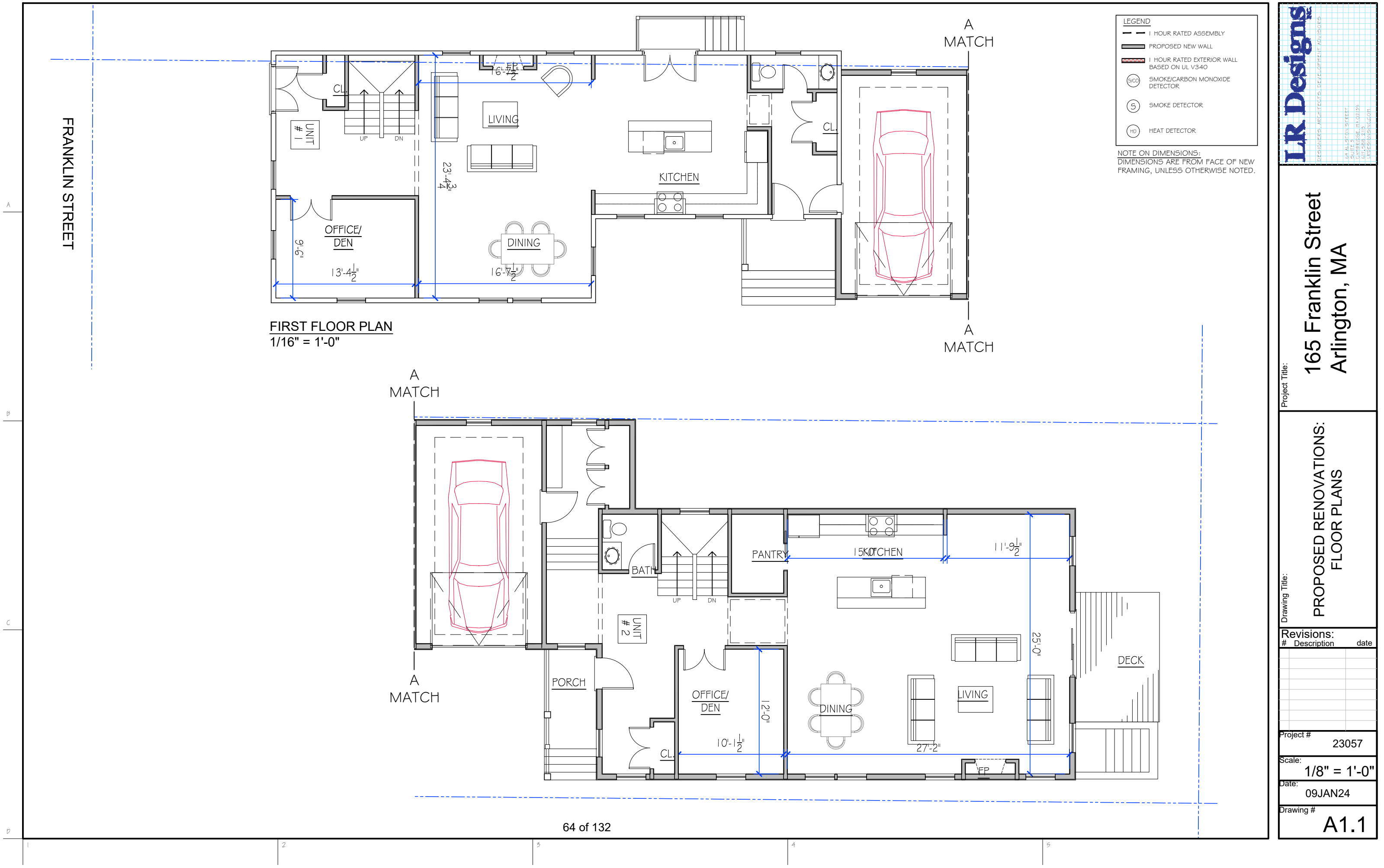
Project #  
23057

Scale:  
1/8" = 1'-0"

Date:  
09JAN24

Drawing #  
A1.1







A

B

C

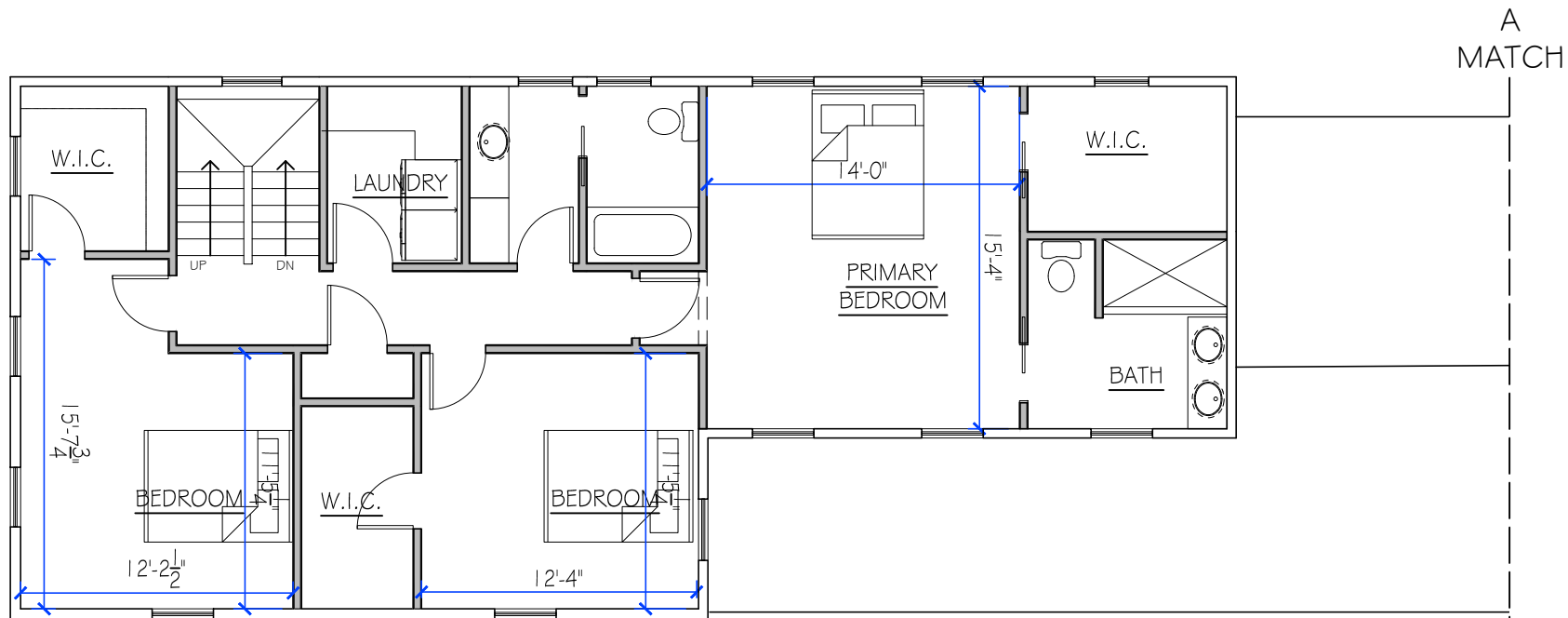
D

2

3

4

5

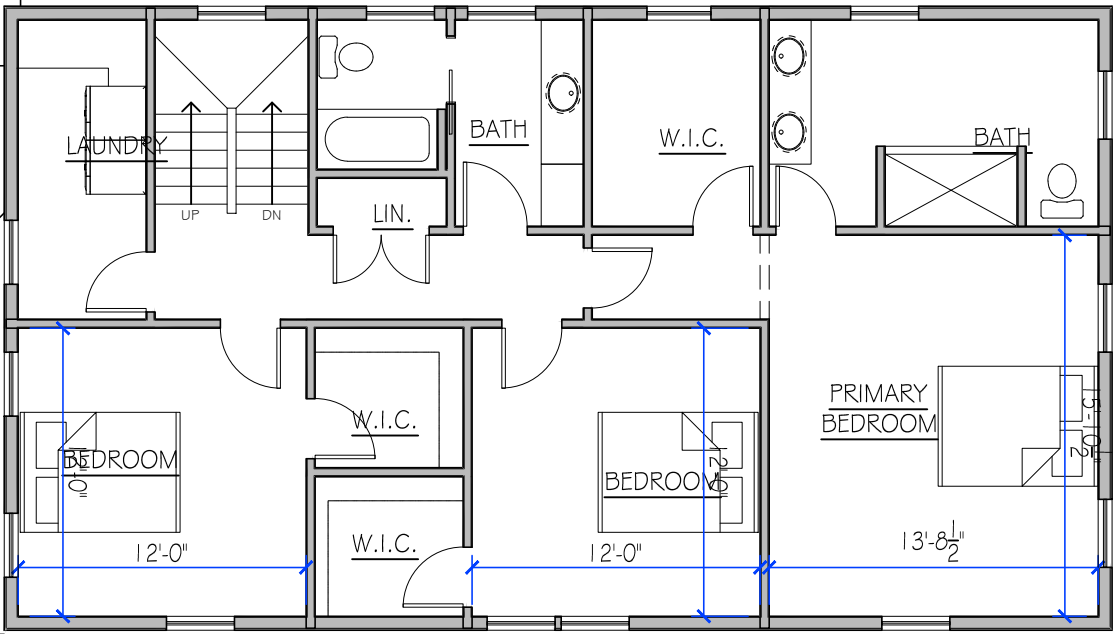


SECOND FLOOR PLAN  
1/16" = 1'-0"

A  
MATCH

A  
MATCH

A  
MATCH



LEGEND

1 HOUR RATED ASSEMBLY

PROPOSED NEW WALL

1 HOUR RATED EXTERIOR WALL  
BASED ON UL V340

SICD

SMOKE/CARBON MONOXIDE  
DETECTOR

S

SMOKE DETECTOR

HD

HEAT DETECTOR

NOTE ON DIMENSIONS:  
DIMENSIONS ARE FROM FACE OF NEW  
FRAMING, UNLESS OTHERWISE NOTED.

L.R. Designs

DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 FRANKLIN STREET  
SUITE 5  
ARLINGTON, MA 02461  
617.263.2119  
LRDESIGNS@GMAIL.COM

Project Title:  
165 Franklin Street  
Arlington, MA

Drawing Title:  
PROPOSED RENOVATIONS:  
FLOOR PLANS

Revisions:  
# Description date

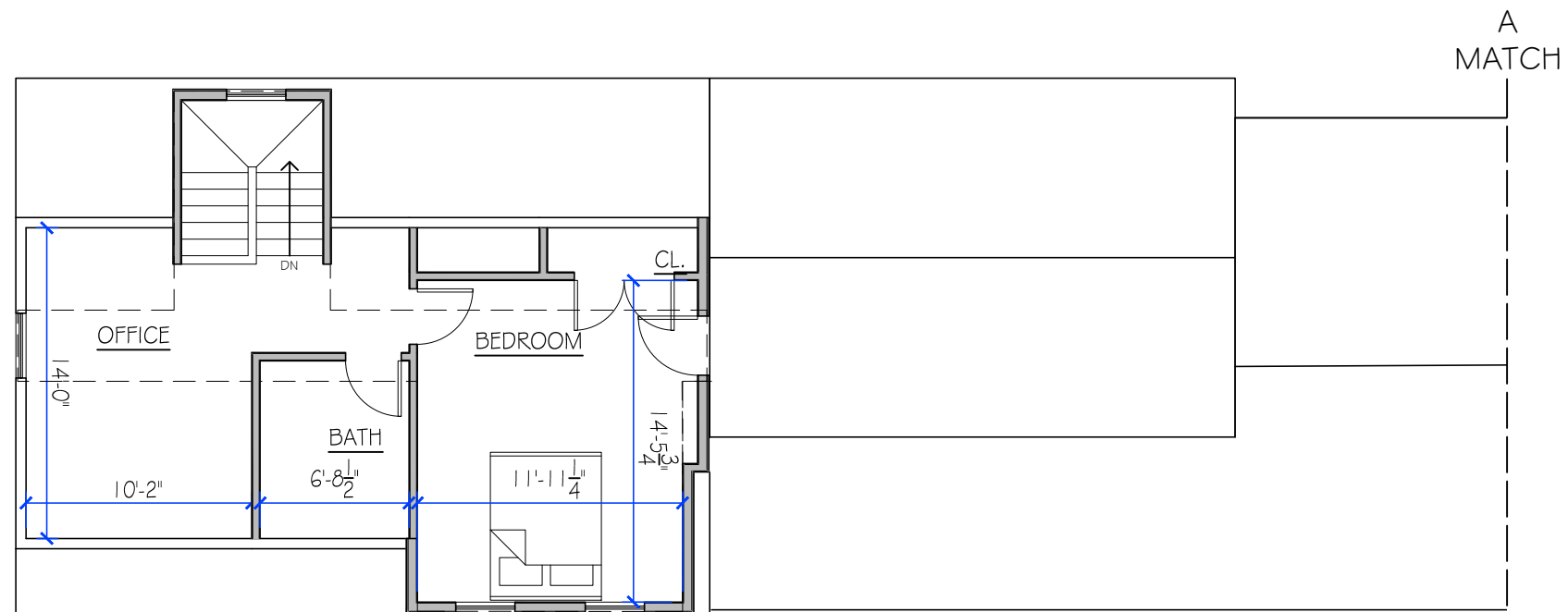
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23057

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1/8" = 1'-0"

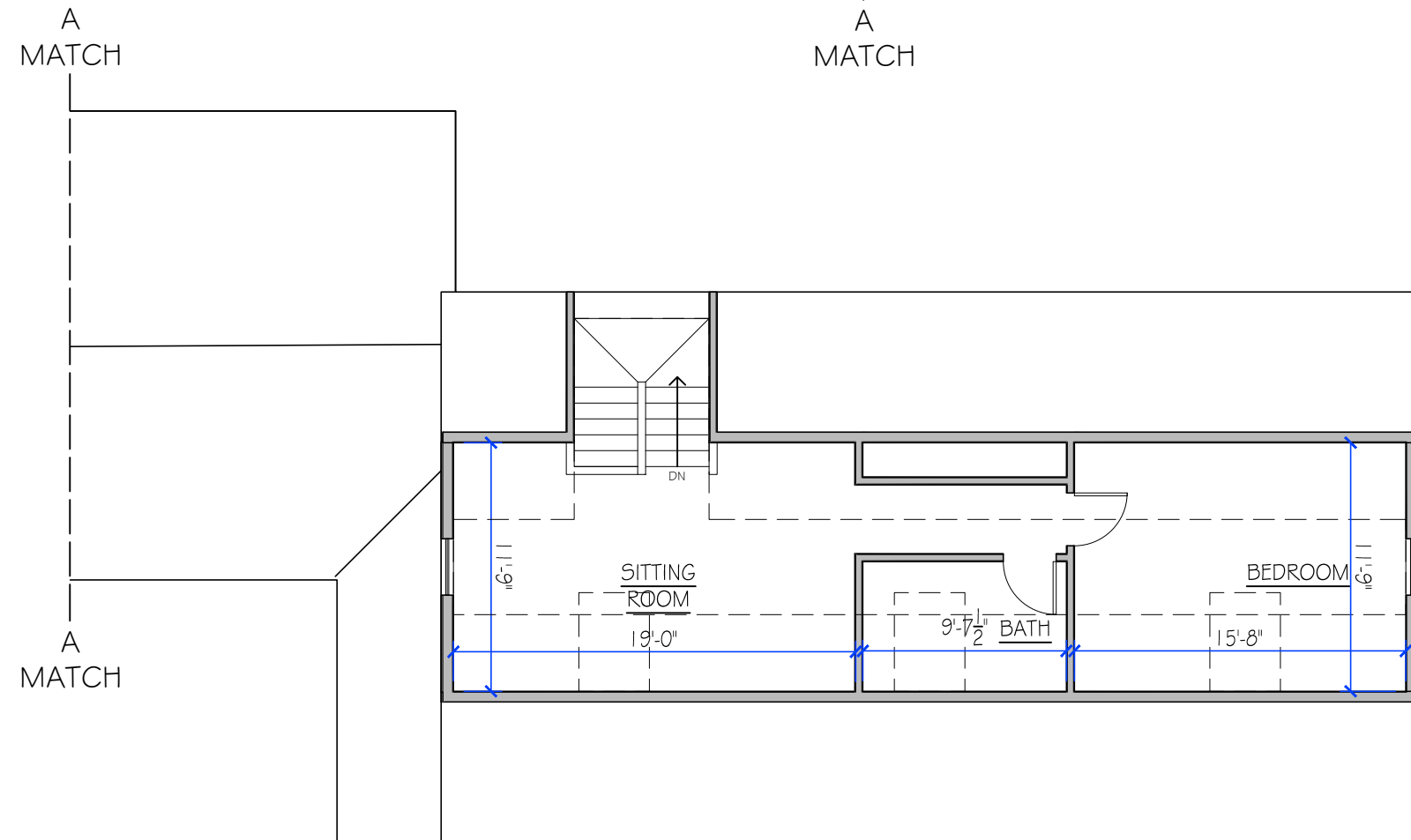
Date:  
09JAN24

Drawing #  
A1.1











ATTIC PLAN  
1/16" = 1'-0"



# A MATCH

LEGEND

-  1 HOUR RATED ASSEMBLY  
 PROPOSED NEW WALL  
 1 HOUR RATED EXTERIOR WALL BASED ON UL V340  
 SMOKE/CARBON MONOXIDE DETECTOR  
 SMOKE DETECTOR  
 HEAT DETECTOR

NOTE ON DIMENSIONS:  
DIMENSIONS ARE FROM FACE OF NEW  
FRAMING, UNLESS OTHERWISE NOTED.

**LK Designs**  
DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

64 ALLSTON STREET,  
SUITE 2  
CAMBRIDGE, MA 02159  
617.288.2112  
LRDESIGNINC.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

## PROPOSED RENOVATIONS: FLOOR PLANS

Revisions:

[illegible]

Project #

23057

Scale:

1/8" = 1'-0"

Date: \_\_\_\_\_

09JAN24

Drawing #

## A1.1



A

B

C

D

2

3

4

5



FRONT ELEVATION  
1/16" = 1'-0"



RIGHT SIDE ELEVATION  
1/16" = 1'-0"



LEFT SIDE ELEVATION  
1/16" = 1'-0"



REAR ELEVATION  
1/16" = 1'-0"

Revisions:		
#	Description	date

Project #	23057
Scale:	1/8" = 1'-0"
Date:	09JAN24
Drawing #	A2.1



Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

PROPOSED RENOVATIONS:  
BUILDING DETAILS

Revisions:

#	Description	date

Project #

23057

Scale:

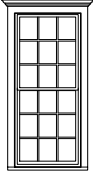
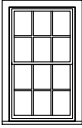
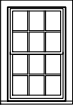

1/4" = 1'-0"

Date:

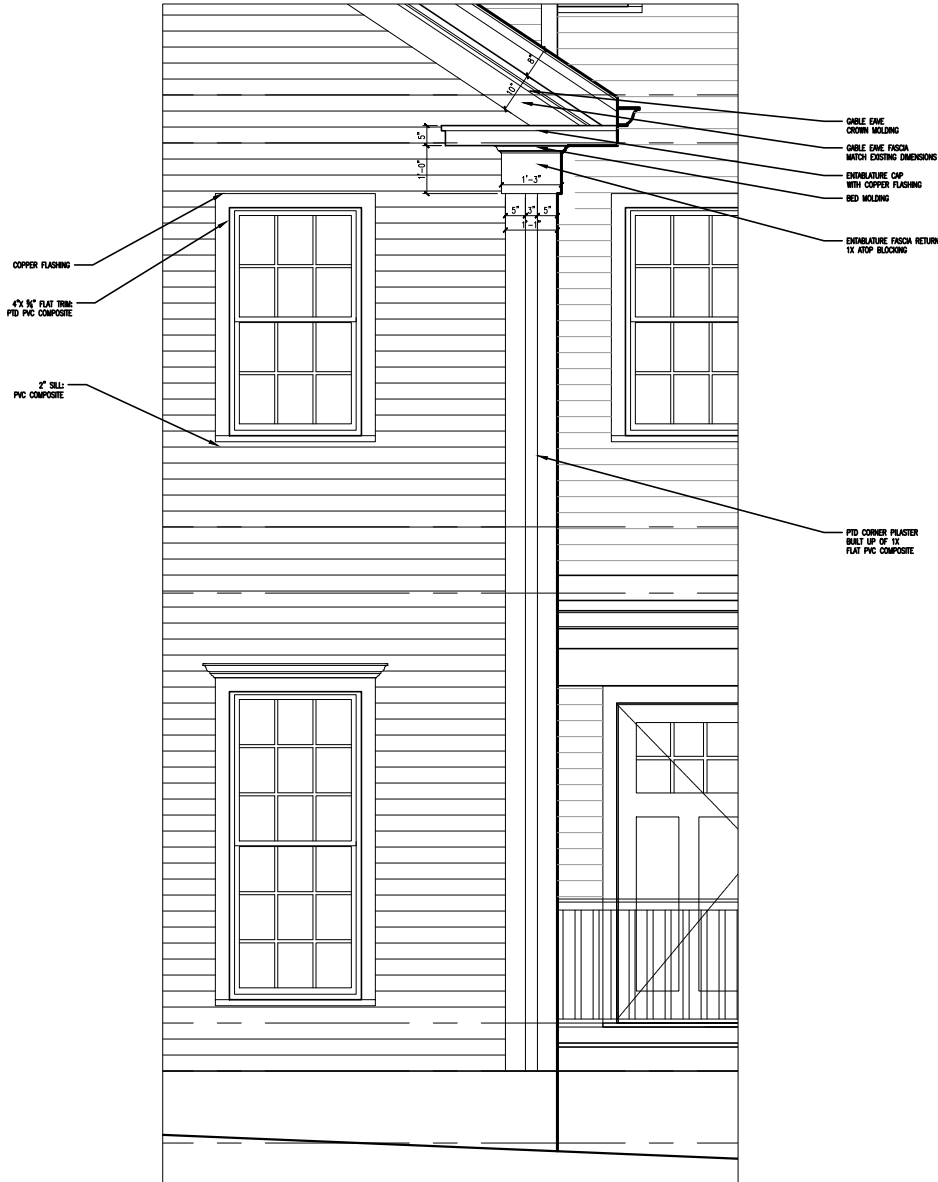
09JAN24

Drawing #

A3.1

WINDOW SCHEDULE							
A		B		C		D	
							
ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"	
MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 3377	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 3357	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 2947	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 2941
WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG	
ROUGH OPENING 2'-9 3/4" x 6'-5 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'-9 3/4" x 4'-9 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'-5 3/4" x 3'-11 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'-5 3/4" x 3'-5 3/4"	HEADER HEIGHT TBD
REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS	

NOTES:  
VERIFY ALL ROUGH OPENINGS. QUANTITIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.  
PROVIDE TEMPERED GLAZING AT ALL HAZARD LOCATIONS. VERIFY EGRESS DIMENSIONS AT REQUIRED LOCATIONS.



CORNER BOARD DETAILS  
1/4" = 1'-0"



I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JULY 21, 2023 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ELEVATIONS SHOWN HEREON ARE RELATIVE TO A ASSUMED DATUM OF 500.0'

BENCHMARK:  
MAG NAIL SET IN UTILITY POLE  
ELEV. = 502.3' ( ASSUMED )

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS  
ZONE: X  
COMMUNITY PANEL: 25017C0417E  
EFFECTIVE DATE: 06-04-2010

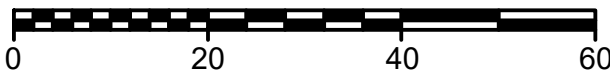
PREPARED FOR:  
CARMEN & CRISTIAN CHELARIU  
165 FRANKLIN ST.  
ARLINGTON, MA

DEED: BK 56731; PG 579  
PLAN: BK 1192; PG 181  
No. 1324 OF 1929  
PL BK 305; PL 19

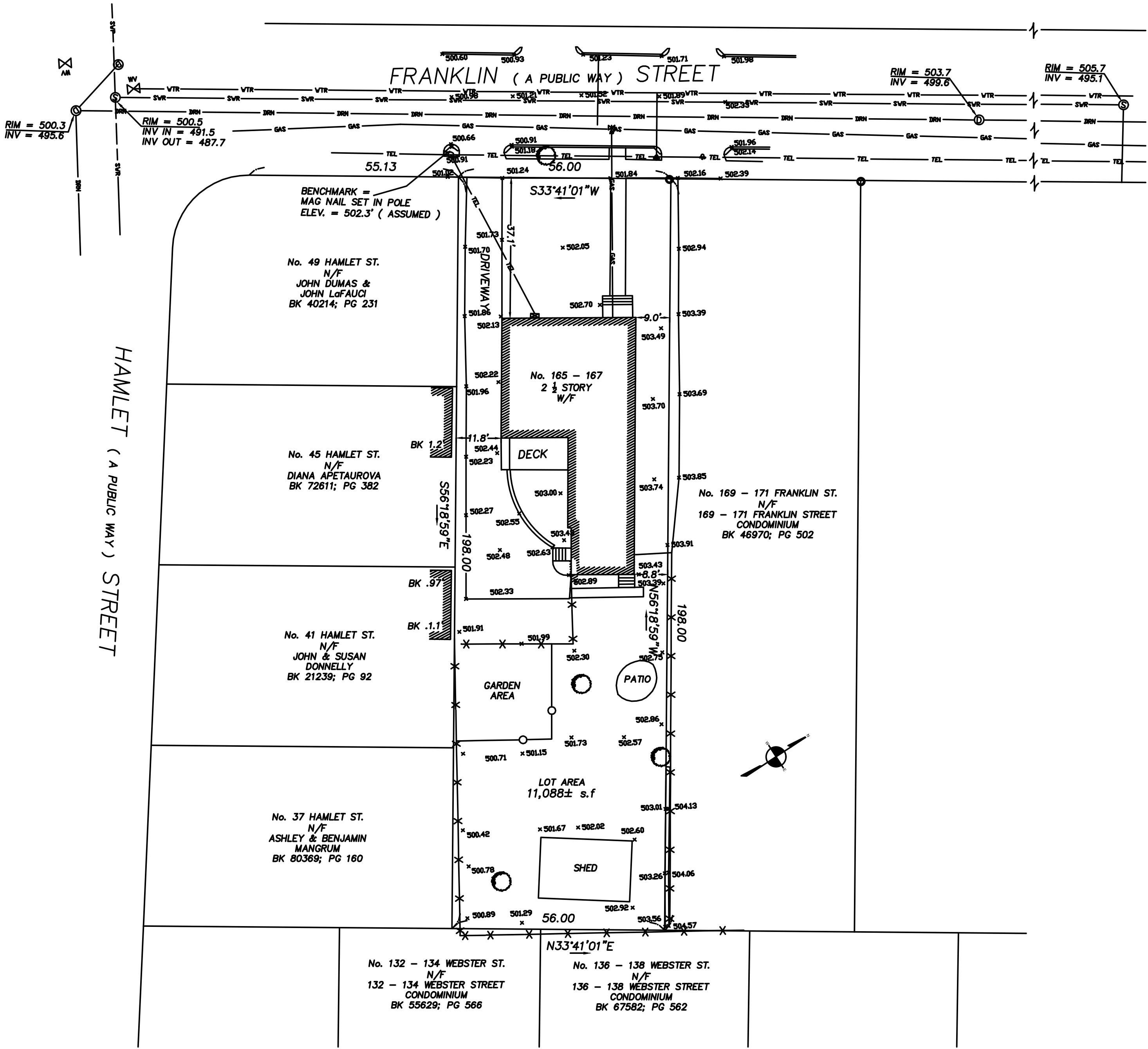
NOTES:  
PARCEL ID:044.0-0001-0013.0  
ZONING: R2

SITE PLAN OF LAND  
LOCATED AT  
165 - 167 FRANKLIN STREET  
ARLINGTON, MA

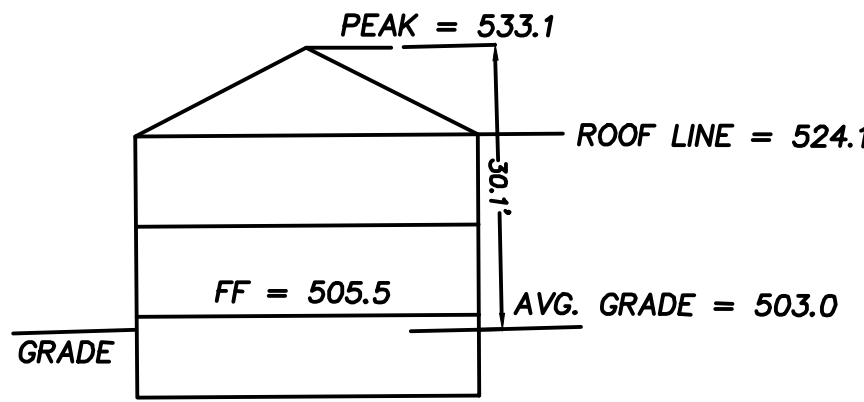
DATE: JULY 23, 2023 SCALE: 1.0 INCH = 20.0 FEET



GEORGE C. COLLINS, P.L.S.  
UNIT C-4 SHIPWAY PLACE  
CHARLESTOWN, MA 02129  
(617) 242-1313



HEIGHT SKETCH:  
NOT TO SCALE



ZONING TABLE:	REQUIRED	EXISTING
DISTRICT:	R2	
LOT AREA:	6,000 s.f	11,088 s.f
LOT FRONTAGE:	60'	56'
FRONT SETBACK:	20'	37.1'
SIDE SETBACK:	10'	8.8'
REAR SETBACK:	20'	93.5'
LOT COVERAGE:	35%	19%
OPEN SPACE:	30%	35.9%
LANDSCAPE:	10%	10%
MAX. HEIGHT:	35'	30.1'
MAX. STORIES:	2.5	2.5

FIELD:	JJH
DRAFT:	JJH
CHECK:	GCO
DATE:	07/23/23





165 FRANKLIN STREET  
ARLINGTON, MA

Project Title:

PROPOSED RENOVATIONS:  
SITE DIAGRAM & ZONING  
INFORMATION

Drawing Title:

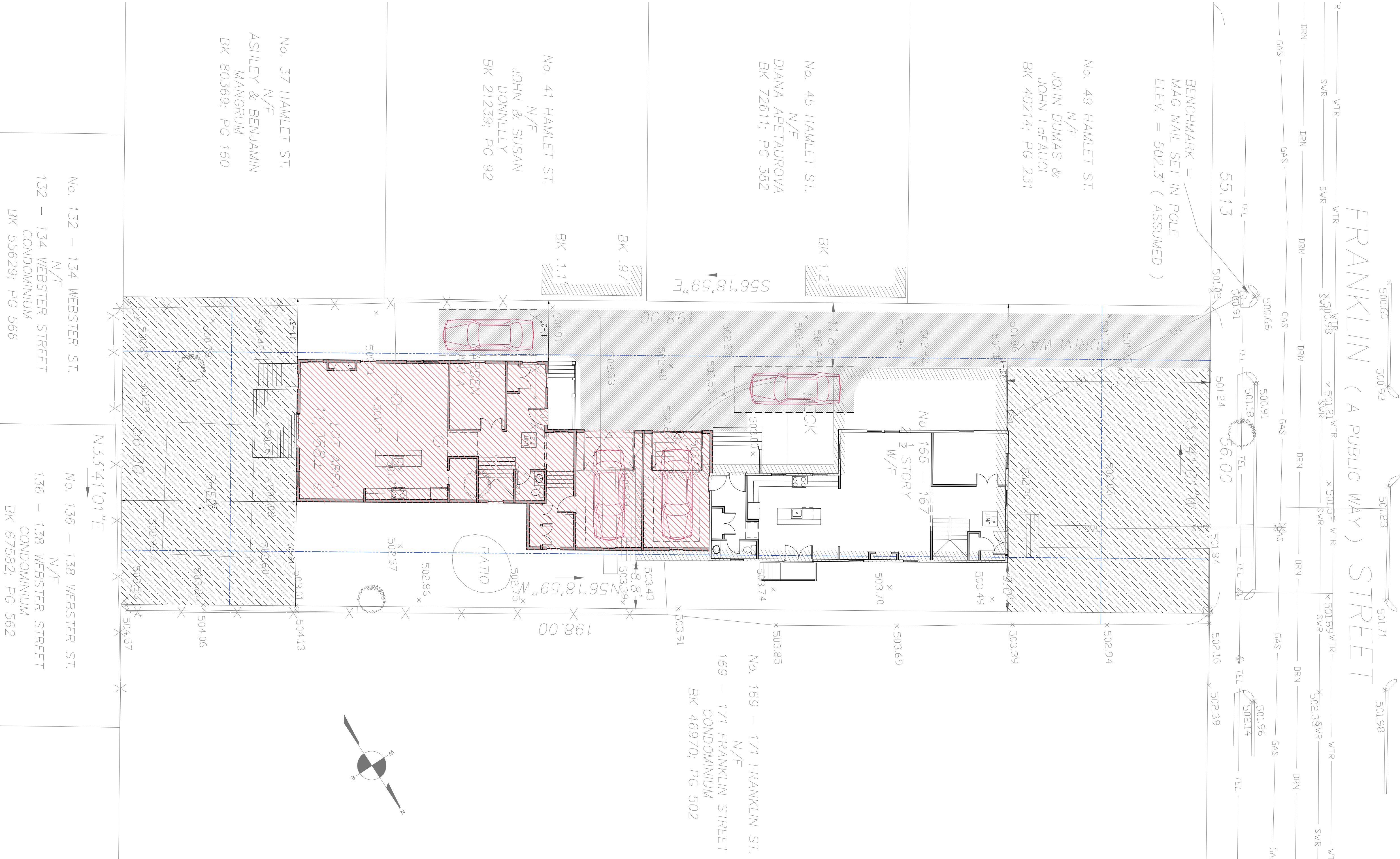
Project #  
22028

Drawn By: EE  
Reviewed By: JFR

Scale: 1" = 10'  
Date: 9JAN24

Drawing #:

Z0.1



GROSS FLOOR AREA CALCULATIONS BY UNIT (GROSS SQ. FT.) - ZONING									
	EXIST. AREA (ASSESSORS)	MINUS AREA UNIT 1	MINUS AREA UNIT 2	ADDED AREA UNIT 1	ADDED AREA UNIT 2	TOTAL AREA UNIT 1	TOTAL AREA UNIT 2		ALLOWED HALF STORY (GREATER THAN FILL) TOTAL ADDITION
BASEMENT	1,159	0	0	0	1,196	1,159	1,196	2,355.0	
1ST FLOOR	1,661	510	0	0	1,339	1,151	1,339	2,490.0	
2ND FLOOR	1,183	0	0	0	1,188	1,183	1,188	2,371.0	1161.79
ATTIC (7" HGT.)	99	0	0	90.0	263.0	189.0	263.0	452.0	++++
TOTAL GROSS FLOOR AREA	4102	510	0	90.0	3,986.0	3,682.0	3,986.0	7,668.0	3566.0
GARAGE (ACCESSORY PARKING)						273	275		
TOTAL GROSS AREA						3955.0	4261.0	8,216.0	

**BUILDING HEIGHT CALCULATION:**  
SITE SLOPE: >5%  
SITE HIGHEST GRADE 503.91'  
SITE LOWEST GRADE 500.71'  
503.91' - 500.71' = 3.20' / LOT DEPTH 198' = 0.016

0.016% > 1.6% SLOPE  
  
AVERAGE FINISHED GRADE OF SITE @  
6' FROM BUILDING (GRADE PLANE): (NOT USED)  
503.74' + 500.42' = 1,004.16' / 2 = 502.8'

AVERAGE GRADE = 503.0' (503.0' PER SURVEY)

AVERAGE GRADE @ CURB :  
502.14' + 500.91' = 1,003.05' / 2 = 501.525'

ELEVATION OF EXISTING RIDGE = 533.1' (PER SURVEY)

HEIGHT OF EXISTING RIDGE CALCULATED  
533.1' - 501.435' = 31.67'

PROPOSED RIDGE  
501.435' + 534.33' = 32.895'

32.9' < 35' MAX. ALLOWED

**USEABLE OPEN SPACE CALCULATION:**  
REQUIRED USEABLE, OPEN SPACE  
7,668 GSF x 0.30 = 2,300 SF  
  
PROPOSED USEABLE OPEN SPACE: 3,468F  
  
2,300 SF REQUIRED < 3,468 SF PROPOSED

**HALF-STORY CALCULATION:**  
PROPOSED GROSS AREA 2ND FLOOR  
2,567 X .49 = 1,257 GSF  
  
TOTAL ALLOWED > 7' = 1,257 GSF  
  
452 GSF PROPOSED < 1,257 GSF ALLOWED

**LARGE ADDITION CALCULATION: §5.4.2.B.6**  
  
DEMO = 510 GSF  
PROPOSED = 4,076 GSF  
  
TOTAL ADDITON 3,566 GSF

ZONING DATA PER §6.00 - TABLE OF DIMENSIONAL AND DENSITY REGULATIONS: ARLINGTON, MA				
	ZONING DISTRICT - R2	ALLOWED/ REQUIRED	EXISTING	PROPOSED
A	MINIMUM LOT SIZE (S.F.)	6,000	±11,088	NO CHANGE
B	MIN. FRONTAGE (FT)	60	56	NO CHANGE
C	FLOOR AREA RATIO MAX. (FAR)	NA	--	--
D	LOT COVERAGE MAX. (%) (PROPOSED 3,021 SF / 11,088 SF = 27.2)	35	19	27.2
E	MINIMUM LOT AREA PER DWELLING UNIT (S.F.)	NA	--	--
F	MIN. FRONT YARD (FT)	20	37.1	NO CHANGE
G	MIN. SIDE YARD - RIGHT	10	11.8	11.2
	MIN. SIDE YARD - LEFT	10	8.8	NO CHANGE
H	MIN. REAR YARD (FT)	20	94.5	32.2
I	MAX. HEIGHT (STORIES / FT)	2 1/2 / 35	2 1/2 / 32.25	2 1/2 / 32.88
J	OPEN SPACE: MIN. LANDSCAPED AREA (%) (PROPOSED 6,192 SF / 7,668 GSF = 80.75)	10	250	80
K	OPEN SPACE: MIN. USABLE AREA (%) (PROPOSED 3,468 SF / 7,668 GSF = 45.2)	30	201	45
§6.1 4	MIN. NO. OF PARKING SPACES	2	4	4

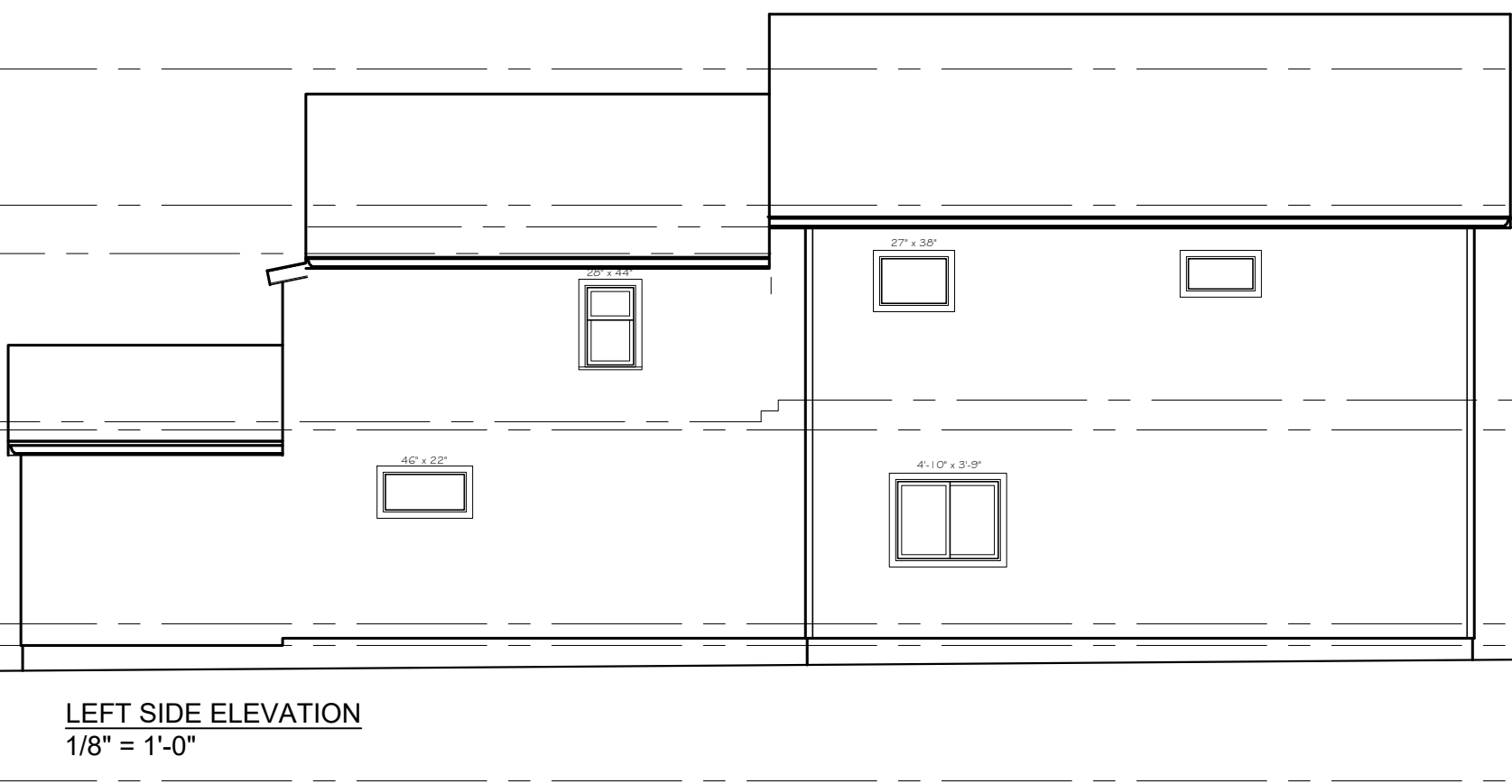


A

B

C

D

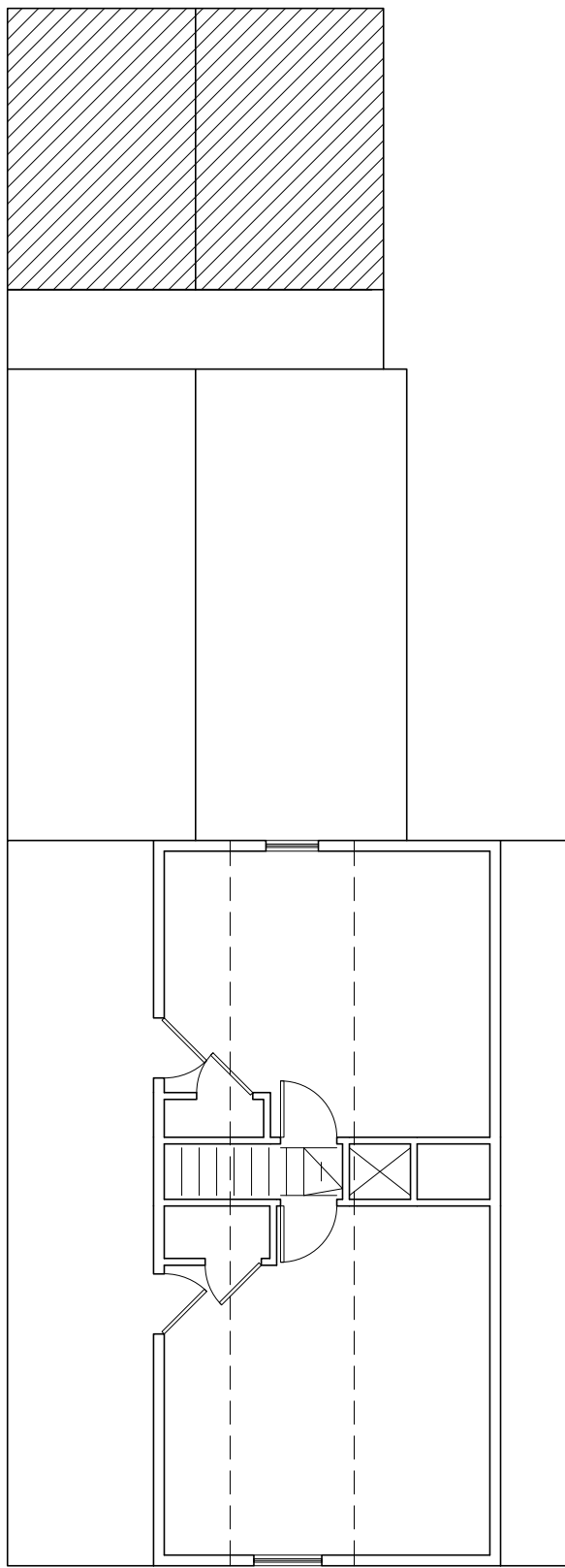
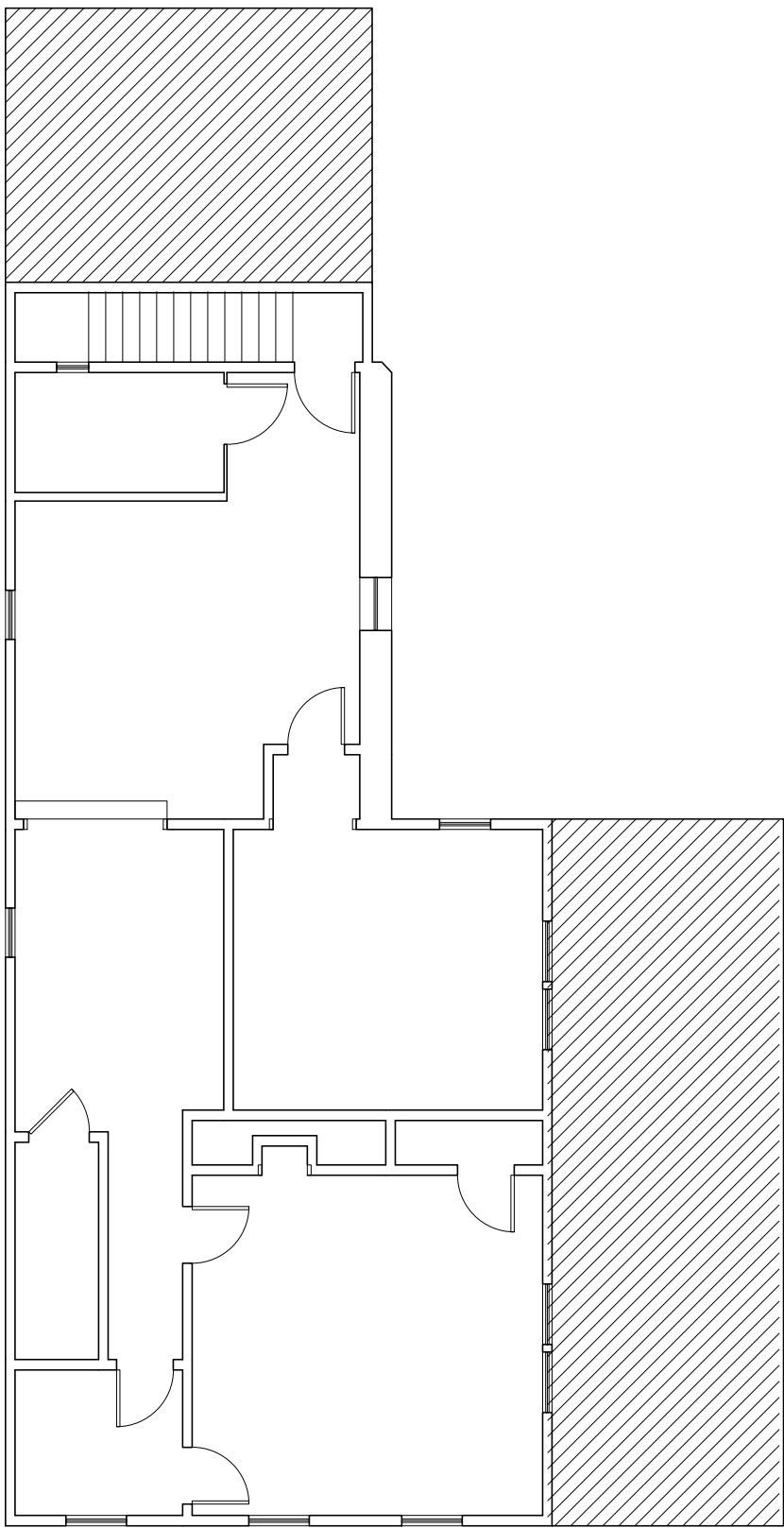
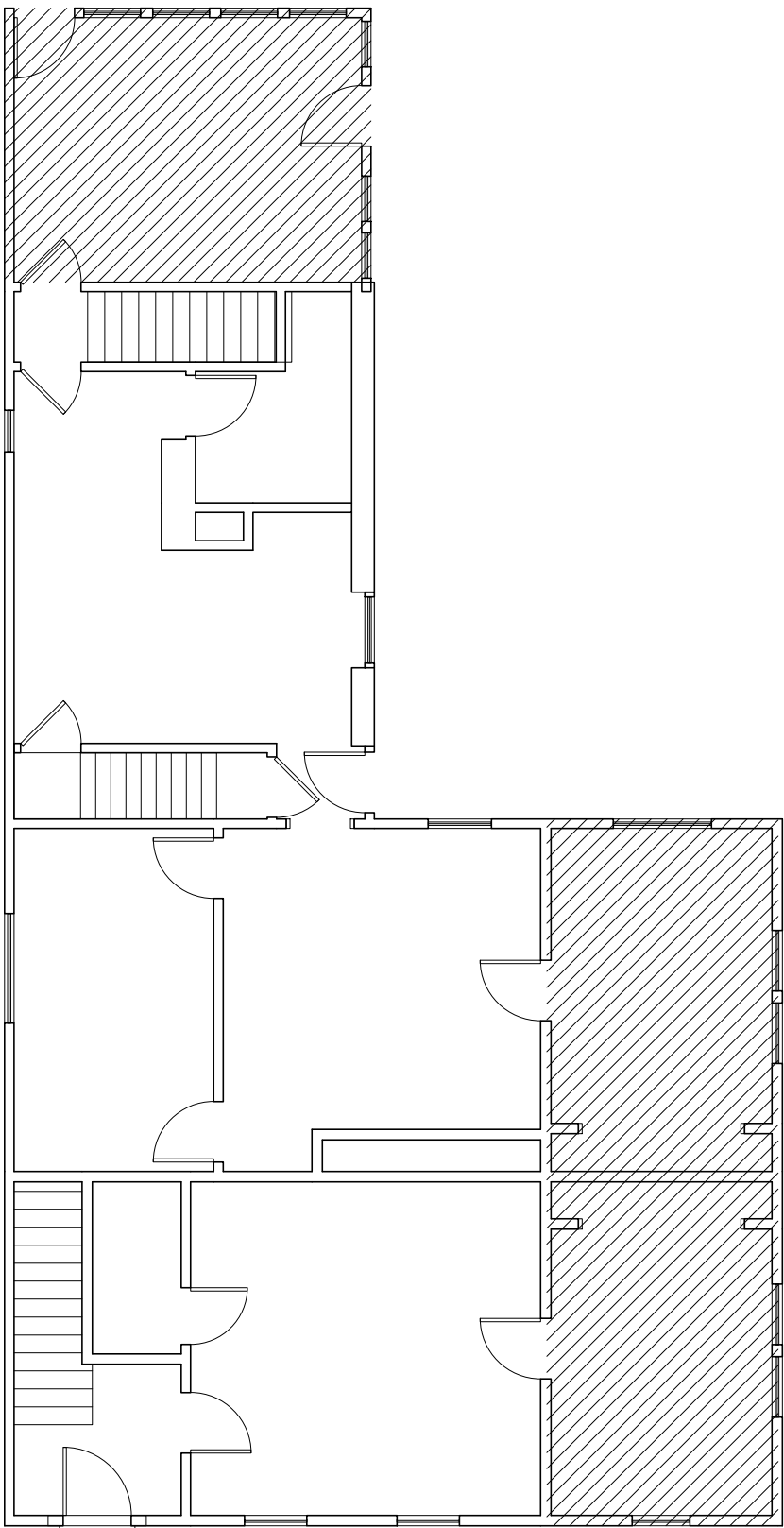
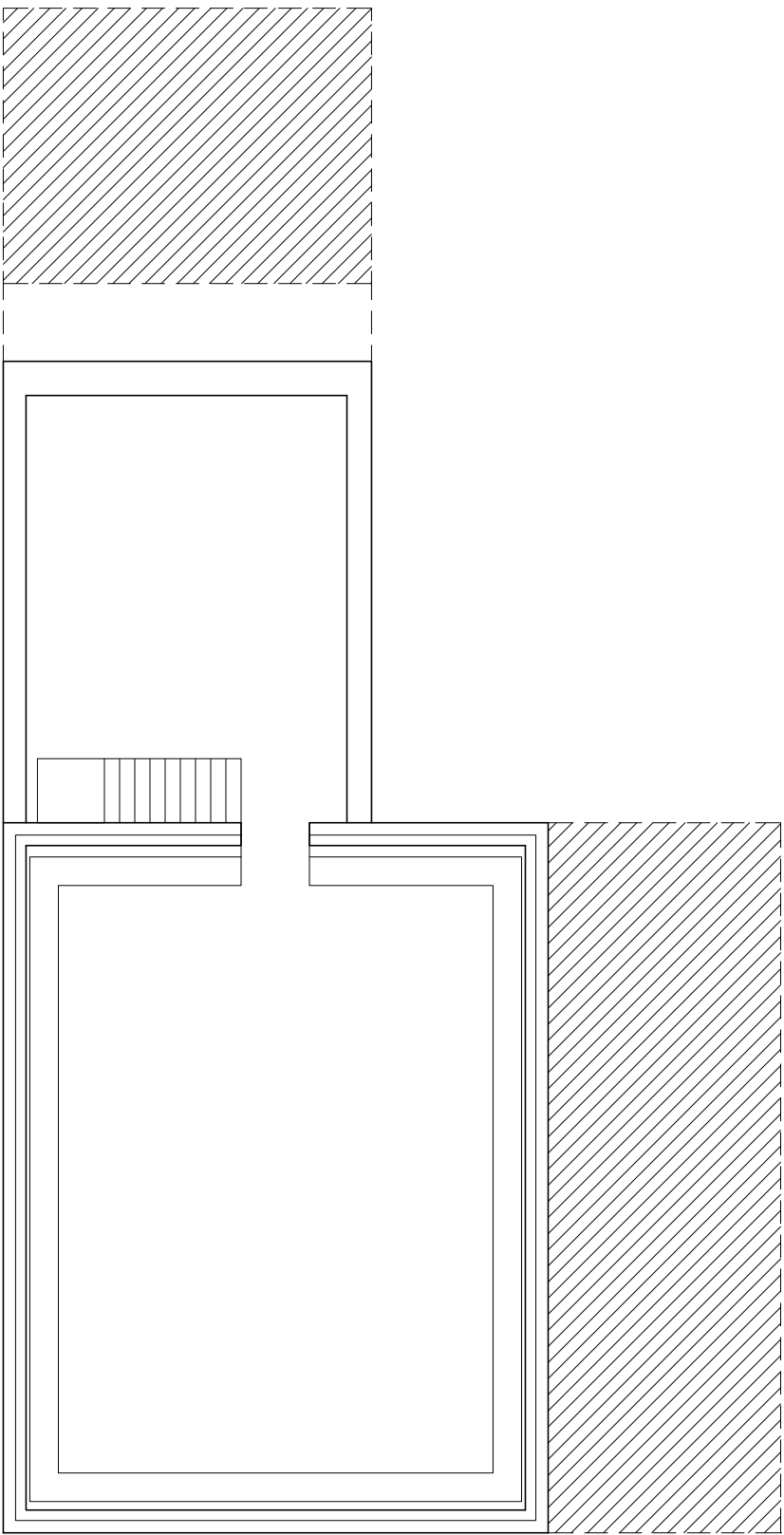


BASEMENT PLAN  
1/8" = 1'-0"

FIRST FLOOR PLAN  
1/8" = 1'-0"

SECOND FLOOR PLAN  
1/8" = 1'-0"

ATTIC PLAN  
1/8" = 1'-0"







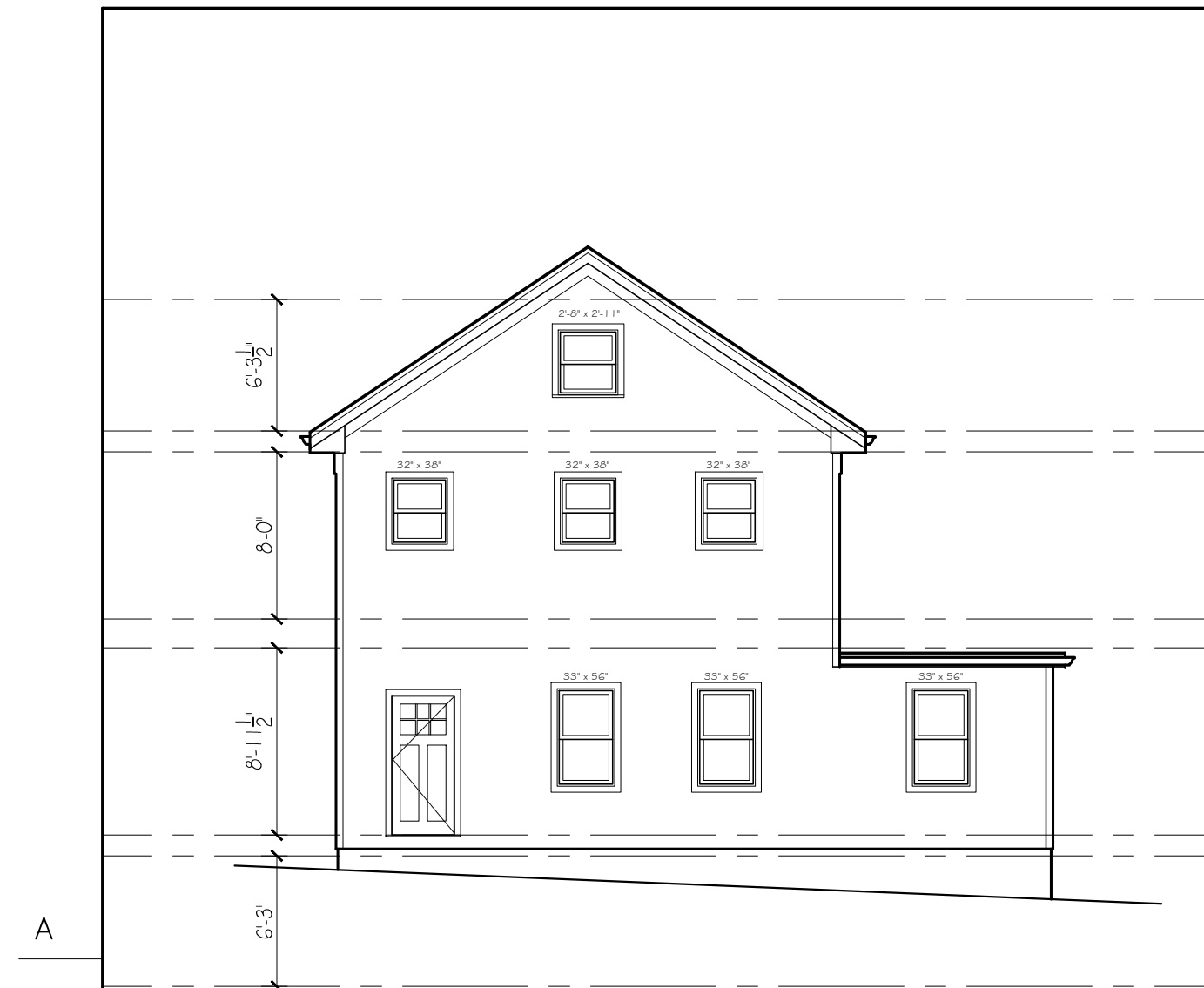
Project Title:  
**165 FRANKLIN STREET  
ARLINGTON, MA**

Drawing Title:  
**PROPOSED RENOVATIONS:  
PLANS**

Project # 22028	
Drawn By: EE	Reviewed By: JFR
Scale: 1/8" = 1'-0"	Date: 9JAN24

Drawing #:  
**SD1.1**





EXISTING FRONT ELEVATION  
1/8" = 1'-0"



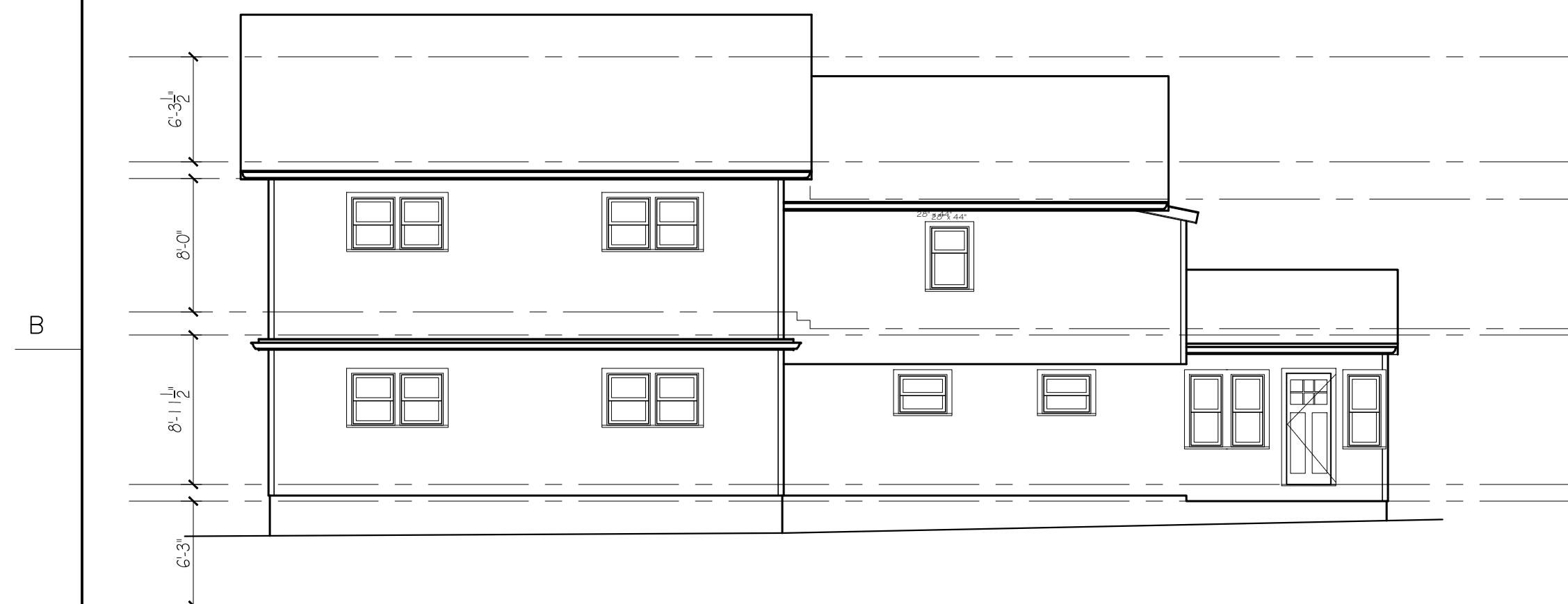
PROPOSED FRONT ELEVATION  
1/8" = 1'-0"



EXISTING REAR ELEVATION  
1/8" = 1'-0"



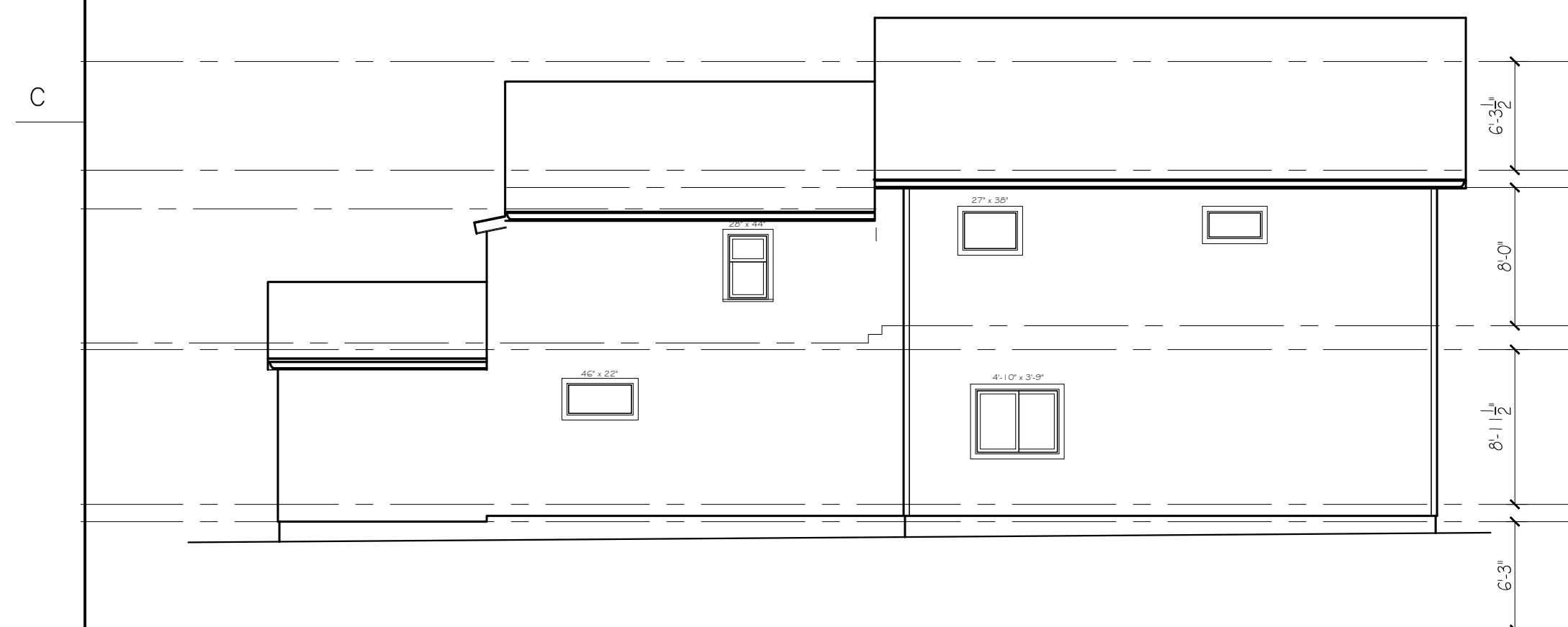
PROPOSED REAR ELEVATION  
1/8" = 1'-0"



EXISTING RIGHT SIDE ELEVATION  
1/8 = 1'-0"



PROPOSED RIGHT SIDE ELEVATION  
1/8" = 1'-0"



EXISTING LEFT SIDE ELEVATION  
1/8 = 1'-0"



PROPOSED LEFT SIDE ELEVATION  
1/8" = 1'-0"



A

B

C

D



PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION  
3/16" = 1'-0"





FRONT ELEVATION  
3/32 = 1'-0"



RIGHT SIDE ELEVATION  
 $\frac{3}{32} = 1'-0''$

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

## SCHEMATIC DESIGN: EXTERIOR ELEVATIONS

Revisions:

[illegible]

Project #

23057

Scale:

$$3/32" = 1'-0"$$

Date: \_\_\_\_\_

OCT23

REV 2JAN24

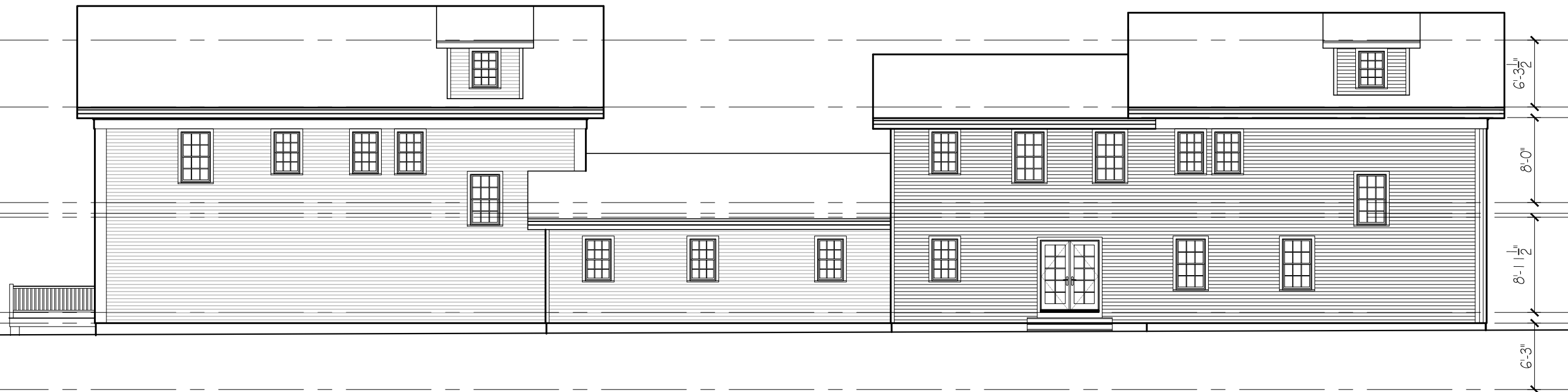
Drawing #

SD2.1





REAR ELEVATION  
3/32 = 1'-0"



LEFT SIDE ELEVATION  
3/32 = 1'-0"

Project Title:

165 Franklin Street  
Arlington, MA

**Drawing Title:**

## SCHEMATIC DESIGN: EXTERIOR ELEVATIONS

Revisions:

#	Description	date
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Project #

23057

Scale:

$$3/32" = 1'-0"$$

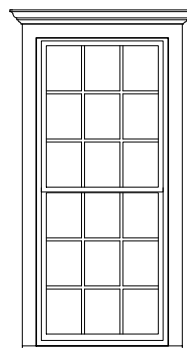
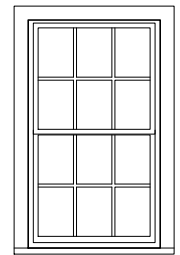
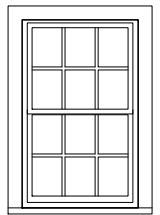
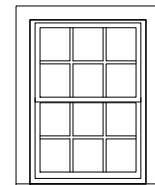
Date: 30 OCT 23

REV 2JAN24

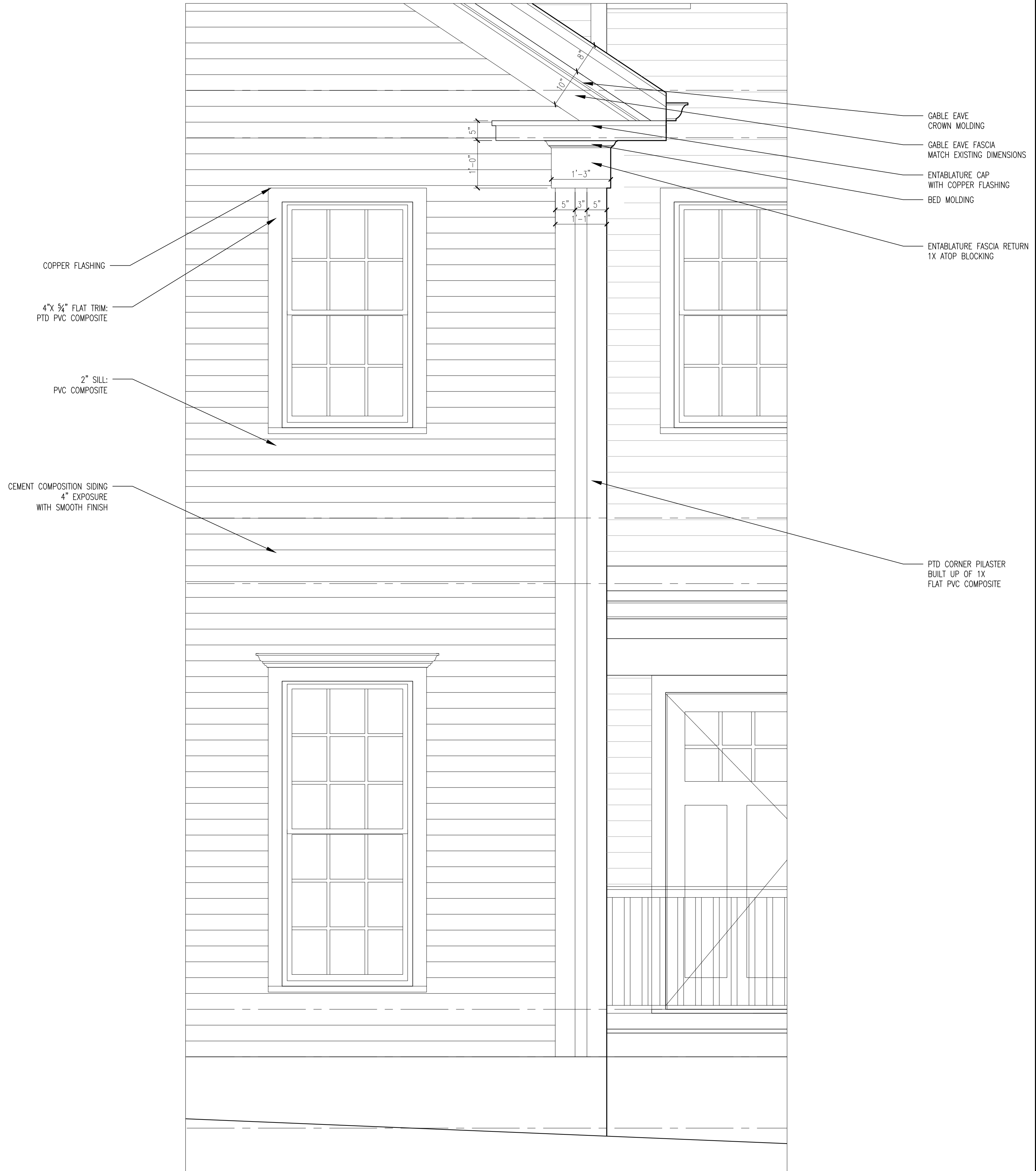
Drawing #

SD2.2



WINDOW SCHEDULE			
<p style="text-align: center;">(A)</p> 		<p style="text-align: center;">(B)</p> 	
<p>ELEVATION - 1/4" = 1'-0"</p> <p>MANUFACTURER: PELLA - LIFESTYLE UNIT NUMBER: 3377</p>		<p>ELEVATION - 1/4" = 1'-0"</p> <p>MANUFACTURER: PELLA - LIFESTYLE UNIT NUMBER: 3357</p>	
<p>WINDOW TYPE: CLAD DOUBLE-HUNG</p>		<p>WINDOW TYPE: CLAD DOUBLE-HUNG</p>	
<p>ROUGH OPENING: 2'-9 3/4" x 6'-5 3/4"</p>	<p>HEADER HEIGHT: TBD</p>	<p>ROUGH OPENING: 2'-9 3/4" x 4'-9 3/4"</p>	<p>HEADER HEIGHT: TBD</p>
<p>REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS</p>		<p>REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS</p>	
<p style="text-align: center;">(C)</p> 		<p style="text-align: center;">(D)</p> 	
<p>ELEVATION - 1/4" = 1'-0"</p> <p>MANUFACTURER: PELLA - LIFESTYLE UNIT NUMBER: 2947</p>		<p>ELEVATION - 1/4" = 1'-0"</p> <p>MANUFACTURER: PELLA - LIFESTYLE UNIT NUMBER: 2941</p>	
<p>WINDOW TYPE: CLAD DOUBLE-HUNG</p>		<p>WINDOW TYPE: CLAD DOUBLE-HUNG</p>	
<p>ROUGH OPENING: 2'-5 3/4" x 3'-11 3/4"</p>	<p>HEADER HEIGHT: TBD</p>	<p>ROUGH OPENING: 2'-5 3/4" x 3'-5 3/4"</p>	<p>HEADER HEIGHT: TBD</p>
<p>REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS</p>		<p>REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS</p>	

NOTES:  
VERIFY ALL ROUGH OPENINGS. QUANTITIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. PROVIDE TEMPERED GLAZING AT ALL HAZARD LOCATIONS. VERIFY EGRESS DIMENSIONS AT REQUIRED LOCATIONS.



CORNER BOARD DETAILS  
3/4" = 1'-0"

e: 165 FRANKLIN STREET  
ARLINGTON, MA

Drawing Title:

**PROPOSED RENOVATIONS:  
EXTERIOR DETAILS**

Project # 22028

Drawn By: EE	Reviewed By: JFR
-----------------	---------------------

Scale: 1/8" = 1'-0"	Date: 9JAN2
------------------------	----------------

Drawing #:

**SD3.**



B Mangrum <benjamin.mangrum@gmail.com>

To:ZBA

Mon 2/12/2024 9:33 PM

Hello,

I am writing to express opposition to the petition for a special permit to alter the property located at 165 Franklin Street. My name is Ben Mangrum, and I live at 37 Hamlet Street, which abuts the property in question.

Please forgive the length of this email, but I believe there are several reasons that the Zoning Board of Appeals should not grant the developer's petition. I outline these reasons as follows:

1. I am aware that bylaw 5.4.2.B.6 states that no alteration above 750 square feet or 50% or more of the building's gross floor area should be permitted unless the alteration is (a) within the existing foundation, or (b) the alteration is in harmony with other structures and uses in the vicinity. The developer's plan obviously does not stay within the existing foundation. Therefore, the only allowable justification for such a large addition would be if the large addition were harmonious with other properties in the area. As a resident in an abutting property, I can attest that the proposed addition would not be harmonious with my property or my neighbors' homes. There is no home in the vicinity that resembles the proposed alteration in size (gross floor area), look, or layout across the property line.
2. The developer's petition claims "the use remains a 2 family residence" and the "character of the structure will be similar to that of detached single family structures in the vicinity." This explanation contradicts the rationale for a large addition while also being misleading in its characterization of the structures in the vicinity.
  1. If the existing structure is already divided into a two-family home, why does the neighborhood need a large addition to allow for a second family to live on the property? Two families can already live at 165-167 Franklin Street in the current size and structure of the property. The only reason for the large addition is the developer's profit, and the Town Bylaws do not allow for profit as an adequate justification for a large addition.
  2. The developer's justification is also misleading because the large addition would not be continuous with prior use. In the "Dimensional and Parking Information" of the developer's petition (p.63 of the Agenda Meeting document), the developer implies that there were 2 dwelling units and the large addition would be consistent with this prior use. However, the previous owner only had one structure divided into a two-family dwelling, so the implication that the large addition is consistent with the prior land use is misleading. This is a second structure for dwelling; no other nearby properties include a second structure of this kind. I plead with the Zoning Board to notice the developer's misleading representation of the addition.
3. Perhaps there is a technicality in which the proposed addition stays within the letter of the bylaws in terms of being a single continuous structure. I am not a lawyer, so I cannot speak to the letter of the law. However, the proposed addition obviously breaks with the *spirit* of the bylaws. Having a second dwelling structure connected by only a garage would be a total rupture from the kinds of structures in the neighborhood. I cannot believe that either the Town as a people or the Bylaws as the expression of our local government envisioned such a proposed alteration as a permissible land use, much less as a justification for a large addition.
4. The proposed addition would also be an aesthetic eye sore. It would mar the historic character of the surrounding homes.
5. I moved to 37 Hamlet Street in July 2022. I moved into my new home with the expectation that my backyard would overlook my neighbor's backyard, as was the case with the previous owner. I have attached pictures that show the current view from my backyard. The developer's plan would ruin this view by erecting a 2 or 2.5 story structure. The negative consequences of this large addition for my property include:



1. My children would be visible from the windows of this second dwelling structure as they play in my yard.
2. I would not be able to see sky and trees as I currently do.
3. Rather than seeing sky and trees, I would look from my window to see a 2 or 2.5-story dwelling that I had no reason to expect the town would allow to be built when I purchased my home a year and a half ago. Permitting this large addition would fundamentally change the way I experience my new home.
6. I also worry that the large addition would create noise, light, and other nuisances that would change the character of the neighborhood. How will the proposed large addition provide light to its driveway and front yard? The light would by necessity shine into the backyards and windows of the abutting properties, particularly those on Hamlet Street. Having a second family live in the backside of the lot at 165 Franklin St would be completely incongruous with the neighborhood and create new, unnecessary conflicts between neighbors. Again, this conflict would mar the character of the neighborhood, but it would inevitable because of the design of the proposed large addition.
7. Currently, the driveway at 165 Franklin does not extend to my back fence. Allowing the developer to extend the driveway and build a large addition would create noise, carlights, and other disturbances that would betray the land use I had good reason to expect when purchasing the home in 2022. How would the residents of the second home get to their front doors on the backside of the property? They would need to use an extended driveway that would be adjacent to my backyard. If approved, the petition would mean that my backyard would be beset by lights, noise, car traffic, and I would also suffer a substantial loss of privacy.
8. Although the lot is long and narrow, this shape does not mean that square footage of living space should run the length of that property. Property shape is not in itself a license to build. Just as a profit-motive is not listed in the Bylaws as an adequate justification for a large addition, it is also the case that “because there’s space” is not an adequate justification. Allowing the large addition would only benefit the corporate developer, who doesn’t live in the neighborhood.
9. The large addition does not address the need for more housing in Arlington. Because the current structure at 165 Franklin Street already allows for two families, extending the habitable structure (i.e. square feet of living space) by more than double would not allow for *more families* to move to Arlington. It would only allow the developer to make more profit off the sale of the property.
10. The large addition would not bring more affordable housing to Arlington. In fact, the large square footage created would be more *unaffordable* for families of modest income. Preserving the historic character of the current structure on the property is more likely to provide an affordable home for two families.
11. Finally, I would like to reject the implication in the developer’s petition that this large addition might benefit the abutting properties. How? It will not increase our property values, because the resale of our homes will be marred by the view of a 2 or 2.5 story second structure from our backyard. Again, the proposed large addition only benefits the developer, who does not have the right (according to Town Bylaws) to make such a large addition unless it is harmonious with the vicinity. And as I have shown in the points above, the large addition is not harmonious with the neighborhood.

Thank you for considering these points. Kind regards,

Ben Mangrum

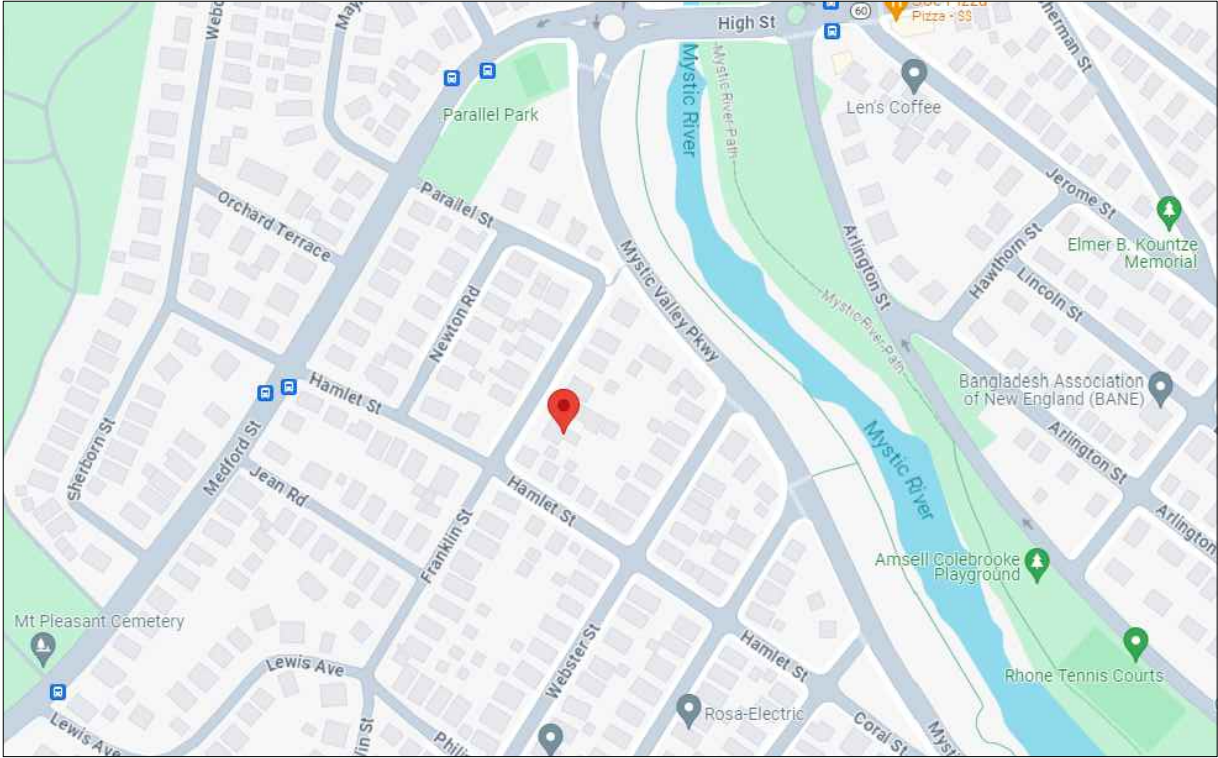












PROJECT LOCATION:  
**165 FRANKLIN ST.**  
**ARLINGTON, MA**  
ZONING DISTRICT R2- TWO- FAMILY

STRUCTURAL NOTES: ARLINGTON, MA LOADS, PER 780 CMR:  
LIVE LOADS 30lb.s/SF (BEDROOMS)  
40lb.s/SF (OTHER ROOMS)  
GROUND SNOW LOAD 40lb.s/SF  
WIND LOAD 127MPH

LIST OF DRAWINGS	
	PERMIT SET
ISSUED	MAR. 6, 2024
COVER	●
Z0.1 ZONING INFORMATION	●
Z0.2 ZONING INFORMATION	●
SURVEY	●
EX1.1 EXISTING CONDITIONS: PLANS	●
EX1.2 EXISTING CONDITIONS: PLANS	●
EX2.1 EXISTING CONDITIONS: ELEVATIONS	●
A1.1 PROPOSED PLANS	●
A1.2 PROPOSED PLANS	●
A1.3 PROPOSED PLANS	●
A1.4 PROPOSED PLANS	●
A1.5 PROPOSED PLANS	●
A1.6 PROPOSED PLANS	●
A2.1 PROPOSED ELEVATIONS	●
A3.1 PROPOSED BUILDING DETAILS	●

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT: 780 CMR (2021 IECC)

Building Envelope- Climate Zone 5 Group R	R402.1.3
Roofs	
Attic and other	R-60
Walls, Above Grade	
Wood framed & other	R-20+5
Walls, Below Grade	
Crawlspace Walls	R-15/19
Basement Walls	R-15/19
Floors	
Joist/Framing	R-30
Slab Floors	
Unheated slabs	R-10 for 48 in.
Glazed Fenestration	
Fenestration U- Factor	U-0.30
Skylights	U-0.55
Glazed	U-0.40

LR Designs

DESIGNERS, ARCHITECTS, DEVELOPERS, ADVISORS

165 FRANKLIN STREET  
SUITE 5  
ARLINGTON, MA 02153  
978.268.2119  
LRDESIGNS.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

PROJECT INFORMATION

Revisions:

#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

Date:

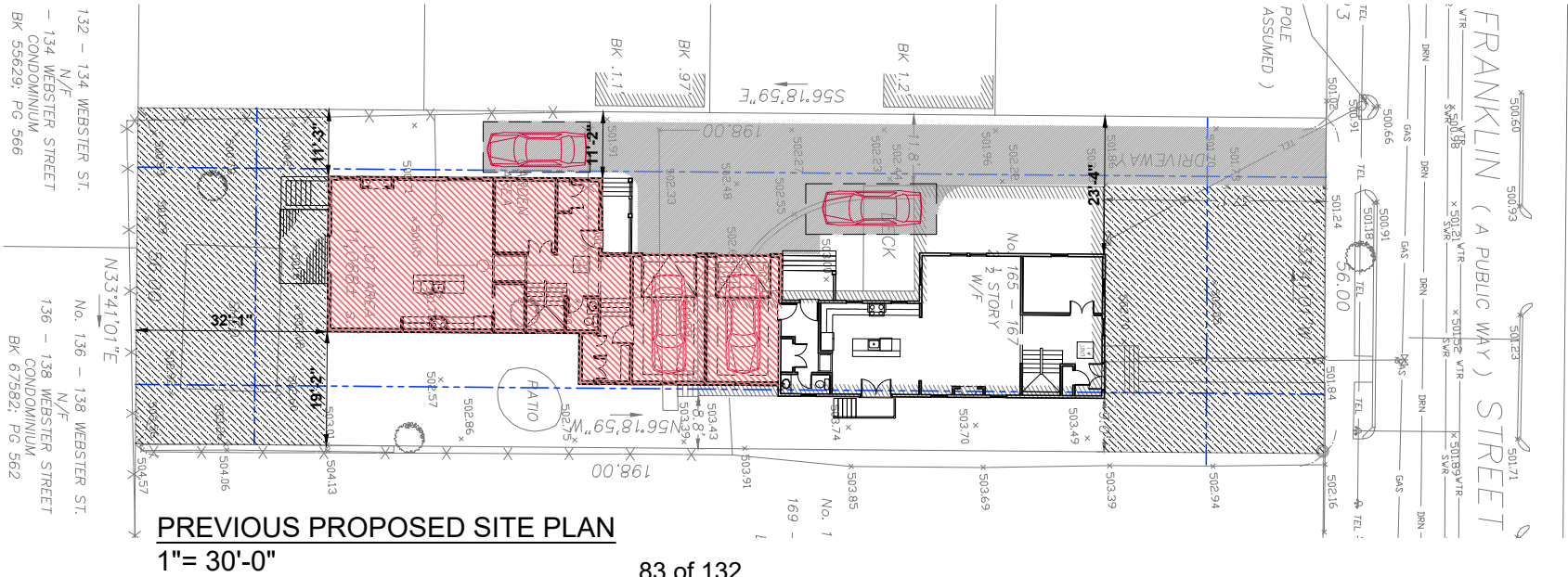
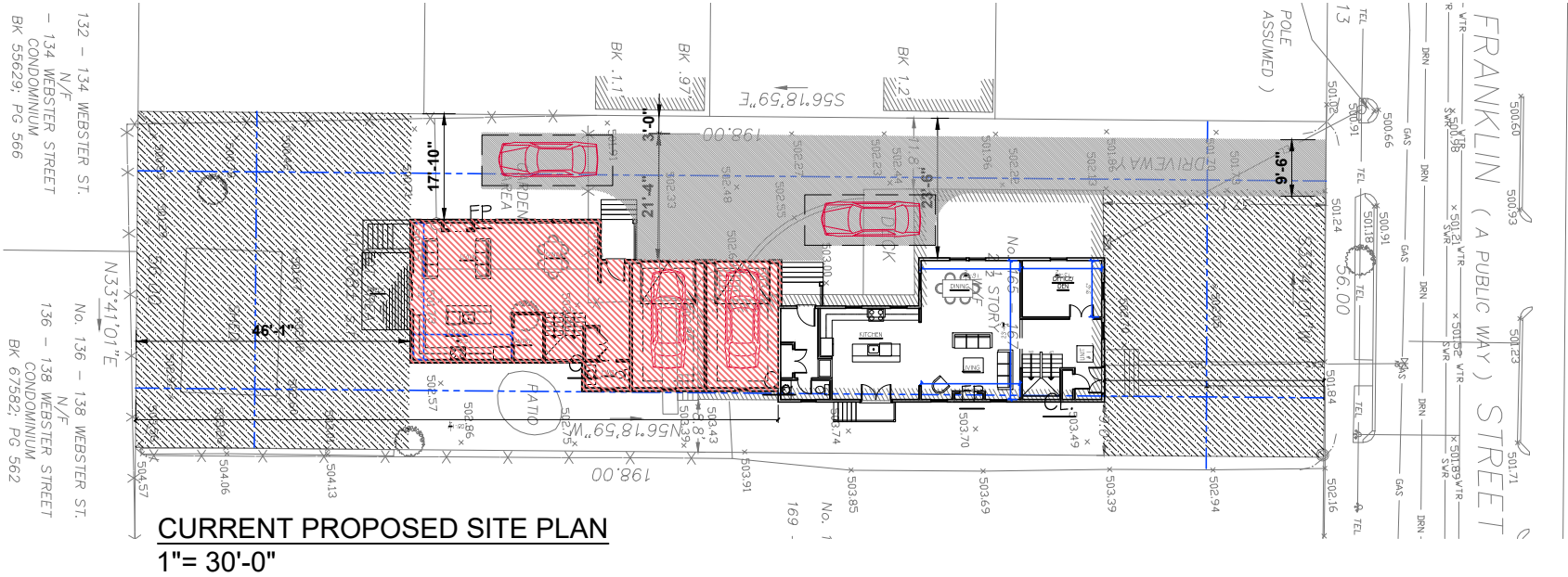
07MAR24

Drawing #

COVER



ZONING DATA PER SEC. 94-171 - GENERAL DIMENSIONAL REGULATIONS						
	ZONING DISTRICT - GR- General Residential (Single-Family)	ALLOWED	EXISTING	PREVIOUS PROPOSED	CURRENT PROPOSED	COMPLIANCE
A	LOT AREA MIN.	5,000	11,310	NO CHANGE	NO CHANGE	CONFORMS
B	LOT FRONTAGE MIN. (FT)	35	56	NO CHANGE	NO CHANGE	CONFORMS
C	LOT WIDTH MIN. (FT)	60	56	NO CHANGE	NO CHANGE	CONFORMS
D	LOT DEPTH MIN. (FT)	60	198	NO CHANGE	NO CHANGE	CONFORMS
E	FRONT YARD MIN. DEPTH (FT)	15	37.1	NO CHANGE	NO CHANGE	CONFORMS
F	SIDE YARD MIN. WIDTH - RIGHT	7.5	11'- 8"	11'- 3"	17'-9 3/4"	CONFORMS
G	SIDE YARD MIN. WIDTH - LEFT	7.5	8'-6 3/4"	NO CHANGE	NO CHANGE	CONFORMS
H	REAR YARD MIN. DEPTH (FT)	15	108'-1 1/4"	32'-1"	46'-1"	CONFORMS
I	LOT COVERAGE MAX. %	35	1769/ 11310 16%	3046/ 11310 27%	2599/ 11310 23%	CONFORMS
J	BUILDING HEIGHT MAX. (STORIES / FT)	2.5 / 35	29'-10 1/2"	NO CHANGE	NO CHANGE	CONFORMS



L.R. Designs

DESIGNERS, ARCHITECTS, DEVELOPERS, ADVISORS

44 WALLSTON STREET  
SUITE 2  
CAMBRIDGE, MA 02143  
617.563.2119  
LRDESIGN@GMAIL.COM

Project Title:

165 Franklin Street  
Arlington, MA

ZONING INFORMATION

Revisions:

#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

Date:

07MAR24

Drawing #

Z0.1



WEBSTER STREET

HAMLET STREET

FRANKLIN STREET

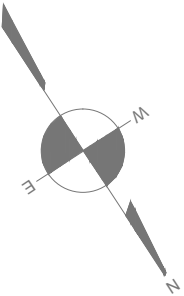


FIGURE GROUND DIAGRAM  
1"= 30'-0"

L.R. Designs

DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 FRANKLIN STREET

SUITE 5

ARLINGTON, MA 02159

978.268.2119

LRDESIGNSONLINE.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

ZONING INFORMATION

Revisions:		
#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

Date:

07MAR24

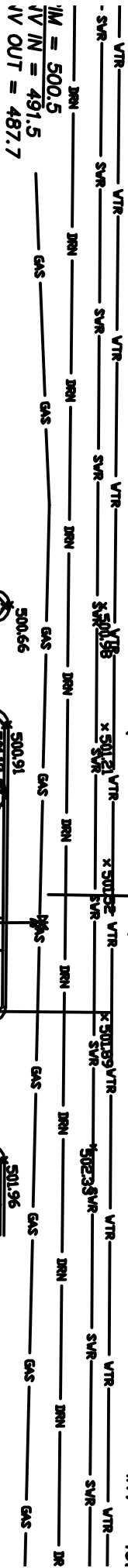
Drawing #

Z0.2



FRANKLIN ( A PUBLIC WAY ) STREET

RIM = 50  
INV = 49.



BENCHMARK =  
MAG NAIL SET IN POLE  
ELEV. = 502.3' ( ASSUMED )

No. 49 HAMLET ST.  
N/F  
JOHN DUMAS &  
JOHN LAFAUDI  
BK 40214; PG 231

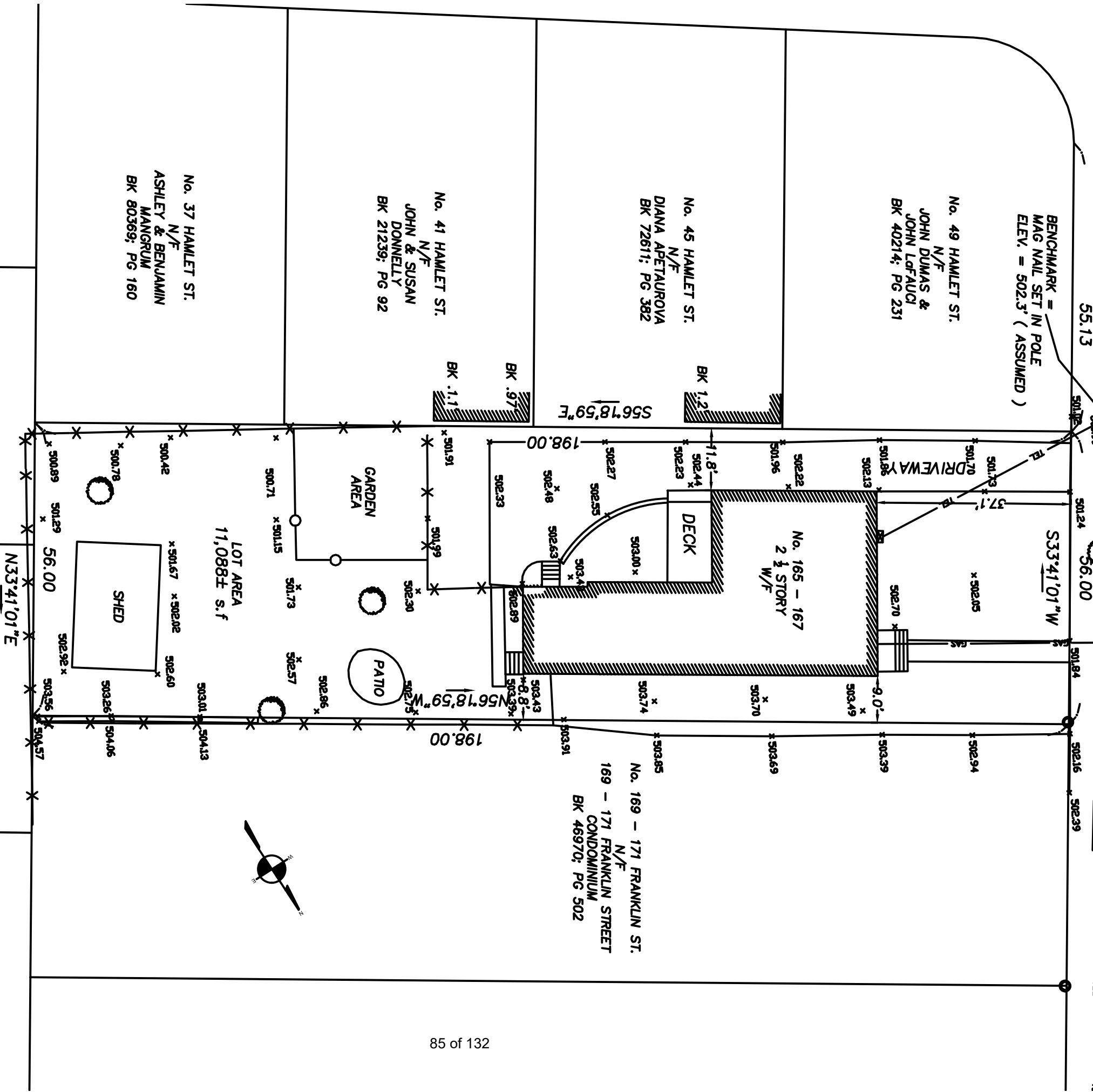
No. 45 HAMLET ST.  
N/F  
DIANA APETAUROVA  
BK 72611; PG 382

No. 41 HAMLET ST.  
N/F  
JOHN & SUSAN  
DONNELLY  
BK 21239; PG 92

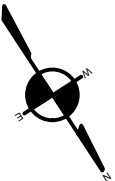
No. 37 HAMLET ST.  
N/F  
ASHLEY & BENJAMIN  
MANGRUM  
BK 80369; PG 160

No. 132 - 134 WEBSTER ST.  
N/F  
132 - 134 WEBSTER STREET  
CONDOMINIUM  
BK 55629; PG 566

No. 136 - 138 WEBSTER ST.  
N/F  
136 - 138 WEBSTER STREET  
CONDOMINIUM  
BK 67582; PG 562



No. 169 - 171 FRANKLIN ST.  
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169 - 171 FRANKLIN STREET  
CONDOMINIUM  
BK 46970; PG 502



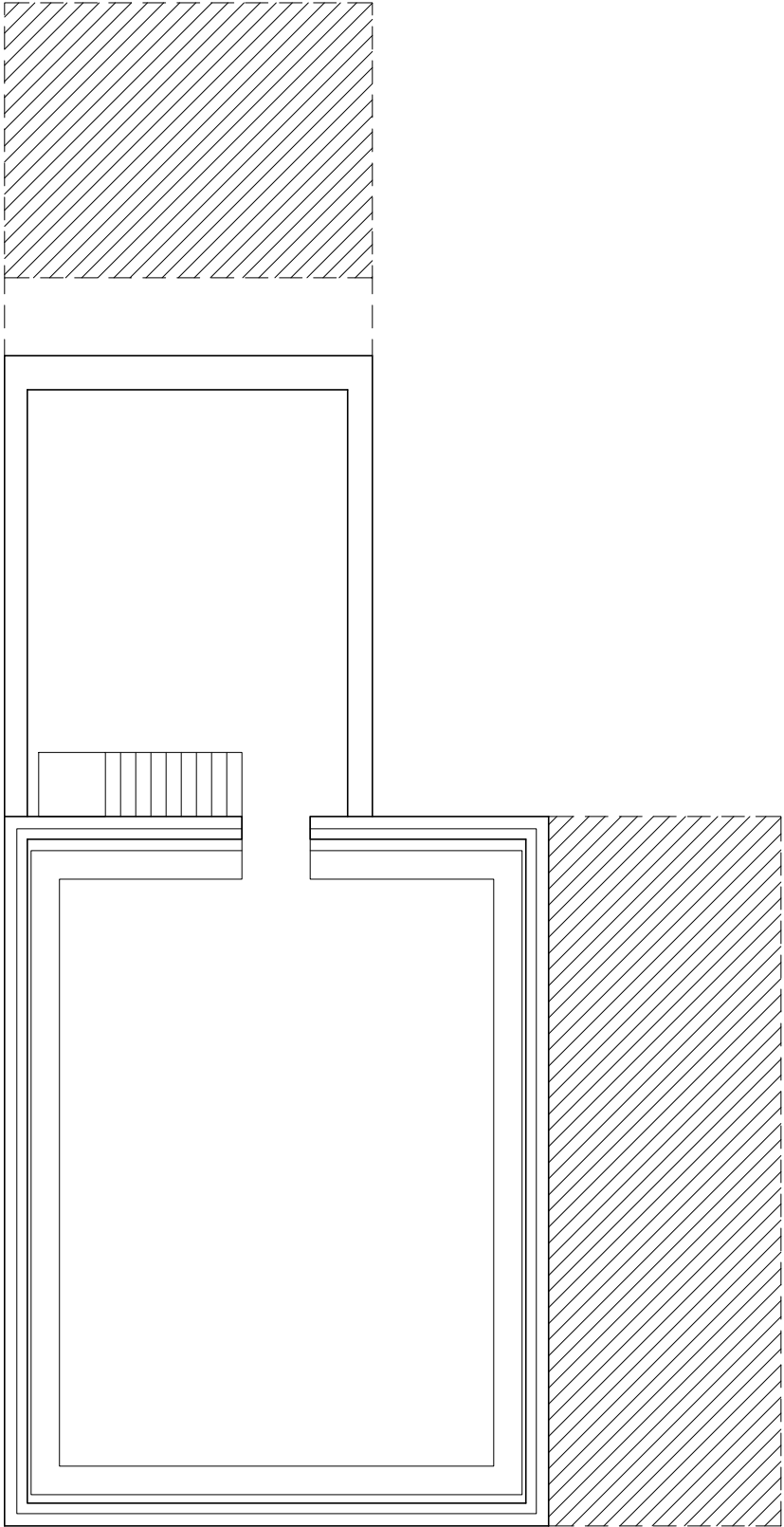


A

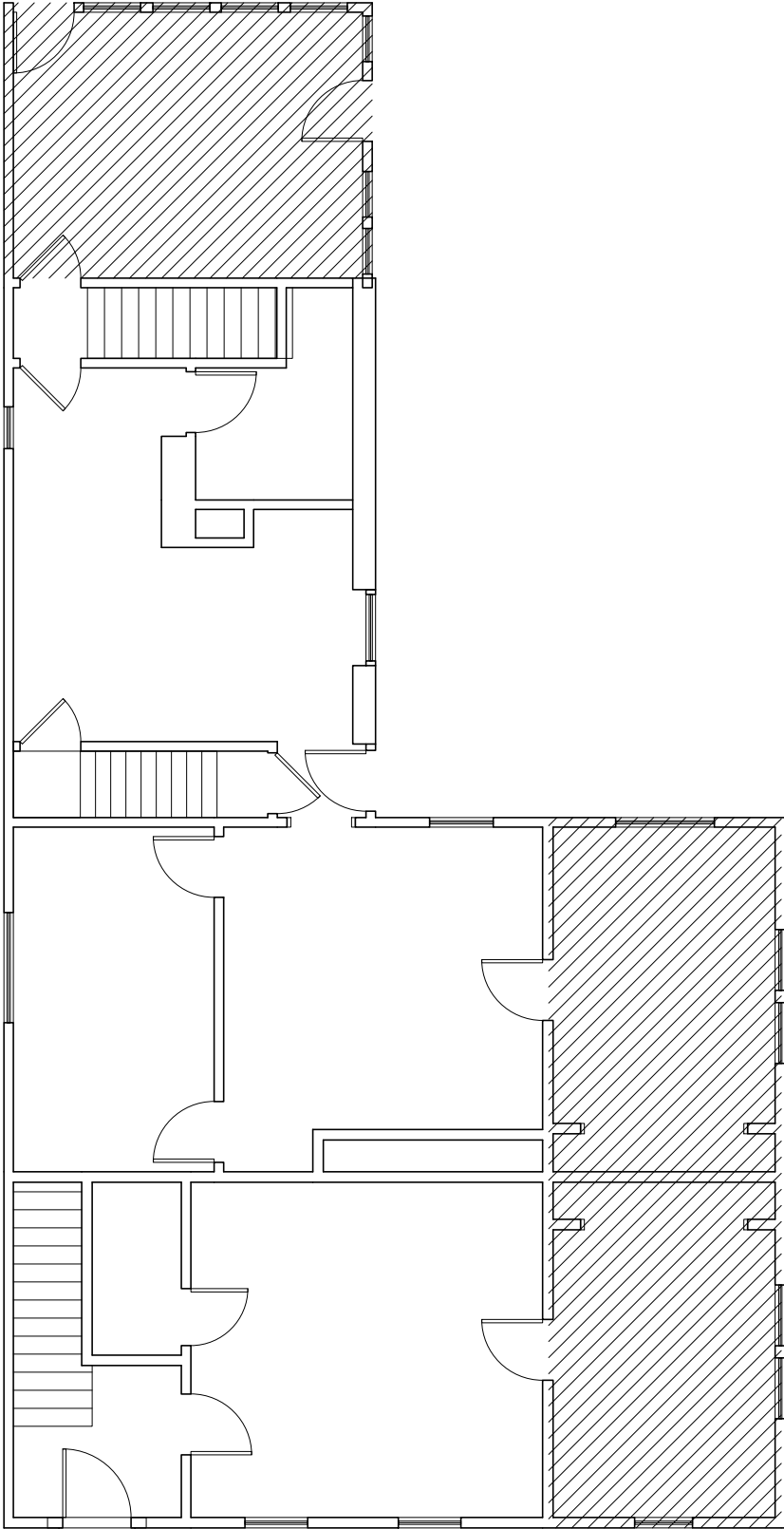
B

C

D



**BASEMENT PLAN**  
1/8" = 1'-0"



**FIRST FLOOR PLAN**  
1/8" = 1'-0"

Revisions:		
#	Description	date

Project #  
23057

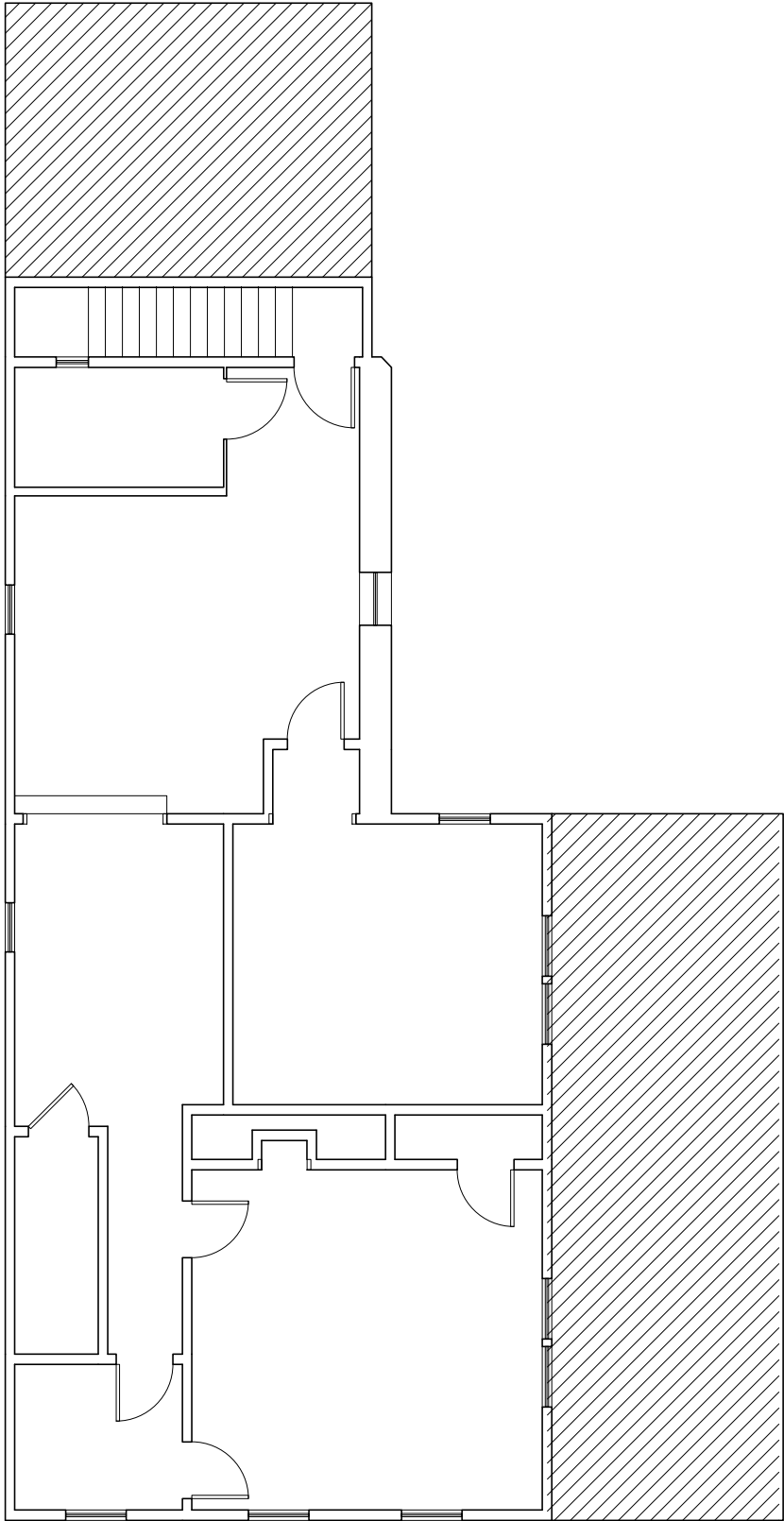
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Date:  
07MAR24

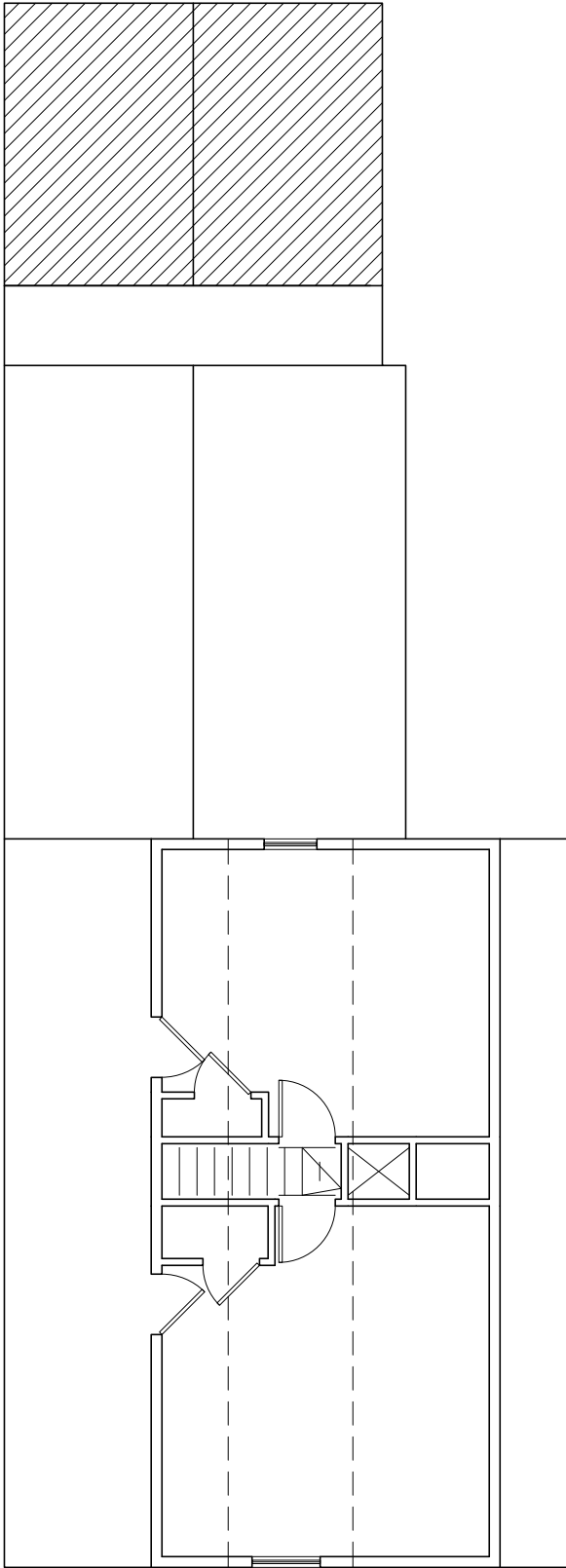
Drawing #  
**EX1.1**



A  
B  
C  
D



SECOND FLOOR PLAN  
1/8" = 1'-0"



ATTIC PLAN  
1/8" = 1'-0"

L.R. Designs

DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 FRANKLIN STREET  
SUITE 5  
ARLINGTON, MA 02159  
617.568.2119  
LRDESIGNSONLINE.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

EXISTING CONDITIONS:  
FLOOR PLANS

Revisions:		
#	Description	date

Project # 23057


Scale: 1/8" = 1'-0"

Date: 07MAR24

Drawing # EX1.2







DESIGNERS, ARCHITECTS, DEVELOPERS, ADVISORS

165 Franklin Street  
Arlington, MA

EXISTING CONDITIONS:  
EXTERIOR ELEVATIONS

Project Title:

Project #  
23057

Drawing Title:

Scale:  
1/8" = 1'-0"

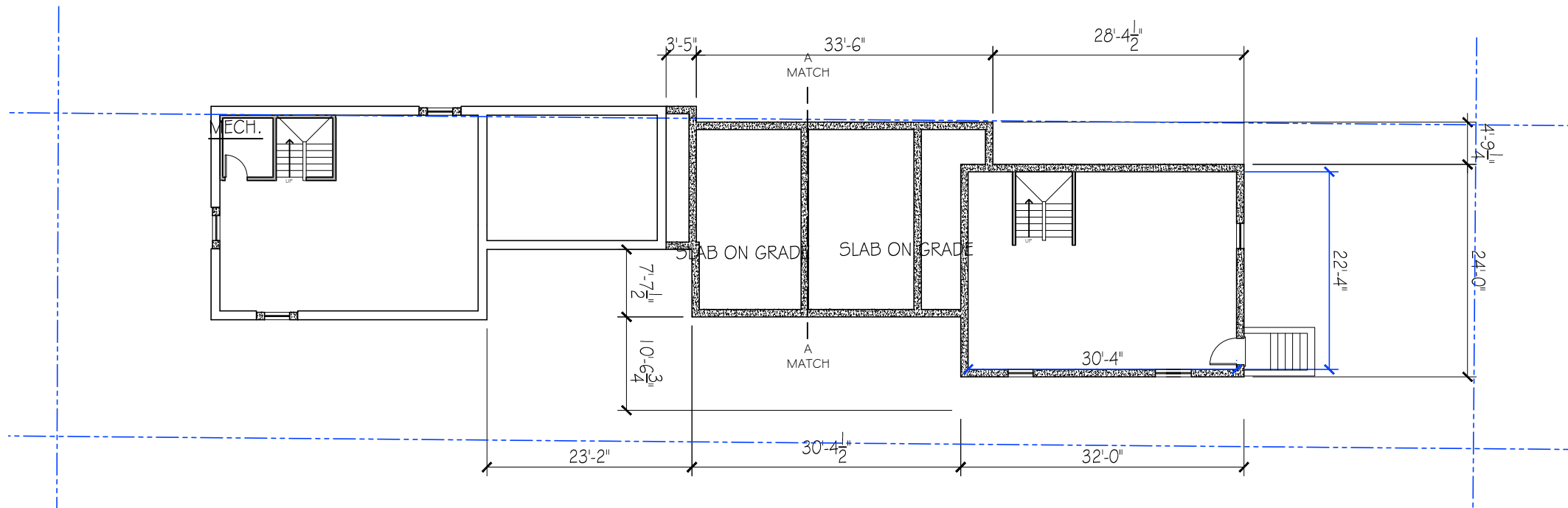
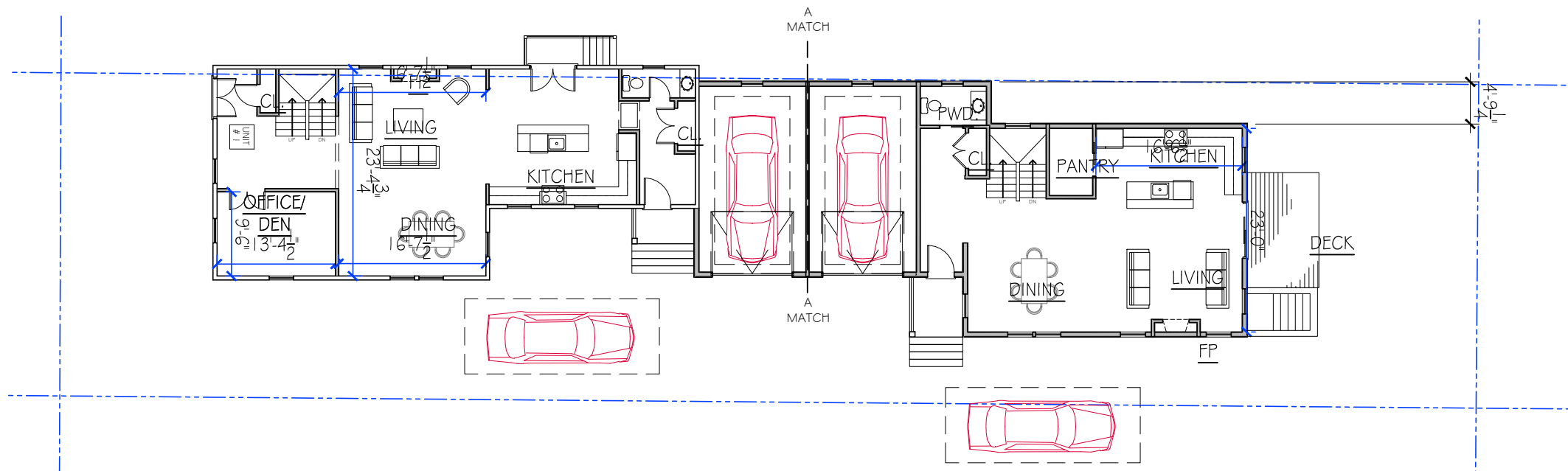
Revisions:

Date:  
07MAR24

Drawing #

EX2.1





DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 FRANKLIN STREET  
SUITE 5  
ARLINGTON, MA 02159  
617.568.2119  
LRDESIGNS@GMAIL.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

PROPOSED RENOVATIONS:  
FLOOR PLANS

Revisions:

#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

Date:

07MAR24

Drawing #

A1.1



**Project Title:**

Drawing Title:

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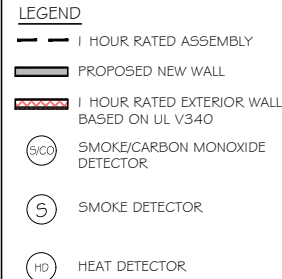
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Scale:

Date:

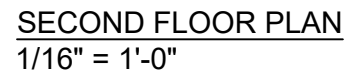
Drawing #

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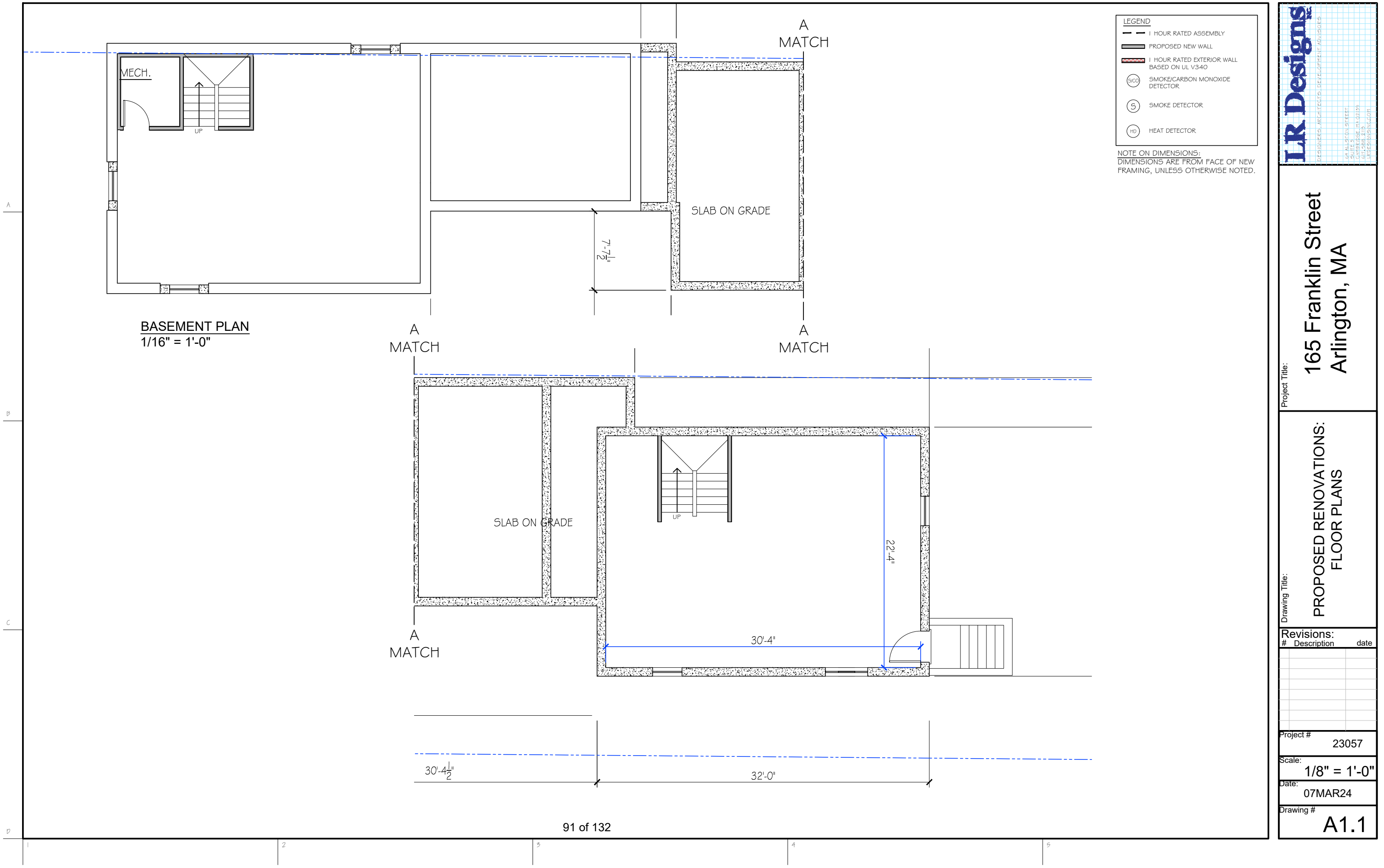


NOTE ON DIMENSIONS:  
DIMENSIONS ARE FROM FACE OF NEW  
FRAMING, UNLESS OTHERWISE NOTED

ATTIC PLAN  
1/16" = 1'-0"







**L.R. Designs**  
DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS  
165 FRANKLIN STREET  
SUITE 5  
ARLINGTON, MA 02159  
617.568.2119  
LRDESIGNSONLINE.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

PROPOSED RENOVATIONS:  
FLOOR PLANS

Revisions:		
#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

Date:

07MAR24

Drawing #

A1.1



Project Title:

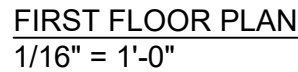
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Project # 23057

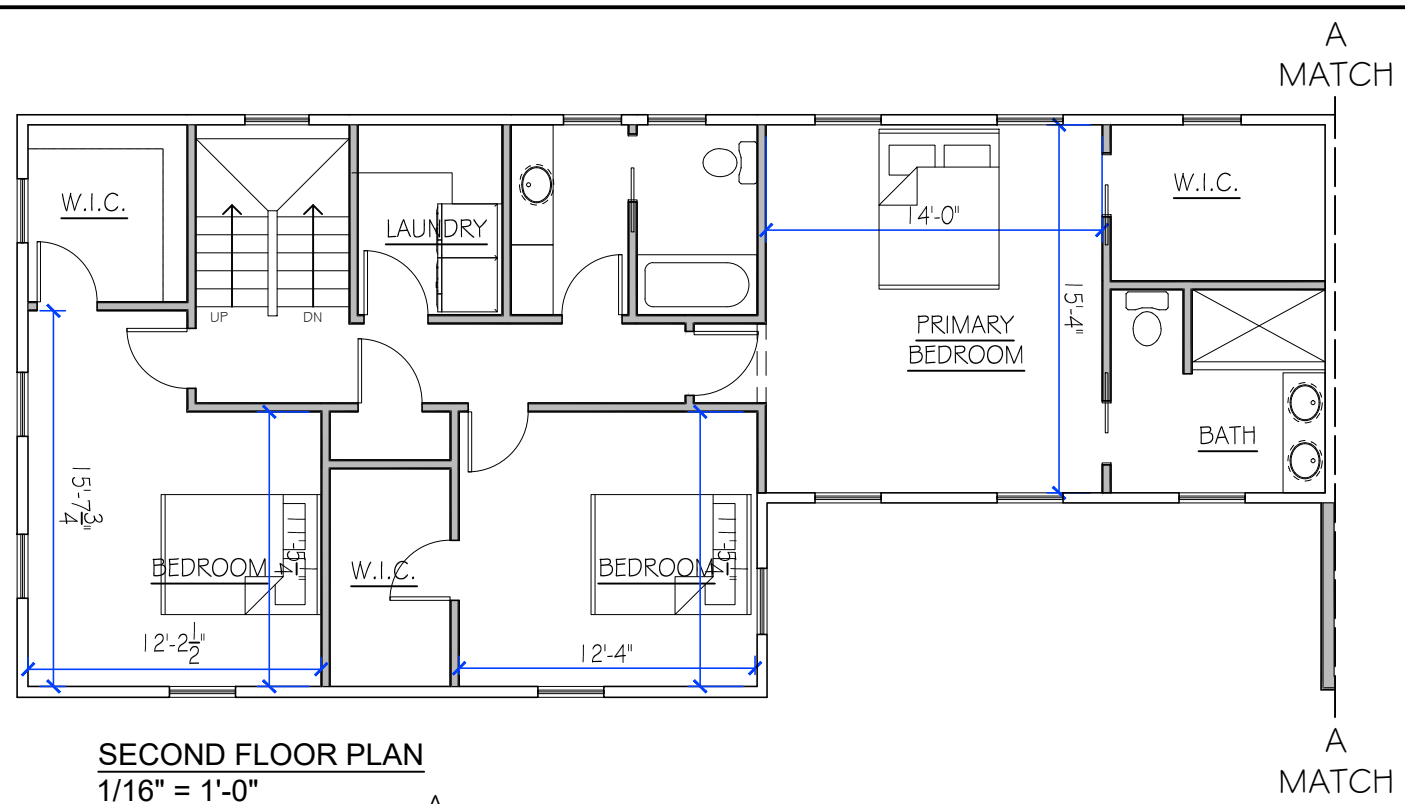
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Date: 07MAR24

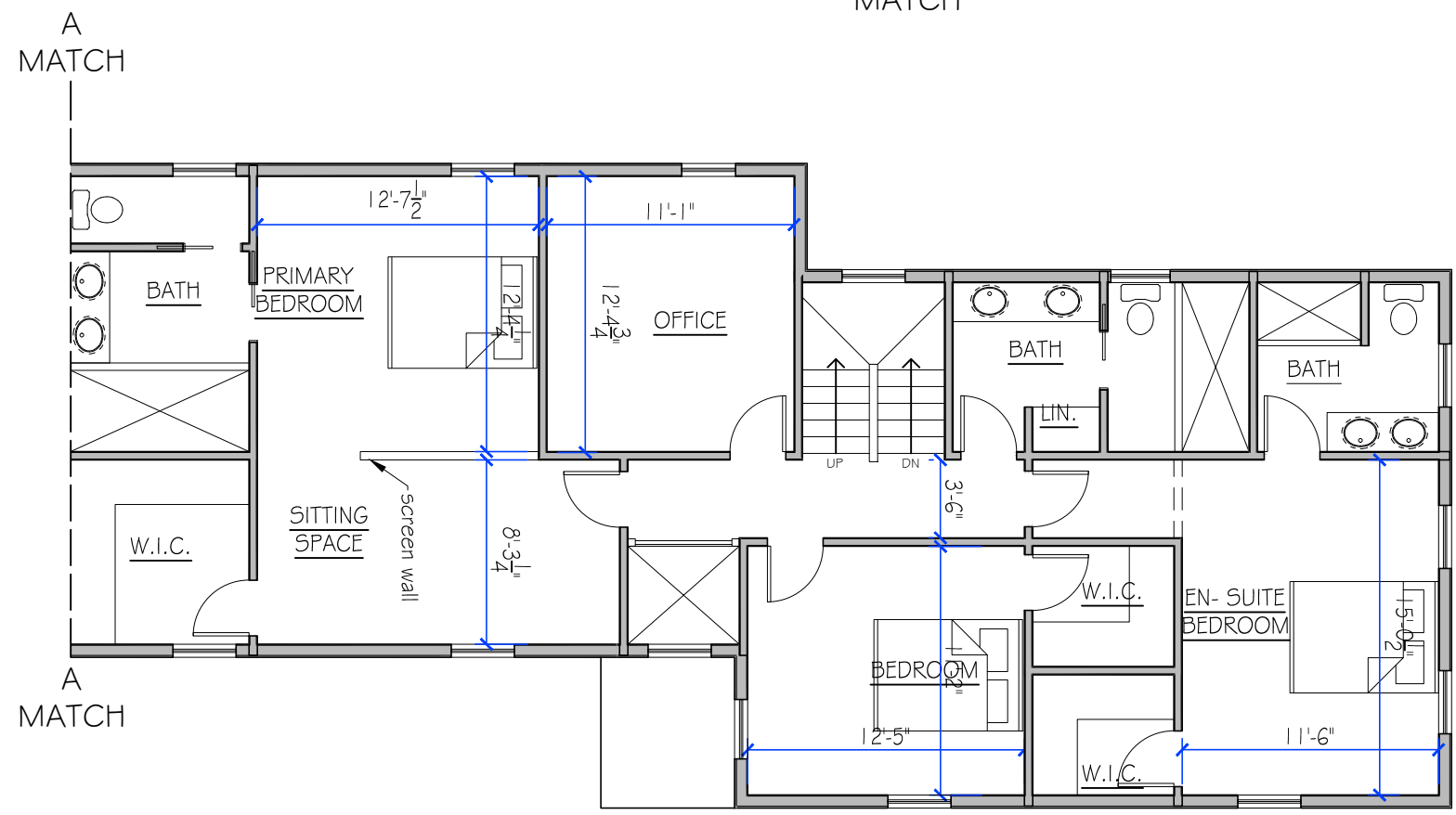
Drawing #  
**A1.0A**



A  
B  
C  
D



SECOND FLOOR PLAN  
1/16" = 1'-0"



**LEGEND**

- 1 HOUR RATED ASSEMBLY
- PROPOSED NEW WALL
- 1 HOUR RATED EXTERIOR WALL BASED ON UL V340
- SMOKE/CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- HEAT DETECTOR

NOTE ON DIMENSIONS:  
DIMENSIONS ARE FROM FACE OF NEW FRAMING, UNLESS OTHERWISE NOTED.

DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 Franklin Street  
Arlington, MA

Project Title:

PROPOSED RENOVATIONS:  
FLOOR PLANS

Revisions:		
#	Description	date

Project # 23057

Scale: 1/8" = 1'-0"

Date: 07MAR24

Drawing # A1.2A







## A



C

## D

2



4



95 of 132



## A



C

✓



ち



9



**L.R. Designs**  
DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

64 ALGON STREET  
SUITE 5  
CAMBRIDGE, MA 02195  
617.262.4710  
L.R.DESIGNS.COM

**Drawing Title:**

Revisions:		
#	Description	date

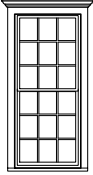
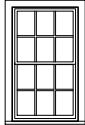
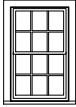

Project #	23057
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Date: 07MAR24

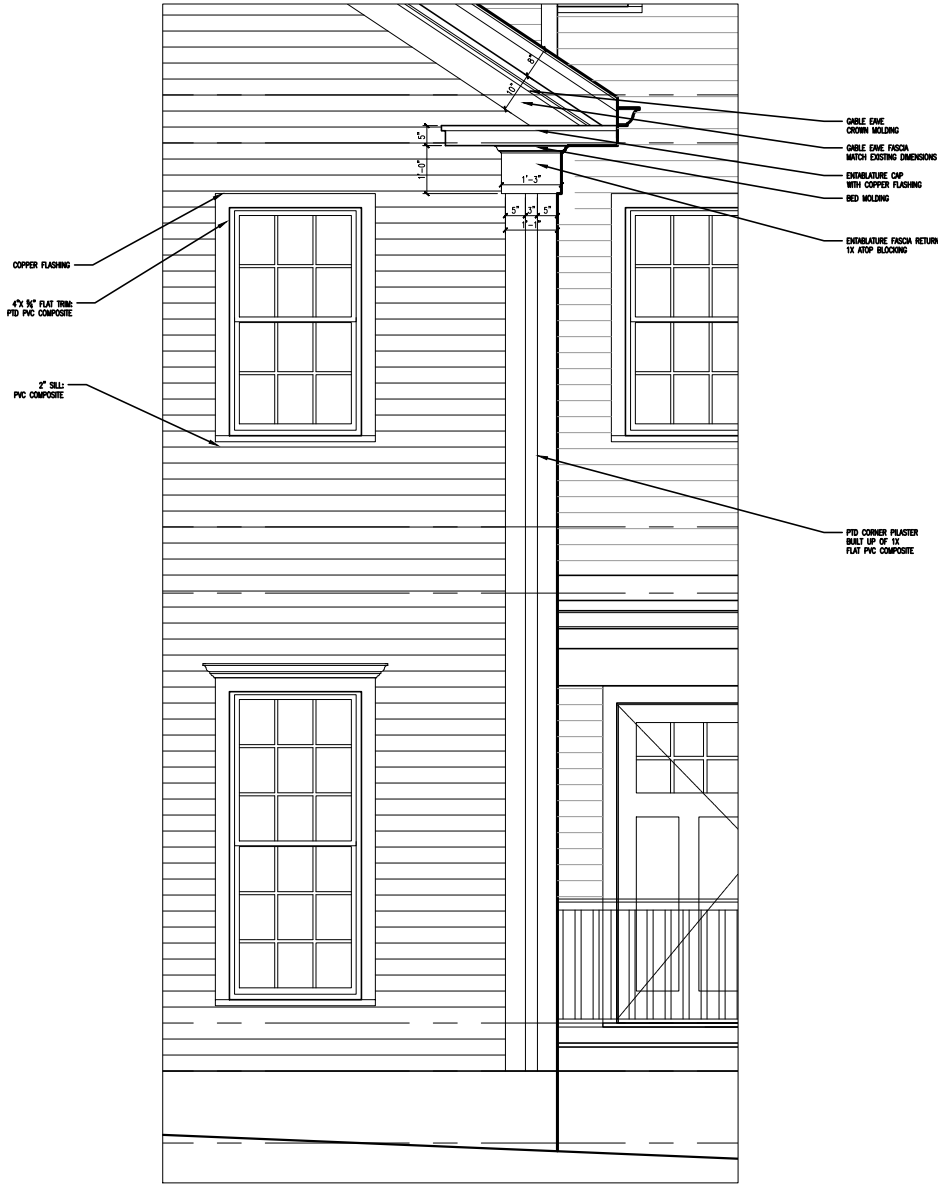
96 of 132



Revisions:		
#	Description	date

WINDOW SCHEDULE							
A		B		C		D	
							
ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"	
MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 3377	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 3357	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 2947	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 2941
WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG	
ROUGH OPENING 2'-9 3/4" x 6'-5 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'-9 3/4" x 4'-9 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'-5 3/4" x 3'-11 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'-5 3/4" x 3'-5 3/4"	HEADER HEIGHT TBD
REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS	

NOTES:  
VERIFY ALL ROUGH OPENINGS. QUANTITIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.  
PROVIDE TEMPERED GLAZING AT ALL HAZARD LOCATIONS. VERIFY EGRESS DIMENSIONS AT REQUIRED LOCATIONS.



CORNER BOARD DETAILS  
1/4" = 1'-0"



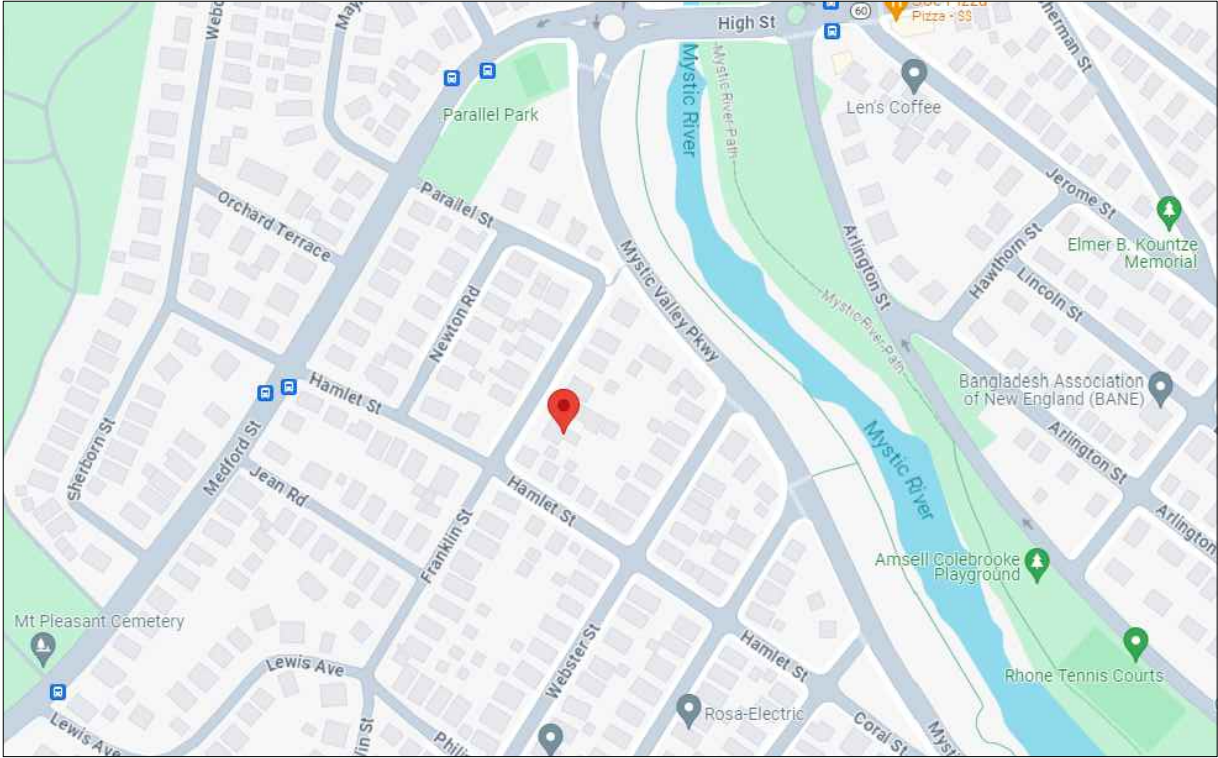
## BUILDING AREA CALCULATIONS (GROSS SQ. FT.) - ZONING

	EXIST. AREA (ASSESSORS)	APPLICATION (TOTAL AREA)	PREVIOUSLY PROPOSED (TOTAL AREA)	CURRENT PROPOSED (TOTAL AREA)	CURRENT PROPOSED TOTAL ADDITION
BASEMENT (CELLAR)	1,159	1,964	2,355	1,927	
1ST FLOOR	1,661	2,474	2,490	2,603	
2ND FLOOR	1,183	2,567	2,371	2,603	
ATTIC (SURVEYED)	99	558	452	493	
GARAGE (ACCESSORY PARKING)	0	606	548	549	
TOTAL GROSS FLOOR AREA	4102	7,563	7,668	7,077	2,975
TOTAL GROSS AREA	4102	8,169	8,216	7,626	









PROJECT LOCATION:  
**165 FRANKLIN ST.**  
**ARLINGTON, MA**  
ZONING DISTRICT R2- TWO- FAMILY

STRUCTURAL NOTES: ARLINGTON, MA LOADS, PER 780 CMR:  
LIVE LOADS 30lb.s/SF (BEDROOMS)  
40lb.s/SF (OTHER ROOMS)  
GROUND SNOW LOAD 40lb.s/SF  
WIND LOAD 127MPH

LIST OF DRAWINGS		
	SPECIAL PERMIT	SPECIAL PERMIT
ISSUED	MAR. 6, 2024	APRIL 9, 2024
COVER	<input type="radio"/>	<input checked="" type="radio"/>
Z0.1 ZONING INFORMATION	<input type="radio"/>	<input checked="" type="radio"/>
Z0.2 ZONING INFORMATION	<input type="radio"/>	<input checked="" type="radio"/>
SURVEY	<input type="radio"/>	<input checked="" type="radio"/>
EX1.1 EXISTING CONDITIONS: PLANS	<input type="radio"/>	<input checked="" type="radio"/>
EX1.2 EXISTING CONDITIONS: PLANS	<input type="radio"/>	<input checked="" type="radio"/>
EX2.1 EXISTING CONDITIONS: ELEVATIONS	<input type="radio"/>	<input checked="" type="radio"/>
A1.1 PROPOSED PLANS	<input type="radio"/>	<input checked="" type="radio"/>
A1.2 PROPOSED PLANS	<input type="radio"/>	<input checked="" type="radio"/>
A1.3 PROPOSED PLANS	<input type="radio"/>	<input checked="" type="radio"/>
A1.4 PROPOSED PLANS	<input type="radio"/>	<input checked="" type="radio"/>
A1.5 PROPOSED PLANS	<input type="radio"/>	<input checked="" type="radio"/>
A1.6 PROPOSED PLANS	<input type="radio"/>	<input checked="" type="radio"/>
A2.1 PROPOSED ELEVATIONS	<input type="radio"/>	<input checked="" type="radio"/>
A3.1 PROPOSED BUILDING DETAILS	<input type="radio"/>	

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT: 780 CMR (2021 IECC)

Building Envelope- Climate Zone 5 Group R	R402.1.3
Roofs	
Attic and other	R-60
Walls, Above Grade	
Wood framed & other	R-20+5
Walls, Below Grade	
Crawlspace Walls	R-15/19
Basement Walls	R-15/19
Floors	
Joist/Framing	R-30
Slab Floors	
Unheated slabs	R-10 for 48 in.
Glazed Fenestration	
Fenestration U- Factor	U-0.30
Skylights	U-0.55
Glazed	U-0.40

L.R. Designs

DESIGNERS, ARCHITECTS, DEVELOPERS, ADVISORS

165 FRANKLIN STREET  
SUITE 5  
ARLINGTON, MA 02153  
978.268.2119  
LRDESIGNS.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

PROJECT INFORMATION

Revisions:

#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

Date:

07MAR24  
12MAR24  
9APRIL24

Drawing #

COVER







WEBSTER STREET

HAMLET STREET

FRANKLIN STREET

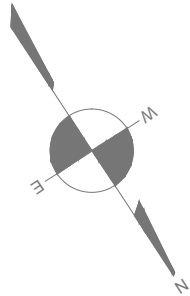


FIGURE GROUND DIAGRAM  
1"= 30'-0"

**L.R. Designs**

DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 FRANKLIN STREET

SUITE 5

CAMBRIDGE, MA 02129

617.569.2119

LRDESIGNSONLINE.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

ZONING INFORMATION

Revisions:		
#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

Date:

07MAR24  
12MAR24  
9APRIL24

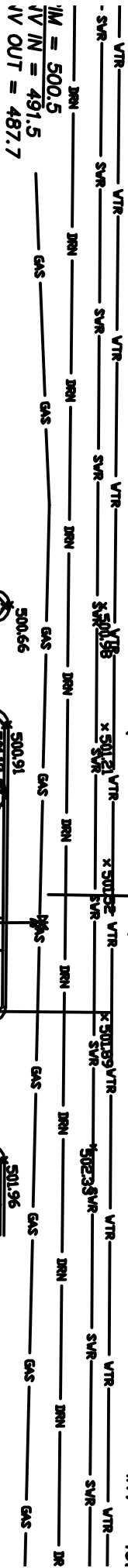
Drawing #

Z0.2



FRANKLIN ( A PUBLIC WAY ) STREET

RIM = 50  
INV = 49.



BENCHMARK =  
MAG NAIL SET IN POLE  
ELEV. = 502.3' ( ASSUMED )

No. 49 HAMLET ST.  
N/F  
JOHN DUMAS &  
JOHN LAFAUDI  
BK 40214; PG 231

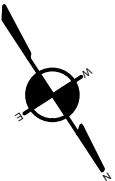
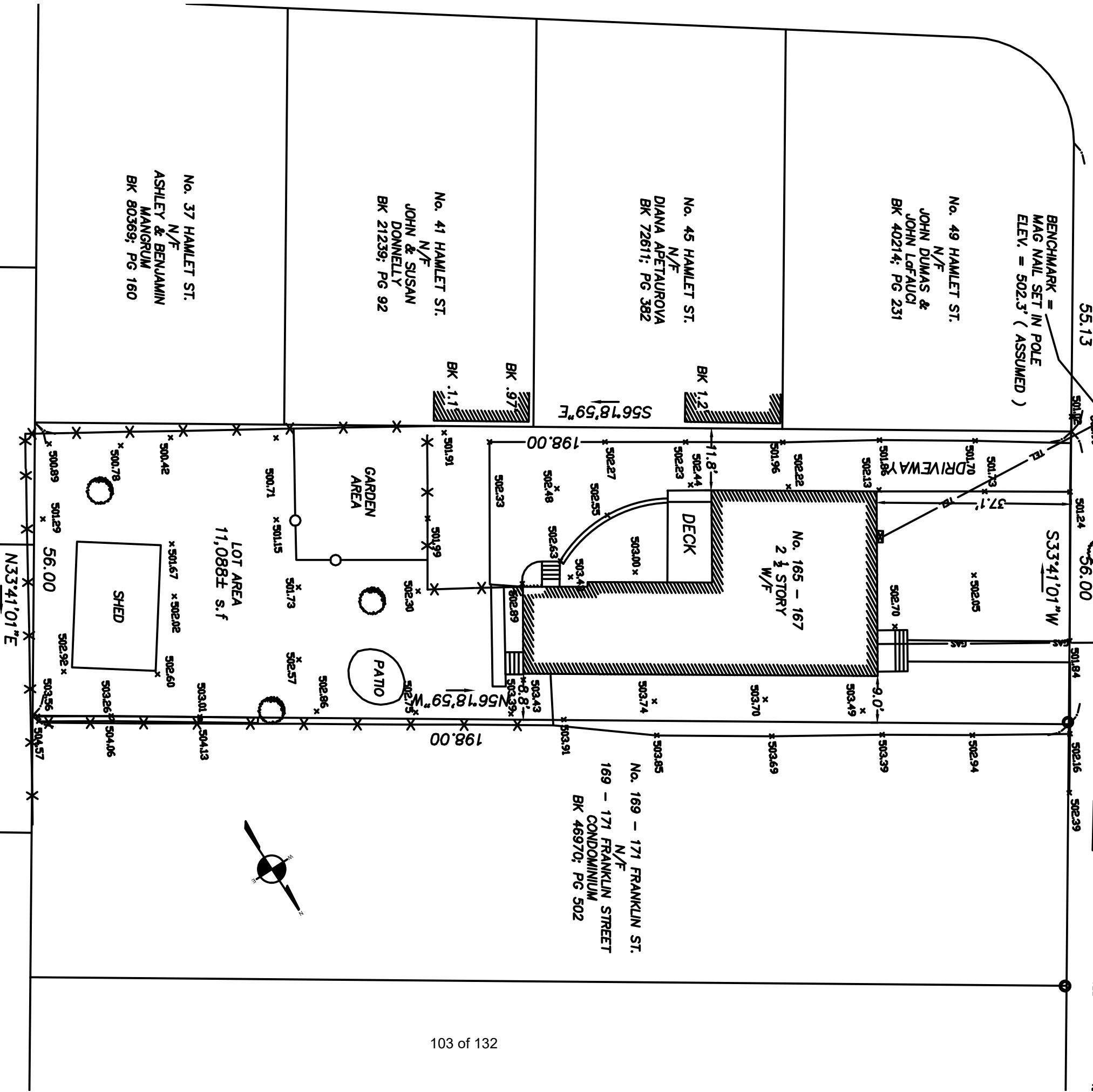
No. 45 HAMLET ST.  
N/F  
DIANA APETAUROVA  
BK 72611; PG 382

No. 41 HAMLET ST.  
N/F  
JOHN & SUSAN  
DONNELLY  
BK 21239; PG 92

No. 37 HAMLET ST.  
N/F  
ASHLEY & BENJAMIN  
MANGRUM  
BK 80369; PG 160

No. 132 - 134 WEBSTER ST.  
N/F  
132 - 134 WEBSTER STREET  
CONDOMINIUM  
BK 55629; PG 566

No. 136 - 138 WEBSTER ST.  
N/F  
136 - 138 WEBSTER STREET  
CONDOMINIUM  
BK 67582; PG 562



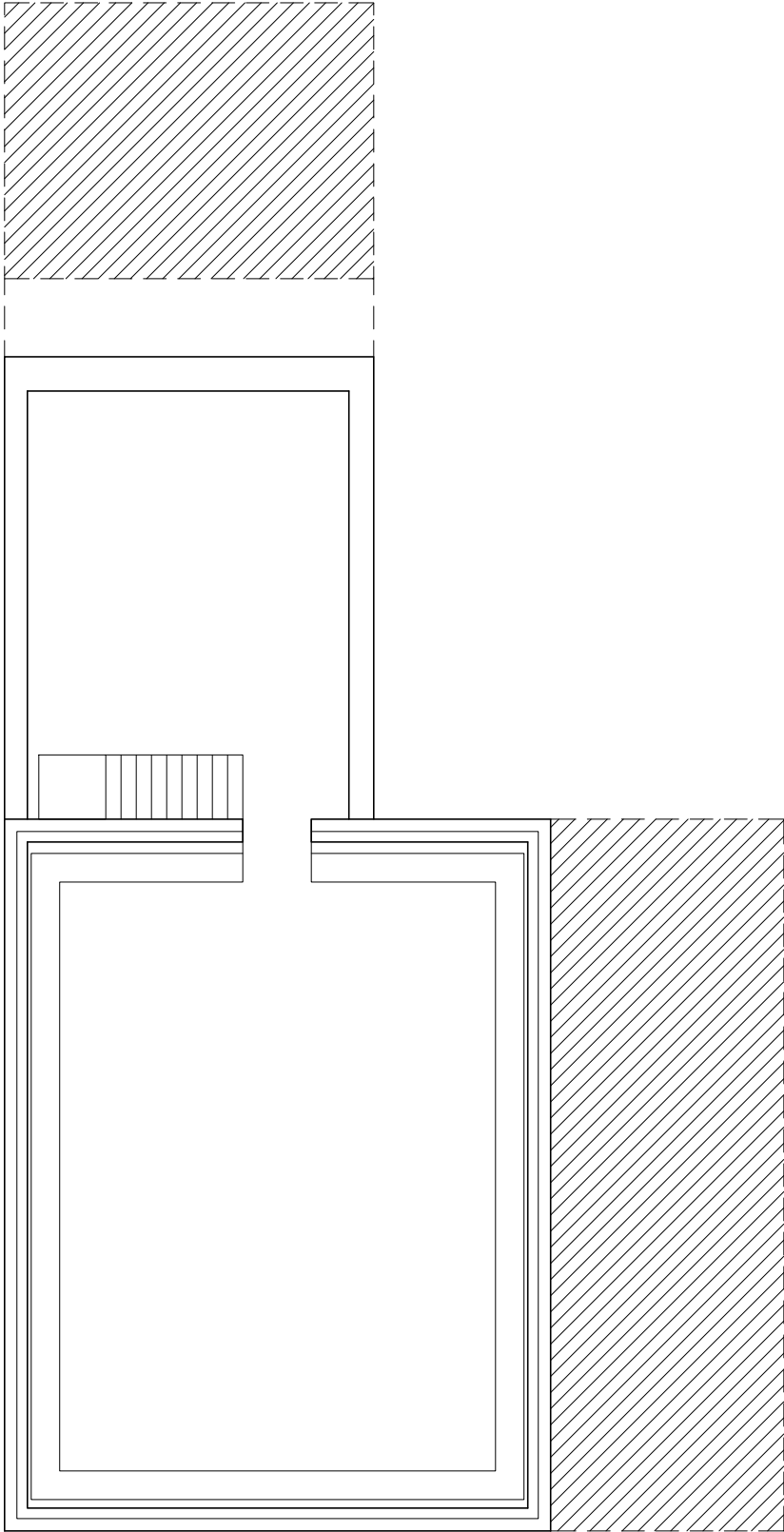


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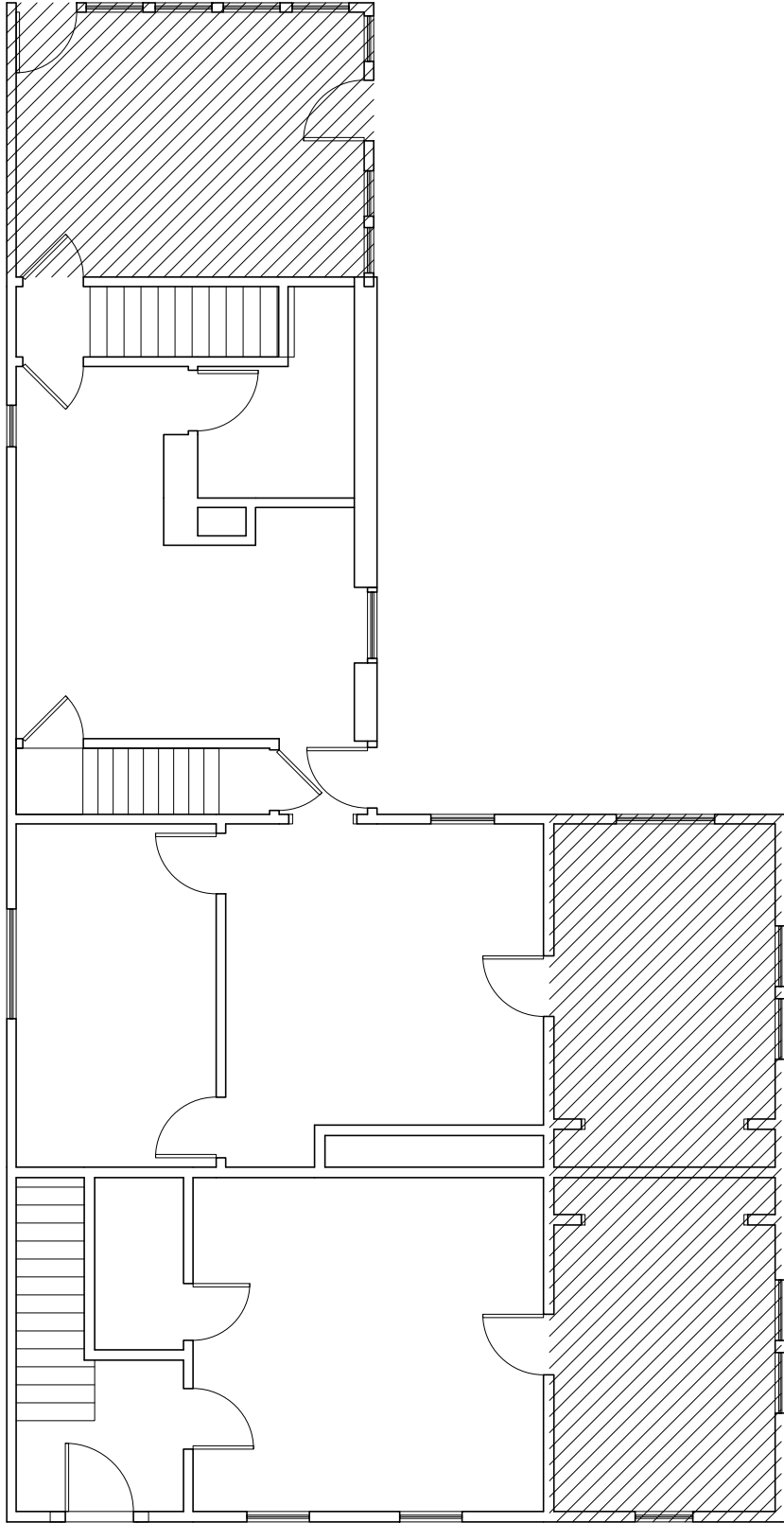
B

C

D



**BASEMENT PLAN**  
1/8" = 1'-0"



**FIRST FLOOR PLAN**  
1/8" = 1'-0"

Revisions:		
#	Description	date

Project #  
23057

Scale:  
1/8" = 1'-0"

Date: 07MAR24  
12MAR24  
9APRIL24

Drawing #  
**EX1.1**

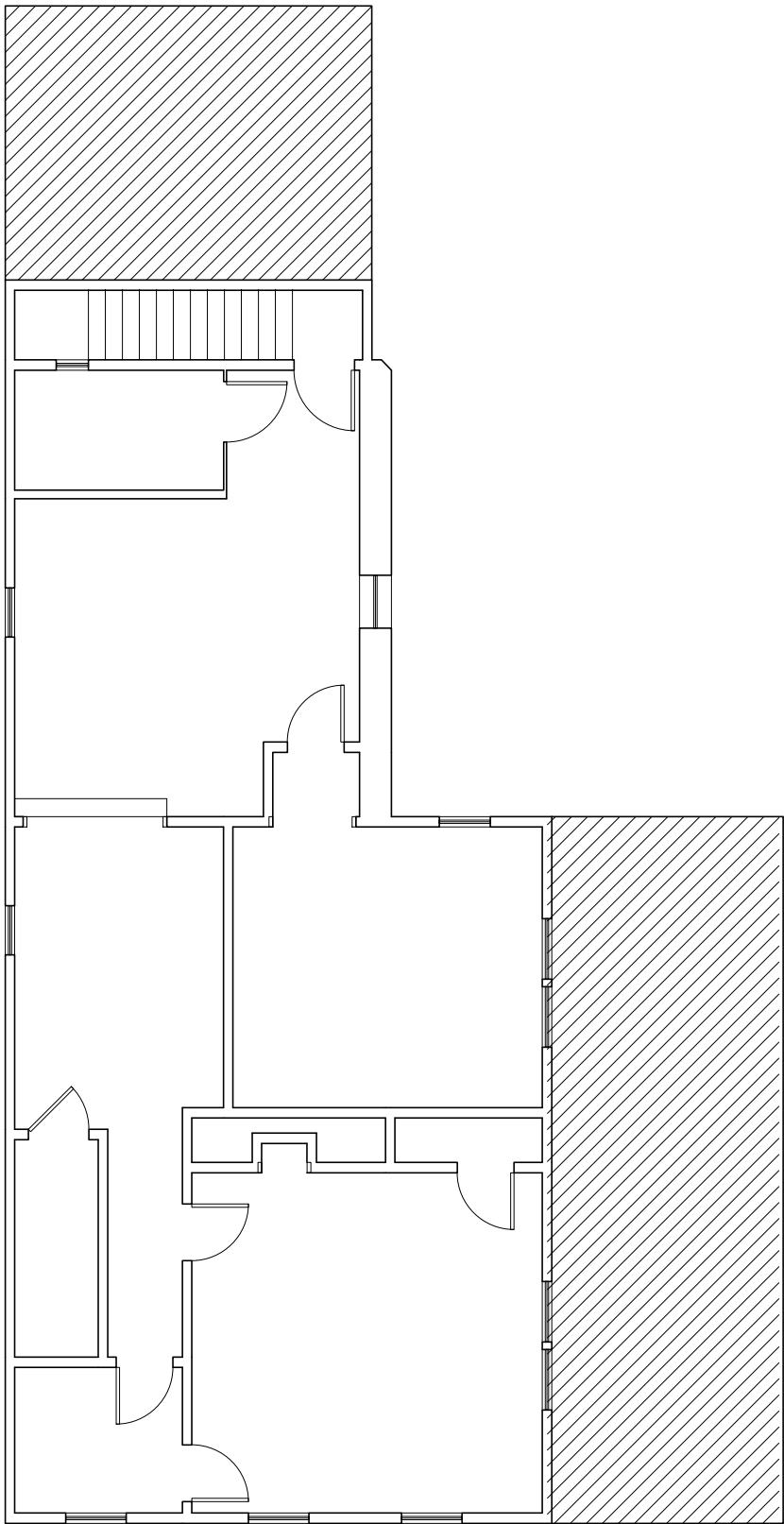


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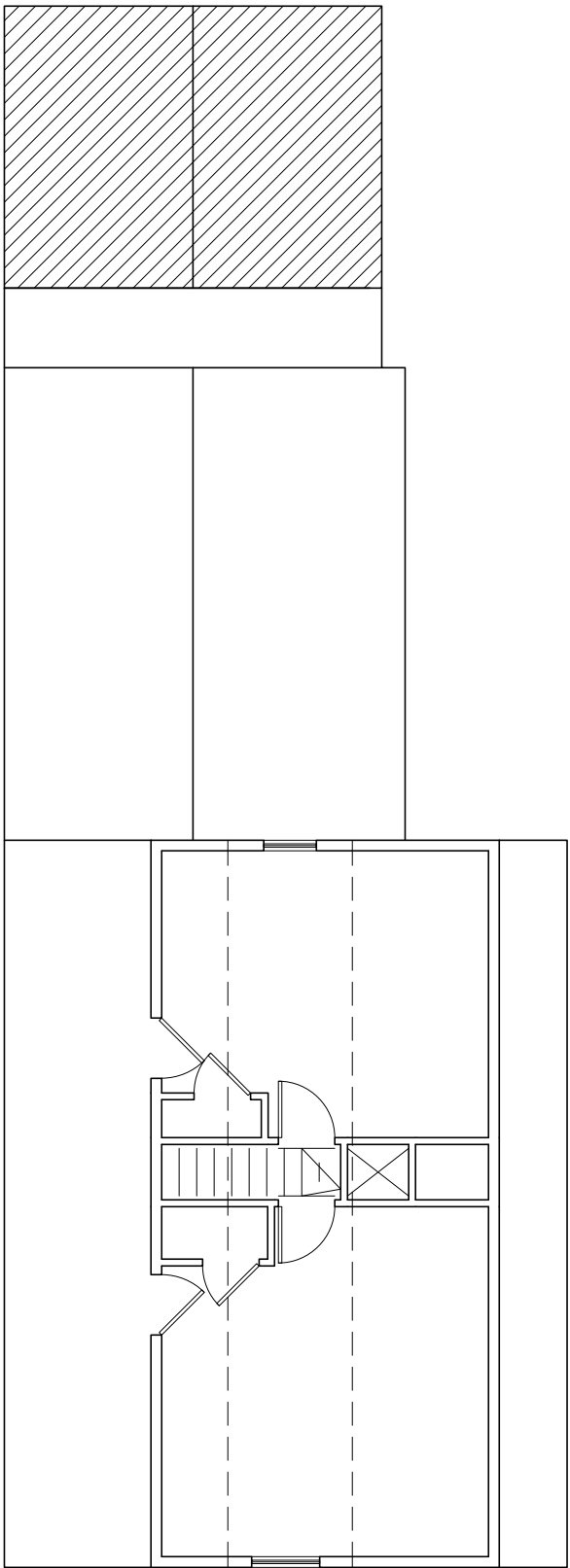
B

C

D



**SECOND FLOOR PLAN**  
1/8" = 1'-0"



**ATTIC PLAN**  
1/8" = 1'-0"

Revisions:		
#	Description	date

Project #  
23057

Scale:  
1/8" = 1'-0"

Date: 07MAR24  
12MAR24  
9APRIL24

Drawing #  
**EX1.2**





**L.R. Designs**  
DESIGNERS, ARCHITECTS, DEVELOPERS, ADVISORS

165 FRANKLIN STREET  
SUITE 5  
ARLINGTON, MA 02153  
978.263.2119  
LRDESIGNS@GMAIL.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

EXISTING CONDITIONS:  
EXTERIOR ELEVATIONS

Revisions:

#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

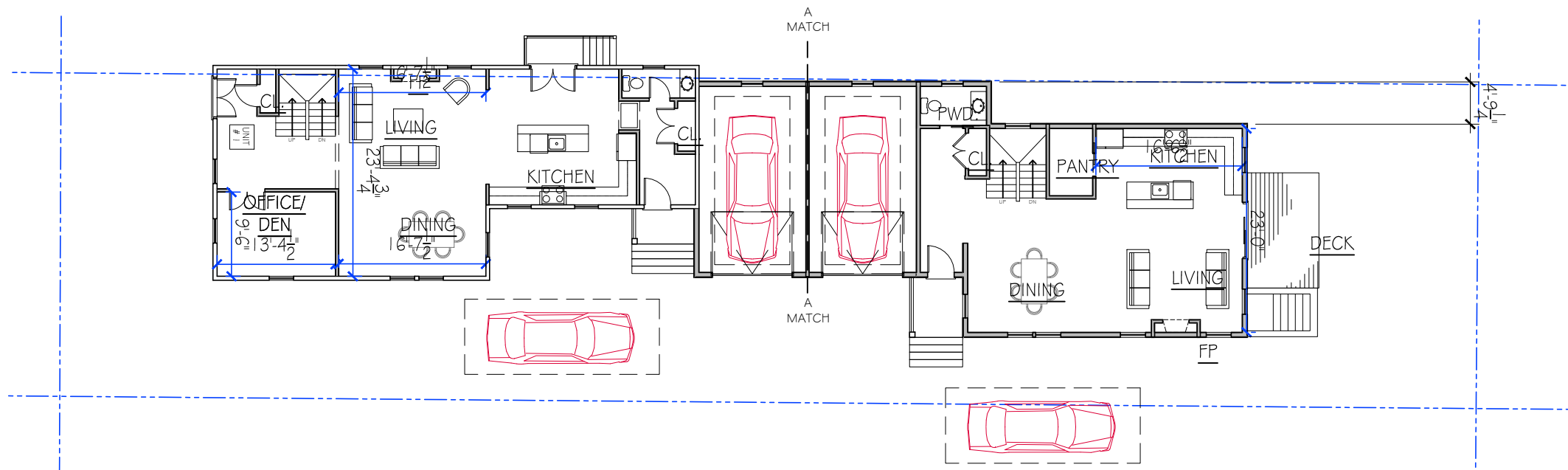
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07MAR24  
12MAR24  
9APRIL24

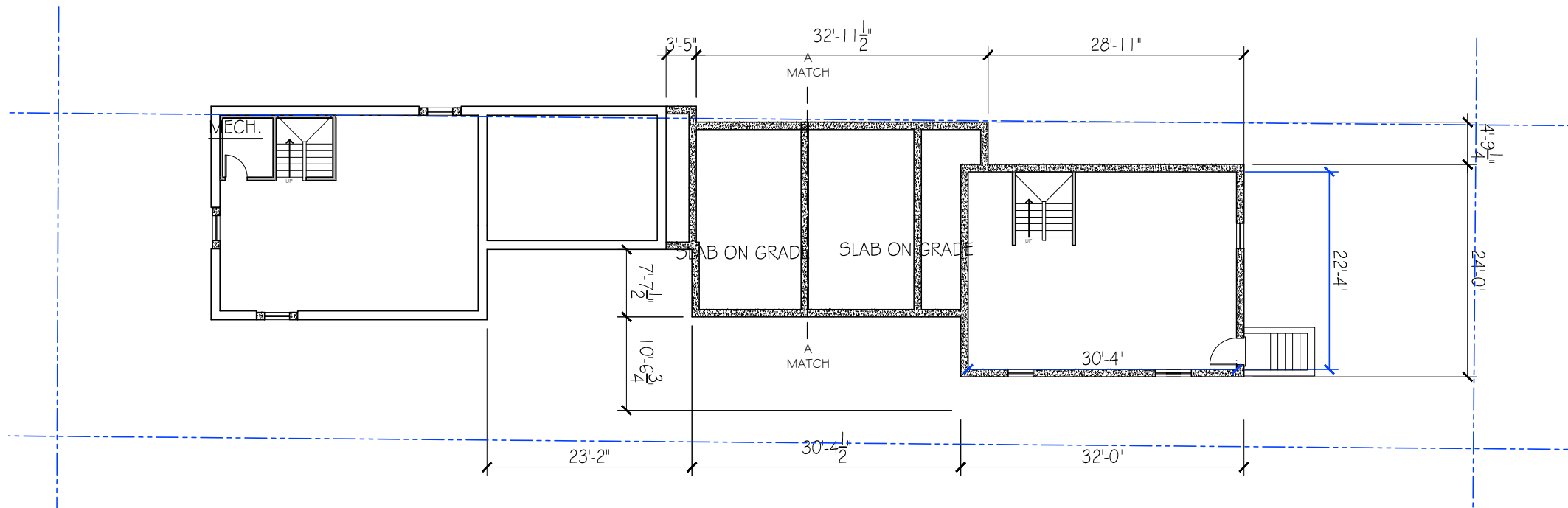
Drawing #

EX2.1





FIRST FLOOR PLAN  
1/16" = 1'-0"



Revisions:		
#	Description	date

Project #  
23057

Scale:  
1/8" = 1'-0"

Date: 07MAR24  
12MAR24  
9APRIL24

Drawing #

A1.1



A

B

C

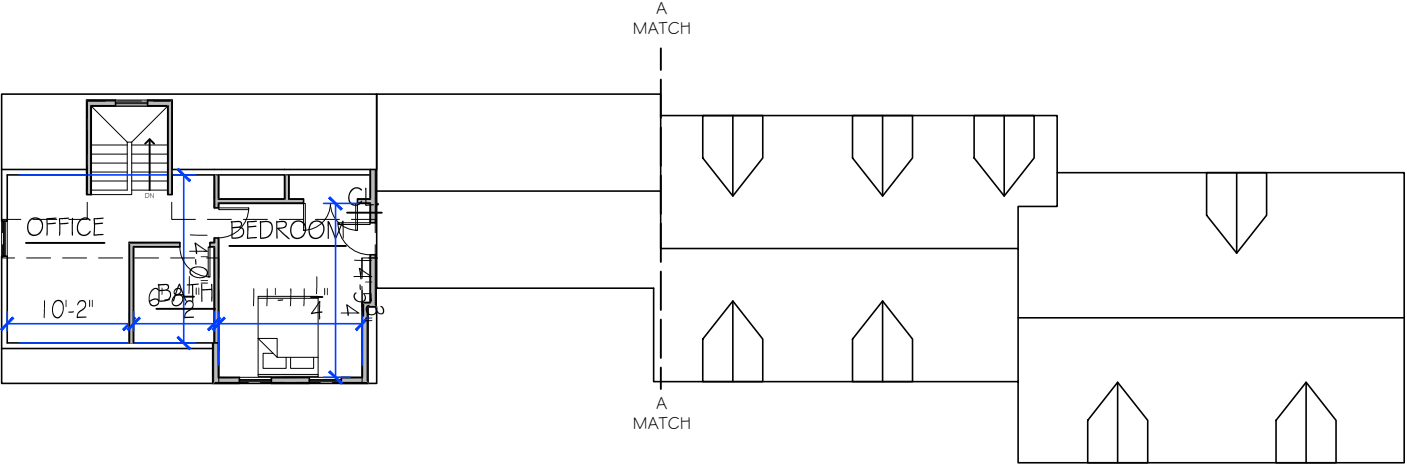
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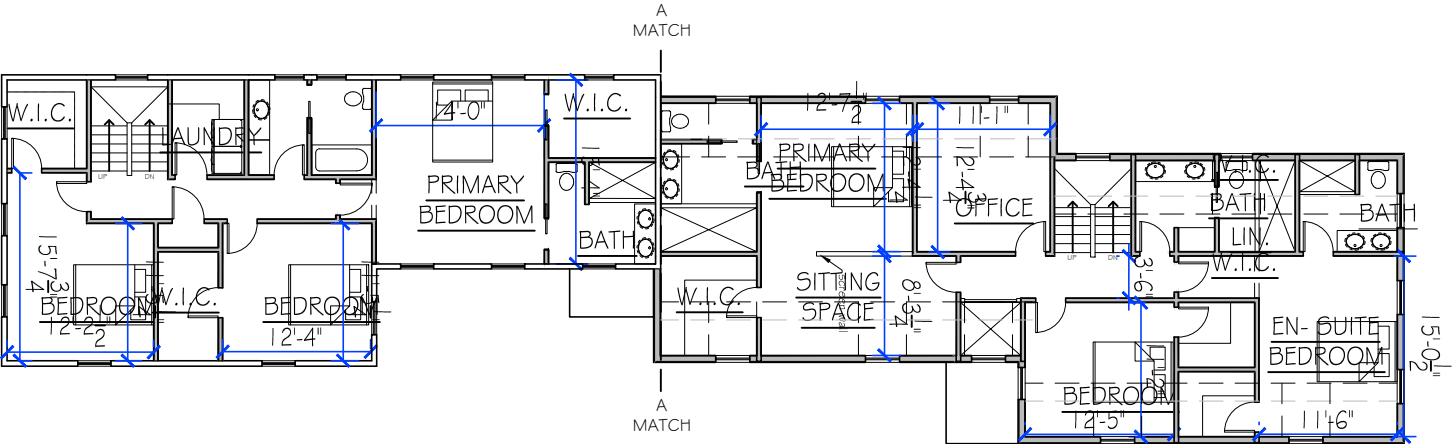
3

4

5



ATTIC PLAN  
1/16" = 1'-0"



SECOND FLOOR PLAN  
1/16" = 1'-0"

LEGEND

- 1 HOUR RATED ASSEMBLY
- PROPOSED NEW WALL
- 1 HOUR RATED EXTERIOR WALL BASED ON UL V340
- SMOKE/CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- HEAT DETECTOR

NOTE ON DIMENSIONS:  
DIMENSIONS ARE FROM FACE OF NEW  
FRAMING, UNLESS OTHERWISE NOTED.

L.R. Designs

DESIGNERS, ARCHITECTS, DEVELOPERS, ADVISORS

165 FRANKLIN STREET

SUITE 5

ARLINGTON, MA 02159

978.268.2119

LRDESIGNSONLINE.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

PROPOSED RENOVATIONS:  
FLOOR PLANS

Revisions:		
#	Description	date

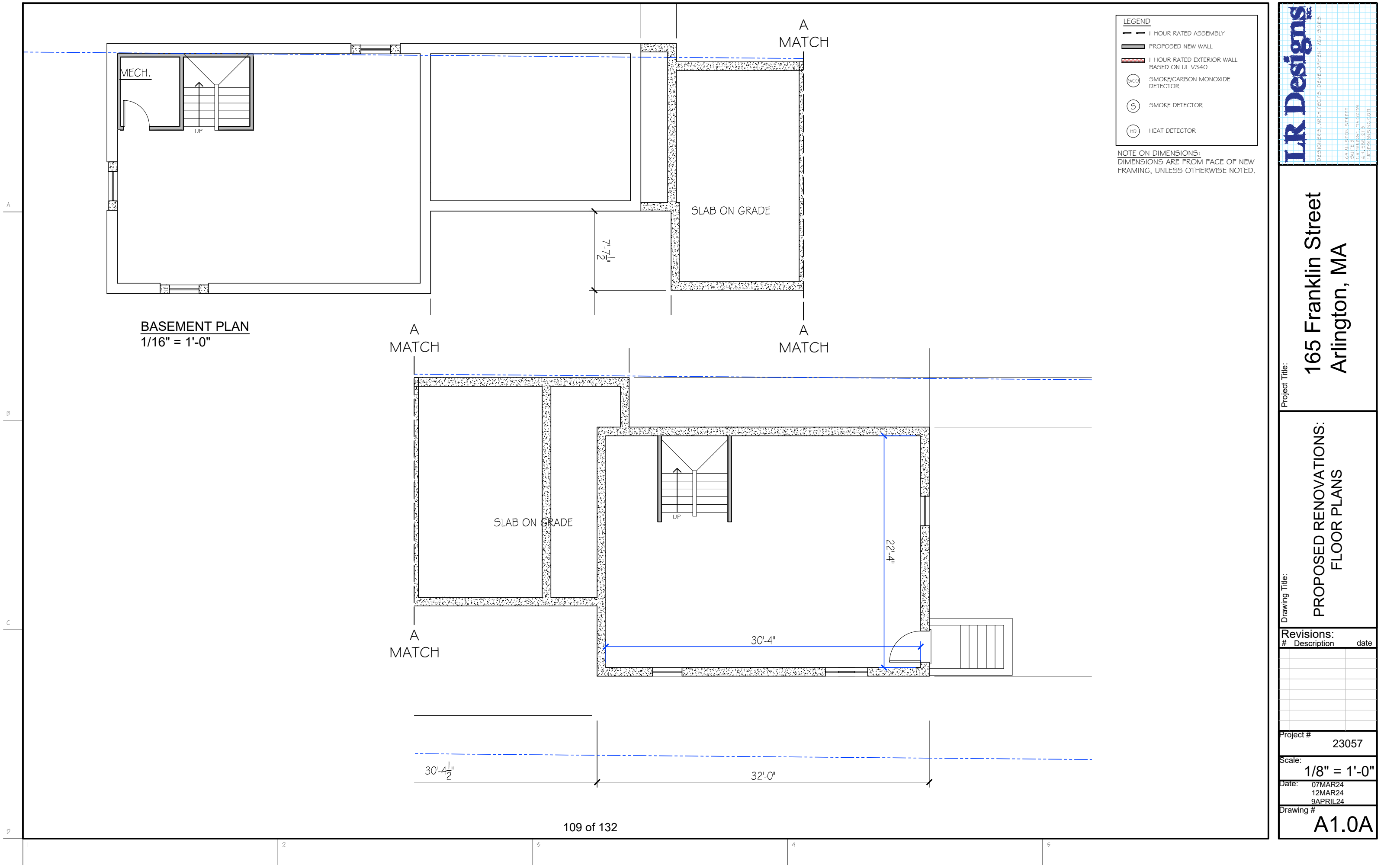
Project #  
23057

Scale:  
1/8" = 1'-0"

Date: 07MAR24  
12MAR24  
9APRIL24

Drawing #  
A1.2





DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 FRANKLIN STREET  
SUITE 5  
ARLINGTON, MA 02159  
617.568.2119  
LRDESIGNSONLINE.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

PROPOSED RENOVATIONS:  
FLOOR PLANS

Revisions:

#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

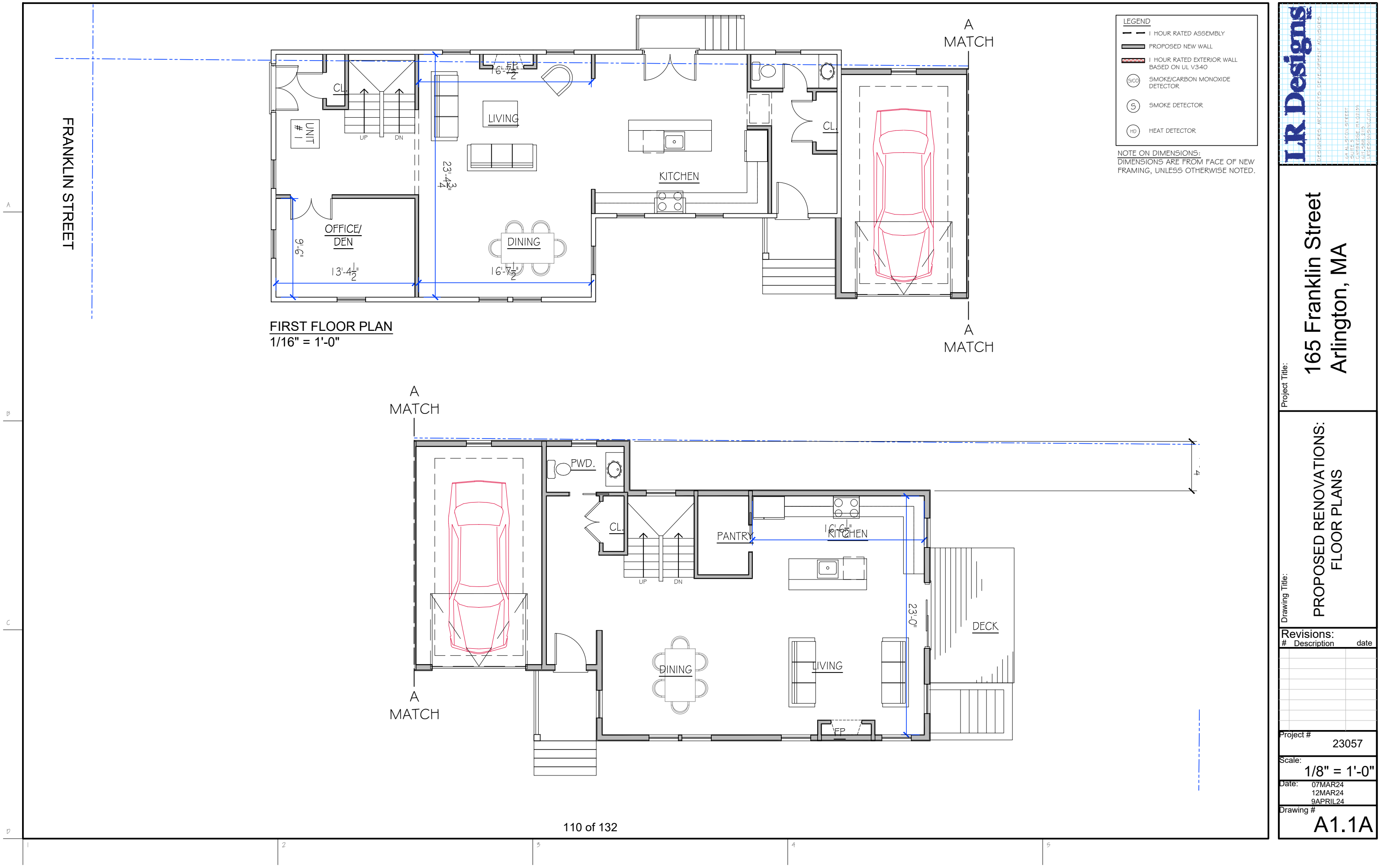
Date:

07MAR24  
12MAR24  
9APRIL24

Drawing #

A1.0A





FIRST FLOOR PLAN  
1/16" = 1'-0"

**LEGEND**

- 1 HOUR RATED ASSEMBLY
- PROPOSED NEW WALL
- 1 HOUR RATED EXTERIOR WALL BASED ON UL V340
- SMOKE/CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- HEAT DETECTOR

**NOTE ON DIMENSIONS:**  
DIMENSIONS ARE FROM FACE OF NEW FRAMING, UNLESS OTHERWISE NOTED.

**L.R. Designs**  
DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS  
165 FRANKLIN STREET  
SUITE 5  
ARLINGTON, MA 02464  
617.268.2119  
LRDESIGNS@GMAIL.COM

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

PROPOSED RENOVATIONS:  
FLOOR PLANS

Revisions:

#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

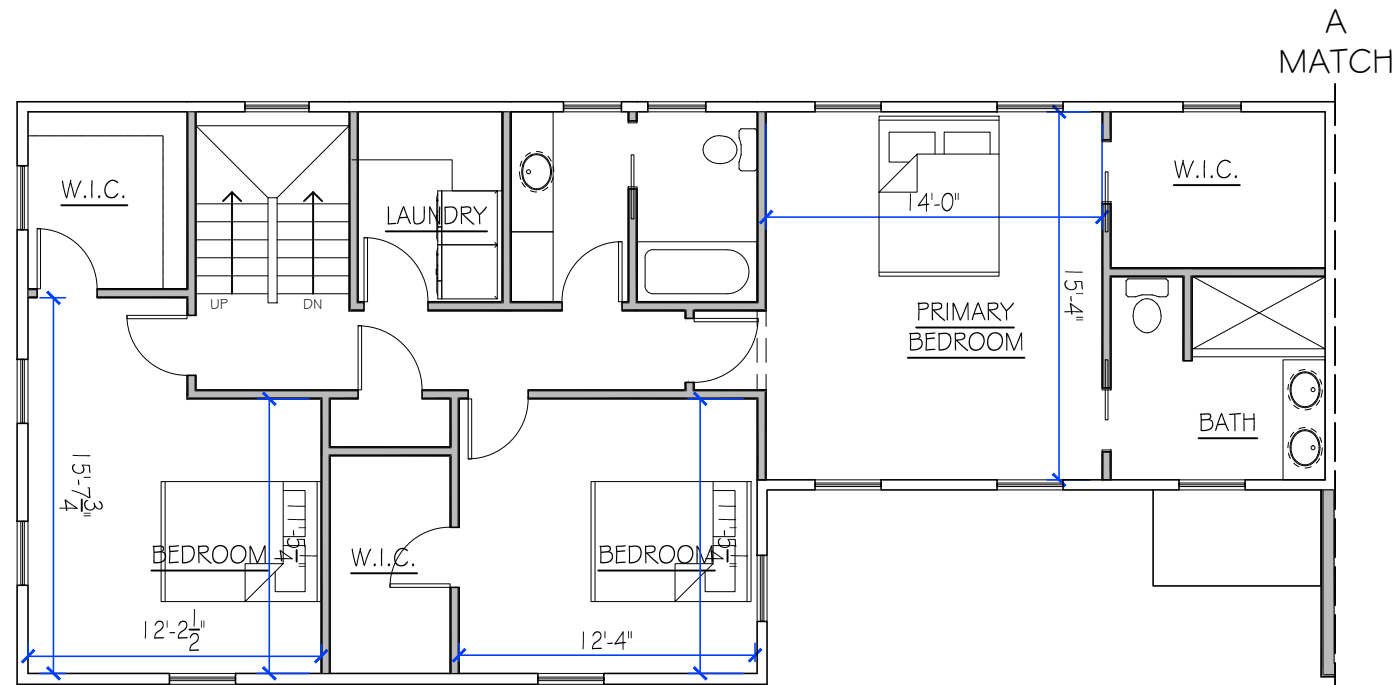
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07MAR24  
12MAR24  
9APRIL24

Drawing #

A1.1A



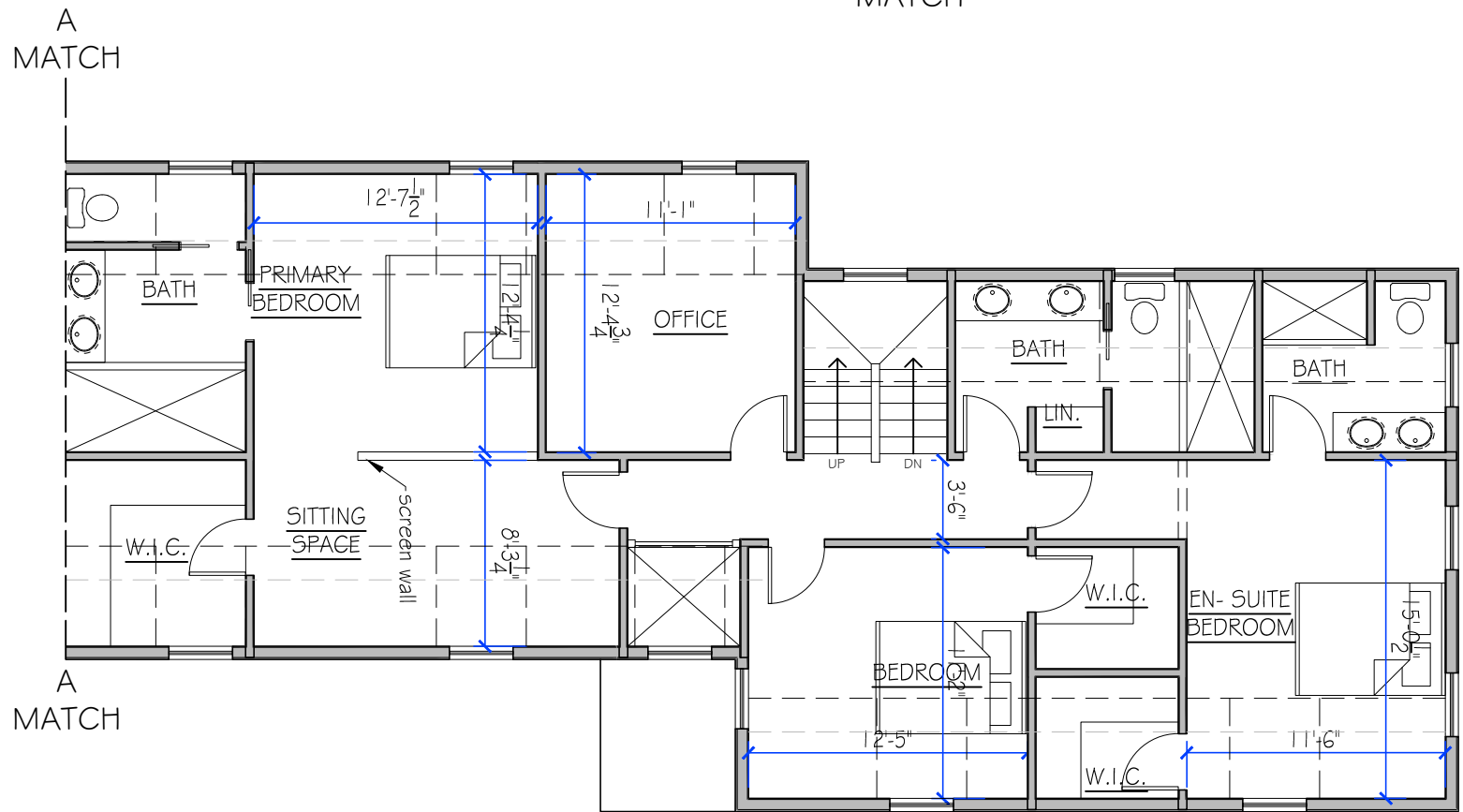


**SECOND FLOOR PLAN**  
1/16" = 1'-0"

**LEGEND**

- 1 HOUR RATED ASSEMBLY
- PROPOSED NEW WALL
- 1 HOUR RATED EXTERIOR WALL BASED ON UL V340
- SMOKE/CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- HEAT DETECTOR

**NOTE ON DIMENSIONS:**  
DIMENSIONS ARE FROM FACE OF NEW FRAMING, UNLESS OTHERWISE NOTED.



DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS  
165 FRANKLIN STREET  
SUITE 5  
ARLINGTON, MA 02464  
617.268.2119  
LRDESIGNS.COM

Project Title:

**165 Franklin Street  
Arlington, MA**

Drawing Title:

**PROPOSED RENOVATIONS:  
FLOOR PLANS**

Revisions:

#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

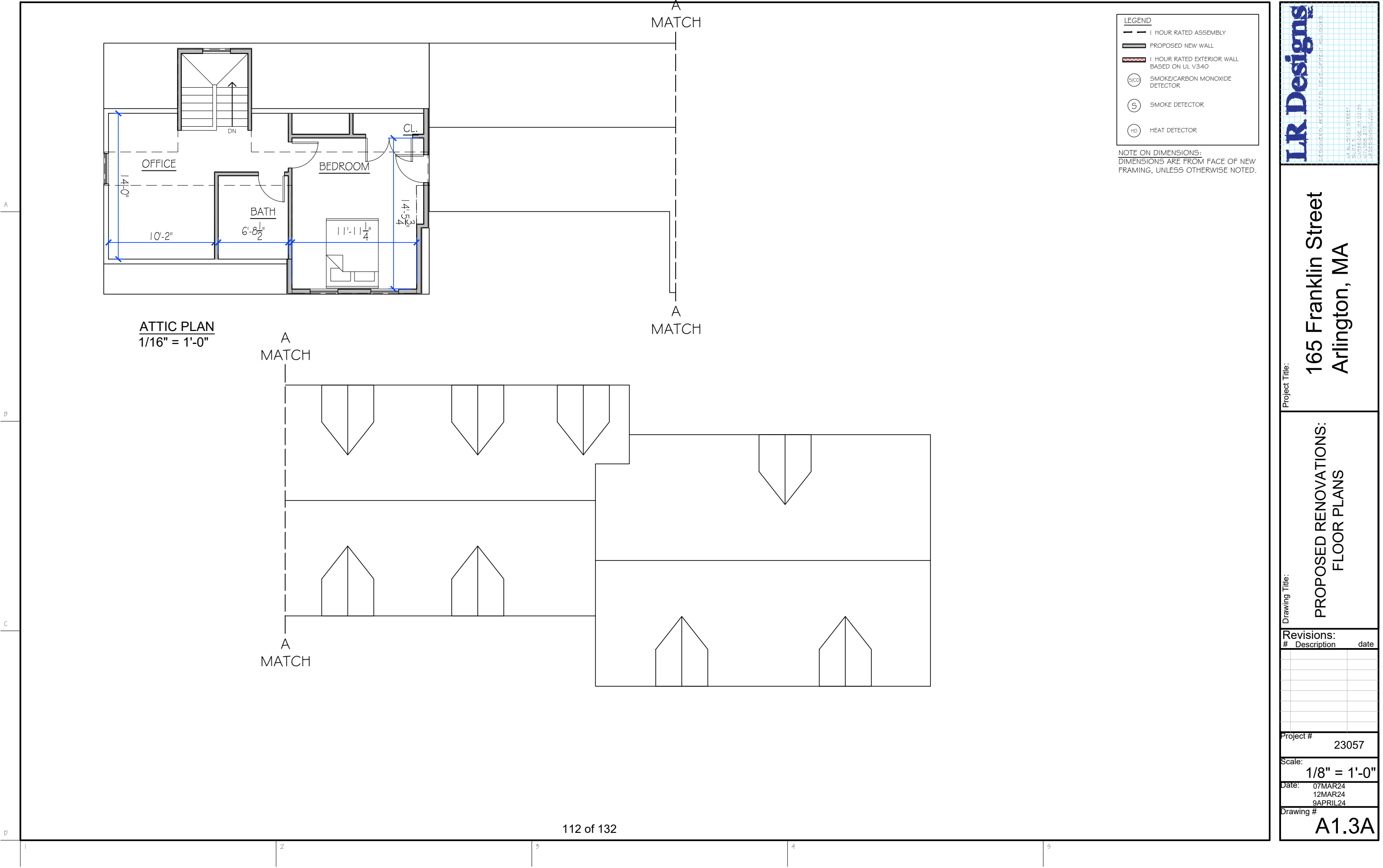
Date:

07MAR24  
12MAR24  
9APRIL24

Drawing #

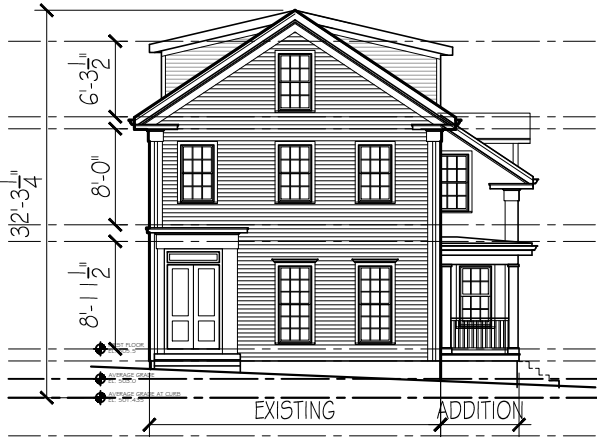
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CURRENT PROPOSED

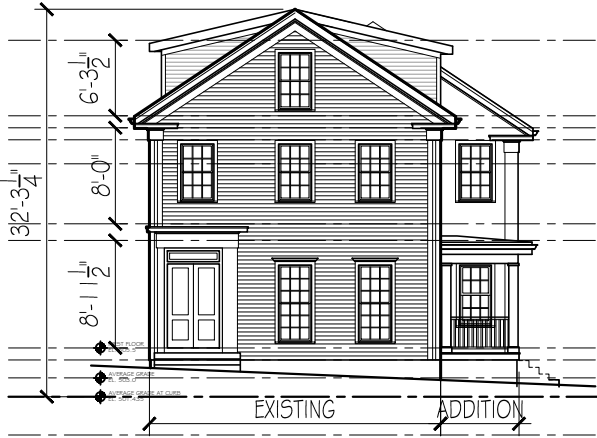


FRONT ELEVATION  
1/16" = 1'-0"



RIGHT SIDE ELEVATION  
1/16" = 1'-0"

PREVIOUS PROPOSED - March 12, 2024



PREVIOUS PROPOSED - January 2, 2024



FRONT ELEVATION  
1/16" = 1'-0"



RIGHT SIDE ELEVATION  
1/16" = 1'-0"

Revisions:		
#	Description	date



## A



C



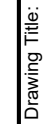
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	5
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**Project Title:**



Revisions:		
#	Description	date

Project #	23057
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Date:	07MAR24
	12MAR24
	9APRIL24

\_\_\_\_\_

Project Title:

165 Franklin Street  
Arlington, MA

Drawing Title:

\_\_\_\_\_





## Town of Arlington, Massachusetts

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### Docket #3788 70 Robbins Road

#### ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	#3788_70_Robbins_Road_Legal.pdf	#3788 70 Robbins Road Legal
▢ Reference Material	#3788_70_Robbins_Road_Special_Permit.pdf	#3788 70 Robbins Road Special Permit
▢ Reference Material	70_Robbins_Rd_Plan_set_special_permit_feb_23.pdf	#3788 70 Robbins Rd Plan set special permit feb 23
▢ Reference Material	70_Robbins_Road_Arlington_Proposed_Plot_Plan_.pdf	#3788 70 Robbins Road Arlington Proposed Plot Plan
▢ Reference Material	ZBA_Memo_04-09-2024.pdf	ZBA Memo 04-09-2024 re 70 Robbins Road





Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

## LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Andrew and Janet Sparks** of Arlington, MA. on February 27, 2024, a petition seeking to alter their property located at **70 Robbins Road - Block Plan 149.0-0003-0011.0**. Said petition would require a **Variance** under **Section 5.3.9(D)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on April 9, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**  
<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

**DOCKET NO 3788**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**





## SP-24-6

### Special Use Permit Application (ZBA)

Status: Active

Submitted On: 2/27/2024

### Primary Location

70 ROBBINS RD  
Arlington, MA 02476

### Owner

SPARKS ANDREW W & JANET  
K  
70 ROBBINS RD ARLINGTON,  
MA 02476

### Applicant

 Walter Russell  
 781-799-4275  
 team@hshbuilds.com  
 24 Woodland Way  
Ayer, MA 01432

---

## Special Permit Criteria

**Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.\***

The requested use is permitted in the R-1 zoning district through the granting of a special permit

**Explain why the requested use is essential or desirable to the public convenience or welfare.\***

The additional living space created from the front porch will allow the growing family to comfortably stay in their home.

**Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\***

There would not be an increase in traffic congestion or any impairment to pedestrians safety.



**Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\***

There would be no change to the current usage of the property and would not create additional burden on municipal systems.

**Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\***

The proposed project would not result in the need for special regulations.

**Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\***

70 Robbins Road was built in the mid 1920's along with many other similar houses on Robbins Road and the greater neighborhood. These houses typically included a front porch, and many have been enclosed over the 100 years since they were built. Two others on Robbins Road have successfully incorporated porch areas into their living spaces, at numbers 36 and 42 Robbins. Aesthetically, an enclosed porch area is in keeping with the modifications to these 1920s houses, and will be maintaining the current massing. The roofline will be modified from an existing hip roof to a single plane shed roof for simplicity of building and insulating as well as an improved aesthetic.

**Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\***

The proposed project will not cause any detrimental excesses.

---

## Dimensional and Parking Information

**Present Use/Occupancy \***

R1

**Proposed Use/Occupancy \***

R1



Existing Number of Dwelling Units\*

1

Proposed Number of Dwelling Units\*

1

Existing Gross Floor Area (Sq. Ft.)\*

2511

Proposed Gross Floor Area (Sq. Ft.)\*

2511

Existing Lot Size (Sq. Ft.)\*

5000

Proposed Lot Size (Sq. Ft.)\* ?

5000

Minimum Lot Size required by Zoning\*

6000

Existing Frontage (ft.)\*

50

Proposed Frontage (ft.)\*

50

Minimum Frontage required by Zoning\*

60

Existing Floor Area Ratio\*

0

Proposed Floor Area Ratio\*

0

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

22

Proposed Lot Coverage (%)\*

22

Max. Lot Coverage required by Zoning\*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

0



Minimum Lot Area per Dwelling Unit required by Zoning\*

0

Existing Front Yard Depth (ft.)\*

17.5

Proposed Front Yard Depth (ft.)\*

17.5

Minimum Front Yard Depth required by Zoning\*

25

Existing Left Side Yard Depth (ft.)\*

10.2

Proposed Left Side Yard Depth (ft.)\*

10.2

Minimum Left Side Yard Depth required by Zoning\*

10

Existing Right Side Yard Depth (ft.)\*

16

Proposed Right Side Yard Depth (ft.)\*

16

Minimum Right Side Yard Depth required by Zoning\*

10

Existing Rear Yard Depth (ft.)\*

29.1

Proposed Rear Yard Depth (ft.)\*

29.1

Minimum Rear Yard Depth required by Zoning\*

20

Existing Height (stories)

2.5

Proposed Height (stories)\*

2.5

Maximum Height (stories) required by Zoning\*

2.5

Existing Height (ft.)\*

30.88

Proposed Height (ft.)\*

30.88



Maximum Height (ft.) required by Zoning\*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

0

Proposed Landscaped Open Space (Sq. Ft.)\*

0

Existing Landscaped Open Space (% of GFA)\*

0

Proposed Landscaped Open Space (% of GFA)\*

0

Minimum Landscaped Open Space (% of GFA)  
required by Zoning\*

0

Existing Usable Open Space (Sq. Ft.)\*

0

Proposed Usable Open Space (Sq. Ft.)\*

0

Existing Usable Open Space (% of GFA)\*

0

Proposed Usable Open Space (% of GFA)\*

0

Minimum Usable Open Space required by Zoning\*

753

Existing Number of Parking Spaces\*

0

Proposed Number of Parking Spaces\*

0

Minimum Number of Parking Spaces required by  
Zoning\*

0

Existing Parking area setbacks

0



Proposed Parking area setbacks \*

0

Minimum Parking Area Setbacks required by Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

4

Proposed Slope of proposed roof(s) (in. per ft.)\*

4

Minimum Slope of Proposed Roof(s) required by Zoning\*

2

Existing type of construction\*

R1

Proposed type of construction\*

R1

---

## Open Space Information

Existing Total Lot Area\*

5000

Proposed Total Lot Area\*

5000

Existing Open Space, Usable\*

0

Proposed Open Space, Usable\*

0

Existing Open Space, Landscaped\*

0

Proposed Open Space, Landscaped\*

0



## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

716

Basement or Cellar, Proposed Gross Floor Area

716

1st Floor, Existing Gross Floor Area

883

New Field

0

1st Floor, Proposed Gross Floor Area

883

2nd Floor, Existing Gross Floor Area

716

2nd Floor, Proposed Gross Floor Area

716

3rd Floor, Existing Gross Floor Area

—

3rd Floor, Proposed Gross Floor Area

—

4th Floor, Existing Gross Floor Area

—

4th Floor, Proposed Gross Floor Area

—

5th Floor, Existing Gross Floor Area

—

5th Floor, Proposed Gross Floor Area

—

Attic, Existing Gross Floor Area ?

196

Attic, Proposed Gross Floor Area

196

Parking Garages, Existing Gross Floor Area ?

0



Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies,  
Existing Gross Floor Area

0

All weather habitable porches and balconies,  
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

2511



Total Proposed Gross Floor Area

2511



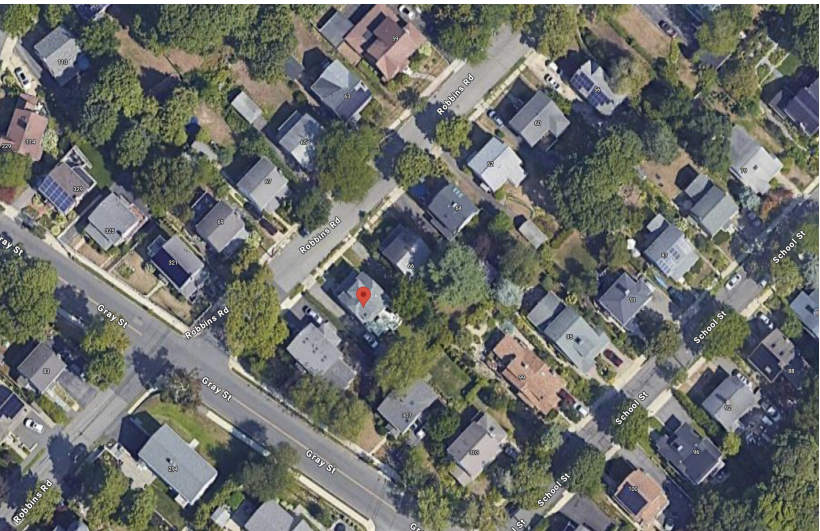




70 ROBBINS ROAD, PROPOSED

# 70 ROBBINS ROAD

APPLICATION FOR SPECIAL PERMIT TO  
PARTIALLY ENCLOSE AN EXISTING FRONT  
PORCH CURRENTLY WITHIN THE FRONT  
SETBACK



AERIAL PHOTO OF 70 ROBBINS ROAD AND NEIGHBORHOOD



70 ROBBINS ROAD, EXISTING



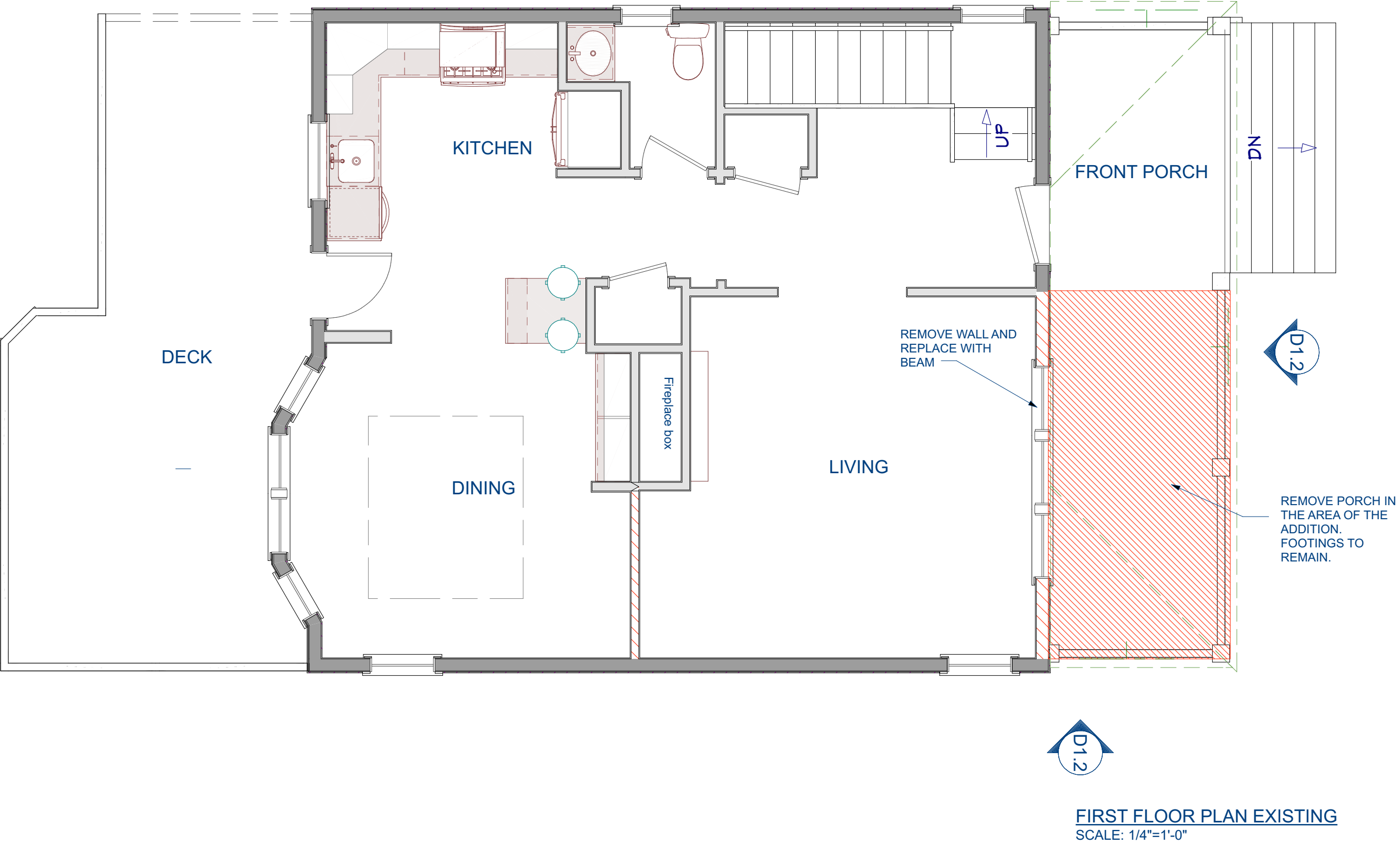
42 ROBBINS ROAD



36 ROBBINS ROAD

70 Robbins Road was built in the mid 1920s along with many other similar houses on Robbins Road and the greater neighborhood. These houses typically included a front porch, and many have been enclosed over the 100 years since they were built. Two others on Robbins Road have successfully incorporated porch area into their living spaces, at numbers 36 and 42 Robbins. Aesthetically, an enclosed porch area is in keeping with the modifications to these 1920s houses, and will be maintaining the current massing. The roofline will be modified from an existing hip roof to a single plane shed roof for simplicity of building and insulating as well as a preferred aesthetic.

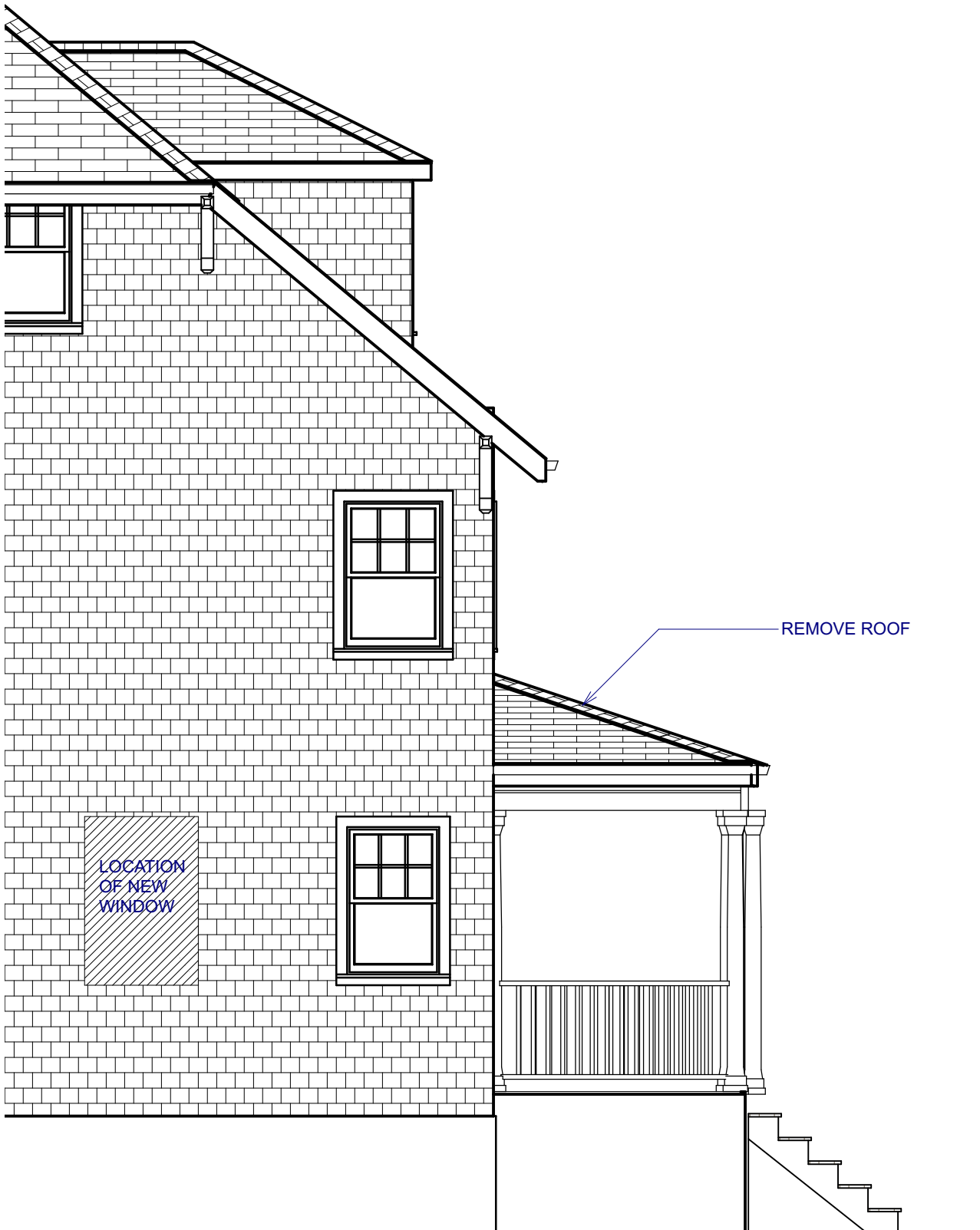








FRONT ELEVATION EXISTING  
SCALE: 1/4"=1'-0"



SIDE ELEVATION EXISTING  
SCALE: 1/4"=1'-0"

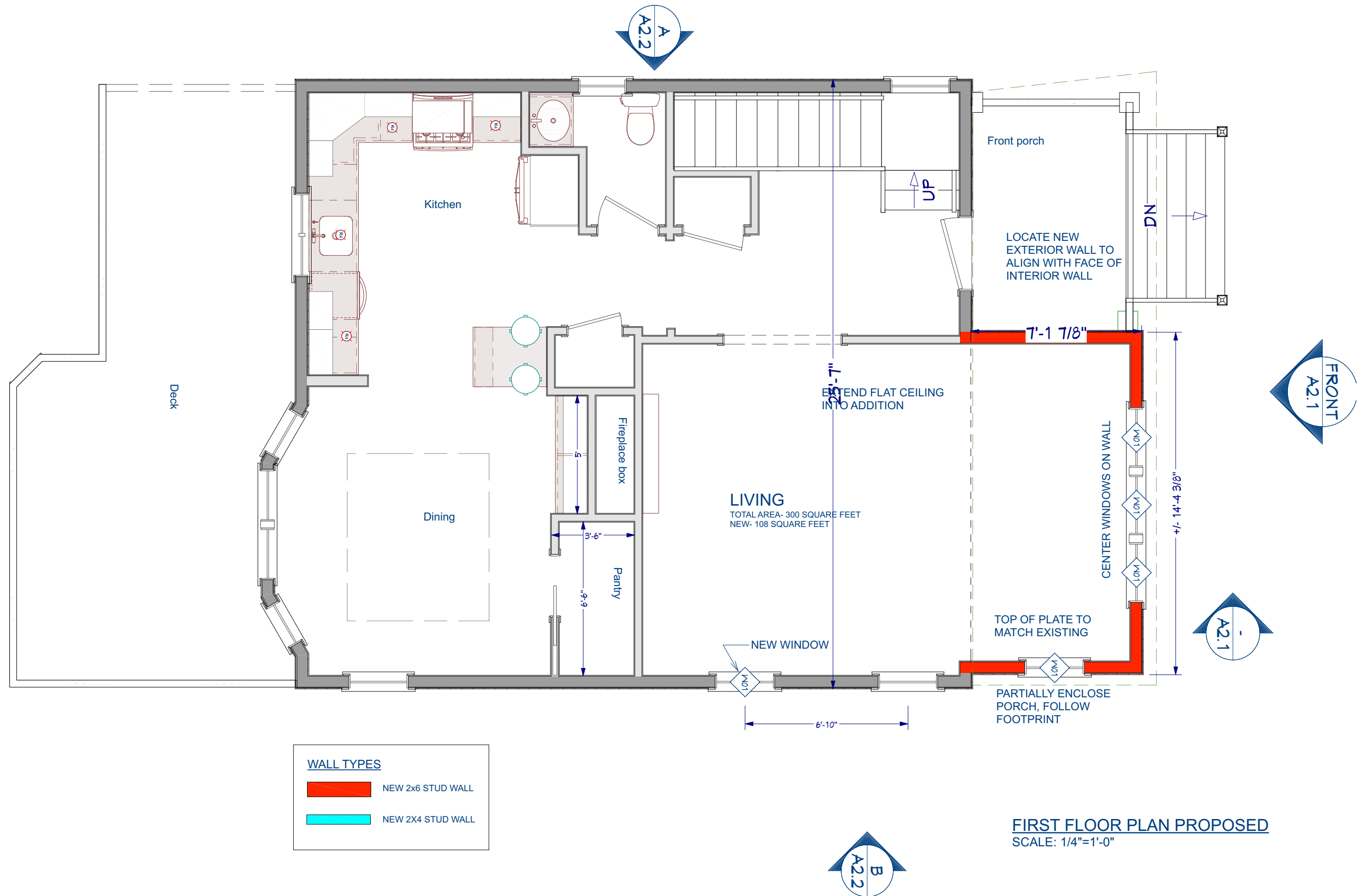


Sparks Residence  
70 Robbins Road, Arlington MA

## PLAN

2/23/2024

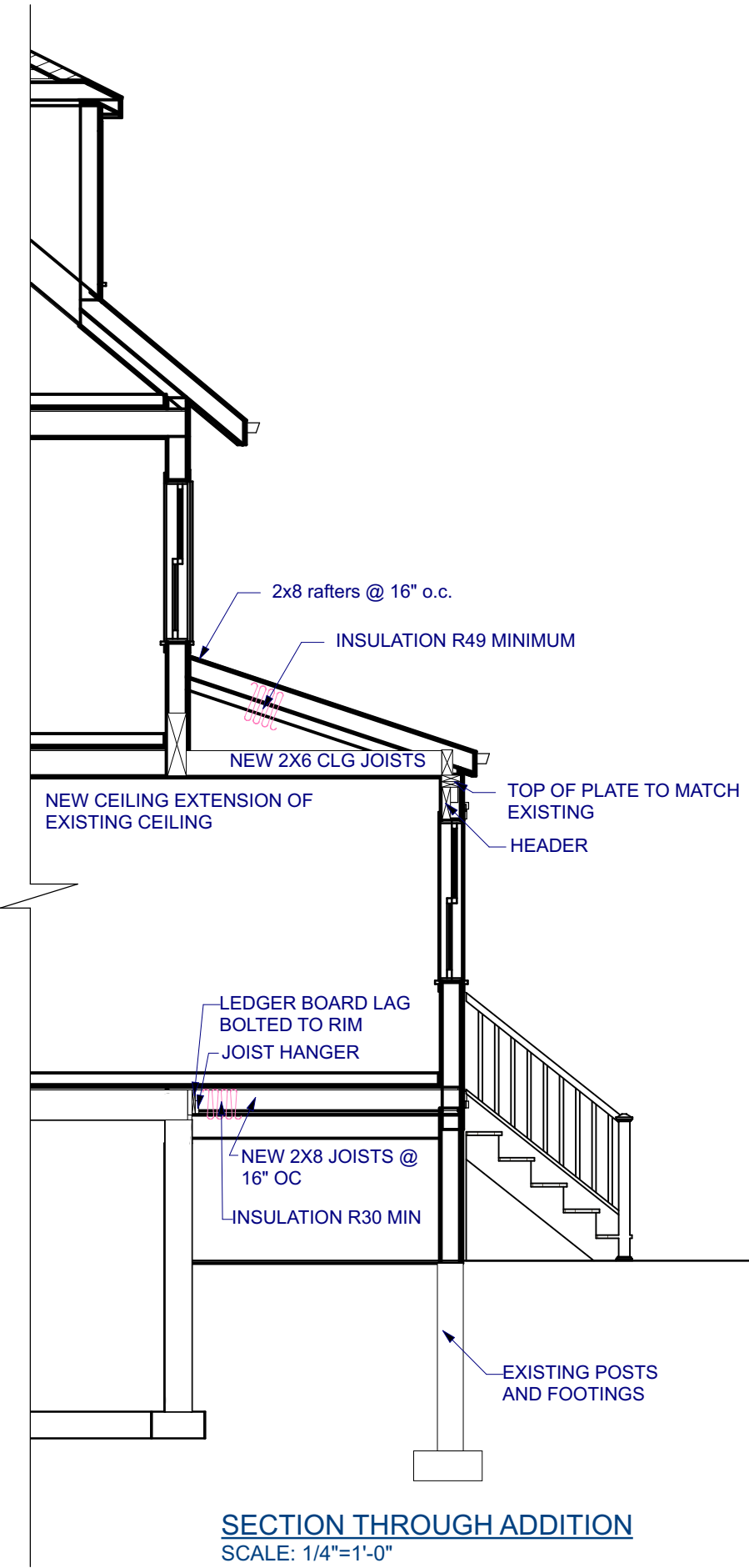
## A1.1





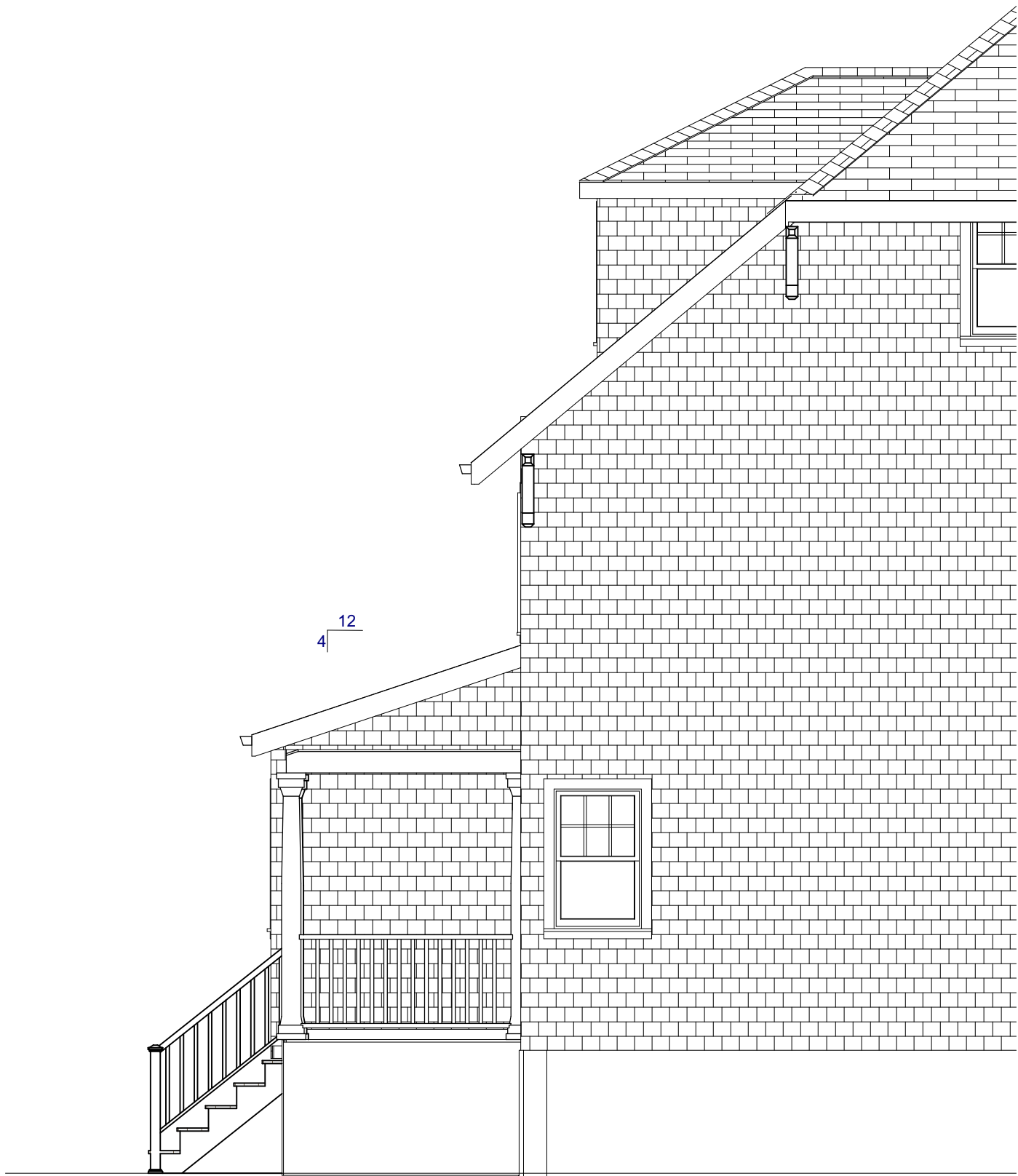


**FRONT ELEVATION PROPOSED**  
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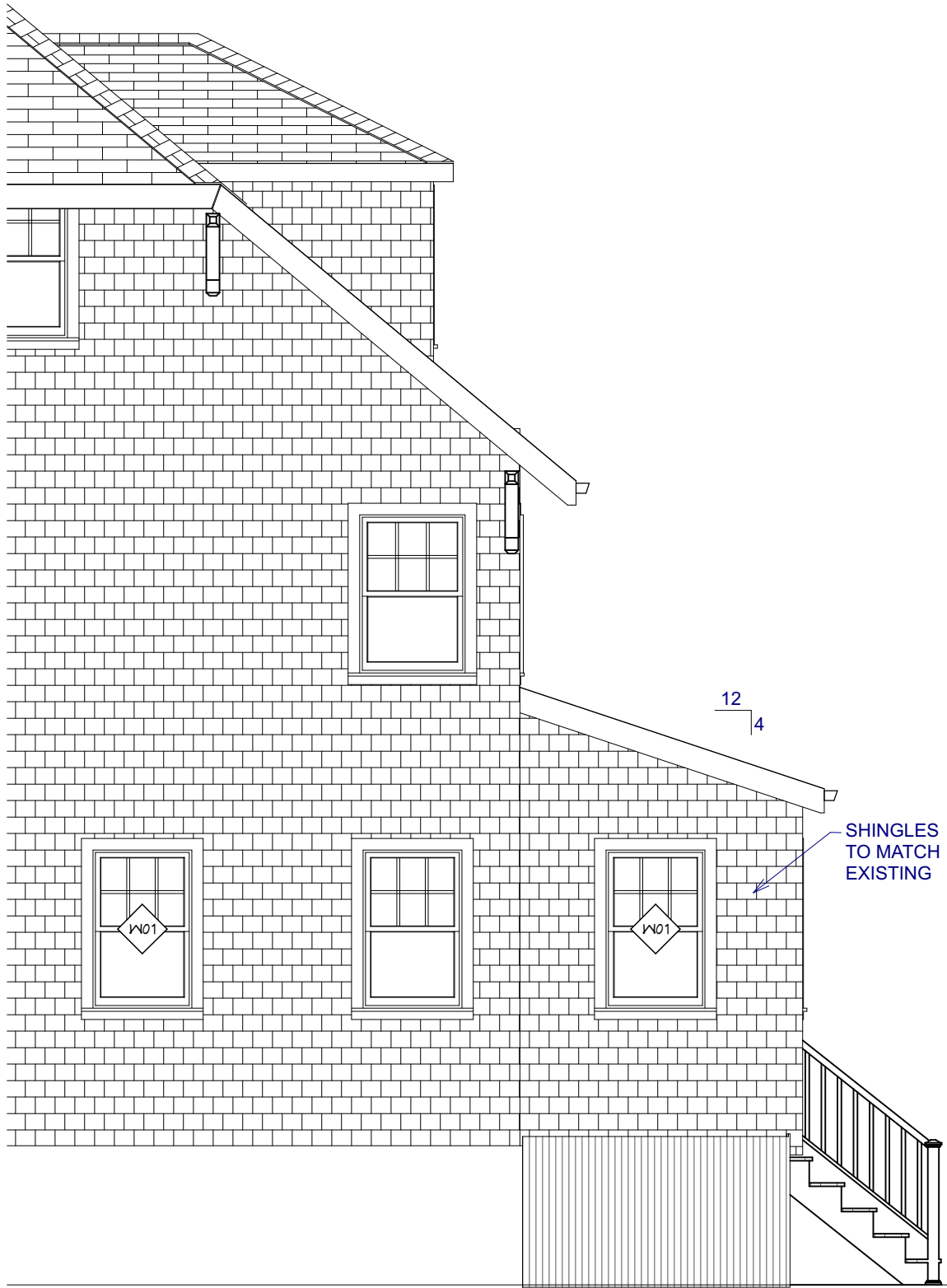


**SECTION THROUGH ADDITION**  
SCALE: 1/4"=1'-0"



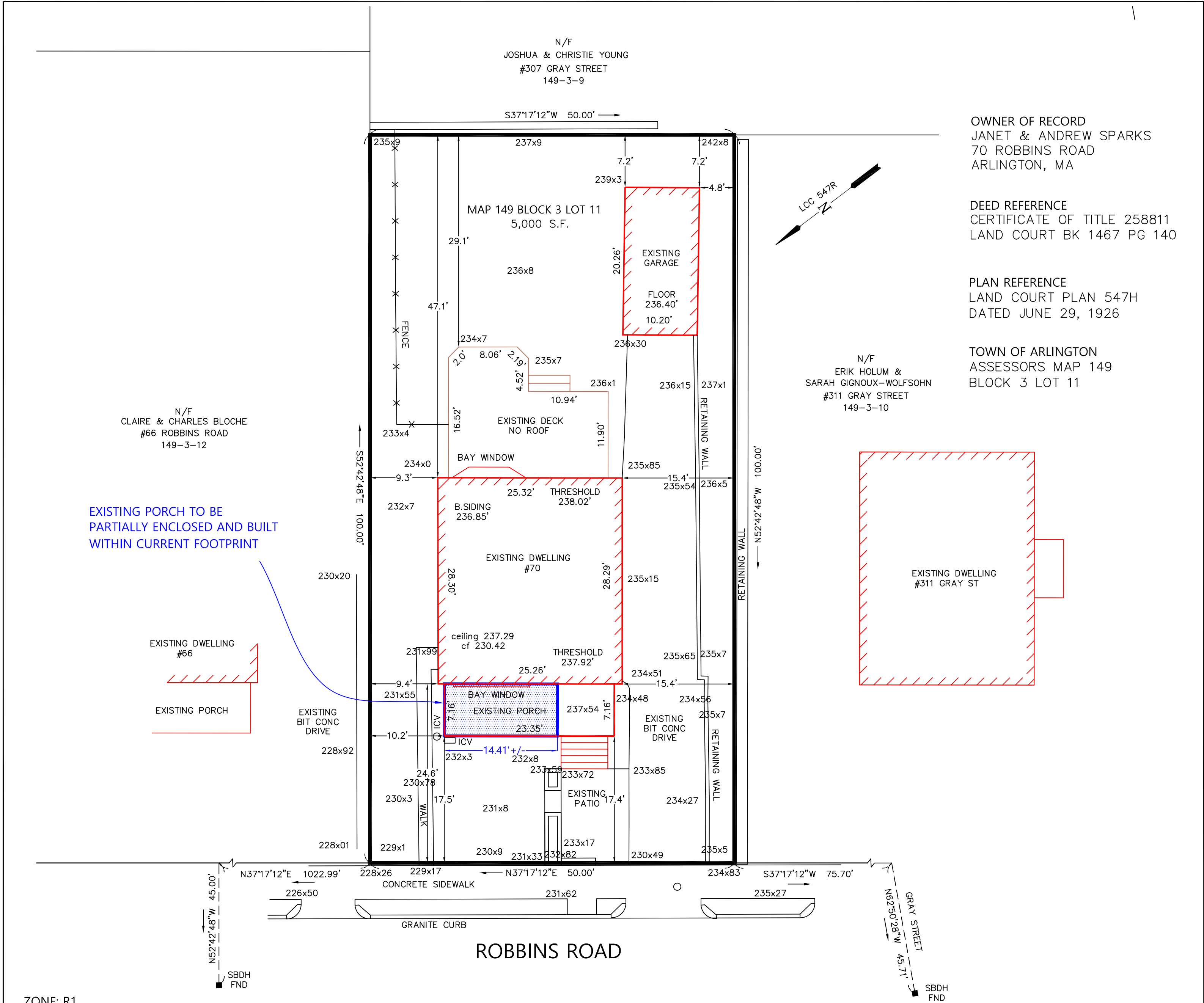


**ELEVATION A PROPOSED**  
SCALE: 1/4"=1'-0"



**ELEVATION B PROPOSED**  
SCALE: 1/4"=1'-0"





**ZONE: R1**  
**ZONING DIMENSIONAL REGULATIONS**

**REQUIRED:**  
MINIMUM LOT AREA: 6,000 S.F.  
MINIMUM LOT FRONTAGE: 60.00'  
MINIMUM FRONT SETBACK: 25'  
MINIMUM SIDE SETBACK: 10'  
MINIMUM REAR SETBACK: 20'  
LANDSCAPED OPEN SPACE: 10% OF PROPOSED GFA  
= .1 X 2,511 S.F. = 251 S.F.  
USABLE OPEN SPACE: 30% OF PROPOSED GFA  
= .3 X 2,511 S.F. = 753 S.F.  
MAXIMUM LOT COVERAGE: 35% = 1,750 S.F.  
MAXIMUM HEIGHT: 35'  
MAXIMUM HEIGHT: 2.5 STORIES

**EXISTING:**  
LOT AREA: 5,000 S.F.  
LOT FRONTAGE: 50.00'  
FRONT SETBACK: 24.6' (PRINCIPAL BUILDING)  
FRONT SETBACK: 17.5' (PORCH)  
SIDE SETBACK: 9.3' (PRINCIPAL BUILDING)  
SIDE SETBACK: 10.2' (PORCH)  
REAR SETBACK: 29.1' (DECK)  
USABLE OPEN SPACE = 1,645 S.F. IN AREA BUT ALL OVER 8% SLOPE = 0%  
LOT COVERAGE: 1,101 S.F. = 22%  
HEIGHT: 30.88' - 2 1/2 STORIES  
IMPERVIOUS: 2,051 S.F.

**PROPOSED ADDITION**  
FRONT SETBACK: 24.6' (PRINCIPAL BUILDING)  
FRONT SETBACK: 17.5' (PORCH)  
SIDE SETBACK: 9.3' (PRINCIPAL BUILDING)  
SIDE SETBACK: 10.2' (PORCH)  
REAR SETBACK: 29.1' (DECK)  
USABLE OPEN SPACE = 1,645 S.F. IN AREA BUT ALL OVER 8% SLOPE = 0%  
LOT COVERAGE: 1,101 S.F. = 22%  
HEIGHT: 30.88' - 2 1/2 STORIES  
IMPERVIOUS: 2,051 S.F. 0 S.F. INCREASE

**EXISTING IMPERVIOUS CALCULATION**  
EXISTING HOUSE/PORCH 894 S.F.  
GARAGE 207 S.F.  
DRIVES 731 S.F.  
PATIO 120 S.F.  
WALK 62 S.F.  
RETAINING WALLS 37 S.F.  
TOTAL 2,051 S.F.

**EXISTING GROSS FLOOR AREA CALCULATION**  
CELLAR 716 S.F.  
FIRST FLOOR 883 S.F.  
SECOND FLOOR 716 S.F.  
ATTIC 196 S.F.  
TOTAL 2,511 S.F.

**EXISTING LOT COVERAGE CALCULATION**  
EXISTING DWELLING 894 S.F.  
EXISTING GARAGE 207 S.F.  
TOTAL 1,101 S.F. = 22%

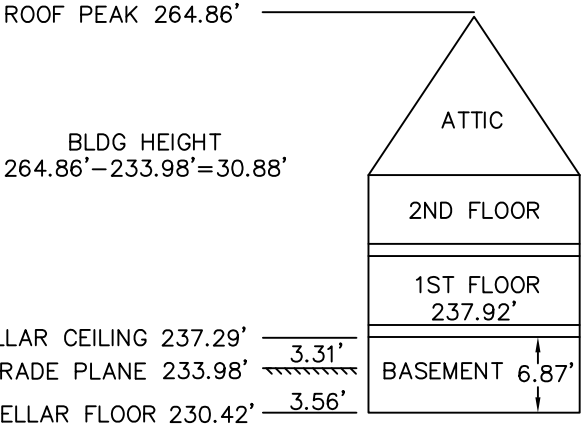
**EXISTING BASEMENT CALCULATION**  
AVERAGE GRADE 233.98'  
BASEMENT CEILING 237.29'  
AVERAGE GRADE TO BASEMENT CEILING = 3.31'  
BASEMENT CEILING IS LESS THAN 4.5' ABOVE AVERAGE GRADE SO IT IS NOT A STORY.

**PROPOSED IMPERVIOUS CALCULATION**  
EXISTING HOUSE/PORCH 894 S.F.  
GARAGE 207 S.F.  
DRIVES 731 S.F.  
PATIO 120 S.F.  
WALK 62 S.F.  
RETAINING WALLS 37 S.F.  
TOTAL 2,051 S.F.

**PROPOSED GROSS FLOOR AREA CALCULATION**  
CELLAR 716 S.F.  
FIRST FLOOR 883 S.F.  
SECOND FLOOR 716 S.F.  
ATTIC 196 S.F.  
TOTAL 2,511 S.F.

**PROPOSED LOT COVERAGE CALCULATION**  
PROPOSED DWELLING 894 S.F.  
EXISTING GARAGE 207 S.F.  
TOTAL 1,101 S.F. = 22%

**BUILDING ELEVATIONS**



**LOT SLOPE**  
1% + 13% / 2 = 7%  
**AVERAGE GRADE PLANE**  
231.55'+234.51'+235.85'+234.0'/4=233.98'



PROPOSED ADDITION		STEPHEN M. MELESCIUC	
70 ROBBINS ROAD ASSESSORS MAP 149 BLOCK 3 LOT 11 ARLINGTON, MA PREPARED FOR JANET & ANDREW SPARKS 70 ROBBINS ROAD ARLINGTON, MA		PROFESSIONAL LAND SURVEYOR #39049	
		514 GAZEBO CIRCLE READING, MA 01867 (781) 844-7108	
		SCALE: 1"= 10'      DATE: FEBRUARY 15, 2024	





TOWN OF ARLINGTON  
Inspectional Services Department  
23 Maple Street  
Arlington, Massachusetts 02476  
Office (781) 316.3390  
*inspectionalservices@town.arlington.ma.us*

## MEMORANDUM

To: Zoning Board of Appeals  
From: Mike Ciampa, Director of Inspectional Services  
Date: April 4, 2024  
Re: Inspectional Services Memo

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### **Docket #3788 70 Robbins Road**

This property is a single-family dwelling in an R1 residential zoning district. The applicant is seeking permission to enclose a first-floor front porch which is located within the front yard setback. The applicant is seeking a Special Permit under Section 5.3.9(D), Projections into Minimum Yards, which requires a Special Permit for:

*Porches, decks, steps, and landings in the required setback are not considered to be within the foundation wall and may not be enclosed, extended, or built upon except by special permit.*