



## Arlington Zoning Board of Appeals

**Date:** Tuesday, June 10, 2025  
**Time:** 7:30 PM  
**Location:** Conducted by Remote Participation  
**Additional Details:**

### **Agenda Items**

#### **Administrative Items**

1. **Conducted by Remote Participation**

You are invited to a Zoom meeting.

When: Jun 10, 2025 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

<https://town-arlington-ma-us.zoom.us/meeting/register/JFYMZ7oNQbiRwFhF8Sdf1g>

After registering, you will receive a confirmation email containing information about joining the meeting.

Per Board Rules and Regulations, public comments will be accepted during the public comment period during each public hearing. Written comments should be sent by email to [ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us) prior to the start of the meeting.

*\*Notice to the Public on meeting privacy\** In the interests of preventing abuse of video conferencing technology, all participants, including members of the public, wishing to engage via the Zoom App must register for each meeting and will need to follow multi-step authentication protocols. Please allow additional time to join the meeting. Further, members of the public who wish to participate without providing their name may still do so by telephone using the dial-in information provided above.

2. **Member Vote: #3848 24 Woodbury Street Decision**

#### **Hearings**

3. **Docket #3836 103 Thorndike St (continued)**

OpenGov Links:

- Special Permit: <https://arlingtonma.portal.opengov.com/records/207277>
- Variance: <https://arlingtonma.portal.opengov.com/records/208688>

4. **Docket #3850 67 Foster Street**

OpenGov Link: <https://arlingtonma.portal.opengov.com/records/210188>

5. **Docket #3851 208 Jason Street**

OpenGov Link: <https://arlingtonma.portal.opengov.com/records/210173>

6. **Docket #3852 36 Glen Ave**

OpenGov Link: <https://arlingtonma.portal.opengov.com/records/210158>

7. **Docket #3853 3 Inverness Rd**

OpenGov Link: <https://arlingtonma.portal.opengov.com/records/210279>

**Meeting Adjourn**



## **Town of Arlington, Massachusetts**

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### **Conducted by Remote Participation**

#### **Summary:**

You are invited to a Zoom meeting.

When: Jun 10, 2025 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

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## **Town of Arlington, Massachusetts**

**Member Vote: #3848 24 Woodbury Street Decision**



## Town of Arlington, Massachusetts

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### Docket #3836 103 Thorndike St (continued)

#### Summary:

##### OpenGov Links:

- Special Permit: <https://arlingtonma.portal.opengov.com/records/207277>
- Variance: <https://arlingtonma.portal.opengov.com/records/208688>

#### ATTACHMENTS:

| Type               | File Name  | Description   |
|--------------------|--|---|
| Reference Material | 3840_103_Thorndike_Legal_Ad.docx                               | 3840 103 Thorndike Legal Ad                               |
| Reference Material | 3836_103_Thorndike_St_Special_Permit_Application__SP-24-37.pdf | 3836 103 Thorndike St Special Permit Application SP-24-37 |
| Reference Material | 3836_103_Thorndike_St_Variance_Application_V-25-3.pdf          | 3836 103 Thorndike St Variance Application V-25-3         |
| Reference Material | 3836_103_Thorndike_St_abutter_list_and_map.pdf                 | 3836 103 Thorndike St abutter list and map                |
| Reference Material | 3836_103_Thorndike_St_Site_Plan.pdf                            | 3836 103 Thorndike St Site Plan                           |
| Reference Material | 3836_103_Thorndike_St_Drawings_20241223.pdf                    | 3836 103 Thorndike St Drawings 20241223                   |
| Reference Material | 3836_103_Thorndike_St_4_Photos_of_Site.pdf                     | 3836 103 Thorndike St 4 Photos of Site                    |
| Reference Material | 3836_103_Thorndike_St_3_Property_Record_Card.pdf               | 3836 103 Thorndike St 3 Property Record Card              |
| Reference Material | 3836_103_Thorndike_St_3_Memo_in_Support.pdf                    | 3836 103 Thorndike St 3 Memo in Support                   |
| Reference Material | 3836_103_Thorndike_Supplemental_Memo_Stories_Variance.pdf      | 3836 103 Thorndike Supplemental Memo Stories Variance     |
| Reference Material | 3836_103_Thorndike_1_Site_Plan_Mar_3_2025.pdf                  | 3836 103 Thorndike Updated Site Plan Mar 3 2025           |
| Reference Material | 3836_103_Thorndike_Street_ConCom_Order_of_Conditions.pdf       | 3836 103 Thorndike Street ConCom Order of Conditions      |
| Reference Material | 3836_103_Thorndike_St_Arlington_Zoning_Set_5-9-25.pdf          | 3836 103 Thorndike St Arlington_Zoning Set 5-9-25         |
| Reference Material | 3836_103_Thorndike_Supplemental_Memo_Variance_5-9-25.pdf       | 3836 103 Thorndike Supplemental Memo Variance 5-9-25      |



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

## LEGAL NOTICE

DOCKET NO **3836**

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **APSE Investment LLC**, on March 3, 2025, a petition seeking to alter their property located at **103 Thorndike St - Block Plan 002.0-0001-0020.0**. Said petition would require a **Special Permit** under **5.4.2** and a **Variance** under **8.1.3 B** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M. on April 8, 2025, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

Please direct any questions to: **ZBA@town.arlington.ma.us**

Christian Klein, RA, Chair  
Zoning Board of Appeals



## SP-24-37

Special Use Permit  
Application (ZBA)

Status: Active

Submitted On: 12/23/2024





## Primary Location

103 THORNDIKE ST  
Arlington, MA 02474


## Owner

APSE INVESTMENT LLC  
C/O KUI XUE; 14 EMERALD ST  
NEWTON, MA 02458

## Applicant

 DUO (Alan) Yu  
 617-938-7606  
 alan.yu@buildwithmomo.com  
 1660 SOLDIERS FIELD RD  
BRIGHTON, MA 02135

## Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. \*\*\*Please LIST BYLAW(S)\*\*\*\* 

Proposed two-family dwelling in R2 is permitted per 5.4.3 Use Regulations for Residential Districts

Explain why the requested use is essential or desirable to the public convenience or welfare.\*

A 2-family dwelling promotes sustainable development by increasing density without requiring significant infrastructure upgrades. It also provides an affordable housing option for those seeking lower rent or mortgage costs, making housing more accessible. Lastly, two-family homes blend well with existing residential architecture, ensuring the development aligns with the neighborhood's character and maintains both visual and economic stability.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\*

A 2-family dwelling is consistent with the surrounding residential density and character, ensuring that the increase in activity does not significantly alter the flow of traffic or pedestrian movement.

**Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\***

A 2-family dwelling typically requires minimal additional utility services compared to larger developments. The water and sewer usage will be relatively low, with only two households drawing from the system. Existing infrastructure should be sufficient to accommodate this modest increase in demand without causing strain on the public systems.

**Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\***

The existing single-family dwelling is non-conforming with current zoning regulations. To address this, we are filing for a special permit to allow for the new 2-family dwelling, as permitted by the Zoning Bylaw for non-conforming structures.

**Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\***

The development is compatible with the existing zoning, ensuring that it does not disrupt the health, safety, or general welfare of the community.

**Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\***

The 2-family dwelling is designed to have minimal impact on neighboring properties. It will not produce excessive noise, traffic, or pollution, and it will not introduce uses that are incompatible with the surrounding residential area.

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## Dimensional and Parking Information

**Present Use/Occupancy \***

RESIDENCE SINGLE FAMILY

**Proposed Use/Occupancy \***

RESIDENCE 2-FAMILY

Existing Number of Dwelling Units\*

1

Proposed Number of Dwelling Units\*

2

Existing Gross Floor Area (Sq. Ft.)\*

1263

Proposed Gross Floor Area (Sq. Ft.)\*

3372

Existing Lot Size (Sq. Ft.)\*

4377.6

Proposed Lot Size (Sq. Ft.)\* ?

4377.6

Minimum Lot Size required by Zoning\*

6000

Existing Frontage (ft.)\*

45

Proposed Frontage (ft.)\*

45

Minimum Frontage required by Zoning\*

60

Existing Floor Area Ratio\*

0.29

Proposed Floor Area Ratio\*

0.77

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

23.6

Proposed Lot Coverage (%)\*

32.5

Max. Lot Coverage required by Zoning\*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

4375.6

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

2188.8

Minimum Lot Area per Dwelling Unit required by Zoning\*

0

Existing Front Yard Depth (ft.)\*

13.9

Proposed Front Yard Depth (ft.)\*

20

Minimum Front Yard Depth required by Zoning\*

20

Existing SECOND Front Yard Depth (ft.)\* ?

0

Proposed SECOND Front Yard Depth (ft.)\* ?

0

Minimum SECOND Front Yard Depth required by Zoning\* ?

0

Existing Left Side Yard Depth (ft.)\* ?

11.9

Proposed Left Side Yard Depth (ft.)\* ?

10

Minimum Left Side Yard Depth required by Zoning\* ?

10

Existing Right Side Yard Depth (ft.)\* ?

6.9

Proposed Right Side Yard Depth (ft.)\* ?

10

Minimum Right Side Yard Depth required by Zoning\* ?

10

Existing Rear Yard Depth (ft.)\*

47.8

Proposed Rear Yard Depth (ft.)\*

20

Minimum Rear Yard Depth required by Zoning\*

20

Existing Height (stories)

2.5

Proposed Height (stories)\*

2.5

Maximum Height (stories) required by Zoning\*

2.5

Existing Height (ft.)\*

30

Proposed Height (ft.)\*

35

Maximum Height (ft.) required by Zoning\*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

2464

Proposed Landscaped Open Space (Sq. Ft.)\*

1742

Existing Landscaped Open Space (% of GFA)\*

195

Proposed Landscaped Open Space (% of GFA)\*

51.6

Minimum Landscaped Open Space (% of GFA)  
required by Zoning\*

10

Existing Usable Open Space (Sq. Ft.)\*

2063

Proposed Usable Open Space (Sq. Ft.)\*

1054

Existing Usable Open Space (% of GFA)\* ?

163

Proposed Usable Open Space (% of GFA)\* ?

31

Minimum Usable Open Space required by Zoning\*

30

Existing Number of Parking Spaces\*

1

Proposed Number of Parking Spaces\*

2

Minimum Number of Parking Spaces required by Zoning\*

2

Existing Parking area setbacks

20

Proposed Parking area setbacks \*

1

Minimum Parking Area Setbacks required by Zoning\*

2

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

5

Proposed Slope of proposed roof(s) (in. per ft.)\*

2

Minimum Slope of Proposed Roof(s) required by Zoning\*

2

Existing type of construction\*

TYPE V

Proposed type of construction\*

TYPE V

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## Open Space Information

Existing Total Lot Area\*

4377.6

Proposed Total Lot Area\*

4377.6

Existing Open Space, Usable\*

2063

Proposed Open Space, Usable\*

1054

Existing Open Space, Landscaped\*

2464

Proposed Open Space, Landscaped\*

1742

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## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

664

Basement or Cellar, Proposed Gross Floor Area

709

1st Floor, Existing Gross Floor Area

—

1st Floor, Proposed Gross Floor Area

—

2nd Floor, Existing Gross Floor Area

—

2nd Floor, Proposed Gross Floor Area

—

3rd Floor, Existing Gross Floor Area

—

3rd Floor, Proposed Gross Floor Area

—

4th Floor, Existing Gross Floor Area

—

4th Floor, Proposed Gross Floor Area

—

5th Floor, Existing Gross Floor Area

—

5th Floor, Proposed Gross Floor Area

—

Attic, Existing Gross Floor Area ?

—

Attic, Proposed Gross Floor Area

—

Parking Garages, Existing Gross Floor Area ?

—

Parking Garages, Proposed Gross Floor Area

—

All weather habitable porches and balconies,  
Existing Gross Floor Area

—

All weather habitable porches and balconies,  
Proposed Gross Floor Area

—

Total Existing Gross Floor Area

664



Total Proposed Gross Floor Area

709



## APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.\*



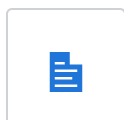
Applicant's Signature\*



DUO YU

Dec 23, 2024

## Attachments



**103 Thorndike st Arlington \_ Site Plan \_8-21-24-C-1 sealed.pdf**

103 Thorndike st Arlington \_ Site Plan \_8-21-24-C-1 sealed.pdf

Uploaded by DUO (Alan) Yu on Dec 23, 2024 at 1:20 PM



**Supporting Documentation [worksheet and drawings]**

**REQUIRED**

20241223 103 Thorndike St Arlington.pdf

Uploaded by DUO (Alan) Yu on Dec 23, 2024 at 1:19 PM

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## V-25-3

Variance Permit  
Application (ZBA)  
Status: Active  
Submitted On: 3/3/2025





## Primary Location

103 THORNDIKE ST  
Arlington, MA 02474

## Owner

APSE INVESTMENT LLC  
C/O KUI XUE; 14 EMERALD ST  
NEWTON, MA 02458

## Applicant

 Christopher Alphen  
 978-371-2226  
 chris@bbhlaw.net  
 9 Damonmill Square, Suite  
4A4  
Concord, MA 01742

## Variance Permit Criteria

**Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.\***

A hardship exists due to the unique shape and location of the Property. The Property abuts municipal recreational land to its rear and westerly side. The area provides ample open and recreational space. Due to the long narrow shape of the lot, it would be difficult to design a dwelling that meets all the dimensional requirements. The Proposed Project only does not meet the lot coverage requirement. The size of the Proposed Dwelling is consistent with other dwellings in the immediate neighborhood.

**Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.\***

With a literal enforcement of the Bylaw, the Petitioner would not be able to replace the existing structure with a dwelling that fits into the existing neighborhood. The existing structure is in poor condition and needs to be redeveloped. See Existing Photographs attached hereto.

The removal of the existing dwelling will eliminate front and side yard setback nonconformities. The Proposed Project will be more conforming for zoning purposes but for the lot coverage requirement.

With a literal enforcement of the Bylaw the Petitioner would be left with the nonconforming dwelling which size and condition are not harmonized with the surrounding neighborhood. The Proposed Project will improve the Property and provide a benefit to the neighborhood.

**Describe how desirable relief may be granted without substantial detriment to the public good. \***

Permitting the removal of a pre-existing nonconforming structure and allowing the Proposed Project will not be substantial detriment to the public good or derogate from the intent or purpose of the Bylaw. The Petitioner proposes a well-designed site plan that will replace a outdated nonconforming structure. The Proposed Project is an improvement to the neighborhood and fits comfortably with the surrounding area. The nonconforming lot coverage will have a de minis impact on the surrounding area.

**Describe how desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.\***

Permitting the removal of a pre-existing nonconforming structure and allowing the Proposed Project will not be substantial detriment to the public good or derogate from the intent or purpose of the Bylaw. The Petitioner proposes a well-designed site plan that will replace a outdated nonconforming structure. The Proposed Project is an improvement to the neighborhood and fits comfortably with the surrounding area. The nonconforming lot coverage will have a de minis impact on the surrounding area.

State Law (MGL Chapter 40a, Section 10) requires that the Zoning Board of Appeals must find that all four (4) criteria are met in order to be authorized to grant a Variance. If any one of the standards is not met, the Board must deny the Variance.

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## Dimensional and Parking Information

**Present Use/Occupancy \***

One Family

**Proposed Use/Occupancy \***

Two Family

**Existing Number of Dwelling Units\***

1

**Proposed Number of Dwelling Units\***

2

**Existing Gross Floor Area (Sq. Ft.)\***

1263

**Proposed Gross Floor Area (Sq. Ft.)\***

0

Existing Lot Size (Sq. Ft.)\*

4377

Proposed Lot Size (Sq. Ft.)\* ?

4377

Minimum Lot Size required by Zoning\*

6000

Existing Frontage (ft.)\*

45

Proposed Frontage (ft.)\*

45

Minimum Frontage required by Zoning\*

60

Existing Floor Area Ratio\*

0.29

Proposed Floor Area Ratio\*

0.77

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

23.6

Proposed Lot Coverage (%)\*

56.4

Max. Lot Coverage required by Zoning\*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

0

Minimum Lot Area per Dwelling Unit required by Zoning\*

0

Existing Front Yard Depth (ft.)\*

0

Proposed Front Yard Depth (ft.)\*

0

Minimum Front Yard Depth required by Zoning\*

0

Existing Left Side Yard Depth (ft.)\*

6.9

Proposed Left Side Yard Depth (ft.)\*

10

Minimum Left Side Yard Depth required by Zoning\*

11.9

Existing Right Side Yard Depth (ft.)\*

6.9

Proposed Right Side Yard Depth (ft.)\*

10

Minimum Right Side Yard Depth required by Zoning\*

10

Existing Rear Yard Depth (ft.)\*

47.8

Proposed Rear Yard Depth (ft.)\*

20

Minimum Rear Yard Depth required by Zoning\*

20

Existing Height (stories)

2.5

Proposed Height (stories)\*

2.5

Maximum Height (stories) required by Zoning\*

2.5

Existing Height (ft.)\*

30

Proposed Height (ft.)\*

35

Maximum Height (ft.) required by Zoning\*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

2464

Proposed Landscaped Open Space (Sq. Ft.)\*

1742

Existing Landscaped Open Space (% of GFA)\*

76.4

Proposed Landscaped Open Space (% of GFA)\*

43.6

Minimum Landscaped Open Space (% of GFA)  
required by Zoning\*

10

Existing Usable Open Space (Sq. Ft.)\*

1

Proposed Usable Open Space (Sq. Ft.)\*

1054

Existing Usable Open Space (% of GFA)\*

2063

Proposed Usable Open Space (% of GFA)\*

43.6

Minimum Usable Open Space required by Zoning\*

30

Existing Number of Parking Spaces\*

1

Proposed Number of Parking Spaces\*

2

Minimum Number of Parking Spaces required by  
Zoning\*

2

Existing Parking area setbacks

20

Proposed Parking area setbacks \*

0

Minimum Parking Area Setbacks required by  
Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

5

Proposed Slope of proposed roof(s) (in. per ft.)\*

2

Minimum Slope of Proposed Roof(s) required by Zoning\*

2

Existing type of construction\*

TYPE V

Proposed type of construction\*

TYPE V

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## Open Space Information

Existing Total Lot Area\*

4377

Proposed Total Lot Area\*

4377

Existing Open Space, Usable\*

2063

Proposed Open Space, Usable\*

1054

Existing Open Space, Landscaped\*

2464

Proposed Open Space, Landscaped\*

1742

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## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

664

Basement or Cellar, Proposed Gross Floor Area

709

1st Floor, Existing Gross Floor Area

—

1st Floor, Proposed Gross Floor Area

—

2nd Floor, Existing Gross Floor Area

—

2nd Floor, Proposed Gross Floor Area

—

3rd Floor, Existing Gross Floor Area

—

3rd Floor, Proposed Gross Floor Area

—

4th Floor, Existing Gross Floor Area

—

4th Floor, Proposed Gross Floor Area

—

5th Floor, Existing Gross Floor Area

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5th Floor, Proposed Gross Floor Area

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Attic, Existing Gross Floor Area ?

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Attic, Proposed Gross Floor Area

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Parking Garages, Existing Gross Floor Area ?

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Parking Garages, Proposed Gross Floor Area

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All weather habitable porches and balconies,  
Existing Gross Floor Area

—

All weather habitable porches and balconies,  
Proposed Gross Floor Area

—

Total Existing Gross Floor Area

664



Total Proposed Gross Floor Area

709



# APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

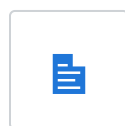
I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.\*



Applicant's Signature\*

✓ Christopher J. Alphen, Esq.  
Mar 3, 2025

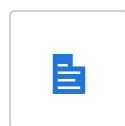
## Attachments



### 2 Architectural Plans.pdf

2 Architectural Plans.pdf

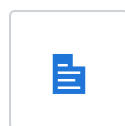
Uploaded by Christopher Alphen on Mar 3, 2025 at 5:09 PM



### 3 Memo in Support.pdf

3 Memo in Support.pdf

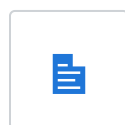
Uploaded by Christopher Alphen on Mar 3, 2025 at 5:09 PM



### 3 Property Record Card.pdf

3 Property Record Card.pdf

Uploaded by Christopher Alphen on Mar 3, 2025 at 5:09 PM



### 4 Photographs of Site.pdf

4 Photographs of Site.pdf

Uploaded by Christopher Alphen on Mar 3, 2025 at 5:09 PM



## Supporting Documentation [worksheet and drawings]

REQUIRED

1 Site Plan 103 Thorndike.pdf

Uploaded by Christopher Alphen on Mar 3, 2025 at 5:08 PM

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**CERTIFIED ABUTTERS LIST****Date: December 23, 2024****Subject Property Location: 103 THORNDIKE ST Arlington, MA****Subject Parcel ID: 2-1-20****Search Distance: 300 Feet**

| Parcel ID     | Property Location          | Owner 1                       | Owner 2                        | Mailing Address 1  | Mail Address 2       | City/Town     | State     | Zip          |
|---------------|----------------------------|-------------------------------|--------------------------------|--------------------|----------------------|---------------|-----------|--------------|
| 2-1-5         | 0-LOT MAGNOLIA ST          | TOWN OF ARLINGTON PARK        |                                | 730 MASS AVE       |                      | ARLINGTON     | MA        | 02476        |
| 2-1-12        | 0-LOT MAGNOLIA ST          | TOWN OF ARLINGTON PARK        |                                | 730 MASS AVE       |                      | ARLINGTON     | MA        | 02476        |
| 2-1-19        | 99--101 THORNDIKE ST       | AGGOURAS NICHOLAS A--ETAL     | AGGOURAS MANNERS BARBARA       | 1 KENILWORTH RD    |                      | ARLINGTON     | MA        | 02476        |
| <b>2-1-20</b> | <b>103 THORNDIKE ST</b>    | <b>APSE INVESTMENT LLC</b>    |                                | <b>C/O KUI XUE</b> | <b>14 EMERALD ST</b> | <b>NEWTON</b> | <b>MA</b> | <b>02458</b> |
| 2-1-24        | 119--121 THORNDIKE ST      | PELLEGRINO GRACE/TRUSTEE      | PELLEGRINO REALTY TRUST        | 119 THORNDIKE ST   |                      | ARLINGTON     | MA        | 02474        |
| 2-1-26        | 123--123A THORNDIKE ST     | GUAN DONG                     | WU JIAYI                       | 7 ARBOR LN         |                      | WINCHESTER    | MA        | 01890        |
| 2-2-1         | 74--76 MAGNOLIA ST         | PEPPER ANNE L                 |                                | 76 MAGNOLIA ST     |                      | ARLINGTON     | MA        | 02474        |
| 2-2-2         | 72 MAGNOLIA ST             | JACOBSON MARC & SHARON        |                                | 72 MAGNOLIA ST     |                      | ARLINGTON     | MA        | 02474        |
| 2-2-3         | 68--70 MAGNOLIA ST         | FOX MARY L/SHARON/ETAL        | TAYLOR ROBERT                  | 70 MAGNOLIA ST     |                      | ARLINGTON     | MA        | 02474        |
| 2-2-4         | 64--66 MAGNOLIA ST         | AIELLO ROBERT B & LINDA M     |                                | 106 PROSPECT ST    |                      | READING       | MA        | 01867        |
| 2.A-5-92      | 92 FAIRMONT ST UNIT 2      | BUCCI MAX J                   | DISSLY LAURA                   | 92 FAIRMONT ST     |                      | ARLINGTON     | MA        | 02474        |
| 2.A-5-90      | 90 FAIRMONT ST UNIT 1      | VADALI RAGHAVENDRA            |                                | 90 FAIRMONT ST     | UNIT 1               | ARLINGTON     | MA        | 02474        |
| 2-2-6         | 56--58 MAGNOLIA ST         | ENOS MARIA Z ETAL/ TRS        | ANNA ZAFIROPOULOS 2023 REVOCAB | 43 LONGWOOD DR     |                      | WESTPORT      | MA        | 02790        |
| 2-2-7         | 71--73 THORNDIKE ST        | PERALTA MARIA C               | GALLAHER NATHANIEL D           | 73 THORNDIKE ST    |                      | ARLINGTON     | MA        | 02474        |
| 2.A-3-118.2   | 118 THORNDIKE ST           | CHEN ELAINE & KAM ANTHONY     |                                | 118 THORNDIKE ST   | UNIT 2               | ARLINGTON     | MA        | 02474        |
| 2.A-3-120.1   | 120 THORNDIKE ST           | SAYLOR PHILIP J & LAURA S     |                                | 120 THORNDIKE ST   | UNIT 1               | ARLINGTON     | MA        | 02474        |
| 2-2-8         | 75--77 THORNDIKE ST        | HORVATH DORA E/ LIFE ESTATE   |                                | 77 THORNDIKE ST    |                      | ARLINGTON     | MA        | 02474        |
| 2.A-4-1.1     | 78 THORNDIKE ST            | DANAHER MEGHAN                |                                | 78 THORNDIKE ST    |                      | ARLINGTON     | MA        | 02474        |
| 2.A-4-2.2     | 80 THORNDIKE ST            | CRAUMER MARTHA                |                                | 80 THORNDIKE ST    |                      | ARLINGTON     | MA        | 02474        |
| 2-2-11        | 87--89 THORNDIKE ST        | GROSSMAN MARK W               | GROSSMAN AMY ELLEN             | 249 RUTLEDGE RD    |                      | BELMONT       | MA        | 02478        |
| 2-2-12        | 91--93 THORNDIKE ST        | KOUFOS NICK J & MARIA V/TRS   | DEJO TRUST                     | 45 TERN LN         |                      | CENTERVILLE   | MA        | 02632        |
| 2.A-2-83      | 83 THORNDIKE ST            | BANNER MATTHEW F & JANE E     |                                | 83 THORNDIKE ST    |                      | ARLINGTON     | MA        | 02474        |
| 2.A-2-85      | 85 THORNDIKE ST            | HOSEY IRENE                   | STRANGES PETER                 | 85 THORNDIKE ST    | UNIT 85              | ARLINGTON     | MA        | 02474        |
| 2.A-4-55      | 55 FAIRMONT ST UNIT 2      | BURGESS GABRIELLE             | BURKHOLZ NOAH                  | 55 FAIRMONT ST     | UNIT 2               | ARLINGTON     | MA        | 02474        |
| 2.A-4-57      | 57 FAIRMONT ST UNIT 1      | SONAN ANDREA                  |                                | 82 HIGHLAND AVE    |                      | WATERTOWN     | MA        | 02472        |
| 2-3-5         | 122--122B THORNDIKE ST     | WESTWATER DONALD S/ETAL       | CAREY KATHLEEN A               | 429 MYSTIC ST      |                      | ARLINGTON     | MA        | 02474        |
| 2-3-8         | 116--116A THORNDIKE ST     | DUPONT ANNA M/ TRUSTEE        | ANNA M DUPONT REALTY TRUST     | 116 THORNDIKE ST   |                      | ARLINGTON     | MA        | 02474        |
| 2-3-9         | 114 THORNDIKE ST           | MALTZ ALAN P--ETAL            | MALTZ BURNS SUSAN              | 114 THORNDIKE ST   |                      | ARLINGTON     | MA        | 02474        |
| 2.A-2-5.1     | 60--62 MAGNOLIA ST UNIT 1  | SAFF REBECCA R & DAVID E/ TRS | 60 MAGNOLIA STREET NOMINEE TR  | 60 MAGNOLIA ST     |                      | ARLINGTON     | MA        | 02474        |
| 2.A-2-5.2     | 60--62 MAGNOLIA ST UNIT 2  | RADOSEVICH ALEXANDER T        | SAADAT ALHAM                   | 62 MAGNOLIA ST     |                      | ARLINGTON     | MA        | 02474        |
| 2.A-2-9.1     | 79--81 THORNDIKE ST UNIT 1 | PAYNTER KENNETH D ETAL/ TRS   | PALANZA-PAYNTER REVOCABLE      | 79 THORNDIKE ST    |                      | ARLINGTON     | MA        | 02474        |
| 2.A-2-9.2     | 79--81 THORNDIKE ST UNIT 2 | GIGNAC GRETCHEN A &           | PAYNTER NINA P                 | 81 THORNDIKE ST    |                      | ARLINGTON     | MA        | 02474        |
| 2-3-10        | 112 THORNDIKE ST           | PALMTEER WILLIAM & JULIE B    |                                | 112 THORNDIKE ST   |                      | ARLINGTON     | MA        | 02474        |

**CERTIFIED ABUTTERS LIST****Date: December 23, 2024****Subject Property Location: 103 THORNDIKE ST Arlington, MA****Subject Parcel ID: 2-1-20****Search Distance: 300 Feet**

| Parcel ID  | Property Location         | Owner 1                       | Owner 2                     | Mailing Address 1 | Mail Address 2 | City/Town | State | Zip   |
|------------|---------------------------|-------------------------------|-----------------------------|-------------------|----------------|-----------|-------|-------|
| 2-3-11     | 110 THORNDIKE ST          | DEVNEY DARCY CAMPION          |                             | 110 THORNDIKE ST  |                | ARLINGTON | MA    | 02474 |
| 2.A-3-77.1 | 77--79 FAIRMONT ST UNIT 1 | CHEN XUEGUANG                 | ZHANG PING                  | 77 FAIRMONT ST    | UNIT 1         | ARLINGTON | MA    | 02474 |
| 2.A-3-79.2 | 77--79 FAIRMONT ST UNIT 2 | MACKEY LESTER                 | FANG LILLY                  | 79 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-3-12     | 104--106 THORNDIKE ST     | DE MELO JOSE V/ETAL           | DE MELO ROSALINA TRUSTEES   | 66 CLARK ST       | DE MELO TRUST  | MEDFORD   | MA    | 02155 |
| 2-3-14     | 100 THORNDIKE ST          | GUEVARA MILA H & TONY H       |                             | 100 THORNDIKE ST  |                | ARLINGTON | MA    | 02474 |
| 4.A-5-88   | 88--90 VARNUM ST UNIT 88  | LAPERLA STEPHEN J & BRIDGET R |                             | 88 VARNUM ST      |                | ARLINGTON | MA    | 02474 |
| 4.A-5-90   | 88--90 VARNUM ST UNIT 90  | FAN CHUCHU                    | NING QIANG                  | 90 VARNUM ST      |                | ARLINGTON | MA    | 02474 |
| 2-3-16     | 81 FAIRMONT ST            | RIZAL ABANISH & PRAGYA        |                             | 81 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-3-17     | 85 FAIRMONT ST            | CHRISTO FRANCES               |                             | 85 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-3-18     | 87 FAIRMONT ST            | SILVA DONALD J JR             | SILVA KATHLEEN D            | 87 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-3-19     | 89 FAIRMONT ST            | BARILLEAUX GERARD &           | BARRILLEAUX MARY CATHERINE  | 89 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-3-20     | 91--91A FAIRMONT ST       | MALLARD DIANE N & THOMAS L    |                             | 91 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-3-21     | 93--93A FAIRMONT ST       | VOTE SEAN ANDREW              |                             | 140 RUBLEE ST     |                | ARLINGTON | MA    | 02476 |
| 2-3-22     | 95--95A FAIRMONT ST       | ANTONOPOULOS JOHN             | LIFE ESTATE                 | 95 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-3-23     | 97--97A FAIRMONT ST       | LIN MEIXING                   | ZHOU RONGJIE                | 97 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-4-1      | 90--92 THORNDIKE ST       | ZOU ZONG GAN                  |                             | 92 THORNDIKE ST   |                | ARLINGTON | MA    | 02474 |
| 2-4-2      | 86--88 THORNDIKE ST       | RICH ELEANOR S                |                             | 86 THORNDIKE ST   |                | ARLINGTON | MA    | 02474 |
| 2-4-5      | 76 THORNDIKE ST           | BOUBOULIS JAMES & STEFANOS    | BOUBOULIS EKATERINI+DESPINI | 195 BROADWAY      |                | ARLINGTON | MA    | 02474 |
| 2-4-10     | 59--61 FAIRMONT ST        | FEINSTEIN DANIEL B &          | LAY SAROM                   | 61 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-4-11     | 63--65 FAIRMONT ST        | CRONIN JOSEPH J-FLORENCE A    |                             | 63 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-4-12     | 67--69 FAIRMONT ST        | ZIMMERMANN NANCY A &          | ZIMMERMANN PAUL M           | 67 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-4-13     | 15--17 HERBERT RD         | JAROSIEWICZ KAREN             |                             | 17 HERBERT RD     |                | ARLINGTON | MA    | 02474 |
| 2-5-7      | 94--94A FAIRMONT ST       | RAMEIOR LISA B/TRUSTEE        | RAME FAMILY TRUST           | 94 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-5-10     | 86--88 FAIRMONT ST        | STOFF DAVID--ETAL             | INGRAM JENNIFER A           | 88 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-5-11     | 82--84 FAIRMONT ST        | SOTIROPOULOS GEORGE           | SOTIROPOULOS MARIA N        | 84 FAIRMONT ST    |                | ARLINGTON | MA    | 02474 |
| 2-5-12     | 8 HERBERT RD              | JAEGER WILLIAM F III--ETAL    | MINTZ SUSAN E               | 8 HERBERT RD      |                | ARLINGTON | MA    | 02474 |
| 2-6-1      | 68 FAIRMONT ST            | GARVEY TIMOTHY G & LESLIE E   |                             | 203 LAKE VIEW AVE |                | CAMBRIDGE | MA    | 02138 |
| 4-5-8      | 102--104 VARNUM ST        | PAN MEI                       | CHEN XIAO L                 | 254 BELMONT ST    |                | QUINCY    | MA    | 02169 |
| 4-5-9      | 100--100A VARNUM ST       | PATTERSON ROBERT D            |                             | 21 BLOSSOM ST     |                | LEXINGTON | MA    | 02421 |
| 4-5-10     | 96--98 VARNUM ST          | BREIDING DAVID E              | BREIDING SYLVIA M           | 98 VARNUM ST      |                | ARLINGTON | MA    | 02474 |
| 4-5-11     | 92--94 VARNUM ST          | MCLAUGHLIN MAURA D            | FERRARA RYAN J              | 92 VARNUM ST      |                | ARLINGTON | MA    | 02474 |
| 4-5-13     | 62 HERBERT RD             | SANTELO MARK /TRUSTEE &       | MILLER SANDRA A/TRUSTEE     | 62 HERBERT RD     |                | ARLINGTON | MA    | 02474 |
| 4-5-15     | 0-LOT MAGNOLIA ST         | TOWN OF ARLINGTON             |                             | 730 MASS AVE      |                | ARLINGTON | MA    | 02476 |



**CERTIFIED ABUTTERS LIST**

**Date: December 23, 2024**

**Subject Property Location: 103 THORNDIKE ST Arlington, MA**

**Subject Parcel ID: 2-1-20**

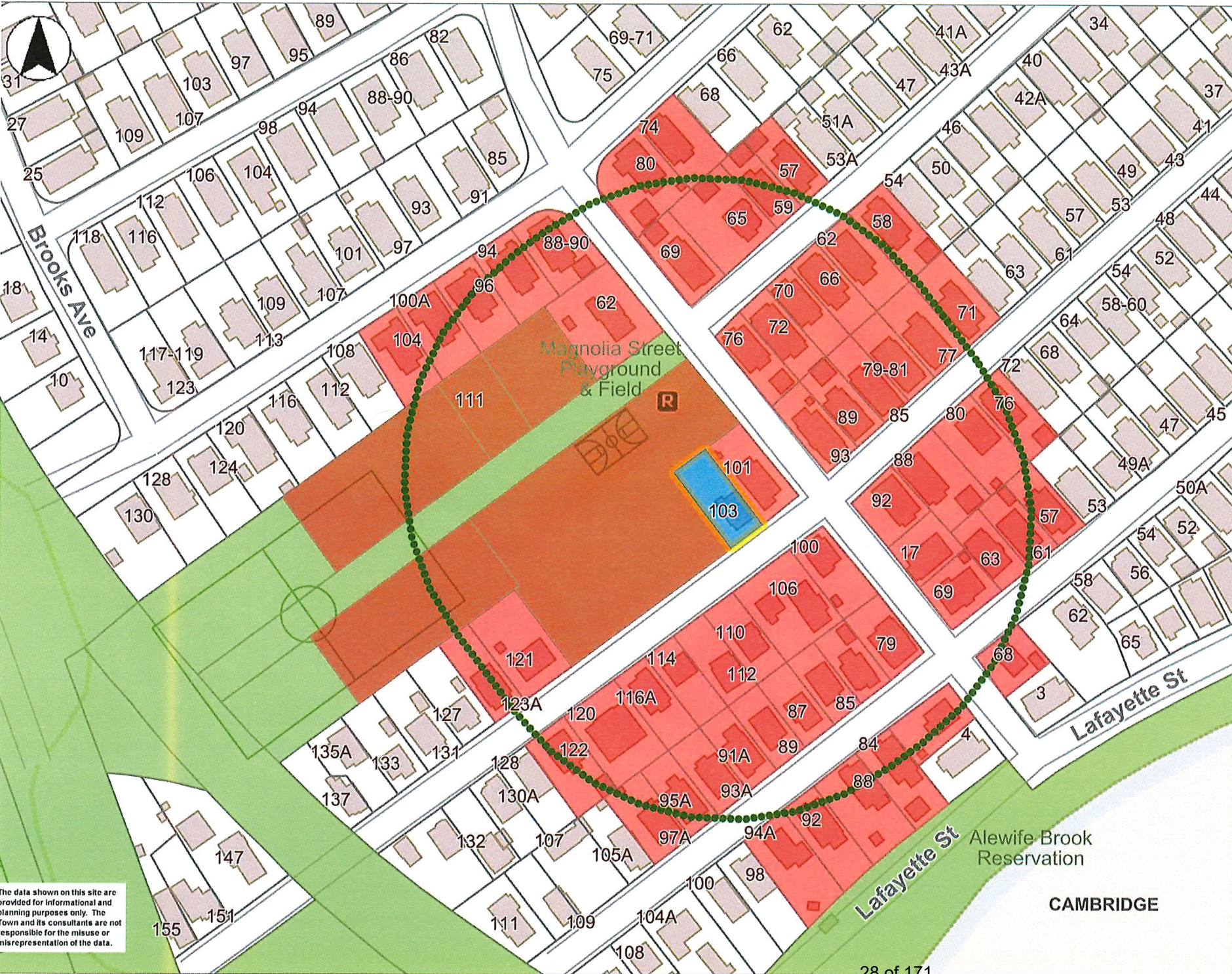
**Search Distance: 300 Feet**

| Parcel ID | Property Location   | Owner 1                        | Owner 2                        | Mailing Address 1 | Mail Address 2 | City/Town | State | Zip   |
|-----------|---------------------|--------------------------------|--------------------------------|-------------------|----------------|-----------|-------|-------|
| 4-5-18    | 111 MAGNOLIA ST     | TOWN OF ARLINGTON              |                                | 730 MASS AVE      |                | ARLINGTON | MA    | 02476 |
| 4-5-20    | 0-LOT MAGNOLIA ST   | TOWN OF ARLINGTON PARK         |                                | 730 MASS AVE      |                | ARLINGTON | MA    | 02476 |
| 4-8-1     | 78--80 VARNUM ST    | MOODY MARGARET T--ETAL         | LIN CHARLES P                  | 78 VARNUM ST      |                | ARLINGTON | MA    | 02474 |
| 4-8-2     | 72--74 VARNUM ST    | MARSHALL JOSEPH M & FRANCES M  | TRS/ MARSHALL REALTY TRUST     | 72 VARNUM ST      |                | ARLINGTON | MA    | 02474 |
| 4-8-6     | 55--57 MAGNOLIA ST  | DE MOEL EVERARDUS              | SCHELL KATE M                  | 57 MAGNOLIA ST    |                | ARLINGTON | MA    | 02474 |
| 4-8-7     | 59--59A MAGNOLIA ST | DANIELSON CHRISTINE N/ TRUSTEE | LUCREZIANO FAMILY REALTY TRUST | 18 BATES DR       |                | NASHUA    | NH    | 03064 |
| 4-8-8     | 65 MAGNOLIA ST      | IVERSON RALPH B ETAL/ TRS      | 65 MAGNOLIA STREET NOMINEE TR  | 65 MAGNOLIA ST    |                | ARLINGTON | MA    | 02474 |
| 4-8-10    | 67--69 MAGNOLIA ST  | VOGT MARY W                    |                                | 67 MAGNOLIA ST    |                | ARLINGTON | MA    | 02474 |

The Board of Assessors certifies the names and addresses of the requested parties in interest, all abutters to sunject parcel within 300 feet.



**Town of Arlington**  
**Office of the Board of Assessors**  
**730 Massachusetts Ave**  
**Arlington, MA 02476**  
**phone: 781.316.3050**  
**email: assessors@town.arlington.ma.us**



- Places by Category
- Police Station
  - Fire Station
  - School
  - Library
  - Public Works
  - Recreation - Facilities
  - Recreation - Fields Cc
  - Recreation - Fields Cc
  - Open Space: Conserv
  - Open Space - Minuter
  - Open Space - Labels
  - Open Space
  - Town, State, or
  - Other Town Ow
  - MA Highways
  - Interstate
  - US Highway
  - Numbered Rout
  - Abutting Towns
  - Town Boundary
  - Parcels
  - Buildings
  - Cemetery - Roads
  - Road1
  - Road2
  - Road3
  - Road4
  - Pavement Markings
  - Impervious Surface - I
  - Street
  - Sidewalk
  - Street Island
  - Driveway
  - Parking Lot
  - Bike Path
  - Roads - For Large Sci
  - Roads - For Small Sci
  - Major Road
  - Local Road
  - Master Plan Base Maj
  - Water Line
  - Water Body

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

CONSTRUCTION NOTES

1. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO ORIGINAL CONDITION.
2. CONTRACTOR TO MEET ALL TOWN OF ARLINGTON REQUIREMENTS FOR AS-BUILT CERTIFICATION.
3. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE 72 HOURS PRIOR TO EXCAVATION TO INFORM UTILITY COMPANIES OF ANY EXCAVATION NEAR EXISTING UTILITIES.
4. CONTRACTOR SHOULD IMPLEMENT EROSION AND SEDIMENTATION CONTROL IF NECESSARY TO PREVENT STORMWATER POLLUTION ONTO THE CITY DRAINAGE SYSTEM.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CITY PERMITS TO PERFORM THE WORK.

FLOOD VENT CALCULATION

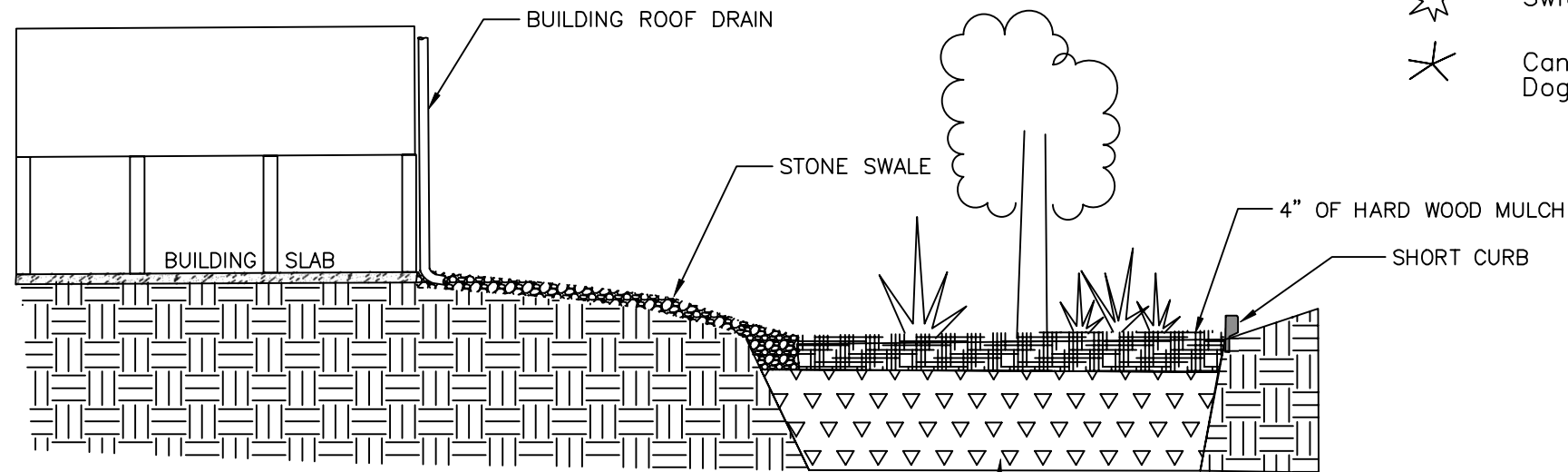
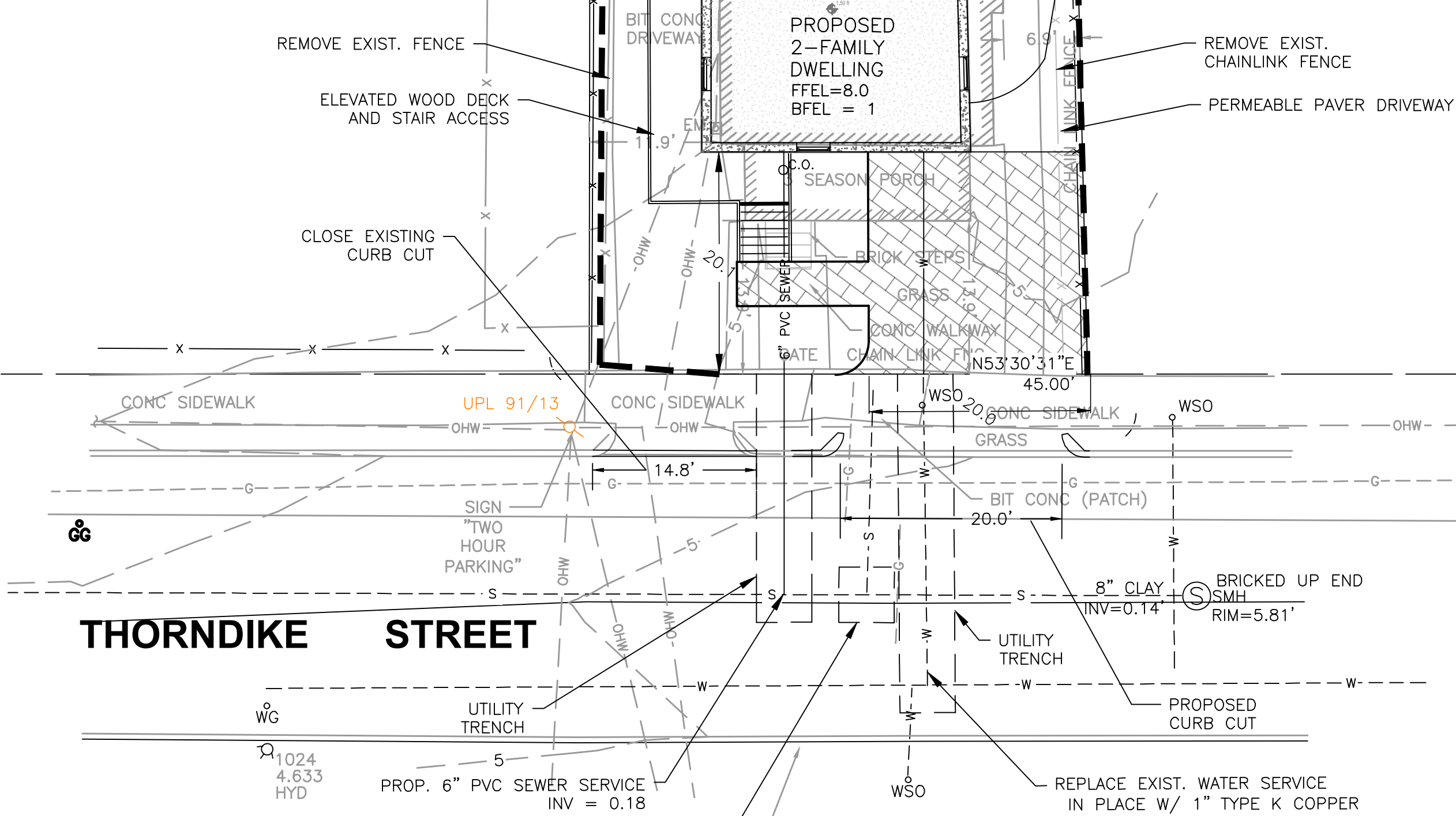
TOTAL BUILDING ENCLOSED AREA = 708 SQ. FEET

TOTAL FLOOD VENT PROVIDED  
= 16" x 8" x 6 vents = 768 SQ. INCHES

CUT & FILL

CUT VOL. = 65.86 Cu. Yd.  
FILL VOL. = 0.05 Cu. Yd.  
NET VOL. (CUT) = 65.81 Cu. Yd.

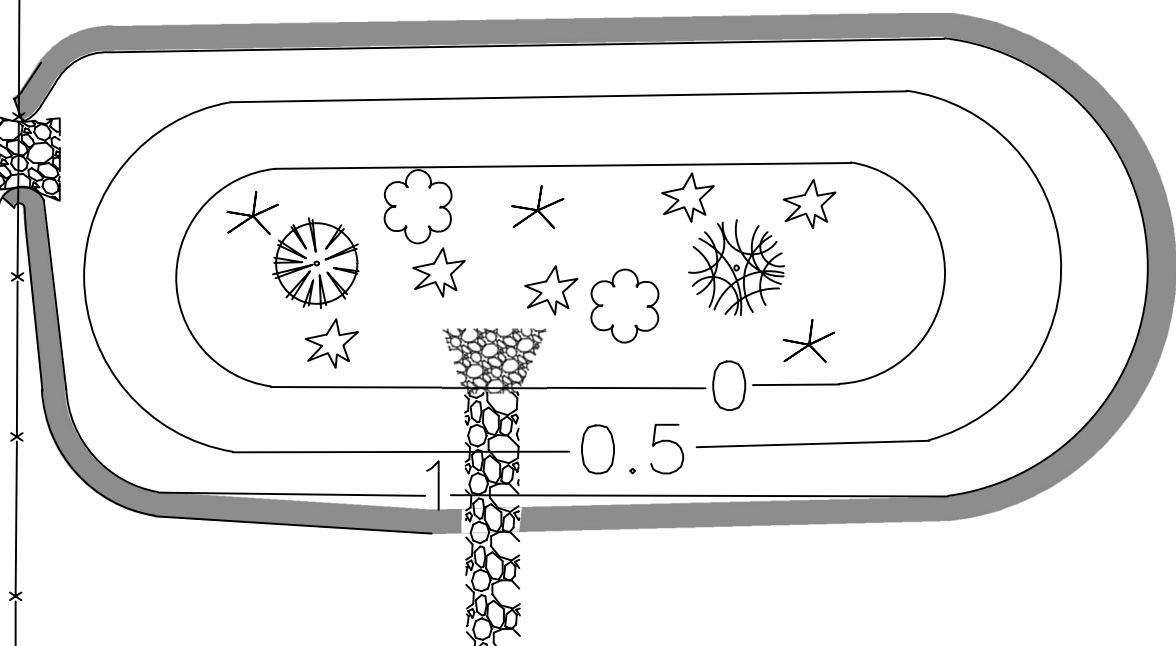
N/F  
TOWN OF ARLINGTON  
BK. 10679/PG.161



18 INCH SOIL AMENDMENT EXCAVATE EXISTING SOIL AND REPLACE WITH ENGINEERED BIO-RETENTION SOIL MIX CONSISTING OF 30% SAND, 30% COMPOST, AND 40% LOAM

BIORETENTION AREA DETAIL  
N.T.S.

| Symbol | Common Name          | Botanical Name               | Quantity |
|--------|----------------------|------------------------------|----------|
|        | Red Maple            | Acer Rubrum                  | 1        |
|        | Flowering Dogwood    | Cornus Florida               | 1        |
|        | Winterberry          | Ilex Verticillata            | 2        |
|        | Switch Grass         | Panicum Virgatum             | 5        |
|        | Canada Dwarf Dogwood | Chamaepericlymenum Canadense | 3        |

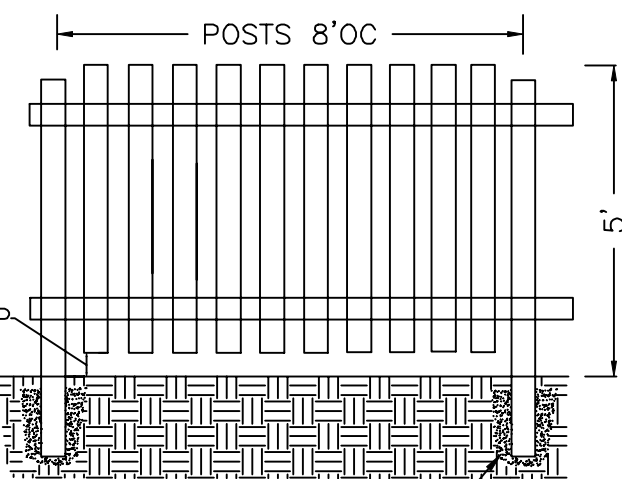


PLAN REFERENCE

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MAGNETIC NORTH. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE AE (WITHOUT BASE FLOOD ELEVATION) (BFE) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF ARLINGTON, MASSACHUSETTS, COMMUNITY PANEL NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010. THE FLOOD ELEVATION IS 7'.
- 6) NO WETLAND FLAGS WERE OBSERVED ON SITE AT THE TIME OF THE SURVEY.
- 7) OWNER AND PROPERTY INFORMATION:  
OWNER: APSE INVESTMENT LLC  
PARCEL ID: 2-1-20

ROAD

HERBERT

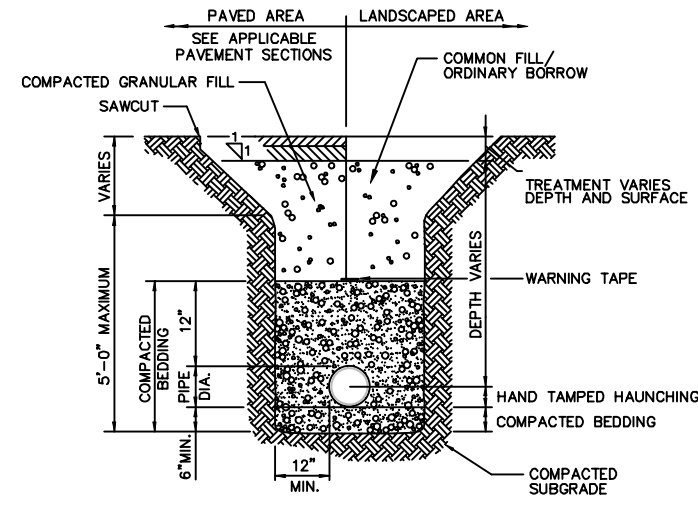


5' CEDAR FENCE DETAIL  
N.T.S.

NOTE: CEDAR FENCE TO REPLACE EXISTING CHAIN LINK FENCE. 4" GAP BETWEEN BOTTOM OF FENCE AND GROUND. POSTS TO BE SET 18" MIN. BELOW GRADE.

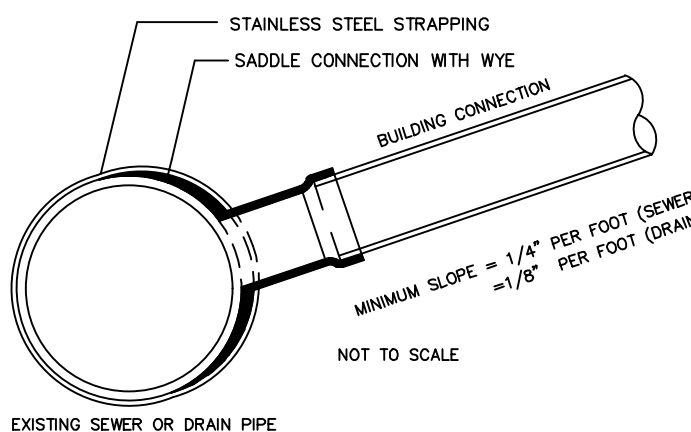


TREE PROTECTION EXAMPLE  
N.T.S.



Notes:  
WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH EXISTING BASE GRASS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.  
USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.  
PAVEMENT SECTION TO CONFORM TO CITY OF QUINCY DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATION.

Utility Trench  
N.T.S.



NOTE: USE THIS DETAIL ONLY IF EXISTING WYE BRANCH IS NOT FOUND IN THE FIELD.

1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE OR IRON PIPE.  
2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.  
3. FULL WYE CONNECTION FITTINGS MAY BE USED.  
4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.  
5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.  
6. TO BE USED IF AN EXISTING WYE IS NOT FOUND.

SEWER CONNECTION DETAIL  
NOT TO SCALE

SADDLE CONNECTION DETAIL  
N.T.S.

| REVISIONS: |   |           |
|------------|---|-----------|
| NO.:       | COMMENTS:                                 | DATE:     |
| 1.         | FENCE DETAIL ADDED                        | 8/13/2024 |
| 2.         | FENCE DETAIL ADDED PER CON. COMM. COMMENT | 8/21/2024 |

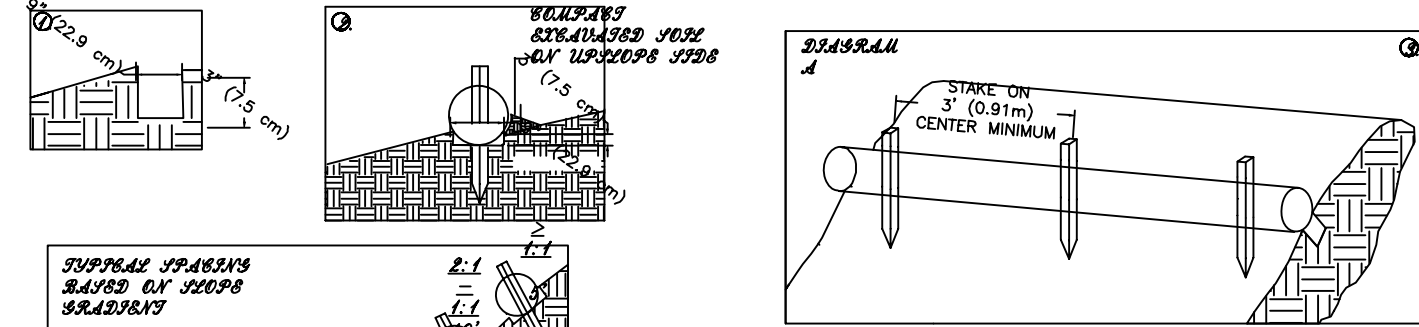
FLOOD STORAGE VOLUME EL. 7'

|          | EXISTING | PROPOSED |
|----------|----------|----------|
| EL. -1-0 | 0        | 68       |
| EL. 0-1  | 192.2    | 260.2    |
| EL. 1-2  | 1,200.5  | 1,961.5  |
| EL. 2-3  | 2,025.5  | 2,375    |
| EL. 3-4  | 2,672.5  | 2,740.4  |
| EL. 4-5  | 3,320.5  | 3,329.6  |
| EL. 5-6  | 3,676.6  | 3,677.6  |
| EL. 6-7  | 3,676.6  | 3,677.6  |

DIMENSIONAL REQUIREMENTS

| ZONING R-2                       | REQUIRED   | EXISTING | PROPOSED |
|----------------------------------|------------|----------|----------|
| MIN. LOT AREA                    | 6,000 SF   | 4,377 SF | 4,377 SF |
| MIN. LOT AREA PER D.U.           | ---        | N/A      | N/A      |
| MIN. LOT FRONTAGE                | 60 FT      | 45* FT   | 45* FT   |
| MIN. YARD - FRONT                | 20 FT      | 13.9 FT  | 20.0 FT  |
| MIN. YARD - SIDE                 | 10 FT      | 6.9 FT   | 10.0 FT  |
| MIN. YARD - REAR                 | 20 FT      | 47.8 FT  | 20.0 FT  |
| MAX. BUILDING HEIGHT             | 35FT/2.5ST | 2.5 ST   | 2.5 ST   |
| MAX. FLOOR AREA RATIO            | ---        | N/A      | N/A      |
| MIN. LANDSCAPE OPEN SPACE        | 10%        | 76.4%    | 48.4%    |
| MIN. USABLE OPEN SPACE           | 30%        | 76.4%    | 68.7%    |
| MAX. LOT COV. (BUILDING & DRIVE) | 35%        | 23.6%    | 32.2%    |

\* EXISTING NONCONFORMING



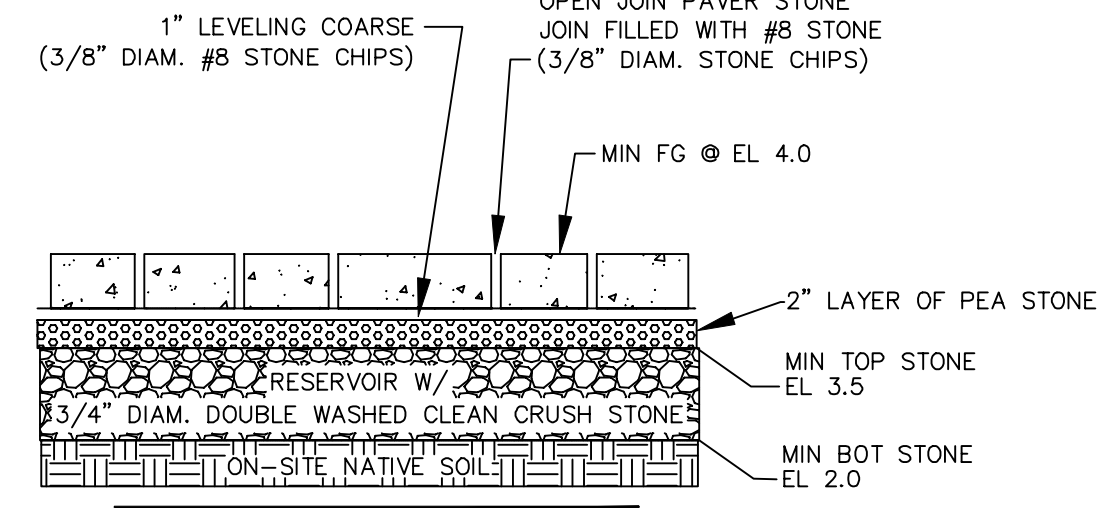
1. BEGIN AT THE LOCATION WHERE THE SOCK IS TO BE INSTALLED BY EXCAVATING A 2'-3" (5-7.5 CM) DEEP X 9" (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UPSLOPE FROM THE ANCHOR TRENCH.  
2. PLACE THE SOCK IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE SOCK ON THE UPSLOPE SIDE. ADJACENT SOCKS SHOULD TIGHTLY ADJUT.  
3. SECURE THE SOCK WITH 18-24" (45.7-61 CM) STAKES EVERY 5'-4" (0.9-1.2 M) AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE SOCK LEAVING AT LEAST 2-3" (5-7.5 CM) OF STAKE EXTENDING ABOVE THE SOCK. STAKES SHOULD BE DRIVEN PERPENDICULAR TO THE SLOPE FACE.

NOTES:  
1. ALL MATERIAL TO MEET FILTERSOX® SPECIFICATIONS.  
2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.  
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

Filterrex Erosion Control  
N.T.S.

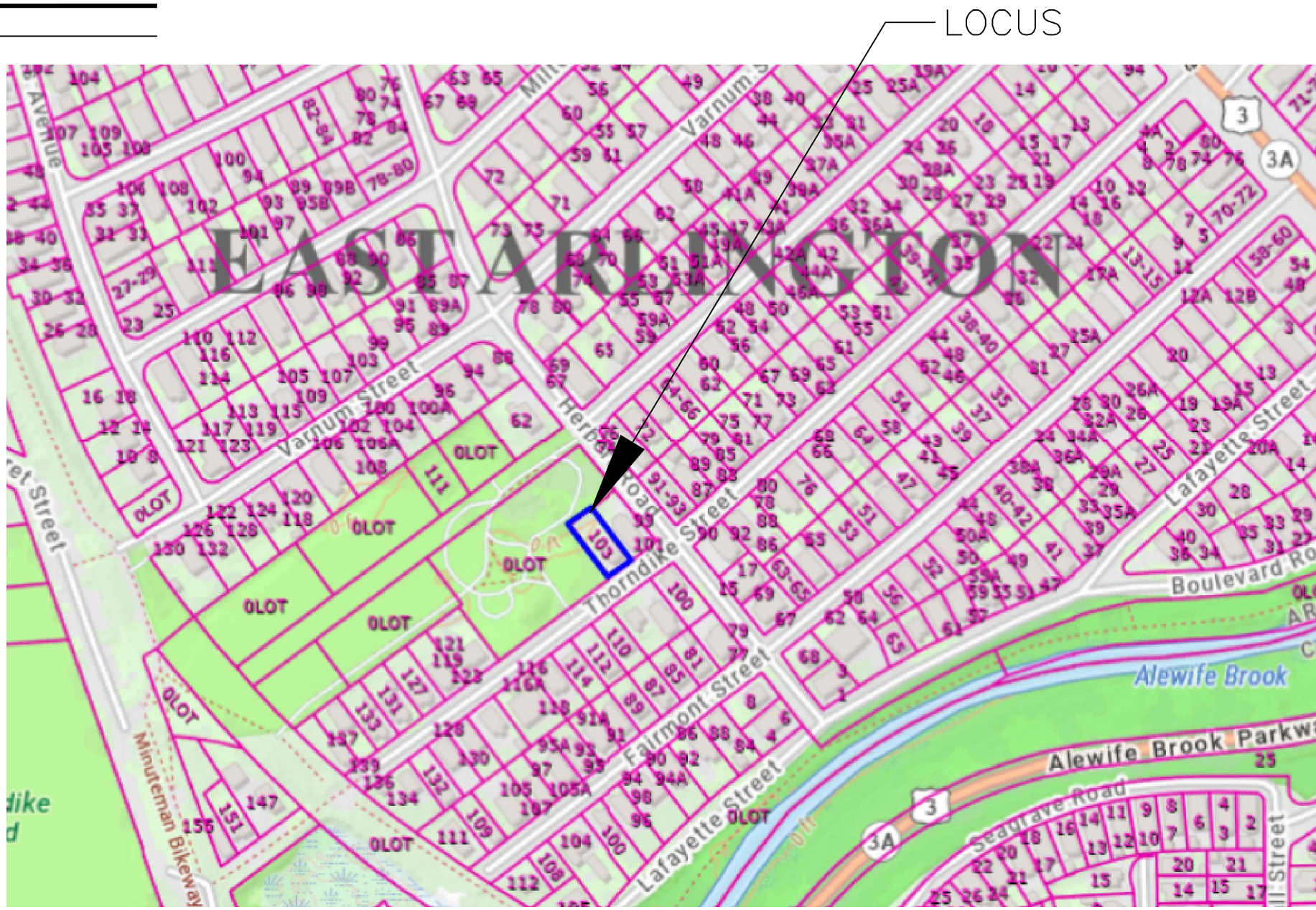
DRAINAGE AREAS

| EXISTING                | PROPOSED |
|-------------------------|----------|
| BUILDING                | 665 SF   |
| 3 SEASON PORCH          | 139 SF   |
| BACK PORCH              | 40 SF    |
| SIDE WALKWAY            | 207 SF   |
| DRIVEWAY                | 369 SF   |
| FRONT WALKWAY           | 79 SF    |
| TOTAL IMPERVIOUS        | 1,499    |
| BUILDING                | 1410 SF  |
| DRIVEWAY (PERM. PAVERS) | 850 SF   |
| TOTAL IMPERVIOUS        | 1410 SF  |



Notes:  
1. TYPICAL FOR DRIVEWAY AREA USE.  
2. BRAND AND PRODUCT DETERMINED BY CLIENT.  
ASSUME EHSQWT @ 0

Permeable Pavers Pavement Section  
N.T.S.



SITE LAYOUT PLAN  
103 THORNDIKE STREET  
ARLINGTON, MASSACHUSETTS

DRAWN BY: ZLD  
DESIGNED BY: CYM  
CHECKED BY: CYM

DATE: 6-10-2024  
LATEST REVISION: 8/21/2024



PREPARED FOR:  
CONSERVATION COMM.

SHEET  
C-1

# 103 THORNDIKE TOWNHOUSES

## PROJECT DESCRIPTION

THE PROJECT INVOLVES THE COMPLETE DEMOLITION OF THE EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW TWO-FAMILY RESIDENTIAL STRUCTURE. THE PROPOSED SITE PLAN HAS RECEIVED PRIOR APPROVAL FROM THE CONSERVATION DEPARTMENT, ENSURING COMPLIANCE WITH ENVIRONMENTAL REGULATIONS.

PROJECT ADDRESS 103 THORNDIKE ST  
ARLINGTON, MA

PROJECT NUMBER 20-103-00

| NUMBER | SHEET NAME             |
|--------|------------------------|
| G400   | ATTIC GSF CALCULATIONS |
| G100   | COVER & GENERAL NOTES  |
| G200   | ZONING, SITE & AREA    |
| G300   | LAND SURVEY            |
| A201   | FLOOR PLANS            |
| A202   | FLOOR PLANS            |
| A300   | RENDERINGS             |
| A302   | ELEVATIONS             |
| A301   | ELEVATIONS             |
| A900   | SCHEDULES              |

## ISSUED

PERMIT SET 09/17/2024

REV 1 11/20/2024

## GENERAL NOTES

### 0. CODE COMPLIANCE

THE CONTRACTOR SHALL CONSTRUCT THE PROJECT IN STRICT COMPLIANCE TO THE 9TH EDITION OF THE MASSACHUSETTS BUILDING CODE & ALL APPLICABLE REGULATING AGENCIES. THE CONTRACTOR SHALL VERIFY ALL ACCESSIBLE COMPONENTS WITH THE 521CMR ARCHITECTURAL BOARD HANDBOOK.

### 1. PROTECTION OF EXISTING TO REMAIN

THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR. IN PARTICULAR, THE CONTRACTOR SHALL MAINTAIN A DUST-FREE ENVIRONMENT WITHIN THE MAGNET VAULT.

### 2. SCHEDULING

THE CONTRACTOR SHALL MEET WITH THE OWNER'S AUTHORIZED REPRESENTATIVE WELL IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO:  
A. SCHEDULE, SEQUENCE AND COORDINATE ALL WORK  
B. MAINTAIN EXITS AND EGRESS WIDTHS REQUIRED BY CODES DURING ALL PHASES OF CONSTRUCTION

### 3. CLEARANCES

THE CONTRACTOR SHALL VERIFY THAT NEW CEILINGS CAN BE INSTALLED IN EXISTING SPACES TO CLEAR DUCTWORK AND OTHER CONSTRUCTED ITEMS AND MAINTAIN FLOOR TO CEILING HEIGHTS INDICATED ON DRAWINGS. IF DISCREPANCIES OCCUR DUE TO EXISTING CONDITIONS, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.

### 4. MATERIAL ALIGNMENT

THE FINISH FACE OF MATERIAL OF NEW PARTITIONS SHALL ALIGN ON BOTH SIDES OF THE PARTITION WITH THE FACE OF THE MATERIALS ON EXISTING COLUMNS, WALLS, OR PARTITIONS, UNLESS NOTED OTHERWISE.

### 5. AS BUILT VERIFICATION

THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.

### 6. REMOVAL SURVEY

THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE INSTALLATION OF THE NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.

### 7. CONSTRUCTION DEFECTS

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY CONSTRUCTION DEFECTS FOUND IN UNCOVERING WORK IN THE EXISTING CONSTRUCTION.

### 8. CORRECTING DEFECTIVE WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTIVE WORK IN EXISTING CONSTRUCTION WITHIN THE LIMITS OF THE CONSTRUCTION AREA. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH NEW ADJACENT SURFACES.

### 9. PIPING

ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT AND COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.

### 10. FIXTURE REMOVAL

REMOVE MECHANICAL AND ELECTRICAL FIXTURES AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS.

### 11. COORDINATION

COORDINATE PLANS FOR NEW CONSTRUCTION W/ DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.

## DEMOLITION NOTES

1. DRAWINGS SHOW THE INTENT OF THE ARCHITECTURAL DEMOLITION BASED ON PRELIMINARY FIELD INVESTIGATIONS. ADDITIONAL DEMOLITION MAY BE REQUIRED BASED ON THE DISCOVERY OF UNFORESEEN EXISTING CONDITIONS IN FIELD. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS BEFORE PROCEEDING.

2. SHORE, BRACE, UNDERPIN OR OTHERWISE SUPPORT STRUCTURE WHICH MAY BE TEMPORARILY WEAKENED BY DEMO WORK. DO NOT MODIFY, ALTER STRUCTURAL FRAMING OR STRUCTURAL MEMBERS WITHOUT THE APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER.

3. IN THE EVENT THAT HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION, DO NOT PROCEED AND NOTIFY THE OWNER. HAZARDOUS MATERIALS SHALL BE REMOVED BY THE OWNER.

4. ALL UNUSED UTILITIES SHALL BE CAPPED AND SHUT OFF PER CITY AND STATE REQUIREMENTS.

5. NO JACK HAMMERS ARE ALLOWED AT MASONRY OR CONCRETE WORK AREA WITHOUT THE APPROVAL OF THE ARCHITECT.

6. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE. EXISTING SURFACES DAMAGED OR NEWLY EXPOSED DURING PERFORMANCE OF DEMOLITION WORK SHALL BE PREPARED, PATCHED, AND FINISHED TO MATCH ADJACENT SURFACES WHERE APPLICABLE.

7. PREPARE FOR AND PROTECT THE SAFETY AND FUNCTION OF EXISTING SERVICES TO REMAIN DURING DEMOLITION AND CONSTRUCTION.

8. PROTECT ALL EXISTING FLOORS, WALLS, PARTITIONS, AND CEILINGS TO REMAIN.

9. REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL RUBBISH, DEMOLITION MATERIALS AND DEBRIS CAUSED BY DEMOLITION.

10. REMOVE TEMPORARY PARTITIONS DOORS AND FRAMES AT THE CONCLUSION OF THE PROJECT. PATCH AND OR REPLACE ADJACENT SURFACES.

11. DEMOLISH AND REMOVE PARTITIONS, FINISHES, EQUIPMENT AND MATERIALS WHICH ARE INDICATED FOR DEMOLITION OR REQUIRED TO BE REMOVED IN ORDER TO PERMIT CONSTRUCTION.

12. FLOORS THAT ARE TO ACCEPT NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES. DO NOT DAMAGE GWB ABOVE BASE IN AREAS TO REMAIN.

13. DIMENSIONED AREAS OF PARTITIONS TO BE REMOVED ARE FOR FUTURE OPENINGS. ACTUAL OPENING SIZE MAY VARY DEPENDING ON EXISTING PARTITION FRAMING. THE OPENING IS ASSUMED TO BE AS LARGE AS REQUIRED TO MEET THE NEW OPENING FRAME OR OPENING SIZE.

14. VERIFY IN FIELD ALL EXISTING CONDITIONS AND DIMENSIONS, TYPICAL.

15. THESE DOCUMENTS INTEND TO ILLUSTRATE THE SCOPE OF DEMOLITION. ANY ITEM FOUND ON THE SITE IN AN AREA TO BE DEMOLISHED OR CONNECTED TO AN ITEM TO BE REMOVED IS ALSO TO BE REMOVED UNLESS IT EITHER A) SUPPORTS AN EXISTING ITEM OR B) WILL SUPPORT A PROPOSED ITEM.

## WINDOW/DOOR NOTES

1. CONTRACTOR TO CONFIRM ALL R.O. SIZES & INSTALL PER MANUFACTURER INSTRUCTIONS. ALL WINDOWS AND DOORS IN ARCH. DRAWINGS ARE NOMINAL DIMENSIONS.

2. ALL WINDOWS ARE TO BE TEMPERED WHEN ADJACENT TO AN EXTERIOR SWINGING DOOR OR BELOW 18" A.F.F. OR WITHIN 5'-0" TO A SHOWER OR BATHTUB.

3. CONTRACTOR TO VERIFY NEW WINDOW SIZES WITH EXISTING CONDITIONS.

4. ALL WINDOWS AND DOORS MUST MEET FENESTRATION U-FACTOR OF .32 PER MASSACHUSETTS STRETCH ENERGY CODE.

5. INSTALL ICE AND WATER SHIELD AROUND ALL WINDOW OPENINGS AS PER MANUFACTURER'S RECOMMENDATION.

6. OWNER TO SELECT DOOR/WINDOW HARDWARE & ALL INTERIOR HARDWARD. CONTRACTOR TO COORDINATE.

7. OWNER TO SELECT EXTERIOR AND INTERIOR DOOR/WINDOW TRIM, STYLE, AND/OR FINISHES. FOR RENOVATIONS WHERE EXISTING DOORS AND WINDOWS ARE TO REMAIN, NEW DOORS AND WINDOWS ARE INTENDED TO MATCH. CONTRACTOR TO COORDINATE.

8. EGRESS WINDOWS - EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ FT. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES. SINGLE-HUNG AND DOUBLE-HUNG WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 3.3 SQ FT. THE MINIMUM NET CLEAR OPENING DIMENSIONS SHALL BE 20 INCHES BY 24 INCHES IN EITHER DIRECTION.

9. PROVIDE WINDOW OPENING LIMITING DEVICES AT WINDOWS MORE THAN 6'-0" ABOVE GROUND.

## CODE SUMMARY

### APPLICABLE CODES AND STANDARDS

**BUILDING CODE:**  
780 CMR THE MASSACHUSETTS STATE BUILDING CODE – NINTH EDITION

**STUCTURAL CODE:**  
780 CMR THE MASSACHUSETTS STATE BUILDING CODE – NINTH EDITION

**FIRE CODE:**  
527 CMR 1.00: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE

**MECHANICAL CODE:**  
INTERNATIONAL MECHANICAL CODE – 2015 EDITION

**PLUMBING CODE:**  
248 CMR MASSACHUSETTS STATE PLUMBING CODE

**ELECTRICAL CODE:**  
NFPA 70-2020 WITH 527 CMR CHAPTER 12 MASSACHUSETTS ELECTRICAL CODE AMENDMENTS

**ENERGY CODE:**  
780 CMR THE MASSACHUSETTS STATE BUILDING CODE – NINTH EDITION, CHAPTER 13, 2021 INTERNATIONAL ENERGY CONSERVATION CODE WITH 2023 MASSACHUSETTS AMENDMENTS.

**ACCESSIBILITY:**  
521 CMR ARCHITECTURAL ACCESS BOARD RULES AND REGULATIONS

## GRAPHIC LEGEND

|  |                                    |
|--|------------------------------------|
|  | FIRE SEPERATION                    |
|  | RATED WALL - 1 HR                  |
|  | NEW WALL                           |
|  | EXISTING WALL                      |
|  | DEMOLISHED WALL                    |
|  | EXISTING DOOR                      |
|  | NEW DOOR                           |
|  | BUILDING ELEVATION TAG             |
|  | SECTION TAG                        |
|  | INTERIOR ELEVATION TAG             |
|  | DOOR TAG                           |
|  | WINDOW TAG                         |
|  | REVISION & NUMBER                  |
|  | SPOT ELEVATION                     |
|  | CENTER LINE                        |
|  | SMOKE DETECTOR                     |
|  | SMOKE AND CARBON MONOXIDE DETECTOR |
|  | EXIT SIGN                          |
|  | EMERGENCY LIGHT                    |
|  | FIRE EXTINGUISHER                  |

## ABBREVIATIONS

|        |  |
|--------|--|
| #      | Pound OR Number                            |
| &      | And  |
| @      | At   |
| ACT    | Acoustic Ceiling Tile                      |
| AD     | Area Drain                                 |
| AFF    | Above Finished Floor                       |
| ALUM   | Aluminum                                   |
| ANOD   | Anodized                                   |
| BSMT   | Basement                                   |
| BYND   | Beyond                                     |
| BOT    | Bottom                                     |
| CIP    | Cast In-Place                              |
| CHNL   | Channel                                    |
| CJ     | Control Joint                              |
| CL     | Center Line                                |
| CLG    | Ceiling                                    |
| CLR    | Clear                                      |
| CMU    | Concrete Masonry Unit                      |
| COL    | Column                                     |
| COMPR  | Compressible                               |
| CONC   | Concrete                                   |
| CONT   | Continuous                                 |
| CPT    | Carpet                                     |
| CT     | Ceramic Tile                               |
| CTYD   | Courtyard                                  |
| DBL    | Double                                     |
| DEMO   | Demolish or Demolition                     |
| DIA    | Diameter                                   |
| DIM    | Dimension                                  |
| DIMS   | Dimensions                                 |
| DN     | Down                                       |
| DR     | Door                                       |
| DWG    | Drawing                                    |
| EA     | Each                                       |
| EJ     | Expansion Joint                            |
| EL     | Elevation                                  |
| ELEC   | Electrical                                 |
| ELEV   | Elevator or Elevation                      |
| EPOM   | Ethylene Propylene Diene M-Class (Roofing) |
| EQ     | Equal                                      |
| EXIST  | Existing                                   |
| EXP JT | Expansion Joint                            |
| EXT    | Exterior                                   |
| FD     | Floor Drain or Fire Department             |
| FEC    | Fire Extinguisher Cabinet                  |
| FF     | Finished Face or Finished Floor            |
| FFL    | Finished Floor Level                       |
| FIXT   | Fixture                                    |
| FLR    | Floor                                      |
| FM     | Filled Metal                               |
| FO     | Fase Of                                    |
| FND    | Foundation                                 |
| GA     | Gauge                                      |
| GALV   | Galvanized                                 |
| GWB    | Gypsum Wall Board                          |
| HC     | Hollow Core                                |
| HI     | High                                       |
| HM     | Hollow Metal                               |
| HP     | High Point                                 |
| HR     | Hour                                       |
| HVAC   | Heating, Ventilating, And Air Conditioning |
| IRGWB  | Impact Resistant Gypsum Wall Board         |
| IL     | In Lieu Of                                 |
| INSUL  | Insulated or Insulation                    |
| INT    | Interior                                   |
| LO     | Low  |
| MAX    | Maximum                                    |
| MO     | Masonry Opening                            |
| MECH   | Mechanical                                 |
| MEMBR  | Membrane                                   |
| MIN    | Minimum                                    |
| MRGWB  | Moisture-Resistant Gypsum Wall Board       |
| MTL    | Metal                                      |
| NIC    | Not In Contract                            |
| NO     | Number                                     |
| NOM    | Normal                                     |
| OC     | On Center                                  |
| OH     | Overhang or Opposite Hand                  |
| OPP    | Opposite or Opposite Hand                  |
| OZ     | Ounce                                      |
| POC    | Pre-Cast Concrete                          |
| PLUMB  | Plumbing                                   |
| PLYD   | Plywood                                    |
| PT     | Pressure Treated                           |
| PNT    | Paint or Painted                           |
| PVC    | Polyvinyl Chloride                         |
| RBR    | Rubber                                     |
| RCP    | Reflected Ceiling Plan                     |
| RD     | Roof Drain                                 |
| REQD   | Required                                   |
| RM     | Room                                       |
| SIM    | Similar                                    |
| SD     | Smoke Detector                             |
| SPFC   | Specified OR Specification                 |
| SPK    | Sprinkler or Speaker                       |
| SSTL   | Stainless Steel                            |
| STL    | Sound Transmission Coefficient             |
| STR    | Structure or Structural                    |
| T&G    | Tongue And Groove                          |
| TELE   | Telephone                                  |
| TLT    | Toilet                                     |
| TME    | To Match Existing                          |
| TO     | Top Of                                     |
| TOC    | Top Of Concrete                            |
| TOS    | Top Of Steel                               |
| TPD    | Toilet Paper Dispenser                     |
| T/D    | Telephone/Data                             |
| TYP    | Typical                                    |
| UNO    | Unless Noted Otherwise                     |
| U/S    | Underside                                  |
| VIF    | Verify In Field                            |
| VP     | Vision Panel                               |
| W/     | With                                       |
| WO     | Wood                                       |

## OWNER

103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

## ARCHITECT

YROOM, LLC  
34 COMMERCE WAY, SUITE B-255  
WOBURN, MA

## STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC  
188 SOUTH ST.  
QUINCY, MA



## 103 THORNDIKE TOWNHOUSES

## PERMIT SET

PROJECT NUMBER 20-103-00

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|-----|-------------|------|

## KEY PLAN

|                  |              |
|------------------|--------------|
| DRAWN BY         | Author       |
| CHECKED BY       | Checker      |
| SHEET ISSUE DATE | 09/17/24     |
| SCALE            | As indicated |

## SHEET NAME

# COVER & GENERAL NOTES

## .G100

OWNER

103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

ARCHITECT

YROOM, LLC  
34 COMMERCE WAY, SUITE B-255  
WOBURN, MA

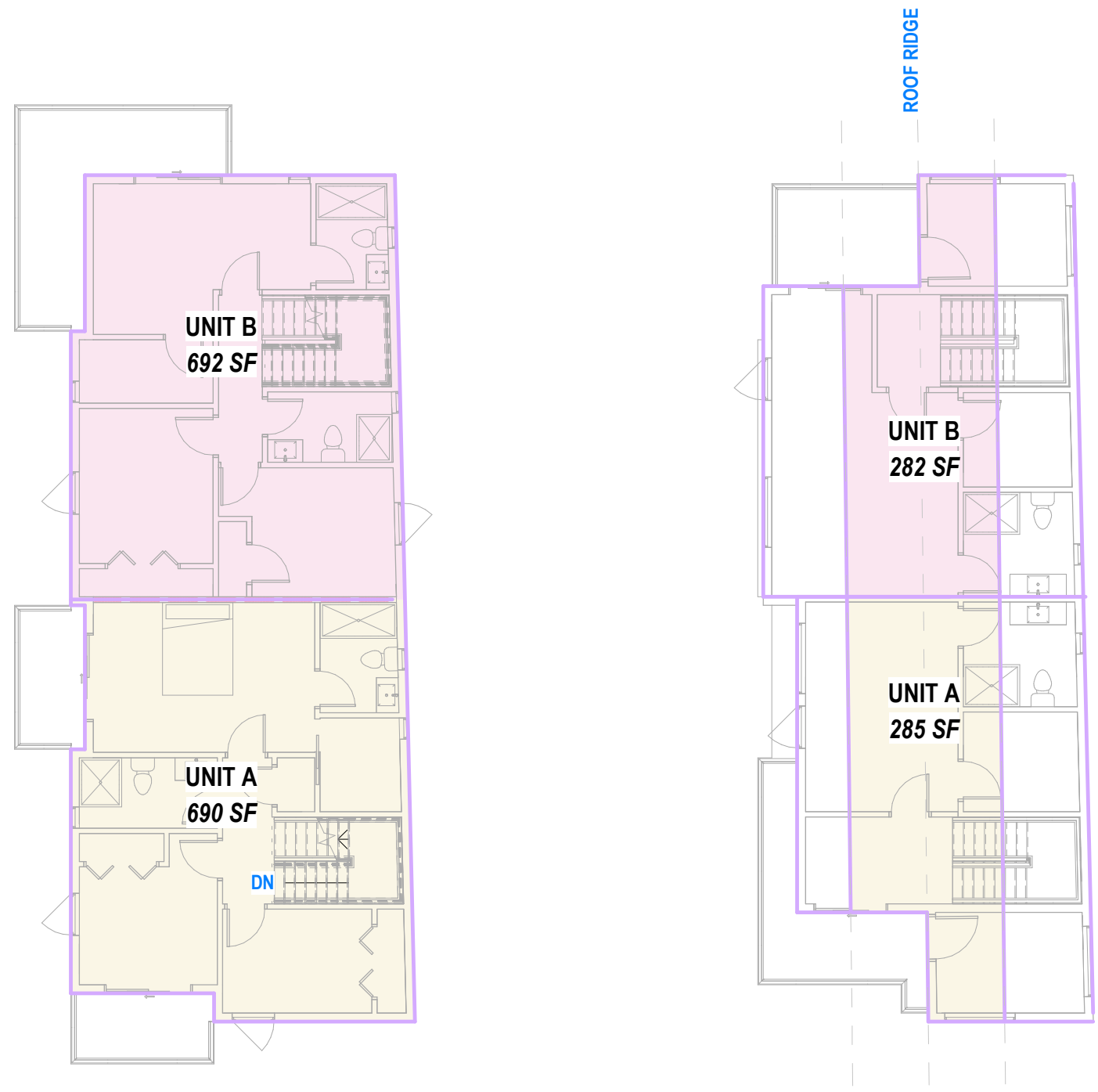
STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC  
188 SOUTH ST.  
QUINCY, MA

| ZONING COMPLIANCE TABLE |                     |           |                      |           |            |  |
|-------------------------|---------------------|-----------|----------------------|-----------|------------|--|
| ZR                      | Item/Description    | Existing  | Permitted / Required | Proposed  | Complan... | Notes                                  |
|                         | USES                | 1 FAMILY  | 2-FAMILY             | 2-FAMILY  |            |  |
|                         | FAR                 | -         | -                    | -         |            |  |
|                         | FLOOR AREA          | 1,263 SF  | -                    | 3,470 SF  |            | BASEMENT AND CEILING UNDER 7" EXCLUDED |
|                         | LOT SIZE            | 4377.6 SF | 4377.6 SF            | 4377.6 SF |            |  |
|                         | LOT COVERAGE        | 23.6%     | 35%                  | 33.5%     |            |  |
|                         | PARKING             | 2         | 2                    | 2         |            | DRIVEWAY                               |
| SETBACK & HEIGHT        | NORTH               | 47.8'     | 20.0'                | 20.0'     |            |  |
|                         | EAST                | 6.6'      | 10.0'                | 10.0'     |            |  |
|                         | SOUTH (STREET)      |           | 20.0'                | 20.0'     |            |  |
|                         | WEST                | 11.9'     | 10.0'                | 10.0'     |            |  |
|                         | MAX BUILDING HEIGHT | -         | 35'                  | 35'       |            |  |

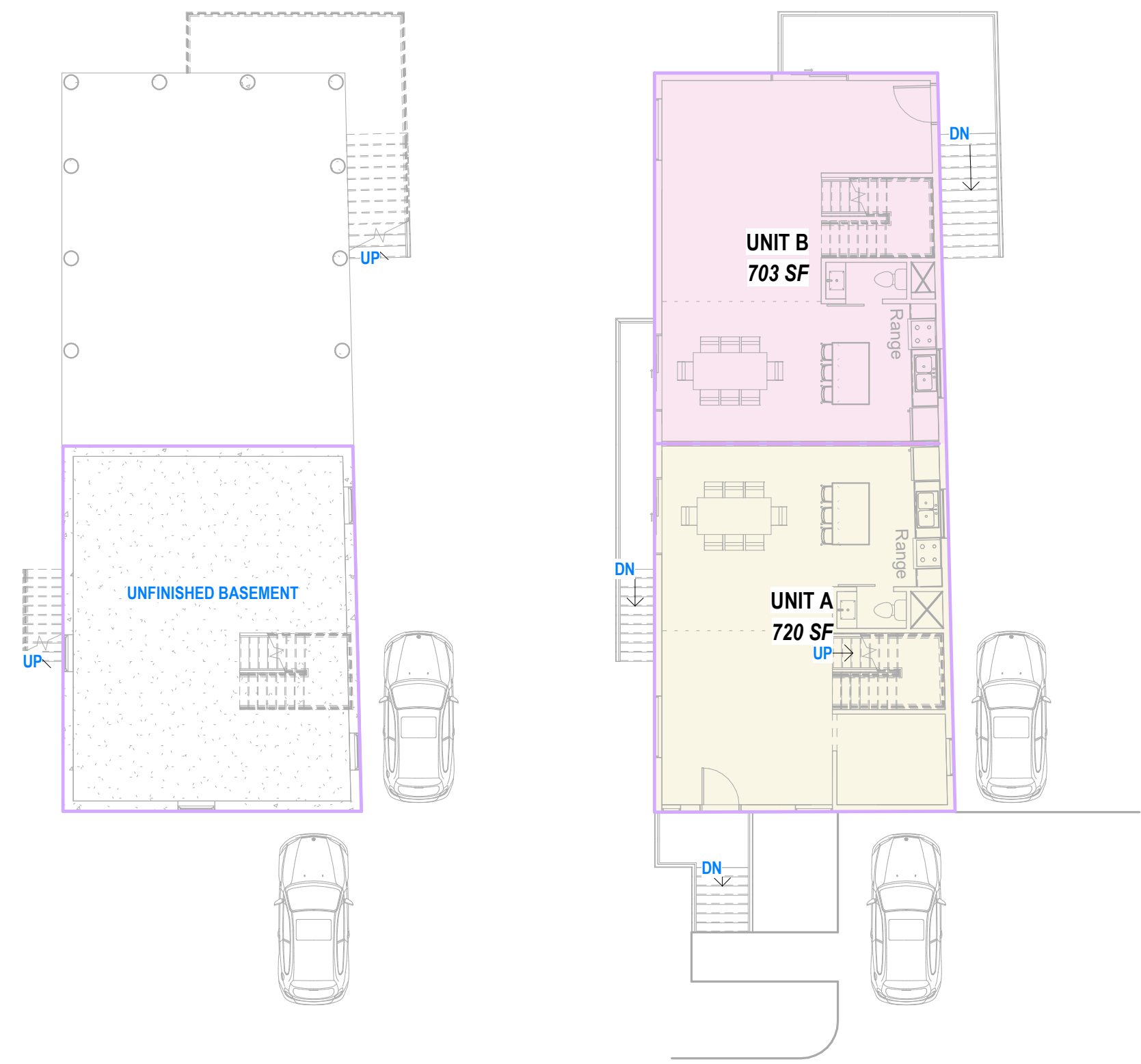
| GROSS FLOOR AREA, PROPOSED |             |         |
|----------------------------|-------------|---------|
| Name                       | Level       | Area    |
| UNIT A                     | LEVEL 1     | 720 SF  |
| UNIT A                     | LEVEL 2     | 690 SF  |
| UNIT A                     | LEVEL ATTIC | 285 SF  |
|                            |             | 1694 SF |
| UNIT B                     | LEVEL 1     | 703 SF  |
| UNIT B                     | LEVEL 2     | 692 SF  |
| UNIT B                     | LEVEL ATTIC | 282 SF  |
|                            |             | 1677 SF |
| Grand total                |             | 3372 SF |

| GROSS FLOOR AREA, PROPOSED BY LEVEL |        |         |
|-------------------------------------|--------|---------|
| Level                               | Name   | Area    |
| LEVEL 1                             | UNIT A | 720 SF  |
| LEVEL 1                             | UNIT B | 703 SF  |
|                                     |        | 1423 SF |
| LEVEL 2                             | UNIT A | 690 SF  |
| LEVEL 2                             | UNIT B | 692 SF  |
|                                     |        | 1382 SF |
| LEVEL ATTIC                         | UNIT A | 285 SF  |
| LEVEL ATTIC                         | UNIT B | 282 SF  |
|                                     |        | 566 SF  |
| Grand total                         |        | 3372 SF |



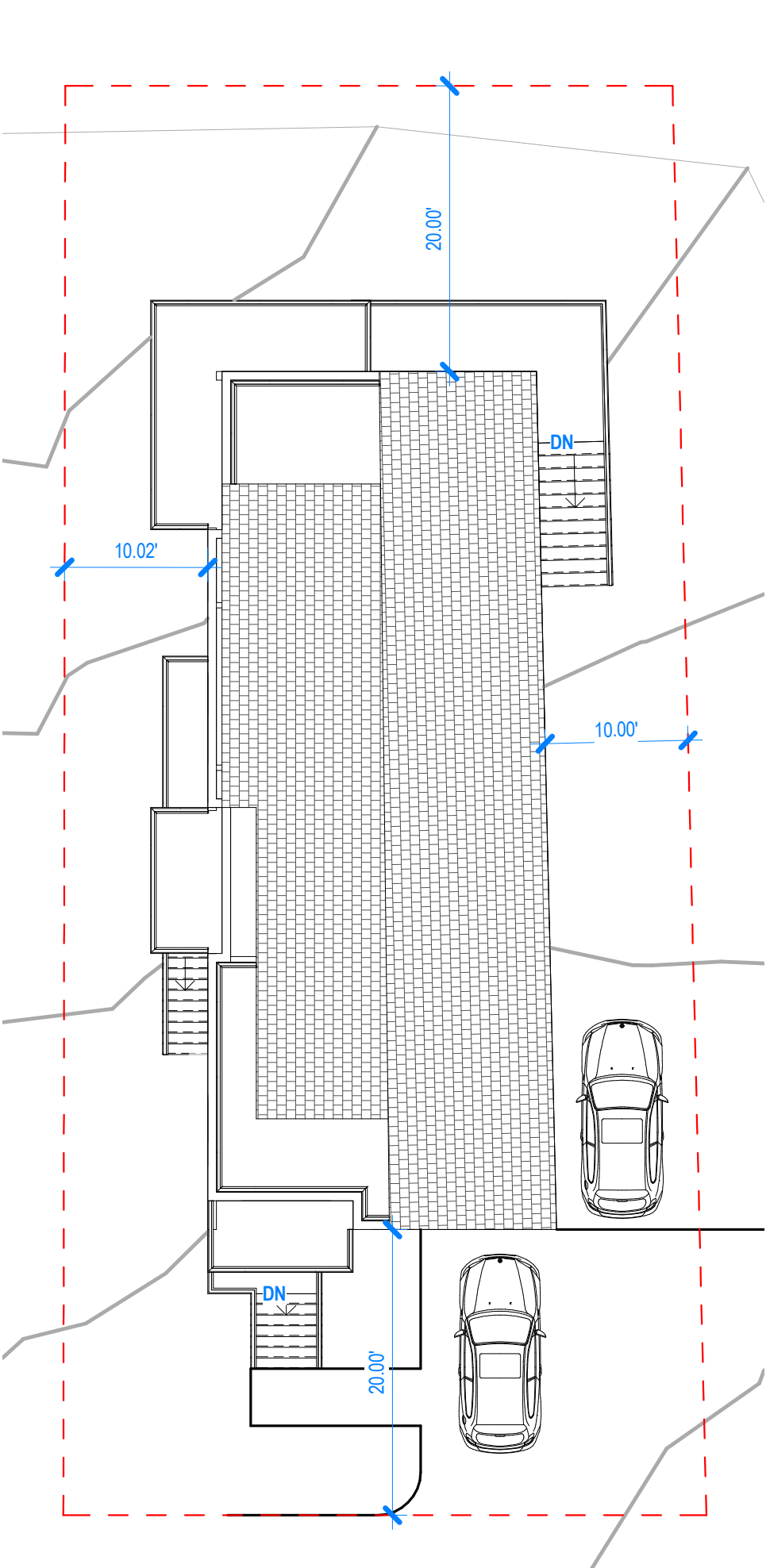
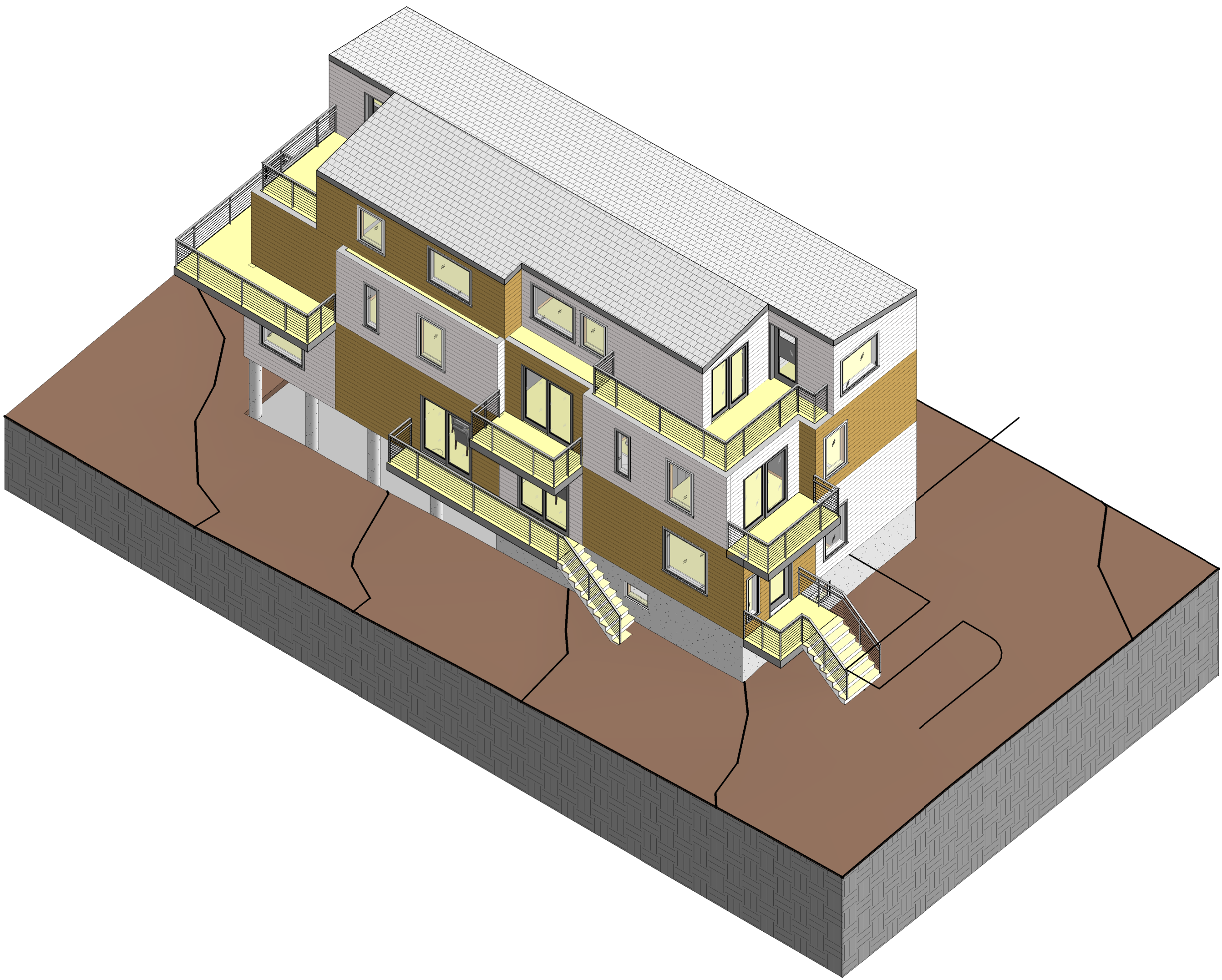
③ LEVEL 2 GROSS FLOOR AREA, PROPOSED  
3/32" = 1'-0"

④ LEVEL ATTIC GROSS FLOOR AREA, PROPOSED  
3/32" = 1'-0"

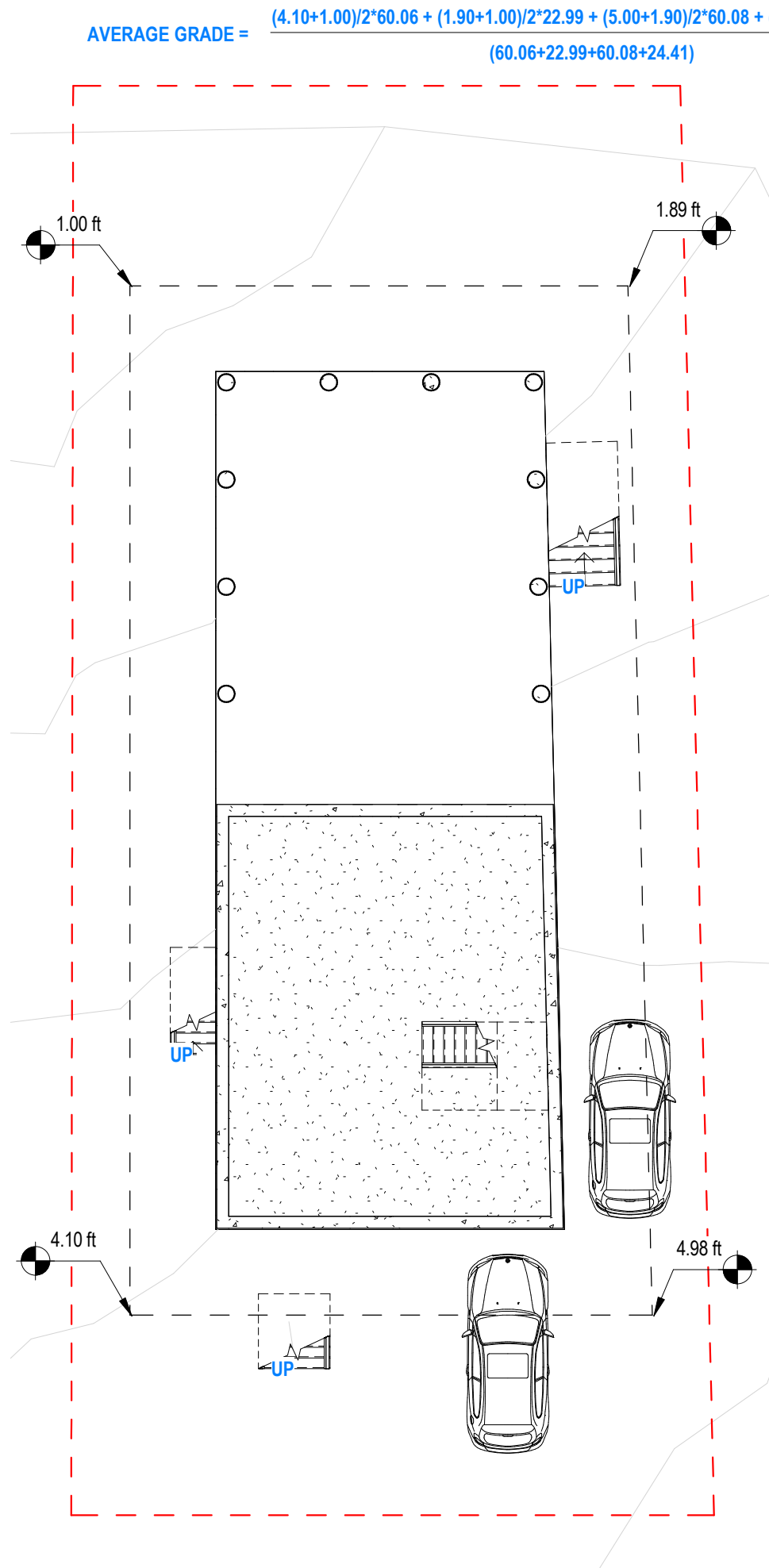


① LEVEL 0 GROSS FLOOR AREA, PROPOSED  
3/32" = 1'-0"

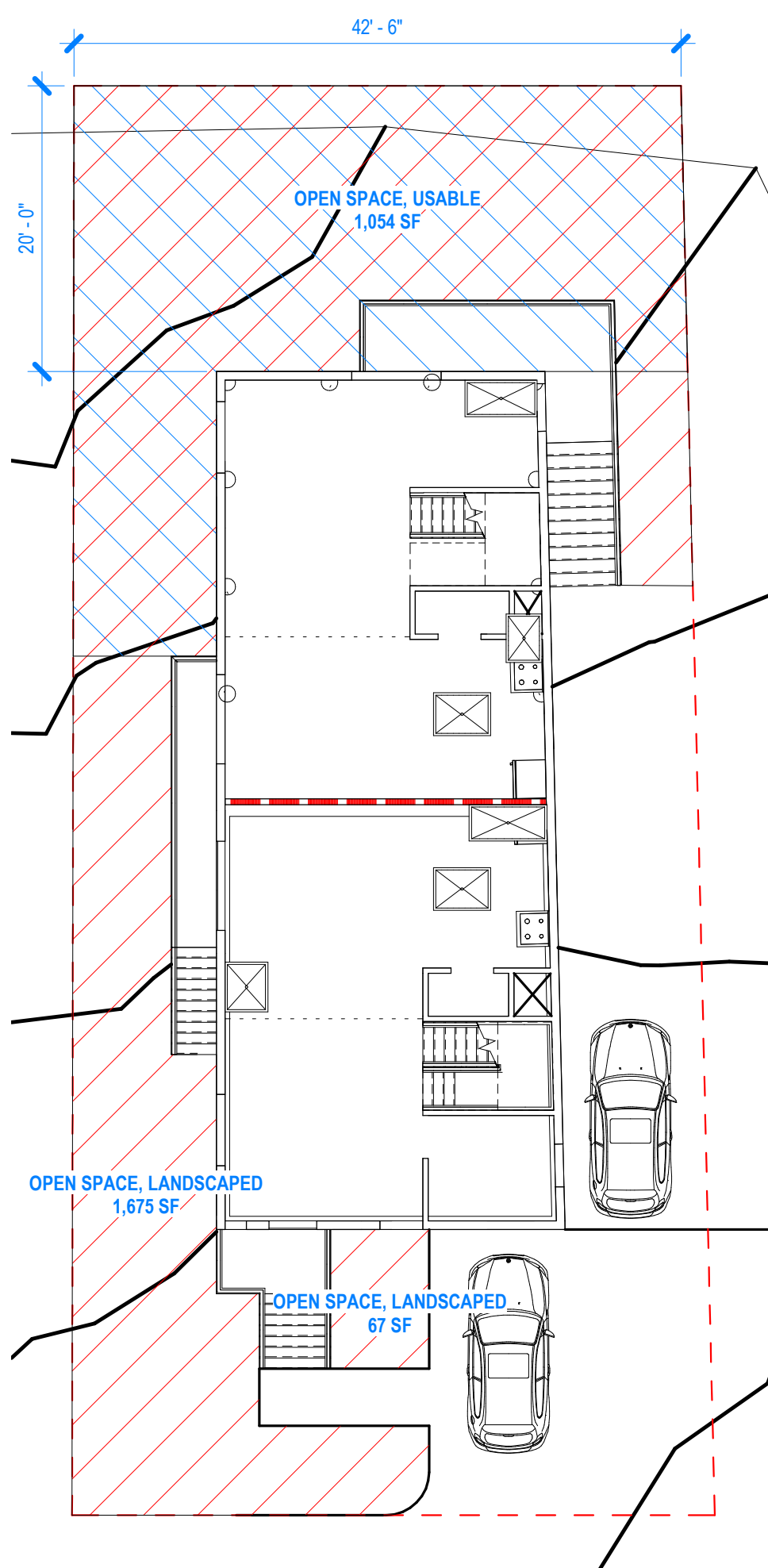
② LEVEL 1 GROSS FLOOR AREA, PROPOSED  
3/32" = 1'-0"



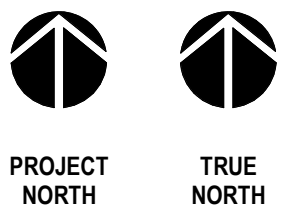
⑤ SITE PLAN, PROPOSED  
3/32" = 1'-0"



⑥ AVERAGE GRADE CALCULATION  
3/32" = 1'-0"



⑦ OPEN SPACE, PROPOSED  
3/32" = 1'-0"



## 103 THORNDIKE TOWNHOUSES

### PERMIT SET

PROJECT NUMBER 20-103-00

| NO.      | DESCRIPTION | DATE |
|----------|-------------|------|
| KEY PLAN |             |      |

DRAWN BY  
CHECKED BY  
SHEET ISSUE DATE  
SCALE  
0 8'-0" 16'-0" 32'-0"  
SCALE: 3/32" = 1'-0"

Author  
Checker  
09/17/24  
As indicated

### SHEET NAME ZONING, SITE & AREA

OWNER

103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

ARCHITECT

YROOM, LLC  
34 COMMERCE WAY, SUITE B-255  
WOBBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC  
188 SOUTH ST.  
QUINCY, MA

PFS Land  
Surveying, Inc.

20 Blach Avenue  
Grovecland, MA 01834  
P-978.891.5203  
www.pfsland.com

LEGEND

|      |                                       |
|------|---------------------------------------|
| BM # | BENCHMARK                             |
| CB   | BOUND (CONC, STONE, LAND COURT, ETC.) |
| CB   | CATCH BASIN - SQUARE                  |
| CB   | CATCH BASIN - ROUND                   |
| DSK  | DISK (CAT, USC&GS, LAND COURT, ETC.)  |
| DH   | DRILL HOLE                            |
| DMH  | DRAIN MANHOLE                         |
| RD   | ROOF DRAIN                            |
| EH   | ELECTRIC HANDHOLE                     |
| EM   | ELECTRIC MANHOLE                      |
| EM   | ELECTRIC METER                        |
| GG   | GAS GATE                              |
| GM   | GAS METER                             |
| HS   | HANDICAP SYMBOL                       |
| W    | GUY WIRE ANCHOR                       |
| FD   | FIRE HYDRANT                          |
| L    | LIGHT                                 |
| OW   | OVERHEAD WIRE                         |
| RB   | REBAR MARKER                          |
| MB   | MAIL BOX                              |
| OM   | OTHER MANHOLE                         |
| SMH  | SEWER MANHOLE                         |
| TMH  | TELEPHONE MANHOLE                     |
| S    | SIGN                                  |
| ULT# | UTILITY POLE W/ LIGHT                 |
| UPL# | UTILITY POLE                          |
| WG   | WATER GATE                            |
| WSO  | WATER SHUTOFF                         |
| BIT  | BITUMINOUS                            |
| CONC | CONCRETE                              |
| CLF  | CHAIN LINK FENCE                      |
| CT   | CONIFEROUS TREE                       |
| DT   | DECIDUOUS TREE                        |
| DYL  | DOUBLE YELLOW LINE                    |
| EM   | ELECTRIC METER                        |
| EP   | EDGE OF PAVEMENT                      |
| FF   | FINISHED FLOOR                        |
| FNC  | FENCE                                 |
| LSA  | LANDSCAPE AREA                        |
| OH   | OVERHANG                              |
| RET  | RETAINING                             |
| RW   | RETAINING WALL                        |
| SGC  | SLOPED GRANITE CURB                   |
| SWL  | SINGLE WHITE LINE                     |
| TYP  | TYPICAL                               |
| VGC  | VERTICAL GRANITE CURB                 |
| WD   | WOOD                                  |

|  |  |  |  |
|--|--|--|--|
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|  |  |  |  |
|  |  |  |  |
|  |  |  |  |

| No.            | Revision | Date        | Appr.      |
|----------------|----------|-------------|------------|
| Designed by    | BGP      | Drawn by    | BGP        |
| CAD checked by | BGP      | Approved by | BGP        |
| Scale          | 1"=10'   | Date        | 11/16/2023 |

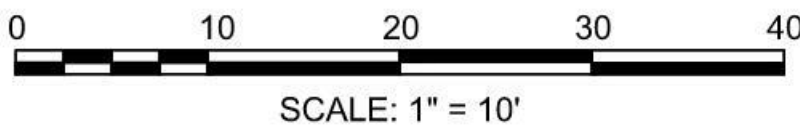
Project Title  
Existing Conditions

Plan of Land  
103 Thorndike Street  
Arlington, MA 02474

Issued for  
Review

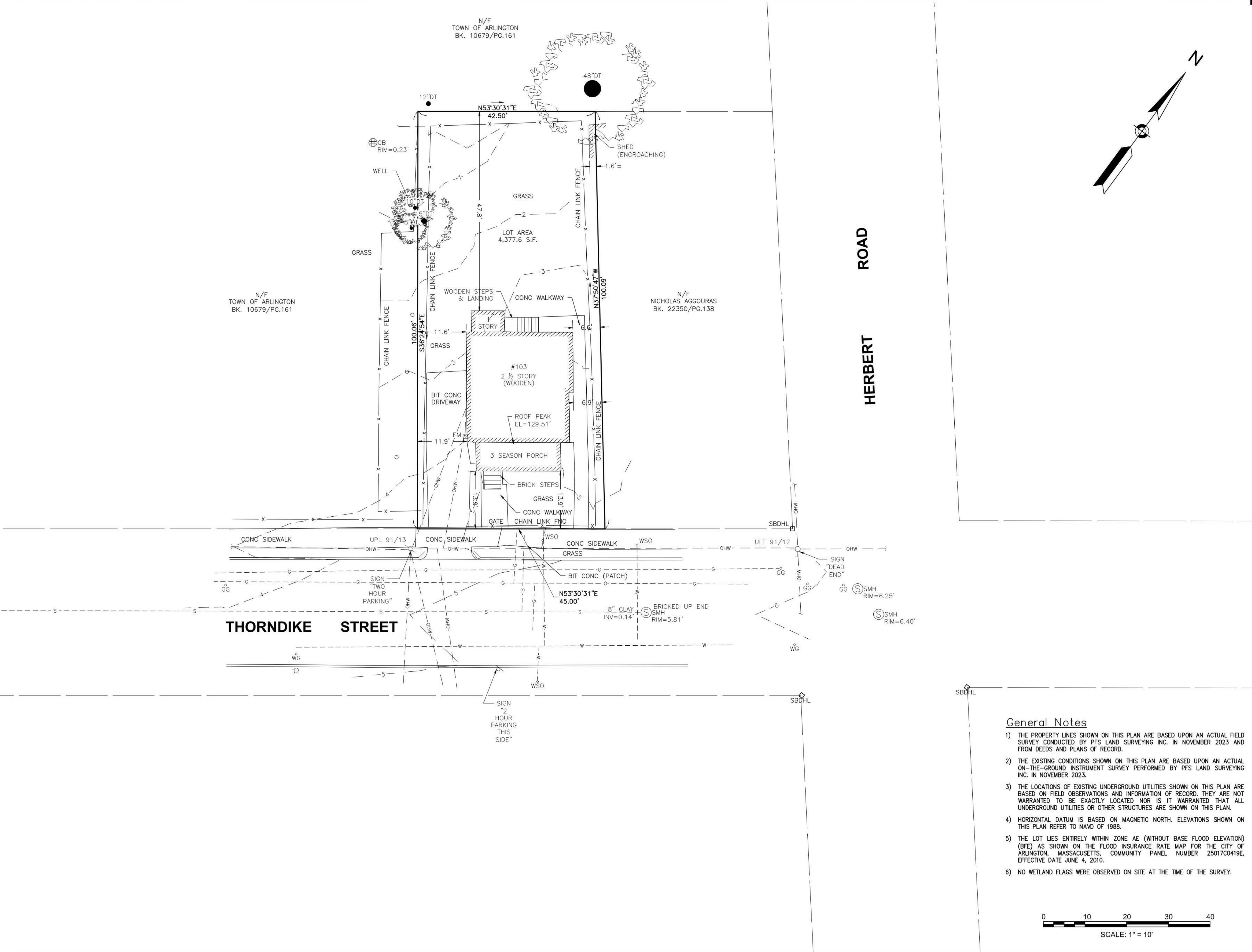
Drawing Title  
Plot Plan

|                |        |
|----------------|--------|
| Drawing Number | SV-1   |
| Sheet          | 1 of 1 |
| Project Number | 23141  |



General Notes

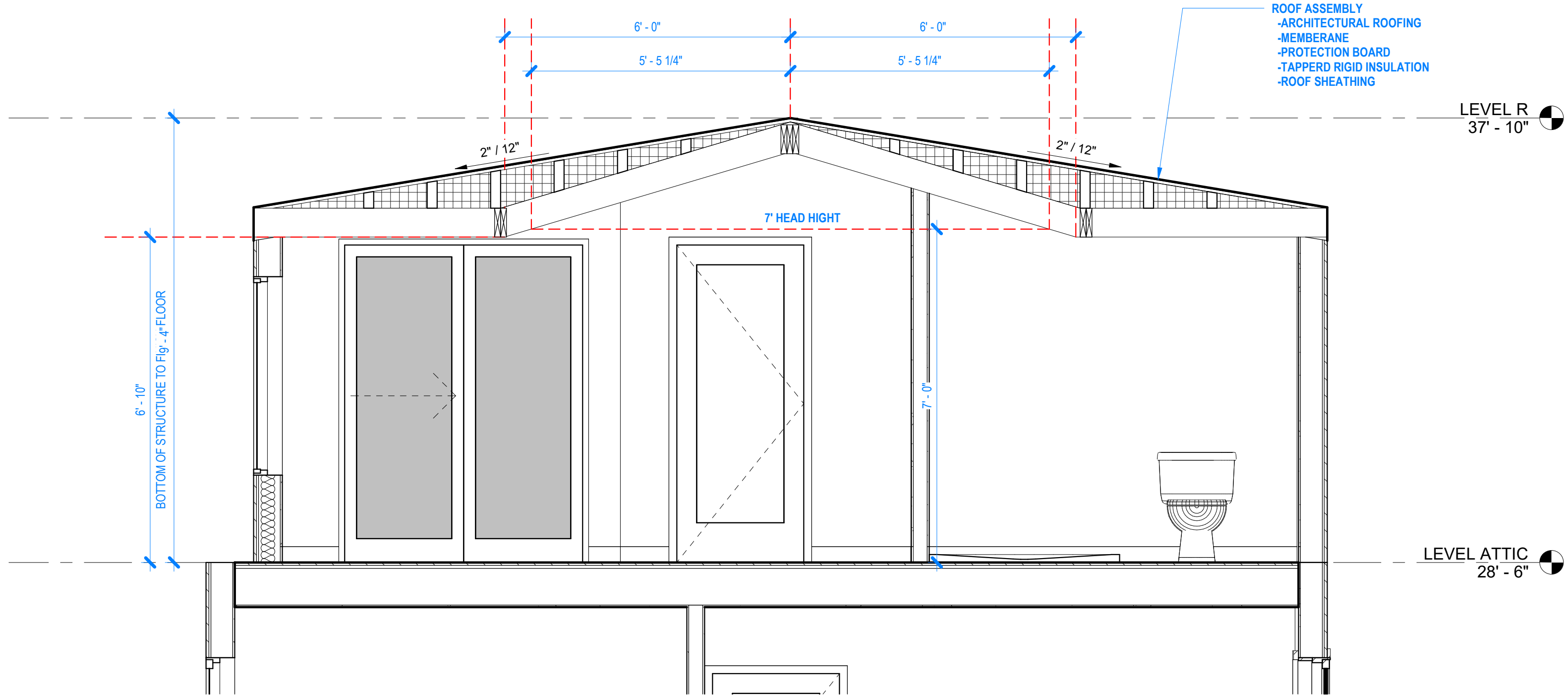
- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023 AND FROM DEEDS AND PLANS OF RECORD.
- THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- HORIZONTAL DATUM IS BASED ON MAGNETIC NORTH. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- THE LOT LIES ENTIRELY WITHIN ZONE AE (WITHOUT BASE FLOOD ELEVATION) (BFE) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF ARLINGTON, MASSACUSETTS, COMMUNITY PANEL NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010.
- NO WETLAND FLAGS WERE OBSERVED ON SITE AT THE TIME OF THE SURVEY.



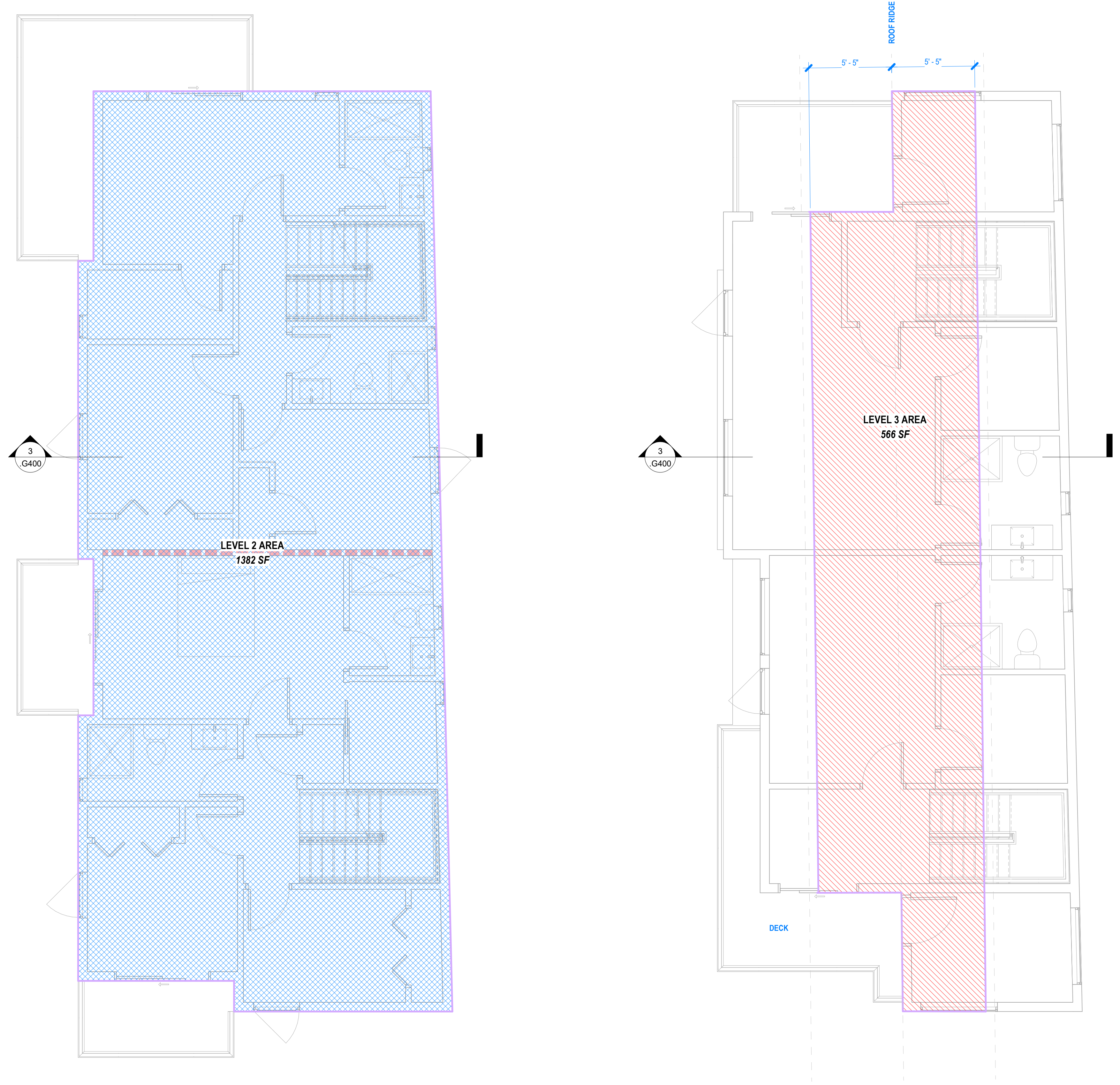
ATTIC SQUARE FOOTAGE:

TOTAL 2ND FLOOR FOOTPRINT = 1,382 SQUARE FEET  
ALLOWABLE SQUARE FOOTAGE > 7'-0" = 691 SQUARE FEET

(50% OF TOTAL FOOTPRINT)  
PROPOSED SQUARE FOOTAGE > 7'-0" = 566 SQUARE FEET



3 SECTION ATTIC  
1/2" = 1'-0"



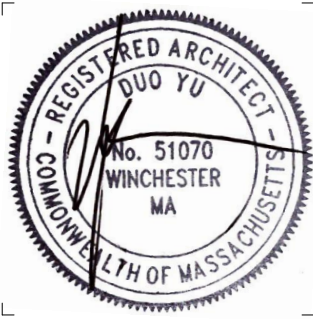
1 LEVEL 2 - FLOOR AREA  
1/4" = 1'-0"

2 LEVEL ATTIC - FLOOR AREA  
1/4" = 1'-0"

OWNER  
103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

ARCHITECT  
YROOM, LLC  
34 COMMERCE WAY, SUITE B-255  
WOBURN, MA

STRUCTURAL ENGINEER  
AGILE ENGINEERING, LLC  
188 SOUTH ST.  
QUINCY, MA



103 THORNDIKE  
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1   | KEY PLAN    |      |

DRAWN BY Author  
CHECKED BY Checker  
SHEET ISSUE DATE 09/23/24  
SCALE As indicated

SHEET NAME  
ATTIC GSF  
CALCULATIONS

OWNER

103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

ARCHITECT

YROOM, LLC  
34 COMMERCE WAY, SUITE B-255  
WOBBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC  
188 SOUTH ST.  
QUINCY, MA



103 THORNDIKE  
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1   | KEY PLAN    |      |

DRAWN BY  
CHECKED BY  
SHEET ISSUE DATE  
SCALE

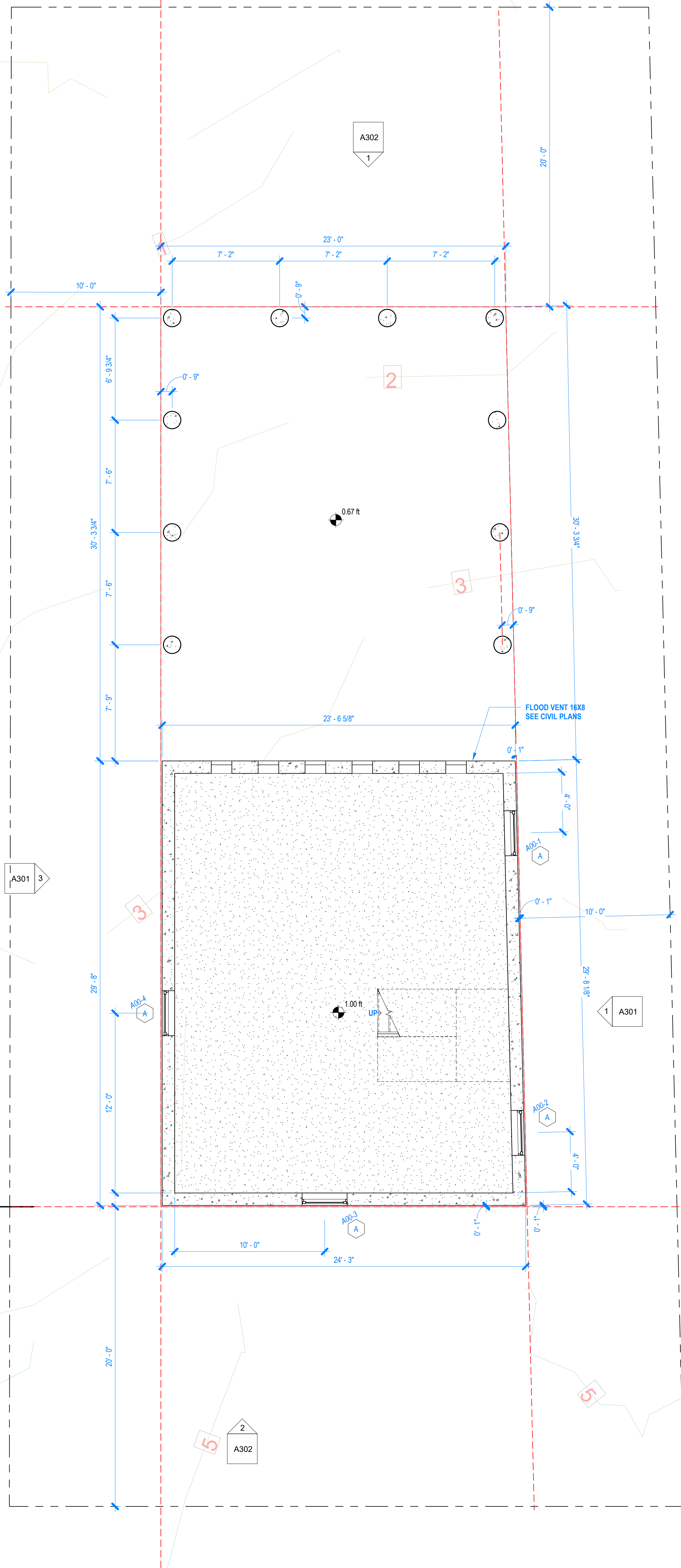
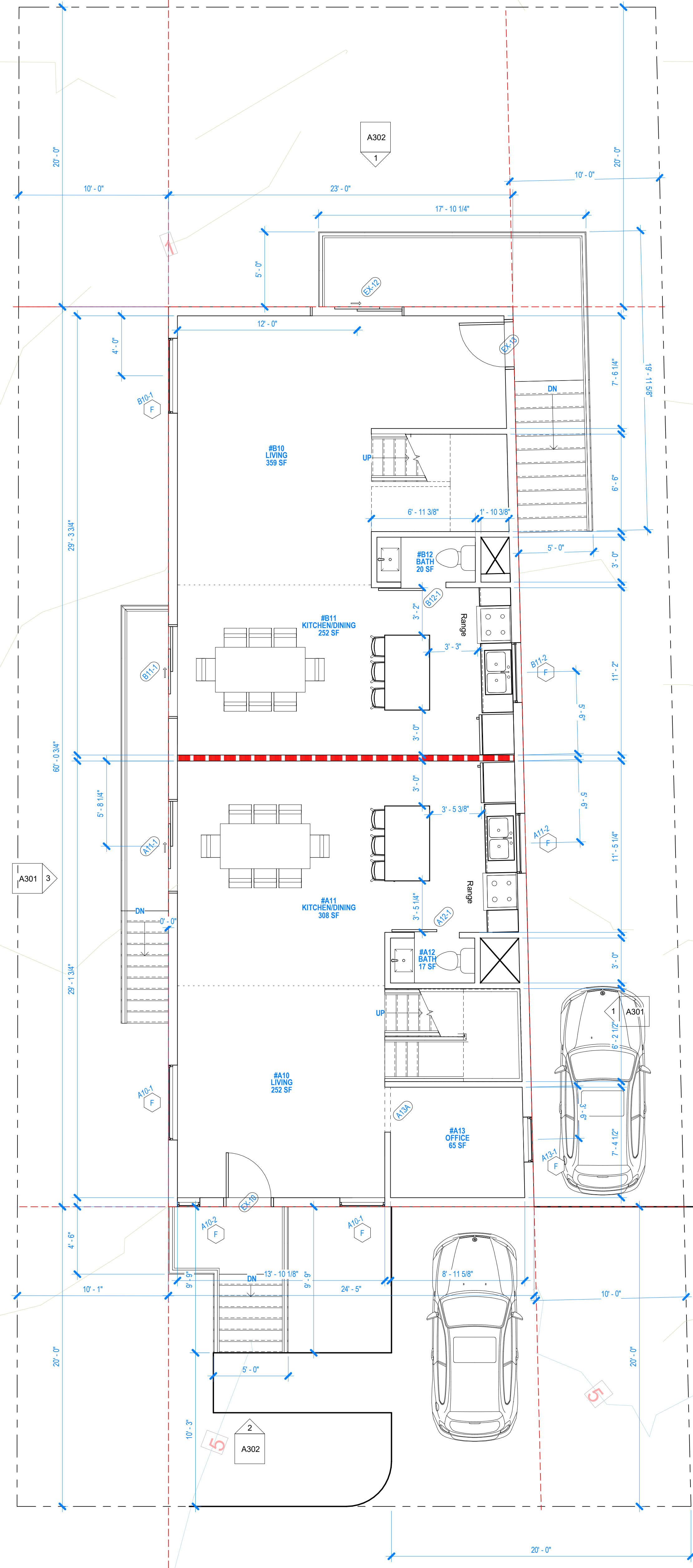
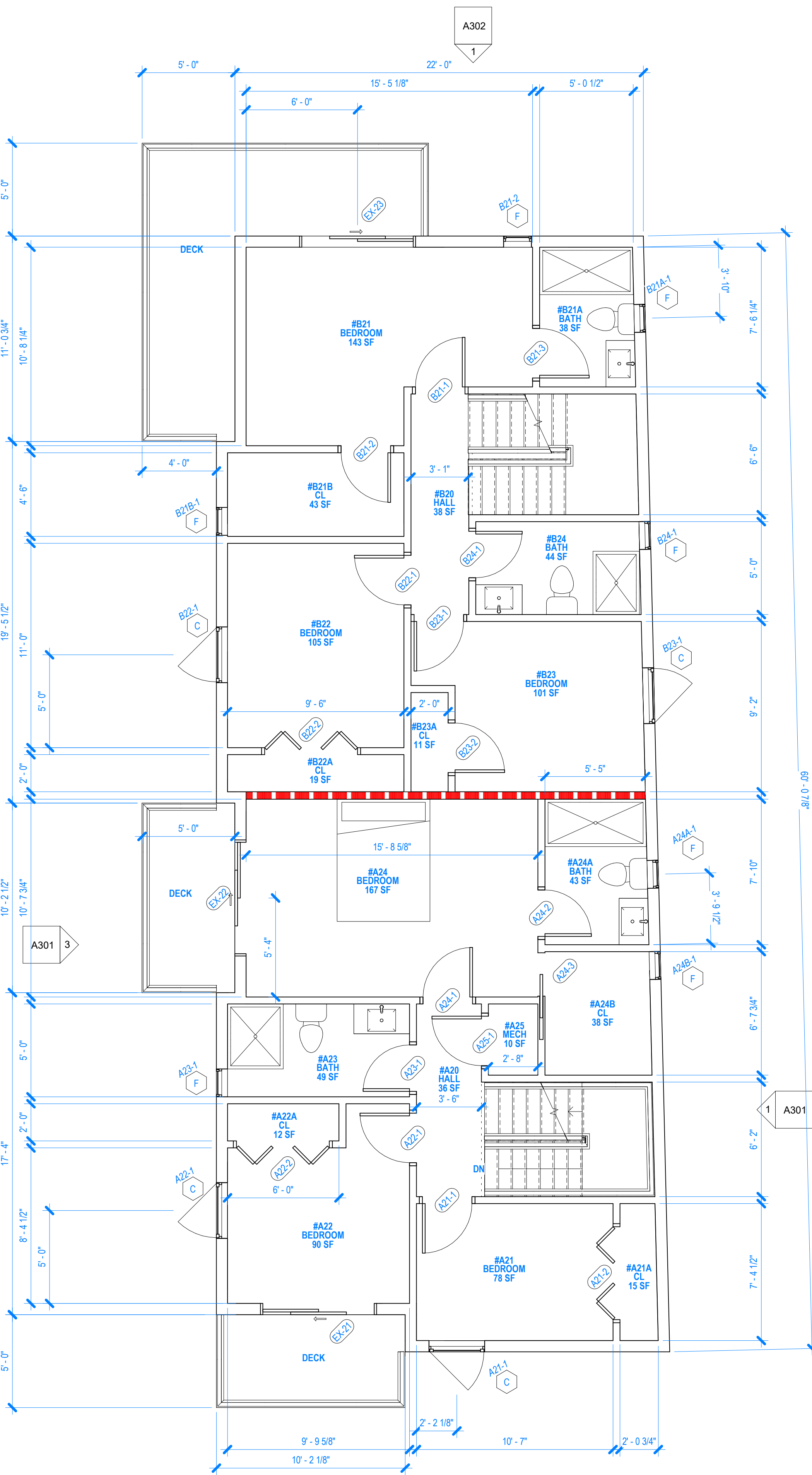
Author  
Checker  
09/17/24  
1/4" = 1'-0"

0 2'-0" 4'-0" 8'-0"  
SCALE: 1/4" = 1'-0"

SHEET NAME

FLOOR  
PLANS

A201



1 LEVEL 2 FLOOR PLAN, PROPOSED  
1/4" = 1'-0"

2 LEVEL 1 FLOOR PLAN, PROPOSED  
1/4" = 1'-0"

3 LEVEL 0 FLOOR PLAN, PROPOSED  
1/4" = 1'-0"

OWNER  
103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

ARCHITECT  
YROOM, LLC  
34 COMMERCE WAY, SUITE B-255  
WOBURN, MA

STRUCTURAL ENGINEER  
AGILE ENGINEERING, LLC  
188 SOUTH ST.  
QUINCY, MA



103 THORNDIKE  
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1   | KEY PLAN    |      |

DRAWN BY  
CHECKED BY  
SHEET ISSUE DATE  
SCALE

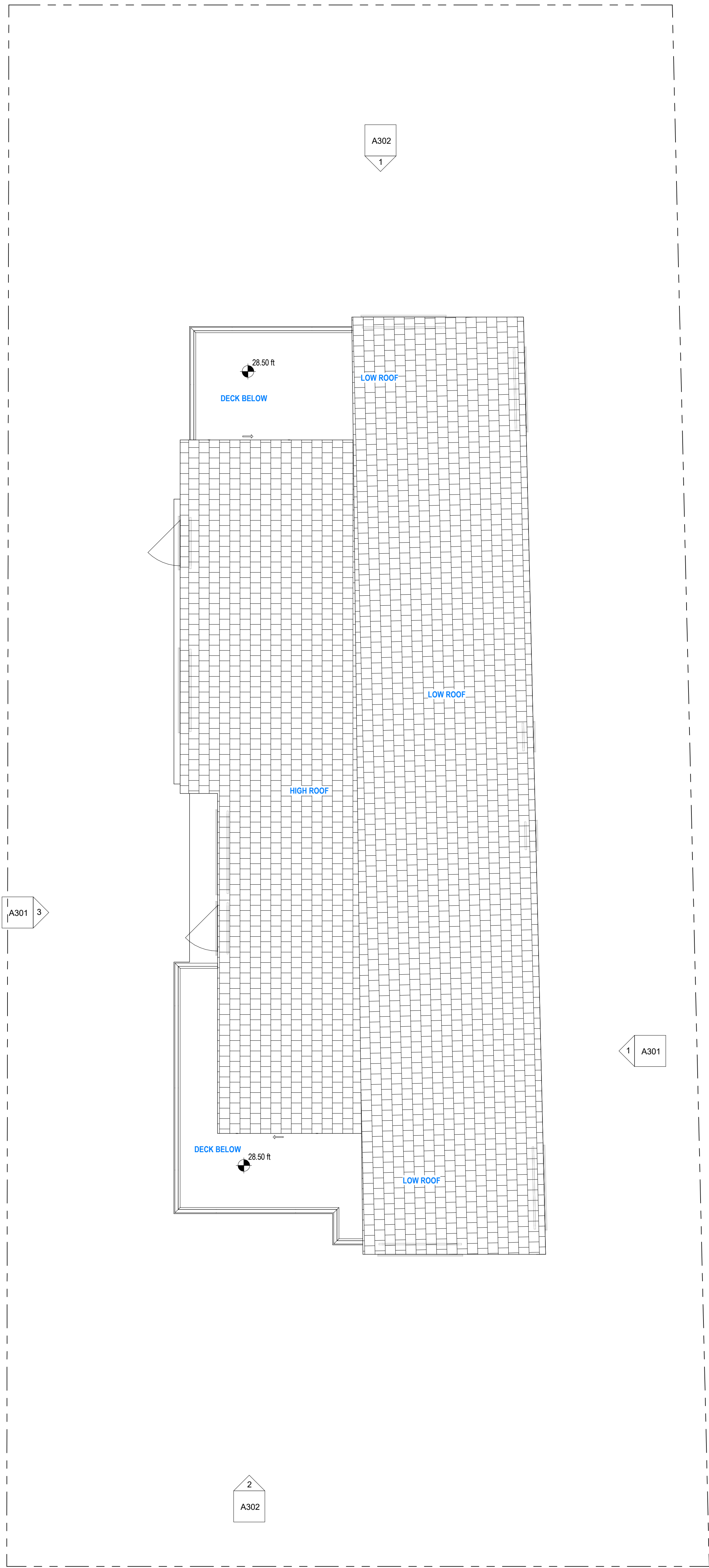
Author  
Checker  
09/17/24  
1/4" = 1'-0"

0 2'-0" 4'-0" 8'-0"  
SCALE: 1/4" = 1'-0"

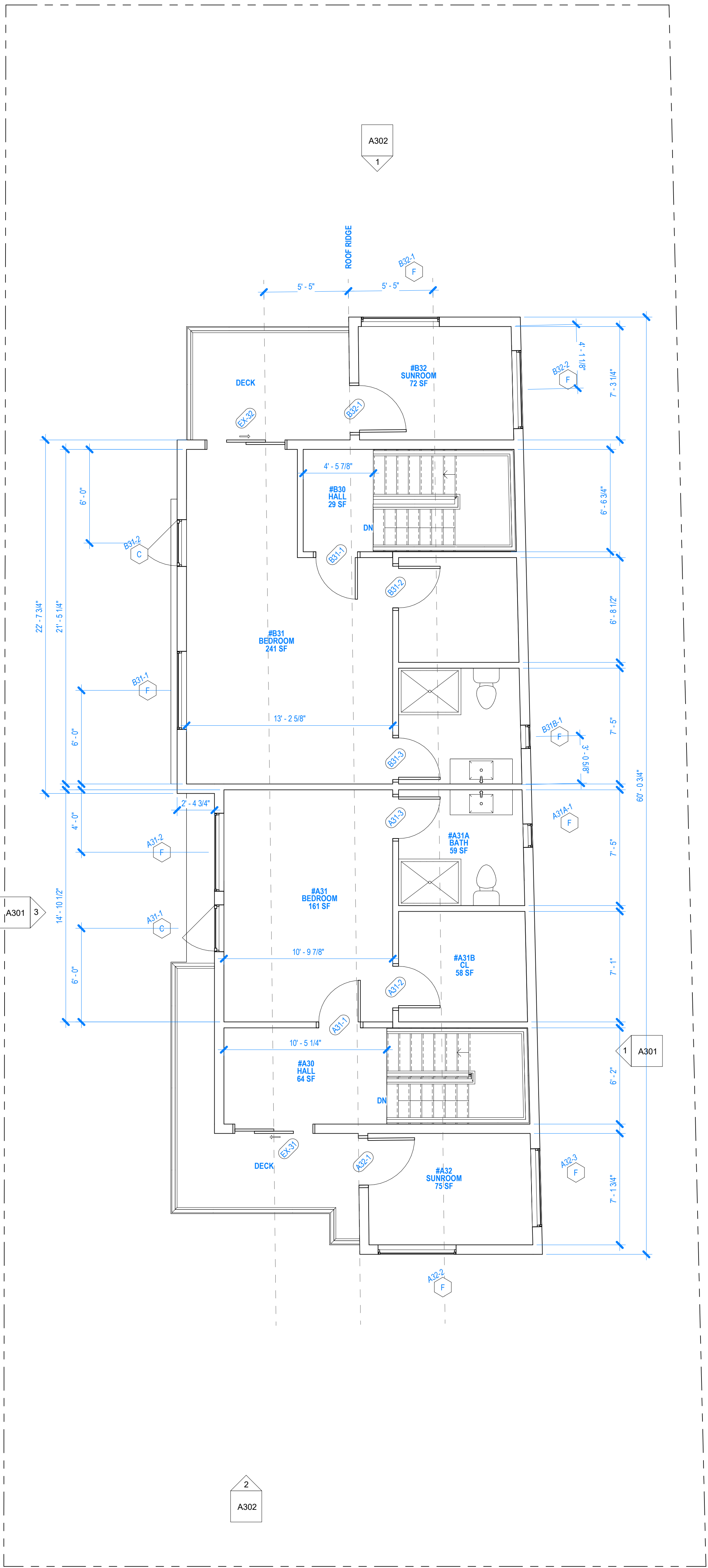
SHEET NAME

FLOOR  
PLANS

A202



2 LEVEL R FLOOR PLAN, PROPOSED  
1/4" = 1'-0"



1 LEVEL ATTIC FLOOR PLAN, PROPOSED  
1/4" = 1'-0"

OWNER

103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

ARCHITECT

YROOM, LLC  
34 COMMERCE WAY, SUITE B-255  
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC  
188 SOUTH ST.  
QUINCY, MA



103 THORNDIKE  
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

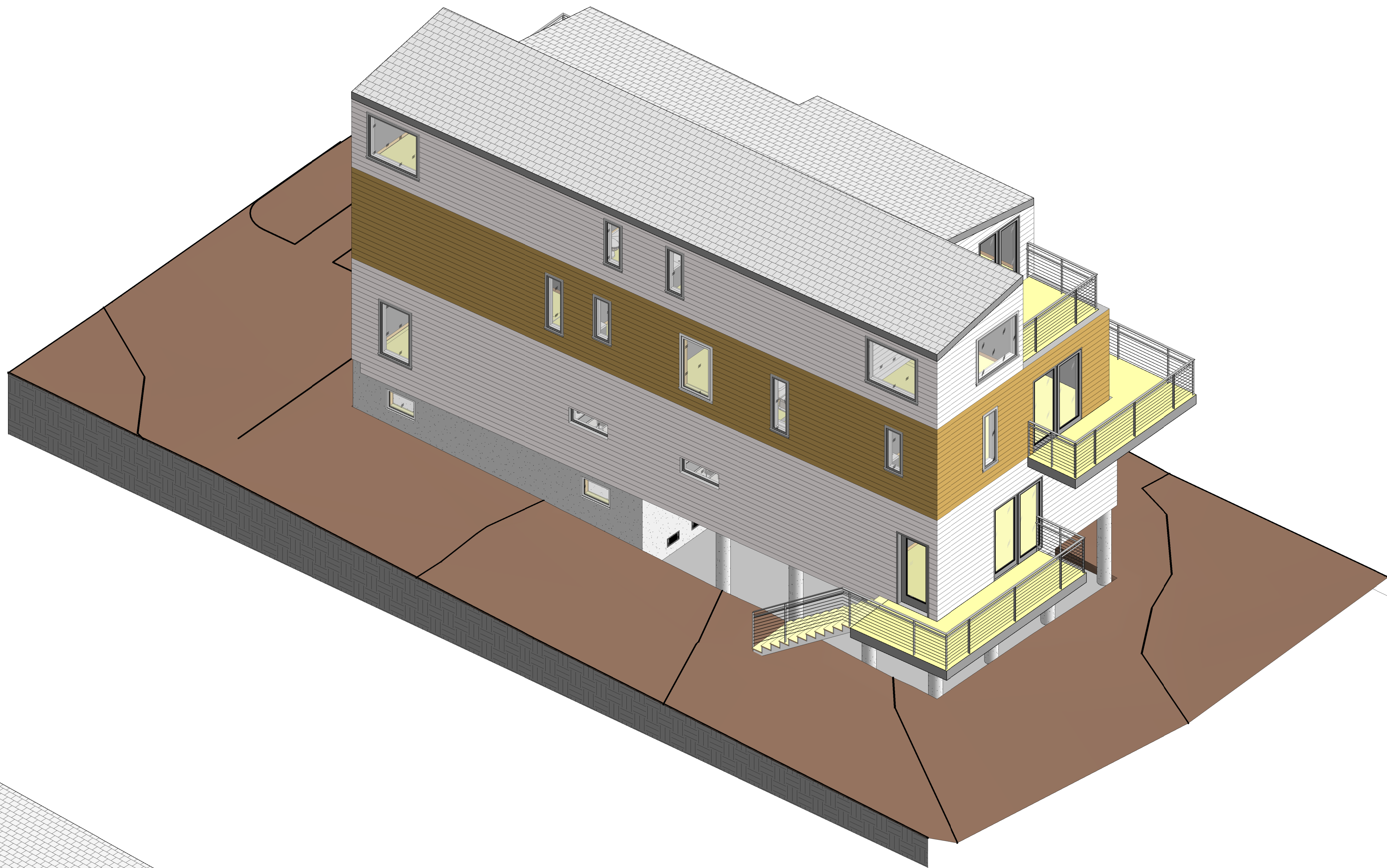
| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1   | KEY PLAN    |      |

|                  |          |
|------------------|----------|
| DRAWN BY         | Author   |
| CHECKED BY       | Checker  |
| SHEET ISSUE DATE | 09/17/24 |
| SCALE            |          |

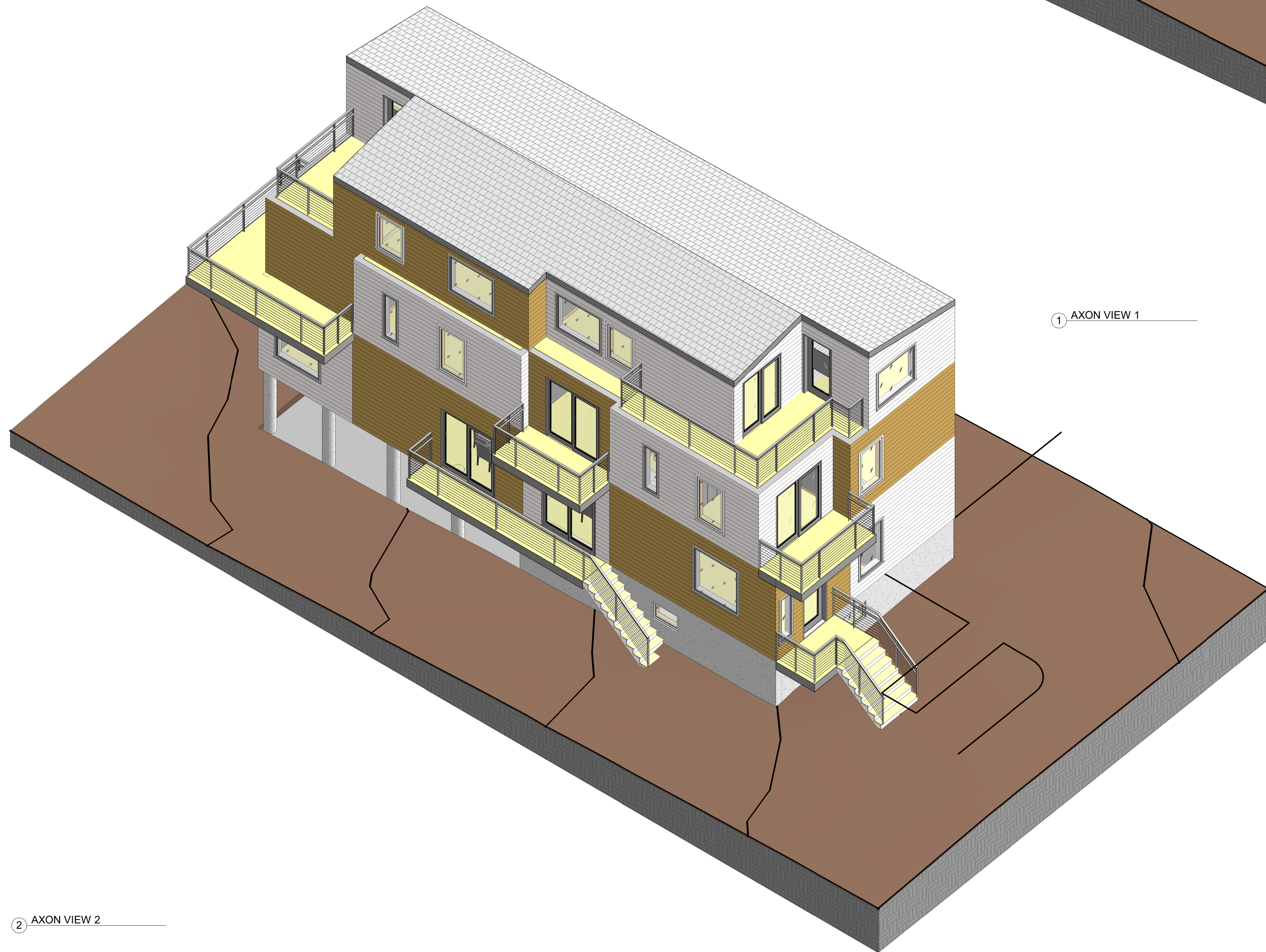
SHEET NAME

RENDERINGS

A300



1 AXON VIEW 1



2 AXON VIEW 2

## OWNER

103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

## ARCHITECT

YROOM, LLC  
34 COMMERCE WAY, SUITE B-255  
WOBURN, MA

## STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC  
188 SOUTH ST.  
QUINCY, MA



1 BUILDING ELEVATION EAST, PROPOSED  
1/4" = 1'-0"



3 BUILDING ELEVATION WEST, PROPOSED  
1/4" = 1'-0"



## 103 THORNDIKE TOWNHOUSES

### PERMIT SET

PROJECT NUMBER 20-103-00

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1   | KEY PLAN    |      |

|                  |              |
|------------------|--------------|
| DRAWN BY         | Author       |
| CHECKED BY       | Checker      |
| SHEET ISSUE DATE | 09/17/24     |
| SCALE            | 1/4" = 1'-0" |

0 2'-0" 4'-0" 8'-0"  
SCALE: 1/4" = 1'-0"

### SHEET NAME ELEVATIONS

OWNER

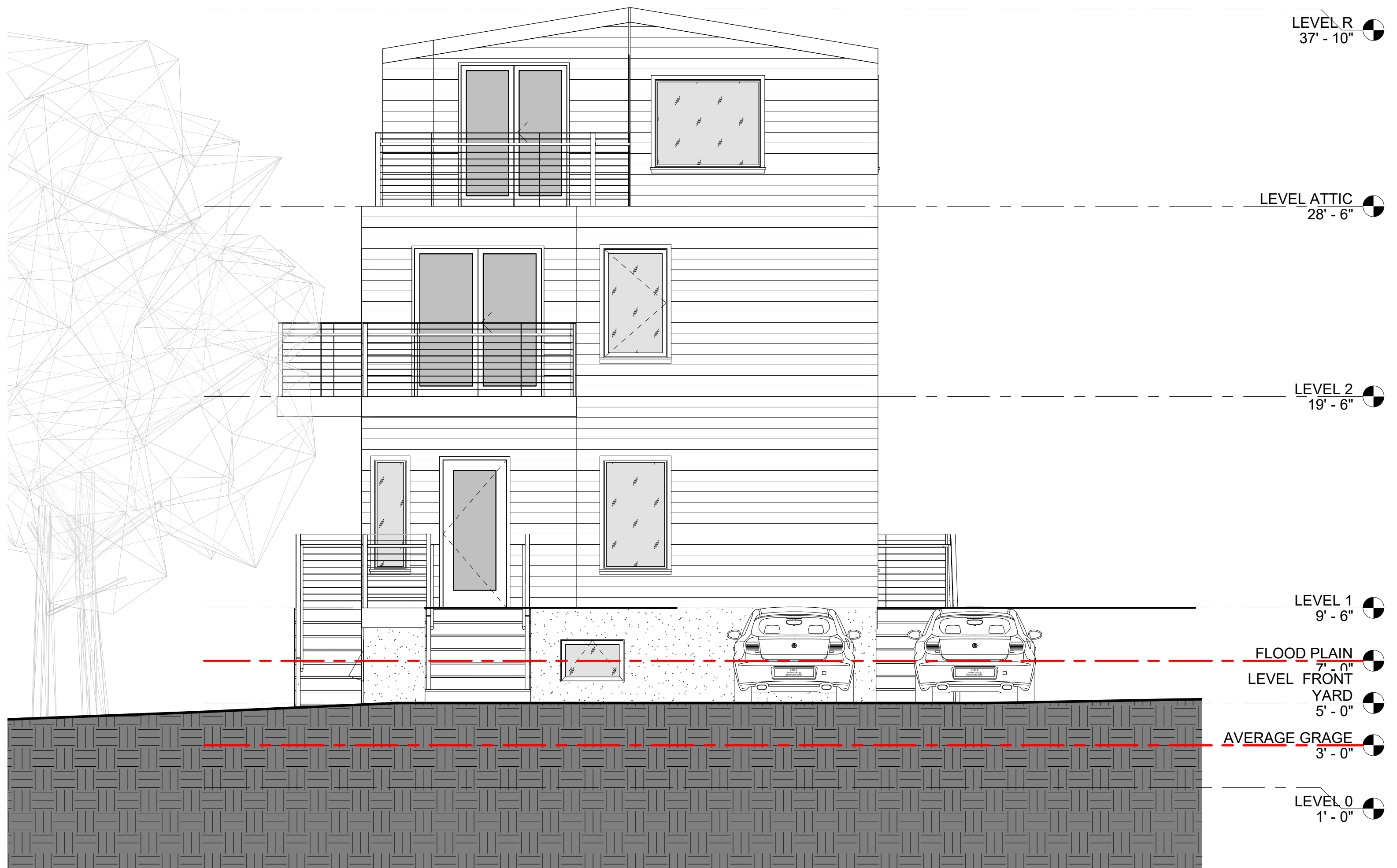
103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

ARCHITECT

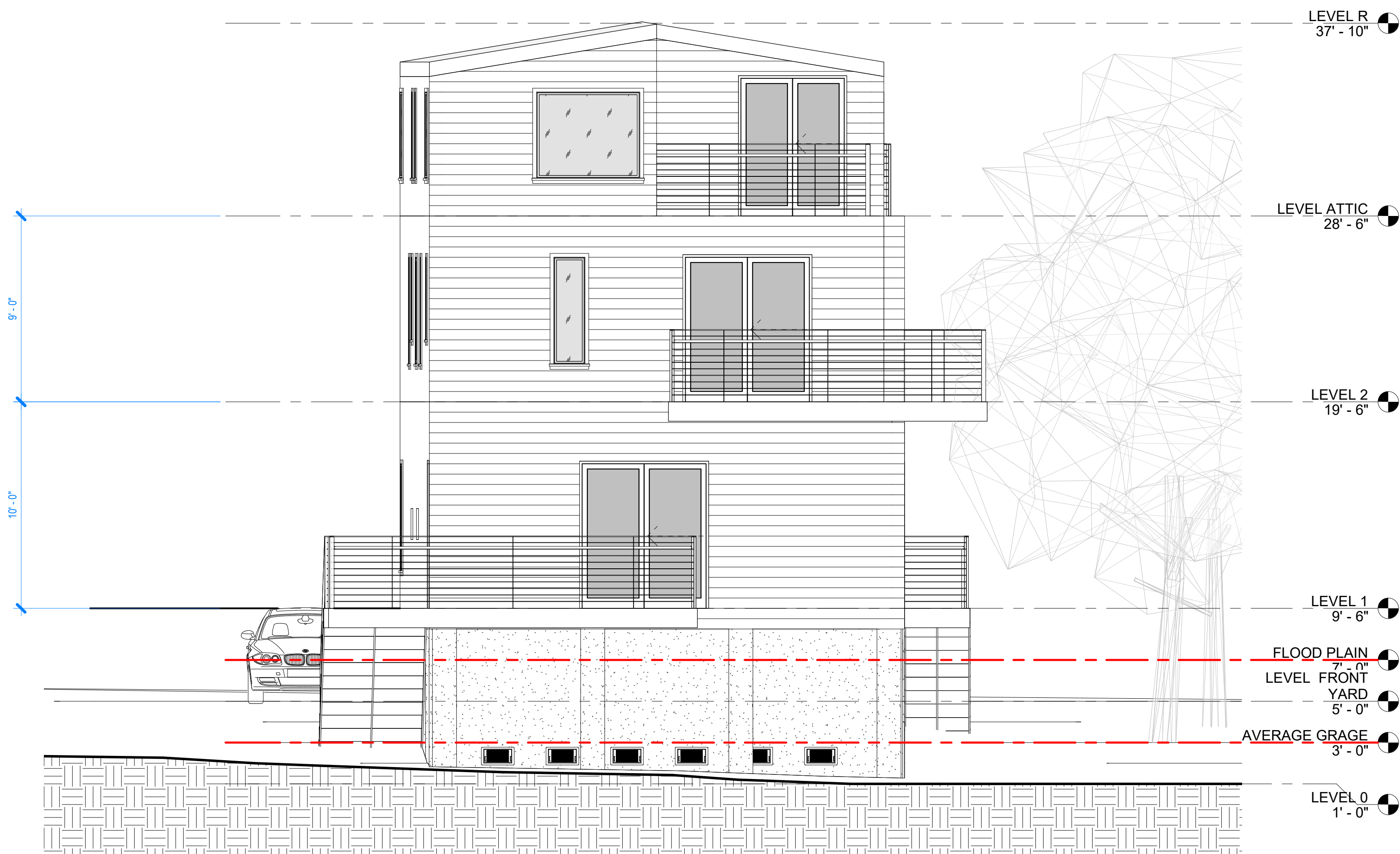
YROOM, LLC  
34 COMMERCE WAY, SUITE B-255  
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC  
188 SOUTH ST.  
QUINCY, MA



2 BUILDING ELEVATION SOUTH, PROPOSED  
1/4" = 1'-0"



1 BUILDING ELEVATION NORTH, PROPOSED  
1/4" = 1'-0"



103 THORNDIKE  
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1   | KEY PLAN    |      |

DRAWN BY Author  
CHECKED BY Checker  
SHEET ISSUE DATE 09/17/24  
SCALE 1/4" = 1'-0"

0 2'-0" 4'-0" 8'-0"  
SCALE: 1/4" = 1'-0"

SHEET NAME  
ELEVATIONS

| DOOR SCHEDULE EXTERIOR |          |                |             |         |         |                 |               |          |
|------------------------|----------|----------------|-------------|---------|---------|-----------------|---------------|----------|
| Door Number            | Function | Door Type      | Level       | Width   | Height  | From Room: Name | To Room: Name | Comments |
| A11-1                  | Exterior | SLIDING DOUBLE | LEVEL 1     | 6' - 0" | 7' - 0" | KITCHEN/DINING  |               |          |
| B11-1                  | Exterior | SLIDING DOUBLE | LEVEL 1     | 6' - 0" | 7' - 0" | KITCHEN/DINING  |               |          |
| EX-10                  | Exterior | SINGLE DOOR    | LEVEL 1     | 3' - 0" | 7' - 0" |                 | LIVING        |          |
| EX-12                  | Exterior | SLIDING DOUBLE | LEVEL 1     | 6' - 0" | 7' - 0" | LIVING          |               |          |
| EX-13                  | Exterior | SINGLE DOOR    | LEVEL 1     | 3' - 0" | 7' - 0" |                 | LIVING        |          |
| LEVEL 1: 5             |          |                |             |         |         |                 |               |          |
| EX-21                  | Exterior | SLIDING DOUBLE | LEVEL 2     | 6' - 0" | 7' - 0" | BEDROOM         |               |          |
| EX-22                  | Exterior | SLIDING DOUBLE | LEVEL 2     | 6' - 0" | 7' - 0" | BEDROOM         |               |          |
| EX-23                  | Exterior | SLIDING DOUBLE | LEVEL 2     | 6' - 0" | 7' - 0" | BEDROOM         |               |          |
| LEVEL 2: 3             |          |                |             |         |         |                 |               |          |
| A32-1                  | Exterior | SINGLE DOOR    | LEVEL ATTIC | 3' - 0" | 7' - 0" |                 | SUNROOM       |          |
| B32-1                  | Exterior | SINGLE DOOR    | LEVEL ATTIC | 3' - 0" | 7' - 0" |                 | SUNROOM       |          |
| EX-31                  | Exterior | LL             | LEVEL ATTIC | 5' - 0" | 6' - 8" | HALL            |               |          |
| EX-32                  | Exterior | LL             | LEVEL ATTIC | 5' - 0" | 6' - 8" | BEDROOM         |               |          |
| LEVEL ATTIC: 4         |          |                |             |         |         |                 |               |          |
| Grand total: 12        |          |                |             |         |         |                 |               |          |

| DOOR SCHEDULE INTERIOR |          |             |         |         |         |                 |                |          |
|------------------------|----------|-------------|---------|---------|---------|-----------------|----------------|----------|
| Door Number            | Function | Door Type   | Level   | Width   | Height  | From Room: Name | To Room: Name  | Comments |
| A12-1                  | Interior | BARN DOOR   | LEVEL 1 | 3' - 0" | 8' - 0" | BATH            | KITCHEN/DINING |          |
| A13A                   | Interior | OPENING     | LEVEL 1 | 3' - 0" | 8' - 0" | LIVING          | OFFICE         |          |
| B12-1                  | Interior | BARN DOOR   | LEVEL 1 | 3' - 0" | 8' - 0" | KITCHEN/DINING  | BATH           |          |
| LEVEL 1: 3             |          |             |         |         |         |                 |                |          |
| A21-1                  | Interior | SINGLE DOOR | LEVEL 2 | 2' - 8" | 6' - 8" | HALL            | BEDROOM        |          |
| A21-2                  | Interior | BIFOLD      | LEVEL 2 | 5' - 0" | 8' - 0" | BEDROOM         | CL             |          |
| A22-1                  | Interior | SINGLE DOOR | LEVEL 2 | 2' - 8" | 6' - 8" | HALL            | BEDROOM        |          |
| A22-2                  | Interior | BIFOLD      | LEVEL 2 | 5' - 0" | 8' - 0" | CL              | BEDROOM        |          |
| A23-1                  | Interior | SINGLE DOOR | LEVEL 2 | 2' - 6" | 6' - 8" | HALL            | BATH           |          |
| A24-1                  | Interior | SINGLE DOOR | LEVEL 2 | 2' - 8" | 6' - 8" | HALL            | BEDROOM        |          |
| A24-2                  | Interior | SINGLE DOOR | LEVEL 2 | 2' - 6" | 6' - 8" | BEDROOM         | BATH           |          |
| A24-3                  | Interior | POCKET      | LEVEL 2 | 2' - 4" | 8' - 0" | BEDROOM         | CL             |          |
| A25-1                  | Interior | SINGLE DOOR | LEVEL 2 | 2' - 8" | 6' - 8" | MECH            | HALL           |          |
| B21-1                  | Interior | SINGLE DOOR | LEVEL 2 | 2' - 8" | 6' - 8" | HALL            | BEDROOM        |          |
| B21-2                  | Interior | SINGLE DOOR | LEVEL 2 | 2' - 8" | 6' - 8" | BEDROOM         | CL             |          |
| B21-3                  | Interior | SINGLE DOOR | LEVEL 2 | 2' - 8" | 6' - 8" | BEDROOM         | BATH           |          |
| B22-1                  | Interior | SINGLE DOOR | LEVEL 2 | 2' - 8" | 6' - 8" | HALL            | BEDROOM        |          |
| B22-2                  | Interior | BIFOLD      | LEVEL 2 | 5' - 0" | 8' - 0" | CL              | BEDROOM        |          |
| B23-1                  | Interior | SINGLE DOOR | LEVEL 2 | 2' - 8" | 6' - 8" | HALL            | BEDROOM        |          |
| B23-2                  | Interior | SINGLE DOOR | LEVEL 2 | 2' - 8" | 6' - 8" | CL              | BEDROOM        |          |
| B24-1                  | Interior | SINGLE DOOR | LEVEL 2 | 2' - 6" | 6' - 8" | HALL            | BATH           |          |
| LEVEL 2: 17            |          |             |         |         |         |                 |                |          |

|                 |          |             |             |         |         |         |         |  |
|-----------------|----------|-------------|-------------|---------|---------|---------|---------|--|
| A31-1           | Interior | SINGLE DOOR | LEVEL ATTIC | 2' - 8" | 6' - 8" | HALL    | BEDROOM |  |
| A31-2           | Interior | SINGLE DOOR | LEVEL ATTIC | 2' - 8" | 6' - 8" | BEDROOM | CL      |  |
| A31-3           | Interior | SINGLE DOOR | LEVEL ATTIC | 2' - 8" | 6' - 8" | BEDROOM | BATH    |  |
| B31-1           | Interior | SINGLE DOOR | LEVEL ATTIC | 2' - 8" | 6' - 8" | HALL    | BEDROOM |  |
| B31-2           | Interior | SINGLE DOOR | LEVEL ATTIC | 2' - 8" | 6' - 8" | BEDROOM |         |  |
| B31-3           | Interior | SINGLE DOOR | LEVEL ATTIC | 2' - 8" | 6' - 8" | BEDROOM |         |  |
| LEVEL ATTIC: 6  |          |             |             |         |         |         |         |  |
| Grand total: 26 |          |             |             |         |         |         |         |  |

| WINDOW SCHEDULE  |               |             |             |         |               |         |             |  |              |          |
|------------------|---------------|-------------|-------------|---------|---------------|---------|-------------|--|--------------|----------|
| Phase Created    | Window Number | Window Type | Description | Level   | Nominal Sizes |         | Sill Height |  | Manufacturer | Comments |
|                  |               |             |             |         | Width         | Height  |             |  |              |          |
| New Construction | A00-1         | A           | AWNING      | LEVEL 0 | 3' - 0"       | 2' - 0" | 5' - 0"     |  |              |          |
| New Construction | A00-2         | A           | AWNING      | LEVEL 0 | 3' - 0"       | 2' - 0" | 5' - 0"     |  |              |          |
| New Construction | A00-3         | A           | AWNING      | LEVEL 0 | 3' - 0"       | 2' - 0" | 5' - 0"     |  |              |          |
| New Construction | A00-4         | A           | AWNING      | LEVEL 0 | 3' - 0"       | 2' - 0" | 5' - 0"     |  |              |          |
| LEVEL 0: 4       |               |             |             |         |               |         |             |  |              |          |
| New Construction | A10-1         | F           | FIXED       | LEVEL 1 | 3' - 0"       | 5' - 2" | 1' - 10"    |  |              |          |
| New Construction | A10-1         | F           | FIXED       | LEVEL 1 | 5' - 0"       | 5' - 2" | 3' - 0"     |  |              |          |
| New Construction | A10-2         | F           | FIXED       | LEVEL 1 | 1' - 6"       | 5' - 2" | 1' - 10"    |  |              |          |
| New Construction | A11-2         | F           | FIXED       | LEVEL 1 | 4' - 0"       | 1' - 6" | 3' - 4"     |  |              |          |
| New Construction | A13-1         | F           | FIXED       | LEVEL 1 | 3' - 0"       | 5' - 2" | 1' - 10"    |  |              |          |
| New Construction | B10-1         | F           | FIXED       | LEVEL 1 | 5' - 0"       | 5' - 2" | 1' - 10"    |  |              |          |
| New Construction | B11-2         | F           | FIXED       | LEVEL 1 | 4' - 0"       | 1' - 6" | 3' - 4"     |  |              |          |
| LEVEL 1: 7       |               |             |             |         |               |         |             |  |              |          |

|                  |        |   |          |         |         |         |          |  |                |
|------------------|--------|---|----------|---------|---------|---------|----------|--|----------------|
| New Construction | A21-1  | C | CASEMENT | LEVEL 2 | 3' - 0" | 5' - 2" | 1' - 10" |  | EGRESS WINDOW  |
| New Construction | A22-1  | C | CASEMENT | LEVEL 2 | 3' - 0" | 5' - 2" | 1' - 10" |  | EGRESS WINDOW  |
| New Construction | A23-1  | F | FIXED    | LEVEL 2 | 1' - 6" | 5' - 2" | 1' - 10" |  | TEMPERED GLASS |
| New Construction | A24A-1 | F | FIXED    | LEVEL 2 | 1' - 6" | 4' - 0" | 3' - 0"  |  | TEMPERED GLASS |
| New Construction | A24B-1 | F | FIXED    | LEVEL 2 | 1' - 6" | 5' - 2" | 1' - 10" |  |                |
| New Construction | B21-2  | F | FIXED    | LEVEL 2 | 1' - 6" | 5' - 2" | 1' - 10" |  |                |
| New Construction | B21A-1 | F | FIXED    | LEVEL 2 | 1' - 6" | 4' - 0" | 3' - 0"  |  | TEMPERED GLASS |
| New Construction | B21B-1 | F | FIXED    | LEVEL 2 | 1' - 6" | 5' - 2" | 1' - 10" |  |                |
| New Construction | B22-1  | C | CASEMENT | LEVEL 2 | 3' - 0" | 5' - 2" | 1' - 10" |  | EGRESS WINDOW  |
| New Construction | B23-1  | C | CASEMENT | LEVEL 2 | 3' - 0" | 5' - 2" | 1' - 10" |  | EGRESS WINDOW  |
| New Construction | B24-1  | F | FIXED    | LEVEL 2 | 1' - 6" | 5' - 2" | 1' - 10" |  | TEMPERED GLASS |
| LEVEL 2: 11      |        |   |          |         |         |         |          |  |                |

|                  |        |   |          |             |         |         |          |  |                |
|------------------|--------|---|----------|-------------|---------|---------|----------|--|----------------|
| New Construction | A31-1  | C | CASEMENT | LEVEL ATTIC | 3' - 0" | 4' - 2" | 1' - 10" |  | EGRESS WINDOW  |
| New Construction | A31-2  | F | FIXED    | LEVEL ATTIC | 5' - 0" | 4' - 2" | 1' - 10" |  |                |
| New Construction | A31A-1 | F | FIXED    | LEVEL ATTIC | 1' - 6" | 4' - 2" | 1' - 10" |  | TEMPERED GLASS |
| New Construction | A32-2  | F | FIXED    | LEVEL ATTIC | 5' - 0" | 4' - 2" | 1' - 10" |  |                |
| New Construction | A32-3  | F | FIXED    | LEVEL ATTIC | 5' - 0" | 4' - 2" | 1' - 10" |  |                |
| New Construction | B31-1  | F | FIXED    | LEVEL ATTIC | 5' - 0" | 4' - 2" | 1' - 10" |  |                |
| New Construction | B31-2  | C | CASEMENT | LEVEL ATTIC | 3' - 0" | 4' - 2" | 1' - 10" |  | EGRESS WINDOW  |
| New Construction | B31B-1 | F | FIXED    | LEVEL ATTIC | 1' - 6" | 4' - 2" | 1' - 10" |  | TEMPERED GLASS |
| New Construction | B32-1  | F | FIXED    | LEVEL ATTIC | 5' - 0" | 4' - 2" | 1' - 10" |  |                |
| New Construction | B32-2  | F | FIXED    | LEVEL ATTIC | 5' - 0" | 4' - 2" | 1' - 10" |  |                |
| LEVEL ATTIC: 10  |        |   |          |             |         |         |          |  |                |

OWNER

103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

ARCHITECT

YROOM, LLC  
34 COMMERCE WAY, SUITE B-255  
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC  
188 SOUTH ST.  
QUINCY, MA



103 THORNDIKE  
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

| NO.      | DESCRIPTION | DATE |
|----------|-------------|------|
| KEY PLAN |             |      |

|                  |          |
|------------------|----------|
| DRAWN BY         | Author   |
| CHECKED BY       | Checker  |
| SHEET ISSUE DATE | 09/17/24 |
| SCALE            |          |

SHEET NAME  
SCHEDULES

A900



## Unofficial Property Record Card - Arlington, MA

### General Property Data

Parcel ID **002.0-0001-0020.0**  
 Prior Parcel ID **1358 --**  
 Property Owner **APSE INVESTMENT LLC**

Mailing Address **C/O KUI XUE**  
**14 EMERALD ST**  
 City **NEWTON**  
 Mailing State **MA** Zip **02458**  
 ParcelZoning **R2**

Account Number **1358**

Property Location **103 THORNDIKE ST**  
 Property Use **One Family**  
 Most Recent Sale Date **11/17/2023**  
 Legal Reference **1608-181**  
 Grantor **BARTOLOME REMEDIOS & JAMIE R,**  
 Sale Price **655,000**  
 Land Area **0.100 acres**

### Current Property Assessment

Card 1 Value Building Value **186,100** Xtra Features Value **0** Land Value **573,300** Total Value **759,400**

### Building Description

Building Style **Old Style**  
 # of Living Units **1**  
 Year Built **1926**  
 Building Grade **Average**  
 Building Condition **Poor**  
 Finished Area (SF) **1263**  
 Number Rooms **6**  
 # of 3/4 Baths **0**

Foundation Type **Conc. Block**  
 Frame Type **Wood**  
 Roof Structure **Gable**  
 Roof Cover **Asphalt Shgl**  
 Siding **Aluminum**  
 Interior Walls **Plaster**  
 # of Bedrooms **3**  
 # of 1/2 Baths **0**

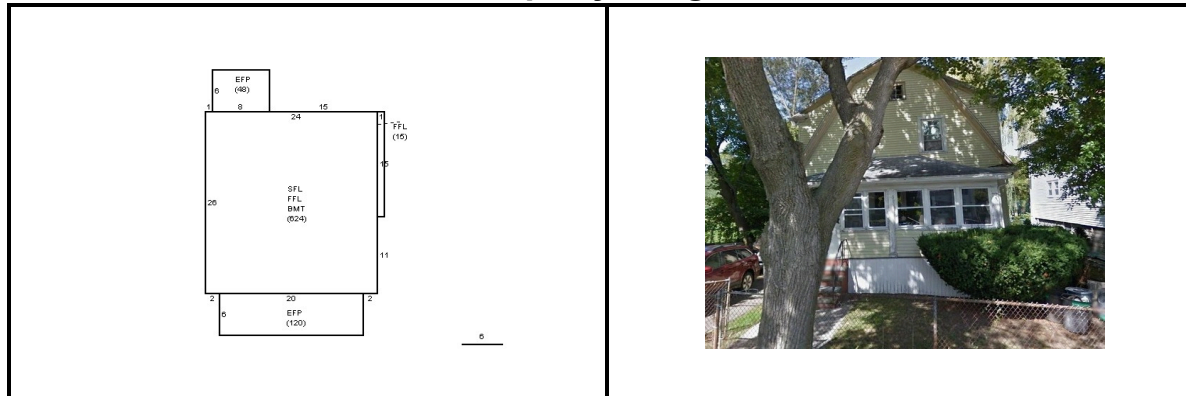
Flooring Type **Hardwood**  
 Basement Floor **Concrete**  
 Heating Type **Forced H/W**  
 Heating Fuel **Oil**  
 Air Conditioning **0%**  
 # of Bsmt Garages **0**  
 # of Full Baths **1**  
 # of Other Fixtures **0**

### Legal Description

### Narrative Description of Property

This property contains 0.100 acres of land mainly classified as One Family with a(n) Old Style style building, built about 1926 , having Aluminum exterior and Asphalt Shgl roof cover, with 1 unit(s), 6 room(s), 3 bedroom(s), 1 bath(s), 0 half bath(s).

### Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

**BLATMAN, BOBROWSKI, HAVERTY & SILVERSTEIN, LLC**  
— ATTORNEYS AT LAW —

9 DAMONMILL SQUARE, SUITE 4A4  
CONCORD, MA 01742  
PHONE 978.371.2226  
FAX 978.371.2296

CHRISTOPHER J. ALPHEN, ESQ.  
Chris@bbhslaw.net

September 14, 2022

Via ViewPoint Cloud  
Town of Arlington  
Board of Zoning Appeals  
51 Grove St  
Arlington, MA 02476

RE: Special Permit/Variance Applications  
APSE Investment LLC – 103 Thorndike Street, Arlington, Massachusetts

Dear Board:

Please be informed that this office represents APSE Investment LLC, a Massachusetts Limited Liability Company with an address of 15 Emerald Street, Newton, Massachusetts (the “Applicant”). The Applicant is the owner of the property known as 103 Thorndike Street, Arlington, Massachusetts (the “Property”).

The Applicants hereby request a variance and special permits for proposed reconstruction of an existing dwelling. The entirety of the project are shown on the site plan entitled “Site Layout Plan” prepared by Hardy + Man Design Group, PC and the architectural plan set entitled “103 Thorndike Townhouses” prepared by y/room (the “Plans”).

The Applicant seeks to demolition the existing single-family dwelling and construct a two-family dwelling (the “Proposed Project”). The Property is located in the “Residence 2” (R2) Zoning District pursuant to the Arlington Zoning Bylaw (the “Bylaw”). Under Section 5.4.3. (Table of Uses), two-family dwellings are permitted in the R2 Zoning District by right.

## 1. Variance – Excessive Lot Coverage

As shown in the zoning table below, the Proposed Project meets the majority of the dimensional requirements for a two-family dwelling in the R2 Zoning District.

| DIMENSIONAL REQUIREMENTS         |            |           |           |
|----------------------------------|------------|-----------|-----------|
| ZONING R-2                       | REQUIRED   | EXISTING  | PROPOSED  |
| MIN. LOT AREA                    | 6,000 SF   | 4,377* SF | 4,377* SF |
| MIN LOT AREA PER D.U.            | ---        | N/A       | N/A       |
| MIN. LOT FRONTAGE                | 60 FT      | 45* FT    | 45* FT    |
| MIN. YARD – FRONT                | 20 FT      | 13.9 FT   | 20.0 FT   |
| MIN. YARD – SIDE                 | 10 FT      | 6.9 FT    | 10.0 FT   |
| MIN. YARD – REAR                 | 20 FT      | 47.8 FT   | 20.0 FT   |
| MAX. BUILDING HEIGHT             | 35FT/2.5ST | 2.5 ST    | 2.5 ST    |
| MAX. FLOOR AREA RATIO            | ---        | N/A       | N/A       |
| MIN. LANDSCAPE OPEN SPACE        | 10%        | 76.4%     | 43.6%     |
| MIN. USABLE OPEN SPACE           | 30%        | 76.4%     | 43.6%     |
| MAX. LOT COV. (BUILDING & DRIVE) | 35%        | 23.6%     | 56.4%     |

\* EXISTING NONCONFORMING

The proposed dwelling eliminates certain existing non-conformities. The Proposed Project meets all setback and height requirements.

Additionally, the Proposed Project provides two parking spaces to be located in the rear of the Property in compliance with Section 6.1.4. and Section 6.1.10A of the Bylaw.

However, the Proposed Project exceeds the maximum lot coverage requirement. The Proposed Project will have a lot coverage of 56.4% when the maximum lot coverage in the zoning district is 35%. Accordingly, the Petitioner required a variance pursuant to Section 3.2.2.D. and G.L. c. 40A, § 10.

Under G.L. c. 40A, § 10 a variance can be granted if the Board makes a finding that:

that owing to circumstances relating to the soil conditions, shape, or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located, a literal enforcement of the provisions of the ordinance or by-law would involve substantial hardship, financial or otherwise, to the petitioner or appellant, and that desirable relief may be granted without substantial

detriment to the public good and without nullifying or substantially derogating from the intent or purpose of such ordinance or by-law.

As set forth below, the Petitioner meets the criteria for a variance.

**A. A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise to the petitioner or appellant**

With a literal enforcement of the Bylaw, the Petitioner would not be able to replace the existing structure with a dwelling that fits into the existing neighborhood. The existing structure is in poor condition and needs to be redeveloped. See Existing Photographs attached hereto.

The removal of the existing dwelling will eliminate front and side yard setback nonconformities. The Proposed Project will be more conforming for zoning purposes but for the lot coverage requirement.

With a literal enforcement of the Bylaw the Petitioner would be left with the nonconforming dwelling which size and condition are not harmonized with the surrounding neighborhood. The Proposed Project will improve the Property and provide a benefit to the neighborhood.

**B. The hardship is owing to circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structure but not affecting generally the zoning district in which it is located.**

A hardship exists due to the unique shape and location of the Property. The Property abuts municipal recreational land to its rear and westerly side. There is ample open space and recreational space in the immediate area. Due to the long narrow shape of the lot, it would be difficult to design a dwelling that meets all the dimensional requirements. The Proposed Project only does not meet the lot coverage requirement. The size of the Proposed Dwelling is consistent with other dwellings in the immediate neighborhood.

**C. Desirable relief may be granted without either: (1) Substantial detriment to the public good; or (2) Nullifying or substantially derogating from the intent or purpose of this Ordinance.**

Permitting the removal of a pre-existing nonconforming structure and allowing the Proposed Project will not be substantial detriment to the public good or derogate from the intent or purpose of the Bylaw. The Petitioner proposes a well-designed site plan that will replace an outdated nonconforming structure. The Proposed Project is an improvement to the neighborhood and fits comfortably with the surrounding area. The nonconforming lot coverage will have a de minimis impact on the surrounding area.

**2. Special Permit – Reconstruction of a Non-Conforming Structure**

The Petitioner also requires special permits for the Proposed Project. Pursuant to Section 5.4.2. and the table of dimensional requirements, the minimum lot area is 6,000 square feet. The Property contains 4,377.6 square feet. Additionally, the Bylaw requires a minimum frontage requirement of sixty (60) feet, whereas the lot provides forty-five (45) feet of frontage. Accordingly, the existing dwelling is a legal pre-existing non-conforming structure. Since the existing dwelling is a pre-existing non-conforming structure, the Applicant requires a special permit under Section 8.1.1.A. of the Bylaw and G.L. ch. 40A, § 6 for the construction of the Proposed Dwelling.

Furthermore, the Bylaw provides that alterations and additions which increase the gross floor area of a building by more than 750 square feet shall require a special permit from the Board under Section 3.3, that the alteration or addition is in harmony with other structures and uses in the vicinity.<sup>1</sup>

---

<sup>1</sup> The Applicant notes that because the existing dwelling is a legal pre-existing non-conforming structure, only a finding under Section 8.1.1.A. of the Bylaw and G.L. ch. 40A, § 6 is required for any reconstruction. Nevertheless, the Applicant seeks a special permit under Section 3.3. per the direction of the Zoning Administrator.

As noted, the Proposed Project eliminates existing setback nonconformities. The Proposed Project meets the characteristics of the neighborhood. The Property is surrounded by open and recreational space. The two-dwelling design will not have a detriment to the neighborhood.

Very truly yours,

A handwritten signature in black ink, appearing to be 'C. Alphen', with a long horizontal flourish extending to the right.

Christopher J. Alphen, Esq.

**BLATMAN, BOBROWSKI, HAVERTY & SILVERSTEIN, LLC**  
— ATTORNEYS AT LAW —

9 DAMONMILL SQUARE, SUITE 4A4  
CONCORD, MA 01742  
PHONE 978.371.2226  
FAX 978.371.2296

CHRISTOPHER J. ALPHEN, ESQ.  
Chris@bbhslaw.net

April 7, 2025

Via ViewPoint Cloud  
Town of Arlington  
Board of Zoning Appeals  
51 Grove St  
Arlington, MA 02476

RE: Special Permit/Variance Applications  
APSE Investment LLC – 103 Thorndike Street, Arlington, Massachusetts

Dear Board:

Please be informed that this office represents APSE Investment LLC, a Massachusetts Limited Liability Company with an address of 15 Emerald Street, Newton, Massachusetts (the “Applicant”). Please accept this letter as a supplement to the Applicant’s Special Permit / Variance Application.

In addition to the zoning relief detailed in the memorandum in support submitted March 2025, the Applicant requires a variance for the number of stories located in the proposed dwelling. Two and half (2.5) stories is maximum number of stories permitted in the R2 Zoning District.

The Bylaw states in part that “[a] **basement shall be deemed a story when its ceiling is 4 feet 6 inches or more above the finished grade.**” The first level elevation is more than 6 inches above average grade. It is higher in order to conform with FEMA requirement. The first-

floor elevation needs to be at least one (1) foot higher than FEMA flood plain. Accordingly, the Applicant requires a variance to permit 3.5 stories.

Very truly yours,

A handwritten signature in black ink, appearing to read 'C. Alphen', with a long horizontal flourish extending to the right.

Christopher J. Alphen, Esq.

## CONSTRUCTION NOTES

- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO ORIGINAL CONDITION.
- CONTRACTOR TO MEET ALL TOWN OF ARLINGTON REQUIREMENTS FOR AS-BUILT CERTIFICATION.
- NOTIFY DIG-SAFE AT 1-888-DIG-SAFE 72 HOURS PRIOR TO EXCAVATION TO INFORM UTILITY COMPANIES OF ANY EXCAVATION NEAR EXISTING UTILITIES.
- CONTRACTOR SHOULD IMPLEMENT EROSION AND SEDIMENTATION CONTROL IF NECESSARY TO PREVENT STORMWATER POLLUTION ONTO THE CITY DRAINAGE SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CITY PERMITS TO PERFORM THE WORK.

## FLOOD VENT CALCULATION

TOTAL BUILDING ENCLOSED AREA = 708 SQ. FEET  
TOTAL FLOOD VENT PROVIDED  
= 16" x 8" x 6 vents = 768 SQ. INCHES

## CUT & FILL

CUT VOL. = 65.86 Cu. Yd.  
FILL VOL. = 0.05 Cu. Yd.  
NET VOL. (CUT) = 65.81 Cu. Yd.

N/F  
TOWN OF ARLINGTON  
BK. 10679/PG.161

REMOVE EXIST. FENCE

ELEVATED WOOD DECK  
AND STAIR ACCESS

CLOSE EXISTING CURB CUT

CONC. SIDEWALK

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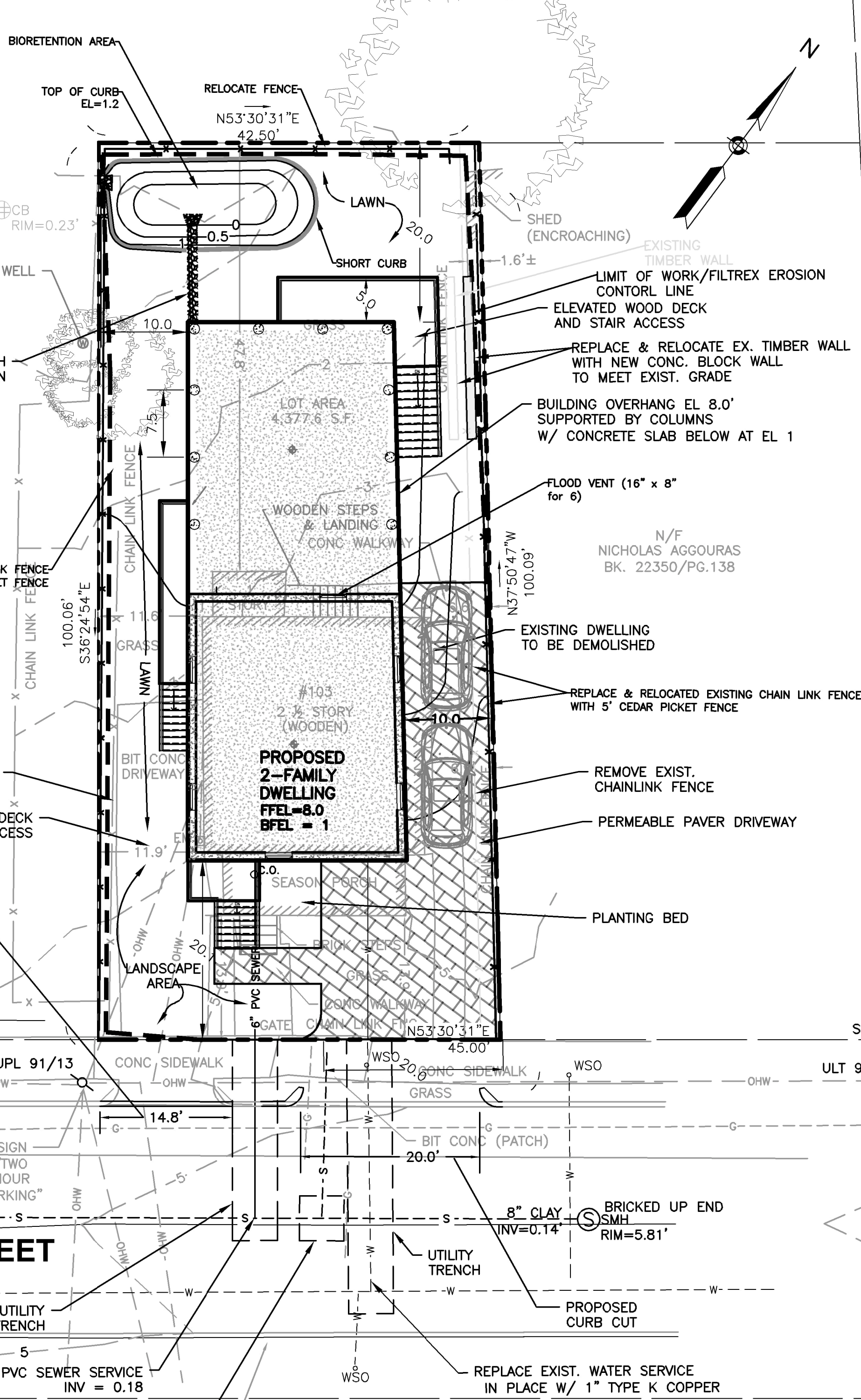
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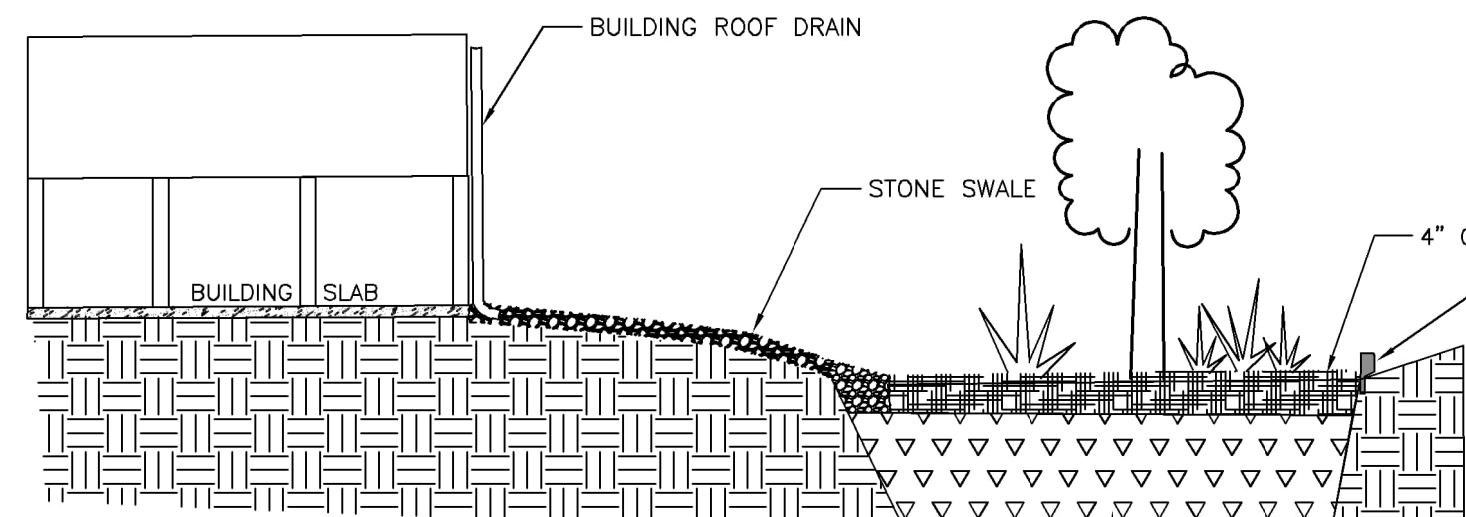
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CONC. SIDEWALK



## Plant Schedule

| Symbol | Common Name          | Botanical Name               | Quantity |
|--------|----------------------|------------------------------|----------|
|        | Red Maple            | Acer Rubrum                  | 1        |
|        | Flowering Dogwood    | Cornus Florida               | 1        |
|        | Winterberry          | Ilex Verticillata            | 2        |
|        | Switch Grass         | Panicum Virgatum             | 5        |
|        | Canada Dwarf Dogwood | Chamaepericlymenum Canadense | 3        |

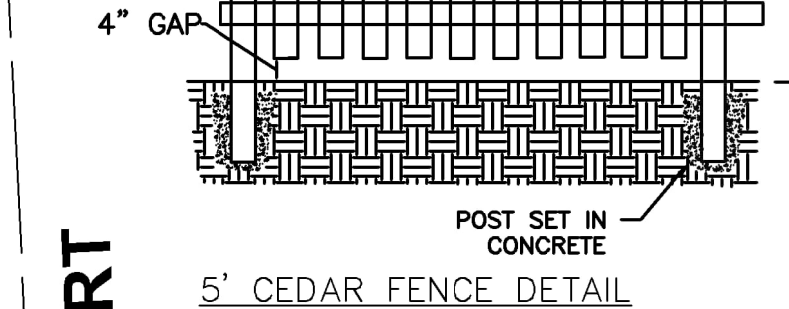


BIORETENTION AREA DETAIL  
N.T.S.

## PLAN REFERENCE

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023 AND FROM DEEDS AND PLANS OF RECORD.
- THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- HORIZONTAL DATUM IS BASED ON MAGNETIC NORTH. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- THE LOT LIES ENTIRELY WITHIN ZONE AE (WITHOUT BASE FLOOD ELEVATION) (BFE) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF ARLINGTON, MASSACHUSETTS, COMMUNITY PANEL NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010. THE FLOOD ELEVATION IS 7'.
- NO WETLAND FLAGS WERE OBSERVED ON SITE AT THE TIME OF THE SURVEY.
- OWNER AND PROPERTY INFORMATION:  
OWNER: APSE INVESTMENT LLC  
PARCEL ID: 2-1-20

## ROAD

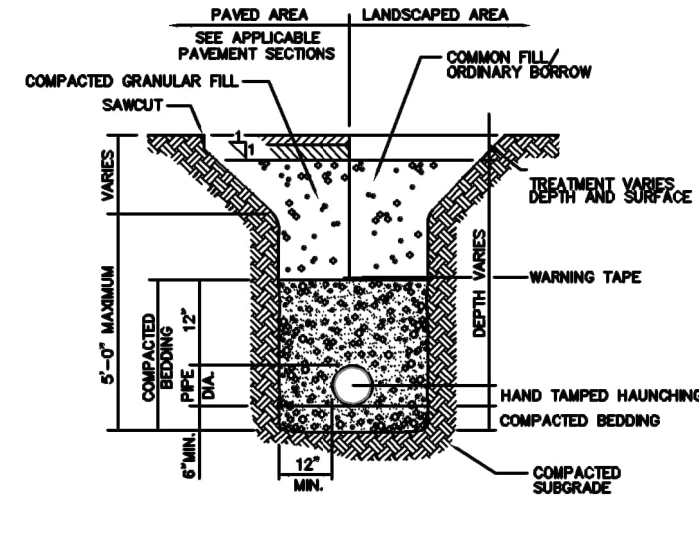


5' CEDAR FENCE DETAIL  
N.T.S.

NOTE: CEDAR FENCE TO REPLACE EXISTING CHAIN LINK FENCE. 4" GAP BETWEEN BOTTOM OF FENCE AND GROUND. POSTS TO BE SET 18" MIN. BELOW GRADE.



TREE PROTECTION EXAMPLE  
N.T.S.



Notes:  
WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN AREAS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH SIGNALS WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.  
USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.  
PARALLEL TRENCHES TO CONFORM TO CITY OF QUINCY DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATION.

## Utility Trench

N.T.S.

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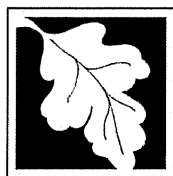
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**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**

**WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

**A. General Information**

**Please note:**  
 this form has  
 been modified  
 with added  
 space to  
 accommodate  
 the Registry  
 of Deeds  
 Requirements

**Important:**  
 When filling  
 out forms on  
 the  
 computer,  
 use only the  
 tab key to  
 move your  
 cursor - do  
 not use the  
 return key.



1. From: Arlington  
Conservation Commission

2. This issuance is for  
 (check one): a. ☒ Order of Conditions b. ☐ Amended Order of Conditions

3. To: Applicant:

Kui

a. First Name

Xue

b. Last Name

APSE Investment LLC

c. Organization

14 Emerald Street

d. Mailing Address

Newton

e. City/Town

MA

f. State

02548

g. Zip Code

4. Property Owner (if different from applicant):

a. First Name

b. Last Name

c. Organization

d. Mailing Address

e. City/Town

f. State

g. Zip Code

5. Project Location:

103 Thorndike Street

a. Street Address

Arlington

b. City/Town

2-1

c. Assessors Map/Plat Number

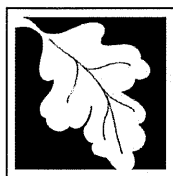
20

d. Parcel/Lot Number

Latitude and Longitude, if known:

d m s  
 d. Latitude

d m s  
 e. Longitude



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**

**WPA Form 5 – Order of Conditions**

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Provided by MassDEP:

091-0364

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City/Town

**A. General Information (cont.)**

6. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):  
 Middlesex South
- a. County \_\_\_\_\_ b. Certificate Number (if registered land) \_\_\_\_\_
- c. Book \_\_\_\_\_ d. Page \_\_\_\_\_
7. Dates: 06/24/2024 08/15/2024 08/16/2024  
 a. Date Notice of Intent Filed b. Date Public Hearing Closed c. Date of Issuance
8. Final Approved Plans and Other Documents (attach additional plan or document references as needed):  
 103 Thorndike Street Notice of Intent Package
- a. Plan Title \_\_\_\_\_
- Hardy + Man Design Group Chi Man
- b. Prepared By \_\_\_\_\_ c. Signed and Stamped by \_\_\_\_\_
- 06/24/2024
- d. Final Revision Date \_\_\_\_\_ e. Scale \_\_\_\_\_
- Site Layout Plan 08/07/2024
- f. Additional Plan or Document Title \_\_\_\_\_ g. Date \_\_\_\_\_

**B. Findings**

1. Findings pursuant to the Massachusetts Wetlands Protection Act:

Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act (the Act). Check all that apply:

- a. ☐ Public Water Supply b. ☐ Land Containing Shellfish c. ☐ Prevention of Pollution
- d. ☐ Private Water Supply e. ☐ Fisheries f. ☒ Protection of Wildlife Habitat
- g. ☐ Groundwater Supply h. ☐ Storm Damage Prevention i. ☒ Flood Control

2. This Commission hereby finds the project, as proposed, is: (check one of the following boxes)

**Approved** subject to:

- a. ☒ the following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

**B. Findings (cont.)**

Denied because:

- b. ☐ the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c. ☐ the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**
3. ☐ Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310 CMR 10.02(1)(a)                      a. linear feet

**Inland Resource Area Impacts:** Check all that apply below. (For Approvals Only)

| Resource Area   | Proposed Alteration                              | Permitted Alteration                             | Proposed Replacement                          | Permitted Replacement                         |
|---|--|--|---|---|
| 4. <input type="checkbox"/> Bank  | <u>                    </u><br>a. linear feet    | <u>                    </u><br>b. linear feet    | <u>                    </u><br>c. linear feet | <u>                    </u><br>d. linear feet |
| 5. <input type="checkbox"/> Bordering Vegetated Wetland                   | <u>                    </u><br>a. square feet    | <u>                    </u><br>b. square feet    | <u>                    </u><br>c. square feet | <u>                    </u><br>d. square feet |
| 6. <input type="checkbox"/> Land Under Waterbodies and Waterways          | <u>                    </u><br>a. square feet    | <u>                    </u><br>b. square feet    | <u>                    </u><br>c. square feet | <u>                    </u><br>d. square feet |
|   | <u>                    </u><br>e. c/y dredged    | <u>                    </u><br>f. c/y dredged    |   |   |
| 7. <input checked="" type="checkbox"/> Bordering Land Subject to Flooding | <u>4377.6</u><br>a. square feet                  | <u>4377.6</u><br>b. square feet                  | <u>4377.6</u><br>c. square feet               | <u>4377.6</u><br>d. square feet               |
| Cubic Feet Flood Storage  | <u>                    </u><br>e. cubic feet     | <u>                    </u><br>f. cubic feet     | <u>1,325.5</u><br>g. cubic feet               | <u>1,325.5</u><br>h. cubic feet               |
| 8. <input type="checkbox"/> Isolated Land Subject to Flooding             | <u>                    </u><br>a. square feet    | <u>                    </u><br>b. square feet    |   |   |
| Cubic Feet Flood Storage  | <u>                    </u><br>c. cubic feet     | <u>                    </u><br>d. cubic feet     | <u>                    </u><br>e. cubic feet  | <u>                    </u><br>f. cubic feet  |
| 9. <input type="checkbox"/> Riverfront Area                               | <u>                    </u><br>a. total sq. feet | <u>                    </u><br>b. total sq. feet |   |   |
| Sq ft within 100 ft   | <u>                    </u><br>c. square feet    | <u>                    </u><br>d. square feet    | <u>                    </u><br>e. square feet | <u>                    </u><br>f. square feet |
| Sq ft between 100-200 ft  | <u>                    </u><br>g. square feet    | <u>                    </u><br>h. square feet    | <u>                    </u><br>i. square feet | <u>                    </u><br>j. square feet |



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 091-0364  
 MassDEP File #  
 1514721  
 eDEP Transaction #  
 Arlington  
 City/Town

## B. Findings (cont.)

**Coastal Resource Area Impacts:** Check all that apply below. (For Approvals Only)

|  | Proposed<br>Alteration  | Permitted<br>Alteration | Proposed<br>Replacement | Permitted<br>Replacement |
|--|---|-------------------------|-------------------------|--------------------------|
| 10. <input type="checkbox"/> Designated Port Areas                 | Indicate size under Land Under the Ocean, below   |                         |                         |                          |
| 11. <input type="checkbox"/> Land Under the Ocean                  | a. square feet  | b. square feet          |                         |                          |
|  | c. c/y dredged  | d. c/y dredged          |                         |                          |
| 12. <input type="checkbox"/> Barrier Beaches                       | Indicate size under Coastal Beaches and/or Coastal Dunes below  |                         |                         |                          |
| 13. <input type="checkbox"/> Coastal Beaches                       | a. square feet  | b. square feet          | c. nourishment<br>cu yd | d. nourishment<br>cu yd  |
| 14. <input type="checkbox"/> Coastal Dunes                         | a. square feet  | b. square feet          | c. nourishment<br>cu yd | d. nourishment<br>cu yd  |
| 15. <input type="checkbox"/> Coastal Banks                         | a. linear feet  | b. linear feet          |                         |                          |
| 16. <input type="checkbox"/> Rocky Intertidal Shores               | a. square feet  | b. square feet          |                         |                          |
| 17. <input type="checkbox"/> Salt Marshes                          | a. square feet  | b. square feet          | c. square feet          | d. square feet           |
| 18. <input type="checkbox"/> Land Under Salt Ponds                 | a. square feet  | b. square feet          |                         |                          |
|  | c. c/y dredged  | d. c/y dredged          |                         |                          |
| 19. <input type="checkbox"/> Land Containing Shellfish             | a. square feet  | b. square feet          | c. square feet          | d. square feet           |
| 20. <input type="checkbox"/> Fish Runs                             | Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above |                         |                         |                          |
|  | a. c/y dredged  | b. c/y dredged          |                         |                          |
| 21. <input type="checkbox"/> Land Subject to Coastal Storm Flowage | a. square feet  | b. square feet          |                         |                          |
| 22. <input type="checkbox"/> Riverfront Area                       | a. total sq. feet   | b. total sq. feet       |                         |                          |
| Sq ft within 100 ft  | c. square feet  | d. square feet          | e. square feet          | f. square feet           |
| Sq ft between 100-200 ft   | g. square feet  | h. square feet          | i. square feet          | j. square feet           |



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 091-0364  
 MassDEP File #  
 1514721  
 eDEP Transaction #  
 Arlington  
 City/Town

## B. Findings (cont.)

\* #23. If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c (BVW) or B.17.c (Salt Marsh) above, please enter the additional amount here.

23. ☐ Restoration/Enhancement \*:

a. square feet of BVW

b. square feet of salt marsh

24. ☐ Stream Crossing(s):

a. number of new stream crossings

b. number of replacement stream crossings

## C. General Conditions Under Massachusetts Wetlands Protection Act

**The following conditions are only applicable to Approved projects.**

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
  - a. The work is a maintenance dredging project as provided for in the Act; or
  - b. The time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
  - c. If the work is for a Test Project, this Order of Conditions shall be valid for no more than one year.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order. An Order of Conditions for a Test Project may be extended for one additional year only upon written application by the applicant, subject to the provisions of 310 CMR 10.05(11)(f).
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on 08/16/2027 unless extended in writing by the Department.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**

**WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

**C. General Conditions Under Massachusetts Wetlands Protection Act**

8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,  

"Massachusetts Department of Environmental Protection" [or, "MassDEP"]  
"File Number                      091-0364                      "
11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before MassDEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**

**WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

**C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)**

17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.
19. The work associated with this Order (the "Project")
  - (1) ☐ is subject to the Massachusetts Stormwater Standards
  - (2) ☒ is NOT subject to the Massachusetts Stormwater Standards

**If the work is subject to the Stormwater Standards, then the project is subject to the following conditions:**

- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Construction General Permit as required by Stormwater Condition 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that:
  - i. all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures;
  - ii. as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized;
  - iii. any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10;



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**

**WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

**C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)**

iv. all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition;

v. any vegetation associated with post-construction BMPs is suitably established to withstand erosion.

c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 18(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following:

i.) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and

ii.) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.

d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Multi-Sector General Permit.

e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 18(f) through 18(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 18(f) through 18(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.

f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

## WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

### C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

- g) The responsible party shall:
  - 1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
  - 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
  - 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions (if you need more space for additional conditions, please attach a text document):

### SEE ATTACHED

- 20. For Test Projects subject to 310 CMR 10.05(11), the applicant shall also implement the monitoring plan and the restoration plan submitted with the Notice of Intent. If the conservation commission or Department determines that the Test Project threatens the public health, safety or the environment, the applicant shall implement the removal plan submitted with the Notice of Intent or modify the project as directed by the conservation commission or the Department.



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**

**WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

**D. Findings Under Municipal Wetlands Bylaw or Ordinance**

1. Is a municipal wetlands bylaw or ordinance applicable? ☒ Yes ☐ No
2. The Arlington hereby finds (check one that applies):  
 Conservation Commission

- a. ☐ that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw, specifically:

1. Municipal Ordinance or Bylaw

2. Citation

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.

- b. ☒ that the following additional conditions are necessary to comply with a municipal ordinance or bylaw:

Arlington Bylaw for Wetlands Protection

Title V,  
Article 8

1. Municipal Ordinance or Bylaw

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document):

SEE ATTACHED



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

**E. Signatures**

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

1. Date of Issuance

Please indicate the number of members who will sign this form. This Order must be signed by a majority of the Conservation Commission.

2. Number of Signers

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signature *[Handwritten Signature]*

Printed Name Susan Chapnick

Signature *[Handwritten Signature]*

Printed Name David White

Signature *[Handwritten Signature]*

Printed Name M. GILDESGAMB

Signature *[Handwritten Signature]*

Printed Name David Kaplan

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

☐ by hand delivery on

☐ by certified mail, return receipt requested, on

Date

Date



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

## **WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

### **F. Appeals**

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

## WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

### G. Recording Information

Prior to commencement of work, this Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:

Conservation Commission

Please be advised that the Order of Conditions for the Project at:

Project Location

MassDEP File Number

Has been recorded at the Registry of Deeds of:

County

Book

Page

for:

Property Owner

and has been noted in the chain of title of the affected property in:

Book

Page

In accordance with the Order of Conditions issued on:

Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

DEP File Number: \_\_\_\_\_

**Request for Departmental Action Fee  
Transmittal Form**

Provided by DEP \_\_\_\_\_

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**A. Request Information**

1. Location of Project

a. Street Address \_\_\_\_\_

b. City/Town, Zip \_\_\_\_\_

c. Check number \_\_\_\_\_

d. Fee amount \_\_\_\_\_

2. Person or party making request (if appropriate, name the citizen group's representative):

Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

City/Town \_\_\_\_\_

State \_\_\_\_\_

Zip Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Fax Number (if applicable) \_\_\_\_\_

3. Applicant (as shown on Determination of Applicability (Form 2), Order of Resource Area Delineation (Form 4B), Order of Conditions (Form 5), Restoration Order of Conditions (Form 5A), or Notice of Non-Significance (Form 6)):

Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

City/Town \_\_\_\_\_

State \_\_\_\_\_

Zip Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Fax Number (if applicable) \_\_\_\_\_

4. DEP File Number: \_\_\_\_\_

**B. Instructions**

1. When the Departmental action request is for (check one):

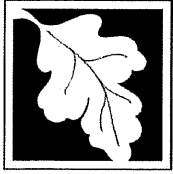
☐ Superseding Order of Conditions – Fee: \$120.00 (single family house projects) or \$245 (all other projects)

☐ Superseding Determination of Applicability – Fee: \$120

☐ Superseding Order of Resource Area Delineation – Fee: \$120

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.





**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

DEP File Number:

**Request for Departmental Action Fee  
Transmittal Form**

Provided by DEP

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**B. Instructions (cont.)**

Send this form and check or money order, payable to the *Commonwealth of Massachusetts*, to:

Department of Environmental Protection  
Box 4062  
Boston, MA 02211

2. On a separate sheet attached to this form, state clearly and concisely the objections to the Determination or Order which is being appealed. To the extent that the Determination or Order is based on a municipal bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.
3. Send a **copy** of this form and a **copy** of the check or money order with the Request for a Superseding Determination or Order by certified mail or hand delivery to the appropriate DEP Regional Office (see <https://www.mass.gov/service-details/massdep-regional-offices-by-community>).
4. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

ARLINGTON CONSERVATION COMMISSION  
**APPROVAL ORDER OF CONDITIONS** – 103 Thorndike Street  
MassDEP File # 091-0364  
UNDER THE WETLANDS PROTECTION ACT and ARLINGTON BYLAW FOR WETLANDS PROTECTION  
Multifamily Residential Redevelopment  
08/16/2024

**Documents Reviewed**

1. 103 Thorndike Street NOI Application

- a. WPA Form 3 – eDEP Notice of Intent Filing #1514721
- b. WPA Notice of Wetland Fee Transmittal Form – eDEP Notice of Intent Filing #1514721
- c. Local Filing Fee Form
- d. Legal Notice Charge Authorization
- e. Affidavit of Service
- f. Letter to Abutters
- g. Abutter Notification Form
- h. Certified List of Abutters
- i. USGS Topographic Quadrangle
- j. FEMA Flood Insurance Rate Map
- k. MassGIS Orthophoto & NHESP Estimated Habitat Map
- l. Site Photographs
- m. Drainage Report, prepared by Hardy + Man, dated 06/15/2024, revised 07/26/2024
- n. Stormwater Operation and Maintenance Plan, dated 06/20/2024
- o. Schematic designs showing bioretention area and snow removal area and surface water flow lines, undated and unstamped, two pages
- p. *Site Layout Plan*, dated 06/10/2024, stamped by Chi Man, Professional Engineer #45441

**Proceedings**

The Conservation Commission held a public hearing for the Notice of Intent on August 1, 2024, and continued the hearing to August 15, 2024. The Commission closed the hearing and deliberated on August 15 and voted 6-0-1 to approve the Project with conditions under the Wetlands Protection Act (the “Act”) and voted 6-0-1 to approve the Project with conditions under the Arlington Wetlands Protection Bylaw (the “Bylaw”).

**Findings of Fact and Law under Arlington Wetlands Protection Bylaw  
and Wetlands Protection Act**

- A. The project as approved will demolish the existing structure and build a multifamily residence at 103 Thorndike Street in Arlington, Massachusetts.

- B. 103 Thorndike Street is a 4,377± square foot property containing a two-story, single-family dwelling with a bituminous concrete driveway extending halfway along the southwestern side of the structure from Thorndike Street. Residential development associated with the East Arlington neighborhood occurs on all sides except westerly, which is bordered by Town-owned park land associated with Magnolia Field and Playground.
- C. Resource Areas on site or within 100' of the property lines include Bordering Land Subject to Flooding (Zone AE).
- i. The entirety of the property lies within the floodplain, Zone AE.
  - ii. The Applicant will not fill anywhere on site but rather cut and add 1,325.5 cubic feet of flood storage. Additional storage will be provided within the footprint of the building using flood vents. The amount of storage calculated here does not include the volume within the footprint of the building.
  - iii. Existing front and rear porches, two walkways, and the driveway will be removed, a total of 834 sq. ft. reduction in impervious surface. A permeable paver driveway of 850 sq. ft. will be installed. With the addition of the new structure (1,410 sq. ft. footprint), a reduction of 89 sq. ft. of impervious surface will be accomplished.
  - iv. Stormwater runoff will be directed to a bioretention area at the rear of the lot (capacity 148 cu. ft.), which will be connected to the roof drainage via a stone swale. The bioretention area will be planted with native shrubs and groundcovers and demarcated as a permanent restoration zone.
- D. Reduction of impervious surface through the use of permeable pavers, increased flood storage, and the use of a bioretention basin comply with the climate resilience standards of the Arlington Bylaw for Wetlands Protection and its regulations.

### **Conclusion**

Based on the testimony at the public hearings, and review of the application materials and the documents listed above submitted during the public hearings, the Commission concludes that the proposed Project as conditioned will not have significant or cumulative effects upon the interests of the Resource Area values of the Massachusetts Wetlands Protection Act and the Arlington Bylaw for Wetlands Protection when the conditions imposed herein are implemented to protect the Resource Area values. With these conditions contained, the Project meets the performance standards in the Act and Bylaw and implementing regulations.

For the foregoing reasons, the Commission approves this project under the Act and Bylaw with the conditions stated herein the applications for work at 103 Thorndike Street.

### **Additional Special Conditions**

In addition to the General Conditions (numbered 1 – 20 above), the Project is subject to the following Additional Special Conditions (under both the Act and Bylaw):

21. Prior to the start of work, the planting plan for the bioretention area shall be modified to replace the 8 switchgrass plugs with the same number of bunchberry (*Chamaepericlymenum canadense*) plants. The applicant shall include methods to protect proposed infiltration beds and bioretention areas from soil compaction, sedimentation, and clogging during construction. Bioretention areas shall be stabilized with vegetation prior to discharge of stormwater into them. The applicant shall provide temporary stormwater management structures as needed to prevent sedimentation of wetlands and clogging of drainage structures. The Commission or Administrator shall be notified prior to the placement of soil media within bioretention areas, and inspections shall be scheduled as these systems are installed.
22. Tree protections shall include orange safety fencing erected at the drip line of all trees with canopy overhanging the subject site. In the event that such fencing prohibits construction access, the tree protection shall instead include construction-grade metal plates laid over the root protection area, equivalent to the height of the tree measured from the center of the stem.
23. The Applicant shall discuss and gain approval for all necessary tree and root protection and/or trimming measures with the Town Tree Warden for trees on Town-owned park land or in the right of way.
24. Roots severed by construction activities shall be cut clean. If roots are severed on more than one side of the tree, the Applicant shall notify the Conservation Agent within 7 days of the incident and contract a Certified Arborist to assess the health of the tree. The Arborist's report shall be submitted to the Conservation Agent within 30 days of the incident. The Conservation Agent shall have the authority to require the Arborist's recommended actions as part of this Order/Permit.
25. At least one permanent boundary marker shall be installed to designate the bioretention area as a restoration area. One marker shall be made of stone or metal at least 4x4" and extend at least 6" above the ground and placed at the edge of the bioretention area facing the house. Any additional markers may be flush to the ground. The marker(s) shall have lettering at least 1" tall that labels the area as a Restoration Zone. The Applicant shall submit to the Conservation Agent for approval a plan showing the detail and location of the proposed signage.
26. All boundary markers shall be maintained in their designated locations and clearly labeled.  
**This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.**

#### **Pre-Construction**

27. Prior to the start of work, the Applicant shall update, reconcile, and correct the impervious surface calculations on the Conservation Plan (Document #1.I).
28. Work permitted by this Order and Permit shall conform to the Notice of Intent, the approved plans and documents (listed above), and oral representations (as recorded in hearing minutes) submitted or made by the Applicant and the Applicant's agents or representatives, as well as

**APPROVAL ORDER OF CONDITIONS – 103 Thorndike Street**  
MassDEP File # 091-0364

any plans and other data, information or representations submitted per these Conditions and approved by the Commission.

29. The provisions of this Order and Permit shall apply to and be binding upon the Applicant and Applicant's assigns, tenants, lessees, property manager, employees, contractors, and agents.
30. The Applicant shall ensure that a copy of this Order and Permit, with any referenced plans, is always available on site, and that contractors, site managers, foremen, and sub-contractors understand its provisions.
31. The lead contractor shall sign and return to the Conservation Agent an acknowledgment that contractors, site managers, foremen, and sub-contractors cannot deviate from the approved plans without Commission approval.
32. If there are conflicting conditions within this Order and Permit, the stricter condition(s) shall govern.
33. No work shall begin under this Order and Permit until: (a) all other required permits or approvals have been obtained and (b) the appeal period of ten (10) business days from the date of issue of this Order has expired without any appeal being filed, and (c) proof that this Order has been recorded in the Registry of Deeds has been submitted to the Conservation Agent.
34. Prior to any work on the site, or within six (6) weeks of the date of this Order, whichever comes first, this Order of Conditions and relevant attachments, including any and all operations and maintenance plans, shall be recorded at the Middlesex Registry of Deeds or Land Court, and notice filed with the Commission. Failure to do so shall be deemed cause to revoke this Order.
35. Prior to starting work, the Applicant shall submit to the Commission the names and 24-hour phone numbers of project managers or the persons responsible for site work or mitigation.
36. Before work begins, erosion and sediment controls shall be installed at the limits of the work area. Unless otherwise specified, erosion controls will include a silt fence and a biodegradable 12-inch diameter straw or silt wattle around the entire work area. Hay bales are not allowed, and biodegradable wattles are preferred.
37. Prior to any work commencing, a sign no less than 2 square feet or more than 3 square feet, visible from the street, shall be displayed reading "**MA DEP File # 091-0361**" and not placed on a living tree.
38. The contractor shall contact the Conservation Agent (concomm@town.arlington.ma.us ; 781-316-3012) at least 72 hours prior to commencement of work to arrange for a pre-construction meeting with the on-site project manager to walk through the Order of Conditions and Permit for Work, confirm the wash out location, and walk the site to confirm the installation and placement of erosion controls prior to the start of any grading or construction work.

39. The Commission, its employees, and its agents shall have the right of entry onto the site to inspect for compliance with the terms of this Order of Conditions and Permit until a Certificate of Compliance has been issued.
40. Any backfill or reuse of on-site materials shall be free of contamination in accordance with the Massachusetts Contingency Plan, 310 CMR 40.0000. All fill used in connection with this project shall be clean borrow. The following shall be prohibited: concrete and asphalt rubble; crushed glass; stumps, invasive plants or debris, and other solid waste or anthropogenic materials.

#### **Dumpsters**

41. All dumpsters must be covered at the end of each workday. No dumpsters will be allowed overnight within the 100-foot Buffer Zone or Adjacent Upland Resource Areas (“AURA”) or other Resource Areas unless otherwise approved by the Commission.

#### **Stockpiling**

42. Any stockpile of soil, sand, or similar materials that is permitted within said areas shall be enclosed within a line of entrenched and staked erosion control socks or silt fence in addition to the perimeter erosion controls for the site. In the event that all earthwork ceases for more than 15 days or if inclement weather is imminent, all exposed stockpiled soils shall be stabilized with a temporary vegetative cover, tarp, or other erosion control acceptable to the Conservation Commission.

#### **Erosion**

43. Areas that are disturbed by construction and access activities shall as soon as possible be brought to final grade and reseeded and restabilized and shall be done so prior to the removal of the erosion control barrier. Erosion control measures shall be installed per the approved plans or as directed by the Conservation Agent.
44. The Commission and its Agent shall have the discretion to require additional erosion/siltation control methods during construction if necessary.
45. Upon completion of the project, the applicant shall remove and legally dispose off-site of all temporary erosion controls and other materials determined to be detrimental to the resource areas if left in place permanently.

#### **Equipment**

46. No heavy equipment may be stored overnight within 50 feet of the wetland and no refueling or maintenance of machinery shall be allowed within the 100-foot Buffer Zone, 200-foot Resource Area, and Adjacent Upland Resource Area or within any Resource Area unless otherwise approved by the Commission.
47. Construction entrances shall be used and maintained only where noted on approved plans.
48. Arrangements shall be made for any rinsing of tools, equipment associated with on-site mixing or use of concrete, rubber, or other materials such that the wastewater is disposed of in the

concrete wash out station-at least 50 feet from the resource area. In no case may waste water be discharged into or onto Resource Areas on or adjacent to the site. In no case may waste water be placed in storm drains. Any spillage of materials shall be cleaned up promptly.

### **Sweeping**

49. Any dirt or debris spilled or tracked onto any paved streets shall be swept up and removed daily.
50. The areas of construction shall remain in a stable condition at the close of each construction day.

### **Dewatering**

51. Any dewatering operations shall conform to the following:
  - (a) If dewatering is needed, the Applicant must submit for approval a dewatering plan to the Conservation Agent or Conservation Commission.
  - (b) Any catch basins, drains, and outfalls to be used in dewatering operations shall be cleaned out before operations begin.
  - (c) Any water discharged as part of any dewatering operation shall be passed through filters, on-site settling basins, settling tank trucks, or other devices to ensure that no observable sediments or pollutants are carried into any Resource Area, street, drain, or adjacent property.
  - (d) Measures shall be taken to ensure that no erosion or scouring shall occur because of dewatering operations.
  - (e) Dewatering shall occur only where noted on approved plans.

### **Plantings and Vegetation**

52. All plantings shall be as specified in the planting plan and installed and maintained according to the standards of the American Association of Nurserymen (AAN). **This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.**
53. The Applicant shall protect all area trees per the Town Wetlands Protection Regulations, Section 24 Vegetation Removal and Replacement. The Commission may at its discretion supersede the requirements of Section 24.
54. All native restoration plantings shall be monitored for three full growing seasons. A survival rate of at least 100% of trees and 80% of other vegetation in the planting plan must be maintained and demonstrated unless otherwise approved by the Commission.
55. A monitoring report shall be submitted annually in November for the three-year monitoring period and shall include the number and types of restoration plantings evaluated, condition of the plantings, and status of invasive plant removal. The Applicant must provide a monitoring report by a qualified consultant for survival of all approved plantings. The monitoring report must include measures to remove invasive species if they are discovered.

56. Any planting areas provided as mitigation shall be maintained in perpetuity. **This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.**
57. There shall be no dumping of woody vegetation, leaves, grass clippings, brush, or other debris into a wetland resource area or associated buffer zones. **This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.**

#### **Fertilizer and Chemical Use**

58. To avoid adding excess nutrient runoff, the Applicant shall only treat existing lawn area with no phosphorous, low nitrogen, slow-release fertilizer and it shall be applied at the lowest rate necessary. Any application of phosphorus-containing fertilizers for new lawn must be first reviewed and approved by the Conservation Agent. Except for the establishment of vegetation in the first growing season, the Application of lawn fertilizer cannot occur in the summer, or before or after storm events. Lawn fertilizer shall at most be applied twice a year. **This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.**
59. No pesticides or rodenticides shall be used to treat pest management issues. **This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.**

#### **Stormwater**

60. The Applicant shall conduct catch basin sump cleanings as necessary to proximate catch basins at the end of the project work period.
61. The project shall not cause an increase in run-off or stormwater volume onto adjacent properties, either during construction or when completed.
62. Bioretention areas shall be inspected, and trash shall be removed monthly. Structural damage shall be repaired. These areas shall be pruned as needed in spring or fall. Dead vegetation and invasive species shall be removed and replaced with new vegetation every spring and fall. Sediments shall be removed every spring. At least twice a year, the system shall be monitored during and after a heavy rainstorm to determine whether it is meeting the intended detention, water quality, and infiltration functions.

#### **Snow and Deicing**

63. Dumping of snow into resource areas is prohibited and shall comply with the current Mass. DEP Bureau of Water Resources Snow Removal Guidance.
64. Deicing chemicals containing sodium, potassium, and calcium chloride are prohibited from use in the wetland resource area and the associated 100-foot buffer. An alternative deicing product such as magnesium chloride (MgCl) may be used as recommended in the Winter Parking Lot and Sidewalk Maintenance Manual published by the Minnesota Pollution Control Agency, <https://www.pca.state.mn.us/sites/default/files/p-tr1-10.pdf>. **This shall be a continuing**

**condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.**

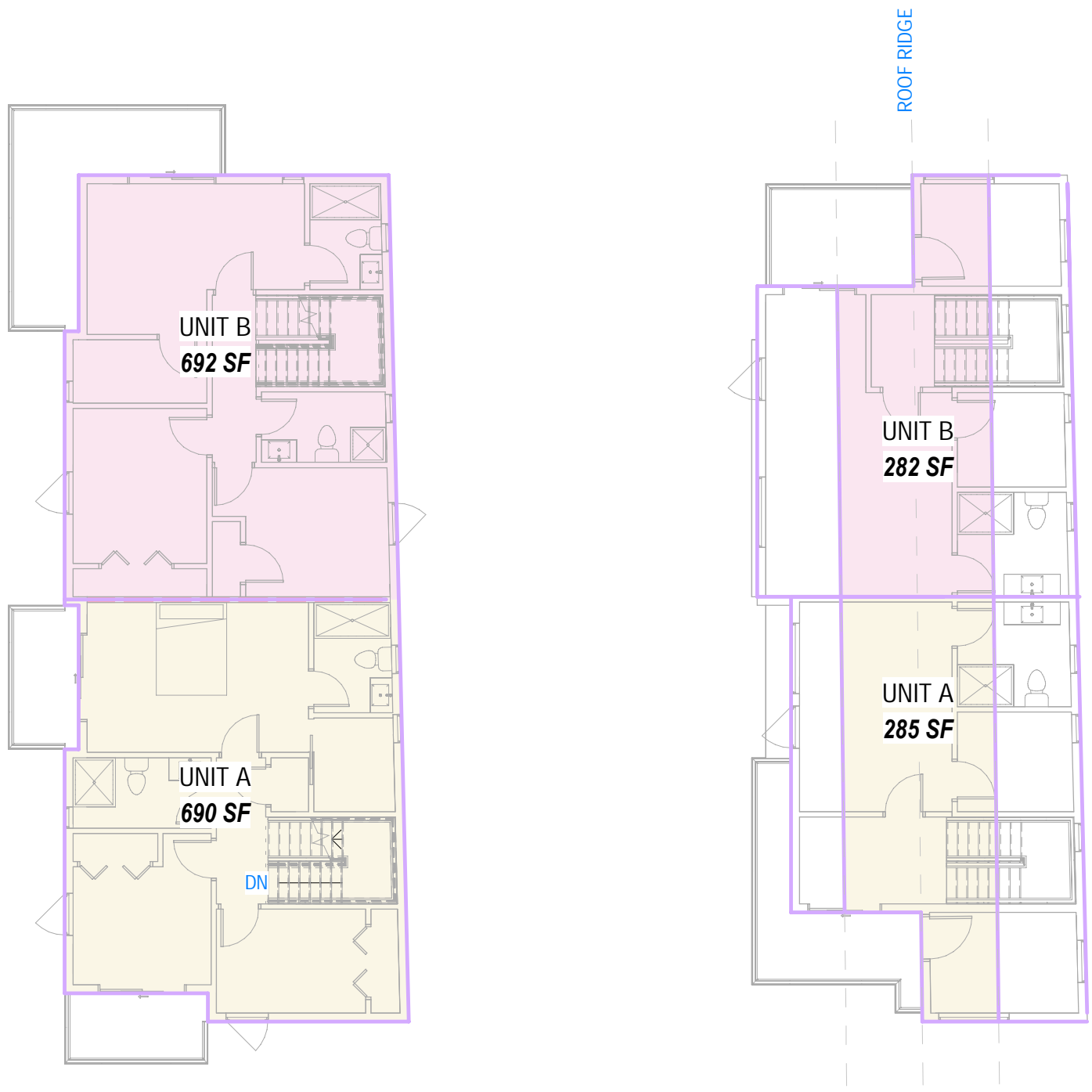
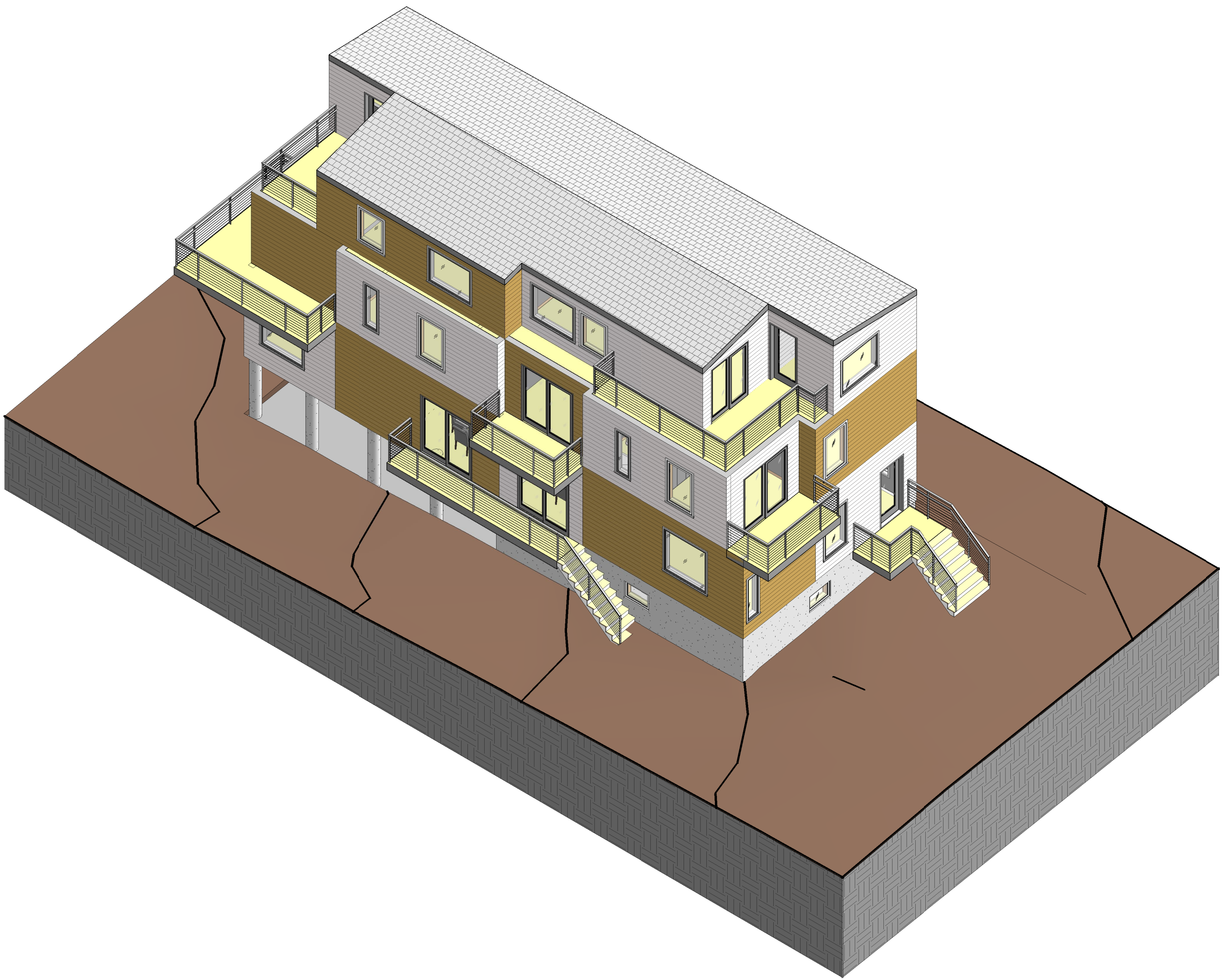
**Project Completion**

65. Upon completion of the project or 60 days prior to the expiration of this Order of Conditions, the Applicant or a representative thereof shall file for a Certificate of Compliance.
66. When requesting a Certificate of Compliance for this Order of Conditions, the Applicant must submit a written statement from a qualified professional licensed and/or registered to work in Massachusetts. The type of professional shall be determined by the Conservation Agent as is applicable to the project. A professional engineer, registered land surveyor, or registered landscape architect may be chosen. The statement submitted by said professional shall certify that the completed work complies with the plans referenced in this Order and the chosen professional shall provide an as-built plan and statement describing any differences.
67. In conjunction with the sale of any portion of the site covered by this Order of Conditions, the Applicant shall submit to the Commission a signed statement by the buyer that the new owner is aware of the applicable conditions of this Order and permit.

| ZONING COMPLIANCE TABLE - 103 THORNDIKE ST ARLINGTON R2 |                  |                     |                      |                   |            |  |
|---|------------------|---------------------|----------------------|-------------------|------------|--|
| ZR  | Item/Description | Existing            | Permitted / Required | Proposed          | Complan... | Notes                                  |
|   | USES             | 1 FAMILY            | 2-FAMILY             | 2-FAMILY          |            |  |
|   | FAR              | -                   | -                    | -                 |            |  |
|   | FLOOR AREA       | 1,263 SF            | -                    | 3,470 SF          |            | BASEMENT AND CEILING UNDER 7' EXCLUDED |
|   | LOT SIZE         | 4377.6 SF           | 4377.6 SF            | 4377.6 SF         |            |  |
|   | LOT COVERAGE     | 23.6%               | 35%                  | 56.4%             |            |  |
|   | OPEN SPACE       | USABLE              | 30% (1,313.3SF)      | 30.95% (1,355 SF) |            |  |
|   |                  | LANDSCAPE           | 10% (437.8SF)        | 14.48% (634 SF)   |            |  |
|   | PARKING          | 2                   | 2                    | 2                 |            | DRIVEWAY                               |
|   | SETBACK & HEIGHT | NORTH               | 47.8'                | 20.0'             | 20.0'      |  |
|   |                  | EAST                | 6.6'                 | 10.0'             | 10.0'      |  |
|   |                  | SOUTH (STREET)      | -                    | 20.0'             | 20.0'      |  |
|   |                  | WEST                | 11.9'                | 10.0'             | 10.0'      |  |
|   |                  | MAX BUILDING HEIGHT | -                    | 35'               | 35'        |  |

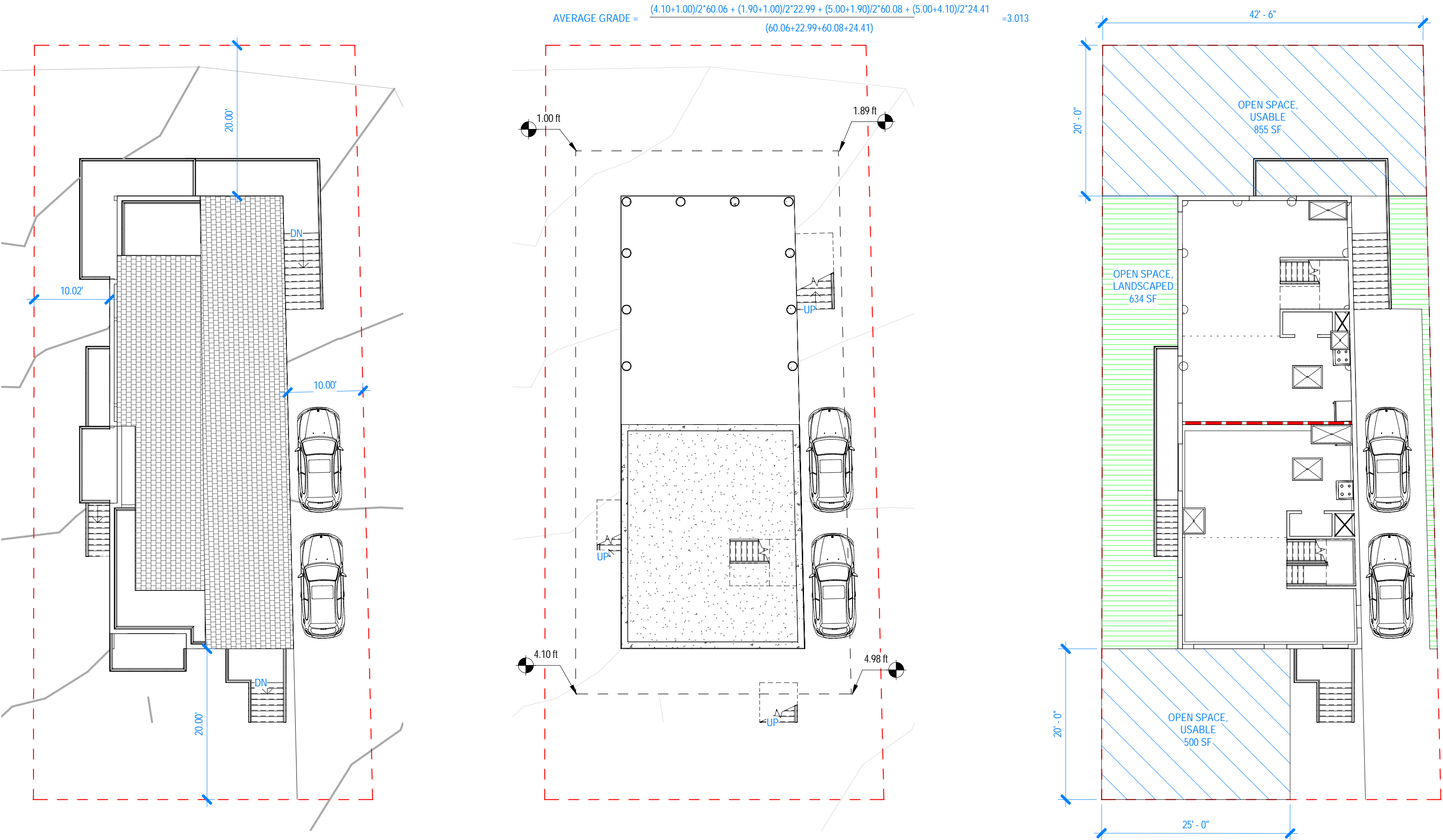
| GROSS FLOOR AREA, PROPOSED |             |         |
|----------------------------|-------------|---------|
| Name                       | Level       | Area    |
| UNIT A                     | LEVEL 1     | 720 SF  |
| UNIT A                     | LEVEL 2     | 690 SF  |
| UNIT A                     | LEVEL ATTIC | 285 SF  |
|                            |             | 1694 SF |
| UNIT B                     | LEVEL 1     | 703 SF  |
| UNIT B                     | LEVEL 2     | 692 SF  |
| UNIT B                     | LEVEL ATTIC | 282 SF  |
|                            |             | 1677 SF |
| Grand total                |             | 3372 SF |

| GROSS FLOOR AREA, PROPOSED BY LEVEL |        |         |
|-------------------------------------|--------|---------|
| Level                               | Name   | Area    |
| LEVEL 1                             | UNIT A | 720 SF  |
| LEVEL 1                             | UNIT B | 703 SF  |
|                                     |        | 1423 SF |
| LEVEL 2                             | UNIT A | 690 SF  |
| LEVEL 2                             | UNIT B | 692 SF  |
|                                     |        | 1382 SF |
| LEVEL ATTIC                         | UNIT A | 285 SF  |
| LEVEL ATTIC                         | UNIT B | 282 SF  |
|                                     |        | 566 SF  |
| Grand total                         |        | 3372 SF |



3 LEVEL 2 GROSS FLOOR AREA, PROPOSED  
3/32" = 1'-0"

4 LEVEL ATTIC GROSS FLOOR AREA, PROPOSED  
3/32" = 1'-0"

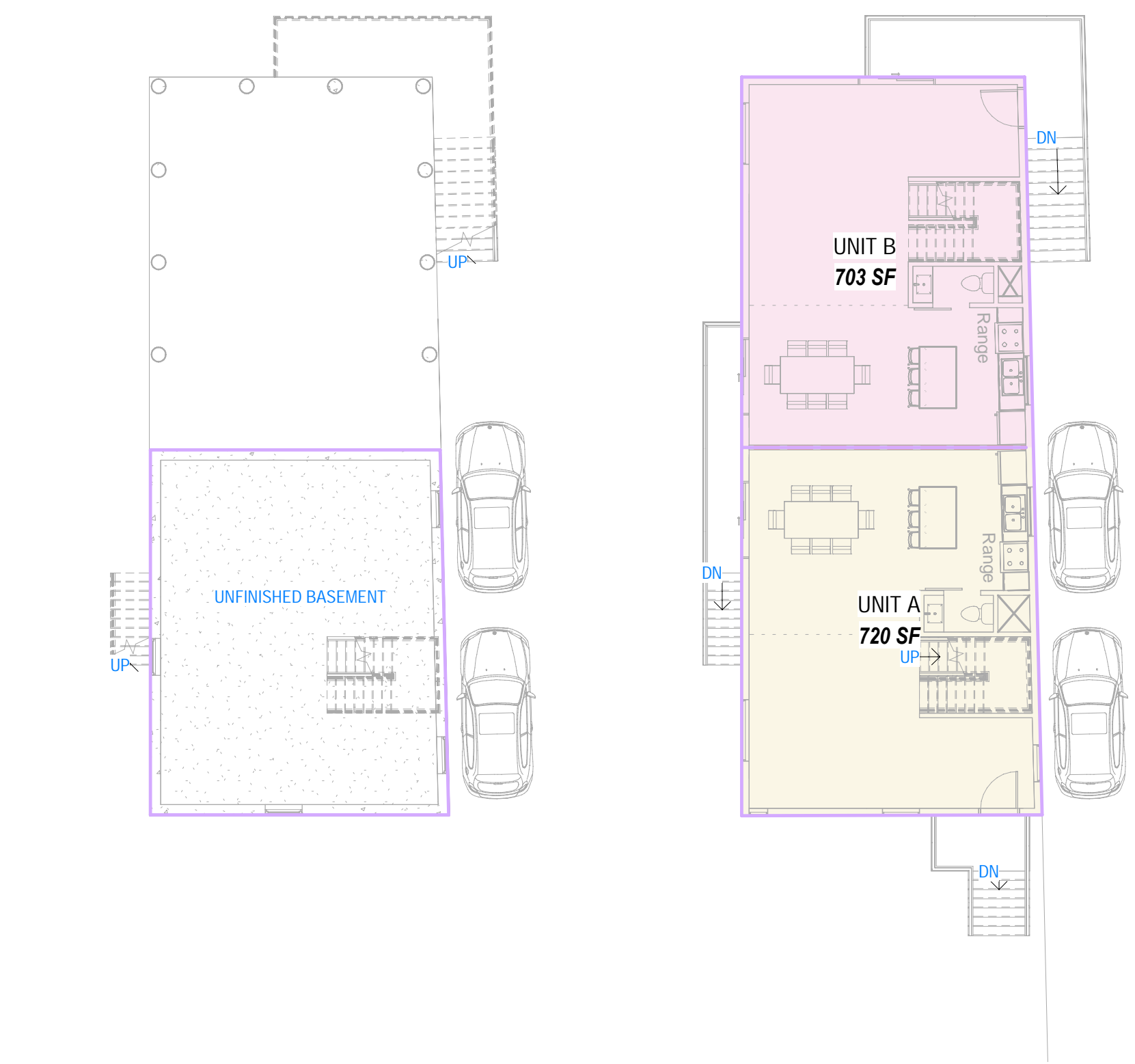


5 SITE PLAN, PROPOSED  
3/32" = 1'-0"

6 AVERAGE GRADE CALCULATION  
3/32" = 1'-0"

7 OPEN SPACE, PROPOSED  
3/32" = 1'-0"

OPEN SPACE, LANDSCAPED: 1,742 SF  
OPEN SPACE, USABLE: 1,054 SF



1 LEVEL 0 GROSS FLOOR AREA, PROPOSED  
3/32" = 1'-0"

2 LEVEL 1 GROSS FLOOR AREA, PROPOSED  
3/32" = 1'-0"

103 THORNDIKE  
TOWNHOUSES

103 THORNDIKE ST  
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

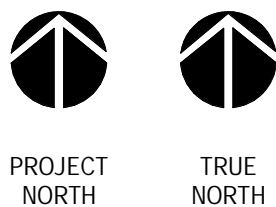
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|----------|-------------|------|
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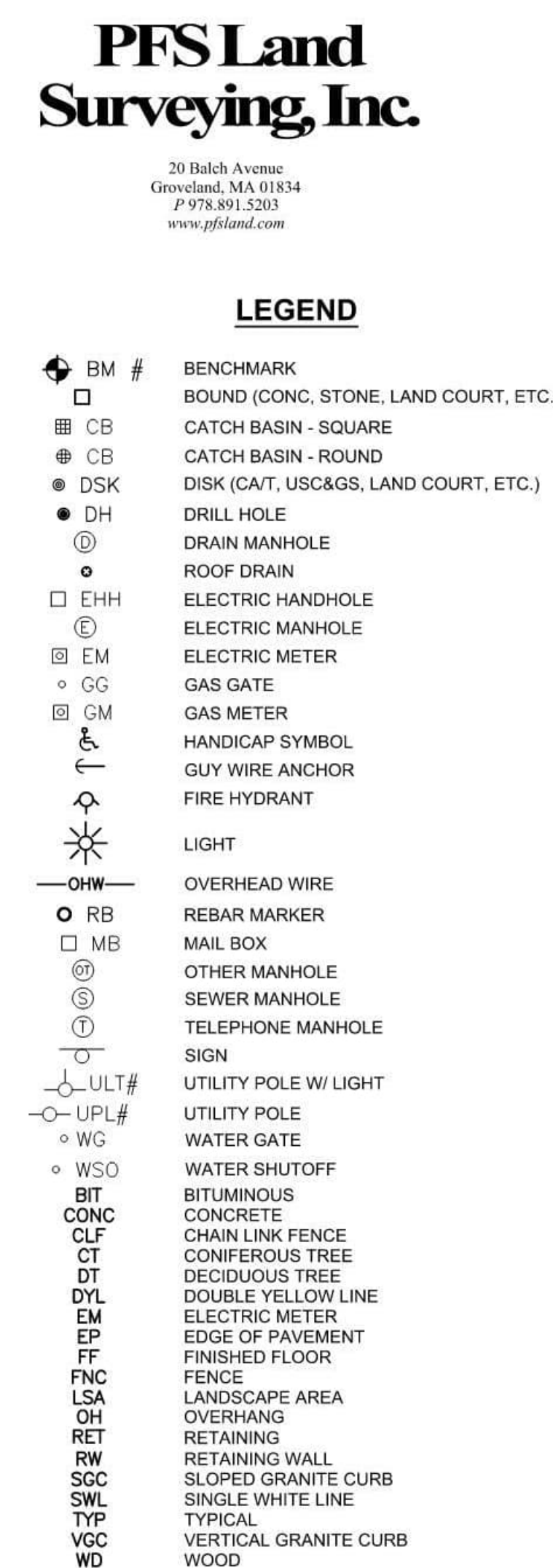
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CHECKED BY  
SHEET ISSUE DATE  
SCALE  
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SCALE: 3/32" = 1'-0"

Author  
Checker  
09/17/24  
As Indicated

SHEET NAME  
ZONING,  
SITE &  
AREA

200





|  |  |  |  |
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|                    |                 |                |        |
|--------------------|-----------------|----------------|--------|
| No.                | Revision        | Date           | Appvd. |
| Designed by BGP    | Drawn by BGP    | Checked by BGP |        |
| CAD checked by BGP | Approved by BGP |                |        |
| Scale 1"=10'       | Date 11/16/2023 |                |        |

## Existing Conditions

Plan of Land

103 Thorndike Street

Arlington, MA 02474

Issued for  
Review

Drawing Title

### Plot Plan

Drawing Number

SV-1

Sheet 1 of 1

Project Number



- ## General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MAGNETIC NORTH. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD 83.
- 5) THE LOT LIES WITHIN ZONE A (WITHOUT BASE FLOOD ELEVATION) (BFE) AS SHOWN IN THE FLOOD INSURANCE RATE MAP FOR THE CITY OF UPLAND, MASSACHUSETTS, COMMUNITY PANEL NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010.
- 6) NO WETLAND FLAGS WERE OBSERVED ON SITE AT THE TIME OF THE SURVEY.

103 THORNDIKE  
TOWNHOUSES

103 THORNDIKE ST  
ARLINGTON, MA

ZONING SET

|                |           |
|----------------|-----------|
| PROJECT NUMBER | 20-103-00 |
|----------------|-----------|

| NO.      | DESCRIPTION | DATE |
|----------|-------------|------|
| KEY PLAN |             |      |

SHEET NAME  
LAND  
SURVEY

|                  |          |
|------------------|----------|
| DRAWN BY         | Author   |
| CHECKED BY       | Checker  |
| SHEET ISSUE DATE | 09/17/24 |
| SCALE            |          |

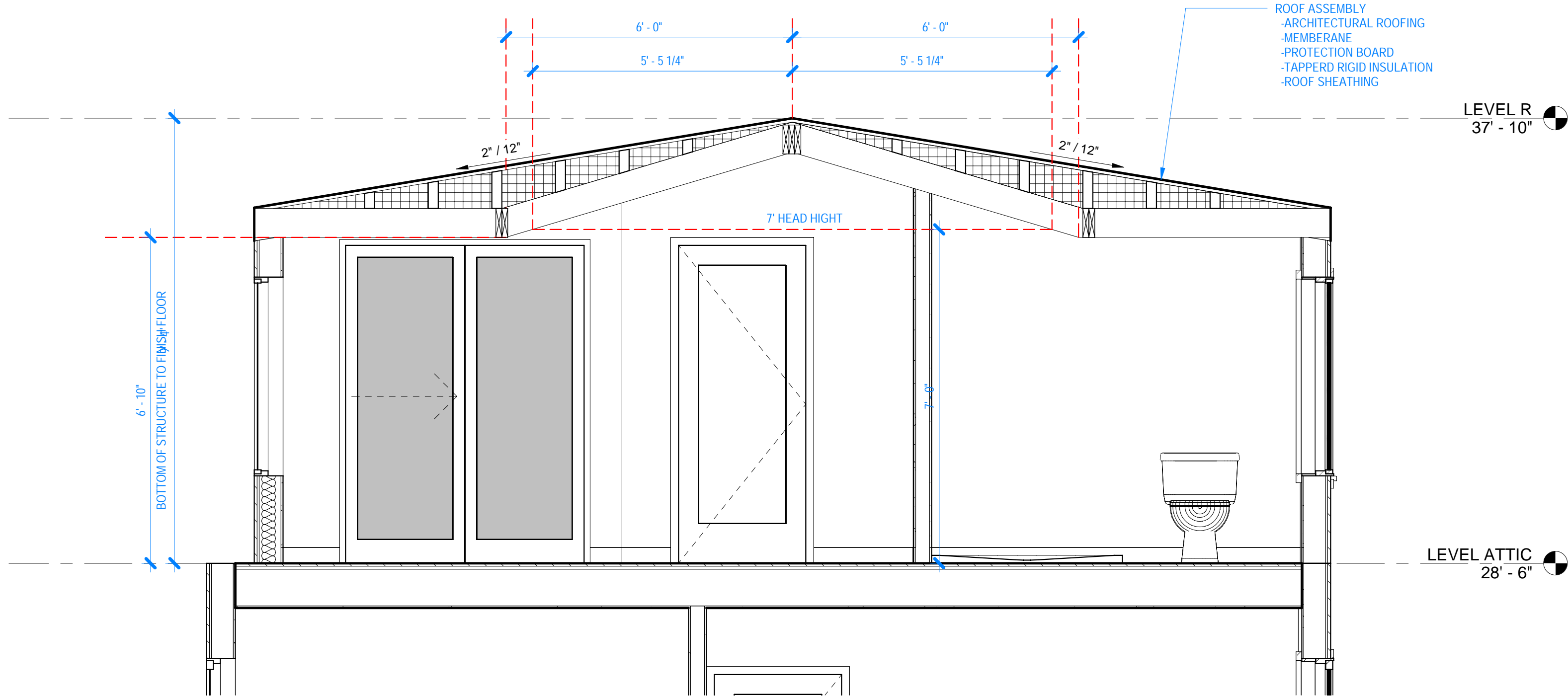
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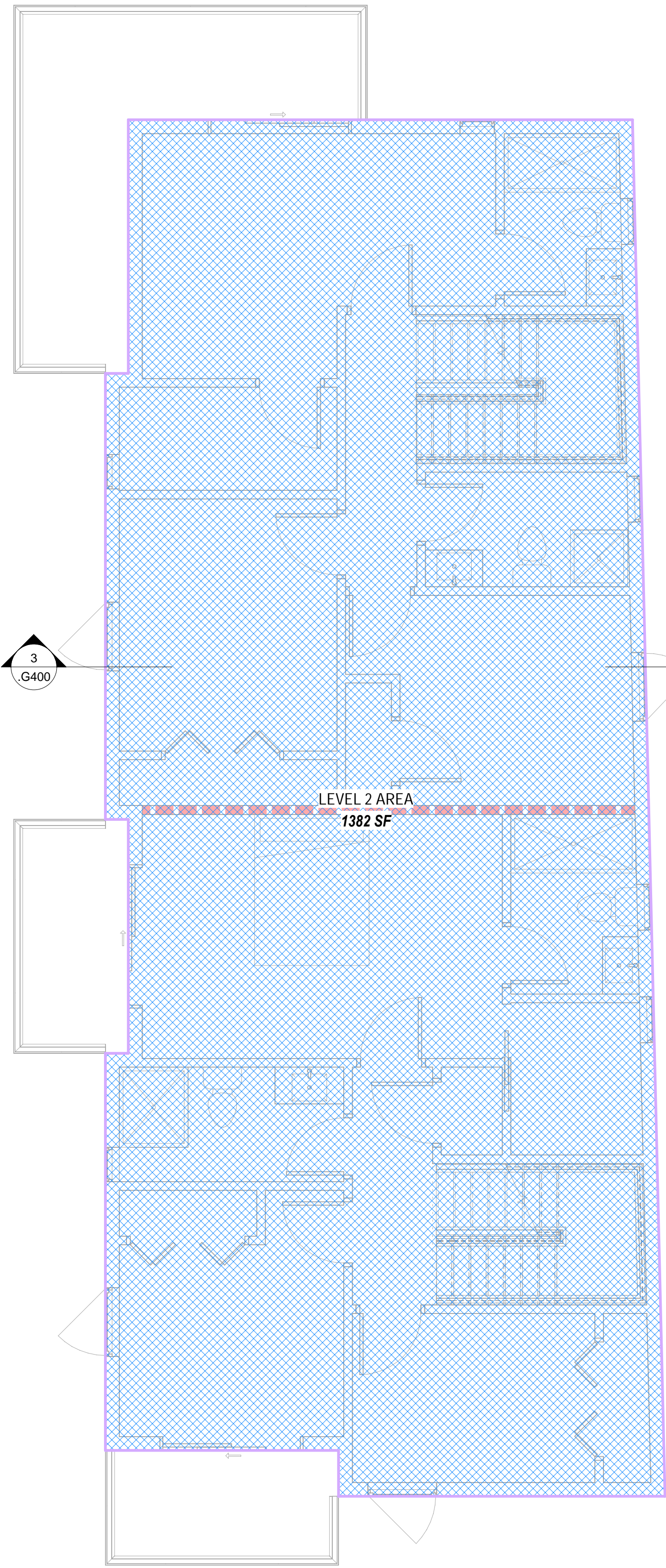
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TOTAL 2ND FLOOR FOOTPRINT = 1,382 SQUARE FEET  
ALLOWABLE SQUARE FOOTAGE > 7'-0" = 691 SQUARE FEET

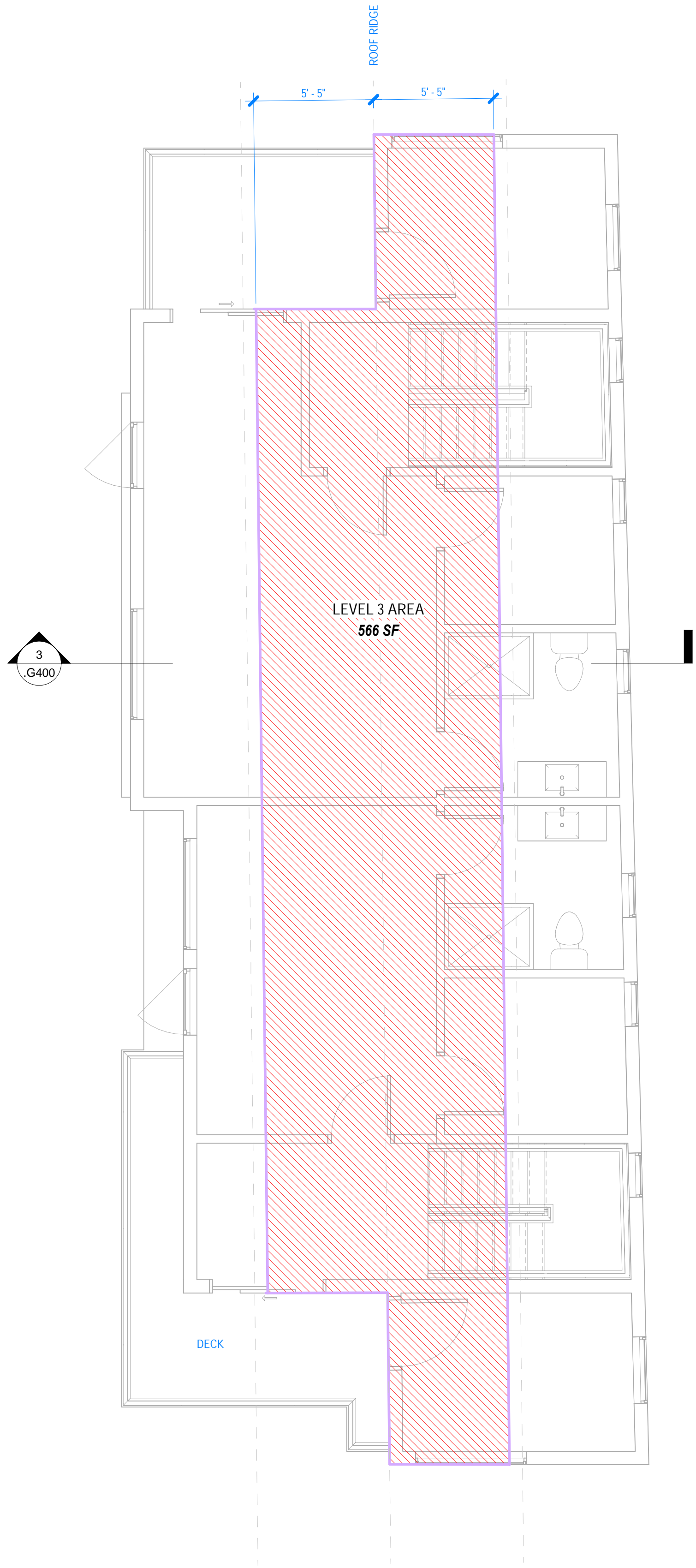
(50% OF TOTAL FOOTPRINT)  
PROPOSED SQUARE FOOTAGE > 7'-0" = 566 SQUARE FEET



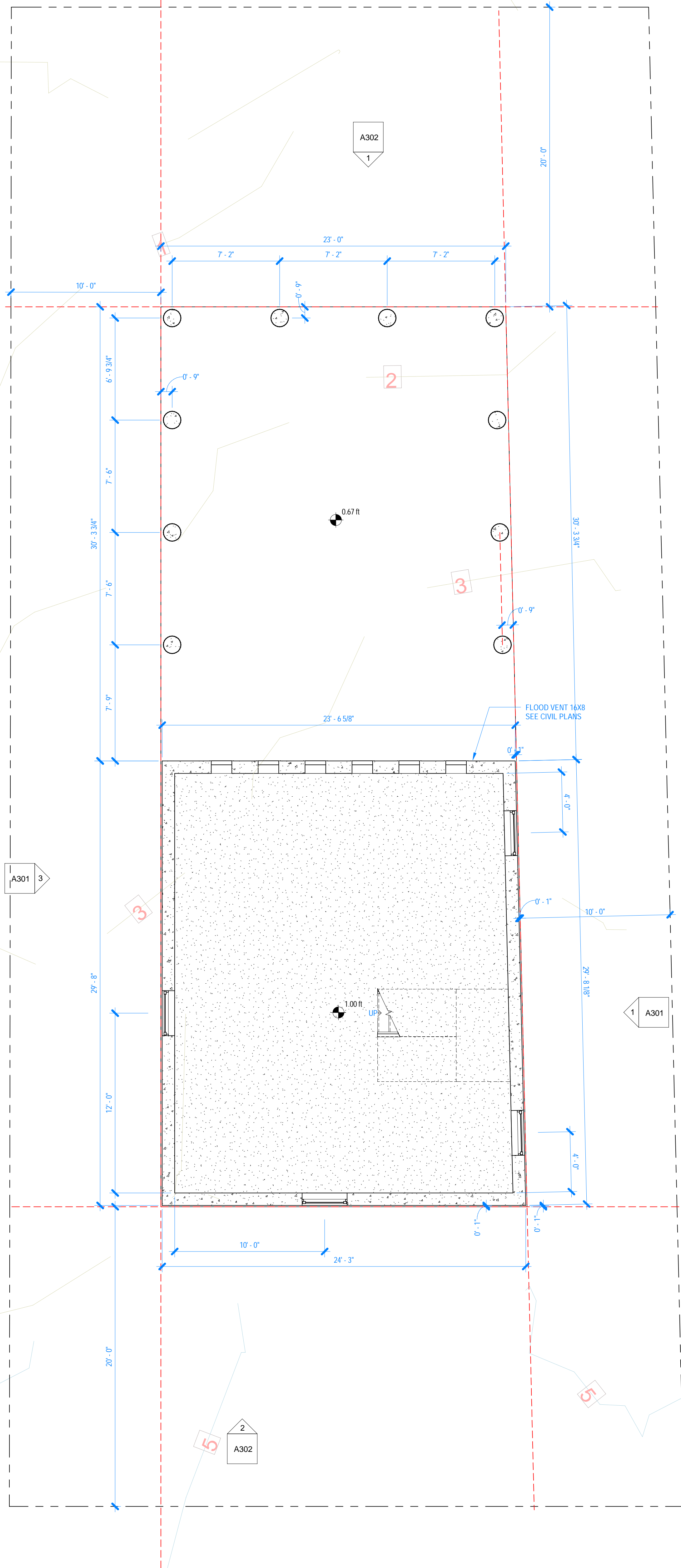
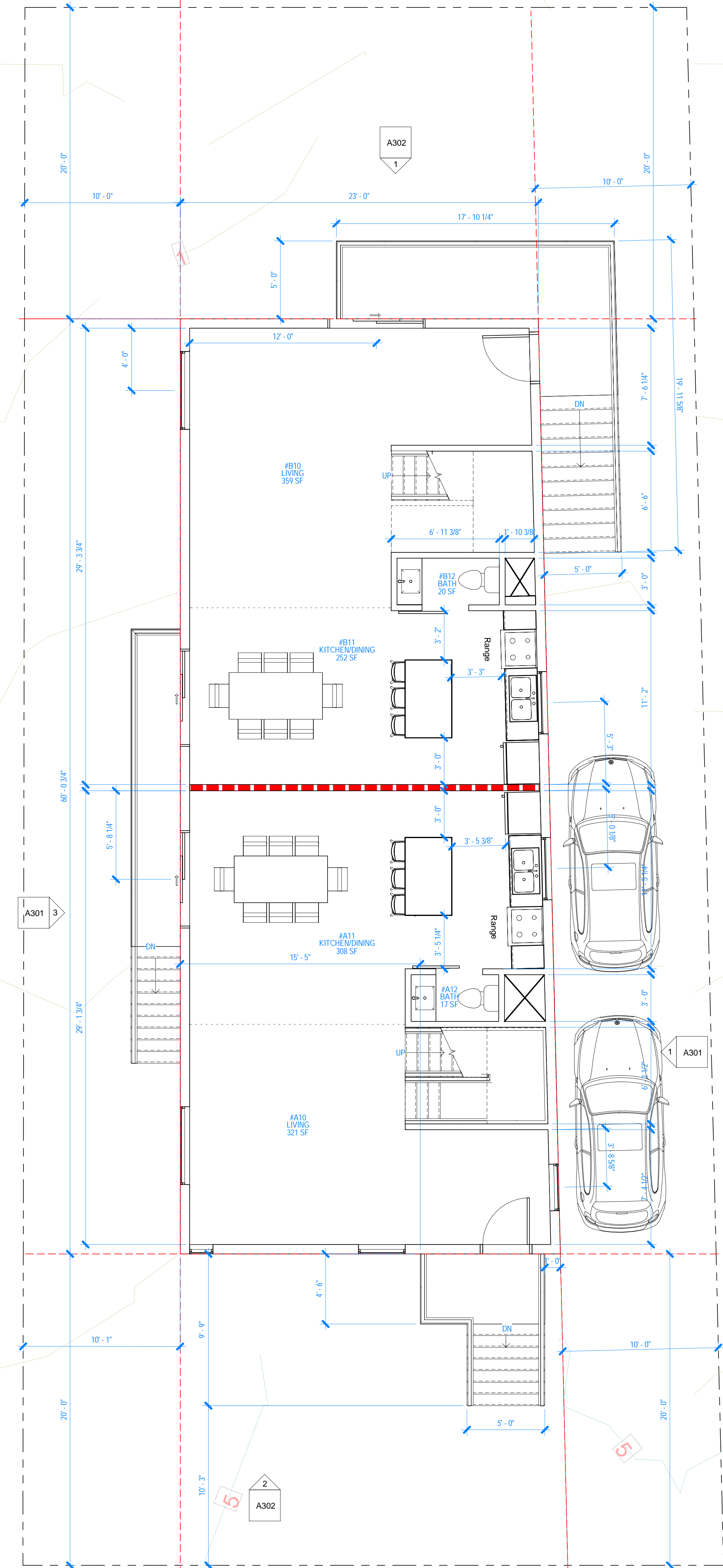
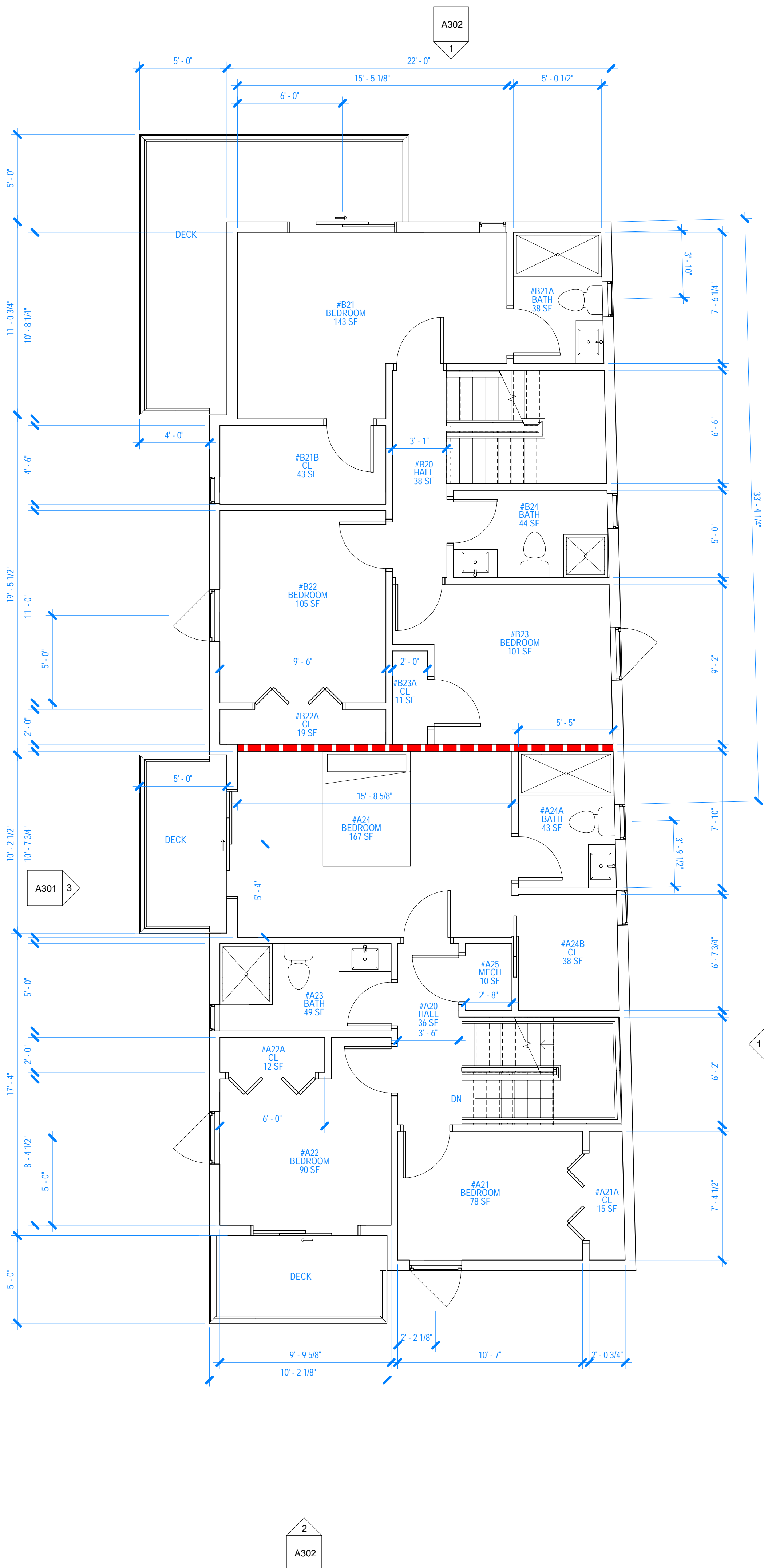
3 SECTION ATTIC  
1/2" = 1'-0"



1 LEVEL 2 - FLOOR AREA  
1/4" = 1'-0"



2 LEVEL ATTIC - FLOOR AREA  
1/4" = 1'-0"



1 LEVEL 2 FLOOR PLAN, PROPOSED  
1/4" = 1'-0"

2 LEVEL 1 FLOOR PLAN, PROPOSED  
1/4" = 1'-0"

3 LEVEL 0 FLOOR PLAN, PROPOSED  
1/4" = 1'-0"

103 THORNDIKE  
TOWNHOUSES  
103 THORNDIKE ST  
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1   | KEY PLAN    |      |

DRAWN BY  
CHECKED BY  
SHEET ISSUE DATE  
SCALE  
0 2'-0" 4'-0" 8'-0"  
SCALE: 1/4" = 1'-0"

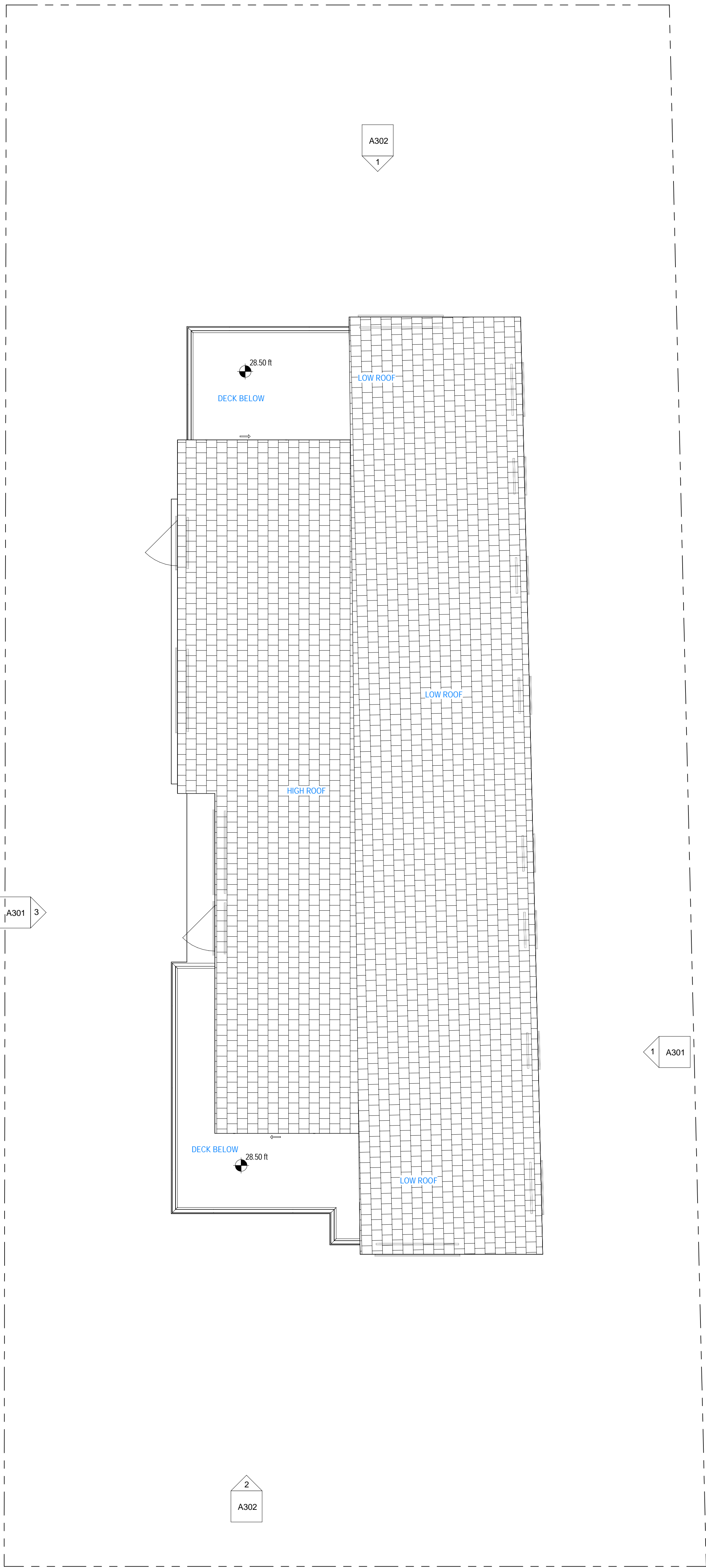
Author  
Checker  
09/17/24  
1/4" = 1'-0"

SHEET NAME  
FLOOR  
PLANS

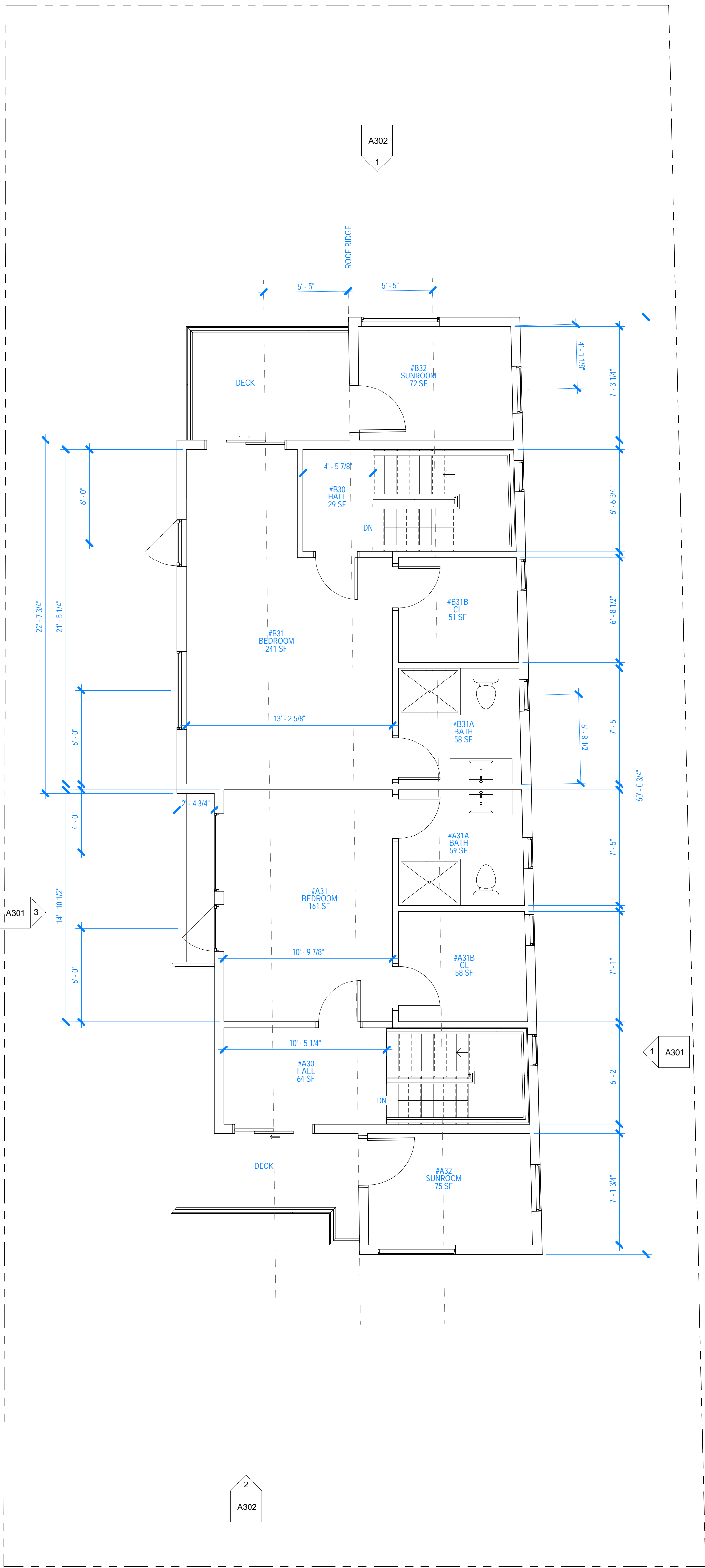
DRAFT  
A201

OWNER  
103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

ARCHITECT  
HEXI, LLC  
34 COMMERCE WAY  
SUITE B-255  
WOBURN, MA



2 LEVEL R FLOOR PLAN, PROPOSED  
1/4" = 1'-0"



1 LEVEL ATTIC FLOOR PLAN, PROPOSED  
1/4" = 1'-0"

103 THORNDIKE  
TOWNHOUSES

103 THORNDIKE ST  
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1   | KEY PLAN    |      |

DRAWN BY  
CHECKED BY  
SHEET ISSUE DATE  
SCALE

Author  
Checker  
09/17/24  
1/4" = 1'-0"

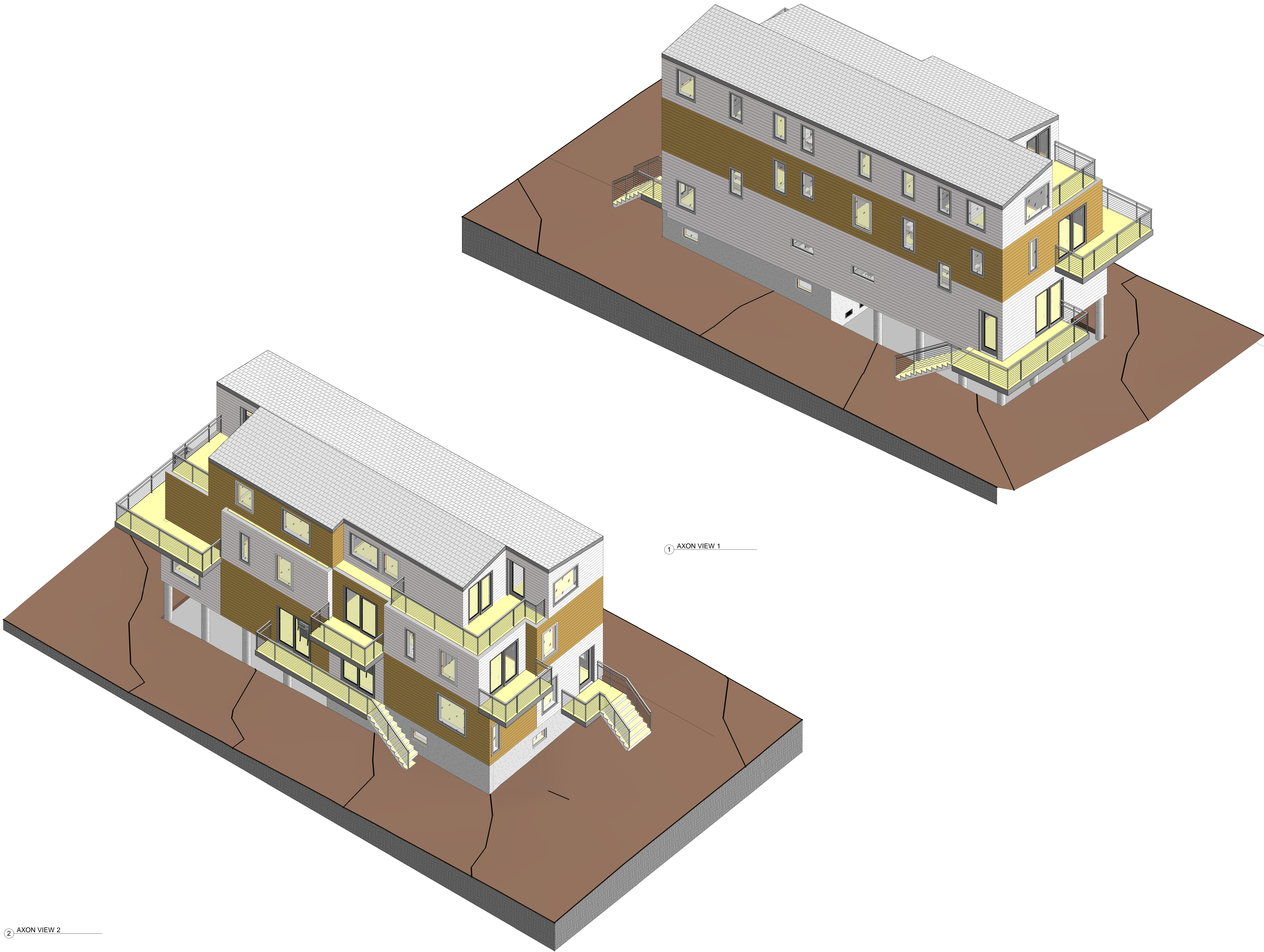
0 2'-0" 4'-0" 8'-0"  
SCALE: 1/4" = 1'-0"

SHEET NAME  
FLOOR  
PLANS

DRAFT  
A202

OWNER  
103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

ARCHITECT  
HEXI, LLC  
34 COMMERCE WAY  
SUITE B-255  
WOBURN, MA



1 AXON VIEW 1

2 AXON VIEW 2

103 THORNDIKE  
TOWNHOUSES  
103 THORNDIKE ST  
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1   | KEY PLAN    |      |

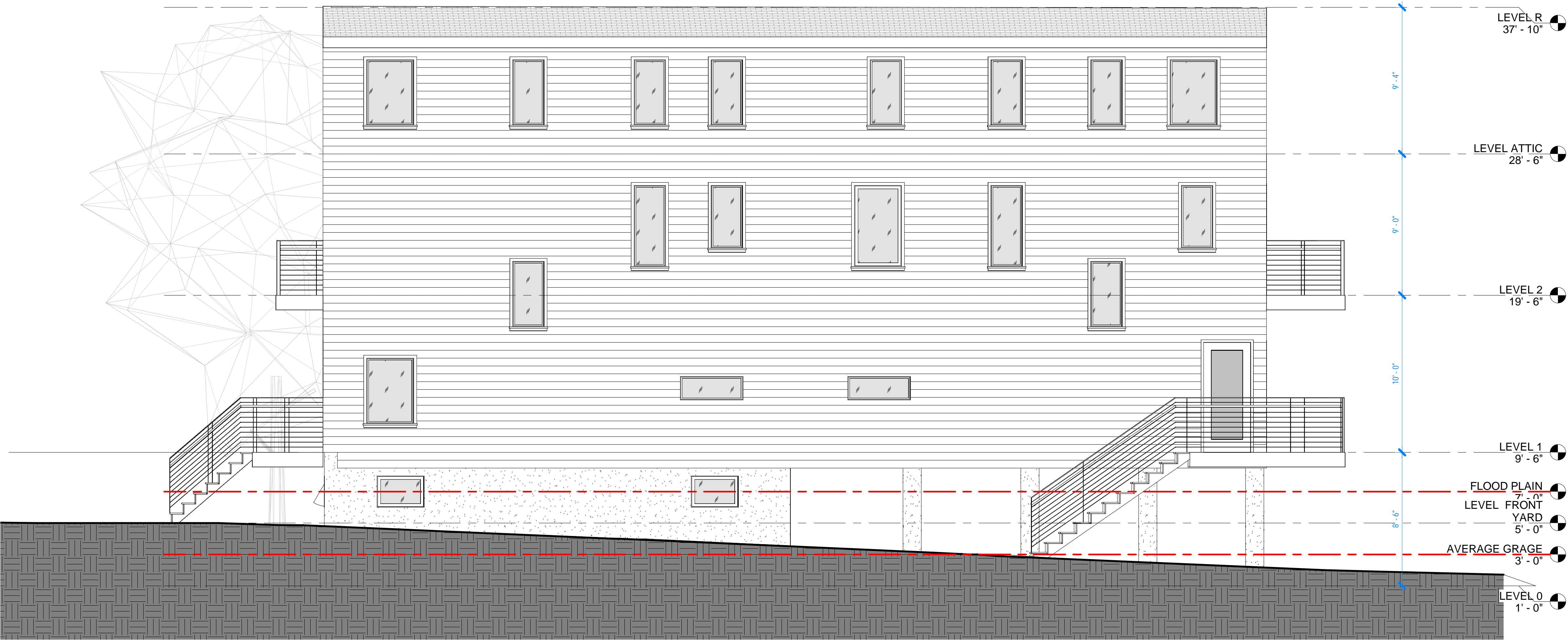
|                  |          |
|------------------|----------|
| DRAWN BY         | Author   |
| CHECKED BY       | Checker  |
| SHEET ISSUE DATE | 09/17/24 |
| SCALE            |          |

SHEET NAME  
RENDERINGS

**DRAFT**  
**A300**

OWNER  
103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

ARCHITECT  
HEXI, LLC  
34 COMMERCE WAY  
SUITE B-255  
WOBBURN, MA



① BUILDING ELEVATION EAST, PROPOSED  
1/4" = 1'-0"



③ BUILDING ELEVATION WEST, PROPOSED  
1/4" = 1'-0"

103 THORNDIKE  
TOWNHOUSES  
103 THORNDIKE ST  
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

| NO.      | DESCRIPTION | DATE |
|----------|-------------|------|
| KEY PLAN |             |      |

DRAWN BY  
CHECKED BY  
SHEET ISSUE DATE  
SCALE

Author  
Checker  
09/17/24  
1/4" = 1'-0"

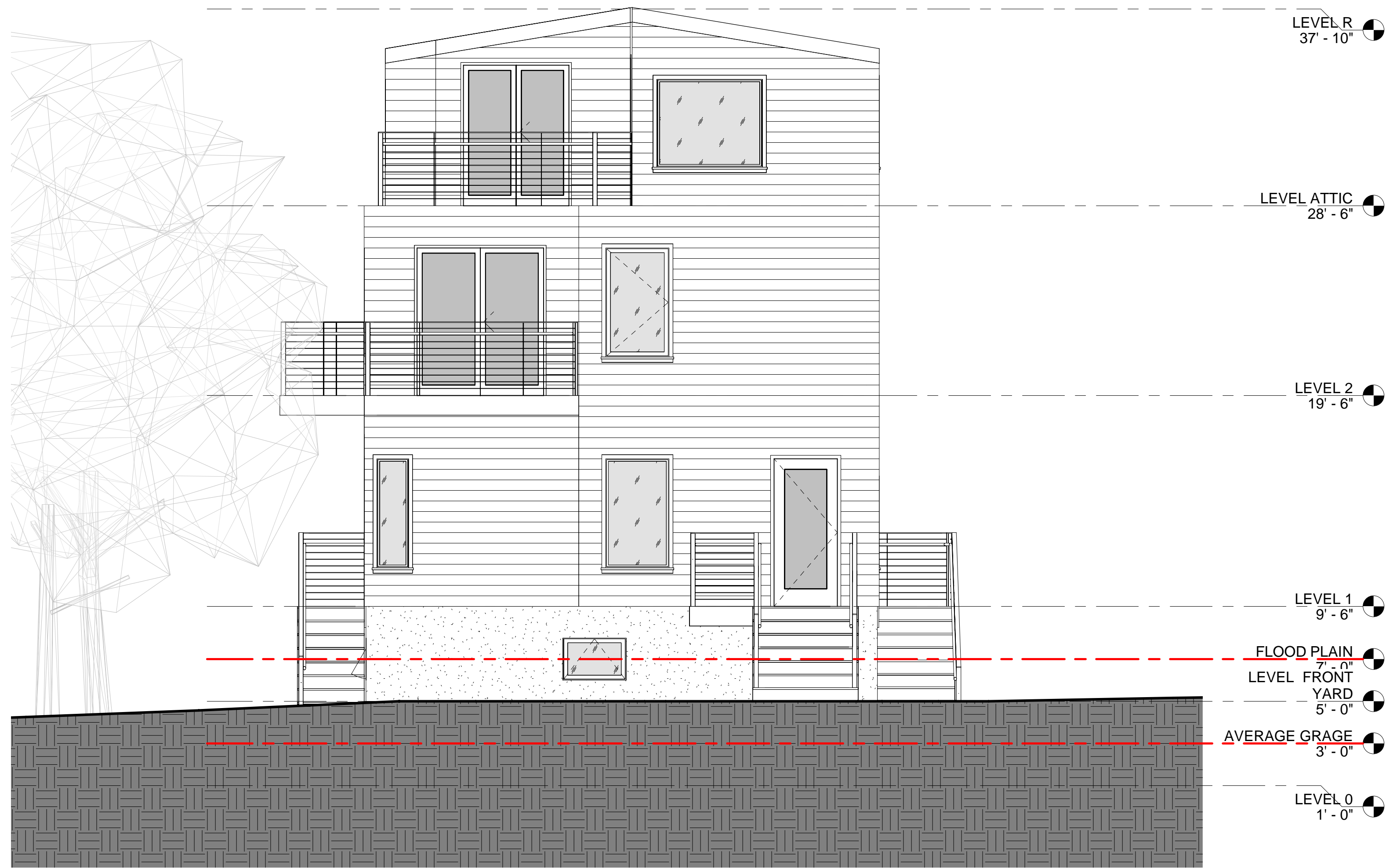
0 2'-0" 4'-0" 8'-0"  
SCALE: 1/4" = 1'-0"

SHEET NAME  
ELEVATIONS

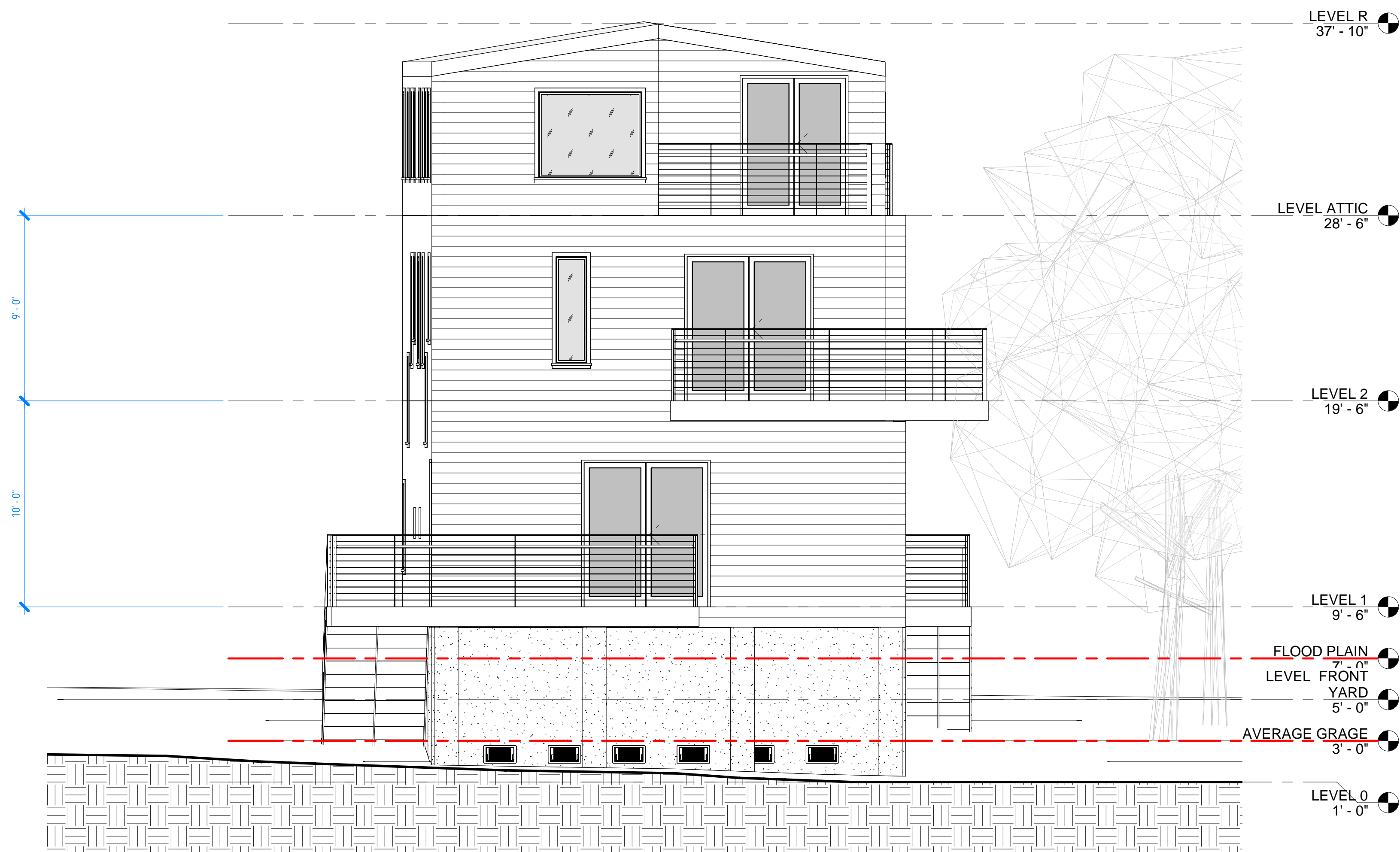
DRAFT  
A301

OWNER  
103 THORNDIKE LLC  
103 THORNDIKE ST  
ARLINGTON, MA

ARCHITECT  
HEXI, LLC  
34 COMMERCE WAY  
SUITE B-255  
WOBURN, MA



② BUILDING ELEVATION SOUTH, PROPOSED  
1/4" = 1'-0"



① BUILDING ELEVATION NORTH, PROPOSED  
1/4" = 1'-0"

103 THORNDIKE  
TOWNHOUSES

103 THORNDIKE ST  
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

| NO.      | DESCRIPTION | DATE |
|----------|-------------|------|
| KEY PLAN |             |      |

DRAWN BY  
CHECKED BY  
SHEET ISSUE DATE  
SCALE

Author  
Checker  
09/17/24  
1/4" = 1'-0"

0 2'-0" 4'-0" 8'-0"  
SCALE: 1/4" = 1'-0"

SHEET NAME  
ELEVATIONS

DRAFT  
A302

**BLATMAN, BOBROWSKI, HAVERTY & SILVERSTEIN, LLC**  
— ATTORNEYS AT LAW —

9 DAMONMILL SQUARE, SUITE 4A4  
CONCORD, MA 01742  
PHONE 978.371.2226  
FAX 978.371.2296

CHRISTOPHER J. ALPHEN, ESQ.  
Chris@bbhslaw.net

May 9, 2025

Via ViewPoint Cloud  
Town of Arlington  
Board of Zoning Appeals  
51 Grove St  
Arlington, MA 02476

RE: Special Permit/Variance Applications  
APSE Investment LLC – 103 Thorndike Street, Arlington, Massachusetts

Dear Board:

Please be informed that this office represents APSE Investment LLC, a Massachusetts Limited Liability Company with an address of 15 Emerald Street, Newton, Massachusetts (the “Petitioner”). Please accept this letter as a supplement to the Applicant’s Special Permit / Variance Application.

During the first public hearing, the Board had questions and comments regarding the Petitioner’s proposal. The purpose of this letter is to address the Board’s comments.

**Compliance with Section 6.1.10.A.**

Section 6.1.10.A provides, in part, that “*Side yards used for parking shall have a vegetated buffer when abutting a lot used for residential purposes, to minimize visual impacts.*” Accordingly, the plan has been updated to provide a one-foot vegetated buffer. It shall be a vegetated wall in order to screen the parking.

### **Calculation of Landscaped and Usable Open Space**

The plan has been revised to provide additional open and landscape space. The open space and landscape space calculations have been updated to comply with the definition provided by the Bylaw and Section 5.3.22.C. The proposal provides 30.95% (1,335 square feet) of usable open space and 14.48% (634 square feet) of landscape open space. Accordingly, the proposal provides open space in compliance with Section 5.3.22.C.

### **Windows on East Elevations**

In response to the Board's comments, the windows on the east façade of the dwelling have been reorganized. The windows are now more aligned and provide a cohesive look.

### **Top Floor Building Code Compliance**

The Petitioner reviewed the building code standards regarding the proposed top floor. The proposal is compliant with the Building Code. Of course, as a condition of approval, the dwelling will be required to meet the building code. A section diagram has been added to the plan set.

### **FEMA Regulations / Stories**

The Bylaw states in part that “[a] basement shall be deemed a story when its ceiling is **4 feet 6 inches or more above the finished grade.**” The first level elevation is more than 6 inches above average grade. It is higher in order to conform with FEMA requirement. The first-floor elevation needs to be at least one (1) foot higher than FEMA flood plain.<sup>1</sup>

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<sup>1</sup> Applicable FEMA regulations: 1.FEMA - The National Flood Insurance Program (NFIP) Technical Bulletins provide guidance for complying with the NFIP's building performance requirements contained in Title 44 of the U.S. Code of Federal Regulations at Section 60.3 Floodplain Management Criteria for Flood-prone Areas. The bulletins help state and local officials interpret the NFIP regulations and are also useful resources for homeowners, insurance agents, building professionals, and designers. - See Section C 1-3, The FEPA also refer to Technical ASCE 24  
2. International Building Code (IBC) – Section 1612.1 – 1612.5  
<https://www.ecfr.gov/current/title-44/chapter-I/subchapter-B/part-60/subpart-A/section-60.3>

## **Variance Criteria**

The Board requested an additional explanation on how the proposal meets the criteria for a variance. As noted, the existing dwelling is a legal pre-existing nonconforming structure. Section 8.1.1. of the Bylaw along with G.L. ch. 40A, § 6 permits the reconstruction of pre-existing nonconforming structures with the issuance of a special permit.

However, Section 8.1.1. does not apply to when the reconstruction “*increase[s] the nonconforming nature of said structure.*” Because the proposal arguably creates two new nonconformities the Petitioner requires two variances. See *Deadrick v. Zoning Bd. Appeals of Chatham*, 85 Mass.App.Ct. 539 (2014).

The Petitioner requires the following variances:

- 1. Section 5.4.2.A. provides a maximum height of two and half (2.5) stories in the R2 Zoning District. The project contains three and half (3.5) stories; and**
- 2. Section 5.4.2.A. provides a maximum lot coverage of thirty-five (35%) percent. The project has proposed lot coverage of fifty-six and four tenths (56.4%) percent. Accordingly, the Petitioner required a variance pursuant to Section 3.2.2.D. and G.L. c. 40A, § 10.**

The Petitioner meets the requirements for a variance as detailed below.

**A. A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise to the petitioner or appellant**

The proposal meets the compliant with the maximum height requirement of thirty-five (35) feet. However, the Bylaw also provides that dwellings may not exceed two and half (2.5) stories.

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3. ASEC 24-14 – America Society of Civil Engineer Technical Bulletin on Flood Resistant Design and Construction which is adopted by the FEMA Technical Bulletins. See attached.

4. MGL Chapter 131, Section 40 and 310 CMR 10.00: Wetland Protection Act Regulations. See subsection 10.57 Land Subject to Flood. Under this section, the regulations prohibit lost of flood storage that the new structures have to be elevated so that the proposed building will be uptake any flood storage volume on the site.

The Bylaw states in part that “[a] basement shall be deemed a story when its ceiling is 4 feet 6 inches or more above the finished grade.” The first level elevation is more than 6 inches above average grade in order to meet FEMA regulations. The first-floor elevation needs to be at least one (1) foot higher than FEMA flood plain.

With a literal enforcement of the Bylaw, the Petitioner would be required to construct a much shorter dwelling to meet both the Bylaw and FEMA regulations.

The removal of the existing dwelling and construction of the new building will eliminate existing front and side yard setback nonconformities. A grant of a variance in this circumstance would forever eliminate the existing setback conformities. As the Supreme Judicial Court made clear, “the ultimate objectives of zoning would be furthered by the eventual elimination of nonconformities in most cases.” *Bransford v. Zoning Bd. of Appeals of Edgartown*, 444 Mass. 852, 853, 832 N.E.2d 639 (2005). The Proposed Project will be more conforming for zoning purposes but for the story and lot coverage requirements.

The existing dwelling is dilapidated, and it would be uneconomic to renovate. Without the right to reconstruct the building there would be substantial hardship placed on the petitioner.

With a literal enforcement of the Bylaw the Petitioner would be left with the nonconforming dwelling which size and conditions are not harmonized with the surrounding neighborhood. The Proposed Project will improve the Property and provide a benefit to the neighborhood.

**B. The hardship is owing to circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structure but not affecting generally the zoning district in which it is located.**

A hardship exists due to the unique shape and soil conditions of the Property. The Property is located in a flood district. Development requires the Petitioner to comply with FEMA

regulations. The first-floor elevation needs to be at least one (1) foot higher than FEMA flood plain. Under the Bylaw, the first floor-elevation cannot be considered a story when “its ceiling is 4 feet 6 inches or more above the finished grade.”

The Property also abuts municipal recreational land to its rear and westerly side. There is ample open space and recreational space in the immediate area. Due to the long narrow shape of the lot, it would be difficult to design a dwelling that meets all the dimensional requirements. The Proposed Project only does not meet the maximum story and lot coverage requirements. The size of the Proposed Dwelling is consistent with other dwellings in the immediate neighborhood.

**C. Desirable relief may be granted without either: (1) Substantial detriment to the public good; or (2) Nullifying or substantially derogating from the intent or purpose of this Ordinance.**

Permitting the removal of a pre-existing nonconforming structure and allowing the Proposed Project will not be substantial detriment to the public good or derogate from the intent or purpose of the Bylaw. The Petitioner proposes a well-designed site plan that will replace an outdated nonconforming structure.

The purpose of the lot coverage requirements is to prevent overcrowding. Here the proposal eliminates existing setback nonconformities and abuts recreational land. Accordingly, in this unique circumstance, a variance can be issued without nullifying or derogating from the intent and purpose of the Bylaw.

The Proposed Project is an improvement to the neighborhood and fits comfortably with the surrounding area. The nonconforming stories and lot coverage will have a de minis impact on the surrounding area.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Christopher J. Alphen', with a stylized flourish at the end.

Christopher J. Alphen, Esq.



## Town of Arlington, Massachusetts

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### Docket #3850 67 Foster Street

#### Summary:

OpenGov Link: <https://arlingtonma.portal.opengov.com/records/210188>

#### ATTACHMENTS:

| Type                 | File Name                                  | Description                            |
|----------------------|--|--|
| ▢ Reference Material | 3850_67_Foster_St_legal_ad.pdf             | 3850 67 Foster St legal ad             |
| ▢ Reference Material | 3850_67_Foster_St_abutter_list_and_map.pdf | 3850 67 Foster St abutter list and map |
| ▢ Reference Material | 3850_67_Foster_St_Application_SP-25-10.pdf | 3850 67 Foster St Application SP-25-10 |
| ▢ Reference Material | 3850_67_Foster_St_Plot_Plan_-_Survey.pdf   | 3850 67 Foster St Plot Plan - Survey   |
| ▢ Reference Material | Back_yard_view.jpg                         | 3850 67 Foster Back yard view          |
| ▢ Reference Material | Fence_with_baluster.jpg                    | 3850 67 Foster Fence with baluster     |

**ORDER DETAILS**

PREVIEW FOR AD NUMBER LNEO02977280

**Order Number:**  
LNEO0297728  
**External Order #:**  
11317569  
**Order Status:**  
Approved  
**Classification:**  
Public Notices  
**Package:**  
General Package  
**Total payment:**  
227.36  
**Payment Type:**  
Account Billed  
**User ID:**  
L0023538  
**External User ID:**  
670931

**ACCOUNT INFORMATION**

Arlington Board Of Appeals  
51 Grove St  
Arlington, MA 02476-4602  
781-316-3396  
cralston@town.arlington.ma.us  
Arlington Board Of Appeals  
Contract ID:

**TRANSACTION REPORT**

**Date**  
May 13, 2025 3:17:02 PM EDT  
**Amount:**  
227.36

**ADDITIONAL OPTIONS**

1 Affidavit

**SCHEDULE FOR AD NUMBER LNEO02977280**

May 22, 2025  
The Advocate & Star (Arlington - Winchester)  
May 29, 2025  
The Advocate & Star (Arlington - Winchester)

67 Foster Street  
**LEGAL NOTICE**  
**DOCKET NO 3850**

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by Christopher Decilio, on May 1, 2025, a petition seeking to alter their property located at 67 Foster Street - Block Plan 030-0001-0012.0. The said petition would require a Special Permit under 3.3.4 B of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", on Tuesday, June 10, 2025, at 7:30 P.M. as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL: <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar>, and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website before the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>. Please direct any questions to: ZBA@town.arlington.ma.us

Christian Klein, RA, Chair  
Zoning Board of Appeals

May 22, 29 2025  
LNEO0297728

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[Contact Us](#)


**CERTIFIED ABUTTERS LIST**
**Date:** May 1, 2025

**Subject Property Addresses:** 65-67 FOSTER ST, ARLINGTON, MA

**Subject Property ID:** 30-1-12

**Search Distance:** 300 Feet - Zoning

| Parcel ID:       | Property Location              | Owner 1                        | Owner 2                        | MAILING ADDRESS     |                   |                  |           |              |
|------------------|--------------------------------|--------------------------------|--------------------------------|---------------------|-------------------|------------------|-----------|--------------|
|                  |                                |                                |                                | Mailing Address 1   | Mailing Address 2 | Town             | State     | Zip          |
| 31.A-6-45        | 45 ADAMS ST UNIT 45            | MULLER LAURENCE Y              | DONG ANQI                      | 45 ADAMS ST         |                   | ARLINGTON        | MA        | 02474        |
| 31.A-6-47        | 47 ADAMS ST UNIT 47            | BAGGETT TRAVIS & MERIDALE      |                                | 47 ADAMS ST         |                   | ARLINGTON        | MA        | 02474        |
| 31.A-6-66        | 66 FOSTER ST UNIT 66           | BONACCI BRENDA                 |                                | 66 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 31.A-6-68        | 68 FOSTER ST UNIT 68           | ASLANIAN ARA M & SHARON M      |                                | 38 DOW AVE          |                   | ARLINGTON        | MA        | 02476        |
| 40.A-7-197       | 197 BROADWAY UNIT 197          | FORMWORKS LLC                  |                                | 197 BROADWAY        |                   | ARLINGTON        | MA        | 02474        |
| 40.A-7-199.1     | 199 BROADWAY UNIT 1            | BEECHER JOEL T                 |                                | 199 BROADWAY UNIT 1 |                   | ARLINGTON        | MA        | 02476        |
| 40.A-7-201       | 201 BROADWAY UNIT 201          | COSTELLO ROBERT D              |                                | 137A FRANKLIN ST    |                   | ARLINGTON        | MA        | 02474        |
| 40.A-7-199       | 199 BROADWAY UNIT 199          | F&G MASTER LLC                 |                                | 415 MT AUBURN ST    |                   | WATERTOWN        | MA        | 02472        |
| 40.A-7-199.2     | 199 BROADWAY UNIT 2            | LOKARE OMKAR R                 | VISWANATHAN RAMYA              | 199 BROADWAY UNIT 2 |                   | ARLINGTON        | MA        | 02474        |
| 31.A-6-62        | 62 FOSTER ST UNIT 62           | ATANASOVA MARIYA               |                                | 62 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 31.A-6-64        | 64 FOSTER ST UNIT 64           | PROUDFOOT LESLIE HEATHER       | SHAFFER MICHAEL TOOLEY         | 64 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 40.A-6-6.1       | 6 RAWSON RD UNIT 1             | ERICSON STEVEN J               | ERICSON SOLVEIG G              | 6 RAWSON RD #1      |                   | ARLINGTON        | MA        | 02474        |
| 40.A-6-6.2       | 6 RAWSON RD UNIT 2             | CHOU MARY                      |                                | 6 RAWSON RD #2      |                   | ARLINGTON        | MA        | 02474        |
| 31.A-6-206       | 206--208 BROADWAY UNIT 206     | LAUCLAN JENNIFER               | LAUCLAN CAITLIN BROWN          | 206 BROADWAY        |                   | ARLINGTON        | MA        | 02474        |
| 31.A-6-208       | 206--208 BROADWAY UNIT 208     | GRINDAL TODD A                 | ROTOLO PAMPA                   | 208 BROADWAY        |                   | ARLINGTON        | MA        | 02474        |
| <b>31.A-6-65</b> | <b>65--67 ADAMS ST UNIT 65</b> | <b>MCDONOUGH MATTHEW C</b>     | <b>MCDONOUGH MARIA</b>         | <b>65 ADAMS ST</b>  |                   | <b>ARLINGTON</b> | <b>MA</b> | <b>02474</b> |
| 31.A-6-67        | 65--67 ADAMS ST UNIT 67        | HARISIADES JAMIE               | RUSSO LEON                     | 67 ADAMS ST         |                   | ARLINGTON        | MA        | 02474        |
| 30.A-1-73        | 73--75 FOSTER ST UNIT 73       | STORR RACHEL A                 | LEBLANC ADAM P                 | 73 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 30.A-1-75        | 73--75 FOSTER ST UNIT 75       | YUN ANDREW K                   | MELKIN DEBORAH G               | 75 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 31.A-6-54        | 54--56 FOSTER ST UNIT 54       | KIM RHAN                       | GUTHRIE JOHN                   | 54 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 31.A-6-56        | 54--56 FOSTER ST UNIT 56       | PERRINO CARMEN MARIA           | KIM ALBERT EUSIK               | 56 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 31.A-5-38        | 38 FOSTER ST UNIT 38           | MATTINGLY PETER JOSEPH         | MATTINGLY AMANDA JOHANSEN      | 38 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 31.A-5-40        | 40 FOSTER ST UNIT 40           | MALTZAN DAVID                  | GARIMELLA MANASWINI            | 40 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 30.A-1-57        | 57--59 FOSTER ST UNIT 57       | MACHIELSE BERNARDUS            | MACHIELSE LEONZA L             | 57 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 30.A-1-59        | 57--59 FOSTER ST UNIT 59       | EDAKKUNNI GOPAKUMAR CHOORAKKOT | WARRIER THULASI                | 59 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 31.A-6-50        | 50 FOSTER ST UNIT 50           | DOUGLASS NERIA                 | GARCIA ALVARO                  | 50 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 31.A-6-52        | 52 FOSTER ST UNIT 52           | LIU KUIKUI                     | LU JIAYAO                      | 52 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 30.A-1-77        | 77--79 FOSTER ST UNIT 77       | KREINDLER GABRIEL              | NENEIU GABRIELA                | 77 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 30.A-1-79        | 77--79 FOSTER ST UNIT 79       | REEDER ERIC                    | NG LIENNE                      | 79 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 31.A-6-58        | 58--60 FOSTER ST UNIT 58       | BRENNAN CAROLE                 |                                | 58 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 31.A-6-60        | 58--60 FOSTER ST UNIT 60       | BRENNAN CAROLE & CYNTHIA       | GLINES CHRISTINE & BRENNAN STE | 58 FOSTER ST        |                   | ARLINGTON        | MA        | 02474        |
| 29-1-8           | 41 FOSTER ST                   | TOWN OF ARLINGTON SCHOOL       | EAST JUNIOR HIGH SCHOOL        | 730 MASS AVE        |                   | ARLINGTON        | MA        | 02476        |
| 30-1-2           | 196--198 BROADWAY              | TRINGALI LYNDA M & CHRISTOPHER |                                | 196 BROADWAY        |                   | ARLINGTON        | MA        | 02474        |
| 30-1-3           | 174--182 BROADWAY              | ROGARIS PETER J/TRUSTEE        | J.P. REALTY TRUST              | 80 RICHMOND ROAD    |                   | BELMONT          | MA        | 02478        |

**CERTIFIED ABUTTERS LIST**

Date: May 1, 2025

Subject Property Addresses: 65-67 FOSTER ST, ARLINGTON, MA

Subject Property ID: 30-1-12

Search Distance: 300 Feet - Zoning

|            |                   |                                 |                                |                            | MAILING ADDRESS   |           |       |       |
|------------|-------------------|---------------------------------|--------------------------------|----------------------------|-------------------|-----------|-------|-------|
| Parcel ID: | Property Location | Owner 1                         | Owner 2                        | Mailing Address 1          | Mailing Address 2 | Town      | State | Zip   |
| 30-1-4     | 70--72 TUFTS ST   | APP ZACHARY                     |                                | 68 LEXINGTON AVE           |                   | CAMBRIDGE | MA    | 02138 |
| 30-1-5.A   | 66 TUFTS ST       | YUAN LIANG                      |                                | 66 TUFTS ST                |                   | ARLINGTON | MA    | 02474 |
| 30-1-5.B   | 68 TUFTS ST       | BERENBAUM MARISA JOY            | CANAS MIGUEL EDUARDO           | 68 TUFTS ST                |                   | ARLINGTON | MA    | 02474 |
| 30-1-6     | 62--64 TUFTS ST   | CRESCITELLI ANTHONY             |                                | 231 OAKLAND AVENUE         |                   | ARLINGTON | MA    | 02476 |
| 30-1-7     | 58--60 TUFTS ST   | POULAKIDAS CHARLES D            |                                | 14 WINDSOR CIRCLE          |                   | WOBURN    | MA    | 01801 |
| 30-1-8     | 54 TUFTS ST       | SOFRONAS JEAN D & NANCY A       |                                | 54 TUFTS ST                |                   | ARLINGTON | MA    | 02474 |
| 30-1-9     | 52 TUFTS ST       | SOFRONAS JEAN D & PETER I       | SOFRONAS NANCY A               | 54 TUFTS ST                |                   | ARLINGTON | MA    | 02474 |
| 30-1-11    | 61--63 FOSTER ST  | DAVIES JOHN A JR & KIMBERLY A   |                                | 61 FOSTER ST               |                   | ARLINGTON | MA    | 02474 |
| 30-1-12    | 65--67 FOSTER ST  | DECILIO CHRISTOPHER             |                                | 67 FOSTER ST               |                   | ARLINGTON | MA    | 02474 |
| 30-1-13    | 69--71 FOSTER ST  | SASSO VIRGINIA C                | LIFE ESTATE                    | 69 FOSTER ST               |                   | ARLINGTON | MA    | 02474 |
| 30-4-1.A   | 170 BROADWAY      | CARRIG ROBERT & NANCY JANE      | MURPHY REAL ESTATE HOLDINGS LL | C/O RENZI BULGER GROUP LLC | PO BOX 750057     | ARLINGTON | MA    | 02475 |
| 30-4-4     | 78 BATES RD       | CONNORS JOSEPH M & JOAN L/      | LIFE ESTATE                    | 78 BATES ROAD              |                   | ARLINGTON | MA    | 02474 |
| 30-4-5     | 74 BATES RD       | MAHONEY TIMOTHY F-EILEEN M      | TRUSTEES/MAHONEY TRUST         | 74 BATES RD                |                   | ARLINGTON | MA    | 02474 |
| 30-4-6     | 70 BATES RD       | ATLAS ELEANOR S/ TRUSTEE        | ELEANOR S ATLAS 2025 REVOCABLE | 37 SOUTH ST                |                   | FREEMONT  | MA    | 02474 |
| 30-4-7     | 66 BATES RD       | BOLGER ELIZABETH                |                                | 66 BATES RD                |                   | ARLINGTON | MA    | 02474 |
| 30-4-8     | 62 BATES RD       | SWASEY JAMES T/JULIE D          |                                | 62 BATES RD                |                   | ARLINGTON | MA    | 02474 |
| 30-4-9     | 58 BATES RD       | YONTAR TIMUR K                  | KAZNICKI LOIS W                | 58 BATES RD                |                   | ARLINGTON | MA    | 02474 |
| 30-4-12    | 47 TUFTS ST       | BASSO TODD D & ARITA ANN S/ TRS | TUFTS BASSO TRUST              | 47 TUFTS STREET            |                   | ARLINGTON | MA    | 02474 |
| 30-4-13    | 51 TUFTS ST       | ASLANIAN JOHN JOSEPH            |                                | 51 TUFTS STREET            |                   | ARLINGTON | MA    | 02474 |
| 30-4-14    | 55 TUFTS ST       | DAGAN ALON & LIAT               |                                | 55 TUFTS ST                |                   | ARLINGTON | MA    | 02474 |
| 30-4-15    | 59 TUFTS ST       | MURPHY JEREMIAH/ TRUSTEE        | JEREMIAH MURPHY REVOCABLE TR   | 59 TUFTS STREET            |                   | ARLINGTON | MA    | 02474 |
| 30-4-16    | 63 TUFTS ST       | VILLANDRY ROSEMARIE T ETAL/ TRS | NEW 63 TUFTS STREET REALTY TRU | 63 TUFTS ST                |                   | ARLINGTON | MA    | 02474 |
| 30-4-17    | 67 TUFTS ST       | SHAW ZACHARY D                  |                                | 67 TUFTS STREET            |                   | ARLINGTON | MA    | 02474 |
| 30-4-18    | 71 TUFTS ST       | FITZGERALD JOHN/MCCLURE MARY    |                                | 71 TUFTS ST                |                   | ARLINGTON | MA    | 02474 |
| 30-4-19    | 75 TUFTS ST       | LEI TING &                      | KANG XIAO                      | 75 TUFTS ST                |                   | ARLINGTON | MA    | 02474 |
| 30-4-20    | 79 TUFTS ST       | HO PETER K & ANNA Y/ TRUSTEES   | HO REALTY TRUST                | 79 TUFTS ST                |                   | ARLINGTON | MA    | 02474 |
| 31-4-8     | 216 BROADWAY      | MANOLI ANGELA/TRUSTEE           | AH REALTY REVOCABLE TRUST      | 216 BROADWAY               |                   | ARLINGTON | MA    | 02474 |
| 31-4-9     | 56--58 ADAMS ST   | LORETI CHRISTOPHER P            |                                | 56 ADAMS ST                |                   | ARLINGTON | MA    | 02474 |
| 31-4-10    | 52--54 ADAMS ST   | HUANG LI XIAN                   | CHEN YIMOU                     | 54 ADAMS ST                |                   | ARLINGTON | MA    | 02474 |
| 31-4-11    | 48--50 ADAMS ST   | FRITSCH HOLGER &                | FRITSCH KRISTEN                | 50 ADAMS ST                |                   | ARLINGTON | MA    | 02474 |
| 31-4-12    | 44--46 ADAMS ST   | HASS KATHERINE                  | HASS CHRISTOPHER M             | 46 ADAMS ST                |                   | ARLINGTON | MA    | 02474 |
| 31-6-1     | 15 ANDREW ST      | CHAPMAN STEPHEN M               | HALE MARGARET E                | 15 ANDREW ST               |                   | ARLINGTON | MA    | 02474 |
| 31-6-3     | 49--51 ADAMS ST   | KLIONSKY M MATTHEW ETAL/ TRS    | M MATTHEW KLIONSKY TRUST       | 5416 S. UNIVERSITY AVE     |                   | CHICAGO   | IL    | 60615 |
| 31-6-4     | 53--55 ADAMS ST   | SILVEIRA MARIA DAS DORES/ TR    | MARIA DAS DORES SILVEIRA REVOC | 55 ADAMS ST                |                   | ARLINGTON | MA    | 02474 |

**CERTIFIED ABUTTERS LIST**

Date: May 1, 2025

Subject Property Addresses: 65-67 FOSTER ST, ARLINGTON, MA

Subject Property ID: 30-1-12

Search Distance: 300 Feet - Zoning

| Parcel ID: | Property Location | Owner 1                        | Owner 2                     | MAILING ADDRESS   |                   |           |       |       |
|------------|-------------------|--------------------------------|-----------------------------|-------------------|-------------------|-----------|-------|-------|
|            |                   |                                |                             | Mailing Address 1 | Mailing Address 2 | Town      | State | Zip   |
| 31-6-5     | 57--59 ADAMS ST   | DESTA WANDOSSEN A              | AYALEW YALEMZEWED           | 59 ADAMS ST       |                   | ARLINGTON | MA    | 02474 |
| 31-6-6     | 61--63 ADAMS ST   | TANG DEBBIE WAH ETAL/ TRUSTEES | WAH FAMILY LIVING TRUST     | 63 ADAMS ST       |                   | ARLINGTON | MA    | 02474 |
| 31-6-9     | 202--204 BROADWAY | GOLDEN ANDREW M/ TRUSTEE       | WILLIAM P MEEHAN 2018 TRUST | 204 BROADWAY      |                   | ARLINGTON | MA    | 02474 |
| 31-6-15    | 46--48 FOSTER ST  | ADAMSON JULIE T &              | WALKER SCOTT C              | 46 FOSTER ST      |                   | ARLINGTON | MA    | 02474 |
| 40-6-9     | 203--207 BROADWAY | BOUBOULIS MICHAEL TRUSTEE      | CHIOS REALTY TRUST          | 195 BROADWAY      |                   | ARLINGTON | MA    | 02474 |
| 40-6-10    | 209--211 BROADWAY | SALHI BRAHIM                   |                             | 209 BROADWAY      |                   | ARLINGTON | MA    | 02474 |
| 40-7-6     | 177--181 BROADWAY | EAST ARLINGTON REALTY LLC      |                             | 177 BROADWAY      |                   | ARLINGTON | MA    | 02474 |
| 40-7-8     | 191 BROADWAY      | 191 BROADWAY LLC               |                             | 191 BROADWAY      |                   | ARLINGTON | MA    | 02474 |
| 40-7-9     | 195 BROADWAY      | BOUBOULIS JAMES & STEFANOS     | TRS/195 BROADWAY REALTY TR  | 195 BROADWAY      |                   | ARLINGTON | MA    | 02474 |

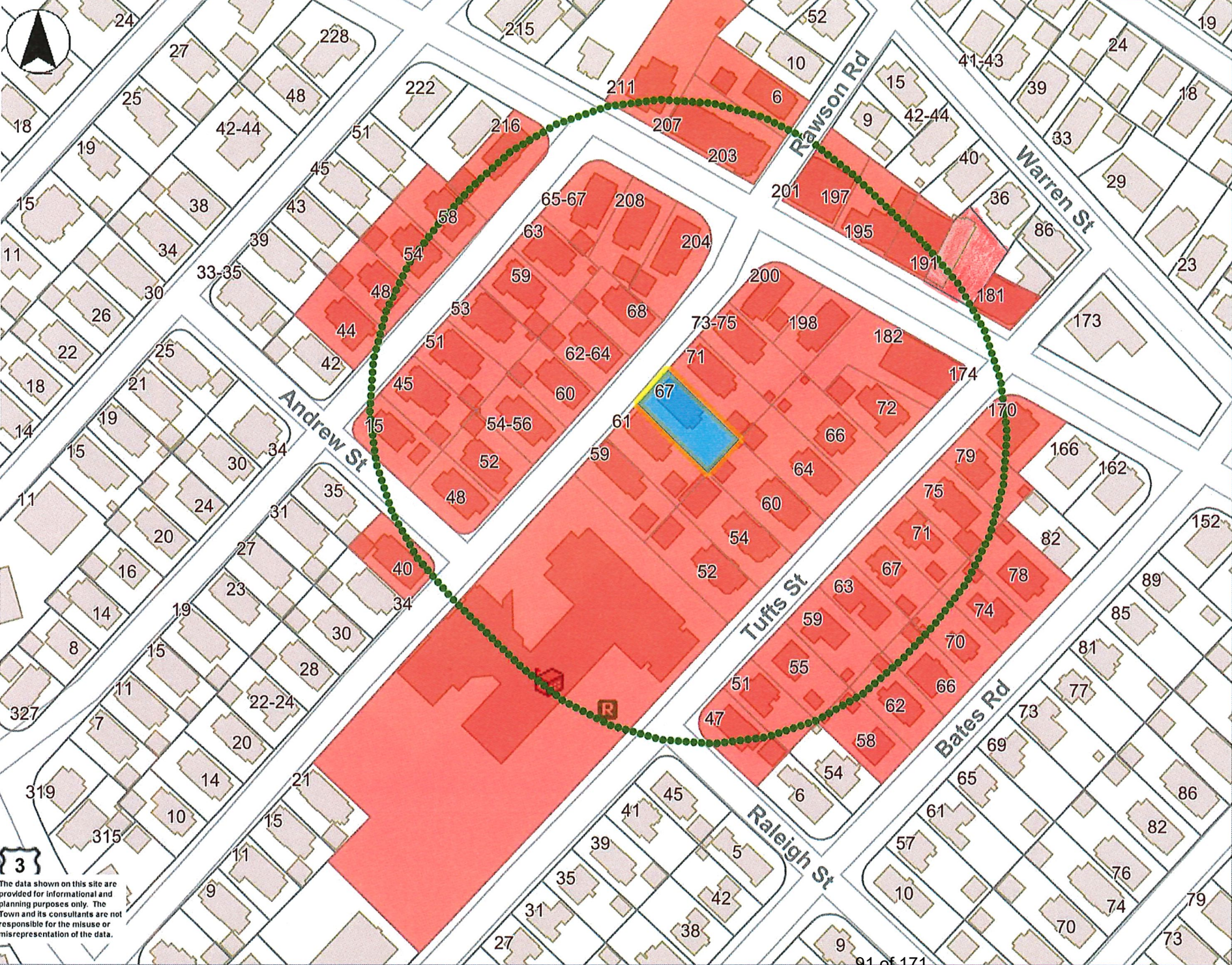


The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.

Town of Arlington  
Office of the Board of Assessors  
730 Massachusetts Ave  
Arlington, MA 02476  
P: 781.316.3050  
E: assessors@town.arlington.ma.us



- Places by Category
- Police Station
  - Fire Station
  - School
  - Library
  - Public Works
  - Recreation - Facilities
  - Recreation - Fields Cc
  - Recreation - Fields Cc
  - Open Space: Conserv
  - Open Space - Minuter
  - Open Space - Labels
  - Open Space
  - Town, State, or
  - Other Town Ow
  - MA Highways
  - Interstate
  - US Highway
  - Numbered Rout
  - Abutting Towns
  - Town Boundary
  - Parcels
  - Buildings
  - Cemetery - Roads
  - Road1
  - Road2
  - Road3
  - Road4
  - Pavement Markings
  - Impervious Surface - I
  - Street
  - Sidewalk
  - Street Island
  - Driveway
  - Parking Lot
  - Bike Path
  - Roads - For Large Sc
  - Roads - For Small Sc
  - Major Road
  - Local Road
  - Master Plan Base Map
  - Water Line
  - Water Body



**3**

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



## SP-25-10

Special Use Permit

Application (ZBA)

Status: Active

Submitted On: 4/30/2025

## Primary Location

67 FOSTER ST  
Arlington, MA 02474


## Owner

DECILIO CHRISTOPHER  
67 FOSTER ST ARLINGTON, MA  
02474

## Applicant

 CHRISTOPHER DECILIO  
 781-643-5003  
 christopherd3@gmail.com  
 67 FOSTER STREET  
ARLINGTON, MA 02474

## Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district  for which the application is made or is so designated elsewhere in the Zoning Bylaw. \*\*\*Please LIST BYLAW(S)\*\*\*\*

I am applying for a special permit under Section 3.3 of the bylaws, for adding a 1-foot baluster topper on top of a 6-foot privacy fence (7 feet total) for a 16 foot section along the border of my back yard. The fence is intended to provide privacy between the neighboring yard, which is rather unsightly, and will replace an aluminum non-privacy fence which is currently in place. The additional foot (the baluster) will provide partial privacy, but is intended more to offer a visually pleasing presentation, as it both decorative and will match the baluster appearance of the fencing in the other borders of the yard and in deck railing.

Explain why the requested use is essential or desirable to the public convenience or welfare.\*

The fence's extra foot in height is a baluster top, intended to provide an aesthetically pleasing appearance to the yard, the adjoining neighbor's yard and to other neighbors with sightline to the fence.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\*

The section of fence will traverse 16 feet along the back yard. It does not affect traffic or pedestrians.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\*

The section fence will traverse 16 feet along the back yard. It will not affect any public water, drainage or sewer system, or any other municipal system. It will not affect health, safety or the general welfare.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\*

The fence does not fulfill any special regulations. It is simply for privacy and aesthetics.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\*

The fence's extra foot in height is a baluster top, intended to provide an aesthetically pleasing appearance. It is believed it will improve the character of the adjoining parcel, as well as other neighbors with sightline to the fence. It will not affect health.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\*

The fence's extra foot in height is a baluster top, intended to provide an aesthetically pleasing appearance. It is believed it will improve the character of the adjoining parcel, as well as other neighbors with sightline to the fence.

---

## Dimensional and Parking Information

### Present Use/Occupancy \*

This entire section is n/a. But this is a two-family home, with both units occupied

### Proposed Use/Occupancy \*

n/a - this special permit request is for a 16-foot section along the property's back yard border

Existing Number of Dwelling Units\*

0

Proposed Number of Dwelling Units\*

0

Existing Gross Floor Area (Sq. Ft.)\*

0

Proposed Gross Floor Area (Sq. Ft.)\*

0

Existing Lot Size (Sq. Ft.)\*

0

Proposed Lot Size (Sq. Ft.)\* ?

0

Minimum Lot Size required by Zoning\*

0

Existing Frontage (ft.)\*

0

Proposed Frontage (ft.)\*

0

Minimum Frontage required by Zoning\*

0

Existing Floor Area Ratio\*

0

Proposed Floor Area Ratio\*

0

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

0

Proposed Lot Coverage (%)\*

0

Max. Lot Coverage required by Zoning\*

0

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

0

Minimum Lot Area per Dwelling Unit required by Zoning\*

0

Existing Front Yard Depth (ft.)\*

0

Proposed Front Yard Depth (ft.)\*

0

Minimum Front Yard Depth required by Zoning\*

0

Existing SECOND Front Yard Depth (ft.)\* ?

0

Proposed SECOND Front Yard Depth (ft.)\* ?

0

Minimum SECOND Front Yard Depth required by Zoning\*

0

?

Existing Left Side Yard Depth (ft.)\* ?

0

Proposed Left Side Yard Depth (ft.)\* ?

0

Minimum Left Side Yard Depth required by Zoning\* ?

0

Existing Right Side Yard Depth (ft.)\* ?

0

Proposed Right Side Yard Depth (ft.)\* ?

0

Minimum Right Side Yard Depth required by Zoning\* ?

0

Existing Rear Yard Depth (ft.)\*

0

Proposed Rear Yard Depth (ft.)\*

0

Minimum Rear Yard Depth required by Zoning\*

0

Existing Height (stories)

0

Proposed Height (stories)\*

0

Maximum Height (stories) required by Zoning\*

0

Existing Height (ft.)\*

0

Proposed Height (ft.)\*

0

Maximum Height (ft.) required by Zoning\*

0

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

0

Proposed Landscaped Open Space (Sq. Ft.)\*

0

Existing Landscaped Open Space (% of GFA)\*

0

Proposed Landscaped Open Space (% of GFA)\*

0

Minimum Landscaped Open Space (% of GFA) required by Zoning\*

0

Existing Usable Open Space (Sq. Ft.)\*

0

Proposed Usable Open Space (Sq. Ft.)\*

0

Existing Usable Open Space (% of GFA)\* ?

0

Proposed Usable Open Space (% of GFA)\* ?

0

Minimum Usable Open Space required by Zoning\*

0

Existing Number of Parking Spaces\*

0

Proposed Number of Parking Spaces\*

0

Minimum Number of Parking Spaces required by Zoning\*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks \*

0

Minimum Parking Area Setbacks required by Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

0

Proposed Slope of proposed roof(s) (in. per ft.)\*

0

Minimum Slope of Proposed Roof(s) required by Zoning\*

0

Existing type of construction\*

0

Proposed type of construction\*

0

---

## Open Space Information

Existing Total Lot Area\*

0

Proposed Total Lot Area\*

0

Existing Open Space, Usable\*

0

Proposed Open Space, Usable\*

0

Existing Open Space, Landscaped\*

0

Proposed Open Space, Landscaped\*

0

---

## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area 

0

Basement or Cellar, Proposed Gross Floor Area

0

1st Floor, Existing Gross Floor Area

0

1st Floor, Proposed Gross Floor Area

0

2nd Floor, Existing Gross Floor Area

0

2nd Floor, Proposed Gross Floor Area

0

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies, Existing  
Gross Floor Area

0

All weather habitable porches and balconies, Proposed  
Gross Floor Area

0

Total Existing Gross Floor Area

0 

Total Proposed Gross Floor Area

0 

## APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.\*



Applicant's Signature\*



Christopher DeCilio

Apr 30, 2025

**NEW ENGLAND LAND SURVEY**  
**Professional Land Surveyors**

 **710 MAIN STREET**  
**N.Oxford, MA 01537**

**PHONE: (508) 987-0025**

**FAX: (508) 438-6604**

**REGISTRY S. MIDDLESEX**

MORTGAGE INSPECTION PLAN

NAME CHRISTOPHER DECILIO

LOCATION 65 FOSTER STREET

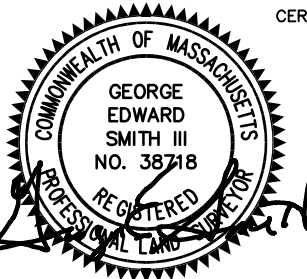
ARLINGTON, MA

SCALE 1"=30'

DATE 10/31/20

20MIP17009

BASED UPON DOCUMENTATION PROVIDED, REQUIRED MEASUREMENTS WERE MADE OF THE FRONTAGE AND BUILDING(S) SHOWN ON THIS MORTGAGE INSPECTION PLAN. IN OUR JUDGEMENT ALL VISIBLE EASEMENTS ARE SHOWN AND THERE ARE NO VIOLATIONS OF ZONING REQUIREMENTS REGARDING DWELLING STRUCTURES TO PROPERTY LINE OFFSETS (UNLESS OTHERWISE NOTED IN DRAWING BELOW). NOTE: NOT DEFINED ARE ABOVE GROUND POOLS, DRIVEWAYS, OR SHEDS WITH NO FOUNDATIONS, ETC. THIS IS A MORTGAGE INSPECTION PLAN; NOT AN INSTRUMENT SURVEY. DO NOT USE TO ERECT FENCES, OTHER BOUNDARY STRUCTURES, OR TO PLANT SHRUBS. LOCATION OF THE STRUCTURE(S) SHOWN HEREON IS EITHER IN COMPLIANCE WITH LOCAL ZONING FOR PROPERTY LINE OFFSET REQUIREMENTS, OR IS EXEMPT FROM VIOLATION ENFORCEMENT ACTION UNDER MASS. G.L. TITLE VII. CHAP. 40A, SEC. 7, UNLESS OTHERWISE NOTED. THIS CERTIFICATION IS NON-TRANSFERABLE. THE ABOVE CERTIFICATIONS ARE MADE WITH THE PROVISION THAT THE INFORMATION PROVIDED IS ACCURATE AND THAT THE MEASUREMENTS USED ARE ACCURATELY LOCATED IN RELATION TO THE PROPERTY LINES.



CERTIFY TO: LEADER BANK NA

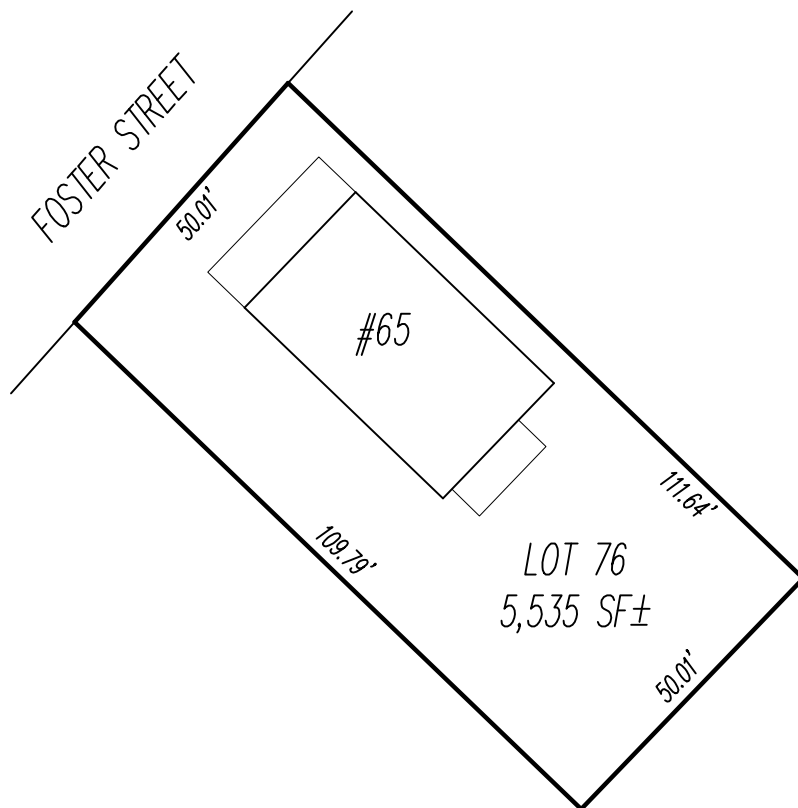
DEED REFERENCE: 70040/26

PLAN REFERENCE: 283/17

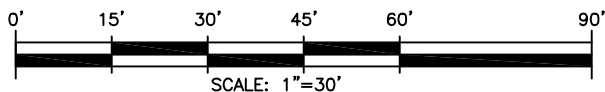
WE CERTIFY THAT THE BUILDING(S) ARE NOT WITHIN THE SPECIAL FLOOD HAZARD AREA. SEE FIRM:

25017C0417E DTD: 06/04/2010

FLOOD HAZARD ZONE HAS BEEN DETERMINED BY SCALE AND IS NOT NECESSARILY ACCURATE. UNTIL DEFINITIVE PLANS ARE ISSUED BY HUD AND/OR A VERTICAL CONTROL SURVEY IS PERFORMED, PRECISE ELEVATIONS CANNOT BE DETERMINED.



REQUESTED BY: HAGOPIAN LAW GROUP, LLC  
FIELD TEC: AB  
DRAWN BY: JRM  
CHECKED BY: GES  
FILE: 20MIP17009









## Town of Arlington, Massachusetts

---

### Docket #3851 208 Jason Street

#### Summary:

OpenGov Link: <https://arlingtonma.portal.opengov.com/records/210173>

#### ATTACHMENTS:

| Type                 | File Name  | Description                                  |
|----------------------|--|--|
| ▢ Reference Material | 3851_208_Jason_Street_legal_notice.pdf           | 3851 208 Jason Street legal notice           |
| ▢ Reference Material | 3851_208_Jason_Street_abutter_and_map.pdf        | 3851 208 Jason Street abutter and map        |
| ▢ Reference Material | 3852_208_Jason_Street_applicaton_V-25-5.pdf      | 3852 208 Jason Street applicaton V-25-5      |
| ▢ Reference Material | 3851_208_Jason_Street_plot_plan_and_drawings.pdf | 3851 208 Jason Street plot plan and drawings |

**ORDER DETAILS**

PREVIEW FOR AD NUMBER LNEO02977190

**Order Number:**  
LNEO0297719  
**External Order #:**  
11317456  
**Order Status:**  
Approved  
**Classification:**  
Public Notices  
**Package:**  
General Package  
**Total payment:**  
227.36  
**Payment Type:**  
Account Billed  
**User ID:**  
L0023538  
**External User ID:**  
670931

**ACCOUNT INFORMATION**

Arlington Board Of Appeals  
51 Grove St  
Arlington, MA 02476-4602  
781-316-3396  
cralston@town.arlington.ma.us  
Arlington Board Of Appeals  
Contract ID:

**TRANSACTION REPORT**

**Date**  
May 13, 2025 3:14:04 PM EDT  
**Amount:**  
227.36

**ADDITIONAL OPTIONS**

1 Affidavit

**SCHEDULE FOR AD NUMBER LNEO02977190**

May 22, 2025  
The Advocate & Star (Arlington - Winchester)  
May 29, 2025  
The Advocate & Star (Arlington - Winchester)

208 Jason Street  
**LEGAL NOTICE**  
**DOCKET NO 3851**

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by Natalia and Andi Marks, on May 1, 2025, a petition seeking to alter their property located at 208 Jason St - Block Plan 138.0-0002-0012.A. The said petition would require a Variance under 5.3.8 A and 5.4.2 A of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", on Tuesday, June 10, 2025, at 7:30 P.M. as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL: <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar>, and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website before the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>. Please direct any questions to: ZBA@town.arlington.ma.us

Christian Klein, RA, Chair  
Zoning Board of Appeals

Publication Dates  
LNEO0297719

[Privacy Policy](#) | [Terms of Service](#)

[Contact Us](#)


**CERTIFIED ABUTTERS LIST**
**Date:** May 2, 2025

**Subject Property Addresses:** 208 JASON ST & 0 LOT JASON ST, ARLINGTON, MA

**Subject Property ID:** 138-2-12.A & 138-2-13.A

**Search Distance:** 300 Feet - Zoning

| Parcel ID: | Property Location   | Owner 1                         | Owner 2                        | MAILING ADDRESS       |                   |            |       |       |
|------------|---------------------|---------------------------------|--------------------------------|-----------------------|-------------------|------------|-------|-------|
|            |                     |                                 |                                | Mailing Address 1     | Mailing Address 2 | Town       | State | Zip   |
| 135-1-2    | 53 SPRING ST        | ENOS NANCY J & JOHN M           |                                | 53 SPRING ST          |                   | ARLINGTON  | MA    | 02476 |
| 135-1-3.A  | 57 SPRING ST        | MOREHOUSE DAVID & JENNIFER      |                                | 57 SPRING ST          |                   | ARLINGTON  | MA    | 02476 |
| 135-1-5    | 5 MORTON RD         | LEE MARC JEREMY                 |                                | 5 MORTON RD           |                   | ARLINGTON  | MA    | 02476 |
| 135-1-6    | 9 MORTON RD         | GREGORIO ANTHONY J              | GREGORIO KATHARINE M           | 9 MORTON ROAD         |                   | ARLINGTON  | MA    | 02476 |
| 135-1-7    | 15 MORTON RD        | BERLINGHIERI MARIO A & JUDITH A | TRUSTEES/ MJB FAMILY TRUST     | 15 MORTON ROAD        |                   | ARLINGTON  | MA    | 02476 |
| 135-1-8    | 19 MORTON RD        | YELLIN TODD A                   | PALLADINO CORI                 | 19 MORTON ROAD        |                   | ARLINGTON  | MA    | 02476 |
| 135-1-9    | 23 MORTON RD        | JAMBRINA ANTONIO CABALLERO ETAL | TRS/ CABALLERO-ARLUNNO TRUST   | 23 MORTON RD          |                   | ARLINGTON  | MA    | 02476 |
| 135-1-10   | 27 MORTON RD        | HARRIS KRISTIN/ TRUSTEE         | KRISTIN HARRIS 2024 TRUST      | 27 MORTON RD          |                   | ARLINGTON  | MA    | 02476 |
| 138-1-7    | 183 JASON ST        | MARQUIS DONALD R & ELAINE G     |                                | 183 JASON ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-1-8    | 189 JASON ST        | HALL CHRISTOPHER E & JULIE E    |                                | 189 JASON ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-1-10   | 193 JASON ST        | BOSCO JOSEPH A & ELLEN L        |                                | 193 JASON ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-1-11   | 197 JASON ST        | MCKERSIE ROBERT B/ TRUSTEE      | ROBERT B MCKERSIE TRUST        | 197 JASON ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-1-12   | 201 JASON ST        | CONNOR PAUL A                   | CONNOR KATHERINE M             | 201 JASON STREET      |                   | ARLINGTON  | MA    | 02476 |
| 138-1-13.A | 205 JASON ST        | KING IAIN & MELISSA G           |                                | 205 JASON ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-1-14.A | 209 JASON ST        | SCHILLING PERRIN L TRUSTEE      | LAPLANTE FAMILY IRREVOCABLE TR | 209 JASON ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-1-15.A | 45 SPRING ST        | DAVIS NETTA L ETAL/ TRS         | RUBIN DAVIS FAMILY 2023 REVOCA | 45 SPRING ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-1-16.A | 49 SPRING ST        | HUNT HARRY H & SOPHIE           |                                | 49 SPRING ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-2-7    | 37 PLEASANT VIEW RD | DONATO RICHARD & NORMA/TRS      | DONATO FAMILY TRUST            | 37 PLEASANT VIEW RD   |                   | ARLINGTON  | MA    | 02476 |
| 138-2-9    | 45 PLEASANT VIEW RD | BERNICK DAVID N ETAL/ TRS       | 45 PLEASANT VIEW ROAD NOMINEE  | 45 PLEASANT VIEW RD   |                   | ARLINGTON  | MA    | 02476 |
| 138-2-11   | 53 PLEASANT VIEW RD | EARLEY CHARLES S                | EARLEY-MONAHAN RITA A          | 53 PLEASANT VIEW ROAD |                   | ARLINGTON  | MA    | 02476 |
| 138-2-12.A | 208 JASON ST        | MARKS NATALIA & ANDI            |                                | 208 JASON ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-2-13.A | 0-LOT JASON ST      | MARKS NATALIA & ANDI            |                                | 208 JASON ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-2-14.A | 200 JASON ST        | VATNICK DANIEL & HILLARY        |                                | 200 JASON ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-2-15.A | 196 JASON ST        | NOGARD CLAUDE/MAXINE O          |                                | 201 UNION AVE         |                   | BRIDGEPORT | PA    | 19405 |
| 138-2-16.A | 192 JASON ST        | PENTA PAUL & MARLENA            |                                | 192 JASON ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-2-17   | 188 JASON ST        | COMMONS ROBERT PAUL             | COMMONS DOROTHY                | 188 JASON ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-2-18   | 184 JASON ST        | SHEA JEFFREY & VALERIE          |                                | 184 JASON ST          |                   | ARLINGTON  | MA    | 02476 |
| 138-3-6    | 61 HILLSDALE RD     | CURREN DAVID B                  | CURREN MARIANNE G              | 61 HILLSDALE ROAD     |                   | ARLINGTON  | MA    | 02476 |
| 138-3-7    | 65 HILLSDALE RD     | DYNAN MARY ELIZABETH ETAL/ TRS  | RUTKOWSKI-DYNAN LIVING TRUST   | 65 HILLSDALE ROAD     |                   | ARLINGTON  | MA    | 02476 |
| 138-3-8    | 69 HILLSDALE RD     | MOHAPATRA ABHISEKH              | MISTRY MAANASI SUNIL           | 69 HILLSDALE RD       |                   | ARLINGTON  | MA    | 02476 |
| 138-3-9    | 75 HILLSDALE RD     | WREN CHRISTOPHER R              | WREN DONNA K                   | 75 HILLSDALE ROAD     |                   | ARLINGTON  | MA    | 02476 |
| 138-3-10.A | 79 HILLSDALE RD     | DEWING CHRISTOPHER & KATRINA    |                                | 79 HILLSDALE RD       |                   | ARLINGTON  | MA    | 02476 |
| 138-3-13   | 60 PLEASANT VIEW RD | HARRISON JAMIE ANNE             | HARRISON RANE ALEXANDER        | 60 PLEASANT VIEW RD   |                   | ARLINGTON  | MA    | 02476 |
| 138-3-14.A | 54 PLEASANT VIEW RD | MARSH CHRISTOPHER &             | MARSH NATALIE                  | 54 PLEASANT VIEW RD   |                   | ARLINGTON  | MA    | 02476 |
| 138-3-14.B | 21 SPRING ST        | BARR MARK                       | ABEL DEBORAH                   | 21 SPRING ST          |                   | ARLINGTON  | MA    | 02476 |

**CERTIFIED ABUTTERS LIST**

Date: May 2, 2025

Subject Property Addresses: 208 JASON ST &amp; 0 LOT JASON ST, ARLINGTON, MA

Subject Property ID: 138-2-12.A &amp; 138-2-13.A

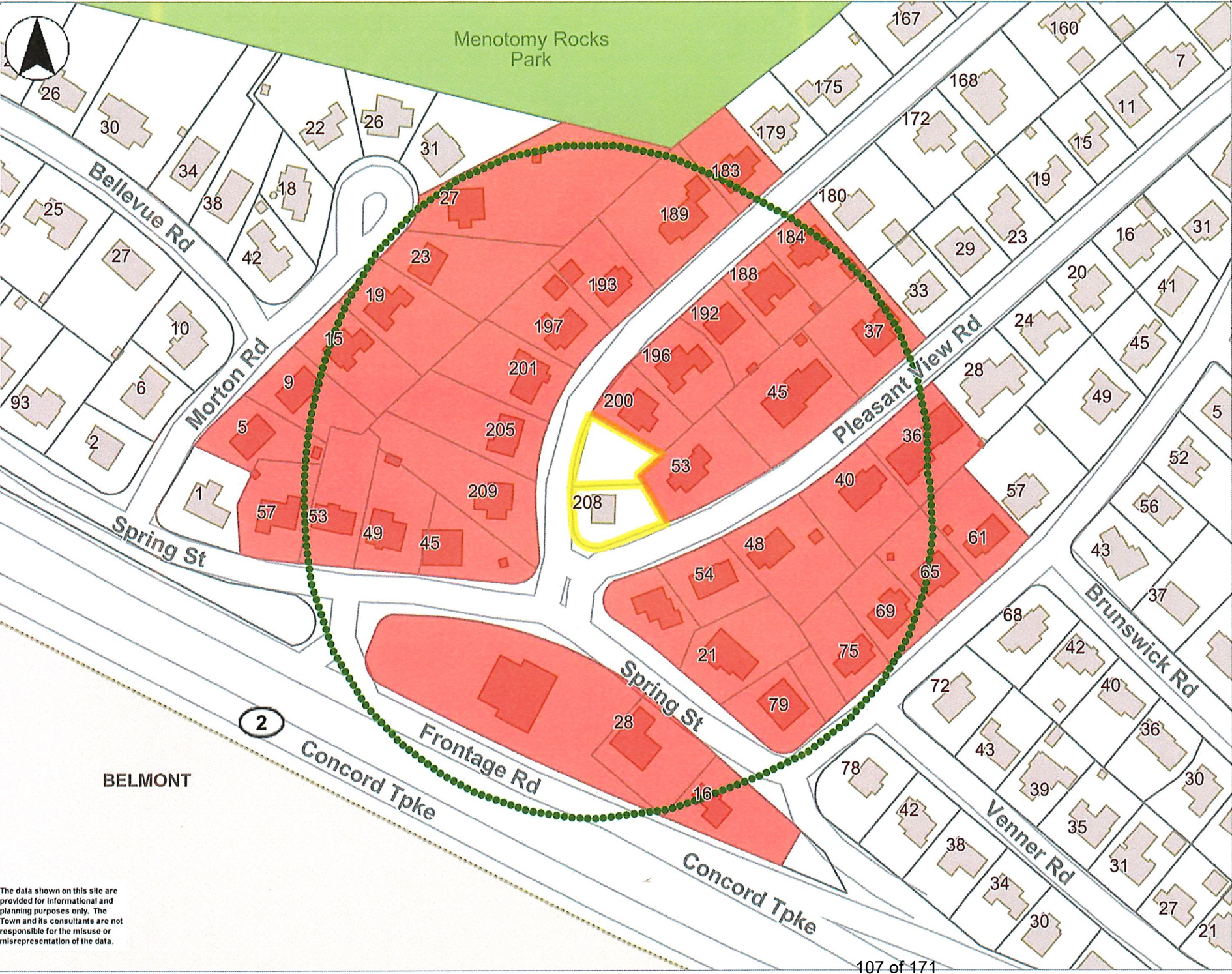
Search Distance: 300 Feet - Zoning

| Parcel ID: | Property Location   | Owner 1                        | Owner 2                     | MAILING ADDRESS           |                         |           |       |       |
|------------|---------------------|--------------------------------|-----------------------------|---------------------------|-------------------------|-----------|-------|-------|
|            |                     |                                |                             | Mailing Address 1         | Mailing Address 2       | Town      | State | Zip   |
| 138-3-15   | 48 PLEASANT VIEW RD | ROHTER CHRISTOPHER & SOFIA     |                             | 48 PLEASANT VIEW RD       |                         | ARLINGTON | MA    | 02476 |
| 138-3-17   | 40 PLEASANT VIEW RD | MURPHY PAUL W JR &             | HESCOTT BENJAMIN J          | 40 PLEASANT VIEW RD       |                         | ARLINGTON | MA    | 02476 |
| 138-3-18   | 36 PLEASANT VIEW RD | GISO JOCELYN PRESTON           | GISO BENJAMIN H             | 36 PLEASANT VIEW ROAD     |                         | ARLINGTON | MA    | 02476 |
| 138-8-1    | 0-LOT SPRING ST     | DEPT/CONSERVATION & RECREATION | WATER SUPPLY PROTECTION DIV | STATE TRANSPORTATION BLDG | 10 PARK PLZ<br>STE 6620 | BOSTON    | MA    | 02116 |
| 138-8-2.A  | 28 SPRING ST        | ROGERS AMY L                   |                             | 28 SPRING ST              |                         | ARLINGTON | MA    | 02476 |
| 138-8-3.A  | 16 SPRING ST        | CORRADO RICHARD F              | BARTELS ELIZABETH           | 16 SPRING STREET          |                         | ARLINGTON | MA    | 02476 |
| 138-3-9.A  | 0-LOT HILLSDALE RD  | WREN CHRISTOPHER R &           | WREN DONNA K                | 75 HILLSDALE ROAD         |                         | ARLINGTON | MA    | 02476 |



The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.

Town of Arlington  
Office of the Board of Assessors  
730 Massachusetts Ave  
Arlington, MA 02476  
P: 781.316.3050  
E: assessors@town.arlington.ma.us



- Places by Category
- Police Station
  - Fire Station
  - School
  - Library
  - Public Works
- Recreation - Facilities
- Recreation - Fields Cc
  - Recreation - Fields Cc
- Open Space: Conserv
- Open Space - Minuter
- Open Space - Labels
- Open Space
- Town, State, or Other Town Ow
- MA Highways
- Interstate
  - US Highway
  - Numbered Rout
- Abutting Towns
- Town Boundary
- Parcels
- Buildings
- Cemetery - Roads
- Road1
  - Road2
  - Road3
  - Road4
- Pavement Markings
- Impervious Surface - I
- Street
  - Sidewalk
  - Street Island
  - Driveway
  - Parking Lot
  - Bike Path
- Roads - For Large Sci
- Roads - For Small Sci
- Major Road
  - Local Road
- Master Plan Base Map
- Water Line
- Water Body

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



## V-25-5

### Variance Permit Application (ZBA)

Status: Active

Submitted On: 5/1/2025



### Primary Location

208 JASON ST  
Arlington, MA 02476

### Owner

MARKS NATALIA & ANDI  
JASON ST 208 ARLINGTON, MA  
02476

### Applicant

 ANDI MARKS  
 843-564-8610  
 andiafsar@hotmail.com  
 208 JASON ST  
Arlington, Massachusetts 02476-  
8024

## Variance Permit Criteria

Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.\*

This is a corner lot that abuts two merging streets (Pleasant View Rd. and Jason St). The overall shape is more triangular than rectangular, rendering design difficulties while attempting to contend with conforming setbacks. Additionally, the total elevation from high to low is in excess of 20' and primarily comprised of ledge/stone. The lot is currently nonconforming, with restrictions from surrounding abutments.

Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.\*

We (homeowners) are considering a "new construction" design layout that would be best served by maintaining the current setbacks of 20.8'. The shape and roadway restricts our design by-right (i.e., within the conforming 25' setback). In order to fit within the optimally buildable area of the parcel and minimize the costly removal of ledge/stone we ask for a variance. The southern portion of the property is where the house currently rests and we'd like to keep the home in this area, as the northern portion carries a stand of trees that we will not disturb. Also, in an effort to show that our nonconformity isn't unique (working from nearest and moving away from our property):

209, 200, 193, 192 etc. Jason Street

54, 40, 28, 16, etc. Pleasant View Road

are at, or less than, our 20.8' setback.

**Describe how desirable relief may be granted without substantial detriment to the public good.\***

Since the current setback is non-conforming and we're not asking for anything in excess, the new design would have no impact on any neighbor/pedestrian. We feel that the rebuild would render a far more attractive home and serve as a tasteful entry into Pleasant View Rd. and Jason St. We intend to maintain design characteristics that are currently found sprinkled throughout the neighborhood. The current home is a two-story and our intention is to take advantage of an additional half atop, totaling 2.5 stories.

**Describe how desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.\***

Our lot has a host of unique variables (e.g., sloped elevation, primarily ledge/stone, pinched/triangular in shape, etc.) that cannot be properly clarified within the by-laws. We're hoping that our preliminary "new construction" design concept shows our intent to pay tribute to the historical nature and character of Arlington, MA. Our intentions aren't to derogate from the Zoning Bylaw of the Town of Arlington, Massachusetts but we struggle to make best use of this hardened land.

State Law (MGL Chapter 40a, Section 10) requires that the Zoning Board of Appeals must find that all four (4) criteria are met in order to be authorized to grant a Variance. If any one of the standards is not met, the Board must deny the Variance.

---

## Dimensional and Parking Information

**Present Use/Occupancy \***

SINGLE FAMILY RESIDENTIAL

**Proposed Use/Occupancy \***

SINGLE FAMILY RESIDENTIAL

**Existing Number of Dwelling Units\***

1

**Proposed Number of Dwelling Units\***

1

**Existing Gross Floor Area (Sq. Ft.)\***

1300

**Proposed Gross Floor Area (Sq. Ft.)\***

3400

Existing Lot Size (Sq. Ft.)\*

9806

Proposed Lot Size (Sq. Ft.)\* 

9806

Minimum Lot Size required by Zoning\*

6000

Existing Frontage (ft.)\*

80

Proposed Frontage (ft.)\*

80

Minimum Frontage required by Zoning\*

60

Existing Floor Area Ratio\*

0.08

Proposed Floor Area Ratio\*

0.21

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

7.65

Proposed Lot Coverage (%)\*

20.89

Max. Lot Coverage required by Zoning\*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

9806

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

9806

Minimum Lot Area per Dwelling Unit required by Zoning\*

6000

Existing Front Yard Depth (ft.)\*

20.8

Proposed Front Yard Depth (ft.)\*

20.8

Minimum Front Yard Depth required by Zoning\*

25

Existing Left Side Yard Depth (ft.)\*

64

Proposed Left Side Yard Depth (ft.)\*

44

Minimum Left Side Yard Depth required by Zoning\*

9

Existing Right Side Yard Depth (ft.)\*

20.8

Proposed Right Side Yard Depth (ft.)\*

20.8

Minimum Right Side Yard Depth required by Zoning\*

25

Existing Rear Yard Depth (ft.)\*

32

Proposed Rear Yard Depth (ft.)\*

10

Minimum Rear Yard Depth required by Zoning\*

10

Existing Height (stories)

2

Proposed Height (stories)\*

2.5

Maximum Height (stories) required by Zoning\*

2.5

Existing Height (ft.)\*

27

Proposed Height (ft.)\*

35

Maximum Height (ft.) required by Zoning\*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

9056.39

Proposed Landscaped Open Space (Sq. Ft.)\*

7759.3

Existing Landscaped Open Space (% of GFA)\*

73.6

Proposed Landscaped Open Space (% of GFA)\*

63.7

Minimum Landscaped Open Space (% of GFA) required by Zoning\*

10

Existing Usable Open Space (Sq. Ft.)\*

7299.53

Proposed Usable Open Space (Sq. Ft.)\*

6251.11

Existing Usable Open Space (% of GFA)\*

75

Proposed Usable Open Space (% of GFA)\*

64

Minimum Usable Open Space required by Zoning\*

30

Existing Number of Parking Spaces\*

2

Proposed Number of Parking Spaces\*

2

Minimum Number of Parking Spaces required by Zoning\*

2

Existing Parking area setbacks

0

Proposed Parking area setbacks \*

0

Minimum Parking Area Setbacks required by Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

8.5

Proposed Slope of proposed roof(s) (in. per ft.)\*

12

Minimum Slope of Proposed Roof(s) required by Zoning\*

2

Existing type of construction\*

Type V/ Wood Frame

Proposed type of construction\*

Type V/ Wood Frame

## Open Space Information

Existing Total Lot Area\*

9806

Proposed Total Lot Area\*

9806

Existing Open Space, Usable\*

7299.53

Proposed Open Space, Usable\*

6251.11

Existing Open Space, Landscaped\*

9056.39

Proposed Open Space, Landscaped\*

7759.3

---

## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

0

Basement or Cellar, Proposed Gross Floor Area

874.43

1st Floor, Existing Gross Floor Area

593.7

1st Floor, Proposed Gross Floor Area

1032.26

2nd Floor, Existing Gross Floor Area

623.74

2nd Floor, Proposed Gross Floor Area

1747.35

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area 

0

Attic, Proposed Gross Floor Area

692.44

Parking Garages, Existing Gross Floor Area 

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies, Existing  
Gross Floor Area

63

All weather habitable porches and balconies, Proposed  
Gross Floor Area

371.11

Total Existing Gross Floor Area

1280.44



Total Proposed Gross Floor Area

4717.59



## APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.\*



Applicant's Signature\*

 Andi Marks  
May 1, 2025



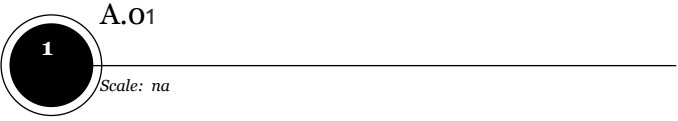
208 Jason Street View (east)



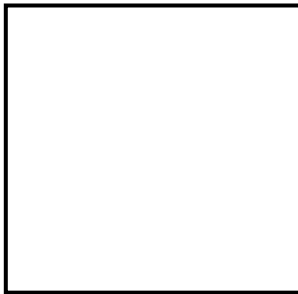
208 Jason Street View (southeast)



208 Jason Street Tax Block & Lot Map



ARCHITECTURAL  
MECHANICAL  
PLUMBING  
ELECTRICAL



CLIENT  
Andi Afsar  
NA

PROJECT  
208 Jason Street

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NH | MB

ISSUE  
MM.DD.YY

RE-ISSUE  
MM.DD.YY

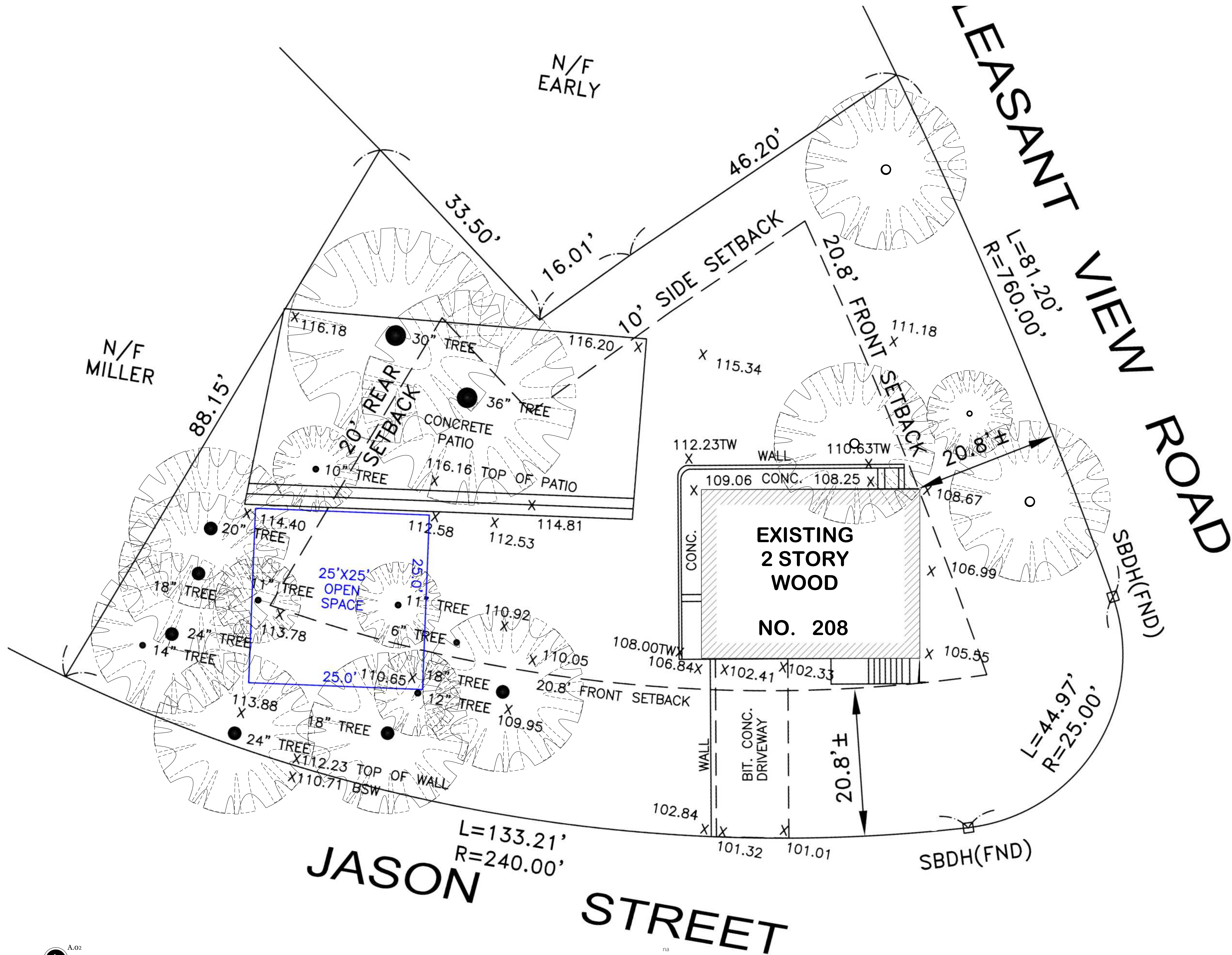
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Basement area finished o ft² (total o ft²)  
1st area o ft²  
2nd area o ft²  
3rd area finished o ft² (total o ft²)  
Total finished area o ft² (total o ft²)

A.01

Sheet: TITLE SHEET





CLIENT  
Andi Afsar  
NA

PROJECT  
208 Jason Street

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MM.DD.YY

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MM.DD.YY

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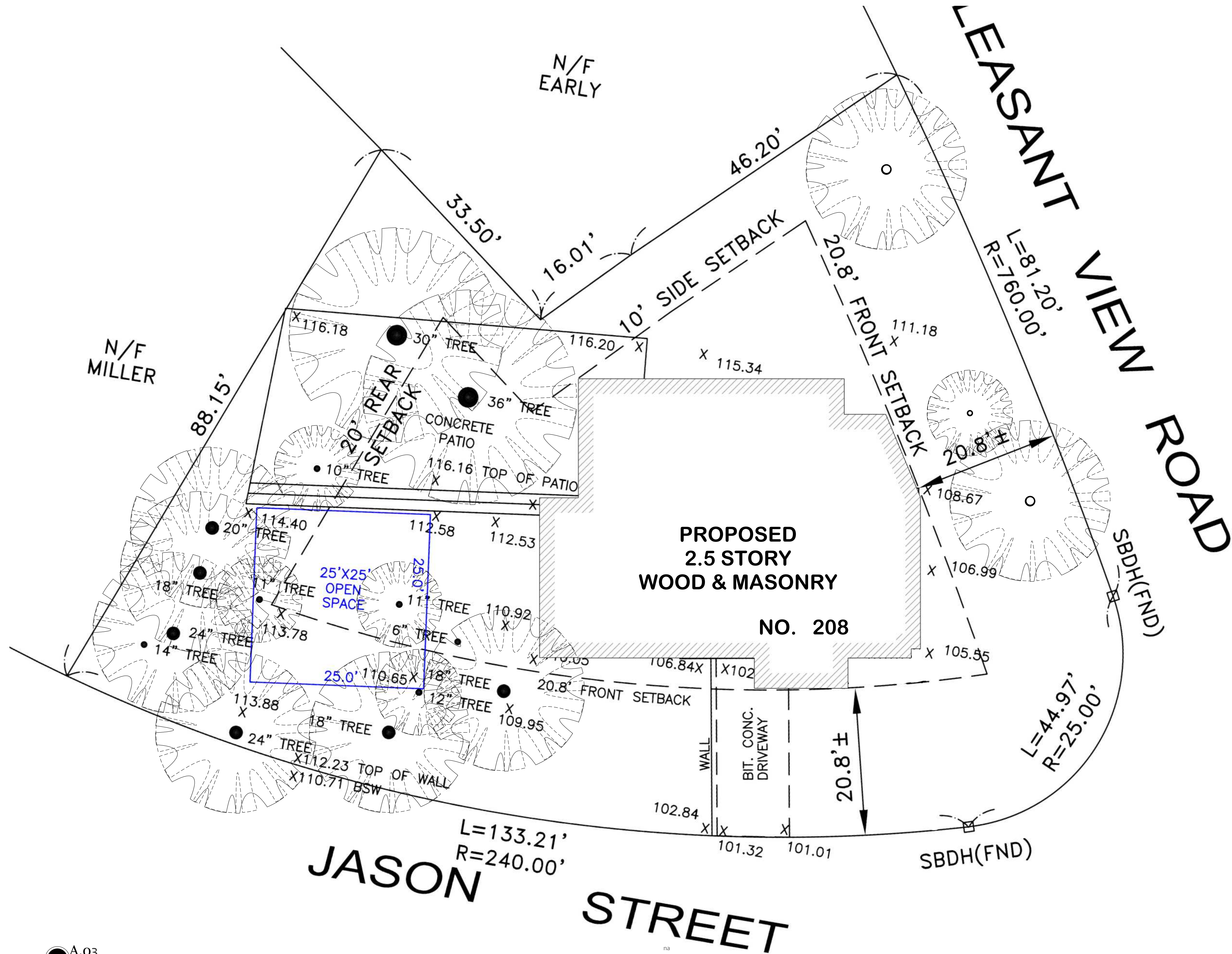
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Total finished area o ft² (total o ft²)

A.02

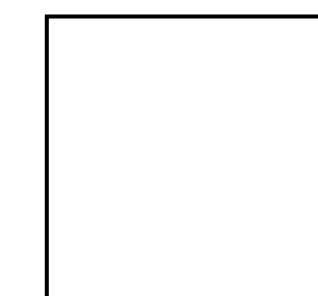
Sheet: Top/Existing

Radial®





1 A.03  
Scale: na



CLIENT  
Andi Afsar  
NA

PROJECT  
208 Jason Street

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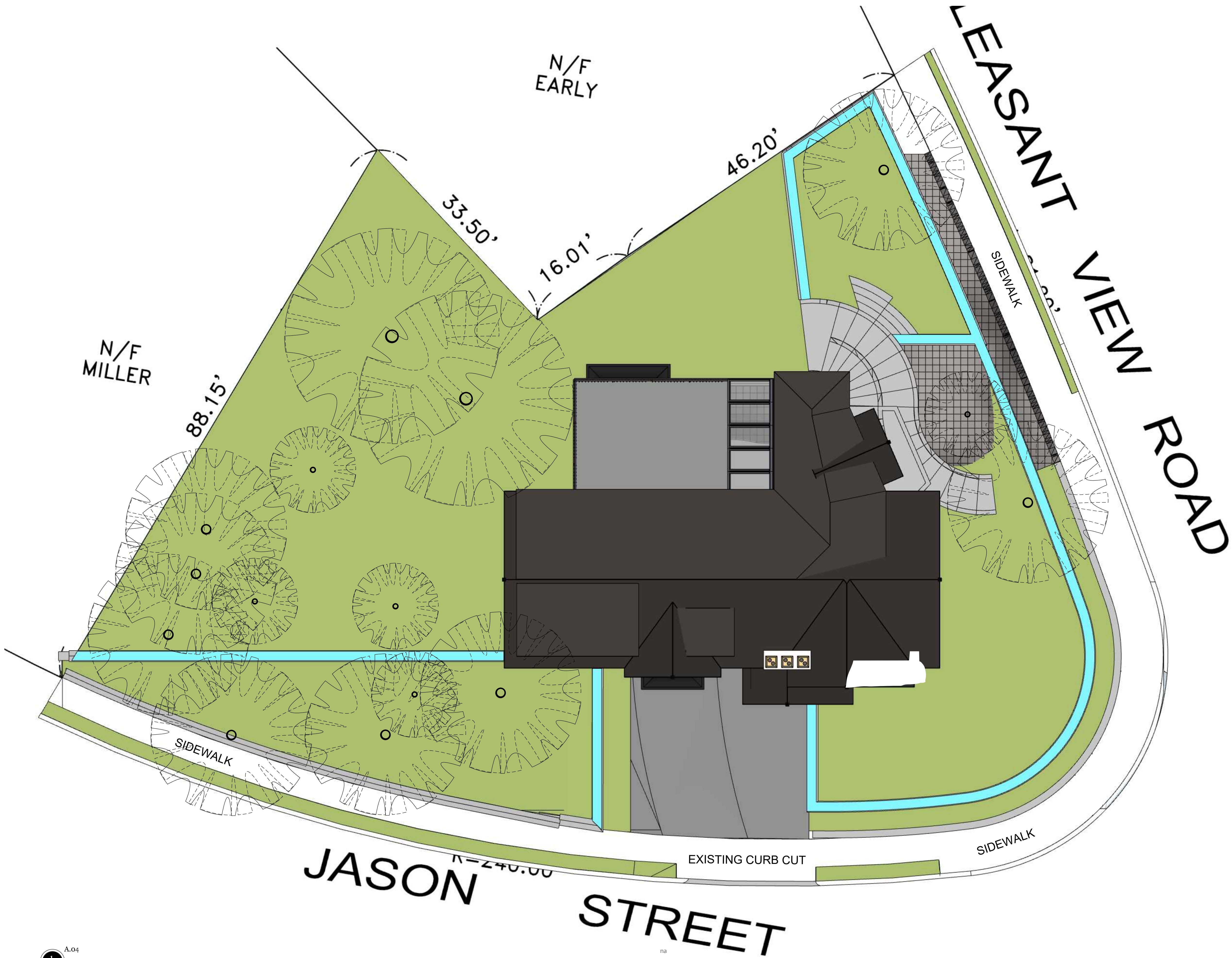
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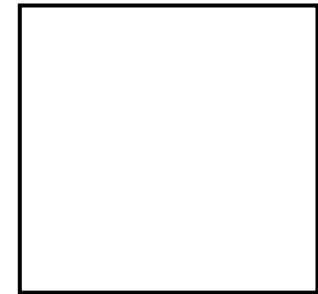
A.03

Sheet: Top/Proposed

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A.04  
Scale: na



CLIENT  
Andi Afsar  
NA

PROJECT  
208 Jason Street

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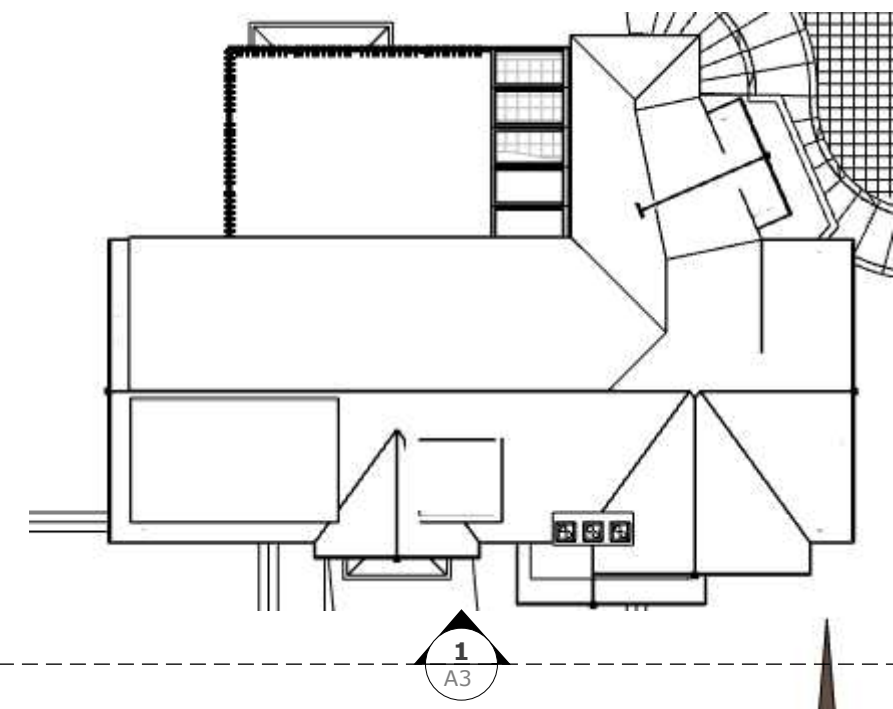
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Total finished area o ft² (total o ft²)

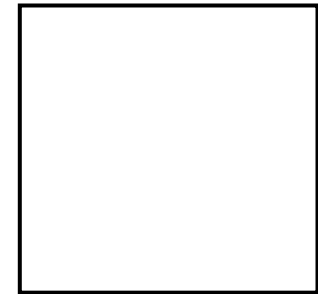
A.04

Sheet: Top/Landscape





A.05  
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CLIENT  
Andi Afsar  
NA

PROJECT  
208 Jason Street

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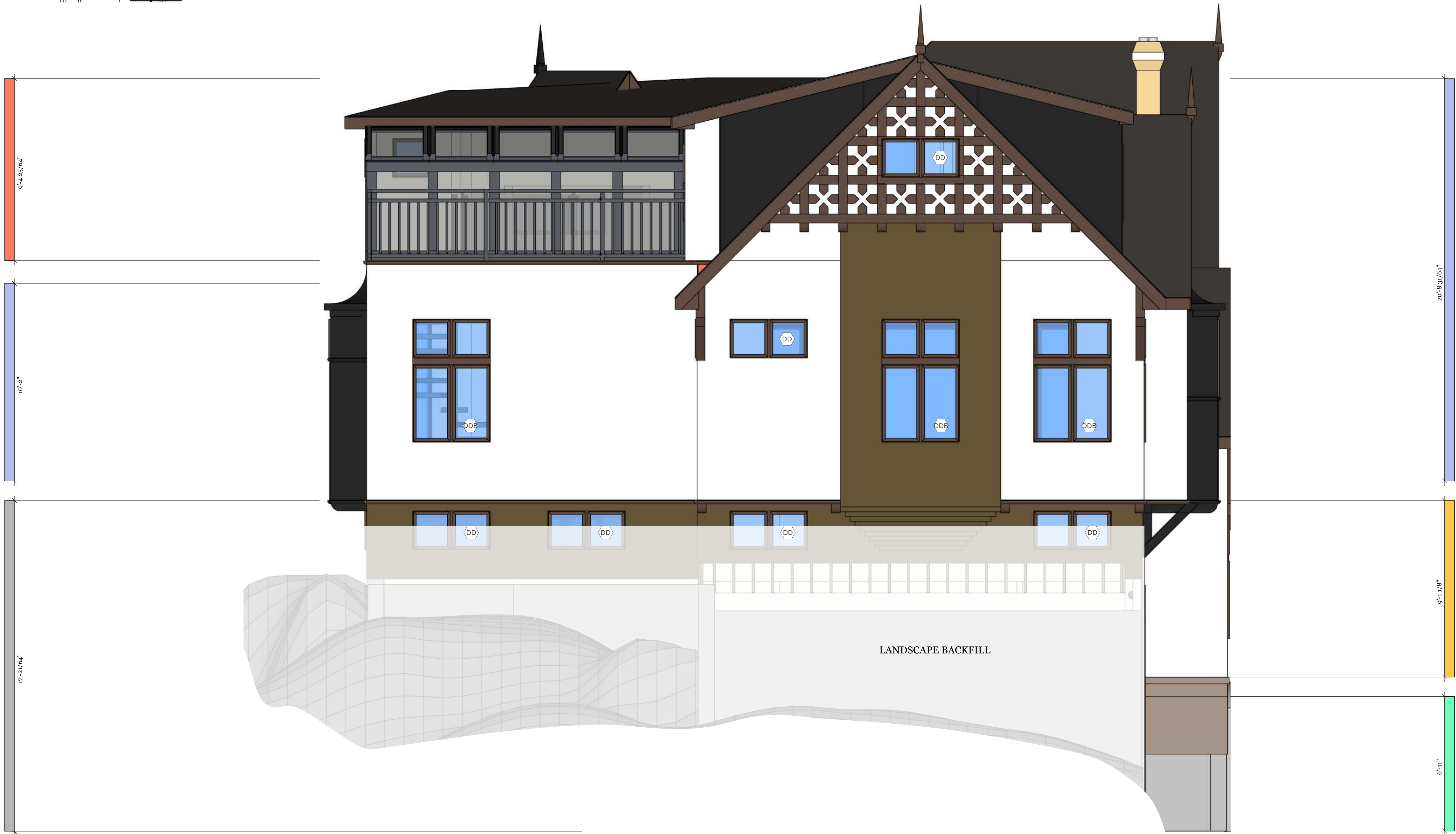
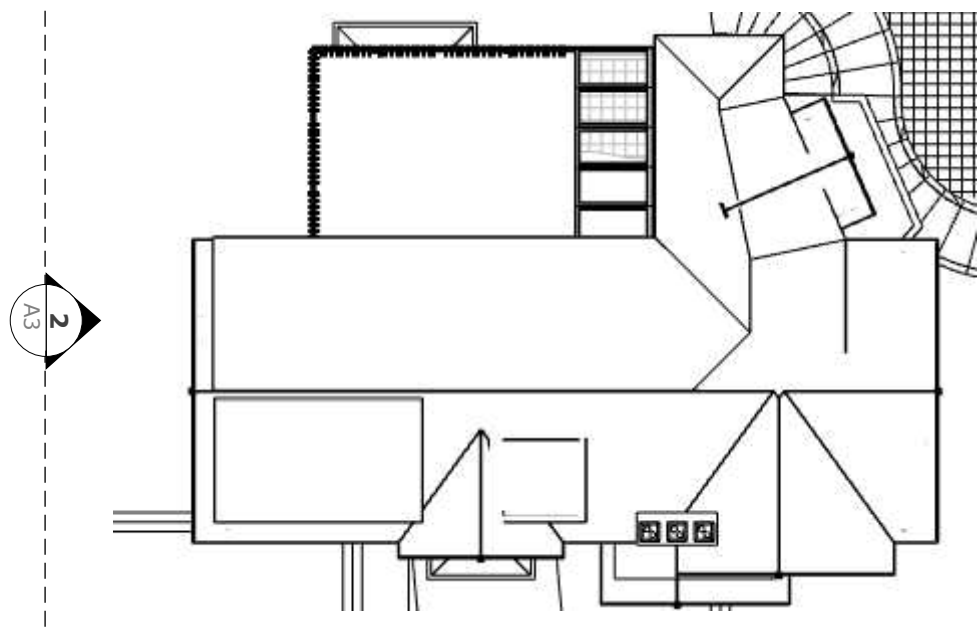
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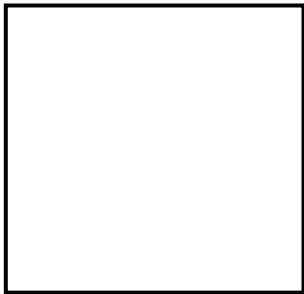
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A.06  
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Scale: 3/8" = 1'-0" | 1:32

RIGHT ELEVATION (N to S)



CLIENT  
Andi Afsar  
NA

PROJECT  
208 Jason Street

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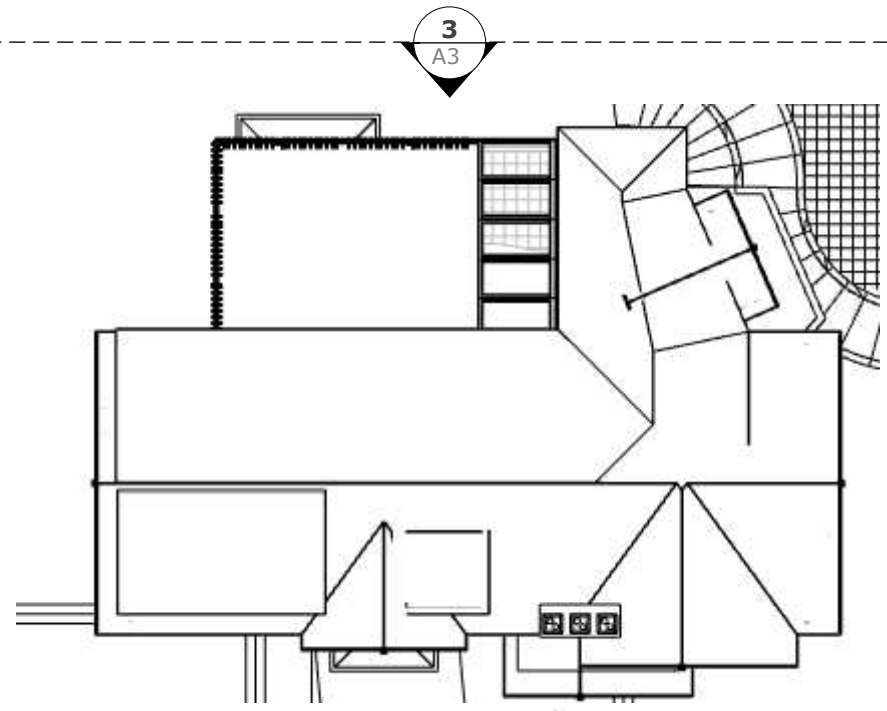
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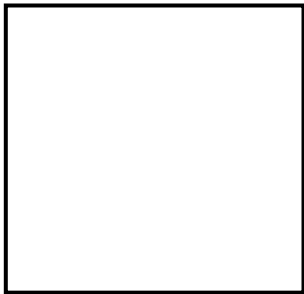
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REAR ELEVATION (E to W)

A.07  
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Scale: 3/8" = 1'-0" | 1:32



CLIENT  
Andi Afsar  
NA

PROJECT  
208 Jason Street

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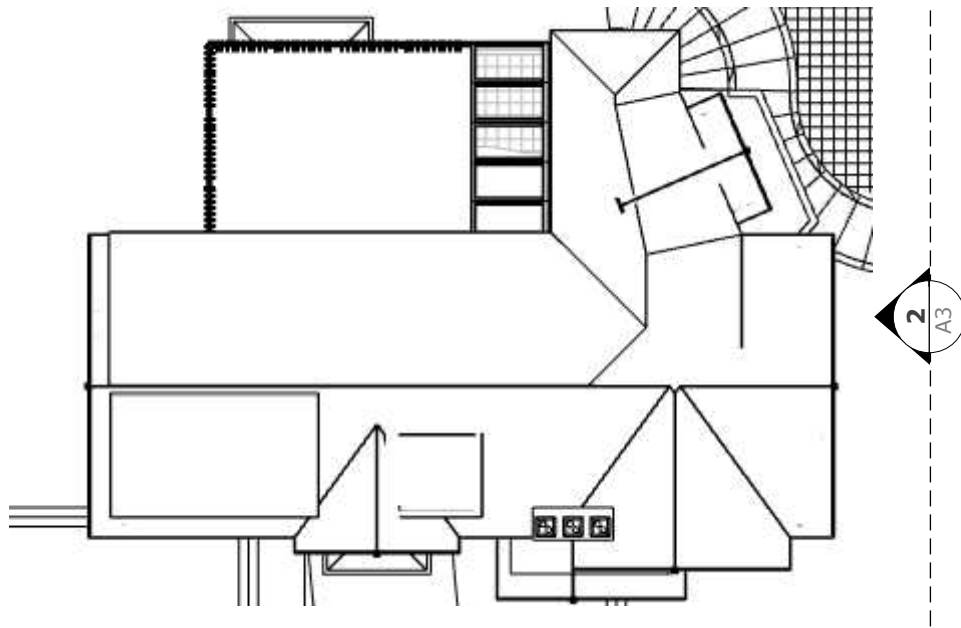
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A.07

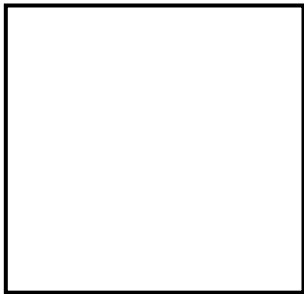
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ELEVATION (PLEASANT VIEW ROAD)

A.08  
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Scale: 3/8" = 1'-0" | 1:32



CLIENT  
Andi Afsar  
NA

PROJECT  
208 Jason Street

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MM.DD.YY

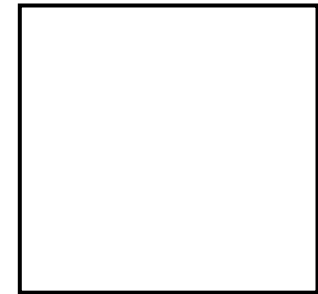
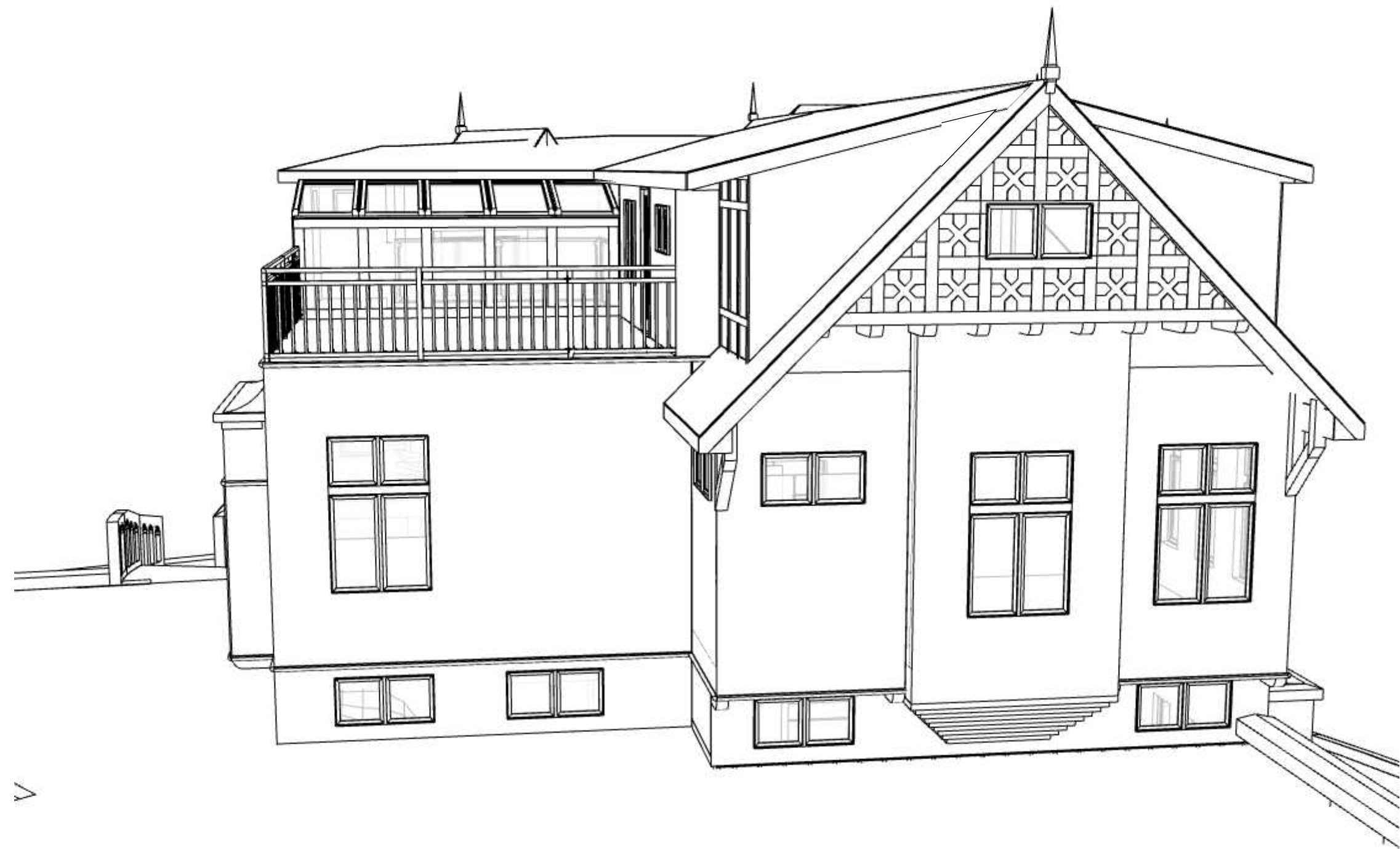
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2nd area o ft²  
3rd area finished o ft² (total o ft²)  
Total finished area o ft² (total o ft²)

A.08

Sheet: ELEVATION (PLEASANT VIEW ROAD)





CLIENT  
Andi Afsar  
NA

PROJECT  
208 Jason Street

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NH | MB

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MM.DD.YY

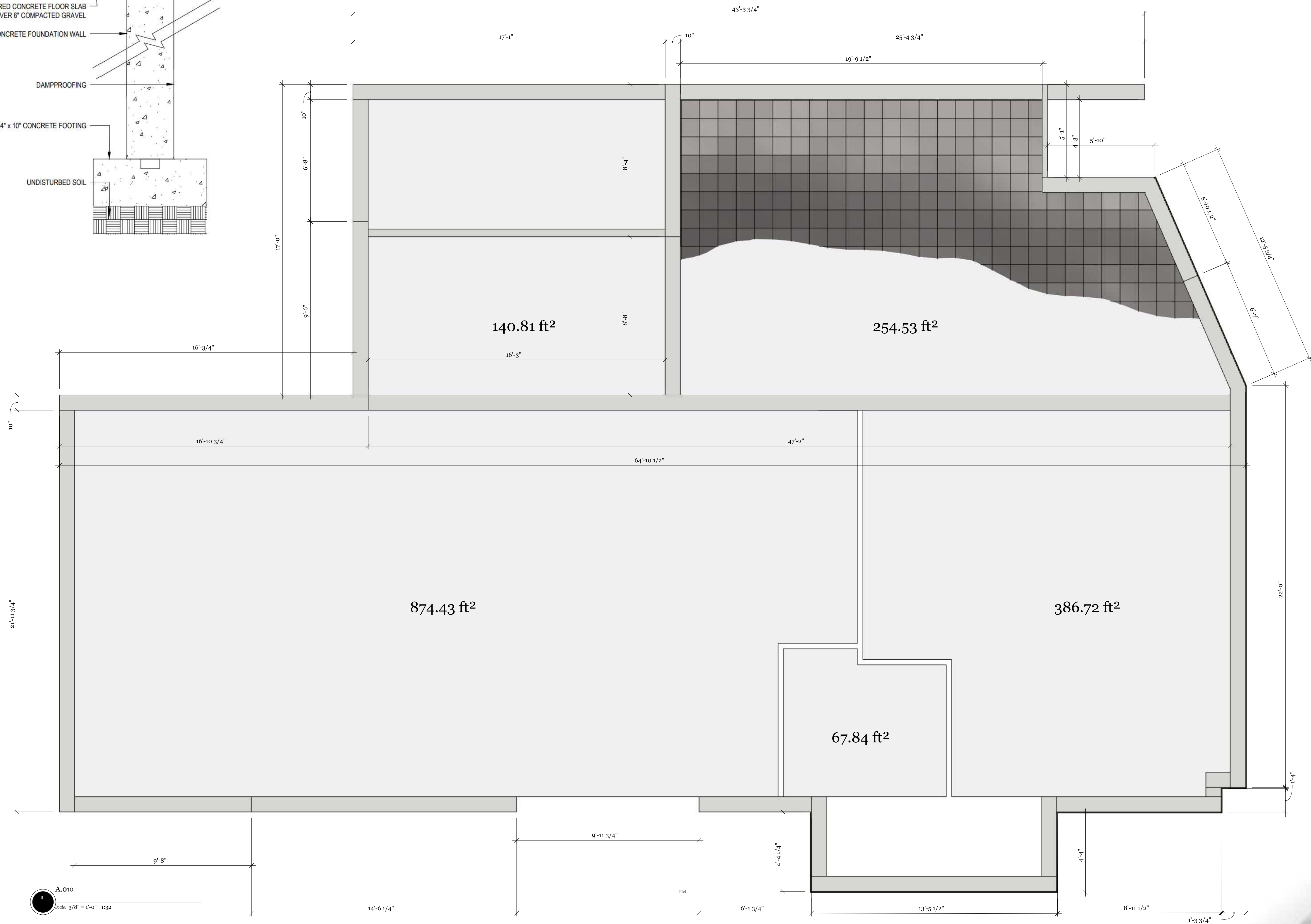
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■ 2nd area o ft²  
■ 3rd area finished o ft² (total o ft²)  
Total finished area o ft² (total o ft²)

A.09

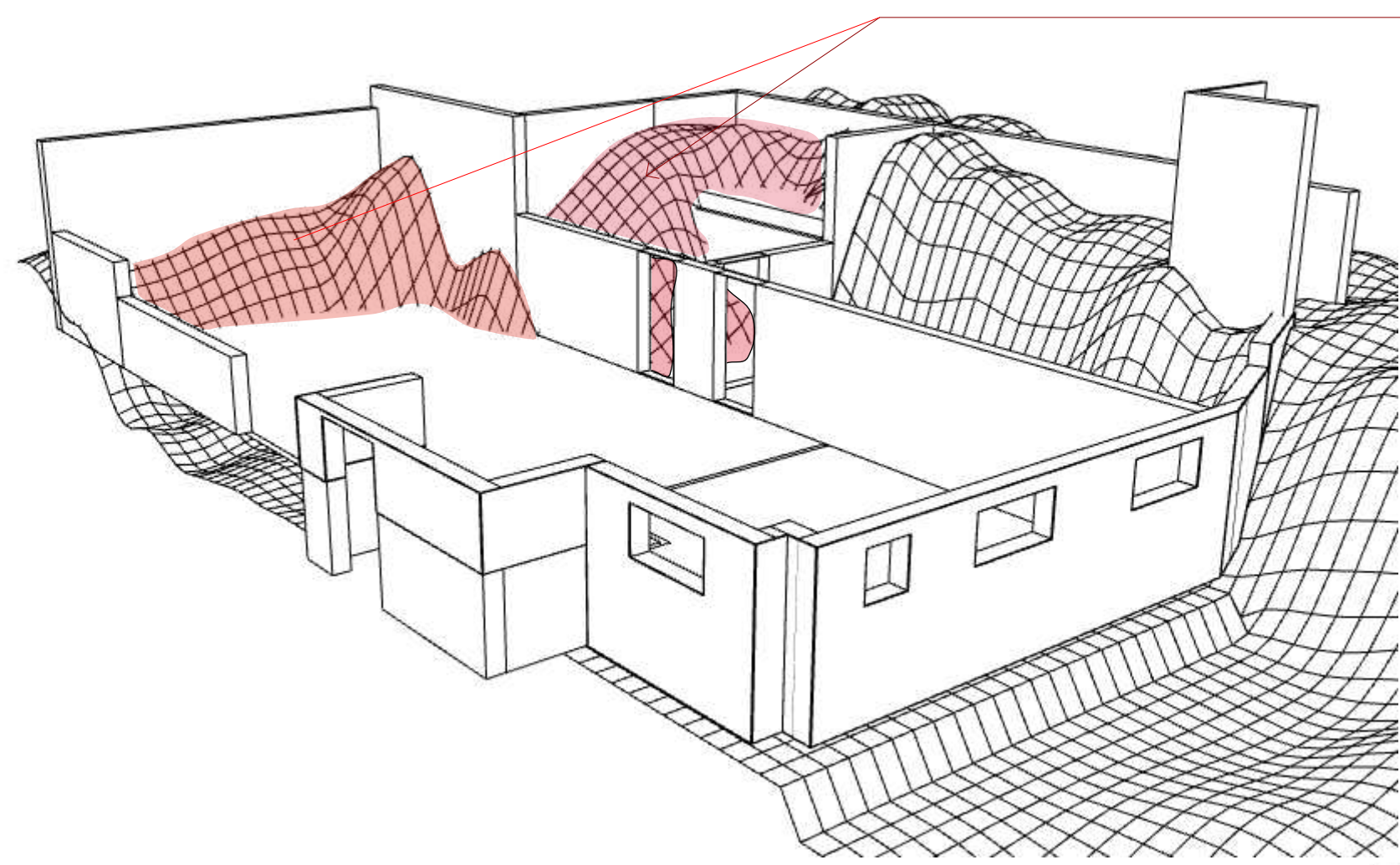
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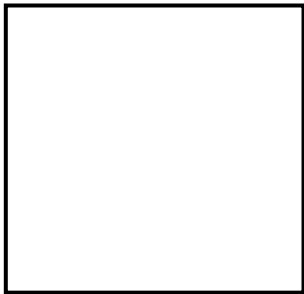
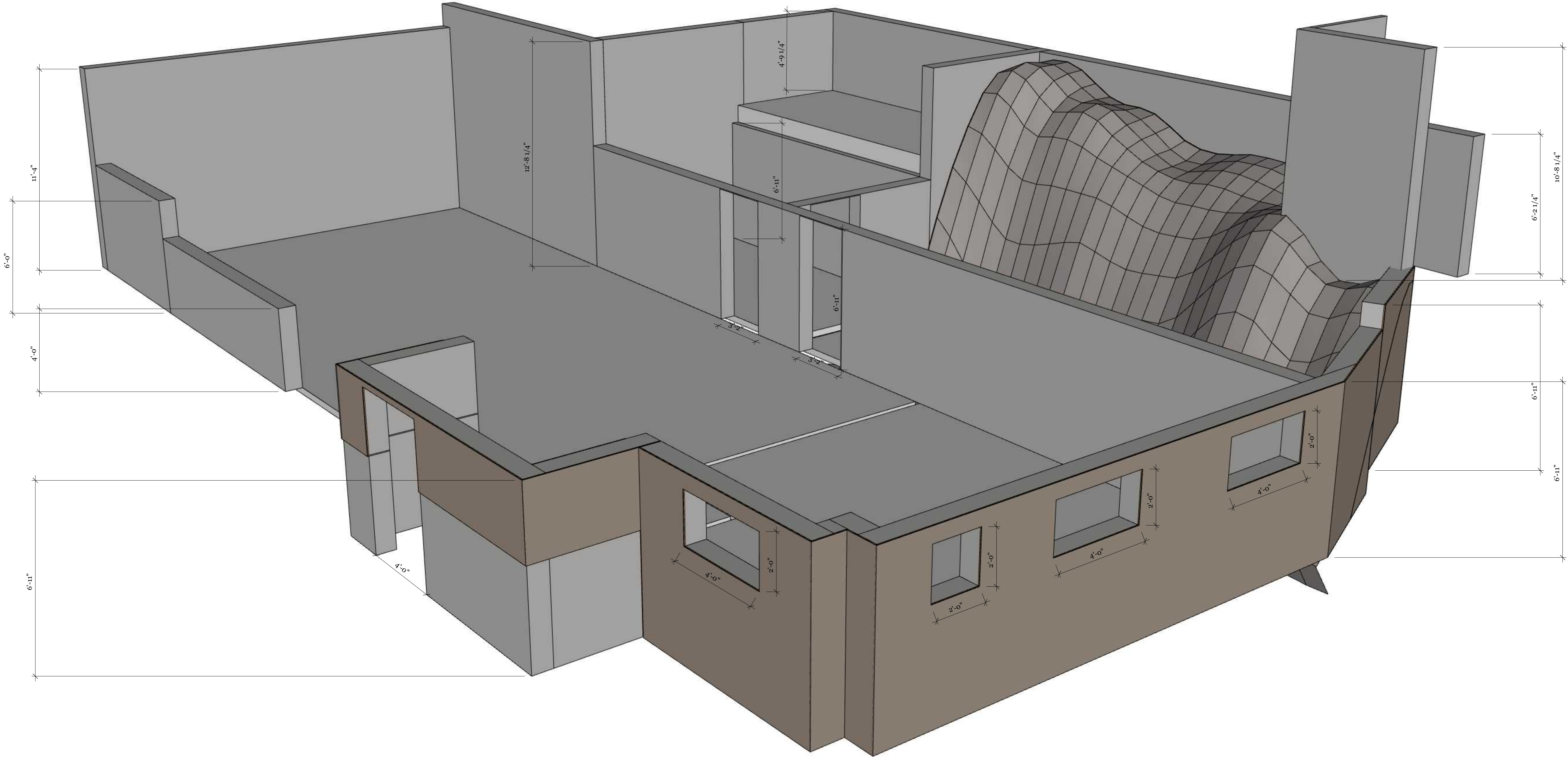


Sheet: Foundation (Dimensions)

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Hopeful northern perimeter walls but based on the potential difficulties/costs associated with clearing out ledge/stone to these points. Subject to change but only by lessening the proposed footprint.



CLIENT  
Andi Afsar  
NA

PROJECT  
208 Jason Street

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NH | MB

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MM.DD.YY

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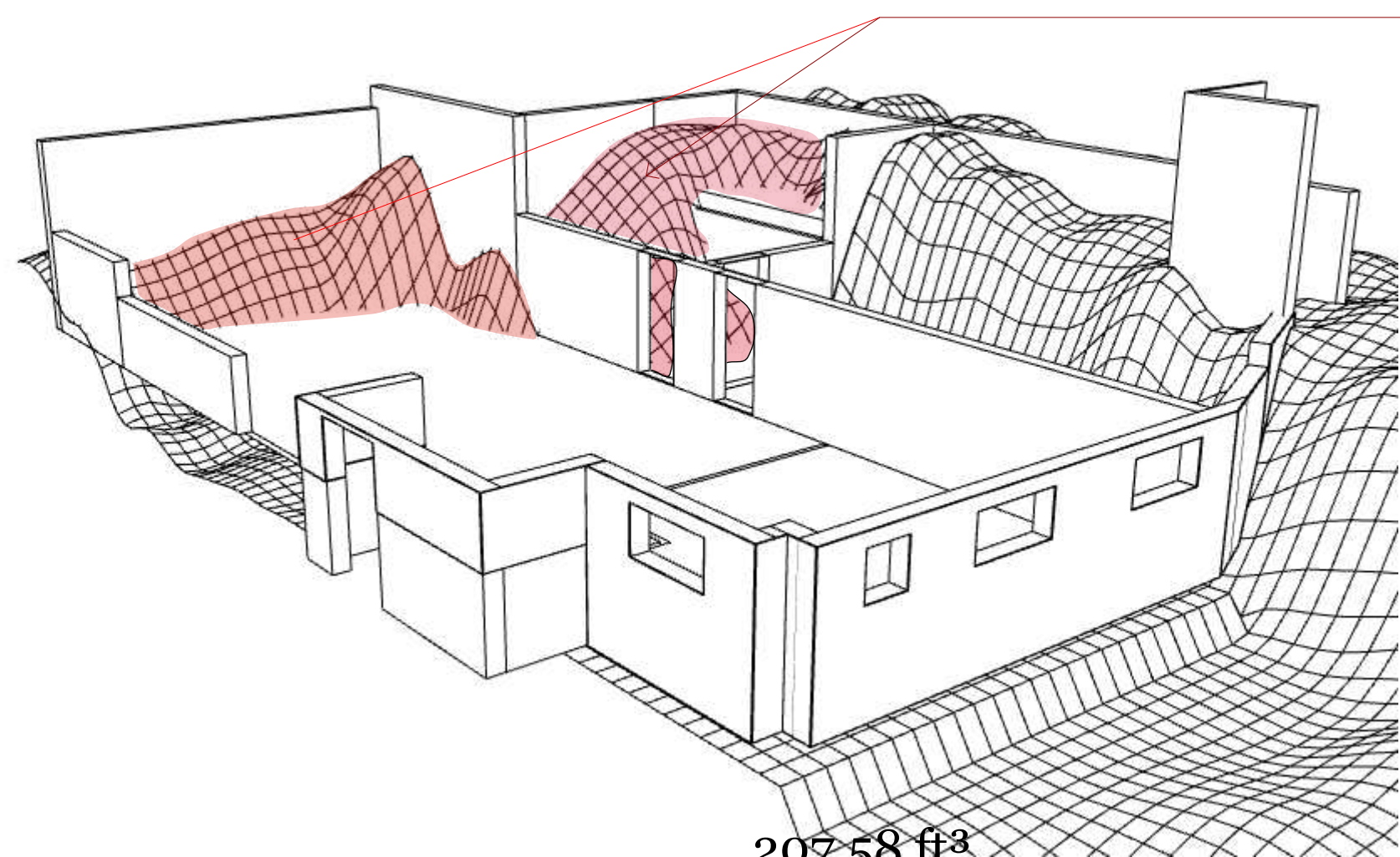
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Total finished area o ft² (total o ft²)

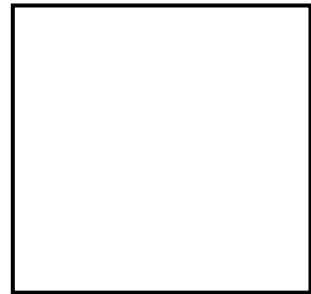
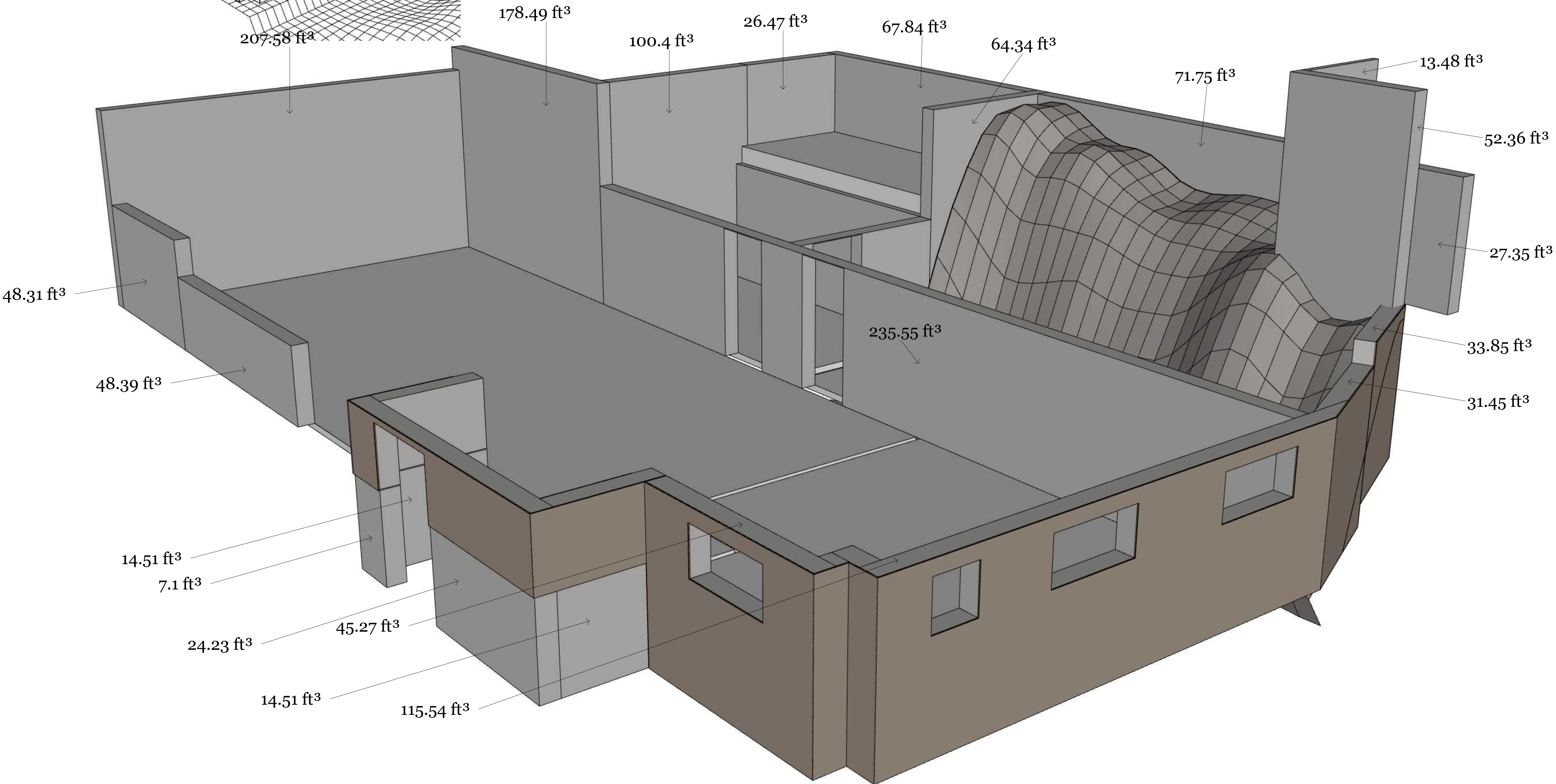
A.011

Sheet: Foundation 3D (Elevations)





Hopeful northern perimeter walls but based on the potential difficulties/costs associated with clearing out ledge/stone to these points. Subject to change but only by lessening the proposed footprint.



CLIENT  
Andi Afsar  
NA

PROJECT  
208 Jason Street

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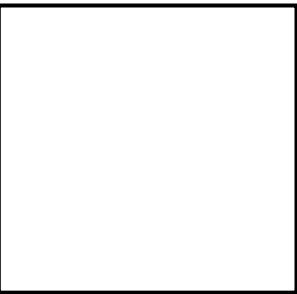
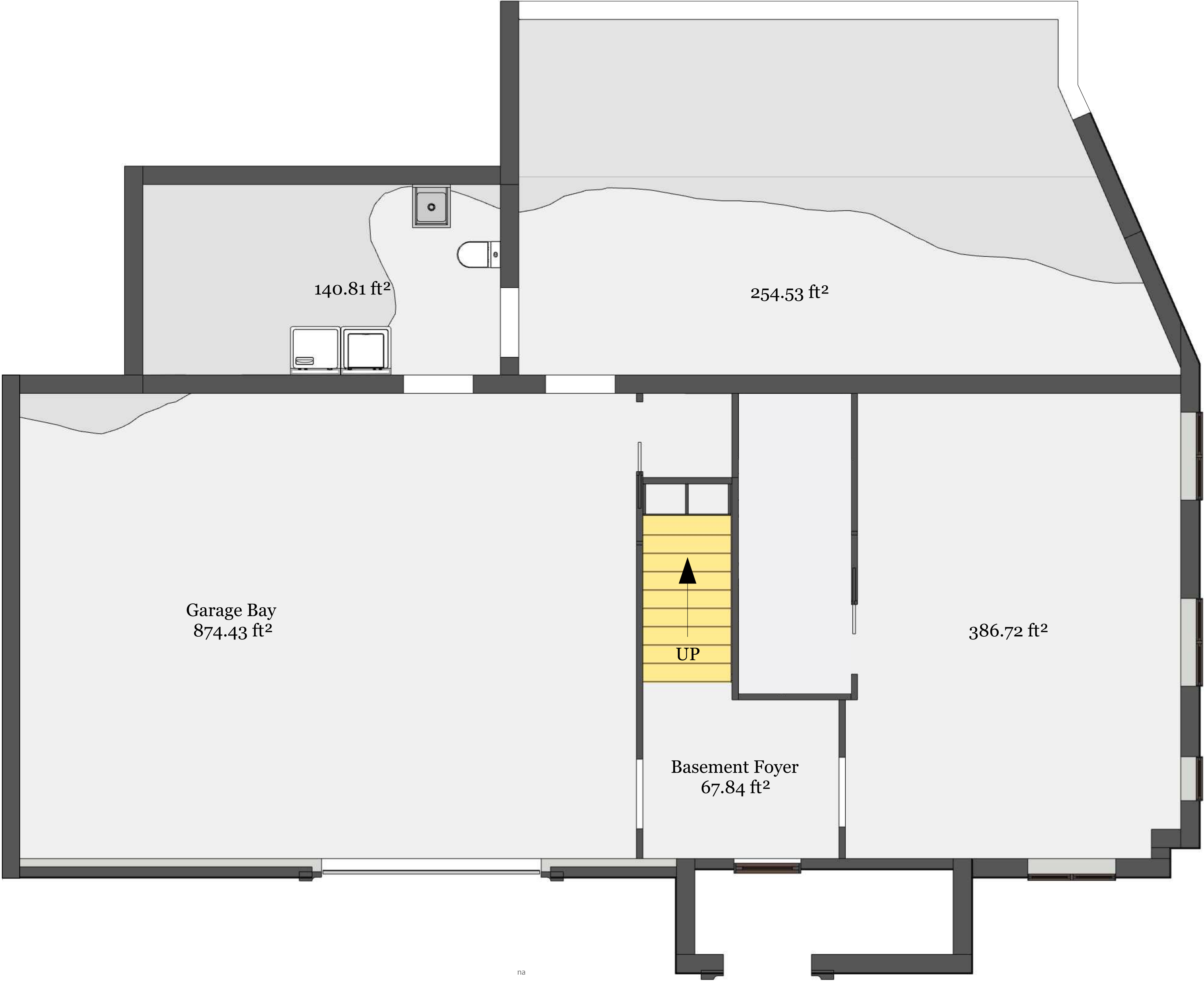
DESCRIPTION

KEY NOTES  
■ Basement area finished o ft² (total o ft²)  
■ 1st area o ft²  
■ 2nd area o ft²  
■ 3rd area finished o ft² (total o ft²)  
Total finished area o ft² (total o ft²)

A.012

Sheet: Foundation 3D (Volumes)





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Andi Afsar  
NA

PROJECT  
208 Jason Street

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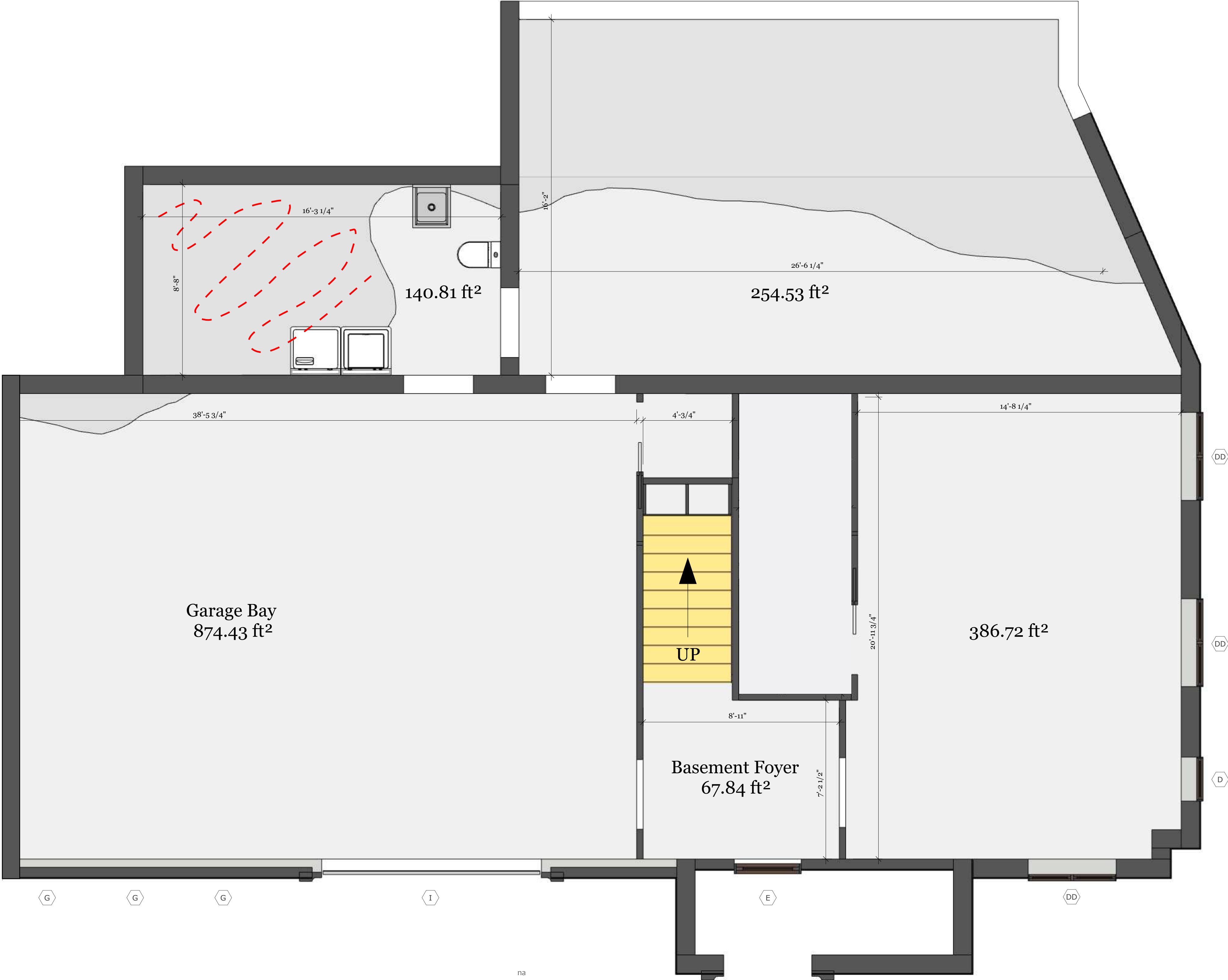
DESCRIPTION

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■ 1st area o ft²  
■ 2nd area o ft²  
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Total finished area o ft² (total o ft²)

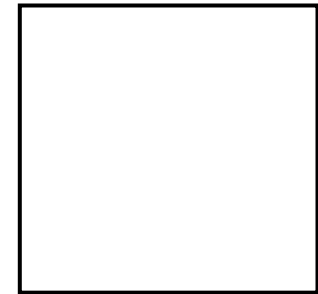
A.013

Sheet: Basement





A.014  
1  
Scale: 3/8" = 1'-0" | 1:32



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PROJECT  
208 Jason Street

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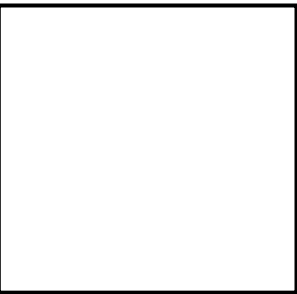
DESCRIPTION

KEY NOTES  
Basement area finished o ft² (total o ft²)  
1st area o ft²  
2nd area o ft²  
3rd area finished o ft² (total o ft²)  
Total finished area o ft² (total o ft²)

A.014

Sheet: Basement Detailed

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208 Jason Street

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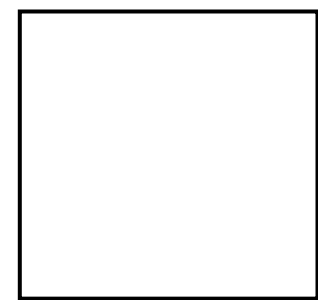
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KEY NOTES  
Basement area finished o ft² (total o ft²)  
1st area o ft²  
2nd area o ft²  
3rd area finished o ft² (total o ft²)  
Total finished area o ft² (total o ft²)

A.015

Sheet: 1St





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PROJECT  
208 Jason Street

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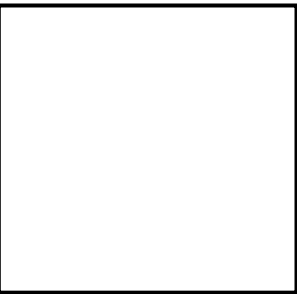
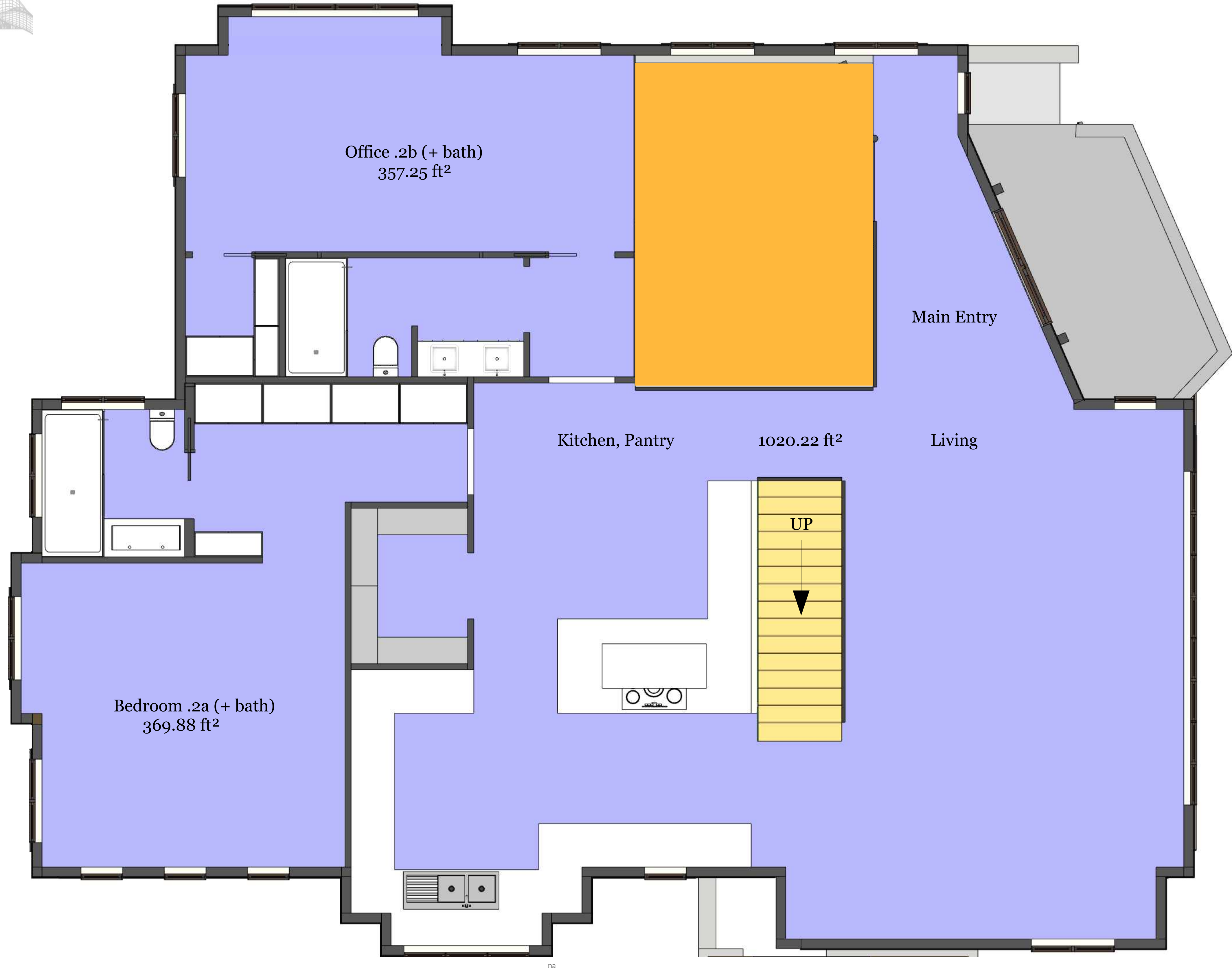
KEY NOTES  
■ Basement area finished o ft<sup>2</sup> (total o ft<sup>2</sup>)  
■ 1st area o ft<sup>2</sup>  
■ 2nd area o ft<sup>2</sup>  
■ 3rd area finished o ft<sup>2</sup> (total o ft<sup>2</sup>)  
Total finished area o ft<sup>2</sup> (total o ft<sup>2</sup>)

A.016

Sheet: 1st Detailed

Radial®

A.016  
1  
Scale: 3/8" = 1'-0" | 1:32



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208 Jason Street

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DESCRIPTION

KEY NOTES  
■ Basement area finished o ft<sup>2</sup> (total o ft<sup>2</sup>)  
■ 1st area o ft<sup>2</sup>  
■ 2nd area o ft<sup>2</sup>  
■ 3rd area finished o ft<sup>2</sup> (total o ft<sup>2</sup>)  
Total finished area o ft<sup>2</sup> (total o ft<sup>2</sup>)

A.017

Sheet: 2nd

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PROJECT  
208 Jason Street

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DESCRIPTION

**KEY NOTES**

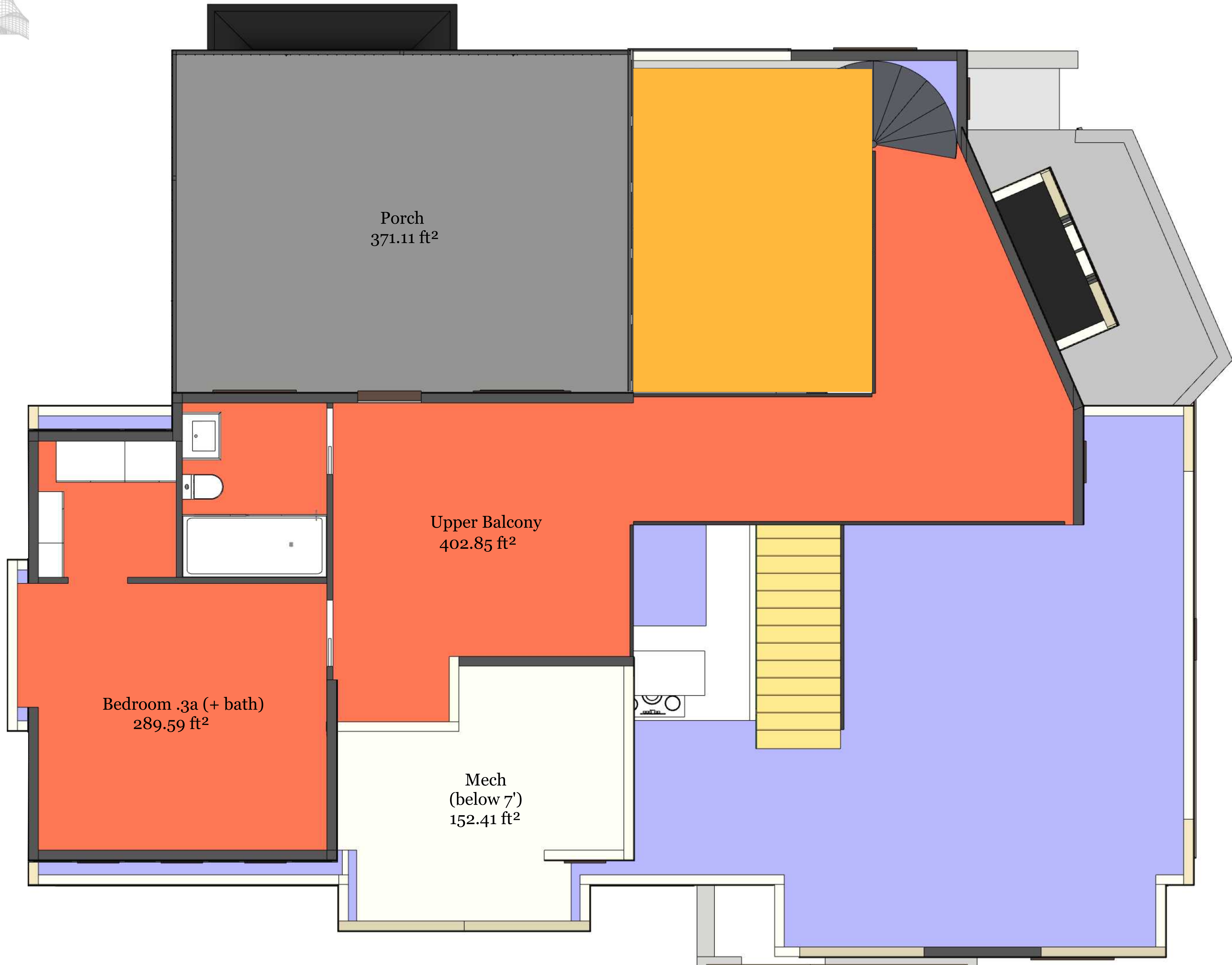
- Basement area *finished* 0 ft<sup>2</sup> (total 0 ft<sup>2</sup>)
- 1st area 0 ft<sup>2</sup>
- 2nd area 0 ft<sup>2</sup>
- 3rd area *finished* 0 ft<sup>2</sup> (total 0 ft<sup>2</sup>)

Total finished area 0 ft<sup>2</sup> (total 0 ft<sup>2</sup>)

A.018

Sheet: 2nd Detailed

# Radial®



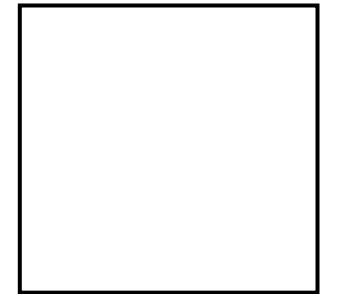
Porch  
371.11 ft<sup>2</sup>

Upper Balcony  
402.85 ft<sup>2</sup>

Bedroom .3a (+ bath)  
289.59 ft<sup>2</sup>

Mech  
(below 7')  
152.41 ft<sup>2</sup>

na



CLIENT  
Andi Afsar  
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PROJECT  
208 Jason Street

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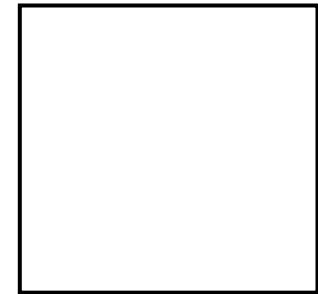
DESCRIPTION

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■ 3rd area finished o ft<sup>2</sup> (total o ft<sup>2</sup>)  
Total finished area o ft<sup>2</sup> (total o ft<sup>2</sup>)

A.019

Sheet: 3rd

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PROJECT  
208 Jason Street

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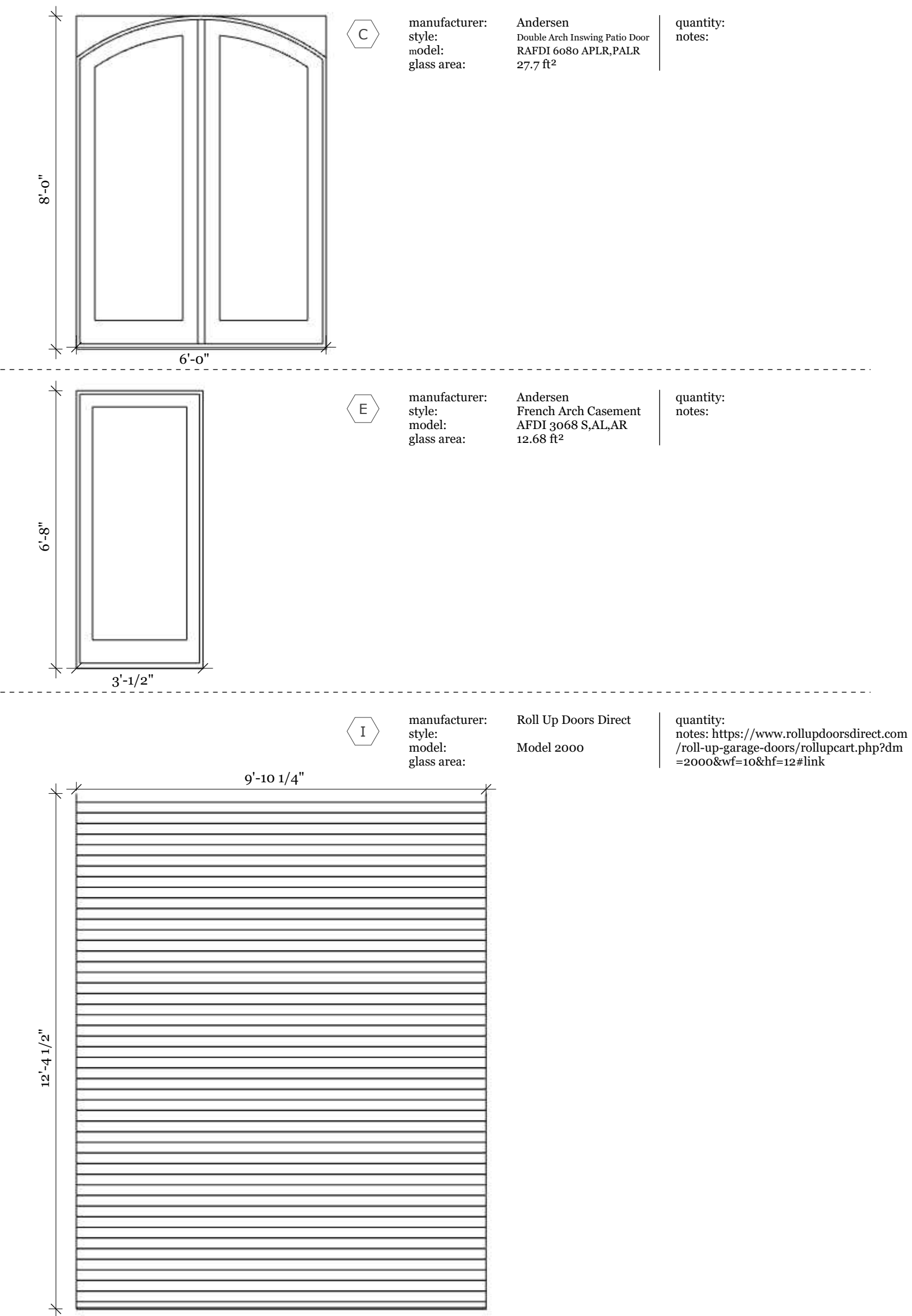
A.020

Sheet: 3rd Detailed

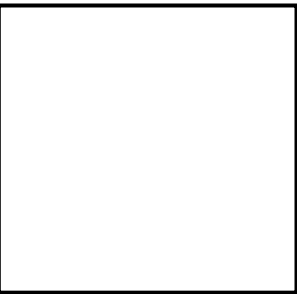
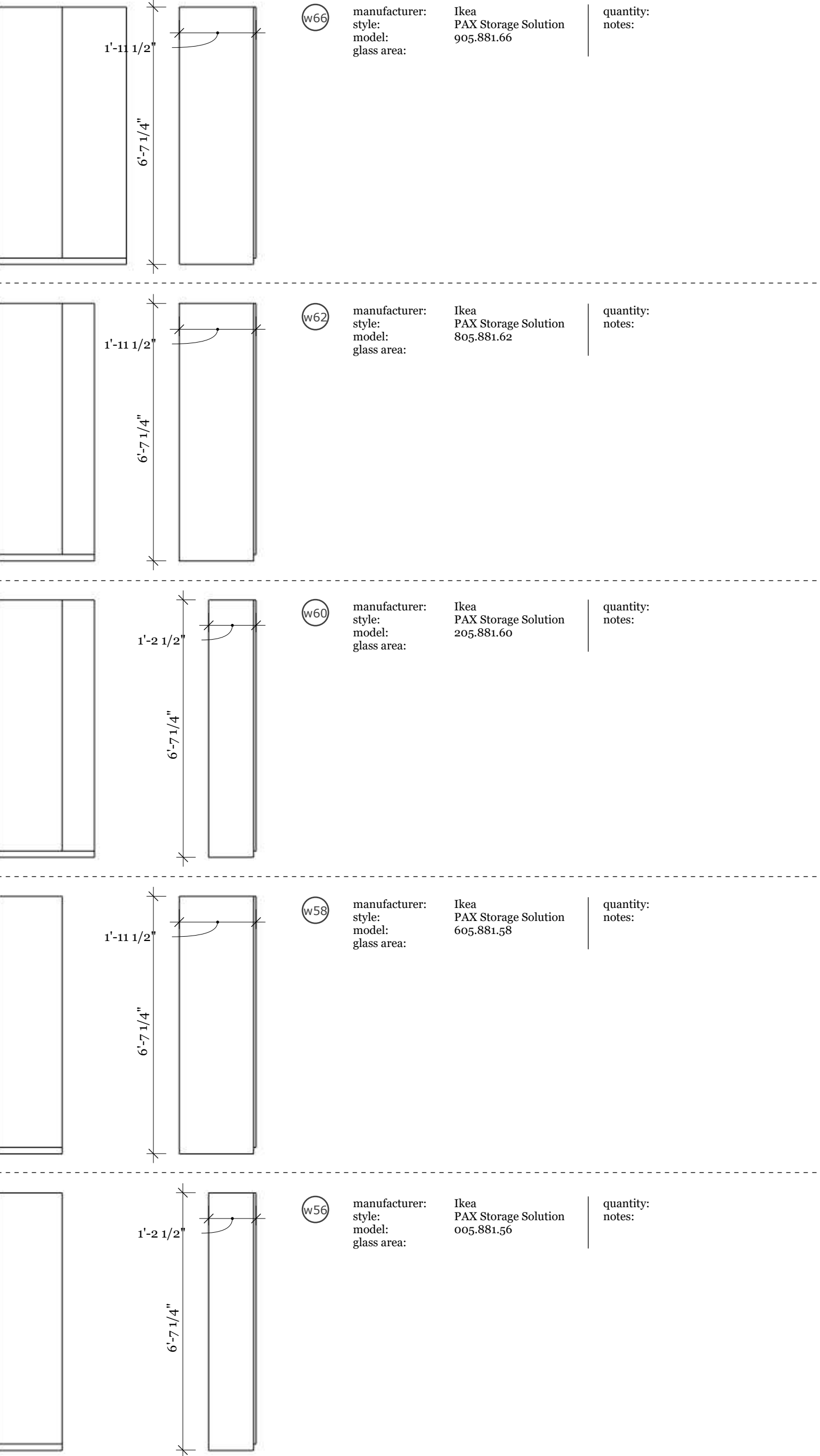
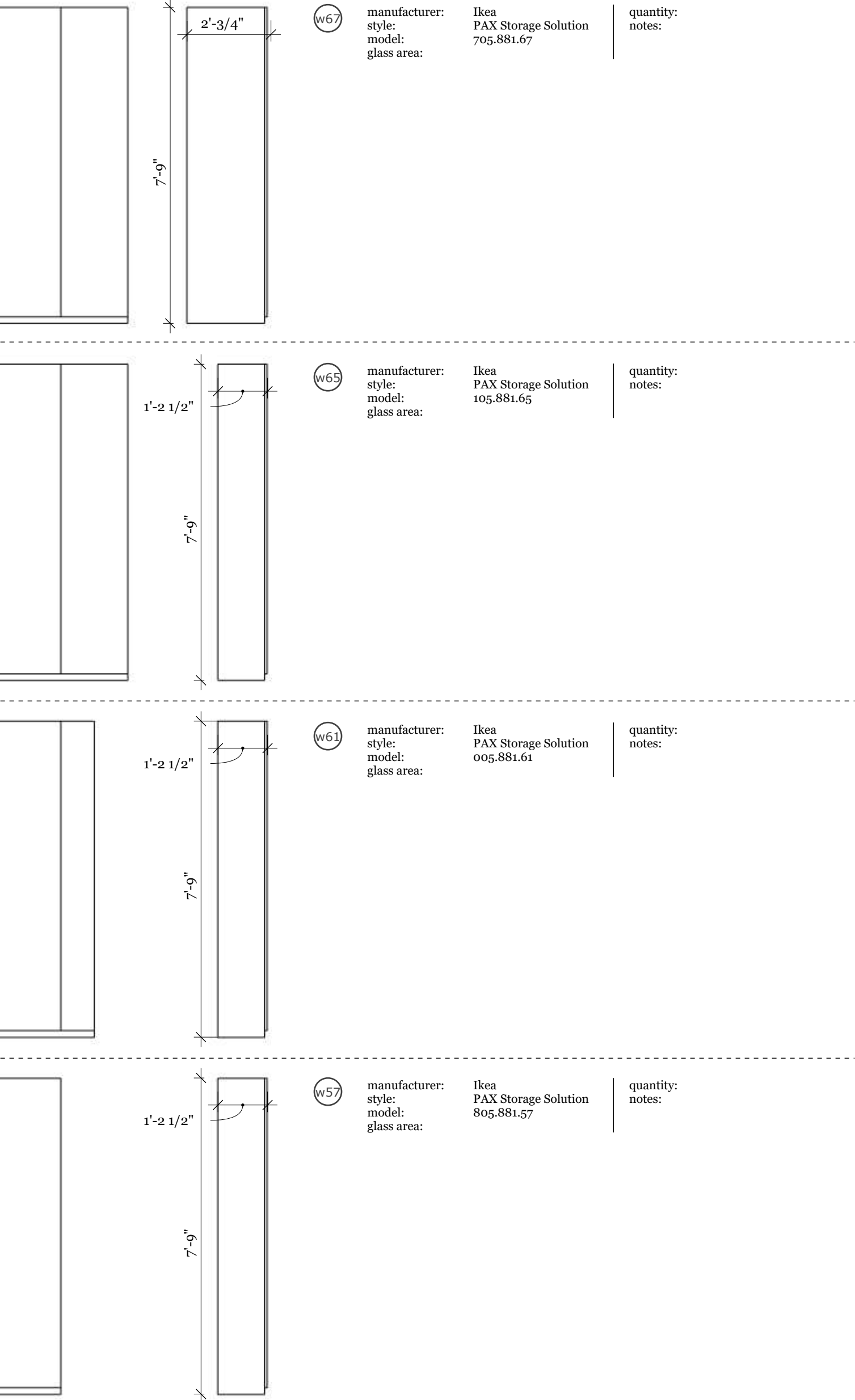
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A.020  
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Scale: 3/8" = 1'-0" | 1:32

Doors



Wardrobe Closets



CLIENT  
Andi Afsar  
NA

PROJECT  
208 Jason Street

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RE-ISSUE  
MM.DD.YY

DESCRIPTION

- KEY NOTES
- Basement area finished o ft² (total o ft²)
  - 1st area o ft²
  - 2nd area o ft²
  - 3rd area finished o ft² (total o ft²)
- Total finished area o ft² (total o ft²)

A.022

Sheet: Wardrobe Closets



A.022

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Scale: 3/8" = 1'-0" | 1:32

na



## Town of Arlington, Massachusetts

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### Docket #3852 36 Glen Ave

#### Summary:

OpenGov Link: <https://arlingtonma.portal.opengov.com/records/210158>

#### ATTACHMENTS:

| Type                 | File Name  | Description                                   |
|----------------------|--|---|
| ▢ Reference Material | 3852_34-36_Glen_Ave_legal_notice.pdf                   | 3852 34-36 Glen Ave legal notice              |
| ▢ Reference Material | 3852_36_Glen_Ave_abutter_list_and_map.pdf              | 3852 36 Glen Ave abutter list and map         |
| ▢ Reference Material | 3852_36_Glen_Ave_Application_SP-25-11.pdf              | 3852 36 Glen Ave Application SP-25-11         |
| ▢ Reference Material | 3852_34-36_Glen_Existing_Conditions.pdf                | 3852 34-36 Glen plot Plan Existing Conditions |
| ▢ Reference Material | 3852_34_Glen_Ave_Special_Permit_App_REVISED_5May25.pdf | 3852 34 Glen Ave Plans REVISED 5 May25        |

**ORDER DETAILS**

PREVIEW FOR AD NUMBER LNEO02977100

**Order Number:**  
LNEO0297710  
**External Order #:**  
11317452  
**Order Status:**  
Approved  
**Classification:**  
Public Notices  
**Package:**  
General Package  
**Total payment:**  
223.00  
**Payment Type:**  
Account Billed  
**User ID:**  
L0023538  
**External User ID:**  
670931

**ACCOUNT INFORMATION**

Arlington Board Of Appeals  
51 Grove St  
Arlington, MA 02476-4602  
781-316-3396  
cralston@town.arlington.ma.us  
Arlington Board Of Appeals  
Contract ID:

**TRANSACTION REPORT**

**Date**  
May 13, 2025 3:10:34 PM EDT  
**Amount:**  
223.00

**ADDITIONAL OPTIONS**

1 Affidavit

**SCHEDULE FOR AD NUMBER LNEO02977100**

May 22, 2025  
The Advocate & Star (Arlington - Winchester)  
May 29, 2025  
The Advocate & Star (Arlington - Winchester)

36 Glen Avenue  
**LEGAL NOTICE**  
**DOCKET NO 3852**

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by Jack Ajoian, on May 4, 2025, a petition seeking to alter their property located at 36 Glen Ave - Block Plan 065-0004-0016.0. The said petition would require a Special Permit under 5.4.2 B(6) of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", on Tuesday, June 10, 2025, at 7:30 P.M. as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL: <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar>, and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website before the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>. Please direct any questions to: [ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)

Christian Klein, RA, Chair  
Zoning Board of Appeals  
May 22, 29 2025  
LNEO0297710

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[Contact Us](#)

**CERTIFIED ABUTTERS LIST****Date: May 7 2025****Subject Property Location: 34-36 GLEN AVE Arlington, MA****Subject Parcel ID: 65-4-16****Search Distance: 300 Feet**

| Parcel ID   | Property Location          | Owner 1                           | Owner 2                        | Mail Address 1                  | Mail Address 2          | City/Town   | State | Zip   |
|-------------|----------------------------|-----------------------------------|--------------------------------|---------------------------------|-------------------------|-------------|-------|-------|
| 65.A-3-20   | 20 FARRINGTON ST UNIT 20   | MEARN FRANCINE                    |                                | 20 FARRINGTON ST                | UNIT 20                 | ARLINGTON   | MA    | 02474 |
| 65.A-3-22   | 22 FARRINGTON ST UNIT 22   | BATES DAVID                       | PEROLIO JESSICA A              | 22 FARRINGTON ST                |                         | ARLINGTON   | MA    | 02474 |
| 64.A-2-51.A | 51 RANGELEY RD UNIT 51A    | ARVEIL CHRISTINE/ TRUSTEE         | CHRISTINE ARVEIL 2019 REVOCABL | 51A RANGELEY RD                 |                         | ARLINGTON   | MA    | 02474 |
| 64.A-2-51.B | 51 RANGELEY RD UNIT 51B    | MCCARTHY DANIEL J                 | HODIN DEBORAH L                | 51 RANGELEY RD                  | UNIT B                  | ARLINGTON   | MA    | 02474 |
| 65.A-4-1    | 24--26 GLEN AVE UNIT 1     | PUCCI FABIO                       | CASTONGUAY EMILIE LOVEDAY      | 26 GLEN AVE                     |                         | ARLINGTON   | MA    | 02474 |
| 65.A-4-2    | 24--26 GLEN AVE UNIT 2     | DOAN ANNE L/ TRUSTEE              | ANNE L DOAN LIVING TRUST       | 24 GLEN AVE                     |                         | ARLINGTON   | MA    | 02474 |
| 64-2-10     | 0-LOT MYSTIC VALLEY PKWY   | DEPT/CONSERVATION & RECREATION    | WATER SUPPLY PROTECTION DIV    | STATE<br>TRANSPORTATION<br>BLDG | 10 PARK PLZ STE<br>6200 | BOSTON      | MA    | 02116 |
| 64-2-11     | 0-LOT MYSTIC VALLEY PKWY   | DEPT/CONSERVATION & RECREATION    | WATER SUPPLY PROTECTION DIV    | STATE<br>TRANSPORTATION<br>BLDG | 10 PARK PLZ STE<br>6200 | BOSTON      | MA    | 02116 |
| 64.A-2-41   | 41--43 RANGELEY RD UNIT 41 | CAMALO PATRICK & TALIA/ TRS       | CAMALO FAMILY 2021 REVOCABLE   | 3033 NEWCASTLE RD               |                         | ANN ARBOR   | MI    | 48104 |
| 64.A-2-43   | 41--43 RANGELEY RD UNIT 43 | HOSMANE DAPHNE & SUNEIL           |                                | 43 RANGELEY RD                  |                         | ARLINGTON   | MA    | 02474 |
| 65.A-4-12   | 12--14 GLEN AVE UNIT 12    | HAMILTON MAURA                    |                                | 12 GLEN AVE                     |                         | ARLINGTON   | MA    | 02474 |
| 65.A-4-14   | 12--14 GLEN AVE UNIT 14    | ASHLEY MELINDA                    | ASHLEY MELINDA ETAL/ TRUSTEES  | 14 GLEN AVE                     |                         | ARLINGTON   | MA    | 02474 |
| 64-1-8      | 19--21 FARRINGTON ST       | SARNOWSKI FRANK C                 | HUNG CINDY S                   | 82 SOUTH RD                     |                         | BEDFORD     | MA    | 01730 |
| 64-1-9      | 23 FARRINGTON ST           | ZARBA JOSEPH L/ANA G              |                                | 38 HANLON DR                    |                         | MARLBOROUGH | MA    | 01752 |
| 64-2-6      | 37 RANGELEY RD             | HIGGINS BRIEN T M & JUDITH M/ TRS | HIGGINS FAMILY TRUST 2024      | 37 RANGELEY RD                  |                         | ARLINGTON   | MA    | 02474 |
| 64-2-9      | 61 RANGELEY RD             | JUDGE MATTHEW & GRACE J           |                                | 61 RANGELEY RD                  |                         | ARLINGTON   | MA    | 02474 |
| 64-3-7      | 0-LOT MYSTIC VALLEY PKWY   | TOWN OF ARLINGTON PARK            |                                | 730 MASS AVE                    |                         | ARLINGTON   | MA    | 02476 |
| 65-3-2      | 9 GLEN AVE                 | COLE JOHN W & EMILY L             | TRS/GLEN AVE TRUST             | 9 GLEN AVE                      |                         | ARLINGTON   | MA    | 02474 |
| 65-3-3      | 15 GLEN AVE                | BRODER JENNIFER C/ TRUSTEE        | 15 GLEN AVENUE REALTY TRUST    | 15 GLEN AVE                     |                         | ARLINGTON   | MA    | 02474 |
| 65-3-4      | 19 GLEN AVE                | TWOMBLY KENNETH M/ETAL            | TWOMBLY ARIDIA A               | 19 GLEN AVE                     |                         | ARLINGTON   | MA    | 02474 |
| 65-3-5      | 23 GLEN AVE                | SPRINKLE ERIC & PAMELA C          |                                | 25 GLEN AVE                     |                         | ARLINGTON   | MA    | 02474 |
| 65-3-8      | 16--18 FARRINGTON ST       | CONNELY DARA P                    |                                | 16 FARRINGTON ST                |                         | ARLINGTON   | MA    | 02474 |
| 65-3-9      | 12--14 FARRINGTON ST       | ALUIA JOSEPH & CAROLINE L         |                                | 18 ROBIN HOOD RD                |                         | ARLINGTON   | MA    | 02474 |
| 65-4-2      | 197--199 MYSTIC ST         | FARINA THOMAS P                   |                                | 197 MYSTIC ST                   |                         | ARLINGTON   | MA    | 02474 |
| 65-4-3      | 201--203 MYSTIC ST         | LEWIS CATALINA & DANIEL B/ TRS    | LEWIS 2025 REALTY TRUST        | 203 MYSTIC ST                   |                         | ARLINGTON   | MA    | 02474 |
| 65-4-4      | 205--207 MYSTIC ST         | VERIKIOS PETER/VASILIKI           |                                | 23 LAKEHILL AVE                 |                         | ARLINGTON   | MA    | 02474 |
| 65-4-8      | 11 KIMBALL RD              | AKDAG NILGUN                      |                                | 11 KIMBALL RD                   |                         | ARLINGTON   | MA    | 02474 |
| 65-4-8.A    | 15 KIMBALL RD              | WHALEN CLAIRE                     | GRIFFERTY JOHN                 | 15 KIMBALL RD                   |                         | ARLINGTON   | MA    | 02474 |
| 65-4-9      | 19 KIMBALL RD              | RUBIN ANN D                       |                                | 19 KIMBALL RD                   |                         | ARLINGTON   | MA    | 02474 |
| 65-4-10     | 25 KIMBALL RD              | WOODS EDWARD F                    | WOODS GARRITY DAWN             | 25 KIMBALL RD                   |                         | ARLINGTON   | MA    | 02474 |
| 65-4-11     | 31 KIMBALL RD              | MACDONALD MARC & KIMBERLY         |                                | 31 KIMBALL RD                   |                         | ARLINGTON   | MA    | 02474 |
| 65-4-12     | 33 KIMBALL RD              | SONDER GINA F--ETAL               | DAIVEN LEWIS F                 | 33 KIMBALL RD                   |                         | ARLINGTON   | MA    | 02474 |
| 65-4-13     | 37 KIMBALL RD              | HORVATH JULIE                     |                                | 37 KIMBALL RD                   |                         | ARLINGTON   | MA    | 02474 |
| 65-4-14     | 41 KIMBALL RD              | EDGECOMB ARTHUR M & MAUREEN       |                                | 41 KIMBALL RD                   |                         | ARLINGTON   | MA    | 02474 |

**CERTIFIED ABUTTERS LIST**

Date: May 7 2025

Subject Property Location: 34-36 GLEN AVE Arlington, MA

Subject Parcel ID: 65-4-16

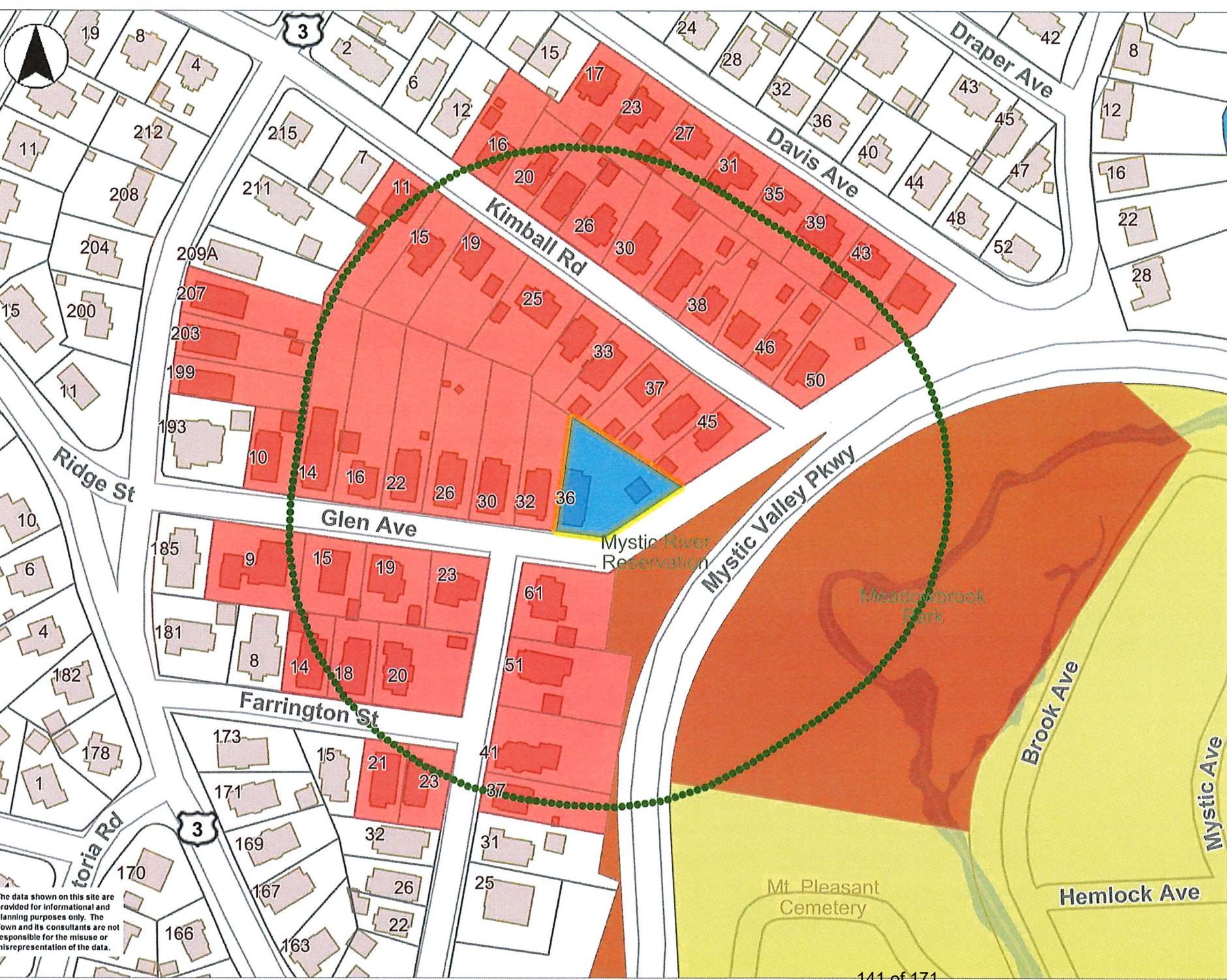
Search Distance: 300 Feet

| Parcel ID      | Property Location      | Owner 1                        | Owner 2                    | Mail Address 1      | Mail Address 2 | City/Town        | State     | Zip          |
|----------------|------------------------|--------------------------------|----------------------------|---------------------|----------------|------------------|-----------|--------------|
| 65-4-15        | 45 KIMBALL RD          | BROOKS DANIEL J                | CROSSON AMBER V            | 45 KIMBALL RD       |                | ARLINGTON        | MA        | 02474        |
| <b>65-4-16</b> | <b>34--36 GLEN AVE</b> | <b>CURRERI CYNTHIA TRUSTEE</b> | <b>BECK FAMILY TRUST</b>   | <b>36 CROSBY ST</b> |                | <b>ARLINGTON</b> | <b>MA</b> | <b>02474</b> |
| 65-4-17        | 32 GLEN AVE            | HELGER ANDREW C & EMILY/ TRS   | HELGER FAMILY TRUST        | 32 GLEN AVE         |                | ARLINGTON        | MA        | 02474        |
| 65-4-18        | 28--30 GLEN AVE        | 28-30 GLEN AVENUE LLC          |                            | 39 ELDRIDGE CT      |                | HINGHAM          | MA        | 02043        |
| 65-4-20        | 20--22 GLEN AVE        | AMES ROBERT F--ETAL            | AMES CHERYL TOSI           | 20 GLEN AVE         |                | ARLINGTON        | MA        | 02474        |
| 65-4-21        | 16 GLEN AVE            | KACHORIA CARRIE/NARESH         |                            | 16 GLEN AVE         |                | ARLINGTON        | MA        | 02474        |
| 65-4-23.A      | 8--10 GLEN AVE         | KOSSEOGLOU NICHOLAS            |                            | 8 GLEN AVE          |                | ARLINGTON        | MA        | 02474        |
| 69-4-5.A       | 17 DAVIS AVE           | VOLK LAWRENCE C &              | HOFFMAN HEIDI L            | 17 DAVIS AVE        |                | ARLINGTON        | MA        | 02474        |
| 69-4-6         | 23 DAVIS AVE           | AUDET MATTHEW R & JANICE L     |                            | 23 DAVIS AVE        |                | ARLINGTON        | MA        | 02474        |
| 69-4-7         | 27 DAVIS AVE           | PADILLA CARMEN & FERNANDO      |                            | 27 DAVIS AVE        |                | ARLINGTON        | MA        | 02474        |
| 69-4-8         | 31 DAVIS AVE           | BOLICK LOUISA C / TRUSTEE      | LOUISA C BOLICK 2020 TRUST | 31 DAVIS AVE        |                | ARLINGTON        | MA        | 02474        |
| 69-4-9         | 35 DAVIS AVE           | FLAHERTY THOMAS P & ALBA R/    | LIFE ESTATE                | 35 DAVIS AVE        |                | ARLINGTON        | MA        | 02474        |
| 69-4-10        | 39 DAVIS AVE           | SEBELSHAVIT TAL T& RACHEL      |                            | 39 DAVIS AVE        |                | ARLINGTON        | MA        | 02474        |
| 69-4-11        | 43 DAVIS AVE           | LYDEN PATRICIA L/ TRUSTEE      | PATRICIA L LYDEN TRUST     | 43 DAVIS AVE        |                | ARLINGTON        | MA        | 02474        |
| 69-4-12        | 47 DAVIS AVE           | CHARTIER JOSEPH M &            | KOFT JOANNA                | 47 DAVIS AVE        |                | ARLINGTON        | MA        | 02474        |
| 69-4-13        | 50 KIMBALL RD          | FENNELLY RICHARD               | FENNELLY GERALDINE         | 50 KIMBALL RD       |                | ARLINGTON        | MA        | 02474        |
| 69-4-14        | 46 KIMBALL RD          | JONES ROBERT & MADELEINE       |                            | 86 RIVERVIEW AVE    | UNIT 2         | WALTHAM          | MA        | 02453        |
| 69-4-15        | 42 KIMBALL RD          | FREEMAN ANDREW C &             | HOELSCHER CATHLEEN A       | 42 KIMBALL RD       |                | ARLINGTON        | MA        | 02474        |
| 69-4-16        | 38 KIMBALL RD          | CALLAHAN MICHAEL & MICHELLE    |                            | 38 KIMBALL RD       |                | ARLINGTON        | MA        | 02474        |
| 69-4-17        | 34 KIMBALL RD          | O'TOOLE MICHAEL/KELLY          |                            | 34 KIMBALL RD       |                | ARLINGTON        | MA        | 02474        |
| 69-4-18        | 30 KIMBALL RD          | GILLIES DONALD R B             | GILLIES DIANE C            | 30 KIMBALL RD       |                | ARLINGTON        | MA        | 02474        |
| 69-4-19        | 26 KIMBALL RD          | HAMILTON CHRISTOPHER & EMILY   |                            | 26 KIMBALL RD       |                | ARLINGTON        | MA        | 02474        |
| 69-4-20.A      | 24 KIMBALL RD          | BOYER STEPHEN &                | HEINICKE NICOLE            | 24 KIMBALL RD       |                | ARLINGTON        | MA        | 02474        |
| 69-4-20.B      | 20 KIMBALL RD          | LIM NICHOLAS                   | TOM SUNNY                  | 20 KIMBALL RD       |                | ARLINGTON        | MA        | 02474        |
| 69-4-21        | 16 KIMBALL RD          | PATWARI SANAT P/ILA S/TRS      | SANAT & ILA PATWARI TRUST  | 16 KIMBALL RD       |                | ARLINGTON        | MA        | 02474        |

The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to subject parcel within 300 feet.



**Town of Arlington**  
**Office of the Board of Assessors**  
**730 Massachusetts Ave.**  
**Arlington, MA 02476**  
**phone: 781.316.3050**  
**email: assessors@town.arlington.ma.us**



- Places by Category**
- Police Station
  - Fire Station
  - School
  - Library
  - Public Works
- Recreation - Facilities**
- Recreation - Fields Cc
  - Recreation - Fields Cc
- Open Space: Conserv**
- Open Space - Minuter
  - Open Space - Labels
- Open Space**
- Town, State, or
  - Other Town Ow
- MA Highways**
- Interstate
  - US Highway
  - Numbered Rout
- Abutting Towns**
- Town Boundary**
- Parcels**
- Buildings**
- Cemetery - Roads**
- Road1
  - Road2
  - Road3
  - Road4
- Pavement Markings**
- Impervious Surface - f**
- Street
  - Sidewalk
  - Street Island
  - Driveway
  - Parking Lot
  - Bike Path
- Roads - For Large Sc**
- Roads - For Small Sc**
- Major Road
  - Local Road
- Master Plan Base Map**
- Water Line**
- Water Body**

The data shown on this site is provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



## SP-25-11

Special Use Permit  
Application (ZBA)

Status: Active

Submitted On: 5/4/2025

## Primary Location

36 GLEN AVE  
Arlington, MA 02474


## Owner

Jack Ajoian  
34-36 GLEN AVE ARLINGTON, MA  
02474

## Applicant

 Leslie Mahoney  
 978-257-0808  
 mahoneyarchitects@gmail.com  
 6 BUBIER RD  
Marblehead, MA 01945

## Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district  for which the application is made or is so designated elsewhere in the Zoning Bylaw. \*\*\*Please LIST BYLAW(S)\*\*\*\*

5.4.2B.6 large additions

Explain why the requested use is essential or desirable to the public convenience or welfare.\*

Larger, updated dwelling units on this generous lot will be desirable to families, and long term ownership.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\*

The intensity of use, and/or occupancy, does not change from the existing two family residence.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\*

There is no increase in the number of households and therefore will not result in an increased burden on systems and services.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\*

The increase in area will conform to the required setbacks, allowed height, and lot coverage.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\*

The proposed & renovated structure will be in keeping with the existing and adjacent structures. Architectural elements are being copied in the new unit, so that both provide a cohesive street front. New, conforming open space is actually being provided on existing gravel parking, on a lot that cannot conform due to its extreme grade. This will increase the benefit to its residents and neighbors.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\*

The use remains a 2-family residence, the massing of 2 attached homes, and character of the structure will be similar to that of detached single family structures in the vicinity.

---

## Dimensional and Parking Information

Present Use/Occupancy \*

R2: 2-family residential

Proposed Use/Occupancy \*

2-family residential

Existing Number of Dwelling Units\*

2

Proposed Number of Dwelling Units\*

2

Existing Gross Floor Area (Sq. Ft.)\*

4417.65

Proposed Gross Floor Area (Sq. Ft.)\*

7275

Existing Lot Size (Sq. Ft.)\*

10143

Proposed Lot Size (Sq. Ft.)\* ?

10143

Minimum Lot Size required by Zoning\*

6000

Existing Frontage (ft.)\*

54.52

Proposed Frontage (ft.)\*

54.52

Minimum Frontage required by Zoning\*

60

Existing Floor Area Ratio\*

0.4

Proposed Floor Area Ratio\*

0.71

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

17.08

Proposed Lot Coverage (%)\*

24.77

Max. Lot Coverage required by Zoning\*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

0

Minimum Lot Area per Dwelling Unit required by Zoning\*

0

Existing Front Yard Depth (ft.)\*

11.17

Proposed Front Yard Depth (ft.)\*

11.17

Minimum Front Yard Depth required by Zoning\*

20

Existing SECOND Front Yard Depth (ft.)\* ?

27.9

Proposed SECOND Front Yard Depth (ft.)\* ?

20.67

Minimum SECOND Front Yard Depth required by Zoning\*

20

? Existing Left Side Yard Depth (ft.)\* ?

6.17

Proposed Left Side Yard Depth (ft.)\* ?

6.17

Minimum Left Side Yard Depth required by Zoning\* ?

10

Existing Right Side Yard Depth (ft.)\* ?

0

Proposed Right Side Yard Depth (ft.)\* ?

0

Minimum Right Side Yard Depth required by Zoning\* ?

0

Existing Rear Yard Depth (ft.)\*

43.84

Proposed Rear Yard Depth (ft.)\*

43.84

Minimum Rear Yard Depth required by Zoning\*

20

Existing Height (stories)

2.5

Proposed Height (stories)\*

2.5

Maximum Height (stories) required by Zoning\*

2.5

Existing Height (ft.)\*

33.8

Proposed Height (ft.)\*

33.8

Maximum Height (ft.) required by Zoning\*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

7258

Proposed Landscaped Open Space (Sq. Ft.)\*

4691.92

Existing Landscaped Open Space (% of GFA)\*

99

Proposed Landscaped Open Space (% of GFA)\*

65.5

Minimum Landscaped Open Space (% of GFA) required by Zoning\*

10

Existing Usable Open Space (Sq. Ft.)\*

0

Proposed Usable Open Space (Sq. Ft.)\*

1026

Existing Usable Open Space (% of GFA)\* ?

0

Proposed Usable Open Space (% of GFA)\* ?

14.1

Minimum Usable Open Space required by Zoning\*

30

Existing Number of Parking Spaces\*

2

Proposed Number of Parking Spaces\*

4

Minimum Number of Parking Spaces required by Zoning\*

2

Existing Parking area setbacks

0

Proposed Parking area setbacks \*

0

Minimum Parking Area Setbacks required by Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

9

Proposed Slope of proposed roof(s) (in. per ft.)\*

9

Minimum Slope of Proposed Roof(s) required by Zoning\*

2

Existing type of construction\*

2-family residential

Proposed type of construction\*

2-family residential

## Open Space Information

Existing Total Lot Area\*

10143

Proposed Total Lot Area\*

10143

Existing Open Space, Usable\*

0

Proposed Open Space, Usable\*

1026

Existing Open Space, Landscaped\*

7258

Proposed Open Space, Landscaped\*

4691.92

---

## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

360

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

1192.17

Basement or Cellar, Proposed Gross Floor Area

1603.82

1st Floor, Existing Gross Floor Area

1192

1st Floor, Proposed Gross Floor Area

2332

2nd Floor, Existing Gross Floor Area

1192

2nd Floor, Proposed Gross Floor Area

2332

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area 

169.87

Attic, Proposed Gross Floor Area

279.04

Parking Garages, Existing Gross Floor Area 

0

Parking Garages, Proposed Gross Floor Area

728.18

All weather habitable porches and balconies, Existing  
Gross Floor Area

311

All weather habitable porches and balconies, Proposed  
Gross Floor Area

0

Total Existing Gross Floor Area

4417.04



Total Proposed Gross Floor Area

7275.04



## APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

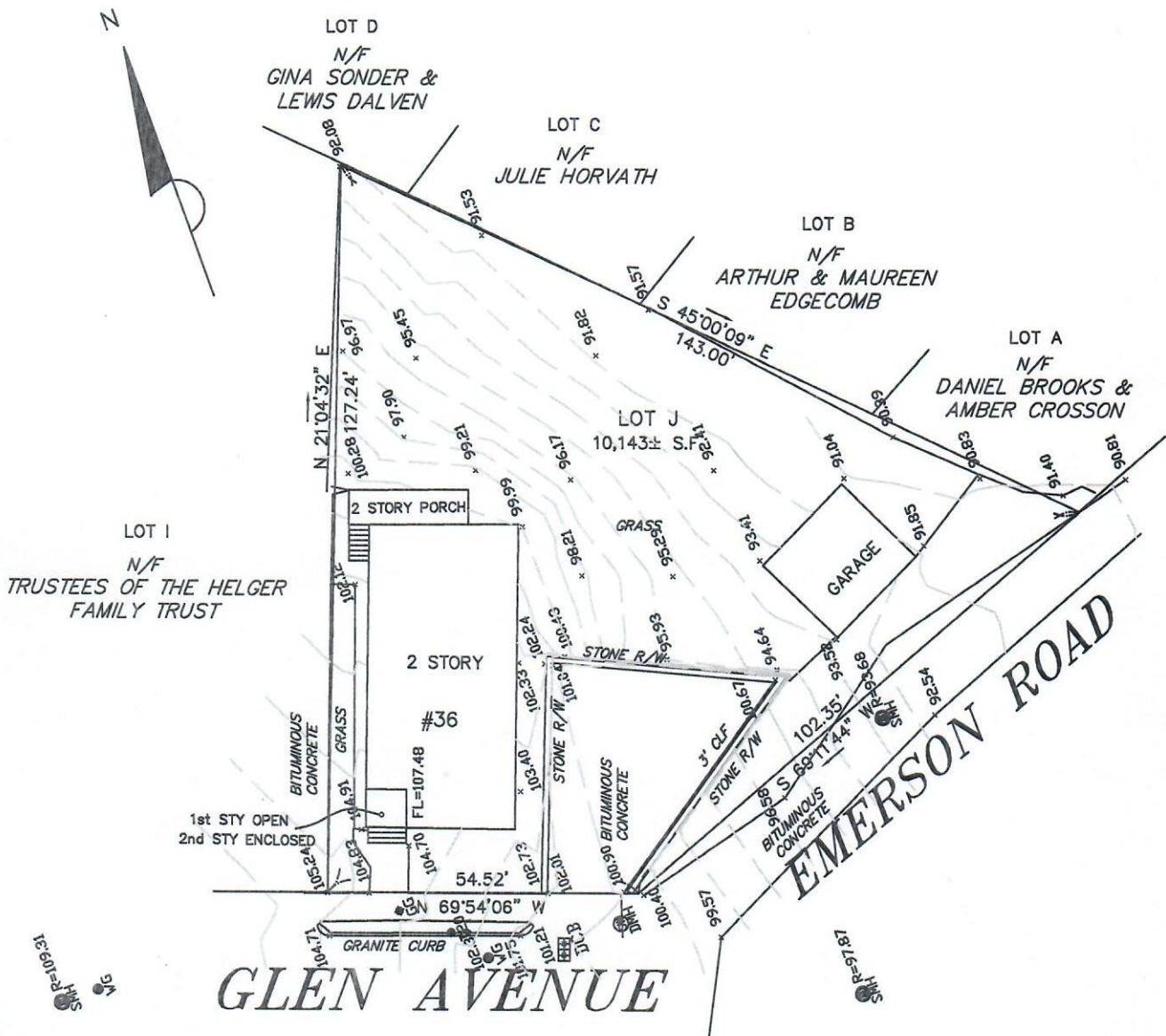
and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.\*



Applicant's Signature\*

 Leslie L Mahoney  
May 3, 2025



PREPARED FOR: ALPHA CONSTRUCTION

I HEREBY CERTIFY THAT THE BUILDING IS  
LOCATED AS SHOWN.

EXISTING CONDITIONS PLAN  
#36 GLEN AVENUE  
IN  
ARLINGTON, MA  
(MIDDLESEX COUNTY)

SCALE: 1" = 30' DATE: 4/16/2025



ROBER SURVEY  
1072A MASSACHUSETTS AVENUE  
ARLINGTON, MA 02476 149 of 171  
(781) 648-5533  
7683EC1.DWG

SCOTT LYNCH, PLS DATE

THIS PLAN MAY HAVE BEEN ALTERED IF  
THE SIGNATURE IS NOT SIGNED IN BLUE.

|                                 | UNIT #1<br>EXISTING | UNIT #1<br>PROPOSED | UNIT #2<br>PROPOSED | TOTAL  | NOTES  |
|---------------------------------|---------------------|---------------------|---------------------|--------|--|
| BASEMENT/CELLAR                 | 1192                | 1192                | 1140                | 2332   | UNIT #2 INCLUDES GARAGE                                |
| FIRST FLOOR                     | 1322                | 1192                | 1140                | 2332   |  |
| SECOND FLOOR                    | 1373                | 1192                | 1140                | 2332   |  |
| ATTIC                           | 170                 | 303                 | 0                   | 303    |  |
| ACCESSORY GARAGE                | 360                 | 0                   | 0                   | 0      |  |
| TOTAL GFA                       | 4417                | 3879                | 3420                | 7299   |  |
|                                 |                     |                     |                     |        |  |
| OPEN SPACE REQ'D 30%            | 1325                | 1163.7              | 1026                | 2189.7 |  |
| OPEN SPACE PROVIDED             | NONE *              | **                  | 1026 ***            | 1026   |  |
| LANDSCAPED OPEN SPACE REQ'D 10% | 442                 | 387                 | 342                 | 729    |  |
| LANDSCAPED OPEN SPACE PROVIDED  | 7258                | 4692 (COMBINED)     |                     | 4692   | LESS THAN EXISTING AS MUCH IS GIVEN OVER TO OPEN SPACE |
|                                 |                     |                     |                     |        |  |

UNIT #1  
OPEN SPACE  
1156.61 SF  
25' X 46.25  
15.7% GRADE

OPEN REAR DECKS

UNIT #2  
GARAGE BENEATH  
30 X 38  
GFA 3420 SF  
2.5 FLOORS

OPEN PORCH

UNIT 2  
OPEN SPACE  
1026 SF  
25 X 41  
81% (834SF) IS LESS THAN 8% GRADE

OPEN REAR DECKS

UNIT #1  
GFA 3855.38 SF  
2.5 FLOORS

OPEN PORCHES

WALKWAY

SETBACK LINE

DRIVEWAY

RETAINING WALL

OPEN SPACE  
 $1156.61 + 1026 = 2182.61$

LANDSCAPED  
OPEN SPACE  
4691.92

The use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction, or publication by any method in whole or part is prohibited without the express written permission of the architect. Title to the plans and specifications and authorization of their reuse remains exclusively with the architect.

©2025, Mahoney Architect

**34-36 GLEN AVENUE  
Arlington, MA**

|                            |
|----------------------------|
| <b>SPECIAL PERMIT APP</b>  |
| <b>MAY 5, 2025 revised</b> |

**SP-1**

DRAWING LIST

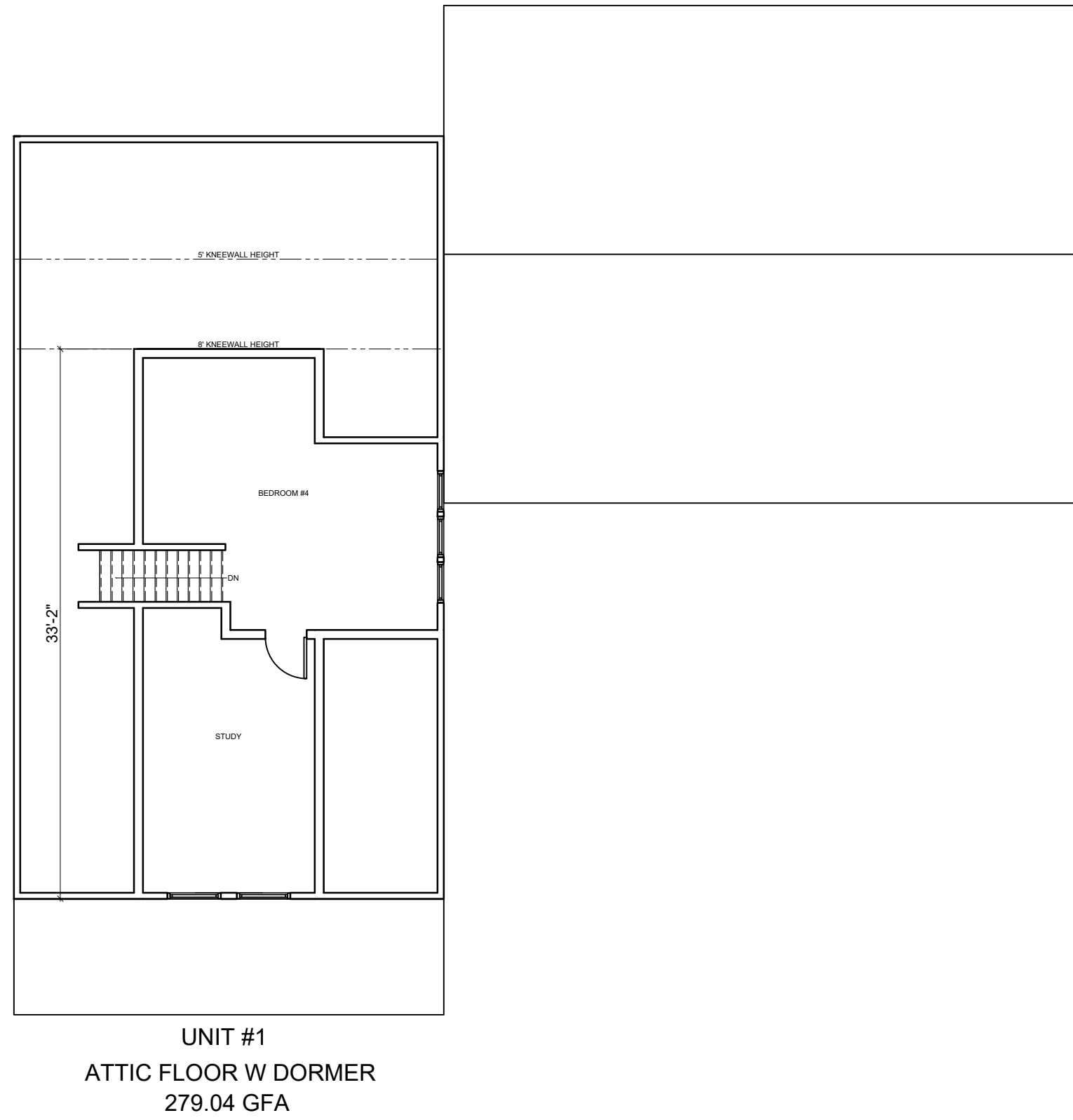
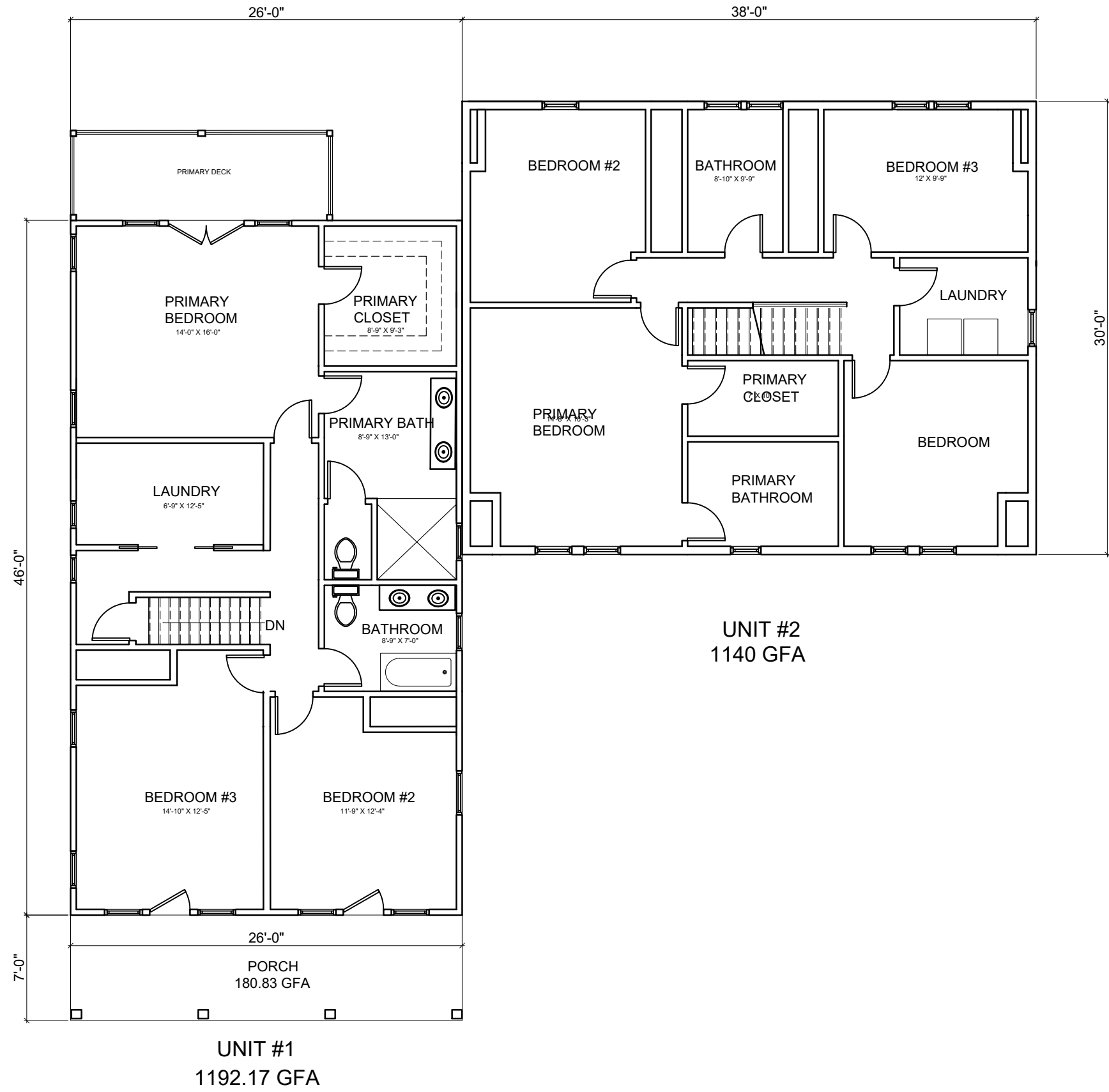
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34-36 GLEN AVENUE  
Arlington, MA

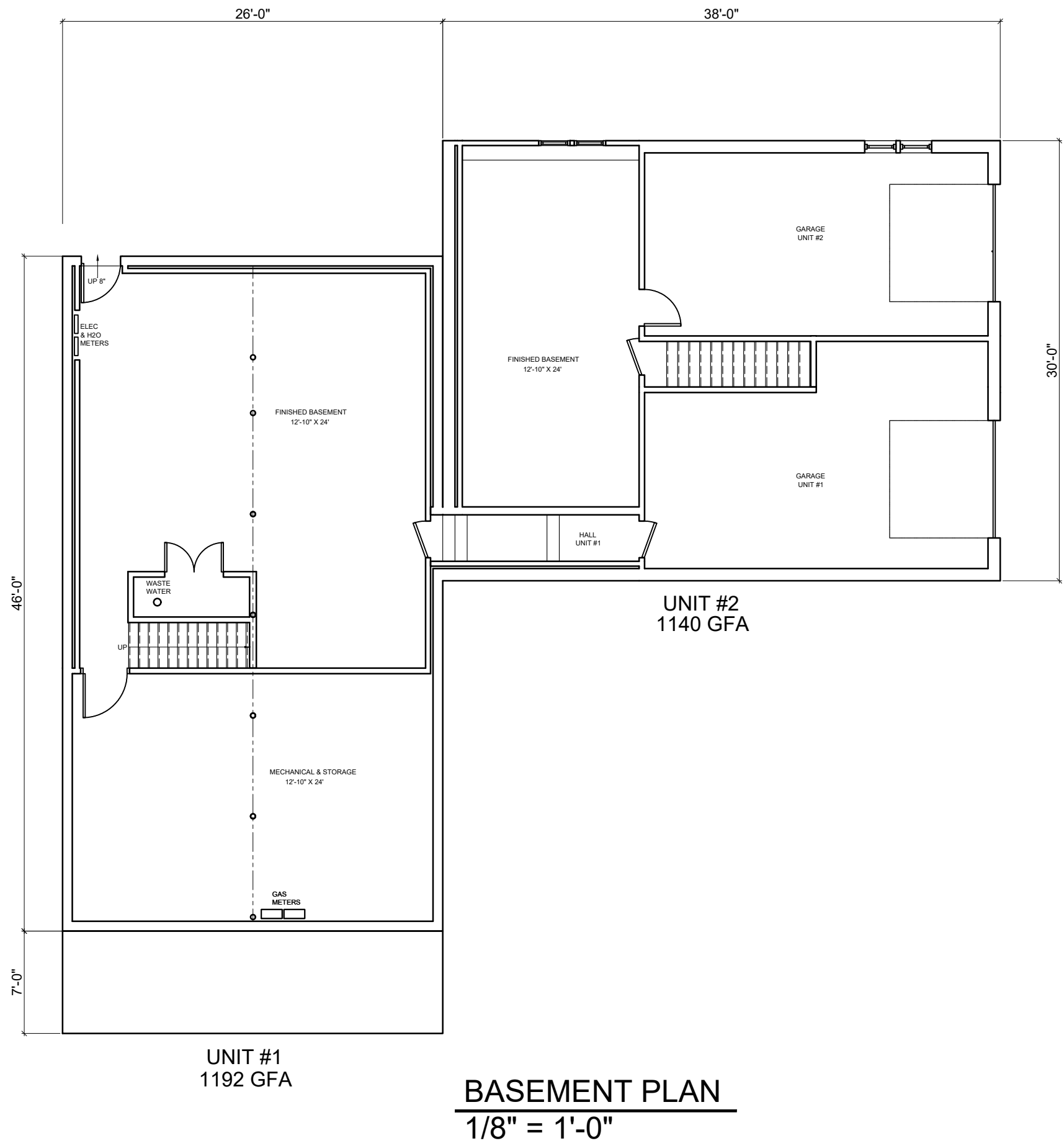
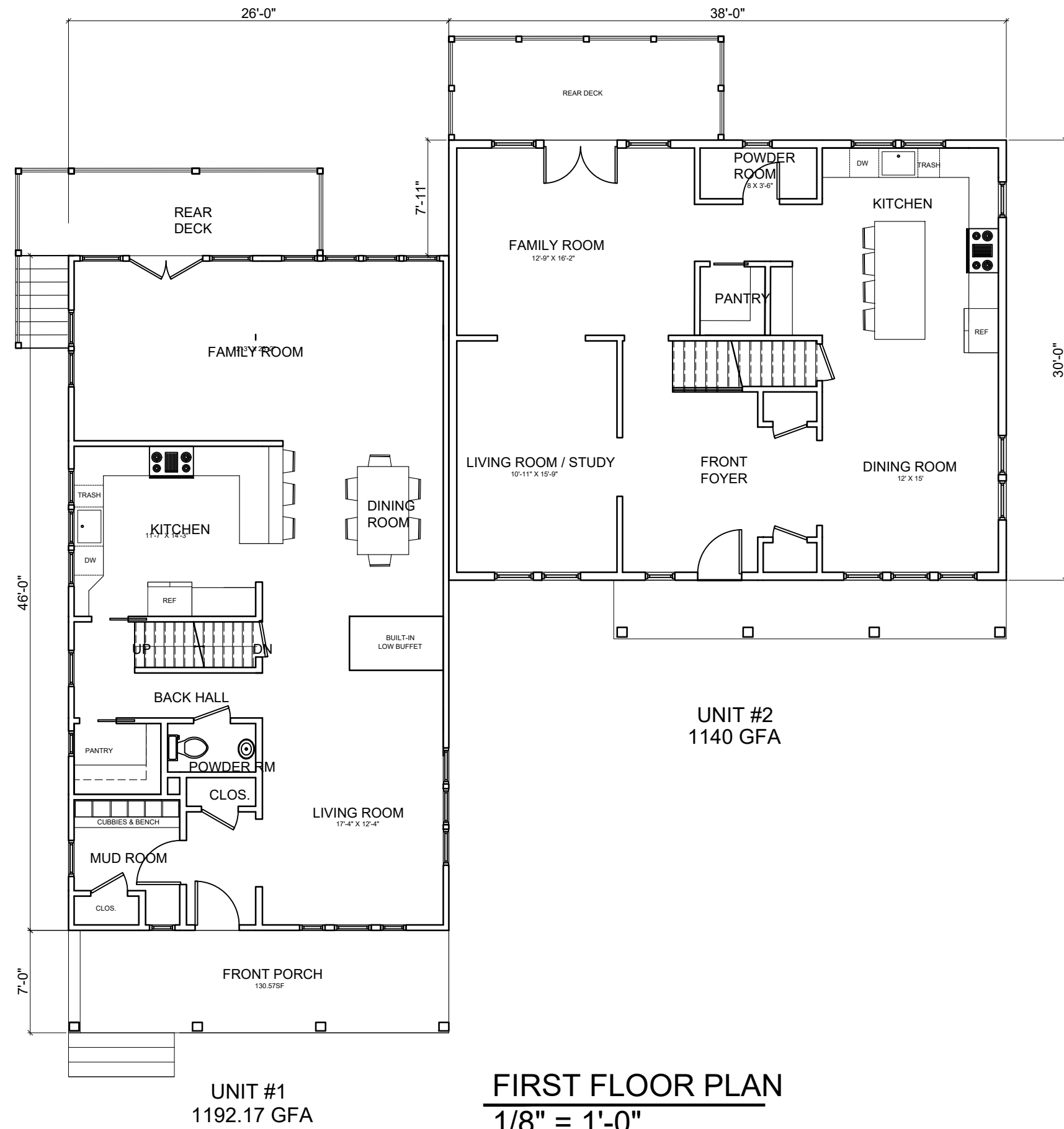
SPECIAL PERMIT APP  
MAY 5, 2025 revised

SP-2



ATTIC PLAN

1/8" = 1'-0"



DRAWING LIST

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34-36 GLEN AVENUE  
Arlington, MA

SPECIAL PERMIT APP  
MAY 5, 2025 revised

SP-3



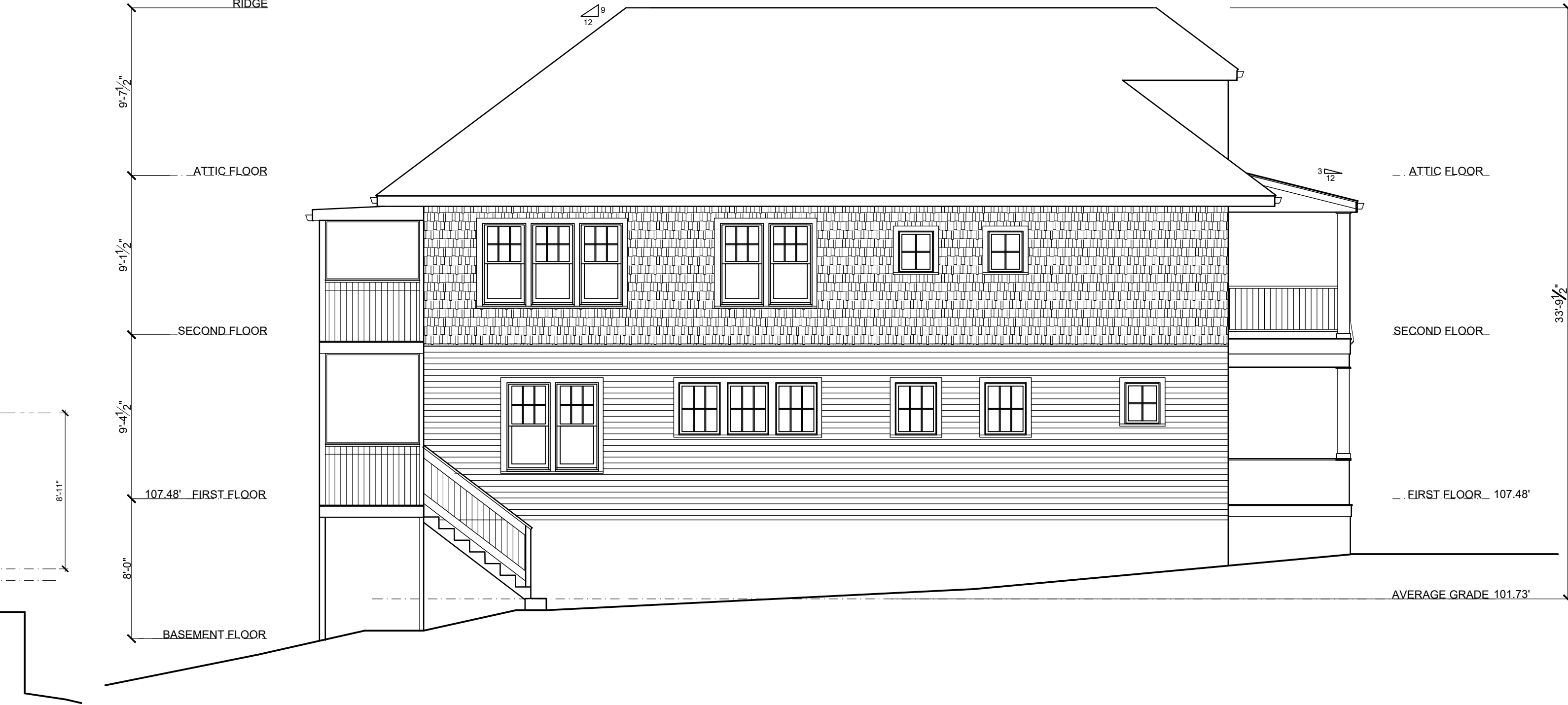
REAR ELEVATION  
3/16" = 1'-0"



RIGHT SIDE ELEVATION  
3/16" = 1'-0"



FRONT ELEVATION  
3/16" = 1'-0"



LEFT SIDE ELEVATION  
3/16" = 1'-0"

DRAWING LIST

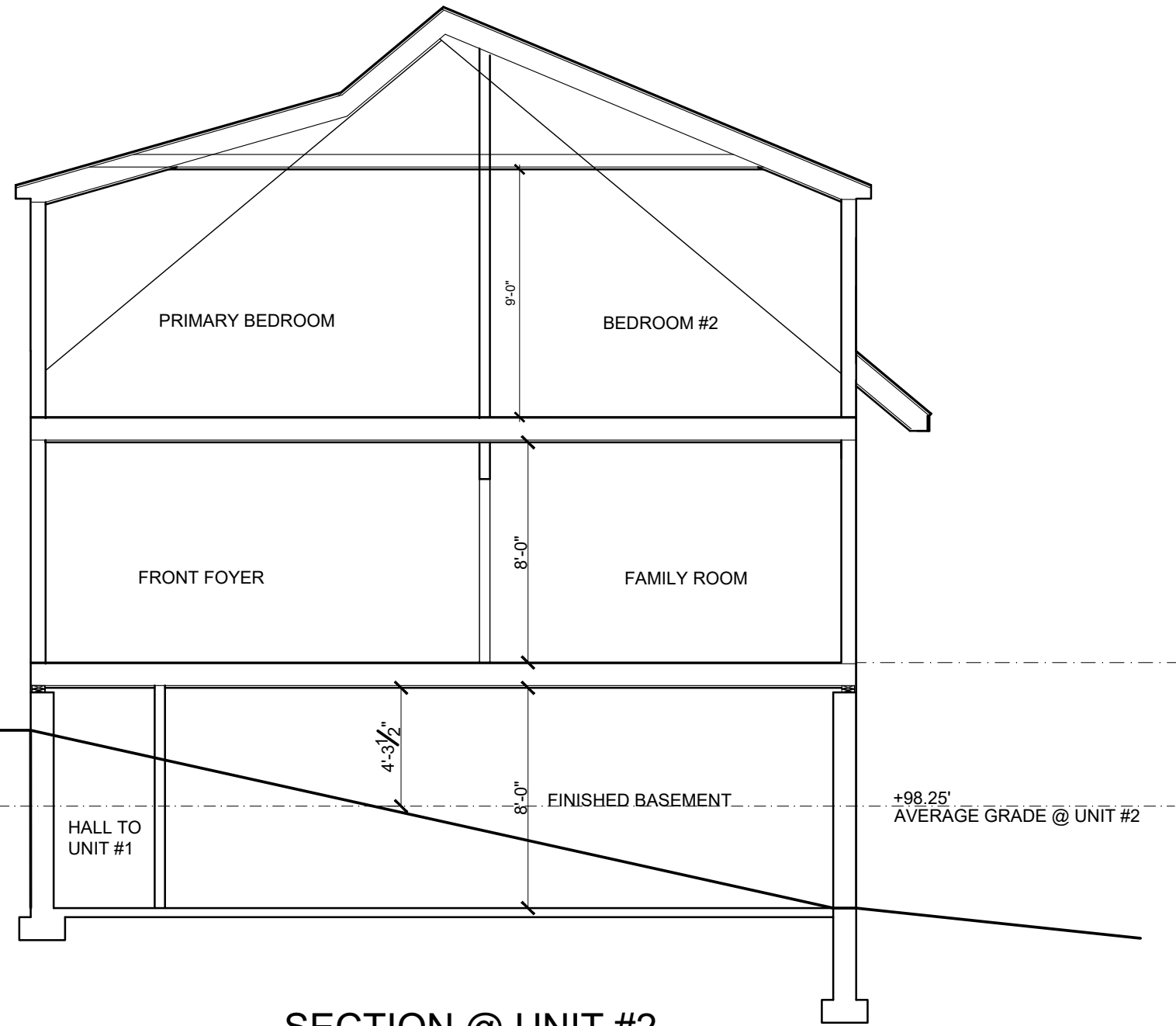
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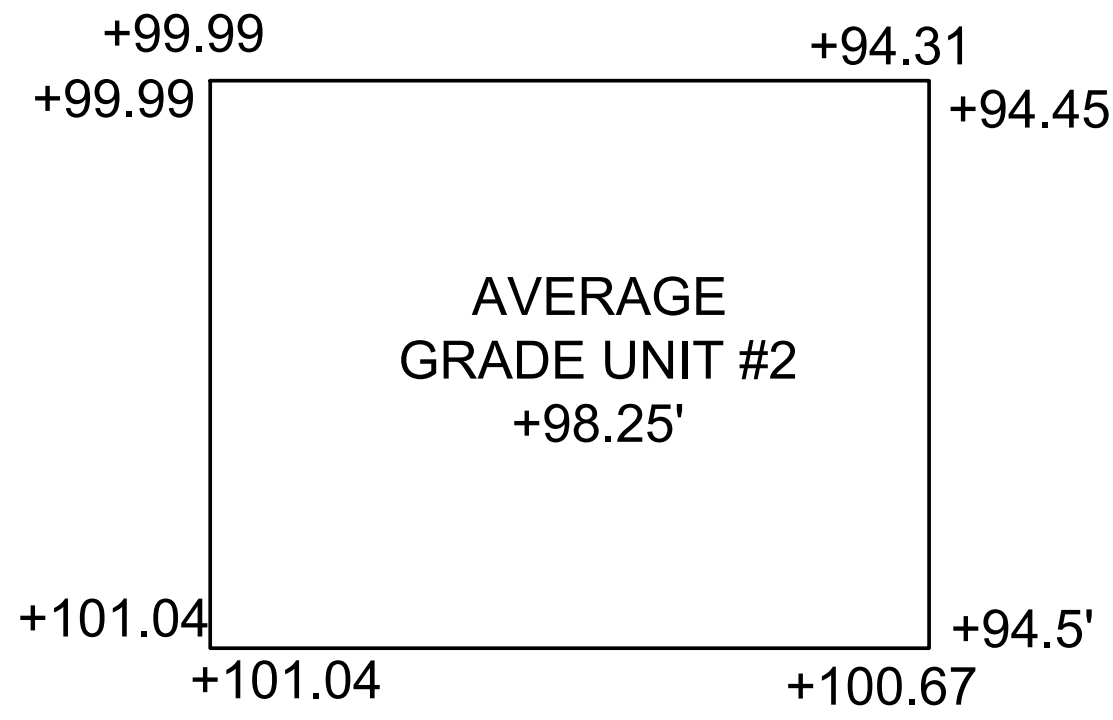
**34-36 GLEN AVENUE**  
**Arlington, MA**

SPECIAL PERMIT APP  
MAY 5, 2025 revised

**SP-4**



**SECTION @ UNIT #2**  
**BASEMENT 1/2 STORY**  
**3/16" = 1'-0"**



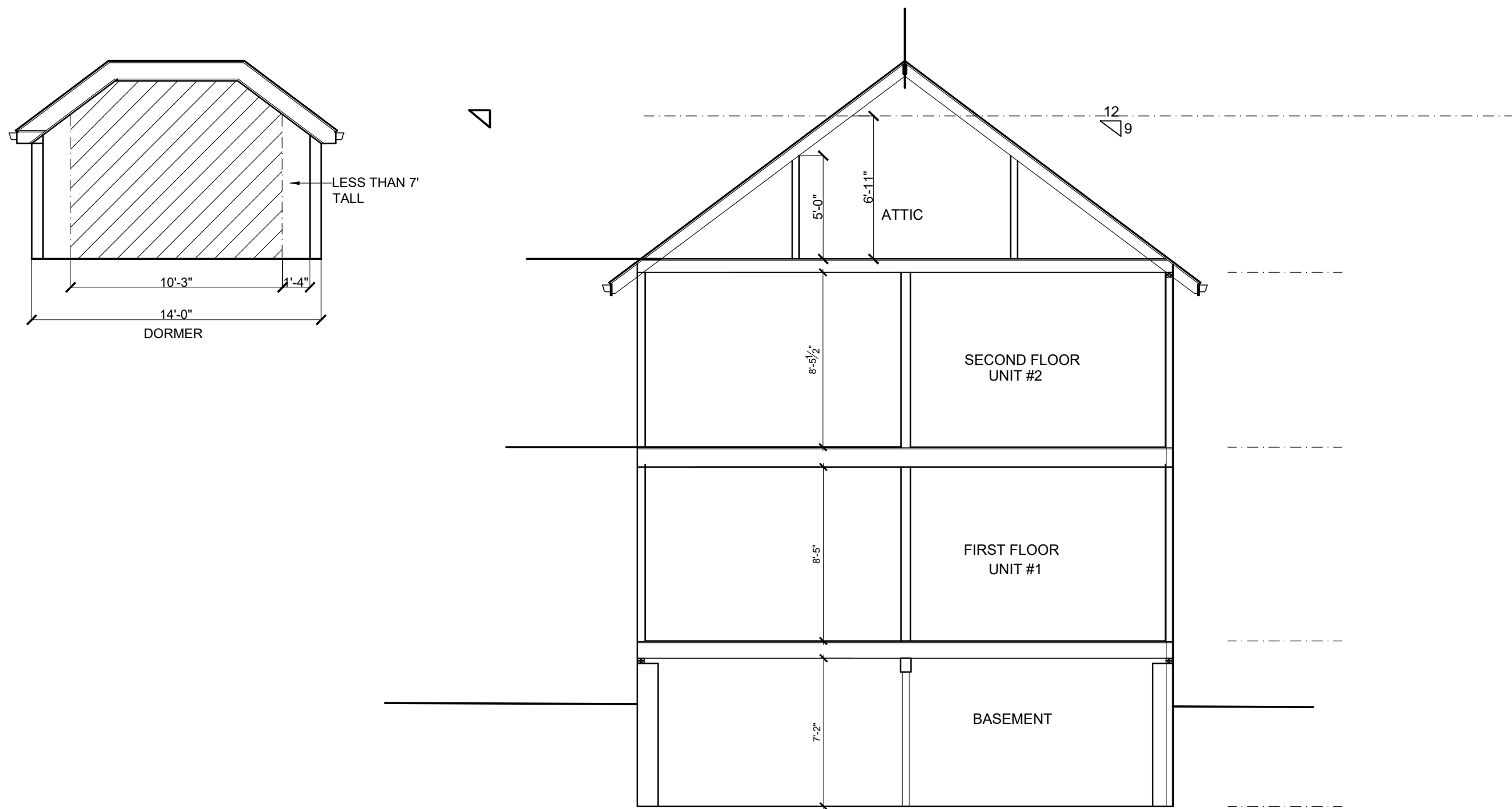
**BASEMENT 1/2 STORY CALC**

NOTE: AVERAGE GRADE/HEIGHT FOR UNIT #1 PROVIDED BY ENGINEER

AVERAGE GRADE ACROSS SITE AT MIDDLE  
 $103.2 - 90.39 = 12.81/105.29$  (SITE DEPTH) = 12.1%

PERCENT GRADE ACROSS UNIT #2 OPEN SPACE  
 $95.45 - 91.53 = 3.92/25$  (WIDTH) = 15.68%

**CALCULATIONS FOR GRADE %**



**SECTION @ UNIT #1**  
**ATTIC AREA CALCS**  
**3/16" = 1'-0"**



## Town of Arlington, Massachusetts

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### Docket #3853 3 Inverness Rd

#### Summary:

OpenGov Link: <https://arlingtonma.portal.opengov.com/records/210279>

#### ATTACHMENTS:

| Type                 | File Name                                      | Description                                |
|----------------------|--|--|
| ▢ Reference Material | 3853_3_Inverness_Rd_legal_notice.pdf           | 3853 3 Inverness Rd legal notice           |
| ▢ Reference Material | 3853_3_Inverness_Rd_abutter_list_and_map.pdf   | 3853 3 Inverness Rd abutter list and map   |
| ▢ Reference Material | 3853_3_Inverness_Rd_Application_SP-25-12.pdf   | 3853 3 Inverness Rd Application SP-25-12   |
| ▢ Reference Material | 3853_3Inverness_Proposed_Site_Plan_Stamped.pdf | 3853 3Inverness_Proposed Site Plan_Stamped |
| ▢ Reference Material | 3853_3_Inverness_Proposed_Plans_Stamped.pdf    | 3853 3 Inverness_Proposed Plans_Stamped    |
| ▢ Reference Material | 3853_3_Inverness_Proposed_Drawings.pdf         | 3853 3 Inverness_Proposed Drawings         |

**ORDER DETAILS**

PREVIEW FOR AD NUMBER LNEO02976930

**Order Number:**  
LNEO0297693  
**External Order #:**  
11317473  
**Order Status:**  
Approved  
**Classification:**  
Public Notices  
**Package:**  
General Package  
**Total payment:**  
231.72  
**Payment Type:**  
Account Billed  
**User ID:**  
L0023538  
**External User ID:**  
670931

**ACCOUNT INFORMATION**

Arlington Board Of Appeals  
51 Grove St  
Arlington, MA 02476-4602  
781-316-3396  
cralston@town.arlington.ma.us  
Arlington Board Of Appeals  
Contract ID:

**TRANSACTION REPORT**

**Date**  
May 13, 2025 3:01:31 PM EDT  
**Amount:**  
231.72

**ADDITIONAL OPTIONS**

1 Affidavit

**SCHEDULE FOR AD NUMBER LNEO02976930**

May 22, 2025  
The Advocate & Star (Arlington - Winchester)  
May 29, 2025  
The Advocate & Star (Arlington - Winchester)

3 Inverness Road  
**LEGAL NOTICE**  
**DOCKET NO 3853**

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by Bradford Perkins and Erin Mysak, on May 6, 2025, a petition seeking to alter their property located at 3 Inverness Road - Block Plan 172.0-0005-0004.0. The said petition would require a Special Permit under 5.3.9 D of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", on Tuesday, June 10, 2025, at 7:30 P.M. as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL: <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar>, and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website before the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>. Please direct any questions to: [ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)

Christian Klein, RA, Chair  
Zoning Board of Appeals

May 22, 29 2025  
LNEO0297693

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[Contact Us](#)

**CERTIFIED ABUTTERS LIST****Date: May 7, 2025****Subject Property Location: 3 INVERNESS RD Arlington, MA****Subject Parcel ID: 172-5-4****Search Distance: 300 Feet**

| Parcel ID      | Property Location     | Owner 1                          | Owner 2                        | Mailing Address       | City/Town        | State     | Zip          |
|----------------|-----------------------|----------------------------------|--------------------------------|-----------------------|------------------|-----------|--------------|
| 172-3-2        | 1 LANARK RD           | MONAHAN CASEY K                  | CAVANAUGH TIMOTHY J            | 1 LANARK RD           | ARLINGTON        | MA        | 02476        |
| 172-3-3        | 3 LANARK RD           | SALVO RAYMOND                    |                                | 3 LANARK RD           | ARLINGTON        | MA        | 02476        |
| 172-3-4        | 11 LANARK RD          | BUSSONE LAOTI A                  |                                | 11 LANARK RD          | ARLINGTON        | MA        | 02476        |
| 172-4-4.A      | 10 KILSYTHE RD        | DANJOU MARC C &                  | MCKINNON SARAH D               | 10 KILSYTHE RD        | ARLINGTON        | MA        | 02476        |
| 172-4-6        | 6 KILSYTHE RD         | HOWE PATRICIA ETAL/ TRS          | 6 KILSYTHE ROAD REALTY TRUST   | 6 KILSYTHE RD         | ARLINGTON        | MA        | 02476        |
| 172-4-7        | 31 INVERNESS RD       | LARKIN MARK J/MAUREEN O          |                                | 31 INVERNESS RD       | ARLINGTON        | MA        | 02476        |
| 172-5-1        | 33 ABERDEEN RD        | KYDD BRIAN B &                   | MACKEY-KYDD WENDY              | 33 ABERDEEN RD        | ARLINGTON        | MA        | 02476        |
| 172-5-2        | 35 ABERDEEN RD        | KIRBY CHRISTINE                  | LABAU BRIAN                    | 35 ABERDEEN RD        | ARLINGTON        | MA        | 02476        |
| <b>172-5-4</b> | <b>3 INVERNESS RD</b> | <b>PERKINS BRADFORD GRANT JR</b> | <b>MYSAK ERIN ROSS</b>         | <b>3 INVERNESS RD</b> | <b>ARLINGTON</b> | <b>MA</b> | <b>02476</b> |
| 172-5-5        | 7 INVERNESS RD        | ADAMS CATHERINE D                |                                | 7 INVERNESS RD        | ARLINGTON        | MA        | 02476        |
| 172-5-6        | 11 INVERNESS RD       | BOGDANOW WALTER & GAIL A/TRS     | BOGDANOW REALTY TRUST          | 11 INVERNESS RD       | ARLINGTON        | MA        | 02476        |
| 172-5-7        | 15 INVERNESS RD       | CHERA THERESA                    |                                | 15 INVERNESS RD       | ARLINGTON        | MA        | 02476        |
| 172-5-8        | 7 KILSYTHE RD         | FULLER PETER T&KAUFMAN MARSHA/   | TRS/ PETER T FULLER TRUST&     | 7 KILSYTHE RD         | ARLINGTON        | MA        | 02476        |
| 172-5-9        | 11 KILSYTHE RD        | HEYNES OLIVER                    | CONNOLLY CLARE B               | 11 KILSYTHE RD        | ARLINGTON        | MA        | 02476        |
| 172-5-10       | 17 KILSYTHE RD        | MATTLEMAN JACOB                  | FEINTUCH HANNAH                | 17 KILSYTHE RD        | ARLINGTON        | MA        | 02476        |
| 172-6-2        | 30 INVERNESS RD       | LAWRENCE MICHAEL                 |                                | 30 INVERNESS RD       | ARLINGTON        | MA        | 02476        |
| 172-6-3        | 26 INVERNESS RD       | COLMAN JILL K & JEFFREY W/ TRS   | JILL K COLMAN REVOCABLE TRUST  | 26 INVERNESS RD       | ARLINGTON        | MA        | 02476        |
| 172-6-4        | 22 INVERNESS RD       | ZEID RHAMY IBRAHIM               | GILBERT JENIFER LOREN          | 22 INVERNESS RD       | ARLINGTON        | MA        | 02476        |
| 172-6-5        | 18 INVERNESS RD       | CAUFIELD JANE E                  | ENTLER KATHLEEN S              | 18 INVERNESS RD       | ARLINGTON        | MA        | 02476        |
| 172-6-6        | 14 INVERNESS RD       | TOSI ROBERT L JR & JOSEPH W      | TRS/ ROBERT L TOSI IRREVOCABLE | 14 INVERNESS RD       | ARLINGTON        | MA        | 02476        |
| 172-6-7        | 10 INVERNESS RD       | TENNIS RICHARD/TRUSTEE           | TENVERNESS TRUST               | 10 INVERNESS RD       | ARLINGTON        | MA        | 02476        |
| 172-6-8.A      | 0-LOT INVERNESS RD    | TURNAN BARBARA F                 |                                | 4 INVERNESS RD        | ARLINGTON        | MA        | 02476        |
| 172-6-9.A      | 4 INVERNESS RD        | TURNAN J. PAUL/TRUSTEE           | TURNAN REALTY TRUST            | 4 INVERNESS RD        | ARLINGTON        | MA        | 02476        |
| 172-6-10.A     | 49 TANAGER ST         | BERRY VIRGINIA S                 |                                | 49 TANAGER ST         | ARLINGTON        | MA        | 02476        |
| 172-6-13       | 61 TANAGER ST         | MORGENSTERN DAVID E/CATHERINE    |                                | 61 TANAGER ST         | ARLINGTON        | MA        | 02476        |
| 172-6-14       | 65 TANAGER ST         | SUGARMAN LEAH F                  | KARDON LEONARD J               | 65 TANAGER ST         | ARLINGTON        | MA        | 02476        |
| 172-6-15       | 69 TANAGER ST         | BASKIN KARA C &                  | LAPSERITIS BRIAN J             | 69 TANAGER ST         | ARLINGTON        | MA        | 02476        |
| 172-6-16       | 73 TANAGER ST         | HURLEY THOMAS & KATHERINE        |                                | 73 TANAGER ST         | ARLINGTON        | MA        | 02476        |
| 172-11-3       | 65 WOLLASTON AVE      | AMMONDSON ERIC T                 | MCELROY AMY B                  | 65 WOLLASTON AVE      | ARLINGTON        | MA        | 02476        |
| 172-11-4       | 69 WOLLASTON AVE      | SMITH GARY E/MARJORIE            |                                | 69 WOLLASTON AVE      | ARLINGTON        | MA        | 02476        |
| 172-11-5       | 71 WOLLASTON AVE      | CAMPBELL PAUL                    | BOYD ADAM & CAMPBELL CATHERINE | 71 WOLLASTON AVE      | ARLINGTON        | MA        | 02476        |
| 172-11-6       | 77 WOLLASTON AVE      | JUITT DAVID N & LAURA G          |                                | 77 WOLLASTON AVE      | ARLINGTON        | MA        | 02476        |
| 172-11-7.A     | 46 TANAGER ST         | CONNORS CURTIS A/KAREN M         |                                | 46 TANAGER ST         | ARLINGTON        | MA        | 02476        |

**CERTIFIED ABUTTERS LIST****Date: May 7, 2025****Subject Property Location: 3 INVERNESS RD Arlington, MA****Subject Parcel ID: 172-5-4****Search Distance: 300 Feet**

| Parcel ID  | Property Location | Owner 1                        | Owner 2                        | Mailing Address  | City/Town    | State | Zip   |
|------------|-------------------|--------------------------------|--------------------------------|------------------|--------------|-------|-------|
| 173-3-8    | 18 LORNE RD       | LEIBENSPERGER MICHAEL J        |                                | 18 LORNE RD      | ARLINGTON    | MA    | 02476 |
| 173-3-9    | 12 LORNE RD       | CZEKAJ JEFFREY M               | EDELMAN JACY                   | 12 LORNE RD      | ARLINGTON    | MA    | 02476 |
| 173-3-10   | 8 LORNE RD        | GRAY SARAH NYSSA               | PERRON THOMAS SCOTT            | 8 LORNE RD       | ARLINGTON    | MA    | 02476 |
| 173-3-11   | 6 LORNE RD        | SVENSON ROBERT BRADFORD        | SVENSON PATTY LU               | 6 LORNE RD       | ARLINGTON    | MA    | 02476 |
| 173-3-12   | 44 SUTHERLAND RD  | XIAN YUQI                      | LI QINGZHI                     | 199 WESMONT DR   | WOOD RIDGE   | NJ    | 07075 |
| 173-4-28   | 39 TANAGER ST     | LACOUR MARIE B                 |                                | 39 TANAGER ST    | ARLINGTON    | MA    | 02476 |
| 173-4-29   | 45 TANAGER ST     | DRAPEAU SCOTT & SUSAN/ TRS     | SCOTT DRAPEAU 2018 REVOCABLE   | 45 TANAGER ST    | ARLINGTON    | MA    | 02476 |
| 173-4-30   | 15 SPRING RD      | YOUNG JASON                    |                                | 15 SPRING RD     | ARLINGTON    | MA    | 02476 |
| 173-5-2.A  | 56 ABERDEEN RD    | THAPAR VISHAL                  | SEN-THAPAR ROHINI              | 56 ABERDEEN RD   | ARLINGTON    | MA    | 02476 |
| 173-5-3    | 52 ABERDEEN RD    | CAO YANG                       | XIE BINGQIAN                   | 2064 OREGON AVE  | REDWOOD CITY | CA    | 94061 |
| 173-5-4.A  | 48 ABERDEEN RD    | KELLY RITA F                   |                                | 48 ABERDEEN RD   | ARLINGTON    | MA    | 02476 |
| 173-5-5.A  | 44 ABERDEEN RD    | PAGET ELIZABETH & WILLIAM      |                                | 44 ABERDEEN RD   | ARLINGTON    | MA    | 02476 |
| 173-5-7.A  | 66 SUTHERLAND RD  | JENSEN MALLORY                 | ROMANO JOSEPH                  | 66 SUTHERLAND RD | ARLINGTON    | MA    | 02476 |
| 173-5-8.A  | 3 LORNE RD        | STEWART MARTHA B/ TRUSTEE      | MARTHA B STEWART 2009 FAMILY   | 3 LORNE RD       | ARLINGTON    | MA    | 02476 |
| 173-5-10   | 9--11 LORNE RD    | STAMIDES STEFANOS & CHRISTINA  | TRS/ 9-11 LORNE ROAD REALTY TR | 32 CHANDLER RD   | BURLINGTON   | MA    | 01803 |
| 173-5-11   | 13--15 LORNE RD   | WALKER DEBORAH                 | WALSH SHAWN M                  | 15 LORNE RD      | ARLINGTON    | MA    | 02476 |
| 173-5-13   | 0-LOT LORNE RD    | CAIN MARK GEARY--ETAL          | CAIN JANE GUARAGNA             | 25 LORNE RD      | ARLINGTON    | MA    | 02476 |
| 173-5-14   | 25 LORNE RD       | CAIN MARK GEARY--ETAL          | CAIN JANE GUARAGNA             | 25 LORNE RD      | ARLINGTON    | MA    | 02476 |
| 173-6-1    | 42 TANAGER ST     | AHERN THOMAS R & JEANNE C      |                                | 42 TANAGER ST    | ARLINGTON    | MA    | 02476 |
| 173-6-2    | 40 TANAGER ST     | ZHAO JIANHONG &                | CHEN HUAWEI                    | 104 EAST ST      | CARLISLE     | MA    | 01741 |
| 174-6-11.B | 36 ARGYLE RD      | STEIN WILLIAM G & HAY PAMELA A |                                | 36 ARGYLE RD     | ARLINGTON    | MA    | 02476 |
| 174-6-13   | 40 ARGYLE RD      | FERGUSON MARY ANN/ TRUSTEE     | MARY ANN FERGUSON FAMILY       | 40 ARGYLE RD     | ARLINGTON    | MA    | 02476 |
| 174-6-14   | 44 ARGYLE RD      | NUPP CHRISTIAN R & KASEY L     |                                | 44 ARGYLE RD     | ARLINGTON    | MA    | 02476 |
| 174-6-15   | 22 ABERDEEN RD    | SREMAC MARINKO & IZABELA       |                                | 22 ABERDEEN RD   | ARLINGTON    | MA    | 02476 |
| 174-6-16   | 67 SUTHERLAND RD  | LOSHIN PETER                   | WOLFE LISA H                   | 67 SUTHERLAND RD | ARLINGTON    | MA    | 02476 |
| 174-6-20   | 51 SUTHERLAND RD  | FORST DEBORAH ANNE             | GONZALEZ JASON JAVIER          | 51 SUTHERLAND RD | ARLINGTON    | MA    | 02476 |
| 174-6-21   | 47 SUTHERLAND RD  | HANDLER ERIC W & SHANNON E     |                                | 47 SUTHERLAND RD | ARLINGTON    | MA    | 02476 |
| 174-10-5   | 17 ABERDEEN RD    | MJA HOLDINGS LLC               |                                | 5 TANNERY DR     | MEDFIELD     | MA    | 02052 |
| 174-10-6   | 29 KILSYTHE RD    | CARMAN DEAN E & CARRIE N/ TRS  | CARMAN FAMILY REVOCABLE TRUST  | 29 KILSYTHE RD   | ARLINGTON    | MA    | 02476 |
| 174-11-1   | 21 KILSYTHE RD    | MCCALL MICHAEL C &             | CAUSE EMILY M                  | 21 KILSYTHE RD   | ARLINGTON    | MA    | 02476 |
| 174-11-2   | 25 KILSYTHE RD    | KENNEDY KIM M/ TRUSTEE         | 25 KILSYTHE ROAD REALTY TRUST  | 25 KILSYTHE RD   | ARLINGTON    | MA    | 02476 |
| 174-11-3   | 25 ABERDEEN RD    | SHAPIRO BARBARA L/ TRUSTEE     | BARBARA L SHAPIRO TRUST        | 25 ABERDEEN RD   | ARLINGTON    | MA    | 02476 |
| 174-11-4   | 29 ABERDEEN RD    | KLUGHAUPT EZRA &               | MAY MICHAELA                   | 29 ABERDEEN RD   | ARLINGTON    | MA    | 02476 |

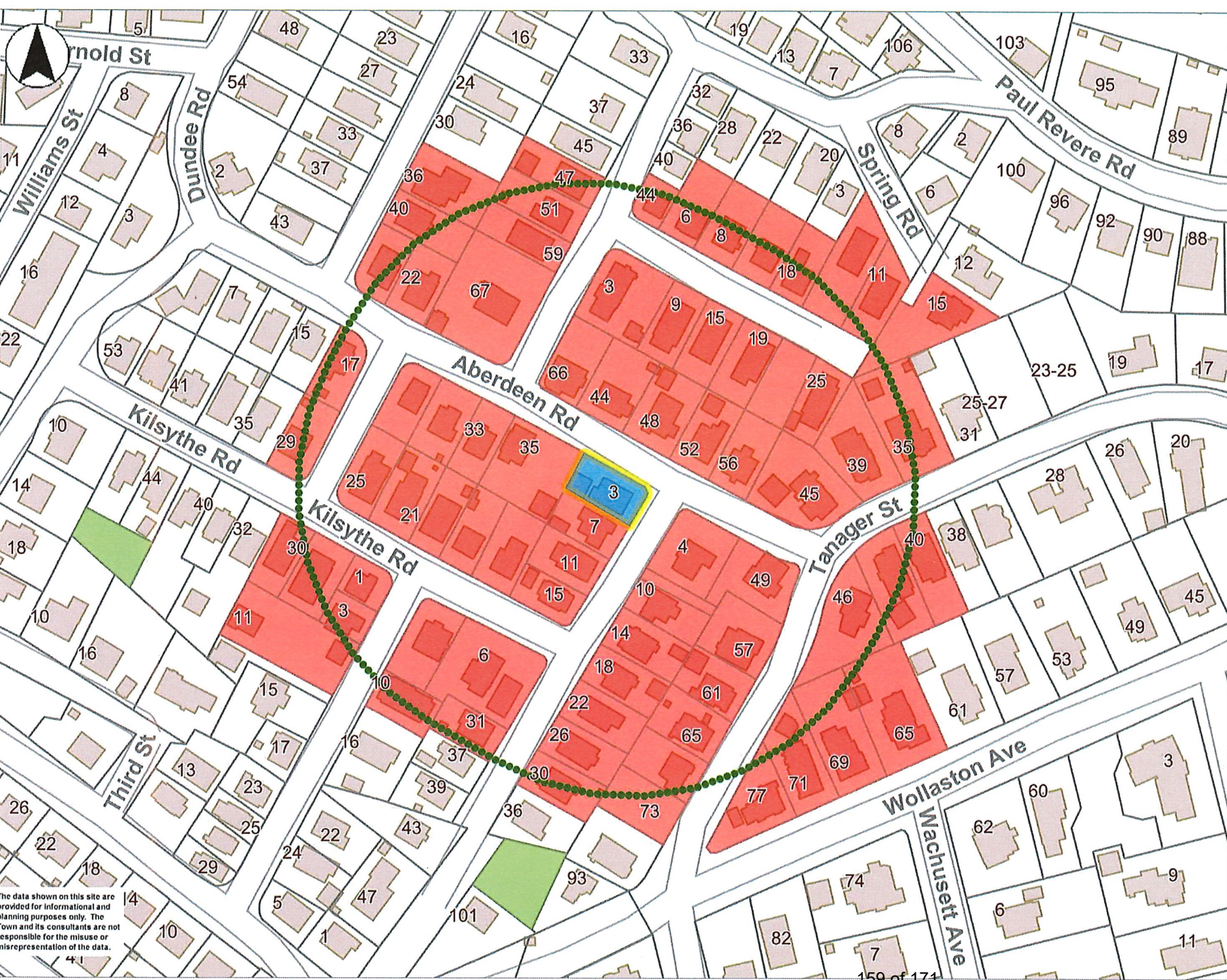
**CERTIFIED ABUTTERS LIST****Date: May 7, 2025****Subject Property Location: 3 INVERNESS RD Arlington, MA****Subject Parcel ID: 172-5-4****Search Distance: 300 Feet**

| Parcel ID    | Property Location        | Owner 1                     | Owner 2                | Mailing Address      | City/Town | State | Zip   |
|--------------|--------------------------|-----------------------------|------------------------|----------------------|-----------|-------|-------|
| 176-4-1      | 30 KILSYTHE RD           | BRIGGS BENJAMIN ROBERT      | WRIGHT AMANDA KATHLEEN | 30 KILSYTHE RD       | ARLINGTON | MA    | 02476 |
| 173.A-5-17   | 17 LORNE RD UNIT 17      | REPICI JUSTIN               | ANDO SHINOBU           | 17 LORNE RD          | ARLINGTON | MA    | 02476 |
| 173.A-5-19   | 19 LORNE RD UNIT 19      | PROPP KENNETH T             |                        | 19 LORNE RD          | ARLINGTON | MA    | 02476 |
| 173.A-3-11.A | 11--A SPRING RD          | MIAO SHIYUAN                |                        | 11A SPRING RD        | ARLINGTON | MA    | 02476 |
| 173.A-3-11.B | 11--B SPRING RD          | GULATI GAURAV               | MALHOTRA RUCHIKA       | 102 DOW AVE          | ARLINGTON | MA    | 02476 |
| 173.A-3-7.A  | 7--A SPRING RD           | SHMEIS RAMA ABU             |                        | 13 BUFFALO HOLLOW RD | BRANCBURG | NJ    | 08876 |
| 173.A-3-7.B  | 7 SPRING RD UNIT 7B      | LI S GANG                   | LI LAU Y CARMEN        | 7 SPRING RD UNIT 7B  | ARLINGTON | MA    | 02474 |
| 172.A-3-24   | 24 KILSYTHE RD UNIT 24   | PERDIKIS CHRISTIAN LEWIS    | PERDIKIS ALEXA MARIA   | 24 KILSYTHE RD       | ARLINGTON | MA    | 02476 |
| 172.A-3-26   | 26 KILSYTHE RD UNIT 26   | LEVINE MARTA & MARC         |                        | 26 KILSYTHE RD       | ARLINGTON | MA    | 02476 |
| 173.A-4-35   | 35 TANAGER ST            | CREMA MATTHEW V & VALDEVA A |                        | 35 TANAGER ST        | ARLINGTON | MA    | 02476 |
| 173.A-4-37   | 37 TANAGER ST            | GLENN MICHAEL &             | WOLF KATHLEEN TULLE    | 37 TANAGER ST        | ARLINGTON | MA    | 02476 |
| 172.A-4-10.1 | 10 LANARK RD UNIT 1      | CULBERT-SKEHAN JENNIFER     |                        | 10 LANARK RD UNIT 1  | ARLINGTON | MA    | 02476 |
| 172.A-4-10.2 | 10 LANARK RD UNIT 2      | GOLDENBERG LOUISE           |                        | 10 LANARK RD UNIT 2  | ARLINGTON | MA    | 02476 |
| 172.A-6-55   | 55 TANAGER ST UNIT 55    | CAPOZZA PAUL T & TERRI-ANN  |                        | 55 TANAGER ST        | ARLINGTON | MA    | 02476 |
| 172.A-6-57   | 57 TANAGER ST UNIT 57    | BOGDAN AKOS                 | KOVACS-BOGDAN ERIKA    | 57 TANAGER ST        | ARLINGTON | MA    | 02476 |
| 174.A-6-55   | 55 SUTHERLAND RD UNIT 55 | LIU MINGYU                  | SUN MICHAEL Y          | 55 SUTHERLAND RD     | ARLINGTON | MA    | 02476 |
| 174.A-6-59   | 59 SUTHERLAND RD UNIT 59 | JAMAL OMAR                  | KHAN GULMEENA          | 59 SUTHERLAND RD     | ARLINGTON | MA    | 02476 |

The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to subject parcel within 300 feet.



**Town of Arlington**  
**Office of the Board of Assessors**  
**730 Massachusetts Ave**  
**Arlington, MA 02476**  
**phone: 781.316.3050**  
**email: assessors@town.arlington.ma.us**



- Places by Category
  - Police Station
  - Fire Station
  - School
  - Library
  - Public Works
- Recreation - Facilities
  - Recreation - Fields Cc
  - Recreation - Fields Cc
- Open Space: Conserv
- Open Space - Minuter
- Open Space - Labels
- Open Space
  - Town, State, or
  - Other Town Ow
- MA Highways
  - Interstate
  - US Highway
  - Numbered Rout
- Abutting Towns
- Town Boundary
- Parcels
- Buildings
- Cemetery - Roads
  - Road1
  - Road2
  - Road3
  - Road4
- Pavement Markings
  - Impervious Surface - I
  - Street
  - Sidewalk
  - Street Island
  - Driveway
  - Parking Lot
  - Bike Path
- Roads - For Large Sc:
- Roads - For Small Sc:
  - Major Road
  - Local Road
- Master Plan Base Map
- Water Line
- Water Body

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



## SP-25-12

### Special Use Permit Application (ZBA)

Status: Active

Submitted On: 5/6/2025





### Primary Location

3 INVERNESS RD  
Arlington, MA 02476


### Owner

PERKINS BRADFORD GRANT JR;  
MYSAK ERIN ROSS  
3 INVERNESS RD ARLINGTON, MA  
02476

### Applicant

 Brian LaBau  
 617-480-1954  
 blabau@comcast.net  
 35 Aberdeen Road  
Arlington, MA 02476

## Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district  for which the application is made or is so designated elsewhere in the Zoning Bylaw. \*\*\*Please LIST BYLAW(S)\*\*\*

The requested use is listed in Section 5.3.9D Projections into Minimum Yards.

Explain why the requested use is essential or desirable to the public convenience or welfare.\*

The requested use is to provide a larger exterior porch for outdoor dining as an attractive improvement to the residence, which improves the quality of the neighborhood as well.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\*

The requested use will not increase parking on the site, create traffic congestion, impede traffic visibility at the intersection of roads or otherwise affect pedestrian safety.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\*

The requested use does not have any plumbing that would increase water usage and will be constructed on sonotube footings to allow water runoff beneath it as it does now with the existing smaller porch.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\*

As outlined in Section 8.1 Nonconforming Uses and Structures, the requested use will not increase or extend the non-conformity of the site, as it is further from the side setback line than the wall of the existing house currently is.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\*

The requested use expands the use of the existing porch by making it larger. The size and appearance of the proposed porch is in keeping with the character and style of the existing house and is careful to utilize details that match the original.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\*

The requested use provides a larger outdoor space for the family that is consistent with other porches and outdoor spaces nearby. The proximity of the proposed porch to the setback lines is also consistent with other properties in the immediate area.

---

## Dimensional and Parking Information

Present Use/Occupancy \*

Residential R1

Proposed Use/Occupancy \*

Residential R1

Existing Number of Dwelling Units\*

1

Proposed Number of Dwelling Units\*

1

Existing Gross Floor Area (Sq. Ft.)\*

2665

Proposed Gross Floor Area (Sq. Ft.)\*

2737

Existing Lot Size (Sq. Ft.)\*

3862

Proposed Lot Size (Sq. Ft.)\* ?

3862

Minimum Lot Size required by Zoning\*

6000

Existing Frontage (ft.)\*

31.05

Proposed Frontage (ft.)\*

31.05

Minimum Frontage required by Zoning\*

60

Existing Floor Area Ratio\*

1.38

Proposed Floor Area Ratio\*

1.34

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

21

Proposed Lot Coverage (%)\*

32

Max. Lot Coverage required by Zoning\*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

3682

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

3682

Minimum Lot Area per Dwelling Unit required by Zoning\*

6000

Existing Front Yard Depth (ft.)\*

16

Proposed Front Yard Depth (ft.)\*

16

Minimum Front Yard Depth required by Zoning\*

25

Existing SECOND Front Yard Depth (ft.)\* ?

0

Proposed SECOND Front Yard Depth (ft.)\* ?

0

Minimum SECOND Front Yard Depth required by Zoning\*

0



Existing Left Side Yard Depth (ft.)\*

7

Proposed Left Side Yard Depth (ft.)\*

7

Minimum Left Side Yard Depth required by Zoning\*

10

Existing Right Side Yard Depth (ft.)\*

13

Proposed Right Side Yard Depth (ft.)\*

13

Minimum Right Side Yard Depth required by Zoning\*

10

Existing Rear Yard Depth (ft.)\*

27

Proposed Rear Yard Depth (ft.)\*

23

Minimum Rear Yard Depth required by Zoning\*

18

Existing Height (stories)

2.5

Proposed Height (stories)\*

2.5

Maximum Height (stories) required by Zoning\*

2.5

Existing Height (ft.)\*

23.6

Proposed Height (ft.)\*

23.6

Maximum Height (ft.) required by Zoning\*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

2221

Proposed Landscaped Open Space (Sq. Ft.)\*

2143

Existing Landscaped Open Space (% of GFA)\*

14

Proposed Landscaped Open Space (% of GFA)\*

13.7

Minimum Landscaped Open Space (% of GFA) required by Zoning\*

10

Existing Usable Open Space (Sq. Ft.)\*

2221

Proposed Usable Open Space (Sq. Ft.)\*

2143

Existing Usable Open Space (% of GFA)\* ?

60

Proposed Usable Open Space (% of GFA)\* ?

58

Minimum Usable Open Space required by Zoning\*

30

Existing Number of Parking Spaces\*

2

Proposed Number of Parking Spaces\*

2

Minimum Number of Parking Spaces required by Zoning\*

2

Existing Parking area setbacks

0

Proposed Parking area setbacks \*

0

Minimum Parking Area Setbacks required by Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

8

Proposed Slope of proposed roof(s) (in. per ft.)\*

2

Minimum Slope of Proposed Roof(s) required by Zoning\*

2

Existing type of construction\*

Type 5 - wood

Proposed type of construction\*

Type 5 - wood

---

## Open Space Information

Existing Total Lot Area\*

3682

Proposed Total Lot Area\*

3682

Existing Open Space, Usable\*

2221

Proposed Open Space, Usable\*

2143

Existing Open Space, Landscaped\*

2221

Proposed Open Space, Landscaped\*

2143

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## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

341

Accessory Building, Proposed Gross Floor Area

341

Basement or Cellar, Existing Gross Floor Area ?

764

Basement or Cellar, Proposed Gross Floor Area

764

1st Floor, Existing Gross Floor Area

796

1st Floor, Proposed Gross Floor Area

868

2nd Floor, Existing Gross Floor Area

796

2nd Floor, Proposed Gross Floor Area

796

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area 

390

Attic, Proposed Gross Floor Area

390

Parking Garages, Existing Gross Floor Area 

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies, Existing  
Gross Floor Area

0

All weather habitable porches and balconies, Proposed  
Gross Floor Area

0

Total Existing Gross Floor Area

3087



Total Proposed Gross Floor Area

3159



## APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:


- Arlington Residential Design Guidelines

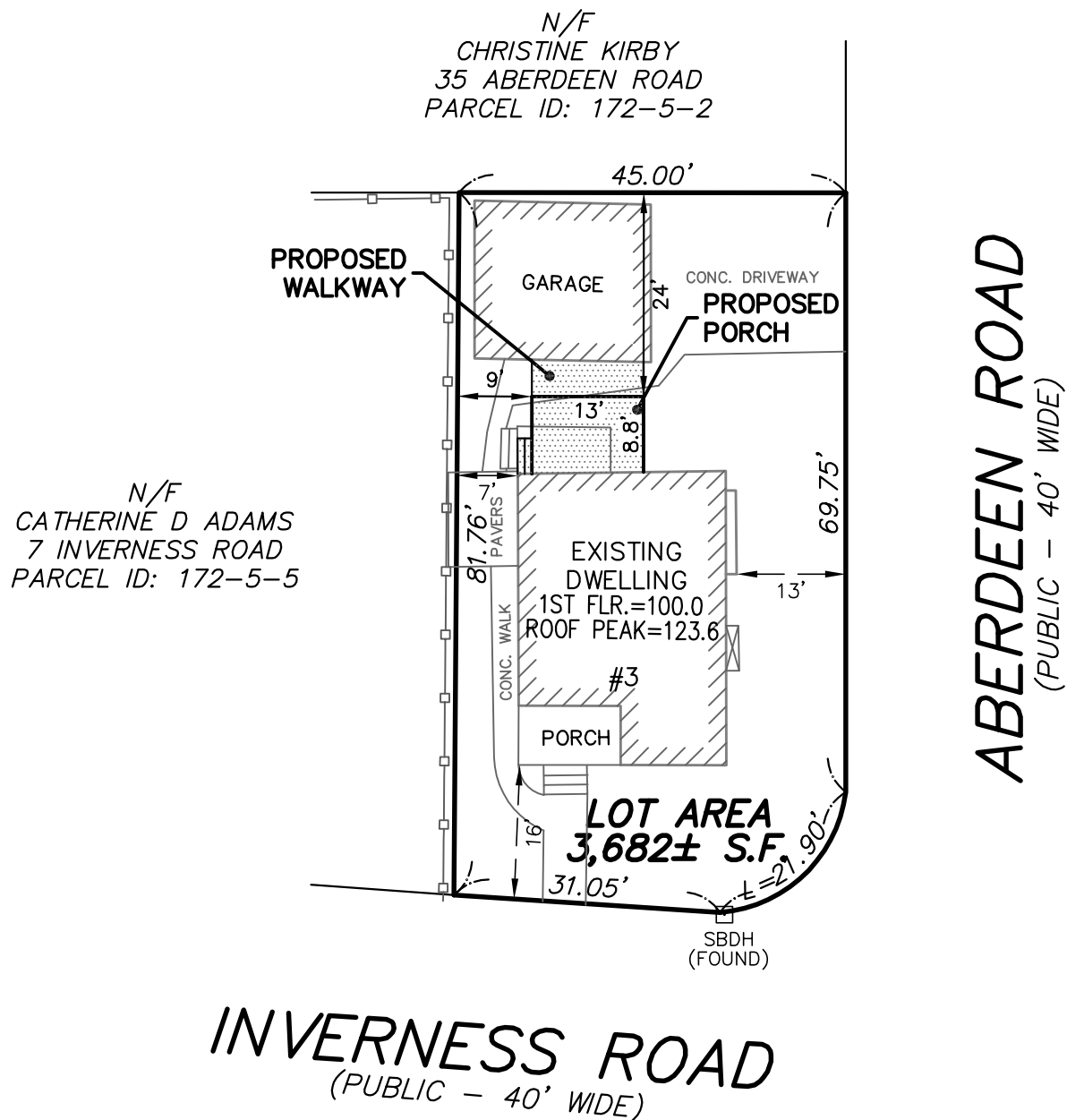
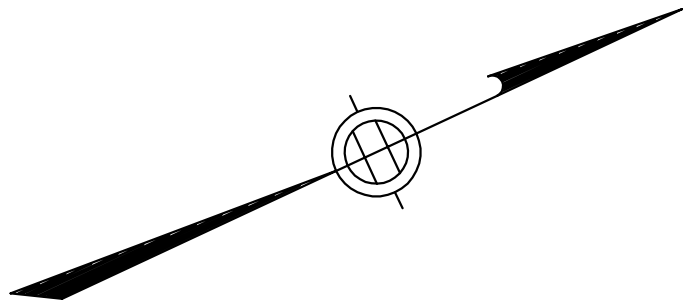
and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.\*



Applicant's Signature\*

 Brian N. LaBau  
May 6, 2025



**ZONING SETBACKS: R1**

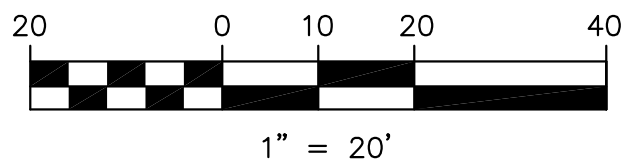
**RECORD OWNER:**

BRADFORD GRANT PERKINS JR. &  
ERIN ROSS MYSAK  
BOOK 73147 PAGE 507

**PLAN REFERENCE:**

LOT 115 ON PLAN BOOK 103 PAGE 25

**GRAPHIC SCALE**



I HEREBY CERTIFY THAT THIS PLAN IS BASED  
ON AN ACTUAL INSTRUMENT SURVEY MADE ON THE  
GROUND IN APRIL 2025 AND THE STRUCTURES  
DEPICTED HEREON ARE LOCATED AS SHOWN.

5-2-25  
DATE

Scott M Cerrato  
SIGNATURE



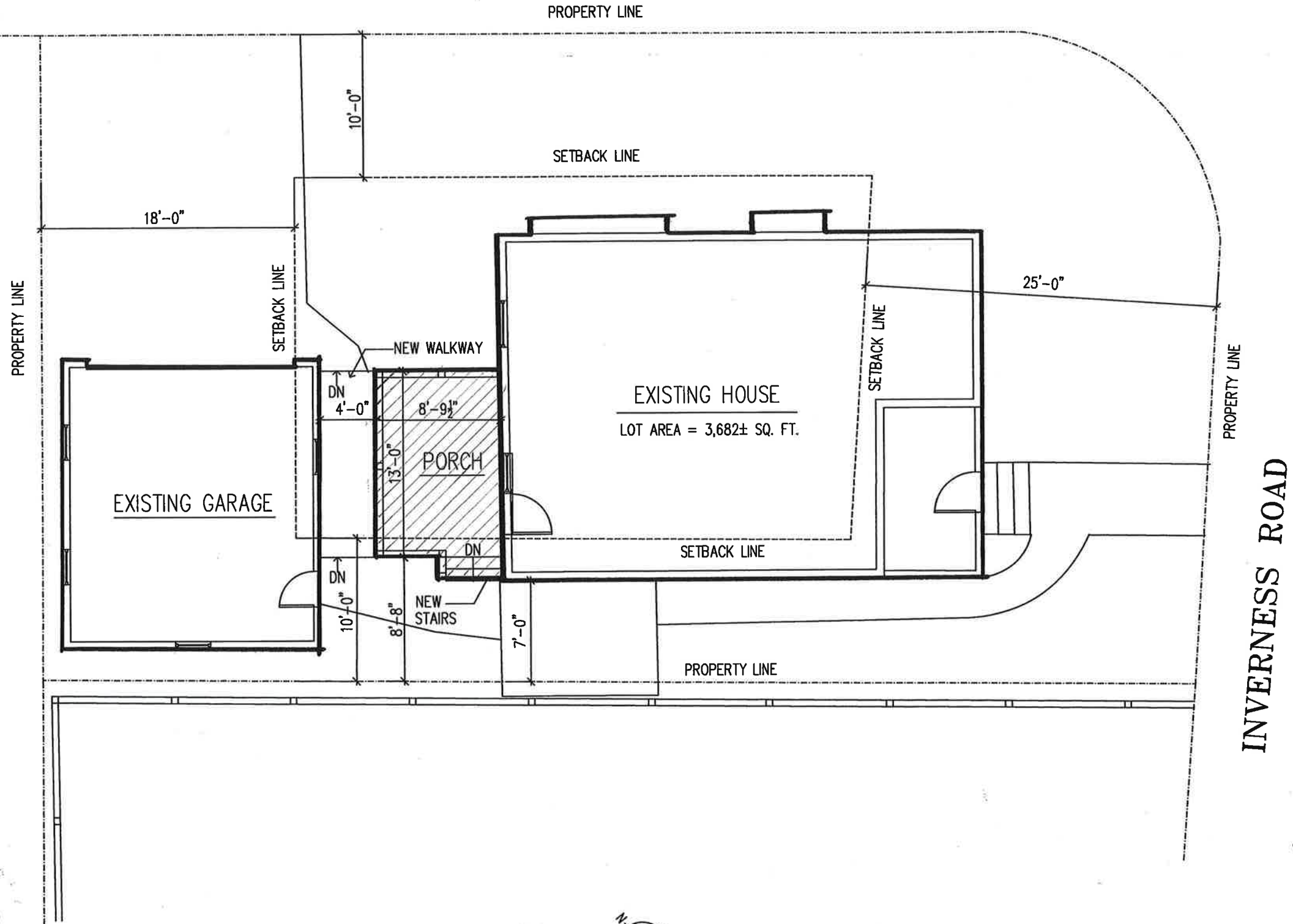
**PLOT PLAN**  
**3 INVERNESS ROAD**  
**ARLINGTON, MASSACHUSETTS**  
**PARCEL ID: 172-5-4**

SCOTT CERRATO, PLS  
51 WAREHAM STREET  
MEDFORD, MA. 02155

167 of 171

MAY 2, 2025  
PHONE: (781) 775-3724  
www.cerrato-survey.com

ABERDEEN ROAD



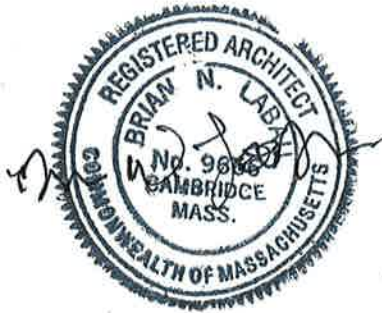
BRIAN N. LABAU AIA  
ARCHITECT  
35 ABERDEEN ROAD  
ARLINGTON, MA 02476  
TEL 617.480.1954

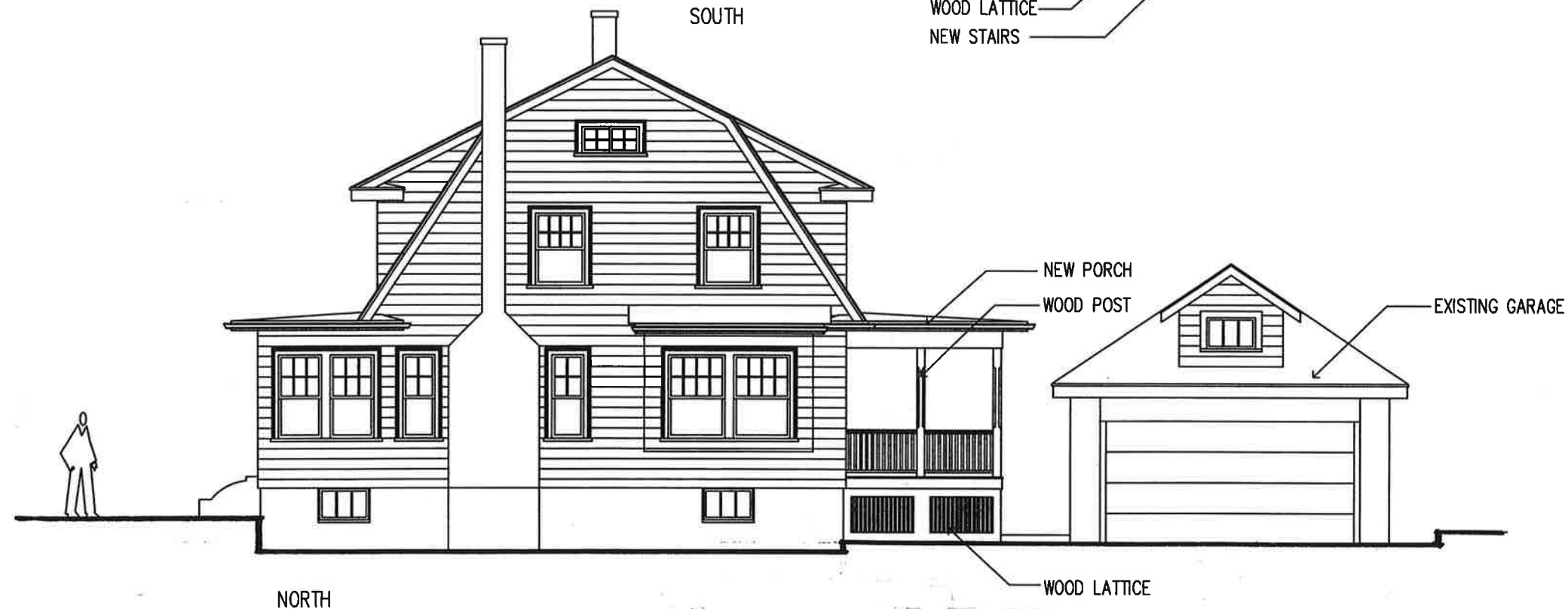
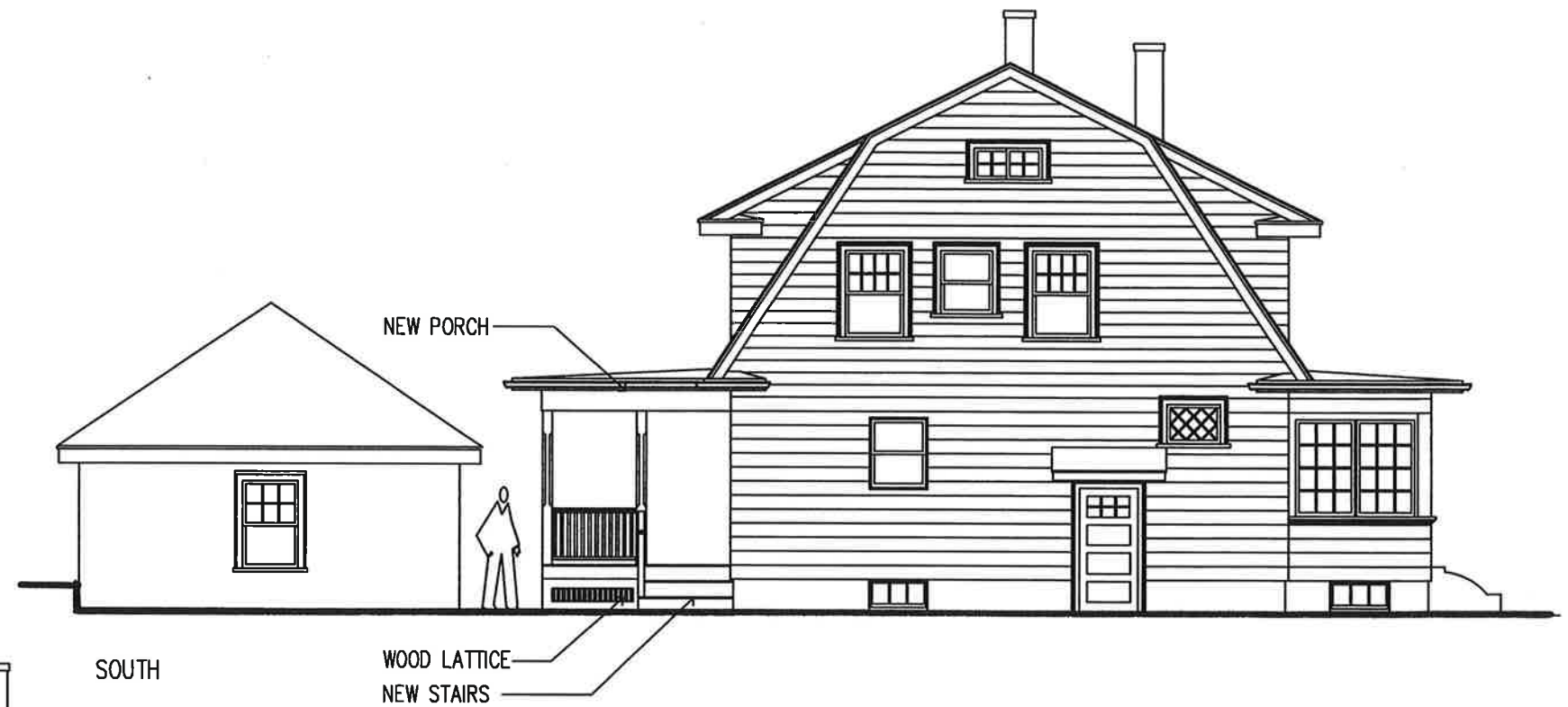
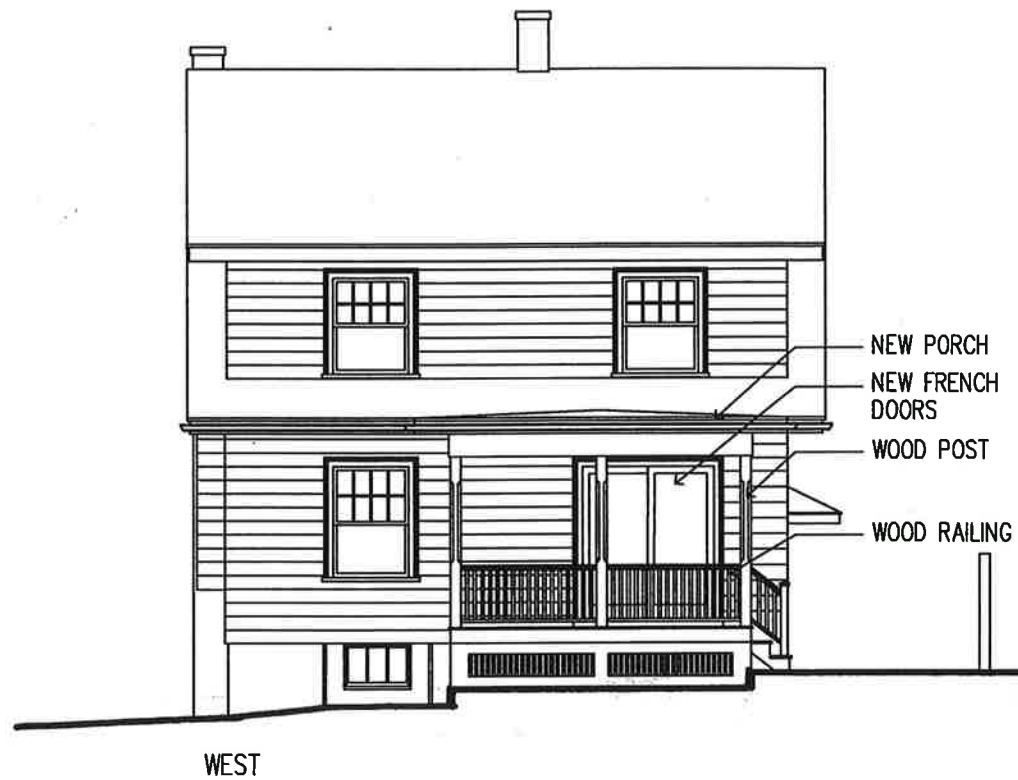
SITE PLAN

1/8" = 1'-0"



PERKINS HOUSE  
ARLINGTON, MA  
MAY 5, 2025





# **ELEVATIONS**

1/8" = 1'-0"

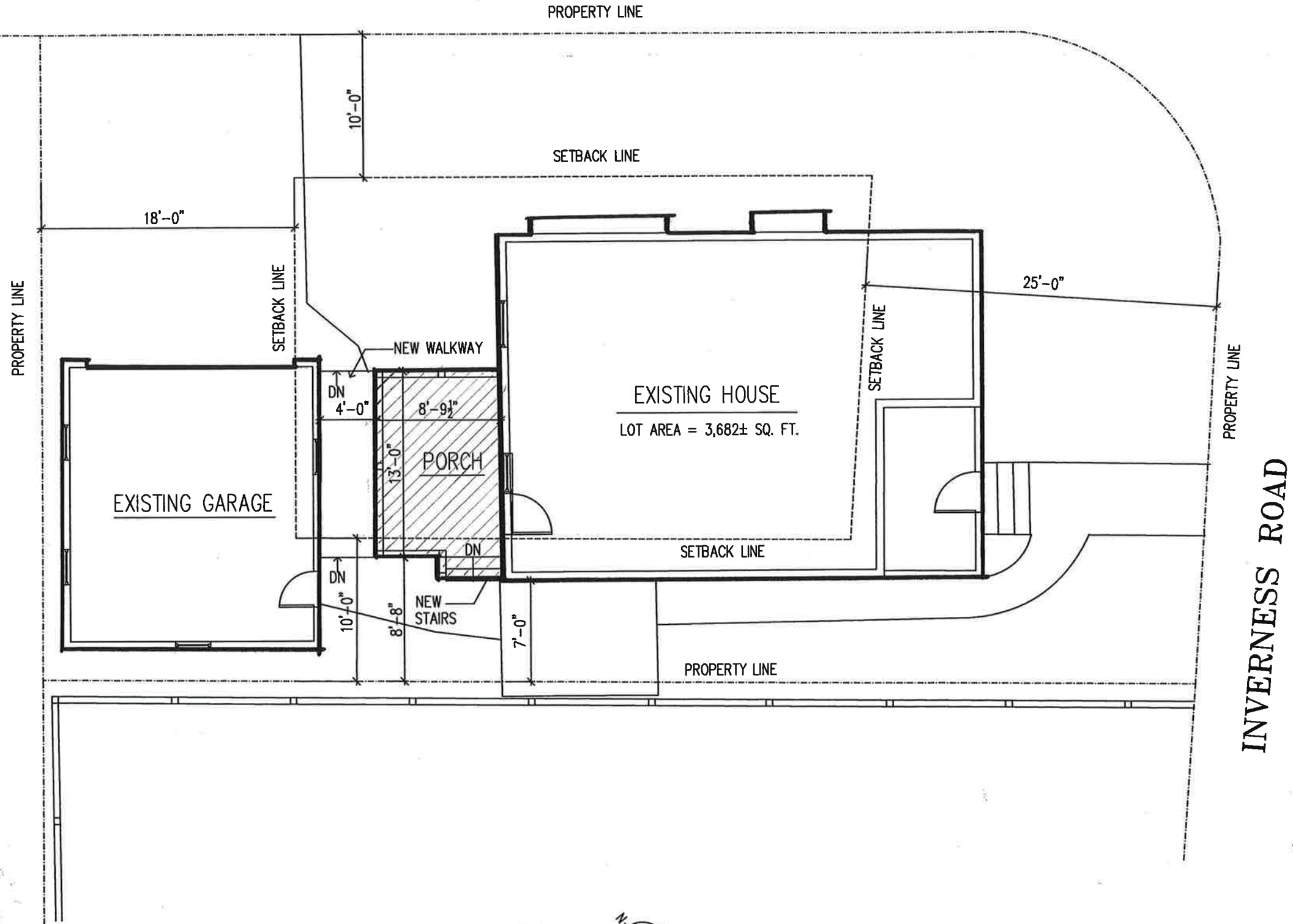
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PERKINS HOUSE  
ARLINGTON, MA  
MAY 5, 2025



2

ABERDEEN ROAD



BRIAN N. LABAU AIA  
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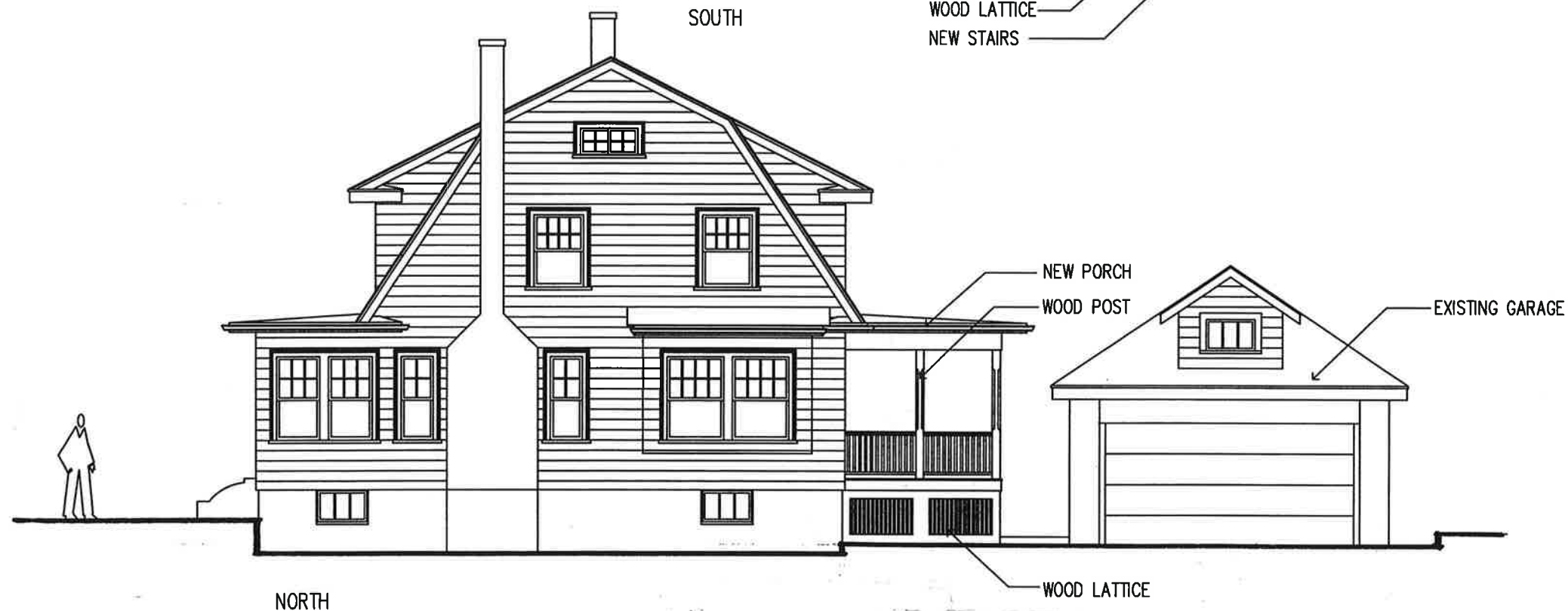
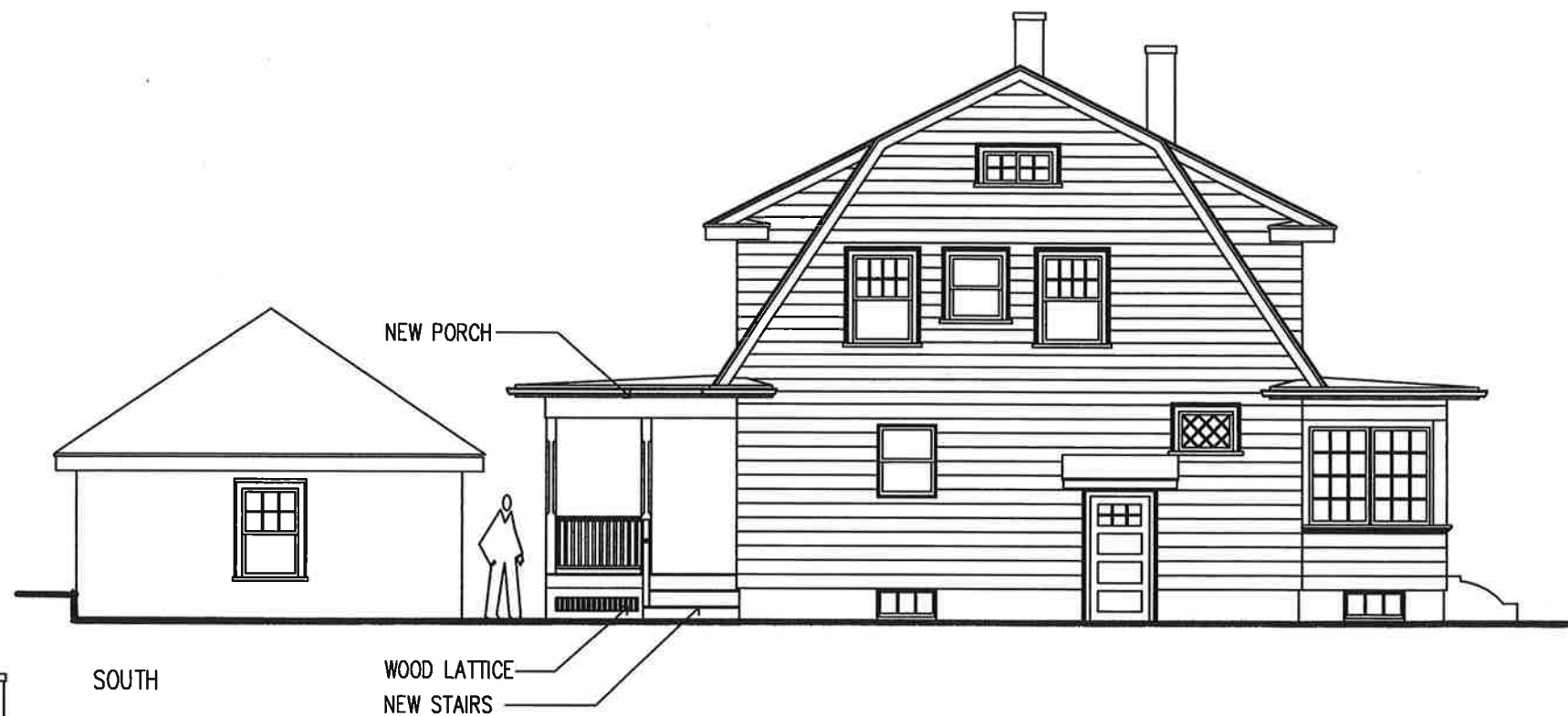
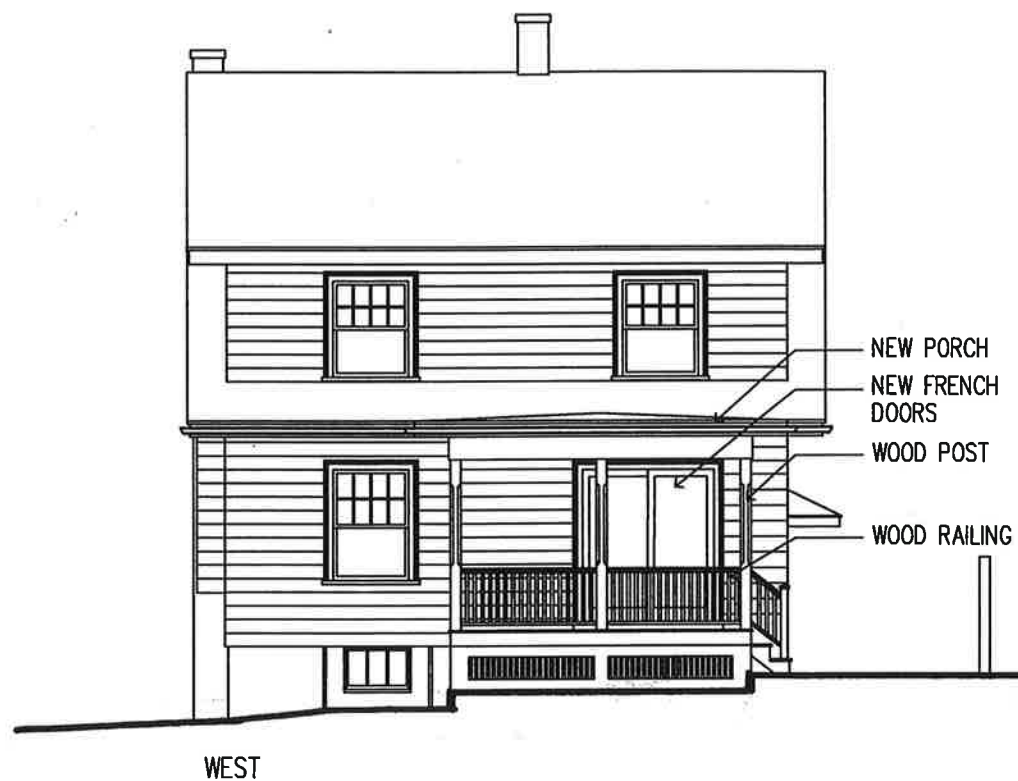
SITE PLAN

1/8" = 1'-0"



PERKINS HOUSE  
ARLINGTON, MA  
MAY 5, 2025



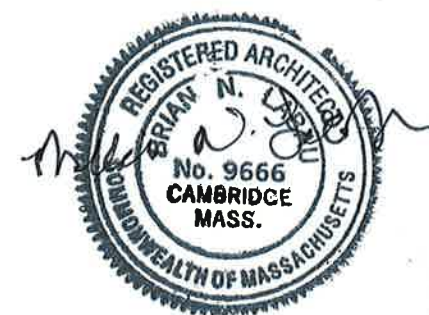


# ELEVATIONS

1/8" = 1'-0"

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35 ABERDEEN ROAD  
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TEL 617.480.1954

PERKINS HOUSE  
ARLINGTON, MA  
MAY 5, 2025



2