



Arlington Zoning Board of Appeals

Date: Tuesday, June 24, 2025
Time: 7:30 PM
Location: Conducted by Remote Participation
Additional Details:

Agenda Items

Administrative Items

1. **Conducted by Remote Participation**

You are invited to a Zoom meeting.
When: Jun 24, 2025 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:
<https://town-arlington-ma-us.zoom.us/join/2lsOVbQMQL2pNqWVY1KGwA>

After registering, you will receive a confirmation email containing information about joining the meeting.

Per Board Rules and Regulations, public comments will be accepted during the public comment period during each public hearing. Written comments should be sent to the Board of Appeals.

Notice to the Public on meeting privacy In the interests of preventing abuse of video conferencing technology, all participants, including members of the public, wishing to join the meeting. Further, members of the public who wish to participate without providing their name may still do so by telephone using the dial-in information provided.

Hearings

2. **Docket #3855 34 Golden Ave**

OpenGov link: <https://arlingtonma.portal.opengov.com/records/210406>

3. **Docket #3855 63 Chester St**

OpenGov link: <https://arlingtonma.portal.opengov.com/records/210659>

Meeting Adjourn



Town of Arlington, Massachusetts

Conducted by Remote Participation

Summary:

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<https://town-arlington-ma-us.zoom.us/meeting/register/2IsOVBqMQl2pNqwVy1KGwA>

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Town of Arlington, Massachusetts

Docket #3855 34 Golden Ave

Summary:

OpenGov link: <https://arlingtonma.portal.opengov.com/records/210406>

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	3845_34_Golden_Ave_Legal_Ad_6-24-2025.pdf	3845 34 Golden Ave Legal Ad 6-24-2025
▢ Reference Material	3845_34_Golden_Ave_abutter_list_and_map_Arlington_and_Lexington.pdf	3845 34 Golden Ave abutter list and map Arlington and Lexington
▢ Reference Material	3855_34_Golden_Ave_application_SP-25-13.pdf	3855 34 Golden Ave application SP-25-13
▢ Reference Material	3855_34_Golden_Ave_Plans_-_STAMPED_-_4-24-25.pdf	3855 34 Golden Ave Plans - STAMPED - 4-24-25
▢ Reference Material	3855_34_Golden_Ave_Certified_Plot_Plan_Existing_and_Proposed.pdf	3855 34 Golden Ave Certified Plot Plan Existing and Proposed



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE
DOCKET NO 3855

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **RJJ Properties LLC**, on May 18, 2025, a petition seeking to alter their property located at **34 Golden Ave - Block Plan 183.0-0002-0003.0**. The said petition would require a **Special Permit** under **5.4.2 B(6)** of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", **on Tuesday, June 24, 2025, at 7:30 P.M. as soon thereafter as the petitioner may be heard**. To attend the meeting go to <https://www.arlingtonma.gov/connect/calendar>, choose the date of the meeting you wish to attend, register for the Zoom meeting link, and review the documentation relating to this petition. Please direct any questions to: **ZBA@town.arlington.ma.us**

Christian Klein, RA, Chair
Zoning Board of Appeals


CERTIFIED ABUTTERS LIST

Date: May 27, 2025

Subject Property Addresses: 34 GOLDEN AVE, ARLINGTON, MA

Subject Property ID: 183-2-3

Search Distance: 300 Feet - Zoning

				MALING ADDRESS			
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Town	State	Zip
180-7-1.A	552 APPLETON ST	KESSISIAN SHAKE		552 APPLETON ST	ARLINGTON	MA	02476
180-7-9	15 GOLDEN AVE	MASON JEREMY & CULLEN		15 GOLDEN AVE	ARLINGTON	MA	02476
180-7-10	19 GOLDEN AVE	GREENE LANCE H &	WIERICH BRITTA M	19 GOLDEN AVE	ARLINGTON	MA	02476
180-7-11	8 COREY LN	MONSERRATT-CATAPANO PATRICK	MONSERRATT-CATAPANO EVELYN	8 COREY LANE	ARLINGTON	MA	02476
180-7-12	4 COREY LN	COLLEY FRANK A & MARY E/TR	FRANK A & MARY E COLLEY	4 COREY LANE	ARLINGTON	MA	02476
180-8-1	18 GOLDEN AVE	TOSA YASUNARI/ETAL	TOSA SACHIKO	18 GOLDEN AVE	ARLINGTON	MA	02476
180-8-6	0-LOT KENT LN	BELMONT COUNTRY CLUB INC		181 WINTER ST	BELMONT	MA	02478
183-1-1	22 GOLDEN AVE	COLE JONATHAN R		22 GOLDEN AVE	ARLINGTON	MA	02476
183-1-2	26 GOLDEN AVE	WOLF ANITA M		26 GOLDEN AVE	ARLINGTON	MA	02476
183-2-1	42 GOLDEN AVE	MCMILLEN JOHN R	LOTZ KAREN	1 BIRD HILL AVE	WELLESLEY	MA	02481
183-2-2	38 GOLDEN AVE	ENOS CLARA J	ENOS MATTHEW J/JENNIFER M	38 GOLDEN AVE	ARLINGTON	MA	02476
183-2-3	34 GOLDEN AVE	RJJ PROPERTIES LLC		3 WHISPERING HILL RD	WOBURN	MA	01801
183-2-4	30 GOLDEN AVE	LOMBARD LEON E JR		20 GROVE ST	ARLINGTON	MA	02476
183-3-1	5 COREY LN	BUFE JOHN III	O'BRIEN ASHLEY	5 COREY LN	ARLINGTON	MA	02476
183-3-2	9 COREY LN	TAYLOR PAUL S & ELLEN M		9 COREY LANE	ARLINGTON	MA	02476
183-3-3	33 GOLDEN AVE	RAGO FLORENCIA ETAL/ TRS	FLORENCIA RAGO & GREGORY	33 GOLDEN AVE	ARLINGTON	MA	02476
183-3-4	37 GOLDEN AVE	PARK JINKYU &	CHUNG SARAH H	37 GOLDEN AVE	ARLINGTON	MA	02476

The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.

NOTE: Results do not include properties within 300 feet from other towns/cities. (SEE MAP)



Town of Arlington
Office of the Board of Assessors
730 Massachusetts Ave
Arlington, MA 02476
P: 781.316.3050
E: assessors@town.arlington.ma.us



2



Places by Category
Police Station
Fire Station
School
Library
Public Works
Recreation - Facilities

Recreation - Fields Cc
Recreation - Fields Cc
Open Space: Conserv
Open Space - Minuter
Open Space - Labels

Open Space
Town, State, or
Other Town Ow

MA Highways
Interstate
US Highway
Numbered Rout

Abutting Towns

Town Boundary

Parcels

Buildings

Cemetery - Roads

Road1
Road2
Road3
Road4

Pavement Markings

Impervious Surface - I

Street
Sidewalk
Street Island
Driveway
Parking Lot
Bike Path

Roads - For Large Sci

Roads - For Small Sci

Major Road
Local Road

Master Plan Base Maj

Water Line

Water Body

LEXINGTON

BELMONT

Owner	Mailing Address	Town, State, Zip
PHILIP P MOONEY FAMILY TRUST	43 GOLDEN AVE	LEXINGTON, MA 02421
NASSON ROBERT L & NASSON ELIZABETH M	44 GOLDEN AVE	LEXINGTON, MA 02421
JOSEPH AJAY T TR/ ATJ 2014 REV TRUST MATHEW SHOBA SARAH TR/SSN 2014 REV TRUST	46 GOLDEN AVE	LEXINGTON, MA 02421
HAGERTY MARTIN J & HAGERTY MAUREEN	47 GOLDEN AVE	LEXINGTON, MA 02421
DIVAKARAMENON SETHUMADHAVAN & NAYAR ASHA SIVASANKARAN	48 GOLDEN AVE	LEXINGTON, MA 02421
LEE KWAN & LEE HEA	49 GOLDEN AVE	LEXINGTON, MA 02421
H AND J BOWMAN LLC	38 BEAVER BROOK BROOK ROAD	BURLINGTON, MA 01803
GUPTA VIVEK	15 BOWMAN ST	LEXINGTON, MA 02421
GADEPALLY VIJAY & BHARADWAJ SHRUTHI	36 ETHIER CIRCLE	MARLBOROUGH, MA 01752



SP-25-13

Special Use Permit
Application (ZBA)

Status: Active
Submitted On: 5/18/2025





Primary Location

34 GOLDEN AVE
Arlington, MA 02476


Owner

RJJ PROPERTIES LLC
3 WHISPERING HILL RD
WOBURN, MA 01801

Applicant

 Rabindra KC
 781-883-8335
 rabindra74@hotmail.com
 34 Golden Ave
arlington, MA 02476

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)**** 

The requested use is allowed in the R1 Zoning district under 5.4.1 of the Zoning Bylaw.

Explain why the requested use is essential or desirable to the public convenience or welfare.*

The proposed project is for an addition to a single-family dwelling. The use of the property is not changing. The property is located in the R1 zoning district, so it is in compliance with the allowable use on the site.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The property will remain a single-family dwelling. There will be no significant increase in traffic, and the use is not changing.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The property will remain a single-family dwelling, so there will not be a substantial increase to water and sewer sysetm usage beyond what is already existing and present in the surrounding homes. Stormwater Management is provided for this project in accordance to Town stormwater regulations.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

The use is in compliance with the zoning district.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

There is no change of use proposed; the site will remain a single-family home, which is consistent with the surrounding uses in the neighborhood and in compliance with the R1 zoning district in which the property is located.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The property will remain a single-family home, which is the required use in the R1 zoning district.

Dimensional and Parking Information

Present Use/Occupancy *

Single-family Dwelling

Proposed Use/Occupancy *

Single-family Dwelling

Existing Number of Dwelling Units*

1

Proposed Number of Dwelling Units*

1

Existing Gross Floor Area (Sq. Ft.)*

1152

Proposed Gross Floor Area (Sq. Ft.)*

5890

Existing Lot Size (Sq. Ft.)*

7640

Proposed Lot Size (Sq. Ft.)* ?

7640

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

65

Proposed Frontage (ft.)*

65

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0

Proposed Floor Area Ratio*

0.77

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

16.3

Proposed Lot Coverage (%)*

24.8

Max. Lot Coverage required by Zoning*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

7640

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

7640

Minimum Lot Area per Dwelling Unit required by Zoning*

6000

Existing Front Yard Depth (ft.)*

25

Proposed Front Yard Depth (ft.)*

25

Minimum Front Yard Depth required by Zoning*

25

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning* ?

0

Existing Left Side Yard Depth (ft.)* ?

10

Proposed Left Side Yard Depth (ft.)* ?

10

Minimum Left Side Yard Depth required by Zoning* ?

10

Existing Right Side Yard Depth (ft.)* ?

17.8

Proposed Right Side Yard Depth (ft.)* ?

16.6

Minimum Right Side Yard Depth required by Zoning* ?

10

Existing Rear Yard Depth (ft.)*

43.3

Proposed Rear Yard Depth (ft.)*

27.6

Minimum Rear Yard Depth required by Zoning*

20

Existing Height (stories)

1

Proposed Height (stories)*

2.5

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

22

Proposed Height (ft.)*

33

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

4455

Proposed Landscaped Open Space (Sq. Ft.)*

3212

Existing Landscaped Open Space (% of GFA)*

58

Proposed Landscaped Open Space (% of GFA)*

42

Minimum Landscaped Open Space (% of GFA)
required by Zoning*

764

Existing Usable Open Space (Sq. Ft.)*

4697

Proposed Usable Open Space (Sq. Ft.)*

3467

Existing Usable Open Space (% of GFA)* ?

61

Proposed Usable Open Space (% of GFA)* ?

45

Minimum Usable Open Space required by Zoning*

2292

Existing Number of Parking Spaces*

1

Proposed Number of Parking Spaces*

3

Minimum Number of Parking Spaces required by Zoning*

1

Existing Parking area setbacks

8

Proposed Parking area setbacks *

11

Minimum Parking Area Setbacks required by Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

0.83

Proposed Slope of proposed roof(s) (in. per ft.)*

0.66

Minimum Slope of Proposed Roof(s) required by Zoning*

0.167

Existing type of construction*

Single-Family Dwelling

Proposed type of construction*

Single-Family dwelling

Open Space Information

Existing Total Lot Area*

7641

Proposed Total Lot Area*

7641

Existing Open Space, Usable*

4697

Proposed Open Space, Usable*

3467

Existing Open Space, Landscaped*

4455

Proposed Open Space, Landscaped*

3212

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

—

Accessory Building, Proposed Gross Floor Area

—

Basement or Cellar, Existing Gross Floor Area ?

1152

Basement or Cellar, Proposed Gross Floor Area

1348

1st Floor, Existing Gross Floor Area

1152

1st Floor, Proposed Gross Floor Area

1264

2nd Floor, Existing Gross Floor Area

—

2nd Floor, Proposed Gross Floor Area

1801

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

940

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

537

All weather habitable porches and balconies,
Existing Gross Floor Area

0

All weather habitable porches and balconies,
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

2304



Total Proposed Gross Floor Area

5890



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



Applicant's Signature*



Rabindra KC

May 18, 2025

HOUSE RENOVATION & ADDITION

34 GOLDEN AVENUE

ARLINGTON, MA 02476



PROJECT:
HOUSE ADDITION &
MODIFICATIONS
34 GOLDEN AVENUE
ARLINGTON, MA 02476

PREPARED FOR:
RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr
4/24/2025

REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/24/2025

SCALE: AS NOTED

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

JEFFREY MORETTI / MORETTI DESIGNS, LLC
HAS NOT BEEN ENGAGED FOR CONSTRUCTION
SUPERVISION AND ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION CONFORMING TO THESE PLANS

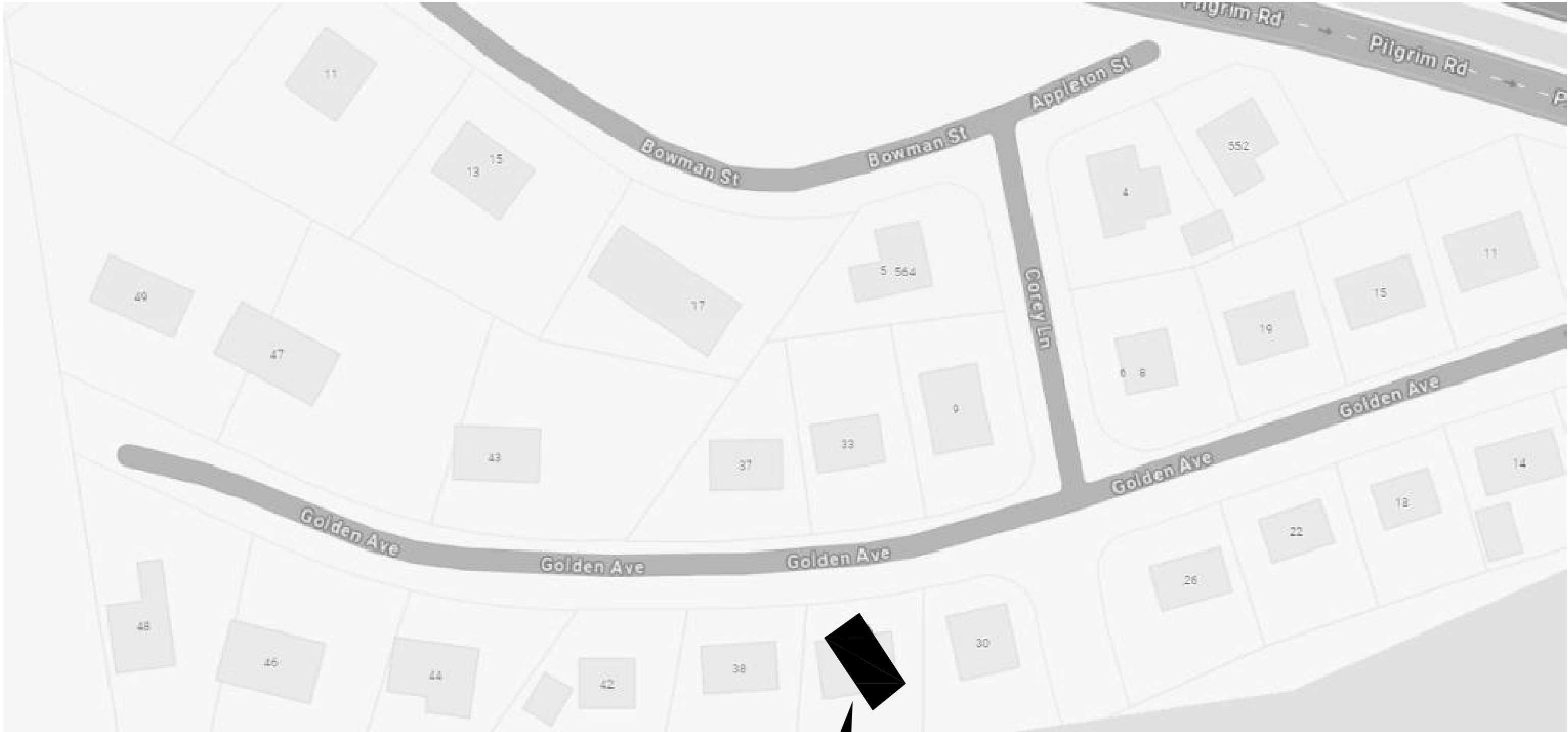
WRITTEN DIMENSIONS ON DRAWINGS SHALL
HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE
FOR ALL DIMENSIONS AND CONDITIONS ON THIS
PROJECT. MORETTI DESIGNS, LLC SHALL BE
NOTIFIED OF ANY VARIATION FROM THESE PLANS
PRIOR AND DURING CONSTRUCTION.

SHEET TITLE:
TITLE SHEET

SHEET NUMBER

T1.1

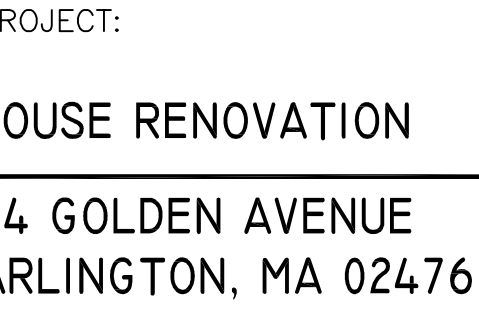
ABBREVIATIONS			
ACOUSTICAL CEILING TILE	ACT	NOT IN CONTRACT	NIC
AUTOMATIC DOOR OPENER	ADO	NOT TO SCALE	NTS
ABOVE FINISHED FLOOR	AFF.	NUMBER	NO. OR #
ALUMINUM	AL OR ALUM	ON CENTER	OC
CABINET	CAB	QUANTITY	QTY
CENTER LINE	CL OR C	RADIUS	RAD
CERAMIC TILE	CT	REFERENCE	REF
CLEAR	CLR	REINFORCE	REINF
CONCRETE	CONC	REQUIRED	REQD
CONCRETE MASONRY UNIT	CMU	REVISION	REV
DEMOLITION	DEMO	ROUGH OPENING	RO
DIAMETER	DIA OR Ø	SECTION	SECT
DIMENSION	DIM	SHEET	SH
DOWN	DN	SIMILAR	SIM
DRAWING	DWG	SOLID CORE	SC
EQUIPMENT	EQ. OR EQUIP	SQUARE FEET	SF
EXISTING	EX OR EXIST	SQUARE INCHES	SQ IN.
EXPANSION JOINT	EXP. JT.	STAINLESS STEEL	SS
EXTERIOR	EXT	STANDARD	STD
FINISH	FIN	STEEL	ST
FIRE EXTINGUISHER	FE	STRUCTURAL	STRUCT
FIRE EXTINGUISHER CABINET	FEC	SUSPENDED	SUSP
FIREPROOF	FP	SYSTEM	SYS
FIRE RETARDANT TREATED	FRT	TELEPHONE	TEL
FLUORESCENT	FLUOR	TONGUE & GROOVE	T&G
GAUGE	GA	TOP & BOTTOM	T&B
GYPSUM BOARD	GYP BD	TREAD	TR
GYPSUM WALL BOARD	GWB	TYPICAL	TYP
HEIGHT	HT OR HGT	VERIFY IN THE FIELD	VIF
INSULATION	INSUL	VINYL COMPOSITE TILE	VCT
INTERIOR	INT	WATER CLOSET	WC
LIGHT	LT	WATERPROOF	WP
LIGHTING	LTG	WEIGHT	WT
MAXIMUM	MAX	WIDTH	W
MINIMUM	MIN	WOOD	WD
NOMINAL	NOM		



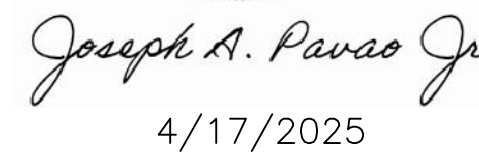
SHEET INDEX	
SHEET No.	DESCRIPTION
T1.1	TITLE SHEET
A0.1	EXISTING CONDITION PLANS
A0.2	DEMOLITION PLANS
A1.1	PROPOSED FRONT & REAR ELEVATIONS
A1.2	PROPOSED RIGHT SIDE ELEVATION
A1.3	PROPOSED LEFT SIDE ELEVATION
A2.1	PROPOSED BASEMENT & FIRST FLOOR PLANS
A2.2	PROPOSEDSECOND & ATTIC FLOOR PLANS
A2.3	PROPOSED WINDOW & DOOR SCHEDULES
A3.1	GENERAL NOTES
SI.1	PROPOSED FOUNDATION PLAN
SI.2	FOUNDATION DETAILS & NOTES
SI.3	PROPOSED FIRST & SECOND FLOOR FRAMING PLANS
SI.4	PROPOSED SECOND FLOOR CEILING FRAMING & ROOF FRAMING PLANS
SI.5	PROPOSED DORMER & PATIO FRAMING PLANS
S2.1	MISC. FRAMING DETAILS
S3.1	PROPOSED SECTION DETAIL

34 GOLDEN AVENUE

100% SUBMISSION PLANS
APRIL 24, 2025



REPAIRED FOR:
RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/17/2025

CALE: AS NOTED

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

JEFFREY MORETTI / MORETTI DESIGNS, LLC
HAS NOT BEEN ENGAGED FOR CONSTRUCTION
SUPERVISION AND ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION CONFORMING TO THESE PLANS

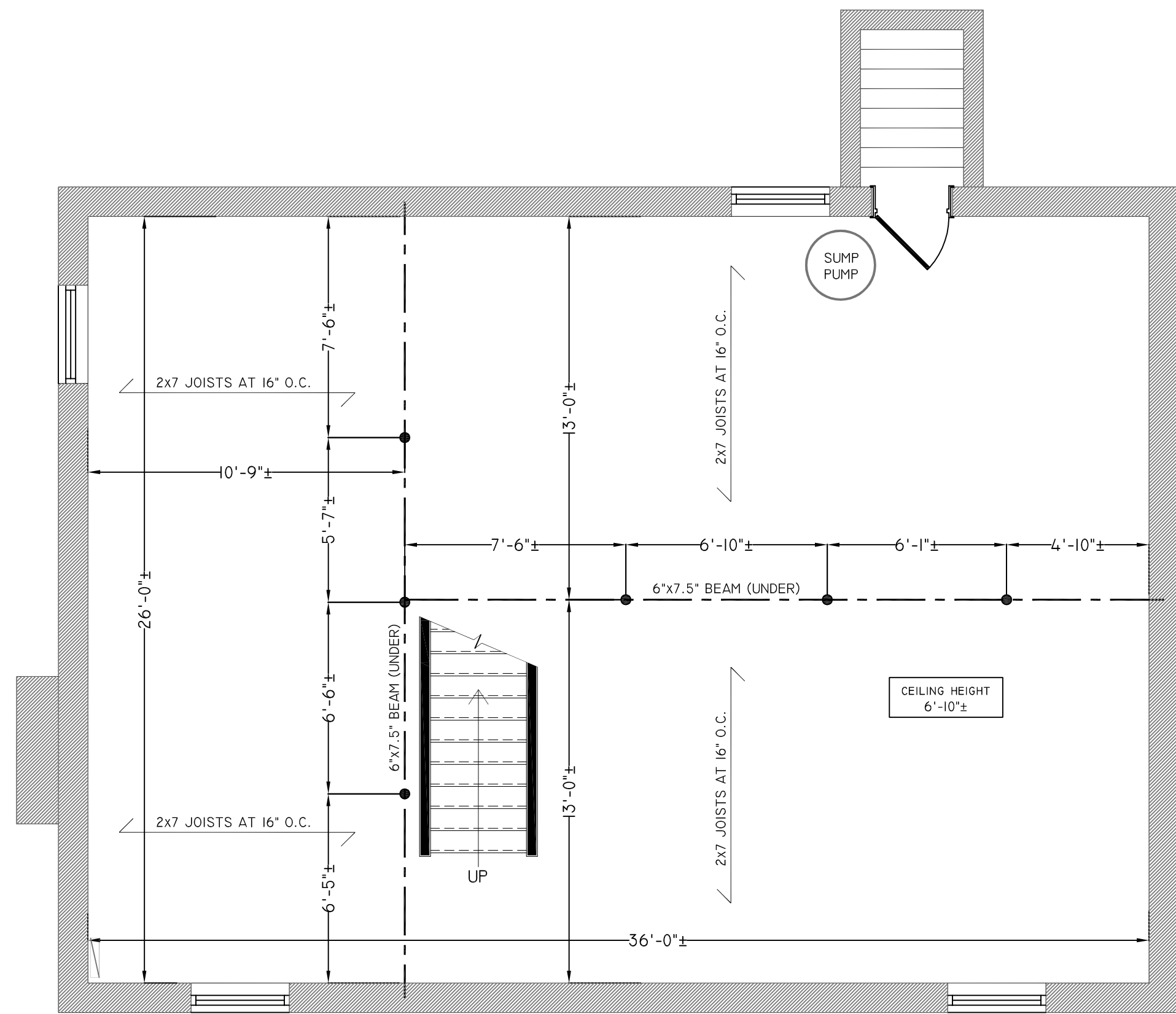
WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THIS PROJECT. MORETTI DESIGNS, LLC SHALL BE NOTIFIED OF ANY VARIATION FROM THESE PLANS PRIOR AND DURING CONSTRUCTION.

SHEET TITLE:

EXISTING CONDITION PLANS

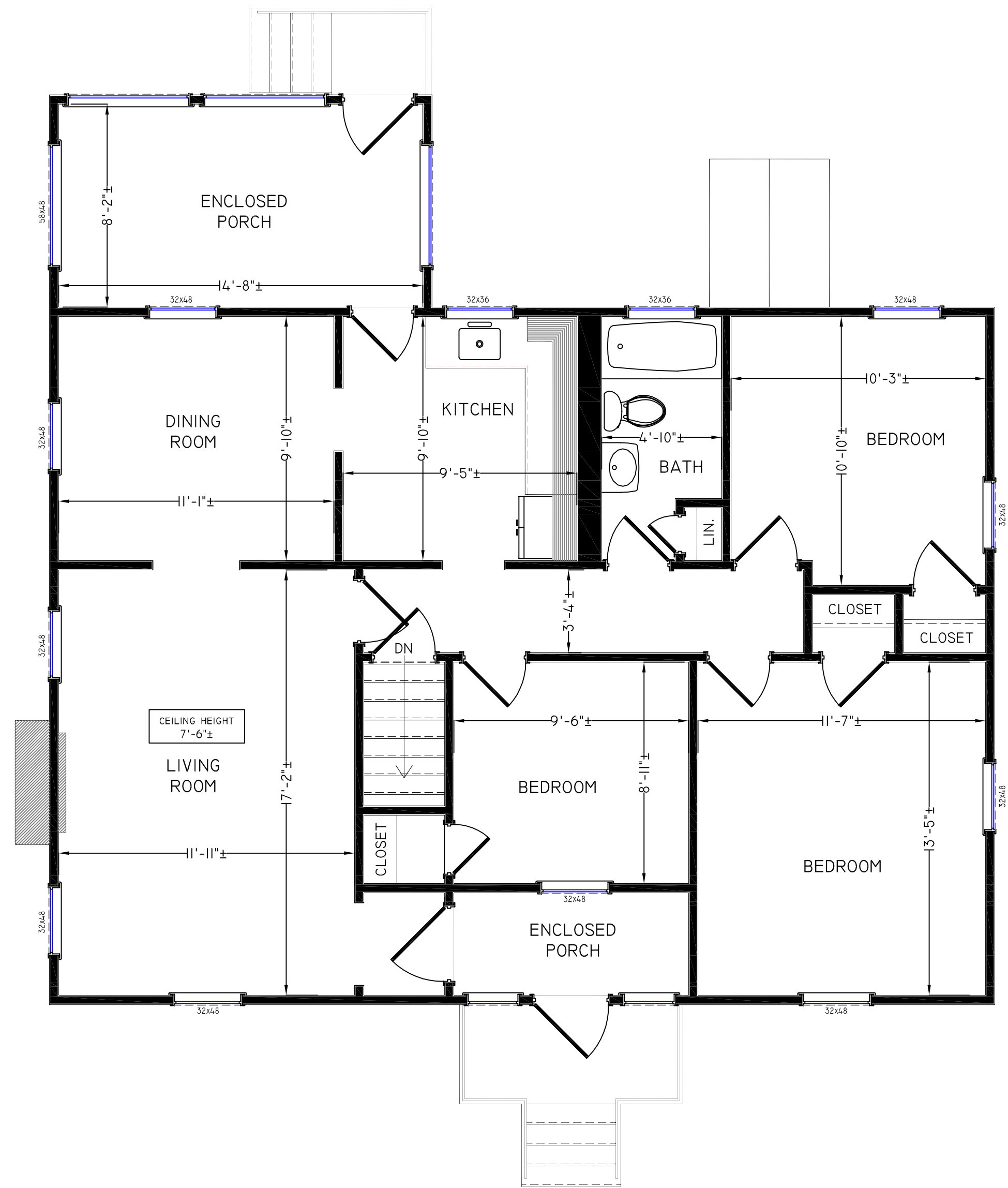
SHEET NUMBER

A0.1



EXISTING BASEMENT PLAN

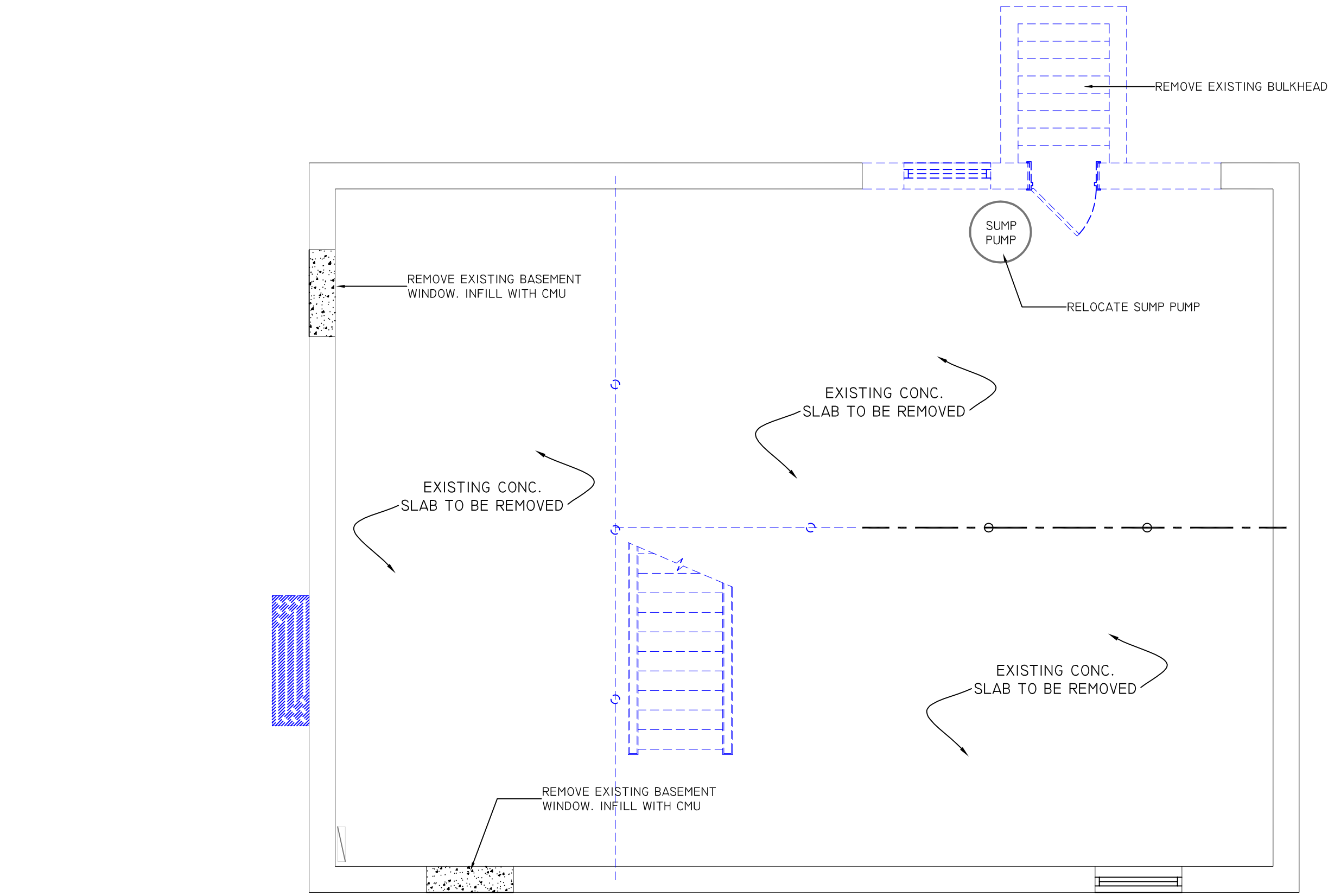
SCALE: $1/4" = 1'-0"$



EXISTING 1st FLOOR PLAN

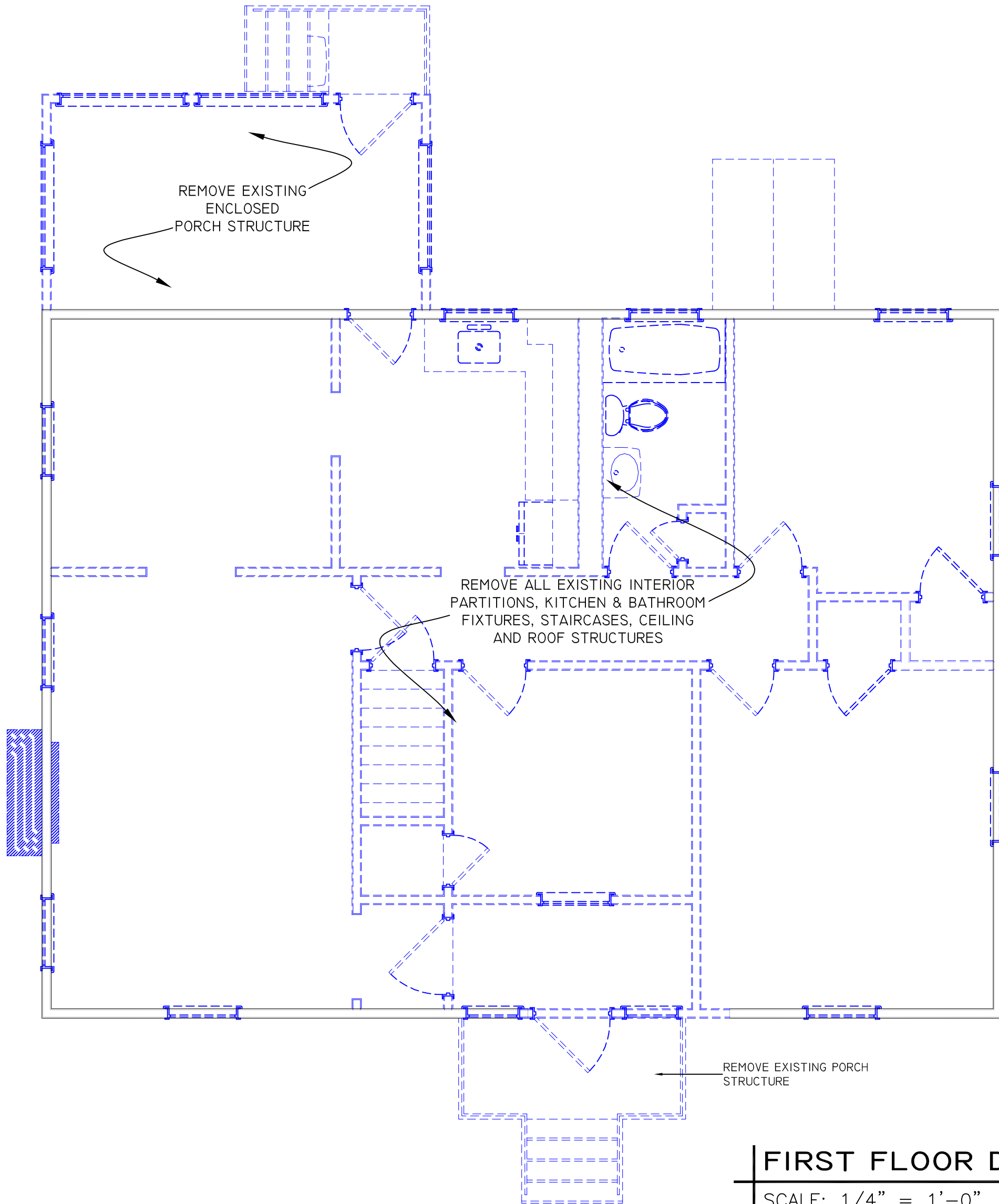
SCALE: $1/4" = 1'-0"$

- DEMOLITION NOTES:
1. REMOVE ALL EXISTING FINISHES & REPAIR & PREPARE ALL SURFACES FOR FINISHES
 2. MATERIAL HAVING SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE OWNER. ALL OTHER MATERIAL AND DEBRIS ACCUMULATED AS A RESULT OF DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER.
 3. FURNISH, INSTALL, AND MAINTAIN IN SAFE CONDITIONS AT ALL TIMES TEMPORARY PROTECTION REQUIRED TO ENSURE SAFETY FOR PERSONS AND PROPERTY DURING DEMOLITION AND REMOVAL WORK.
 4. FURNISH, INSTALL, AND MAINTAIN DUST COVERINGS TO PREVENT THE SPREAD OF DUST BEYOND THE IMMEDIATE AREA WHERE DEMOLITION IS BEING PERFORMED.
 5. REMOVE EXISTING ELECTRICAL & PLUMBING. REMOVAL SHALL CONSIST OF ALL ELEC. OUTLETS AND WIRING, PLUMBING FIXTURES & PIPES IN ALL WALLS AND FLOORS AND IN AREAS THAT ARE TO BE DEMOLISHED.
 6. ALL WALLS, DOORS, WINDOWS, FURNISHINGS AND EQUIPMENT DENOTED WITH DASHED LINES ARE TO BE REMOVED. REFER TO PROPOSED PLAN LAYOUT FOR CLARIFICATION.
 7. ALL ELECTRICAL, PLUMBING AND MECHANICAL WORK (DEMOLITION AND NEW) IS TO BE PERFORMED BY LICENSED, COMPETENT CONTRACTORS.
 8. PRIOR TO THE START OF DEMOLITION WORK, GENERAL CONTRACTOR SHALL DETERMINE THE LOCATION OF LOAD BEARING PARTITIONS AND COLUMNS AND PROVIDE TEMPORARY SUPPORTS AS REQUIRED BY REMOVAL OR RELOCATION OF SUCH PARTITIONS. G.C. TO ENSURE ALL TEMPORARY SUPPORTS ARE CARRIED TO SUFFICIENT BEARING MATERIALS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND TEMPORARY RELOCATION OF ALL LIFE SAFETY SYSTEMS INCLUDING FIRE/SMOKE ALARM AS REQUIRED DURING DEMOLITION AND CONSTRUCTION PHASES.
 10. ALL EXISTING EXTERIOR SIDING, TRIM, FASCIA BOARDS, RAKE BOARDS, CORNER CORDS, ETC IS TO BE REMOVED.
 11. ALL EXISTING WINDOWS & DOORS INTERIOR & EXTERIOR ARE TO BE REMOVED.
 12. EXISTING ENTIRE ROOF STRUCTURE SHALL BE REMOVED.
 13. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DEMOLITION LOCATIONS & DETAILS
 14. THE ARCHITECT SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
 15. ALL EXISTING DIMENSIONS ARE FOR REFERENCE ONLY. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
 16. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.
 17. MORETTI DESIGNS, LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.
 18. CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS FURNISHING THE LABOR, MATERIALS, AND ALL WORK, SO THAT THE WORK AS A WHOLE SHALL BE EXECUTED AND COMPLETED WITHOUT CONFLICT OR DELAY. THE OWNER AND HIS CONSULTANTS SHALL NOT BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY AND NEGLIGENT ACTS OR OMISSIONS BY THE GENERAL CONTRACTOR OR THE SUBCONTRACTORS ON THE JOB.
 19. CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS INCLUDING ARCHITECTURAL, MECHANICAL, STRUCTURAL AND ELECTRICAL. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF MORETTI DESIGNS, LLC PRIOR TO ANY WORK.
 20. CONTRACTOR SHALL VERIFY EXISTING FLOOR FRAMING PRIOR TO DEMOLITION. DIRECTION OF FLOOR FRAMING MEMBERS SHALL BE IDENTIFIED PRIOR TO DEMOLITION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO DEMOLITION.



BASEMENT DEMO PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"



PROJECT:

HOUSE RENOVATION

34 GOLDEN AVENUE
ARLINGTON, MA 02476

PREPARED FOR:

RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr
4/17/2025

REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/17/2025

SCALE: AS NOTED

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

JEFFREY MORETTI / MORETTI DESIGNS, LLC HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION AND ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION CONFORMING TO THESE PLANS

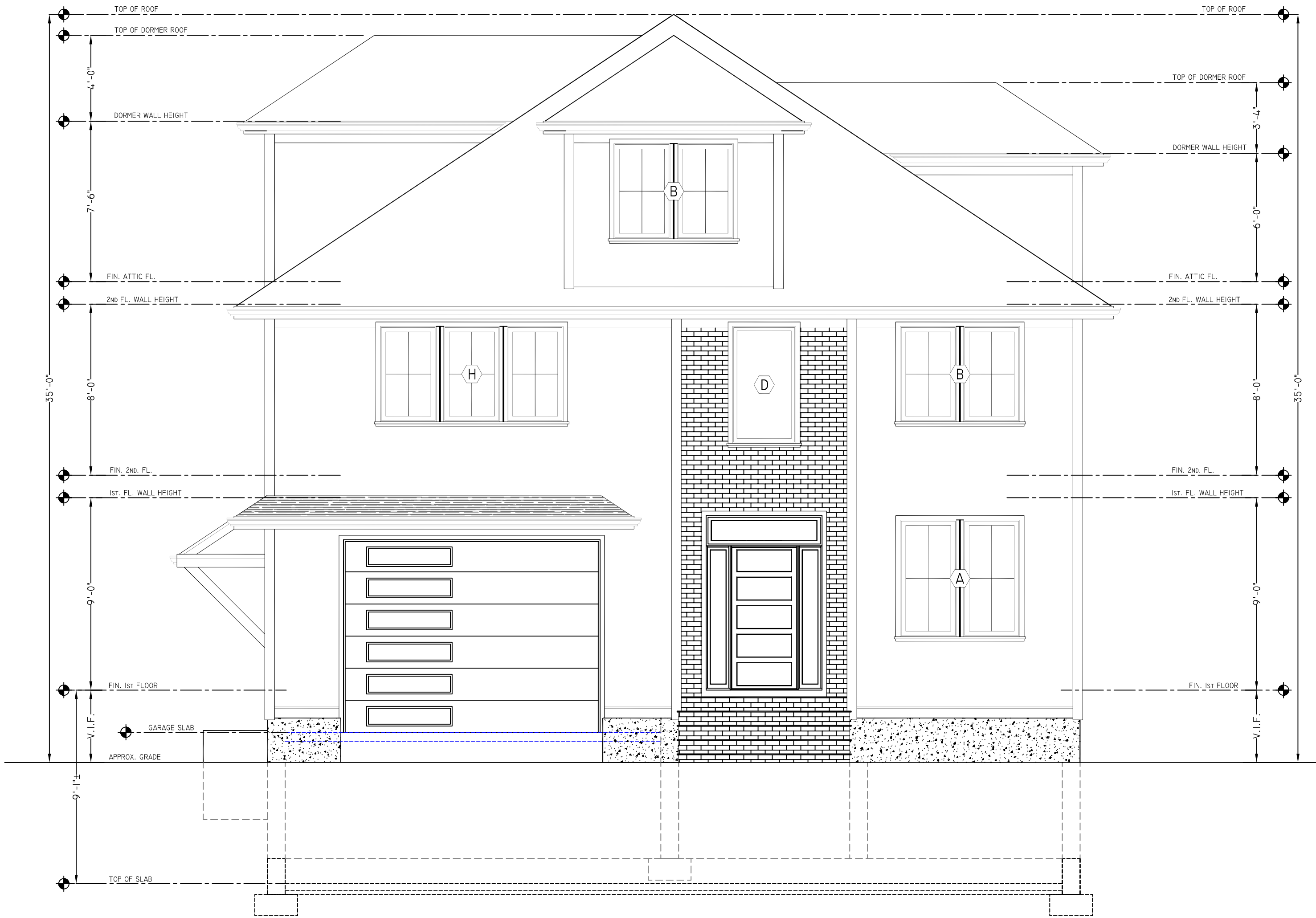
WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THIS PROJECT. MORETTI DESIGNS, LLC SHALL BE NOTIFIED OF ANY VARIATION FROM THESE PLANS PRIOR AND DURING CONSTRUCTION.

SHEET TITLE:

DEMO PLANS

SHEET NUMBER

A0.2



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"



PROJECT:
HOUSE ADDITION &
MODIFICATIONS
34 GOLDEN AVENUE
ARLINGTON, MA 02476

PREPARED FOR:
RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr
4/17/2025

REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/17/2025

SCALE: AS NOTED

REVISIONS

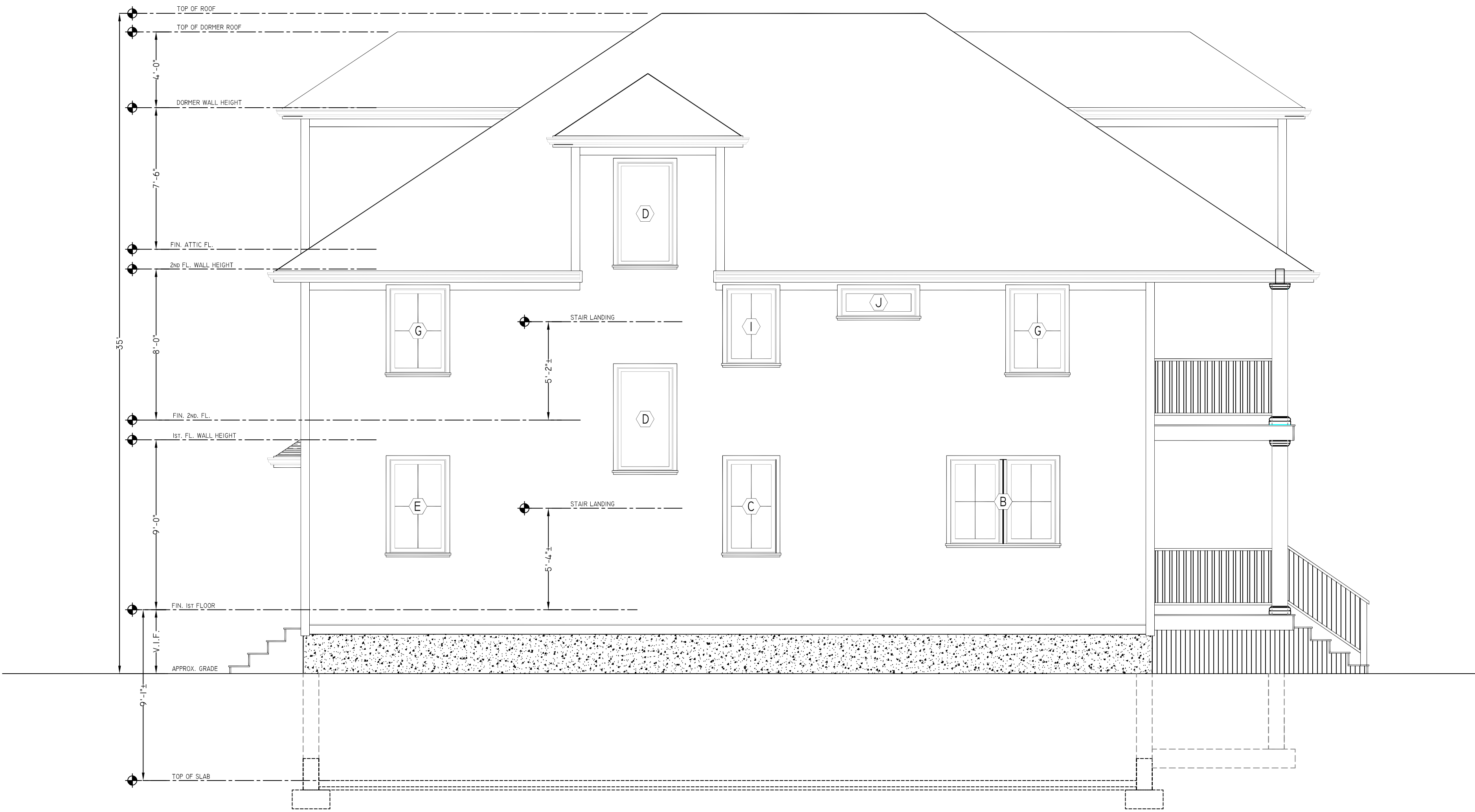
NO.	DATE	DESCRIPTION
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JEFFREY MORETTI / MORETTI DESIGNS, LLC
HAS NOT BEEN ENGAGED FOR CONSTRUCTION
SUPERVISION AND ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION CONFORMING TO THESE PLANS
WRITTEN DIMENSIONS ON DRAWINGS SHALL
HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE
FOR ALL DIMENSIONS AND CONDITIONS ON THIS
PROJECT. MORETTI DESIGNS, LLC SHALL BE
NOTIFIED OF ANY VARIATION FROM THESE PLANS
PRIOR AND DURING CONSTRUCTION.

SHEET TITLE:
PROP. FRONT &
REAR ELEVATIONS

SHEET NUMBER

A1.1



PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PROJECT:
HOUSE ADDITION &
MODIFICATIONS
34 GOLDEN AVENUE
ARLINGTON, MA 02476

PREPARED FOR:
RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr.
4/17/2025

REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/17/2025

SCALE: AS NOTED

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		

JEFFREY MORETTI / MORETTI DESIGNS, LLC
HAS NOT BEEN ENGAGED FOR CONSTRUCTION
SUPERVISION AND ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION CONFORMING TO THESE PLANS

WRITTEN DIMENSIONS ON DRAWINGS SHALL
HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE
FOR ALL DIMENSIONS AND CONDITIONS ON THIS
PROJECT. MORETTI DESIGNS, LLC SHALL BE
NOTIFIED OF ANY VARIATION FROM THESE PLANS
PRIOR AND DURING CONSTRUCTION.

SHEET TITLE:
PROP. RIGHT SIDE
ELEVATION

SHEET NUMBER
A1.2

PROJECT:
HOUSE ADDITION &
MODIFICATIONS
34 GOLDEN AVENUE
ARLINGTON, MA 02476

PREPARED FOR:
RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr
4/17/2025

REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/17/2025

SCALE: AS NOTED

REVISIONS

NO.	DATE	DESCRIPTION
1		
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JEFFREY MORETTI / MORETTI DESIGNS, LLC
HAS NOT BEEN ENGAGED FOR CONSTRUCTION
SUPERVISION AND ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION CONFORMING TO THESE PLANS

WRITTEN DIMENSIONS ON DRAWINGS SHALL
HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE
FOR ALL DIMENSIONS AND CONDITIONS ON THIS
PROJECT. MORETTI DESIGNS, LLC SHALL BE
NOTIFIED OF ANY VARIATION FROM THESE PLANS
PRIOR AND DURING CONSTRUCTION.

SHEET TITLE:

PROP. LEFT SIDE
ELEVATION

SHEET NUMBER

A1.3



PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

PROJECT:
**HOUSE ADDITION &
MODIFICATIONS**
34 GOLDEN AVENUE
ARLINGTON, MA 02476

PREPARED FOR:
RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr
4/24/2025

REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/24/2025

SCALE: AS NOTED

REVISIONS

NO.	DATE	DESCRIPTION
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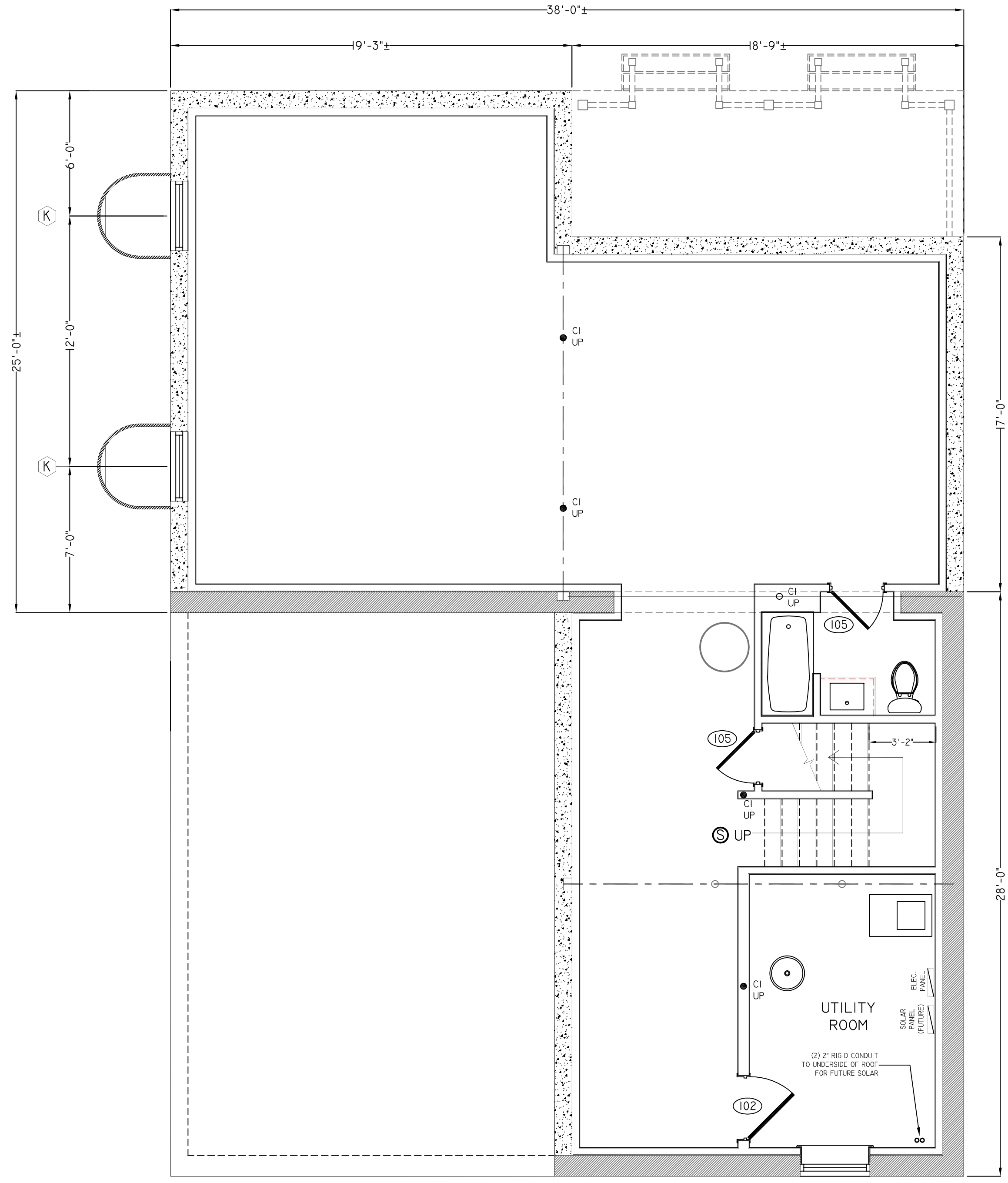
JEFFREY MORETTI / MORETTI DESIGNS, LLC
HAS NOT BEEN ENGAGED FOR CONSTRUCTION
SUPERVISION AND ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION CONFORMING TO THESE PLANS

WRITTEN DIMENSIONS ON DRAWINGS SHALL
HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE
FOR ALL DIMENSIONS AND CONDITIONS ON THIS
PROJECT. MORETTI DESIGNS, LLC SHALL BE
NOTIFIED OF ANY VARIATION FROM THESE PLANS
PRIOR AND DURING CONSTRUCTION.

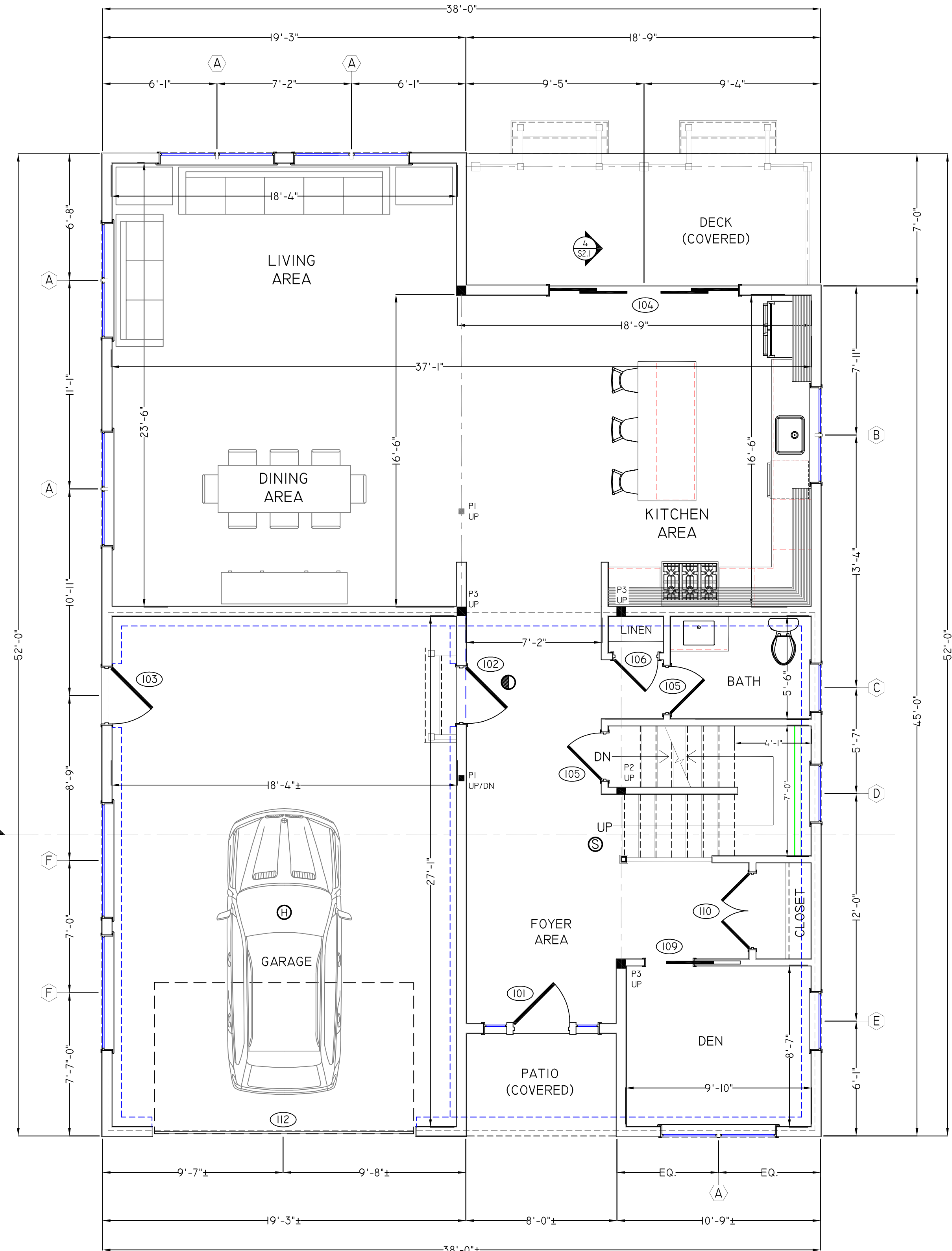
SHEET TITLE:
**PROP. BASEMENT
& 1st FLOOR
PLANS**

SHEET NUMBER

A2.1



PROPOSED/MODIFIED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

GRAPHIC SYMBOL LEGEND	
	MASONRY WALLS
	PROP. POURED CONCRETE MASONRY WALLS
	PROP. 4" OR 6" WALLS (WOOD) w/ 2" OR 3" G.W.B.
	WALLS/ITEMS TO BE DEMOLISHED
	EXISTING WALLS (NO CHANGE)
	CARBON MONOXIDE DETECTOR (HARD WIRED)
	SMOKE DETECTOR (HARD WIRED)
	BATHROOM EXHAUST FAN
	HEAT DETECTOR (HARD WIRED)
	DOOR TAG
	WALL TAG
	WINDOW TAG
	1-HR FIRE RATED WALL

PROJECT:
**HOUSE ADDITION &
MODIFICATIONS**
34 GOLDEN AVENUE
ARLINGTON, MA 02476

PREPARED FOR:
RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr
4/24/2025

REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/24/2025

SCALE: AS NOTED

REVISIONS

NO.	DATE	DESCRIPTION
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JEFFREY MORETTI / MORETTI DESIGNS, LLC
HAS NOT BEEN ENGAGED FOR CONSTRUCTION
SUPERVISION AND ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION CONFORMING TO THESE PLANS

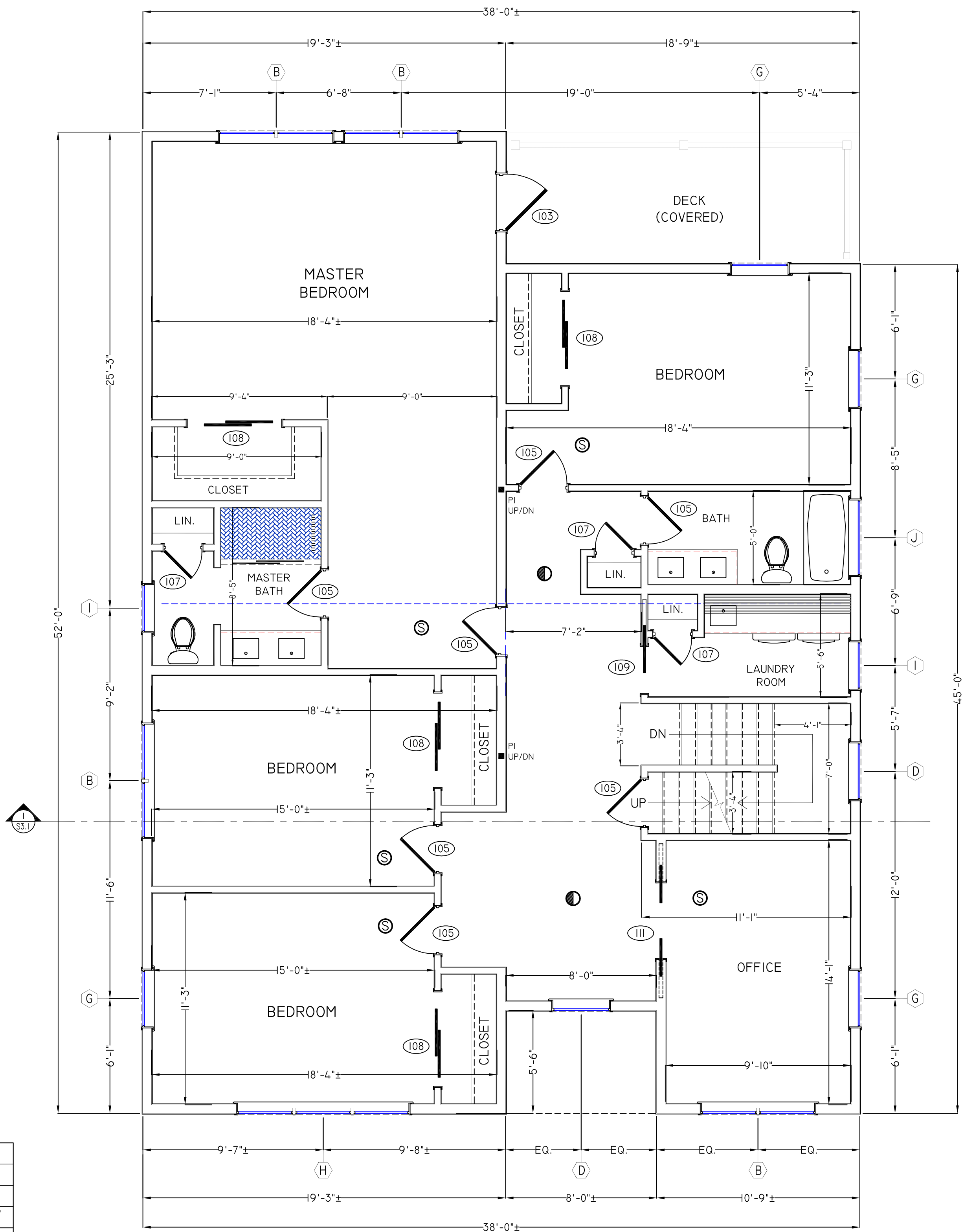
WRITTEN DIMENSIONS ON DRAWINGS SHALL
HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE
FOR ALL DIMENSIONS AND CONDITIONS ON THIS
PROJECT. MORETTI DESIGNS, LLC SHALL BE
NOTIFIED OF ANY VARIATION FROM THESE PLANS
PRIOR AND DURING CONSTRUCTION.

SHEET TITLE:

**PROP. 2ND &
ATTIC FLOOR
PLANS**

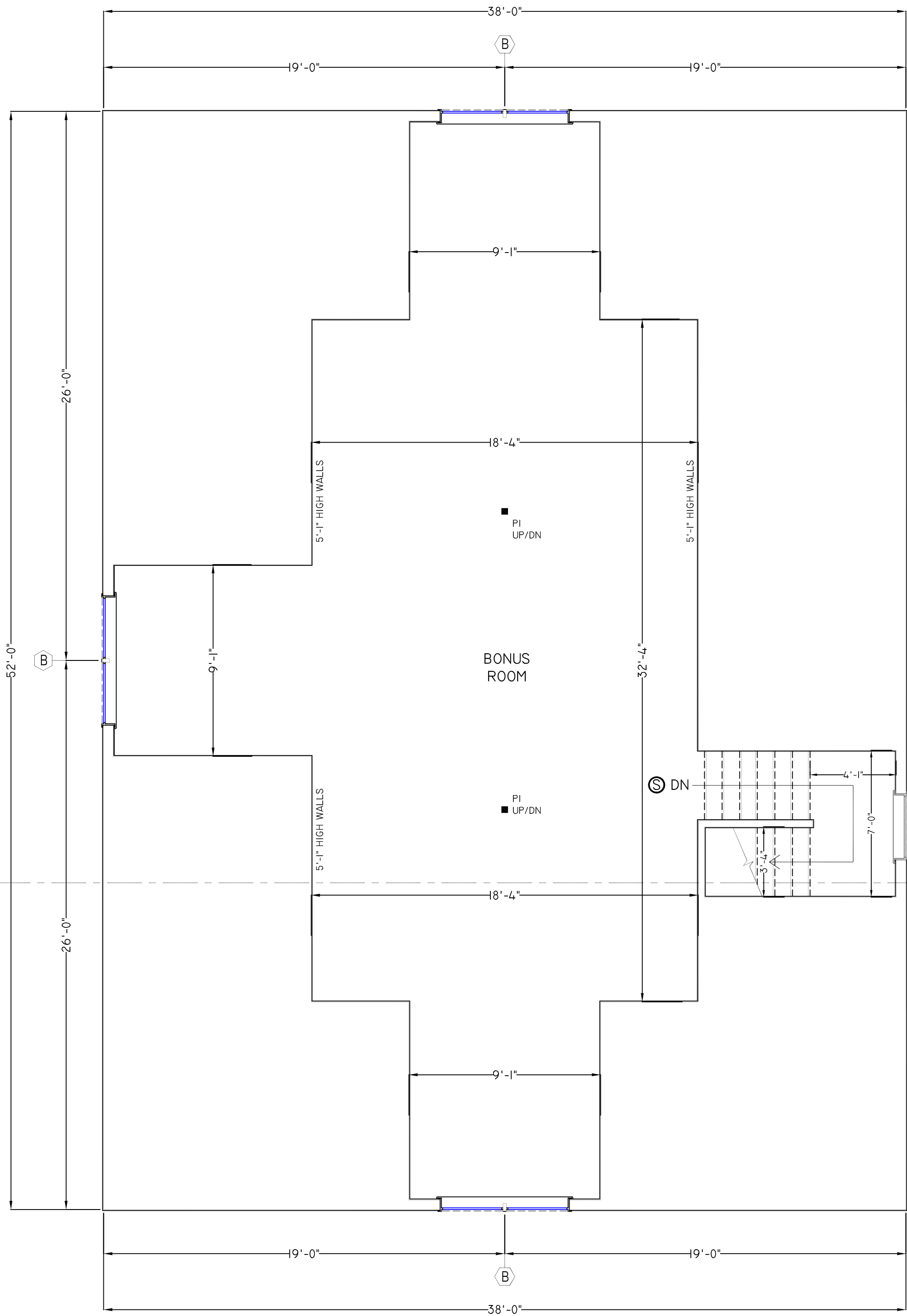
SHEET NUMBER

A2.2



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED ATTIC FLOOR PLAN

SCALE: 1/4" = 1'-0"

GRAPHIC SYMBOL LEGEND	
	MASONRY WALLS
	PROP. POURED CONCRETE MASONRY WALLS
	PROP. 4" OR 6" WALLS (WOOD) w/ 2" OR 3" G.W.B.
	WALLS/ITEMS TO BE DEMOLISHED
	EXISTING WALLS (NO CHANGE)
	CARBON MONOXIDE DETECTOR (HARD WIRED)
	SMOKE DETECTOR (HARD WIRED)
	BATHROOM EXHAUST FAN
	HEAT DETECTOR (HARD WIRED)
	DOOR TAG
	WALL TAG
	WINDOW TAG
	1-HR FIRE RATED WALL

PROJECT:

DUPLEX DEVELOPMENT

691-693 OLD BEDFORD RD
CONCORD, MA 01742

PREPARED FOR:

RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr

4/17/2025

REGISTERED ENGINEER

PROJECT NO: 24-026

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/17/2025

SCALE: AS NOTED

REVISIONS

NO.	DATE	DESCRIPTION
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JEFFREY MORETTI / MORETTI DESIGNS, LLC
HAS NOT BEEN ENGAGED FOR CONSTRUCTION
SUPERVISION AND ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION CONFORMING TO THESE PLANS

WRITTEN DIMENSIONS ON DRAWINGS SHALL
HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE
FOR ALL DIMENSIONS AND CONDITIONS ON THIS
PROJECT. MORETTI DESIGNS, LLC SHALL BE
NOTIFIED OF ANY VARIATION FROM THESE PLANS
PRIOR AND DURING CONSTRUCTION.

SHEET TITLE:

WINDOW & DOOR
SCHEDULES

SHEET NUMBER

A2.3

DOOR SCHEDULE									
MARK	QTY.	DOOR TYPE	DOOR SIZE (w x h)	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	UL RATING	DOOR GLASS	REMARKS
101	1	EXTERIOR DOOR w/ SIDELITES	3'-0" x 6'-8"	SOLID	STEEL/F.G.	FACTORY	N/A	TEMP.	N/A
102	2	EXTERIOR DOOR (FIRE RATED)	3'-0" x 6'-8"	SOLID	STEEL/F.G.	FACTORY	I-HR	TEMP.	SELF CLOSING
103	2	EXTERIOR DOOR	3'-0" x 6'-8"	SOLID	STEEL/F.G.	FACTORY	N/A	TEMP.	N/A
104	1	SLIDING PATIO DOOR	10'-0" x 8'-0"	GLASS	FIBERGLASS	FACTORY	N/A	TEMP.	4 PANEL
105	11	INTERIOR DOOR	2'-6" x 6'-8"	SOLID	WOOD	PAINTED	N/A	N/A	N/A
106	1	INTERIOR DOOR	2'-4" x 6'-8"	SOLID	WOOD	PAINTED	N/A	N/A	N/A
107	3	INTERIOR DOOR	2'-0" x 6'-8"	SOLID	WOOD	PAINTED	N/A	N/A	N/A
108	4	SLIDING CLOSET DOOR	5'-0" x 6'-8"	SOLID	WOOD	PAINTED	N/A	N/A	N/A
109	2	INTERIOR POCKET DOOR	2'-6" x 6'-8"	SOLID	WOOD	PAINTED	N/A	N/A	N/A
110	1	INTERIOR DBL. DOOR	4'-0" x 6'-8"	SOLID	WOOD	PAINTED	N/A	N/A	N/A
111	1	INTERIOR DBL. POCKET DOOR	4'-0" x 6'-8"	SOLID	WOOD	PAINTED	N/A	N/A	N/A
112	1	GARAGE DOOR	16'-0" x 8'-0"	SOLID	FIBERGLASS	FACTORY	N/A	N/A	INSULATED PANELS

WINDOW SCHEDULE						
MARK	QTY.	WINDOW STYLE	WINDOW SIZE (w x h)	EXTERIOR FINISH	INTERIOR FINISH	TOP OF HEADER
A	5	CASEMENT (MULLED UNIT - DBL)	5'-8" X 5'-6"	FIBERGLASS - BLACK	PRE FINISHED - WHITE	8'-9"
B	7	CASEMENT (MULLED UNIT - DBL)	5'-8" X 4'-6"	FIBERGLASS - BLACK	PRE FINISHED - WHITE	8'-9" AT 2ND. FL. 7'-9" AT 2ND. FL.
C	1	CASEMENT	2'-8" X 5'-0"	FIBERGLASS - BLACK	PRE FINISHED - WHITE	8'-9"
D	3	FIXED UNIT	3'-0" X 5'-6"	FIBERGLASS - BLACK	PRE FINISHED - WHITE	SEE SECTION
E	1	CASEMENT	3'-0" X 5'-0"	FIBERGLASS - BLACK	PRE FINISHED - WHITE	8'-9"
F	2	FIXED UNIT	6'-0" X 2'-4"	FIBERGLASS - BLACK	PRE FINISHED - WHITE	9'-1" OFF SLAB
G	4	CASEMENT	3'-0" X 4'-6"	FIBERGLASS - BLACK	PRE FINISHED - WHITE	7'-9"
H	1	CASEMENT (MULLED UNIT - TRIPLE)	8'-7" X 4'-6"	FIBERGLASS - BLACK	PRE FINISHED - WHITE	7'-9"
I	2	CASEMENT	2'-8" X 4'-0"	FIBERGLASS - BLACK	PRE FINISHED - WHITE	7'-9"
J	1	FIXED UNIT	4'-0" X 1'-6"	FIBERGLASS - BLACK	PRE FINISHED - WHITE	7'-9"
K	2	EGRESS WINDOWS	3'-0" X 4'-0"	FIBERGLASS - BLACK	PRE FINISHED - WHITE	N/A

- 1.) ALL WINDOWS ARE TO BE ENERGY EFFICIENT, LOW-E. G.C. TO VERIFY ALL NEW & EXISTING R.O.'S PRIOR TO ORDERING WINDOWS.
2.) CONTRACTOR TO DISCUSS WINDOW SCHEDULE WITH OWNER PRIOR TO ORDERING WINDOWS TO ENSURE THERE ARE NO DISCREPANCIES.
3.) CONTRACTOR SHALL VERIFY THAT WINDOWS INSTALLED IN R.O'S HAVE HEADERS THAT MEET THE MINIMUM REQUIREMENT INDICATED ON THE HEADER SCHEDULE.

GENERAL NOTES:

ALL SAWN LUMBER FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR WITH THE FOLLOWING MINIMUM GRADES:

- A) JOISTS, RAFTERS, SOLID AND BUILT-UP BEAMS, WALL STUDS AND LINTELS; NO. 1 & NO.2 GRADE
- B) SILLS AND PLATES: STUD GRADE
- C) SOLID WOOD POSTS; NO. 1 GRADE
- D) BRIDGING, BLOCKING AND NAILERS; STUD GRADE

UNLESS OTHERWISE NOTED, ALL NAILING AND FASTENING SHALL BE IN ACCORDANCE WITH LATEST MASS./IBC BUILDING CODE EDITION.

WOOD SILLS BENEATH ALL INTERIOR AND EXTERIOR BEARING WALLS AND ALL MEMBERS EXPOSED TO WEATHER OR MOISTURE OR CONCRETE SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE 'AMERICAN WOOD PRESERVERS ASSOCIATION, STANDARD C1'.

ALL STUD WALLS, BEARING AND NON-BEARING, SHALL HAVE ONE ROW OF CONTINUOUS 2X SOLID BLOCKING BETWEEN STUDS AT MID-HEIGHT. BLOCKING SIZE TO MATCH STUD SIZE

FRAMING MEMBERS SHALL NOT BE NOTCHED, CUT OR ALTERED IN THE FIELD WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER

ALL METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE HOT-DIPPED GALVANIZED METAL SHAPES AS MANUFACTURED BY "SIMPSON STRONG-TIE COMPANY, INC." AND BE ATTACHED BY THE GENERAL CONTRACTOR AS PER THE "SIMPSON STRONG-TIE" SPECIFICATIONS.

ALL EXTERIOR WALL SHEATHING SHALL BE 7/16" 'ZIP SYSTEM' EXTERIOR SHEATHING. FASTEN THE SHEATHING PANELS TO THE FRAMING MEMBERS WITH CODE APPROVED FASTENERS SPACED AT THE APPROPRIATE EDGE AND INTERMEDIATE SPACING. APPLY 'ZIP SYSTEM' TAPE TO EVERY VERTICLE AND HORIZONTAL PANEL SEAM. IT IS UP TO THE INSTALLER WHETHER TO APPLY TAPE FROM THE TOP DOWN OR FROM THE BOTTOM UP.

ALL ROOF SHEATHING SHALL BE 5/8" 'ZIP SYSTEM. FASTEN THE SHEATHING PANELS TO THE FRAMING MEMBERS WITH CODE APPROVED FASTENERS SPACED AT THE APPROPRIATE EDGE AND INTERMEDIATE SPACING. APPLY 'ZIP SYSTEM' TAPE TO EVERY VERTICLE AND HORIZONTAL PANEL SEAM. IT IS UP TO THE INSTALLER WHETHER TO APPLY TAPE FROM THE TOP DOWN OR FROM THE BOTTOM UP.

ALL FLOOR SHEATHING SHALL BE 3/4" AND MANUFACTURED BY ADVANTEK, 24 O/C, TONGUE AND GROOVE. USE EXPOSURE I PANELS, APPLY PANELS WITH THE FACE GRAIN PERPENDICULAR TO THE JOISTS OR TRUSSES AND CONTINUOUS OVER TWO OR MORE SPANS. ATTACH PANELS BY GLUE-NAILING AS FOLLOWS:

- A) SPREAD GLUE IN ACCORDANCE WITH RECOMMENDATIONS OF GLUE MANUFACTURER AND INDUSTRY PRACTICE.
- B) STAGGER END JOINTS IN EACH SUCCEEDING ROW, LEAVING 1/8" SPACE BETWEEN ALL END AND EDGE JOINTS, INCLUDING TONGUE AND GROOVE EDGES.
- C) COMPLETE ALL NAILING OF EACH PANEL BEFORE GLUE SETS WITH 6d RING- OR SCREW-SHANK NAILS AT 12" ON CENTER AT PANEL EDGES AND INTERMEDIATE SUPPORTS.

ALL DESIGN AND CONSTRUCTION REQUIRED OF THE CONTRACTORS BY THE CONTRACT DOCUMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ADOPTED STATE AND LOCAL BUILDING CODES AND OSHA REGULATIONS, SUPPLEMENTED BY THE CONTRACT DOCUMENTS. THE GOVERNING BUILDING CODE USED IN THE STRUCTURAL DESIGN IS THE MASSACHUSETTS BUILDING CODE WITH THE LATEST ADOPTED AMENDMENTS.

CONTRACTOR SHALL VERIFY ALL CONDITIONS, EXISTING AND PROPOSED PRIOR TO COMMENCING CONSTRUCTION. .

THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE DESIGNERS ATTENTION. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES

ALL RAFTERS SHALL BE INSTALLED WITH HURRICANE TIES WHERE THEY MEET THE WALL TOP PLATE.

SECTIONS AND DETAILS SHOWN ON THIS PLAN ARE TYP.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

ALL EXISTING DIMENSIONS ARE FOR REFERENCE ONLY. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

MORETTI DESIGNS, LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

GENERAL NOTES...(CONT.)

PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF STUDS AT CEILING AND FLOOR SPACES - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES - IN SPACES BETWEEN STAIR STRINGERS AT TOP & BOTTOM OF RUN - AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT FLOOR & CEILING LEVELS.

REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING, FASTENING AND REINFORCEMENT DETAILS

ALL EXISTING AREAS INDICATED BRICK TO BE REMOVED AND REPLACED WITH NEW BRICK SHALL MATCH EXISTING IN SIZE, SHAPE, COLOR AND TEXTURE.

THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SHORING AND BRACING FOR ALL STRUCTURAL ELEMENTS AS REQUIRED UNTIL NEW STRUCTURAL MEMBERS ARE PERMANENTLY INSTALLED, WHETHER INDICATED ON THE DRAWINGS OR NOT. IF THE CONTRACTOR IS UNSURE WHETHER OR NOT TO PROVIDE TEMPORARY SHORING AND BRACING HE SHALL INFORM MORETTI DESIGNS, LLC OF THE NEED TO ASK THE STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT OF WORK.

CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS FURNISHING THE LABOR, MATERIALS, AND ALL WORK, SO THAT THE WORK AS A WHOLE SHALL BE EXECUTED AND COMPLETED WITHOUT CONFLICT OR DELAY. THE OWNER AND HIS CONSULTANTS SHALL NOT BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY AND NEGLIGENT ACTS OR OMISSIONS BY THE GENERAL CONTRACTOR OR THE SUBCONTRACTORS ON THE JOB.

CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS INCLUDING ARCHITECTURAL, MECHANICAL, STRUCTURAL AND ELECTRICAL. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF MORETTI DESIGNS, LLC PRIOR TO ANY WORK.

BUILDING MATERIALS NOT SPECIFIED IN THE CONTRACT DOCUMENTS SHALL BE SUGGESTED BY THE CONTRACTOR TO THE OWNER FOR APPROVAL.

IF THE CONTRACTOR DISCOVERS AN ERROR OR INCONSISTENCY AND PROCEEDS WITH WORK WITHOUT NOTIFYING THE OWNER OF ANY SUCH DISCREPANCIES, HE SHALL ASSUME ALL CHARGES AND MAKE ANY CHANGES TO HIS WORK MADE NECESSARY BY HIS FAILURE TO OBSERVE AND/OR REPORT THE CONDITION.

CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY IN-WALL FRAMING/ BLOCKING REQUIRED TO CARRY CABINETS, HANGING SHELFs, RAILINGS, ETC.

WINDOWS:

MANUFACTURERS (HARVEY, MARVIN, ANDERSON OR APPROVED EQUAL BY OWNER)

A. CONSTRUCTION:

- FRAME: LAMINATED VENEER LUMBER CAPPED WITH RIGID VINYL;
- INTERIOR SASH: SOLID LUMBER, KILN DRIED & SUITABLE FOR PAINT
- EXTERIOR SASH: CO-EXTRUDED RIGID VINYL OVER LUMBER.

B. INTERIOR FINISH: PAINTED WHITE - FACTORY APPLIED BEFORE ASSEMBLY

C. EXTERIOR FINISH: FRAME, SASH AND TRIM-BLACK

D. ENVIRONMENTAL CERTIFICATION:

- ENERGY STAR PERFORMANCE REQUIREMENTS
- INDOOR AIR QUALITY PERFORMANCE

E. WEATHER STRIP: FLEXIBLE VINYL BULB OR VINYL COVERED FOAM GASKET.

F. HARDWARE: GALVANIZED STEEL CONCEALED HINGE AND TRACK

G. INSECT SCREEN: ALUMINUM SCREEN WITH FACTORY APPLIED BAKED-ON SILICONE POLYESTER ENAMEL

EXECUTION

1. VERIFY EXISTING CONDITIONS BEFORE STARTING WORK:

- 2. VERIFY EXISTING OPENING TO ENSURE ACCURATE ORDERING.
- 3. PREPARE EXISTING WINDOW OPENING TO ACCEPT NEW WINDOW.
- 4. INSTALL PER MANUFACTURER'S INSTRUCTIONS;
- 5. INSTALL WINDOWS PLUMB, LEVEL AND SQUARE;
- 6. COMPLY WITH PRODUCT INSTALLATION INSTRUCTIONS FOR PROPER FLASHING

INTEGRATION INTO EXISTING WALL SYSTEM.

- 6. ADJUST SASHES, INSECT SCREENS, VENTILATORS, HARDWARE AND ACCESSORIES FOR CORRECT FIT;
- 7. ADJUST WEATHER STRIP FOR SMOOTH OPERATION AND WEATHER-TIGHT CLOSURE;

- 8. REMOVE EXCESS SEALANT, SOILING, DIRT AND OTHER SUBSTANCES;
- 9. CLEAN GLASS AND ADJACENT SURFACES;
- 10. REMOVE AND LAWFULLY DISPOSE OF CONSTRUCTION DEBRIS FROM PROJECT SITE.

STRUCTURAL NOTES:

1. STRUCTURAL WORK SHALL CONFORM TO THE REQUIREMENTS OF "THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE", 9TH EDITION, "THE INTERNATIONAL BUILDING CODE" (IBC 2015), AND ASCE 7-10.

2. EXAMINE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR VERIFICATION OF LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, WASHES, DRIPS, REVEALS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON STRUCTURAL DRAWINGS.

3. VERIFY AND COORDINATE DIMENSIONS RELATED TO THIS PROJECT.

4. OPENINGS IN SLABS AND WALLS LESS THAN 12" MAXIMUM DIMENSION ARE GENERALLY NOT SHOWN ON STRUCTURAL DRAWINGS, AND SHALL NOT BE REVISED WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.

5. TYPICAL DETAILS AND NOTES SHOWN ON STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE STRUCTURAL WORK EXCEPT WHERE SPECIFICALLY REQUIRED OTHERWISE BY CONTRACT DOCUMENTS.

6. DETAILS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO THOSE SHOWN FOR THE MOST NEARLY SIMILAR CONDITION AS DETERMINED BY THE ENGINEER.

STRUCTURAL STEEL:

1. STRUCTURAL STEEL WORK SHALL CONFORM TO 'SPECIFICATION FOR STRUCTURAL

STEEL BUILDINGS' (AISC 2010); 'CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS

& BRIDGES' (AISC 2010); 'SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS'

(AISC, 2010); 'SPECIFICATION FOR STRUCTURAL STEEL JOINTS USING ASTM A325 AND

A490 BOLTS' (AISC 2010), "STRUCTURAL WELDING CODE - STEEL" (AWS D1.1-96).

2. STRUCTURAL STEEL SHALL BE DETAILED IN ACCORDANCE WITH 'DETAILING FOR STEEL CONSTRUCTION (AISC)' AND WHERE REQUIRED, DESIGNED IN ACCORDANCE WITH CITED REFERENCES.

3. STRUCTURAL STEEL DETAILS, NOT SPECIFICALLY SHOWN, SHALL BE TAKEN AS BEING SIMILAR TO THOSE SHOWN FOR THE MOST NEARLY SIMILAR CONDITION AS DETERMINED BY THE ARCHITECT.

4. STRUCTURAL STEEL SHALL BE NEW STEEL CONFORMING TO THE FOLLOWING:

(A) UNLESS NOTED OTHERWISE - ASTM A992 GRADE 50 (FY = 50 KSI)

(B) ANGLES, T'S, CHANNELS, AND PLATES, ETC - ASTM A36 (FY = 36 KSI)

(C) TUBES - ASTM A500 GRADE B (FY = 46 KSI)

(D) PIPES - ASTM A501 OR ASTM A53 TYPE E OR S, GRADE B

(E) ANCHOR BOLTS - ASTM A307 OR ASTM F1554 GR. 105

(F) HIGH STRENGTH BOLTS - ASTM A325

5. ANCHOR BOLTS, LEVELING PLATES OR BEARING PLATES SHALL BE LOCATED AND BUILT INTO CONNECTING WORK, PRESET BY TEMPLATES OR SIMILAR METHODS. PLATES SHALL BE SET IN FULL BEDS OF NON-SHRINK GROUT.

6. WELDED CONNECTIONS SHALL BE MADE BY APPROVED CERTIFIED WELDERS USING FILLER METAL CONFORMING TO E70XX OR F7X-EXXX WITH LOW HYDROGEN.

7. WELDS SHALL DEVELOP THE FULL STRENGTH OF THE MATERIALS BEING WELDED, UNLESS NOTED OTHERWISE, EXCEPT THAT FILLET WELDS SHALL BE A MINIMUM OF 1/4".

8. PROVIDE STIFFENERS "FINISHED TO BEAR" UNDER ALL LOAD CONCENTRATIONS ON SUPPORTING MEMBERS, OVER COLUMNS, AND WHERE SHOWN ON DRAWINGS.

9. STRUCTURAL STEEL FRAMING SHALL BE TRUE AND PLUMB BEFORE CONNECTIONS ARE FINALLY BOLTED OR WELDED.

10. FIELD CUTTING OF STRUCTURAL STEEL OR ANY FIELD MODIFICATIONS OF STRUCTURAL STEEL SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL BY ARCHITECT FOR EACH SPECIFIC CASE.

11. STRUCTURAL STEEL ENCASED IN MASONRY SHALL BE COVERED WITH MASTIC COATING PER SPECIFICATIONS.

12. STRUCTURAL STEEL MEMBERS SHALL BE FIREPROOFED PER SPECIFICATIONS.

13. STRUCTURAL STEEL MEMBERS AND CONNECTIONS EXPOSED TO THE WEATHER SHALL BE GALVANIZED.

STRUCTURAL TIMBER CONSTRUCTION

1. TIMBER CONSTRUCTION SHALL CONFORM TO PART II "DESIGN" AS PUBLISHED IN THE "TIMBER CONSTRUCTION MANUAL" (AITC 6TH EDITION) AND TO 'NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION' (NF.PA. 2015 EDITION).

2. NEW TIMBER FOR STRUCTURAL USE SHALL HAVE A MOISTURE CONTENT AS SPECIFIED IN THE

"NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NF.PA. 1991 EDITION).

3. TIMBER CONSTRUCTION SHALL CONFORM TO ARTICLE 23 OF THE COMMONWEALTH OF MASS. STATE BUILDING CODE.

4. MATERIAL PROPERTIES FOR TIMBER SHALL CONFORM TO THE FOLLOWING:

(A) FOR MEMBERS WITH NOMINAL 2" THICKNESS. S-P-F #1/#2 OR BETTER (15% MAX MC).

ALLOWABLE BENDING STRESS:

FB = 875 PSI (SINGLE MEMBER USE)

FB = 1000 PSI (MULTIPLE MEMBER USE)

ALLOWABLE SHEAR STRESS FV = 135 PSI

COMPRESSION PARALLEL TO GRAIN = 1100 PSI

COMPRESSION PERPENDICULAR TO GRAIN = 425 PSI

MODULUS OF ELASTICITY = 1,400,000 PSI

(B) FOR MEMBERS WITH NOMINAL 4" THICKNESS AND GREATER SOUTHERN PINE #1 OR BETTER (19% MAX MC).

ALLOWABLE BENDING STRESS:

FB = 1300 PSI

ALLOWABLE SHEAR STRESS FV = 85 PSI

COMPRESSION PARALLEL TO GRAIN = 925 PSI

COMPRESSION PERPENDICULAR TO GRAIN = 625 PSI

MODULUS OF ELASTICITY = 1, 600,000 PSI

(C) FOR PRESSURE-TREATED MEMBERS WITH NOMINAL 2" THICKNESS, SOUTHERN PINE #1 OR BETTER (19% MAX MC).

ALLOWABLE BENDING STRESS FB = 1300 PSI

ALLOWABLE SHEAR STRESS FV = 90 PSI

COMPRESSION PARALLEL TO GRAIN = 1550 PSI

COMPRESSION PERPENDICULAR TO GRAIN = 565 PSI

MODULUS OF ELASTICITY = 1,500,000 PSI

(D) FOR PRESSURE-TREATED MEMBERS WITH NOMINAL 4" THICKNESS AND GREATER, SOUTHERN PINE #2

PRESSURE-TREATED (19% MAX MC).

ALLOWABLE BENDING STRESS FB = 1250 PSI

ALLOWABLE SHEAR STRESS FV = 95 PSI

COMPRESSION PARALLEL TO GRAIN = 725 PSI

COMPRESSION PERPENDICULAR TO GRAIN = 440 PSI

MODULUS OF ELASTICITY = 1,400,000 PSI

5. 'PT' INDICATES PRESSURE-TREATED LUMBER (TO BE USED WHEN IN CONTACT WITH CONCRETE, MASONRY OR WEATHER)

6. 3-1/2" X 91/2" LVL' ETC. INDICATES LAMINATED VENEER LUMBER-2.0E BEAM OR POST BY THE

BOISE CASCADE CO. OR EQUAL.

7. JOIST SUPPORT BY NAILING IS FORBIDDEN UNLESS USED WITH AN APPROVED HANGER. UNLESS NOTED

OTHERWISE ON PLANS, ALL FLUSH FRAMED JOISTS AND BEAMS SHALL BE FRAMED WITH SIMPSON HANGERS AS FOLLOWS (OR APPROVED EQUALS):

(A) 2X6; 2X8 = TYPE 'U26'

(B) 2-2X6; 2-2X8 = TYPE 'U26 - 2'

(C) 3-2X6; 3-2X8 = TYPE 'U26-3'

(D) 2X10; 2X12 = TYPE 'U210'

(E) 2-2X10;2-2X12 = TYPE 'U210-2'

(F) 3-2X10; 3-2X12 = TYPE 'U210-3'

(K) 3-1/2" X 9-1/2" L.V.L. = TYPE 'HGLTV3.59'

(L) 5-1/4" X 9-1/2" L.V.L. = TYPE 'HGLTV5.59'

(M) 3-1/2" X 11-7/8" L.V.L. = TYPE 'HGLTV3.511'

(N) 5-1/4" X 11-7/8" L.V.L.TYPE 'HGLTV5.511'

(IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE CORRECT HANGERS FOR ALL SLOPED AND/OR SKEWED CONDITIONS.)

STRUCTURAL TIMBER CONSTRUCTION (CONT.):

8. MINIMUM BEARING FOR ALL JOISTS AND RAFTERS SHALL BE 4".

9. USE DOUBLE JOISTS UNDER ALL PARTITIONS.

10. ROOF AND ROOF DECK CONSTRUCTION SHALL BE AS SHOWN ON THE PLANS WITH 32/16-3/4" EXTERIOR PLYWOOD SHEATHING.

11. FLOOR AND ROOF DECK CONSTRUCTION SHALL BE AS SHOWN ON THE PLANS WITH 32/16 - 3/4" EXTERIOR TONGUE AND GROOVE PLYWOOD SHEATHING, GLUED AND NAILED TO THE JOISTS AND BEAMS.

12. INTERIOR DOOR AND WINDOW HEADERS SHALL BE A MINIMUM OF 2-2X10'S UNLESS NOTED OTHERWISE ON THE PLANS.

13. EXTERIOR DOOR AND WINDOW HEADERS SHALL BE A MINIMUM OF 3-2X10'S UNLESS OTHERWISE NOTED ON THE PLANS.

14. NO JOIST SHALL BE NOTED OR DRILLED WITH HOLES WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.

15. NO JOIST SHALL BE REPAIRED OR REINFORCED IN ANY WAY WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.

16. BEAMS BUILT UP OF TIMBERS SHALL BE FIRMLY NAILED OR BOLTED TOGETHER.

17. PLYWOOD SHALL BE LAID WITH FACE GRAIN PARALLEL TO SPAN; STAGGER ALL JOINTS.

18. TEMPORARY ERECTION BRACING SHALL BE PROVIDED TO HOLD STRUCTURAL TIMBER SECURELY IN POSITION AS DESCRIBED ON THE DRAWINGS. IT SHALL NOT BE REMOVED UNTIL PERMANENT BRACING HAS BEEN INSTALLED.

19. TIMBER SHALL BE GENERALLY KNOT-FREE, WITH ONLY SMALL TIGHT KNOTS PERMITTED AND GENERALLY STRAIGHT-GRAINED.

20. STRUCTURAL TIMBER SHALL BE IDENTIFIED BY THE GRADE MARK OF OR CERTIFICATE OF INSPECTION ISSUED BY A GRADING OR INSPECTION BUREAU OR AGENCY RECOGNIZED AS BEING COMPETENT.

21. STRUCTURAL TIMBER SHALL BE VISUALLY STRESS-GRADED LUMBER IN ACCORDANCE WITH THE PROVISIONS OF ASTM DESIGNATION D245-74, "METHODS FOR ESTABLISHING STRUCTURAL GRADES AND RELATED ALLOWABLE PROPERTIES FOR VISUALLY GRADED LUMBER".

22. TIMBER SHALL BE SO HANDLED AND COVERED AS TO PREVENT MARRING AND MOISTURE ABSORPTION FROM SNOW OR RAIN.

23. STEEL PLATES SHALL BE NEW STEEL CONFORMING TO ASTM A36.

STRUCTURAL DESIGN LOADS

1. DEAD LOADS

(A) WEIGHT OF BUILDING COMPONENTS

2. LIVE LOADS

(A) TYPICAL RESIDENTIAL FLOOR - 40 PSF

(B) ROOF DECKS/BALCONIES - 60 PSF

(C) ROOF SNOW LOAD - 30 PSF PLUS DRIFT (PG= 40 PSF - IS=1.0;CE=1.0;CT=1.0)

MORETTI DESIGNS, LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS,

ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF

THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND

DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE

ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK.

REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

STAIR CONSTRUCTION NOTES

TYPICAL STAIR CONSTRUCTION MATERIALS:

-10" TREADS

-18 RISERS

-2X12 STRINGERS AT MAX. 16" O.C. (REFER TO STRINGER SCHEDULES)

STAIR DIMENSIONS PER MASS BUILDING CODE.

MAXIMUM RISER HEIGHT SHALL BE MAX. 8-1/2". THE RISER VARIANCE SHALL NOT EXCEED 3/8" WITHIN ANY FLIGHT OF STAIRS.

MINIMUM TREAD DEPTH -SHALL BE 9" INCHES PLUS NOSING. THE GREATEST TREAD DEPTH VARIANCE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". WINDERS SHALL NOT BE LESS THAN 6" AT THE NARROWEST POINT AND NOT LESS THAN 10" AT A POINT. 12" FROM THE NARROWEST SIDE OF THE TREAD. A CONTINUOUS HANDRAIL SHALL BE LOCATED ON THE SIDE WHERE THE TREAD IS NARROWER.

A NOSING OF NOT LESS THAN 3/4" AND NOT MORE THAN 1-1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. NOSING IS NOT REQUIRED WITH TREADS GREATER THAN 1'.

HANDRAILS SHALL BE PROVIDED ON ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. A HANDRAIL SHALL BE MOUNTED BETWEEN 34" INCHES AND 38" INCHES ABOVE THE LINE OF NOSING AND SHALL HAVE A MINIMUM OF 1-1/2" SPACE BETWEEN WALL AND RAIL AND THE MAXIMUM PROJECTION INTO STAIRWAY SHALL BE 4-1/2". HANDRAILS MUST EXTEND FOR THE FULL LENGTH OF THE STAIR RUN AND SHALL BE RETURNED TO THE WALL OR TERMINATE IN A NEWEL POST OR SAFETY TERMINAL. HANDRAIL GRIP SIZE SHALL BE 1-1/2" TO 2" INCHES IN DIAMETER CIRCLE. IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT MORE THAN 6-1/2" WITH THE LARGEST CROSS SECTIONAL DIMENSION NOT GREATER THAN 2-1/2". ALL HANDRAIL EDGES SHALL HAVE A MINIMUM OF .01 INCH RADIUS.

GUARDRAILS A MINIMUM 36" IN HEIGHT SHALL BE PROVIDED ON OPEN SIDES OF PORCHES, BALCONIES, AND OTHER RAISED FLOOR AREAS LOCATED MORE THAN 30" ABOVE ADJACENT FLOOR AREA OR GRADE BELOW.

GUARDRAILS SHALL BE PROVIDED ON OPEN SIDES OF STAIRWAYS WHERE THE TOTAL RISE IS MORE THAN 30" ABOVE THE ADJACENT FLOOR AREA OR GRADE BELOW. GUARDRAILS SHALL BE A MINIMUM OF 34" HIGH WITH SPINDLES SPACED SUCH THAT A SPHERE OF 4" DIAMETER CANNOT PASS BETWEEN RAILS.

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE SUCH AS SIZE THAT A SPHERE 6" CANNOT PASS THROUGH.

UNDER STAIR PROTECTION FOR ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL BE PROVIDED BY HAVING WALLS, UNDER-STAIR SURFACE, AND ALL SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH MINIMUM 1/2" GYPSUM BOARD.



PROJECT:

DUPLEX DEVELOPMENT

691-693 OLD BEDFORD RD
CONCORD, MA 01742

PREPARED FOR:

RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBBURN, MA 01801



Joseph A. Pavao Jr

4/17/2025

REGISTERED ENGINEER

PROJECT NO: 24-026

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/17/2025

SCALE: AS NOTED

REVISIONS

FOUNDATION NOTES:

FOUNDATION SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.

ALL FOOTINGS SHALL BE CARRIED DOWN TO A NATURAL UNDISTURBED MATERIAL HAVING A MINIMUM SAFE BEARING CAPACITY OF 3000 PSF AND BE A MINIMUM OF 4FT. BELOW GRADE.

ALL FOOTINGS SHALL BE PROTECTED AGAINST FROST.

DO NOT BACKFILL FOUNDATION WALLS UNTIL PERMANENT FLOORS ARE IN PLACE.

CONCRETE SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS.

CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS AT BASEMENT WALLS.

CONCRETE SLAB PLACED ON GROUND SHALL BE REINFORCED WITH 6x6-10/10 (MIN.) WELDED WIRE MESH.(W.W.M.). REINFORCEMENT SHALL CONFORM TO A.S.T.M. A185, AND SHALL LAP 6" MIN. OR ONE SPACE, WHICHEVER IS LARGER, AND SHALL BE TIED TOGETHER.

IT IS THE CONTRACTORS RESPONSIBLTY TO PROVIDE STANDARD CONSTRUCTION DETAILING AND PRACTICES WHICH WILL PROVIDE A STRUCTURALLY SOUND AND WATERPROOF FINISHED PRODUCT.

THE ARCHITECT (MORETTI DESIGNS) / ENGINEER HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION OF ANY KIND AND ASSUMES NO RESPONSIBLTY FOR CONSTRUCTION CONFORMING TO THIS PLAN.

FOUNDATION ANCHOR BOLTS SHALL BE ½" DIA. (MIN.) GALV. STEEL BOLTS SPACED AT 4' O.C. (MAX.) AND SHALL BE EMBEDDED INTO CONCRETE 7" (MIN.) AND SHALL BE IN THE MIDDLE 1/3OF THE PLATE.

THESE FOUNDATION DRAWINGS DO NOT SHOW ANY UNDERGROUND UTILITIES OR STRUCTURES. MORETTI DESIGNS, LLC ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OR LOCATION OF ANY SURFACE OR SUBSURFACE UTILITIES OR STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY OWNERS AND FIELD LOCATING EXISTING UNDERGROUND, SURFACE AND OVERHEAD UTILITIES PRIOR TO COMMENCING ANY WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND PRIOR TO COMMENCING ANY WORK OF ANY OBSERVED CONFLICTS OR DISCREPANCIES WITH THE PLANS.

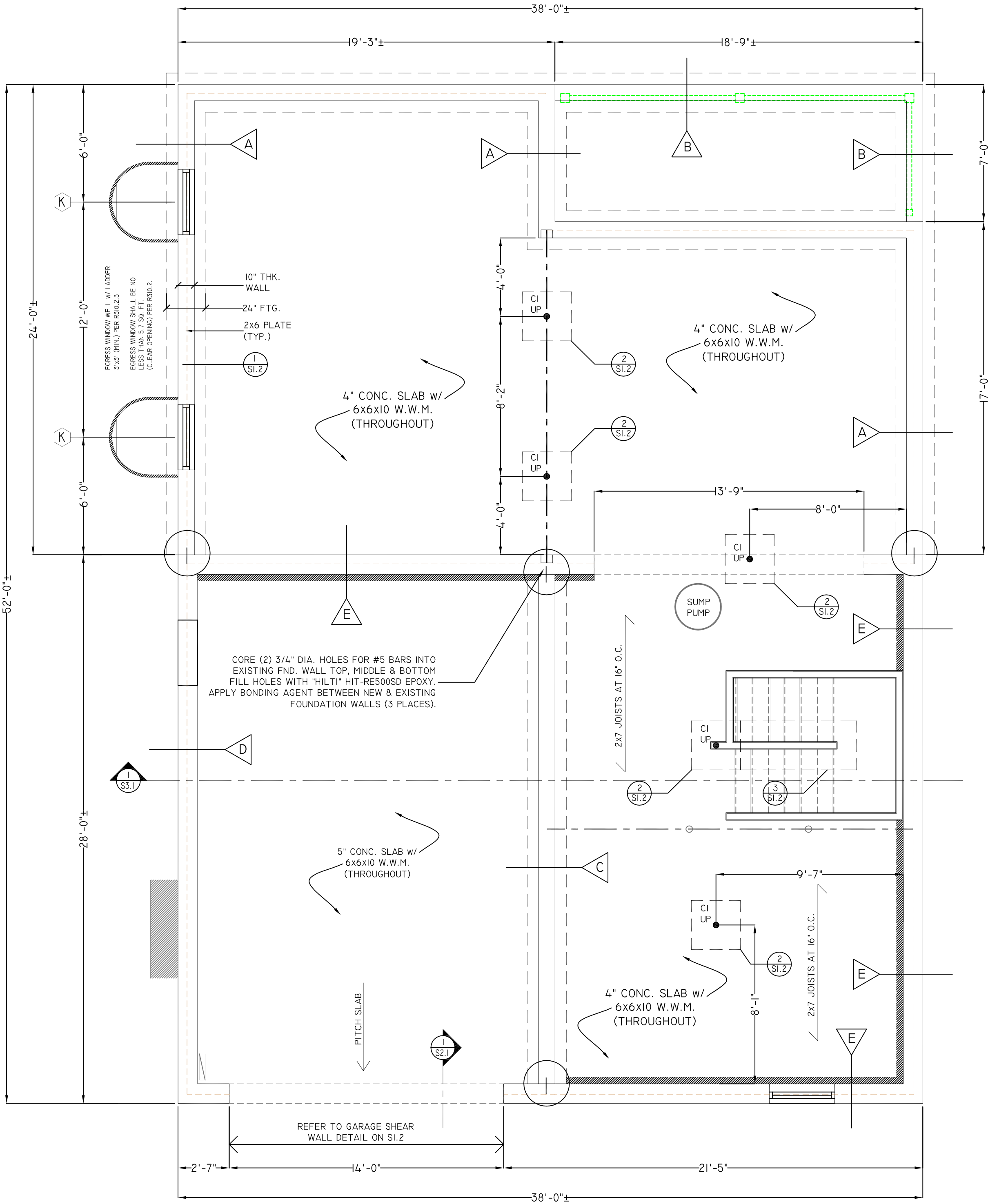
PROVIDE A MINIMUM OF 3" OF CONCRETE COVER FOR REINFORCING STEEL FOR STRUCTURAL CONCRETE MEMBERS IN CONTACT WITH NATURAL GROUND. PROVIDE A MINIMUM OF 2" OF CONCRETE COVER FOR REINFORCING STEEL FOR STRUCTURAL CONCRETE MEMBERS EXPOSED TO WEATHER AND GROUND. PROVIDE A MINIMUM OF 1-1/2" OF CONCRETE COVER FOR REINFORCING STEEL WHERE CONCRETE SURFACES ARE NOT IN CONTACT TO WEATHER OR NATURAL GROUND.

INSTALL CONTINUOUS FRENCH DRAIN AROUND THE PERIMETER OF THE BOTTOM OF BASEMENT FOUNDATIONS LOCATED BELOW GRADE, UNLESS NOTED OTHERWISE ON THE DRAWINGS. FRENCH DRAINS SHALL BE A MINIMUM 4" IN DIAMETER. COVER FRENCH DRAIN WITH AT LEAST 12" OF COARSE, CLEAN ROCK OR GRAVEL AND SLOPE TO DRAIN. EITHER CONNECT THE FRENCH DRAIN TO A SUMP PIT WITH SUFFICIENT DEPTH FOR PROPER SUMP PUMP OPERATION OR DRAIN BY GRAVITY TO AN OUTLET A MINIMUM OF 10 FEET AWAY FROM THE FOUNDATION. SUMP SYSTEM SHOULD INCLUDE AN APPROPRIATE CHECK VALVE ON THE OUTLET LINE, LOCATED WITHIN 12" OF THE PUMP, TO PREVENT BACKFLOW OF WATER INTO THE SUMP. OWNER TO CHOOSE TYPE OF DRAINAGE.

FOUNDATION ELEVATIONS & DROPS (LOCATIONS AND ELEVATION CHANGES) HAVE NOT BEEN DETERMINED AND SHALL BE CONFIRMED BY THE CONTRACTOR AND SITE ENGINEER PRIOR TO FOUNDATION INSTALLATION.

CONCRETE SHALL BE PLACED IN A CONTINUOUS POUR, UNLESS OTHERWISE APPROVED BY ENGINEER IN WRITING. IN NO CASE SHALL ADJACENT CONCRETE BE PLACED MORE THAN 30 MINUTES APART IN ORDER TO PREVENT THE FORMATION OF A COLD JOINT. IF AN UNPLANNED DELAY AND POSSIBLE COLD JOINT OCCURS FOR ANY REASON, VIBRATE THE FRESH CONCRETE AND CONTACT THE ENGINEER PROMPTLY FOR INSTRUCTIONS ON HOW TO PROCEED.

A MINIMUM 6-MIL THICK POLYETHYLENE VAPOR RETARDER SHEETING SHALL BE PLACED DIRECTLY BELOW THE CONCRETE; LAP JOINTS A MINIMUM OF 6" AND SEAL WITH DUCT TAPE OR OTHER TAPE APPROVED FOR SUCH USE BY ITS MANUFACTURER. VAPOR RETARDER SHALL EXTEND TO THE PERIMETER FORMWORK AND PREFERABLY EXTEND 2 FEET BEYOND THE PERIMETER OF THE FOUNDATION.



PROJECT:
HOUSE ADDITION &
MODIFICATIONS
34 GOLDEN AVENUE
ARLINGTON, MA 02476

PREPARED FOR:
RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr
4/24/2025

REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/24/2025

SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

JEFFREY MORETTI / MORETTI DESIGNS, LLC HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION AND ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION CONFORMING TO THESE PLANS
WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THIS PROJECT. MORETTI DESIGNS, LLC SHALL BE NOTIFIED OF ANY VARIATION FROM THESE PLANS PRIOR AND DURING CONSTRUCTION.

SHEET TITLE:
PROPOSED
FOUNDATION PLAN

SHEET NUMBER

SI.1

PROJECT:
**HOUSE ADDITION &
MODIFICATIONS**
34 GOLDEN AVENUE
ARLINGTON, MA 02476

PREPARED FOR:
RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr.
4/24/2025

REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/24/2025

SCALE: AS NOTED

REVISIONS

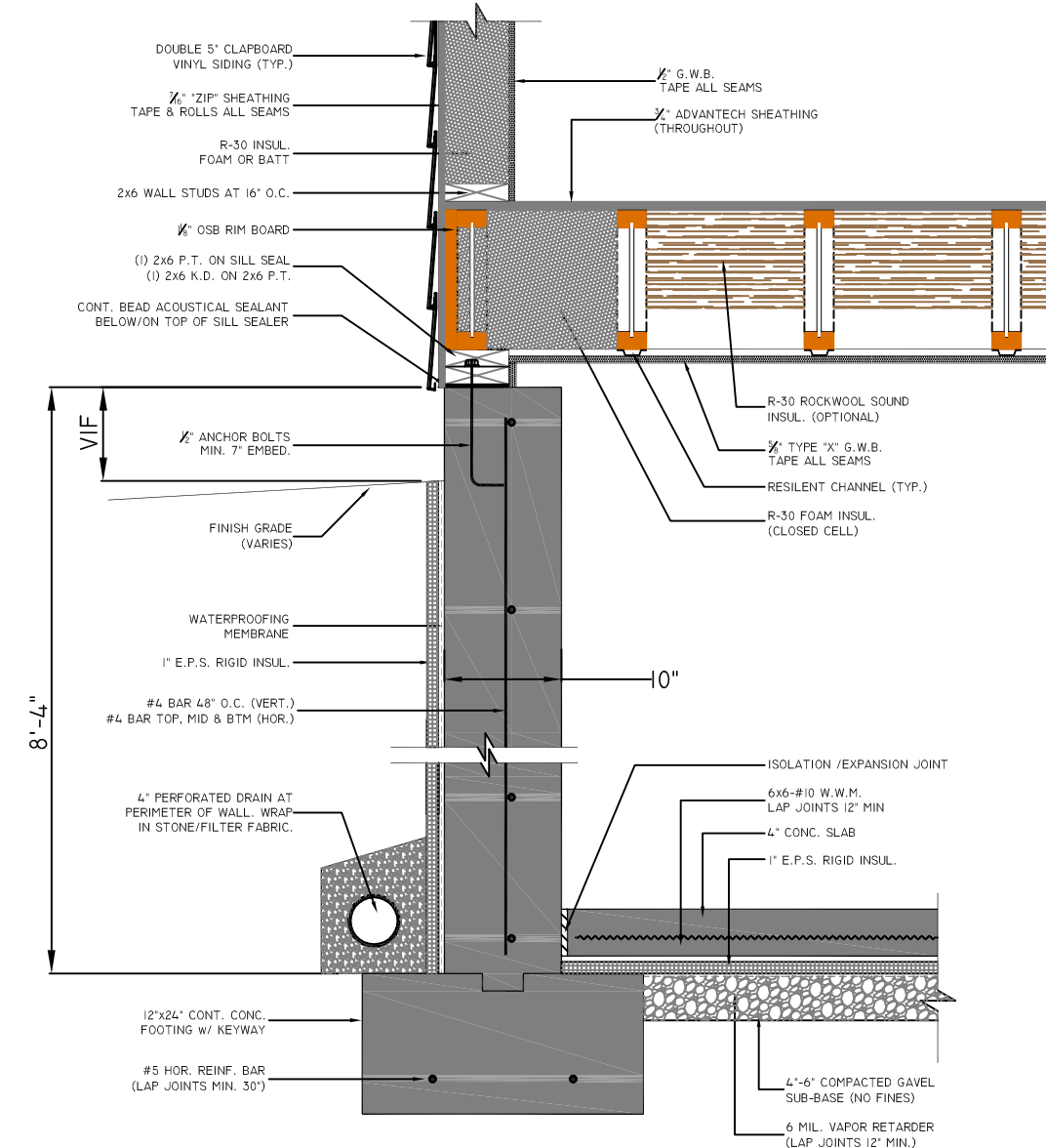
NO.	DATE	DESCRIPTION
1		
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3		

JEFFREY MORETTI / MORETTI DESIGNS, LLC
HAS NOT BEEN ENGAGED FOR CONSTRUCTION
SUPERVISION AND ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION CONFORMING TO THESE PLANS

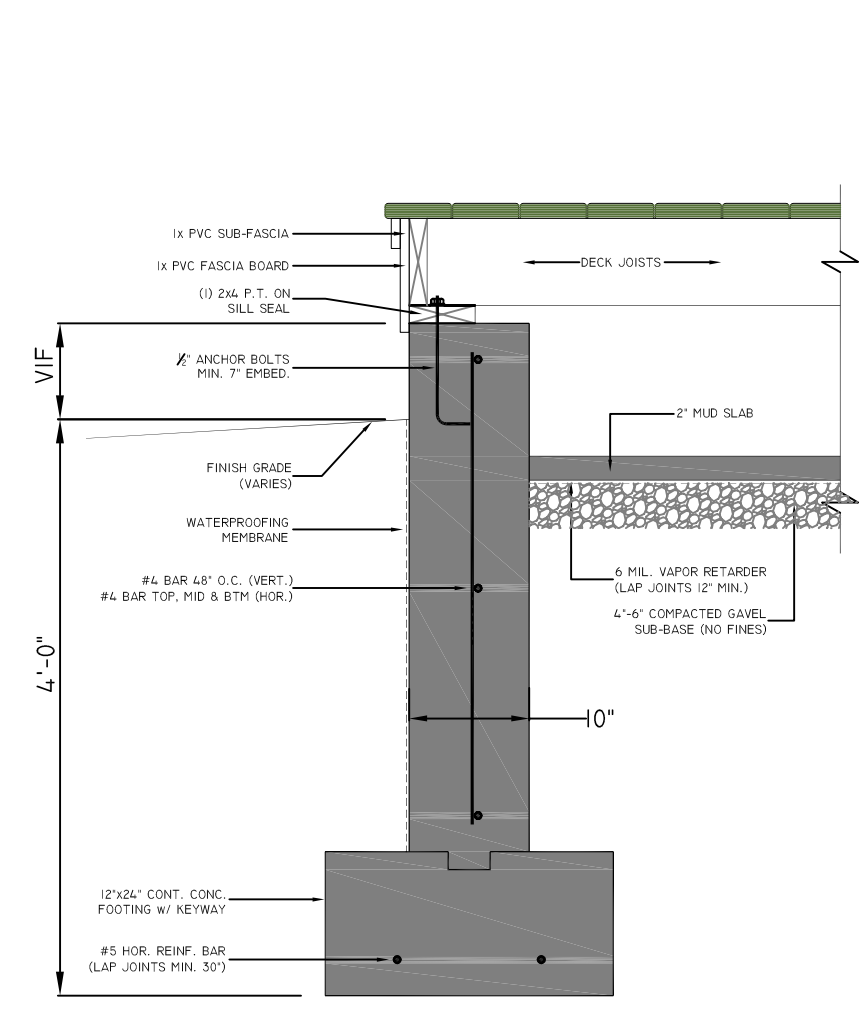
WRITTEN DIMENSIONS ON DRAWINGS SHALL
HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE
FOR ALL DIMENSIONS AND CONDITIONS ON THIS
PROJECT. MORETTI DESIGNS, LLC SHALL BE
NOTIFIED OF ANY VARIATION FROM THESE PLANS
PRIOR AND DURING CONSTRUCTION.

SHEET TITLE:
**FOUNDATION
DETAILS**

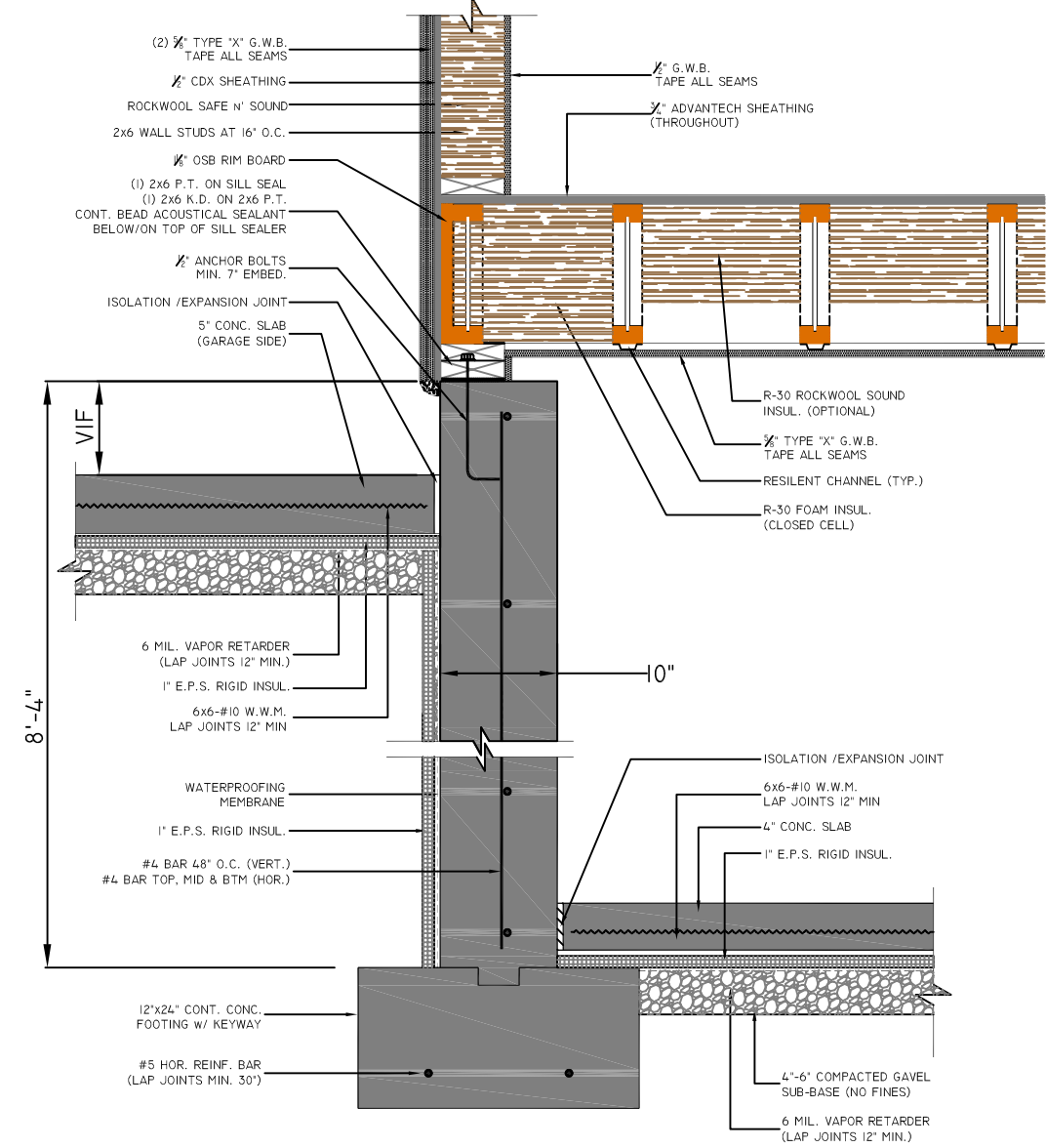
SHEET NUMBER
SI.2



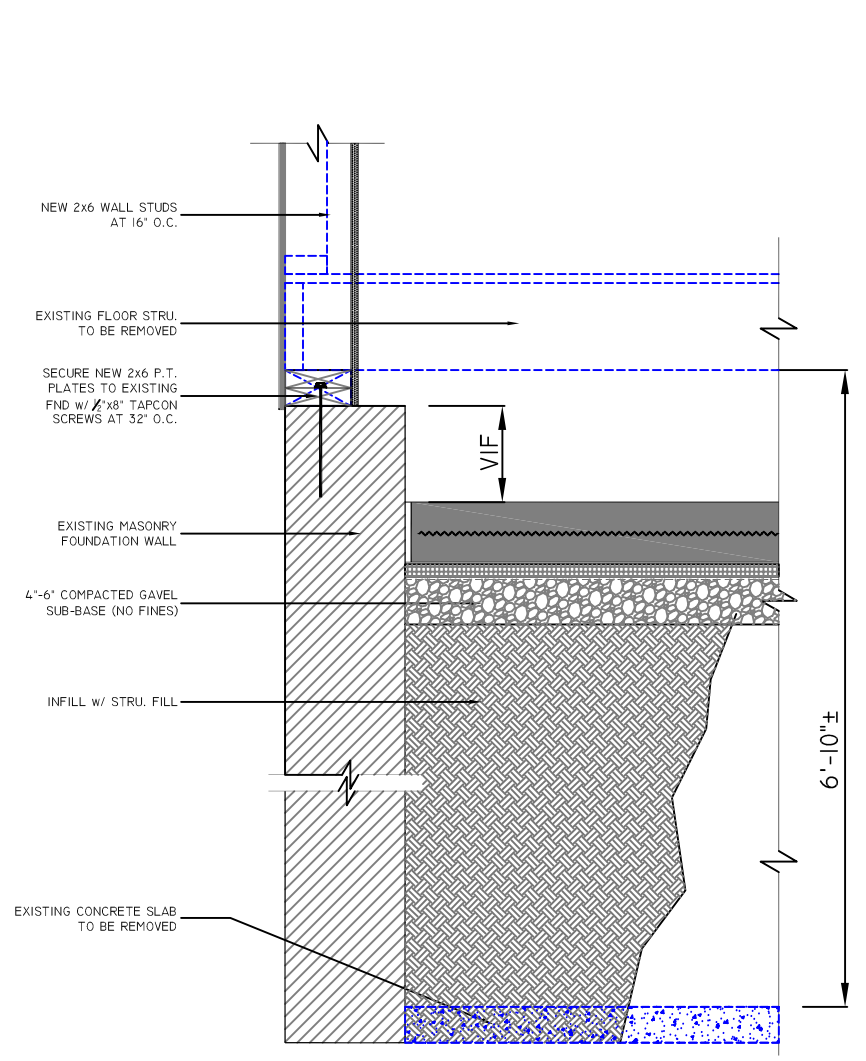
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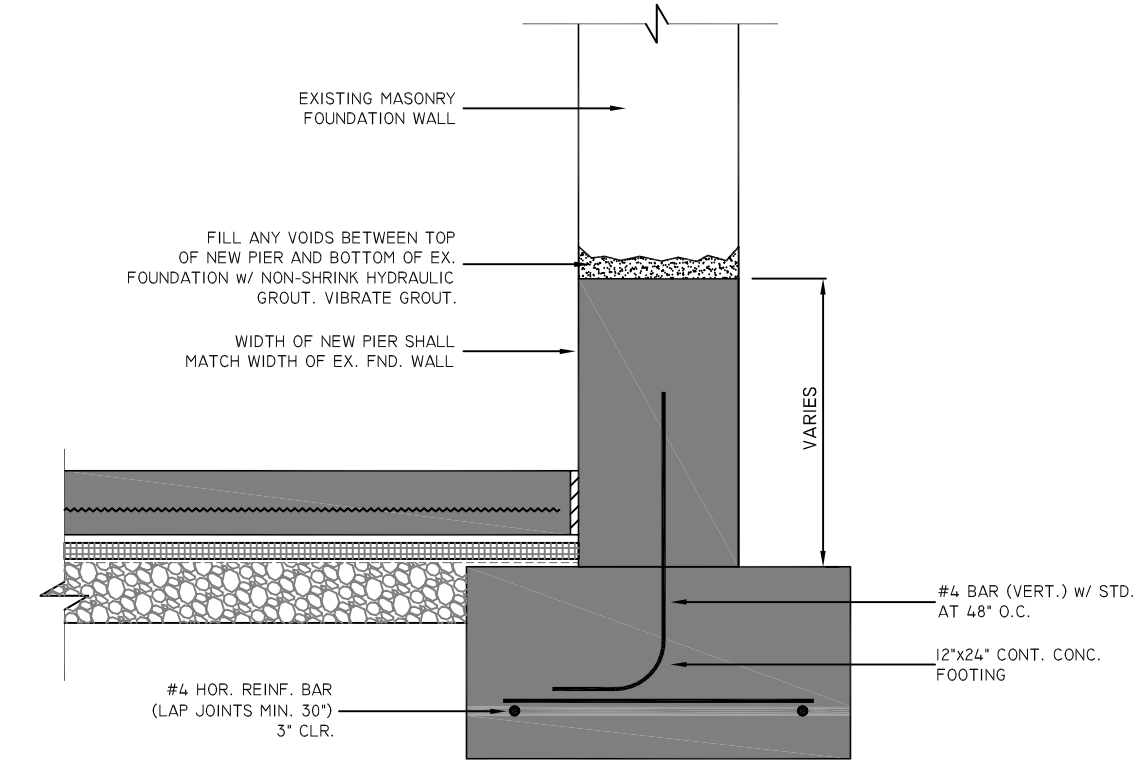
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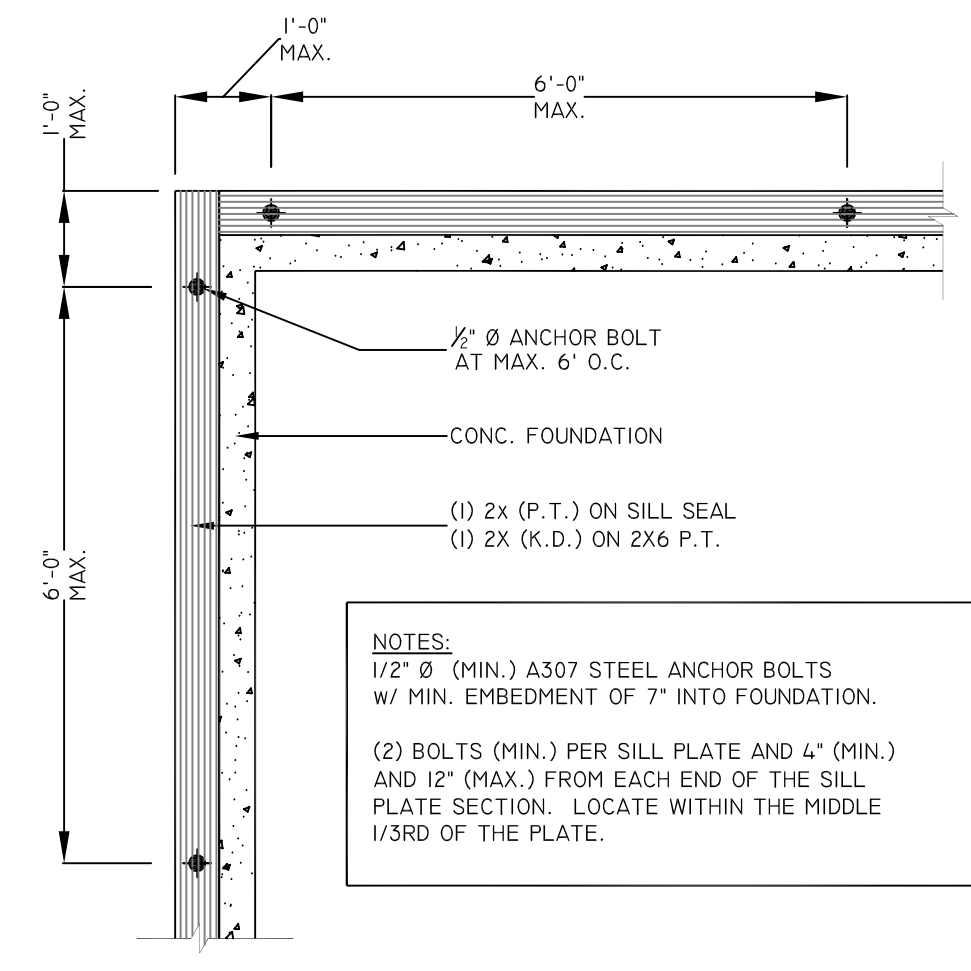
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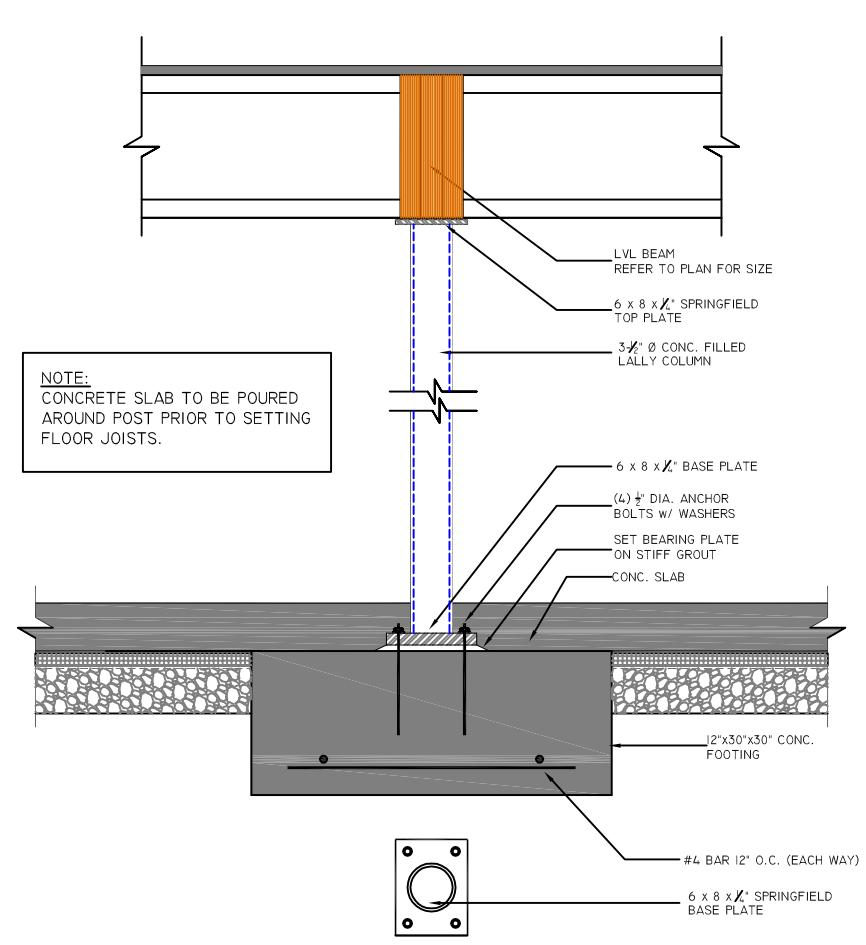
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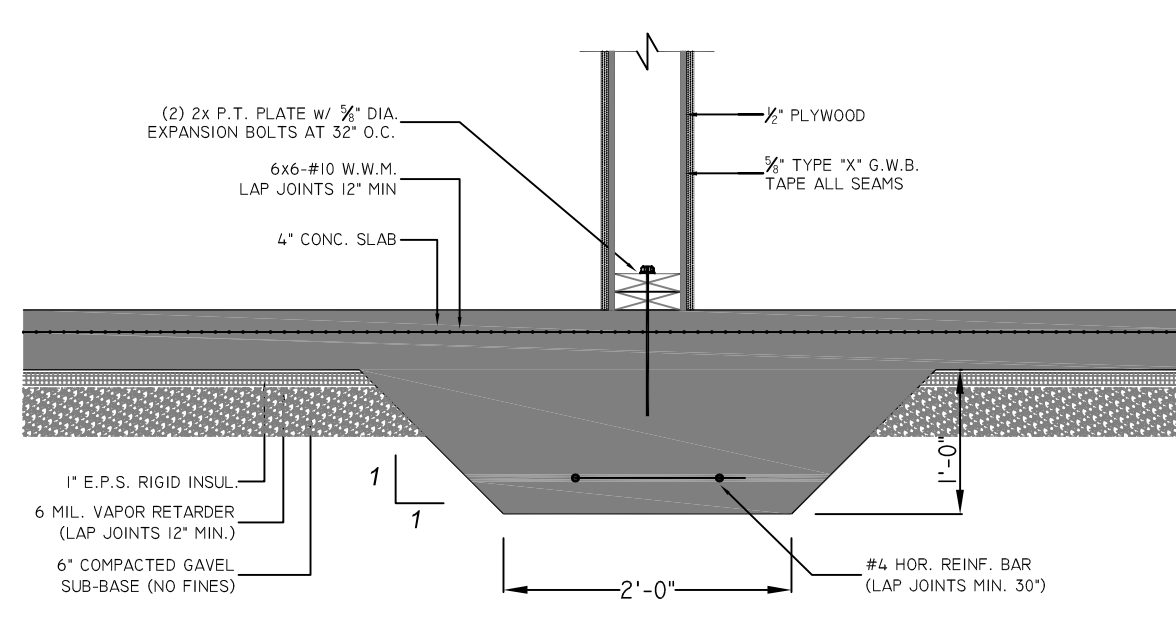
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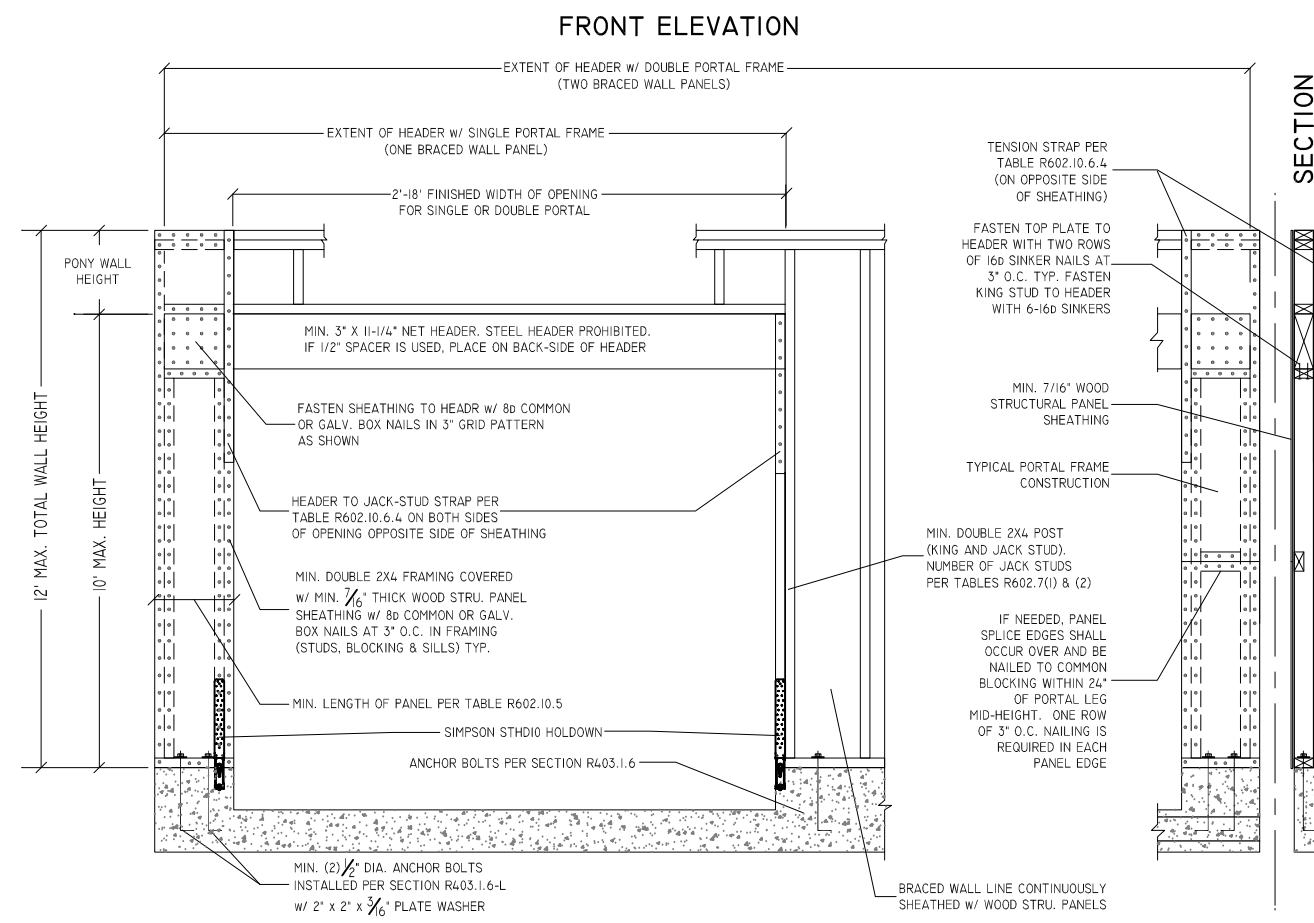
F SCALE: 1/2" = 1'-0"



G SCALE: 3/4" = 1'-0"



H SCALE: 3/4" = 1'-0"

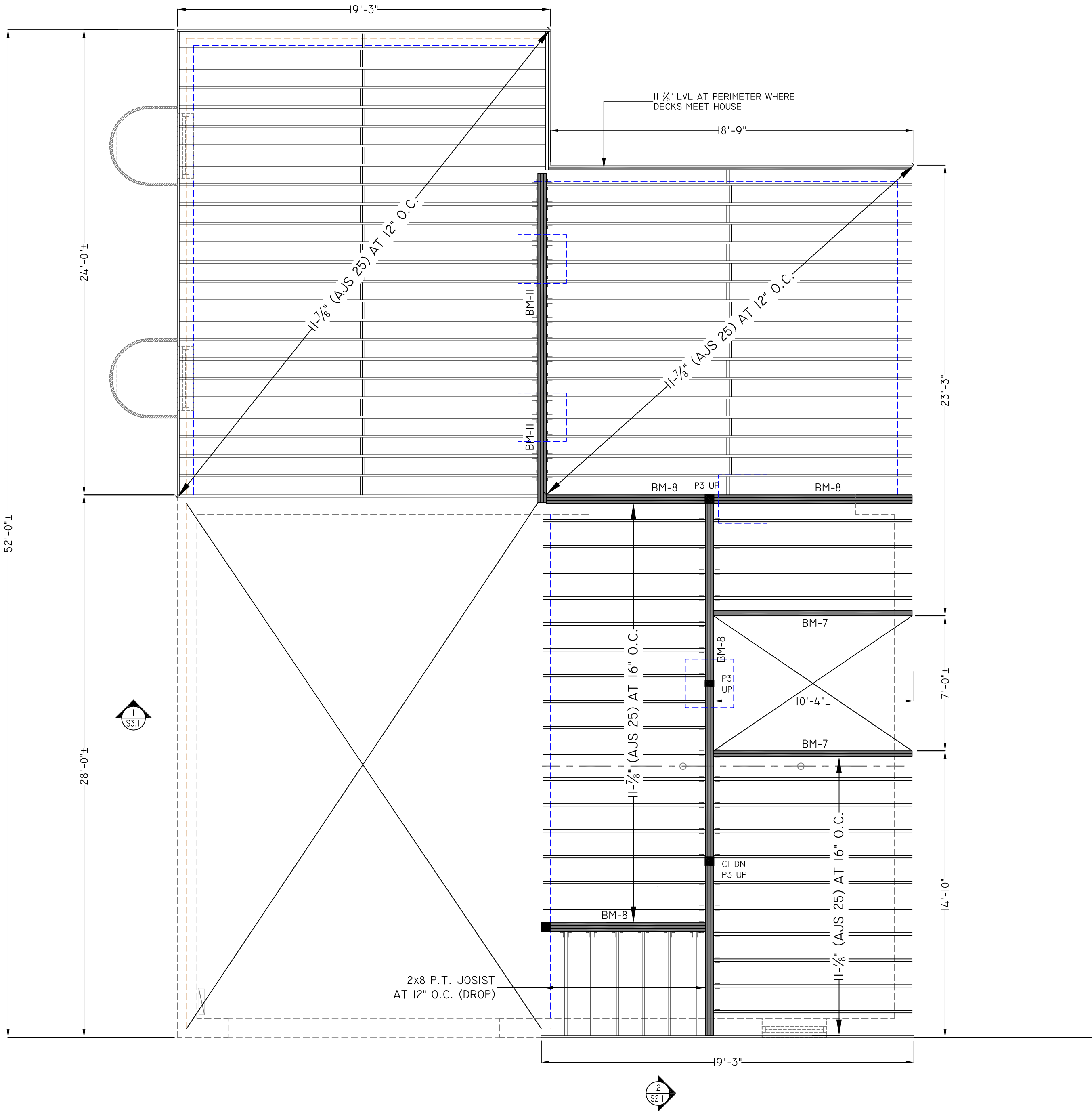


OVER CONCRETE OR MASONRY BLOCK FOUNDATION
GARAGE SHEAR WALL DETAIL
SCALE: 1/4" = 1'-0"

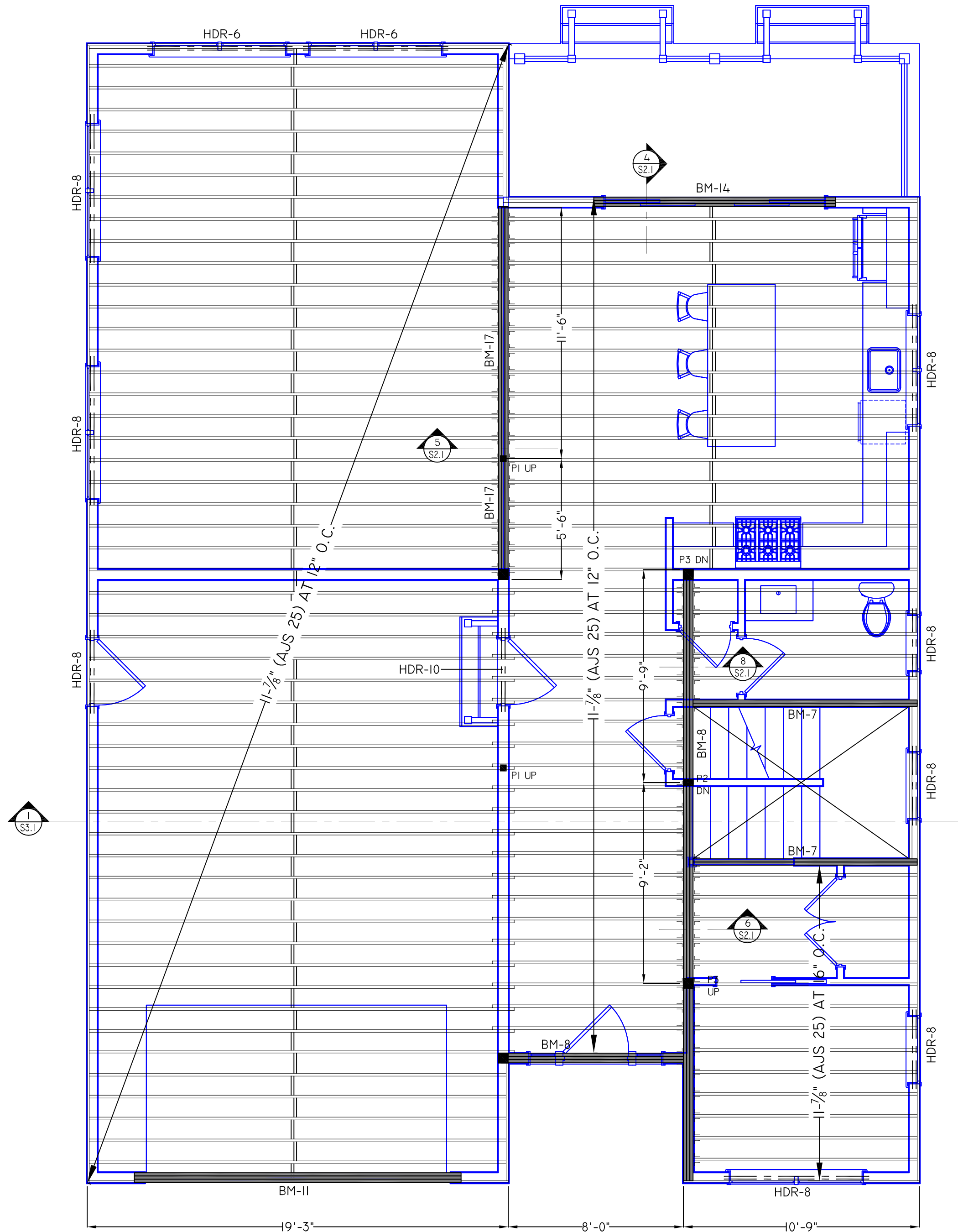
BEAM SCHEDULE		
BEAM	BEAM SIZE	COMMENTS
BM-1	(2) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-2	(3) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-3	(4) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-4	(2) 12"x96" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-5	(3) 12"x96" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-6	(4) 12"x96" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-7	(2) 12"x10" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-8	(3) 12"x10" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-9	(4) 12"x10" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-10	(2) 12"x14" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-11	(3) 12"x14" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-12	(4) 12"x14" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-13	(2) 12"x16" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-14	(3) 12"x16" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-15	(4) 12"x16" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-16	(2) 12"x18" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-17	(3) 12"x18" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-18	(4) 12"x18" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-19	W/ (2) 1" STEEL PLATES	SEE DETAIL
BM-20	W/ (3) 3/4" STEEL PLATES	SEE DETAIL

HEADER SCHEDULE		
HEADER	HEADER SIZE	COMMENTS
HDR-1	(2) 2x8 W/ 1/2" PLY	SEE MULTI-PLY FASTENING DETAIL
HDR-2	(3) 2x8 W/ 1" RIGID	SEE MULTI-PLY FASTENING DETAIL
HDR-3	(2) 12"x72" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-4	(3) 12"x72" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-5	(2) 2x10 W/ 1/2" PLY	SEE MULTI-PLY FASTENING DETAIL
HDR-6	(3) 2x10 W/ 1" RIGID	SEE MULTI-PLY FASTENING DETAIL
HDR-7	(2) 12"x96" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-8	(3) 12"x96" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-9	(2) 2x12 W/ 1/2" PLY	SEE MULTI-PLY FASTENING DETAIL
HDR-10	(3) 2x12 W/ 1" RIGID	SEE MULTI-PLY FASTENING DETAIL
HDR-11	(2) 12"x10" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-12	(3) 12"x10" LVL	SEE MULTI-PLY LVL FASTENING DETAIL

POST SCHEDULE	
POST	MEMBER
P1	3/4"x56" PSL
P2	3/4"x56" PSL
P3	3/4"x56" PSL
P4	(2) 2x4 BUILT-UP POST
P5	(3) 2x4 BUILT-UP POST
P6	(2) 2x6 BUILT-UP POST
P7	(3) 2x6 BUILT-UP POST
C1	3/4" B CONC. FILLED LALLY COLUMN
C2	HSS 4x4x1/4" STEEL COLUMN



PROPOSED 1ST. FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



PROPOSED 2ND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



PROJECT:
HOUSE ADDITION &
MODIFICATIONS
34 GOLDEN AVENUE
ARLINGTON, MA 02476

PREPARED FOR:
RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr
4/24/2025

REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/24/2025

SCALE: AS NOTED

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

JEFFREY MORETTI / MORETTI DESIGNS, LLC
HAS NOT BEEN ENGAGED FOR CONSTRUCTION
SUPERVISION AND ASSUMES NO RESPONSIBILITY
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PRIOR AND DURING CONSTRUCTION.

SHEET TITLE:
PROPOSED 1ST
AND 2ND FLOOR
FRAMING PLANS

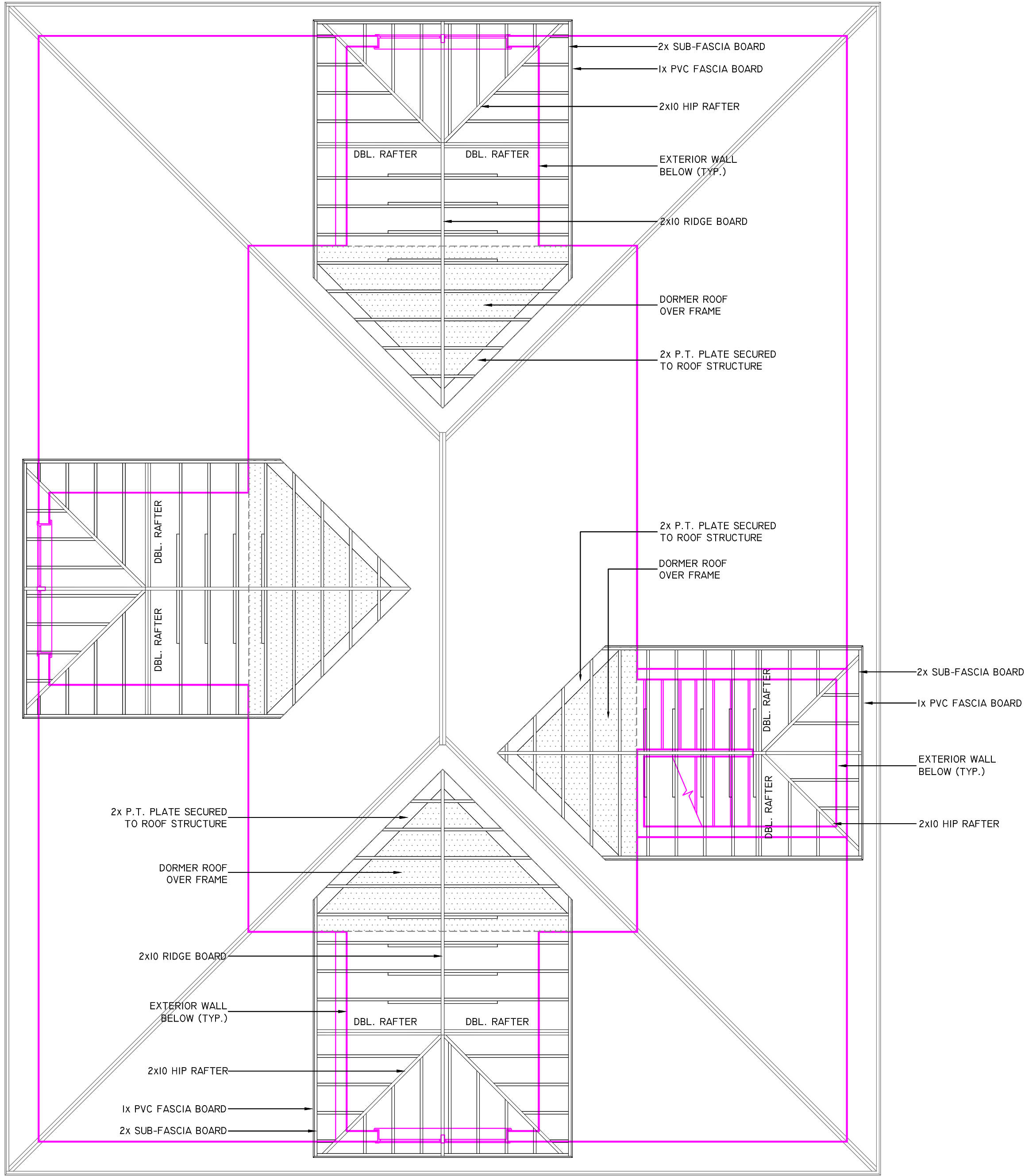
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SI.3

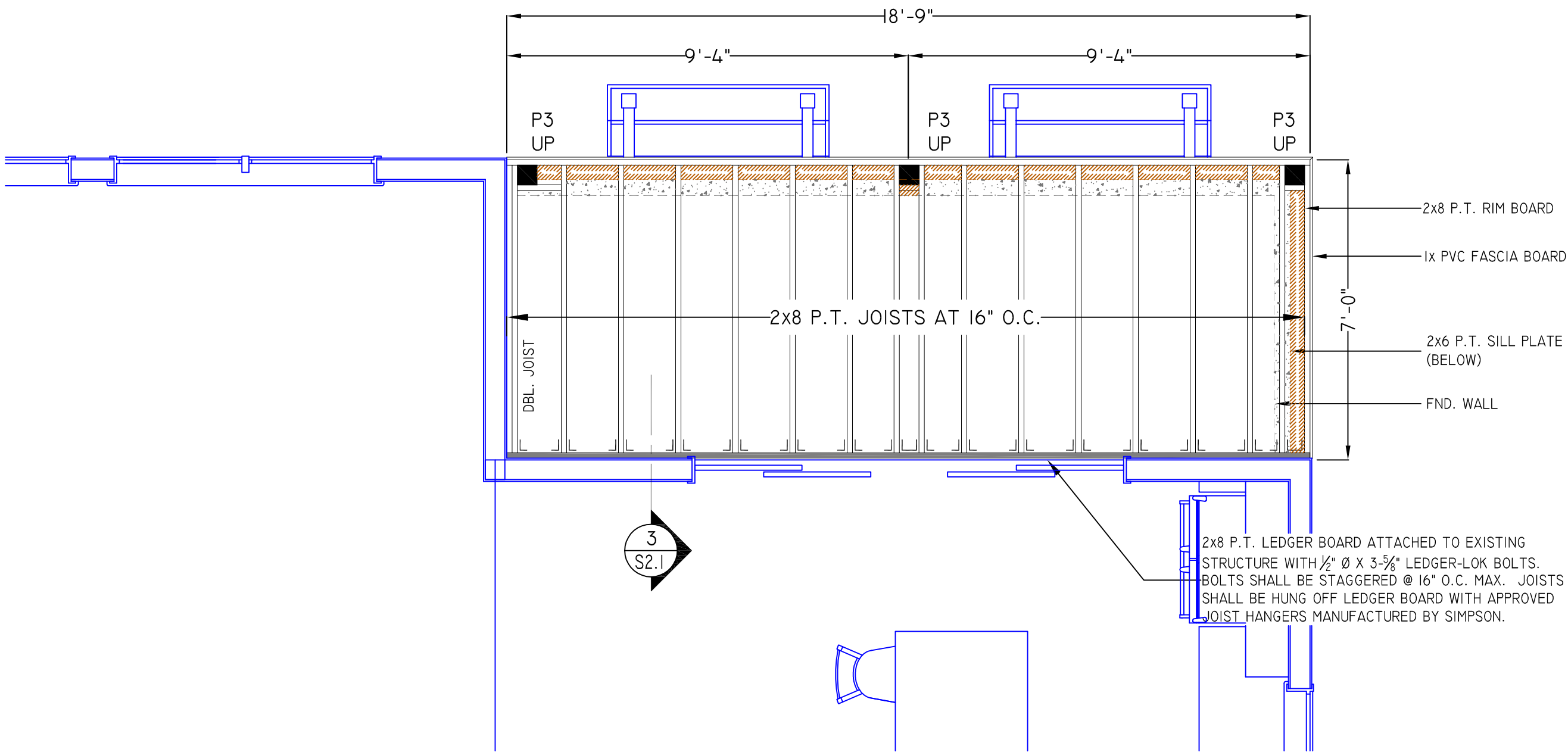
BEAM SCHEDULE		
BEAM	BEAM SIZE	COMMENTS
BM-1	(2) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-2	(3) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-3	(4) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-4	(2) 12"x96" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-5	(3) 12"x96" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-6	(4) 12"x96" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-7	(2) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-8	(3) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-9	(4) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-10	(2) 12"x14" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-11	(3) 12"x14" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-12	(4) 12"x14" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-13	(2) 12"x16" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-14	(3) 12"x16" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-15	(4) 12"x16" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-16	(2) 12"x18" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-17	(3) 12"x18" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-18	(4) 12"x18" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-19	w/ (2) 1" STEEL PLATES	SEE DETAIL
BM-20	w/ (3) 3/4" LVL	SEE DETAIL

HEADER SCHEDULE		
HEADER	HEADER SIZE	COMMENTS
HDR-1	(2) 2x8 w/ 1/2" PLY	SEE MULTI-PLY FASTENING DETAIL
HDR-2	(3) 2x8 w/ 1" RIGID	SEE MULTI-PLY FASTENING DETAIL
HDR-3	(2) 12"x72" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-4	(3) 12"x72" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-5	(2) 2x10 w/ 1/2" PLY	SEE MULTI-PLY FASTENING DETAIL
HDR-6	(3) 2x10 w/ 1" RIGID	SEE MULTI-PLY FASTENING DETAIL
HDR-7	(2) 12"x96" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-8	(3) 12"x96" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-9	(2) 2x12 w/ 1/2" PLY	SEE MULTI-PLY FASTENING DETAIL
HDR-10	(3) 2x12 w/ 1" RIGID	SEE MULTI-PLY FASTENING DETAIL
HDR-11	(2) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-12	(3) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL

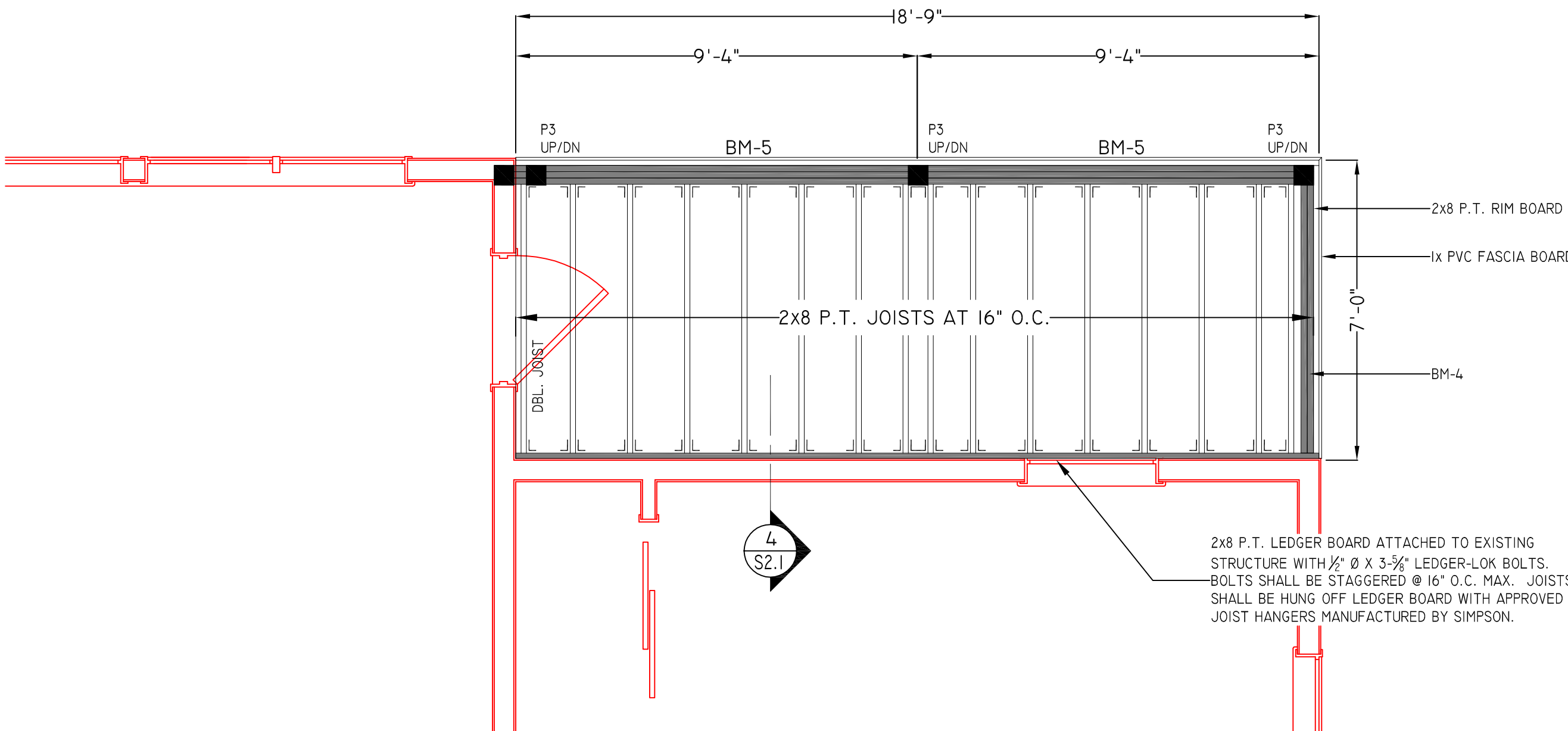
POST SCHEDULE	
POST	MEMBER
P1	3/4"x5/8" PSL
P2	3/4"x5/8" PSL
P3	3/4"x5/8" PSL
P4	(2) 2x4 BUILT-UP POST
P5	(3) 2x4 BUILT-UP POST
P6	(2) 2x6 BUILT-UP POST
P7	(3) 2x6 BUILT-UP POST
C1	3/4" Ø CONC. FILLED LALLY COLUMN
C2	HSS 4x4x1/4" STEEL COLUMN



PROPOSED DORMER FRAMING PLAN
SCALE: 1/4" = 1'-0"



PROPOSED 1ST FLOOR PATIO FRAMING PLAN
SCALE: 1/4" = 1'-0"



PROPOSED 2ND FLOOR PATIO FRAMING PLAN
SCALE: 1/4" = 1'-0"



PROJECT:
HOUSE ADDITION &
MODIFICATIONS
34 GOLDEN AVENUE
ARLINGTON, MA 02476

PREPARED FOR:
RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr.
4/17/2025

REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/17/2025

SCALE: AS NOTED

REVISIONS

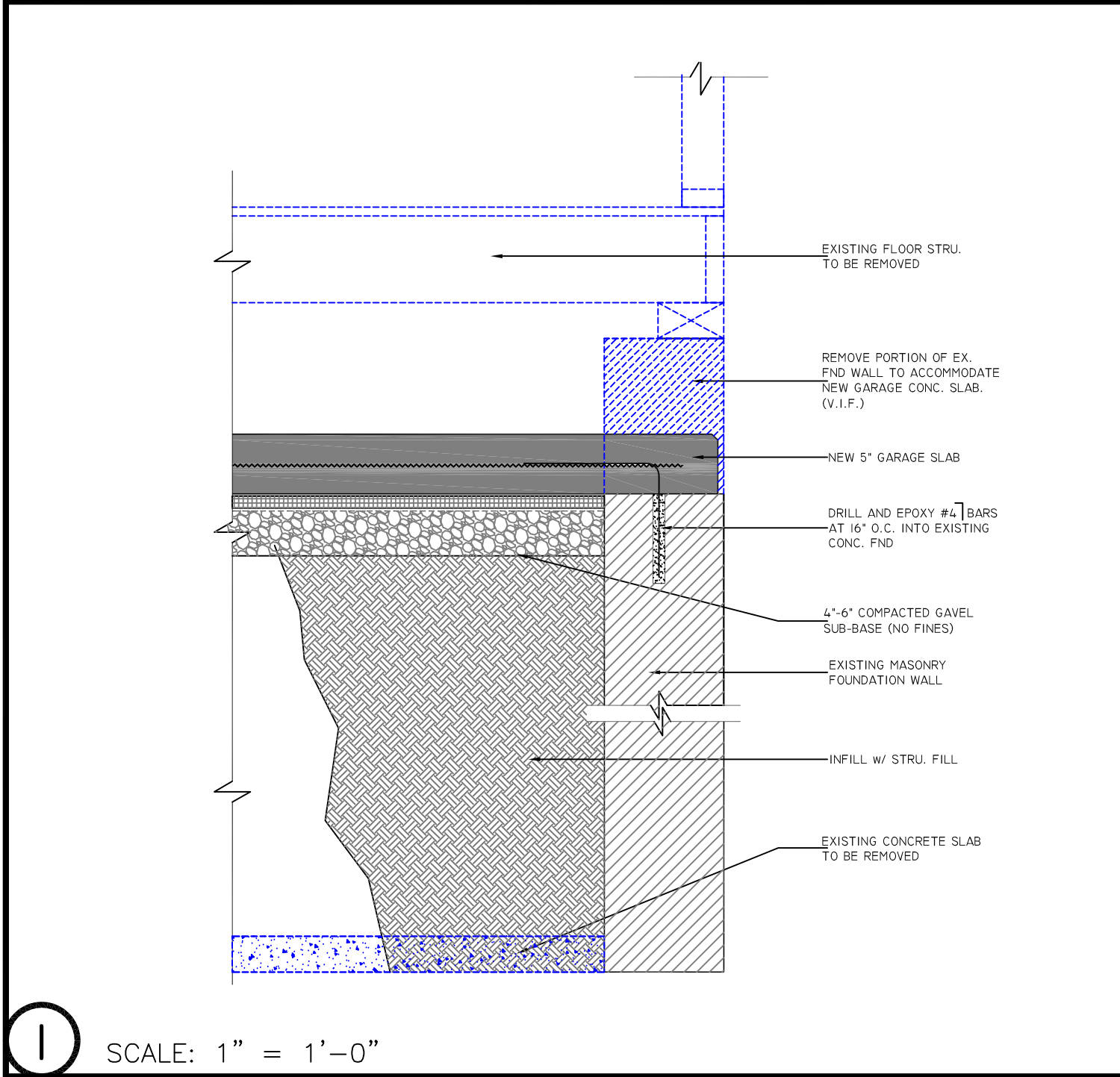
NO.	DATE	DESCRIPTION
1		
2		
3		

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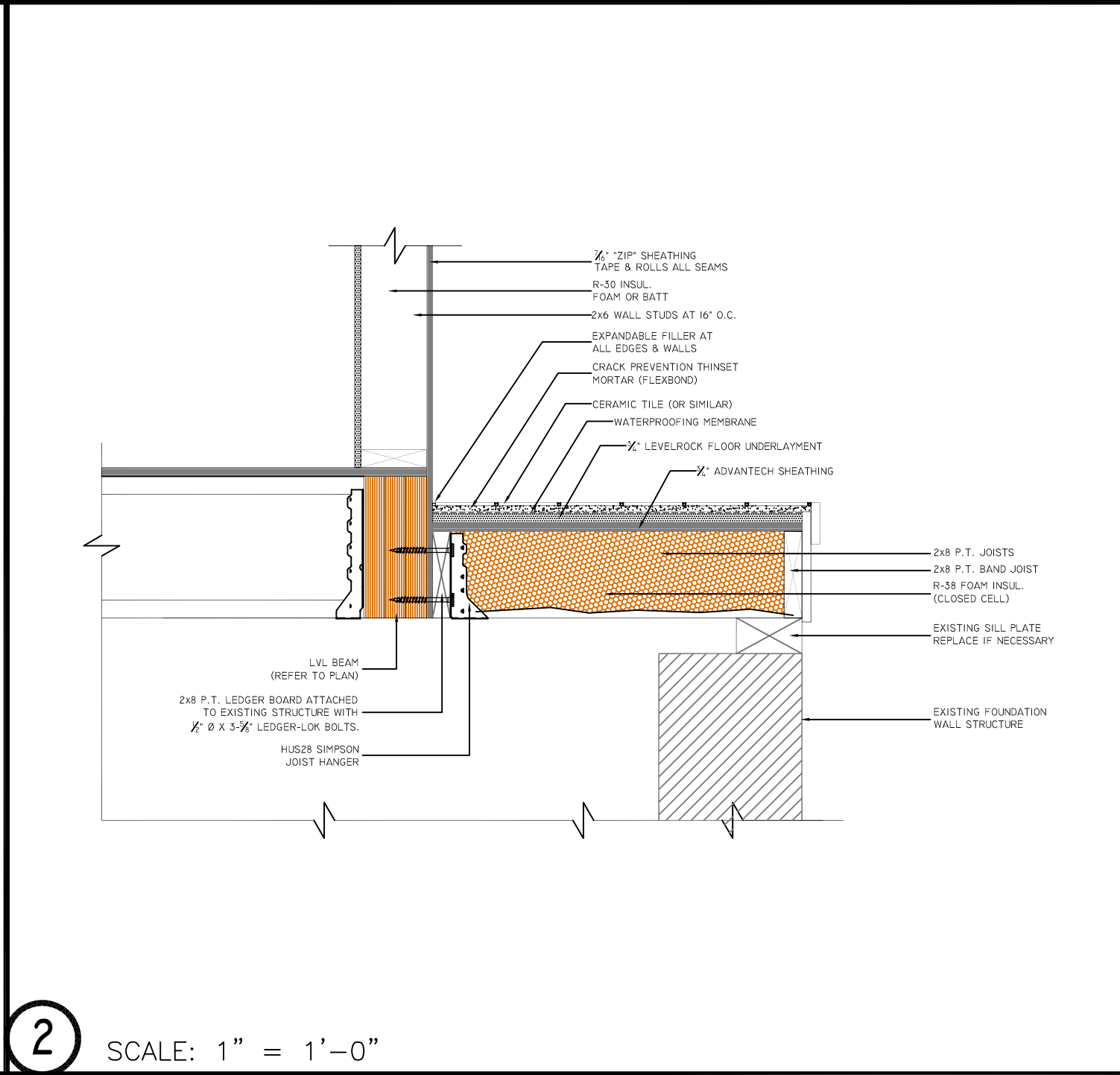
SHEET TITLE:
PROP. DORMER
AND PATIO
FRAMING PLANS

SHEET NUMBER

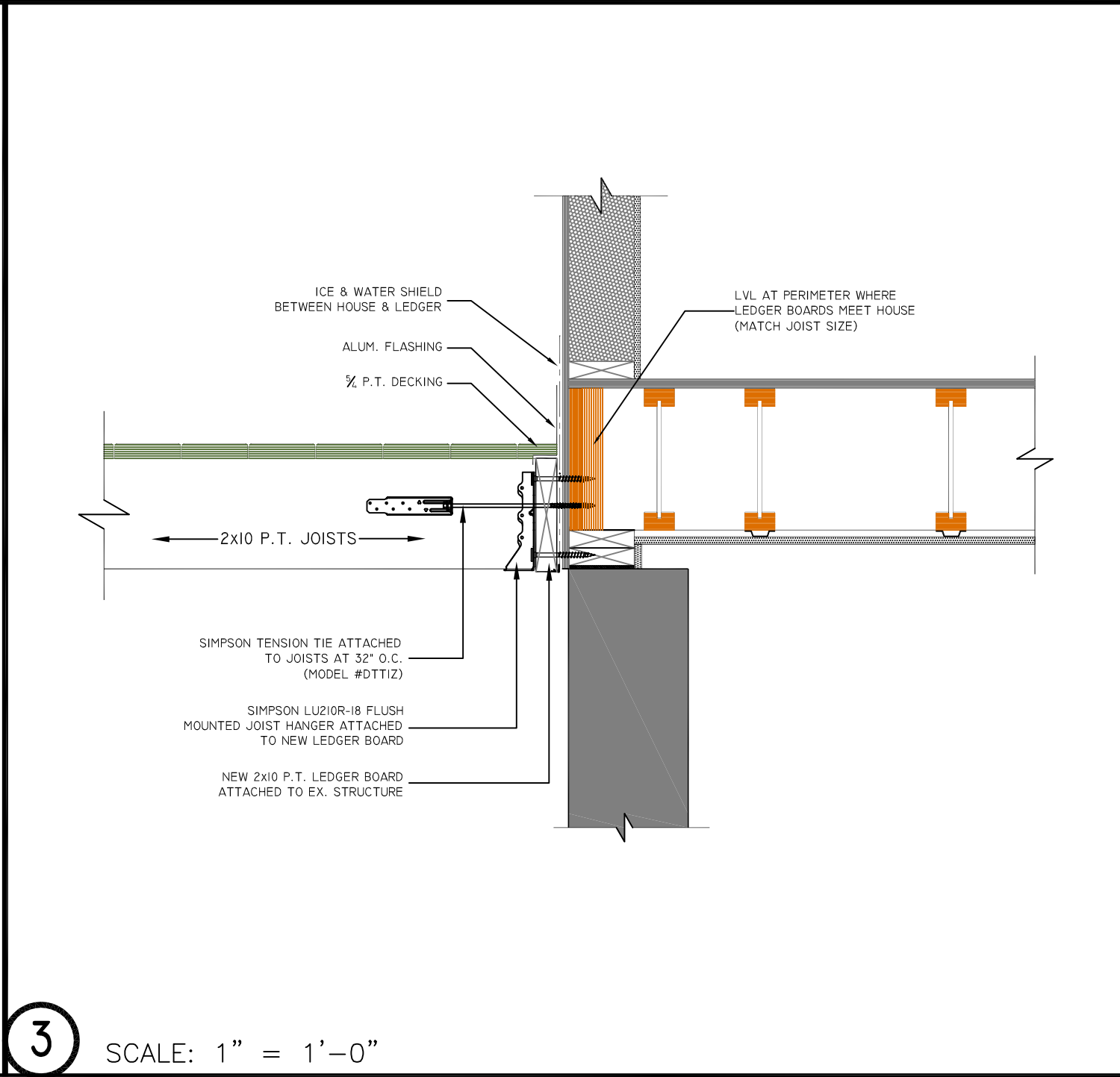
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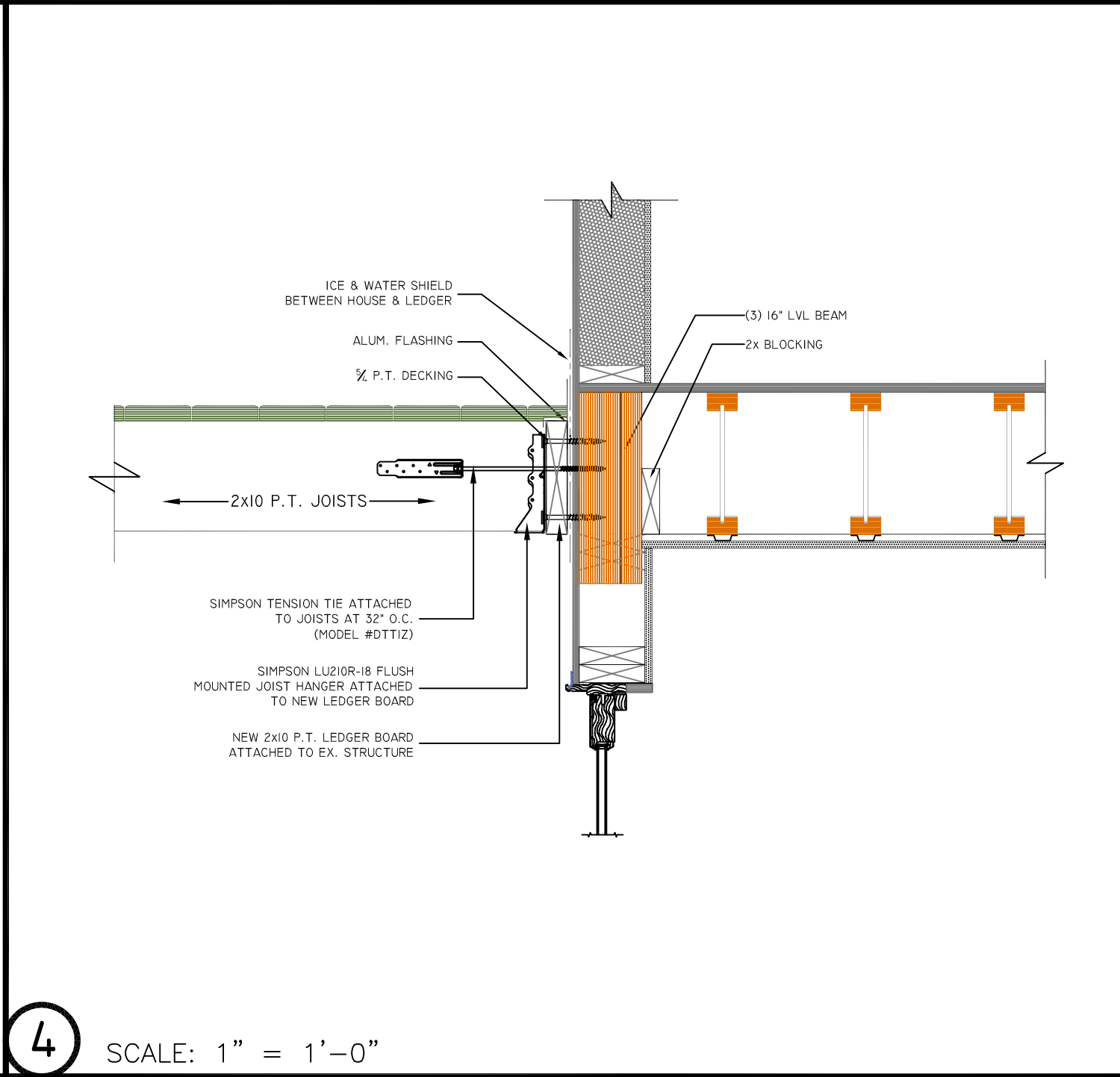
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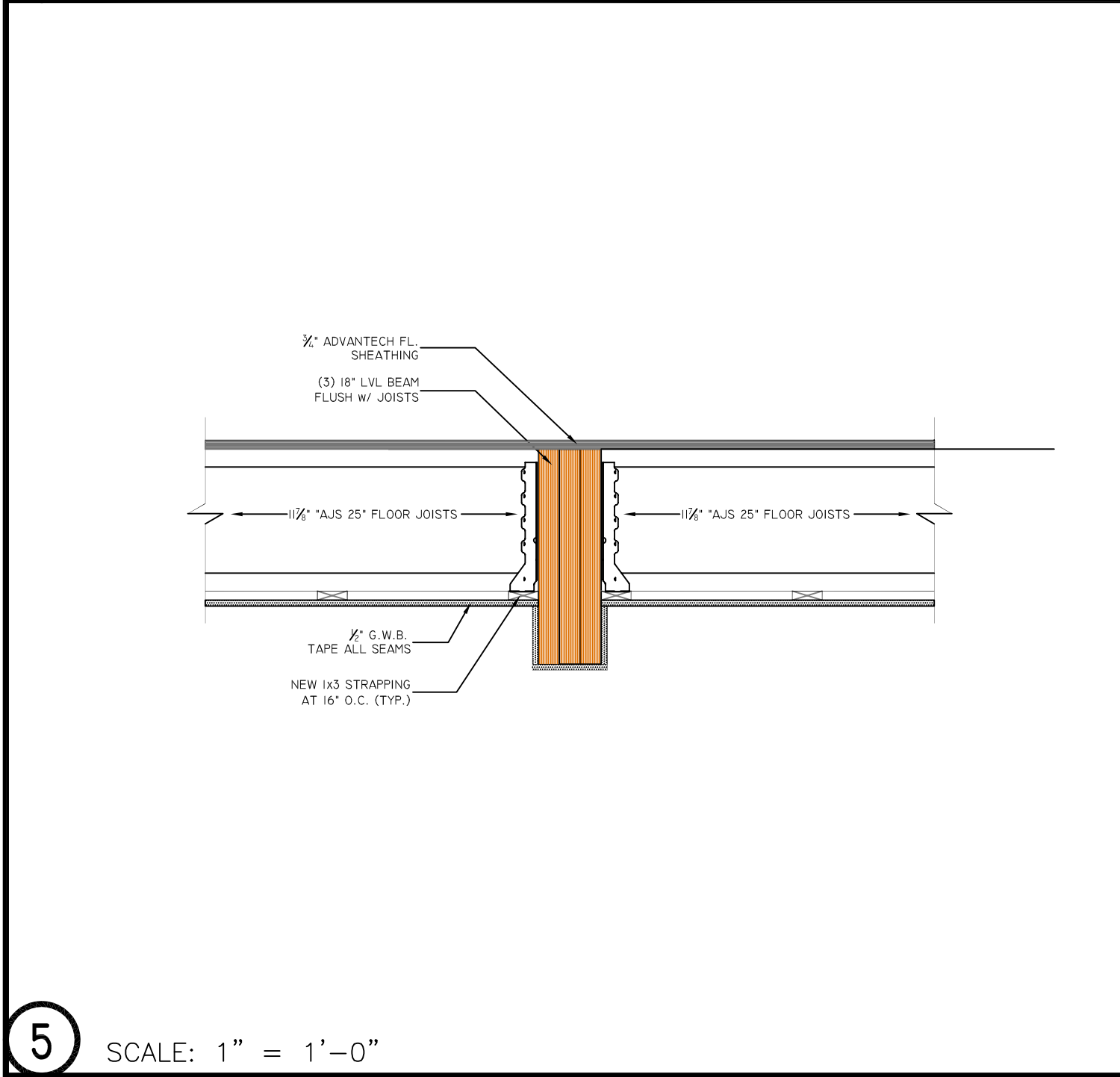
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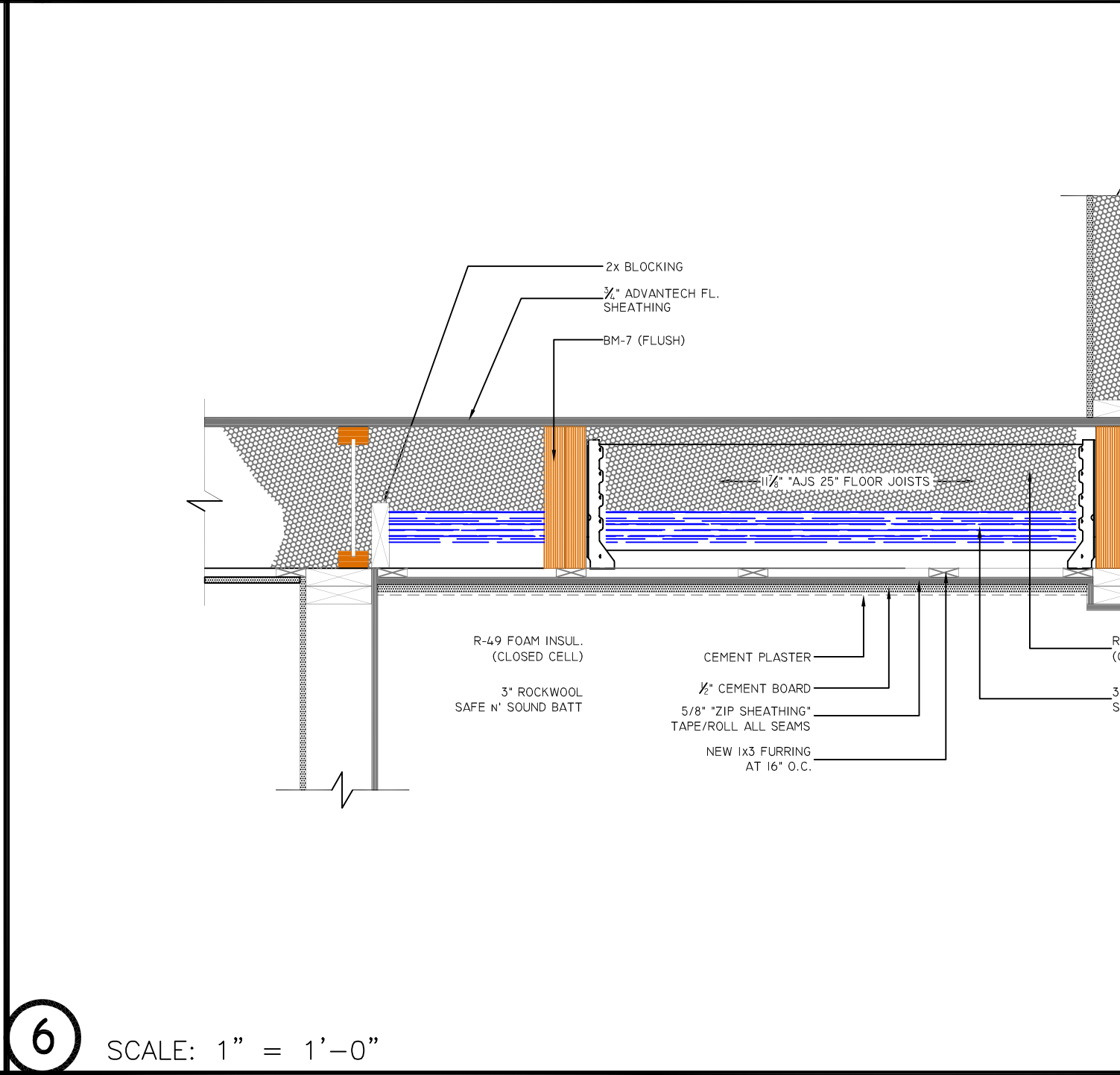
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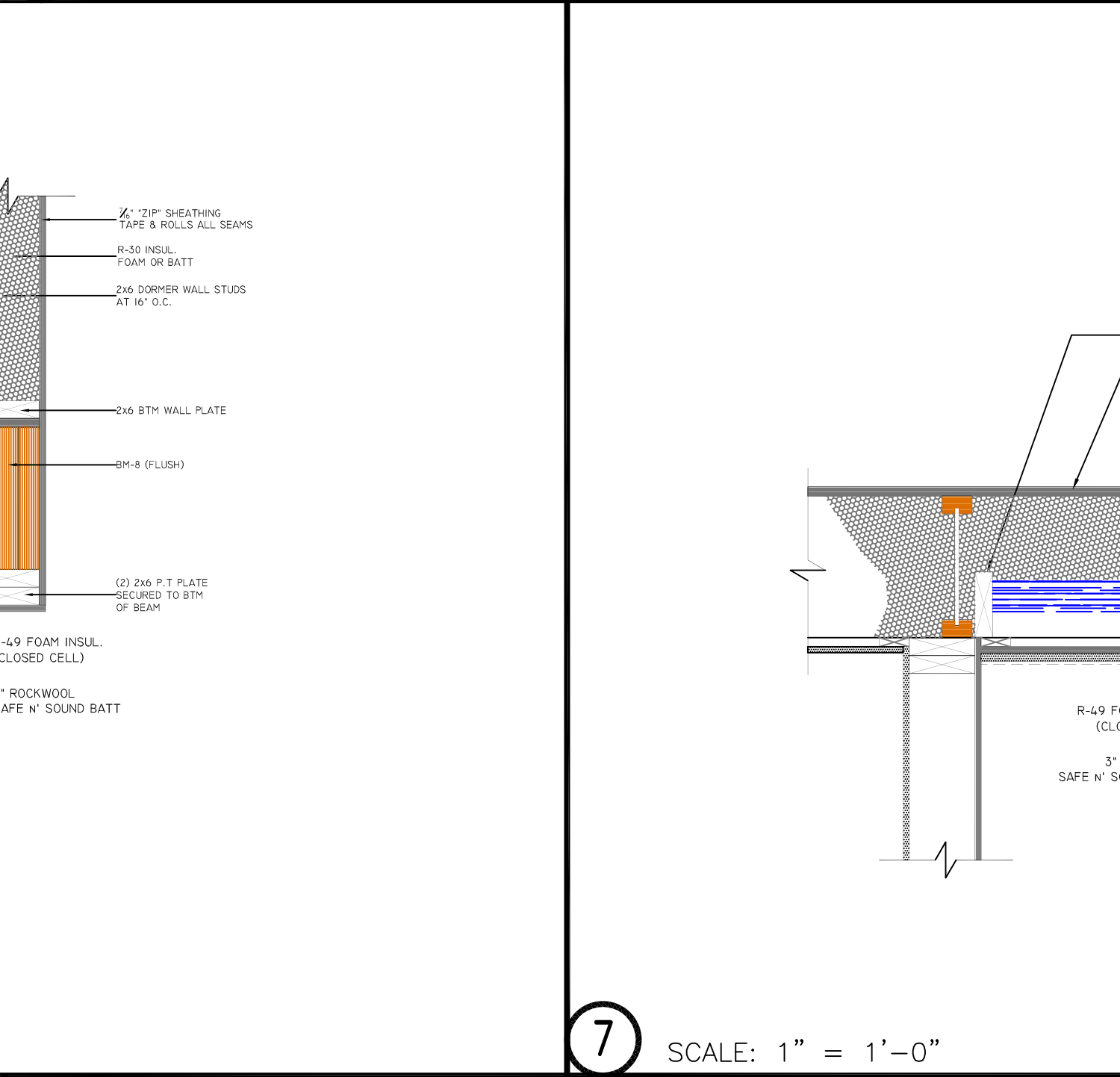
4 SCALE: 1" = 1'-0"



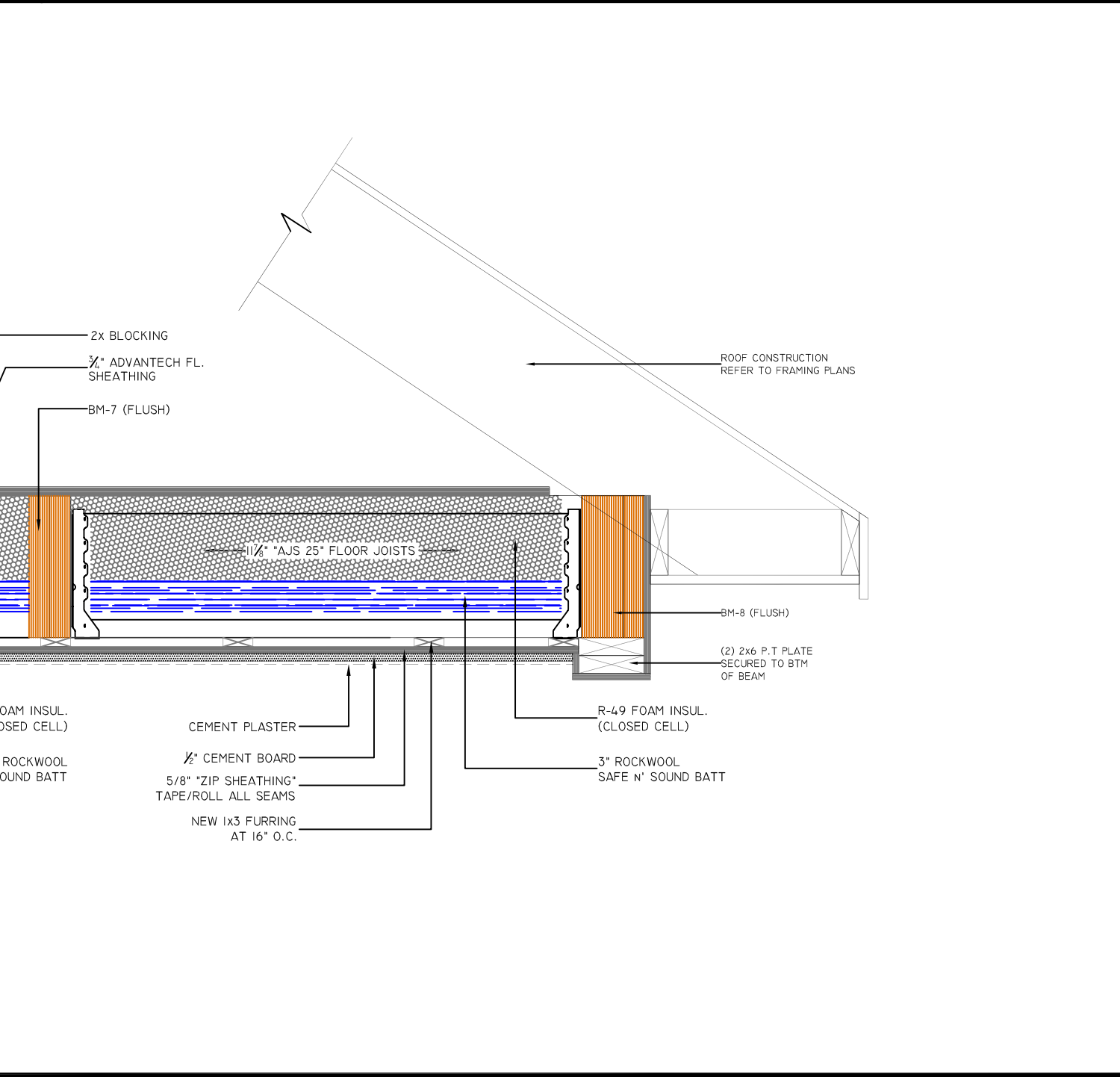
5 SCALE: 1" = 1'-0"



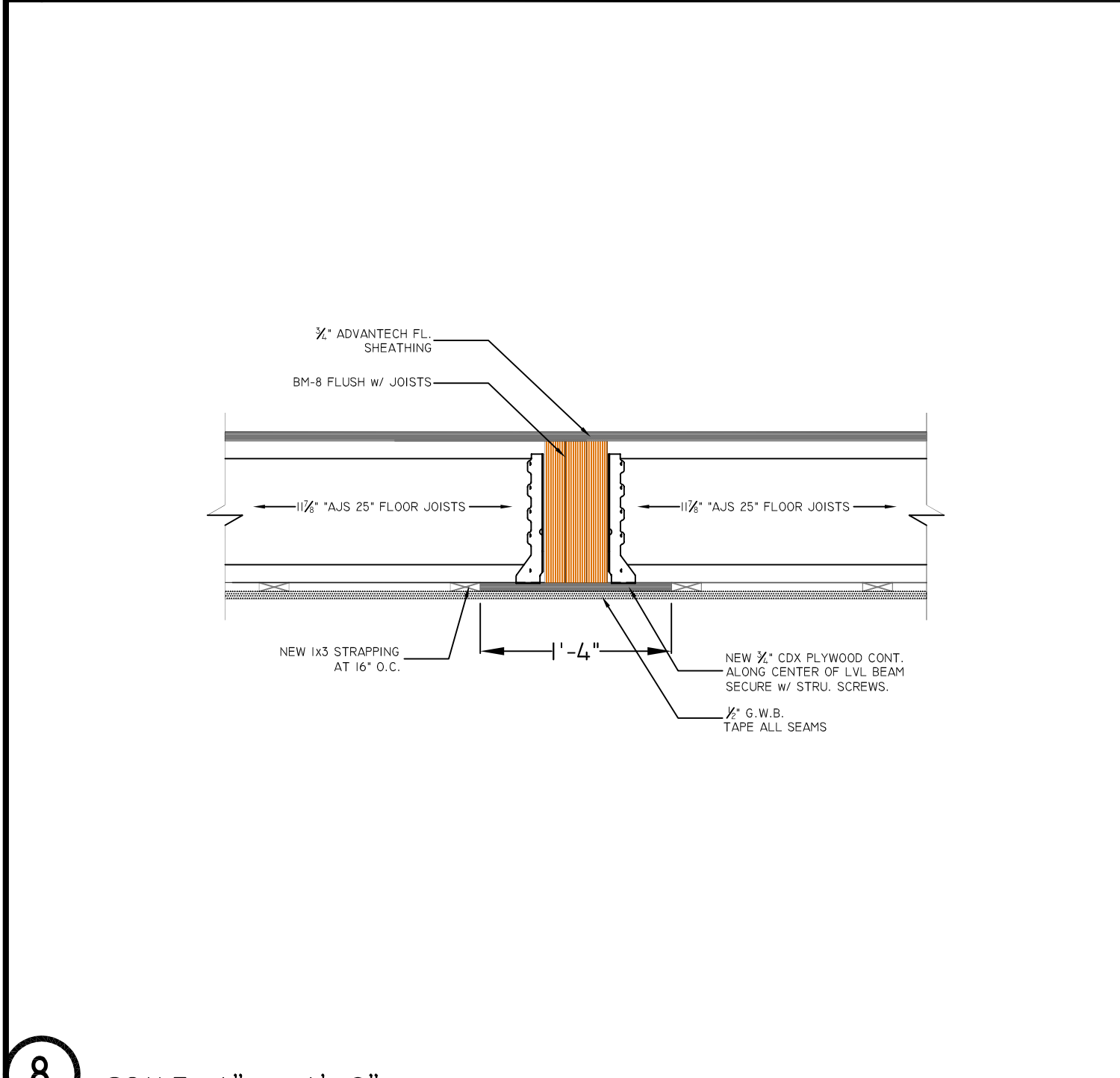
6 SCALE: 1" = 1'-0"



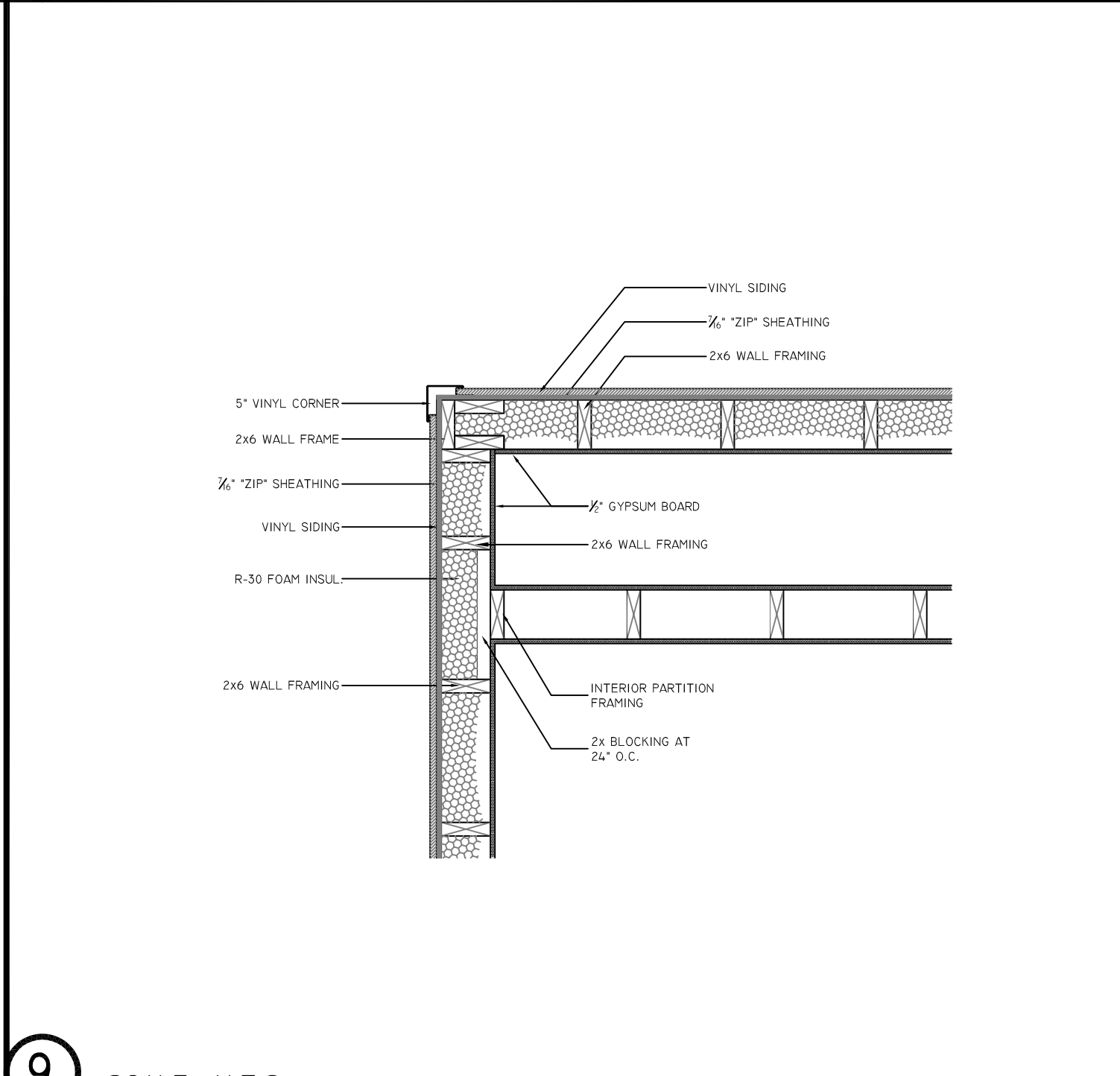
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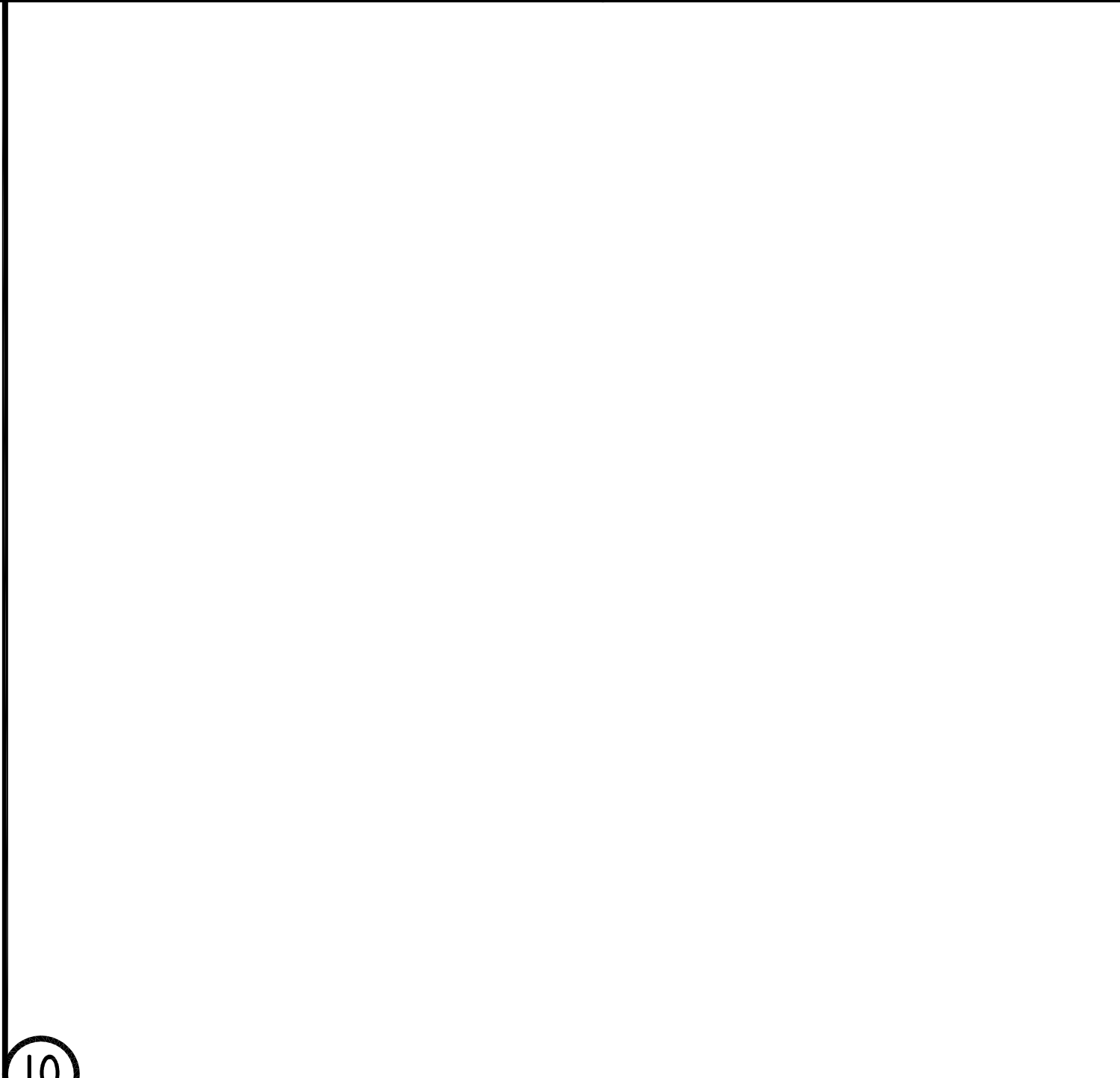
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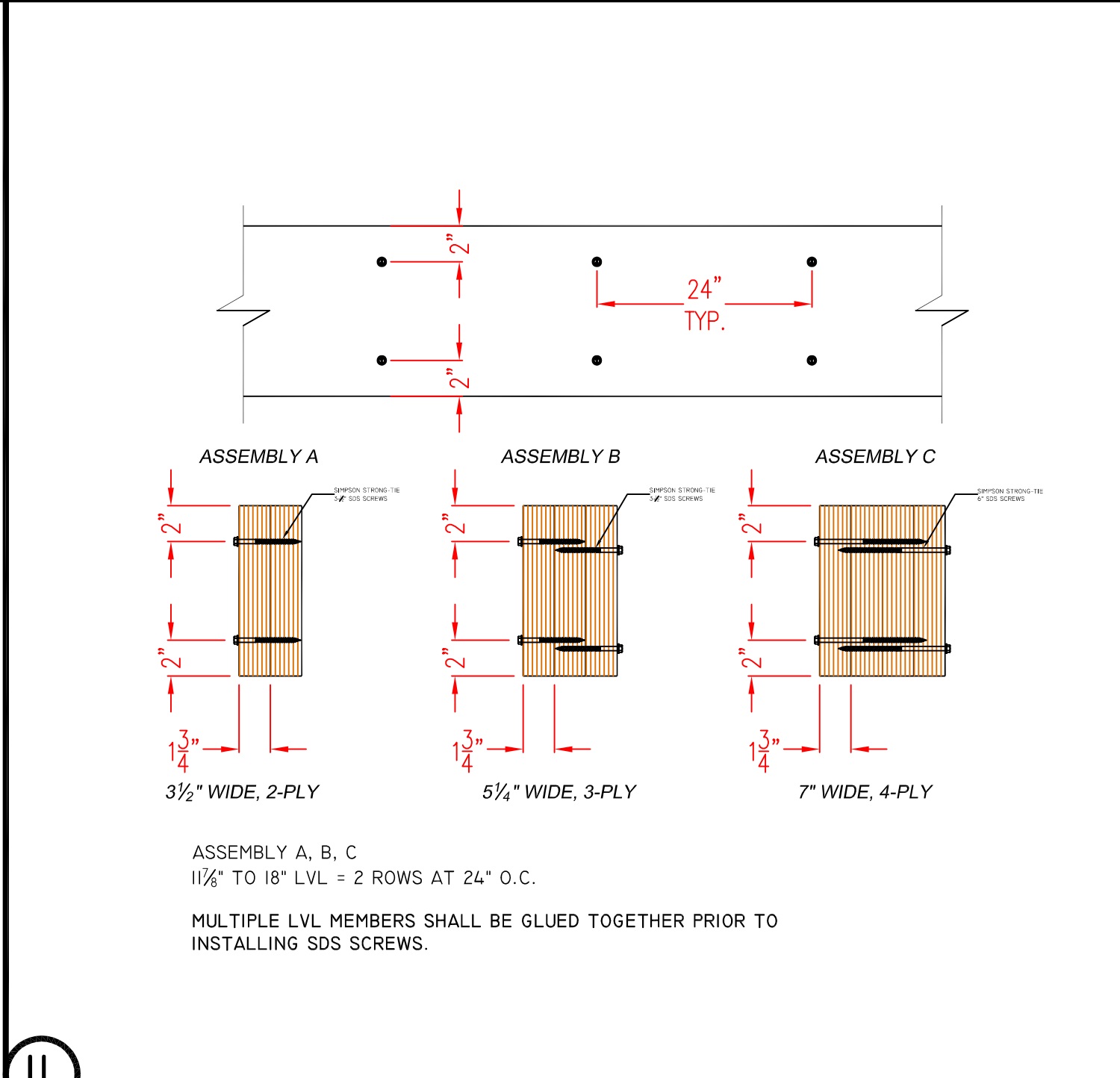
8 SCALE: 1" = 1'-0"



9 SCALE: N.T.S.



10

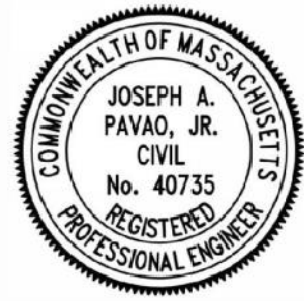


11



PROJECT:
HOUSE ADDITION &
MODIFICATIONS
34 GOLDEN AVENUE
ARLINGTON, MA 02476

PREPARED FOR:
RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr.
4/24/2025
REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/24/2025

SCALE: AS NOTED

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

JEFFREY MORETTI / MORETTI DESIGNS, LLC
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SUPERVISION AND ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION CONFORMING TO THESE PLANS

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SHEET TITLE:

FRAMING DETAILS

SHEET NUMBER

S2.1

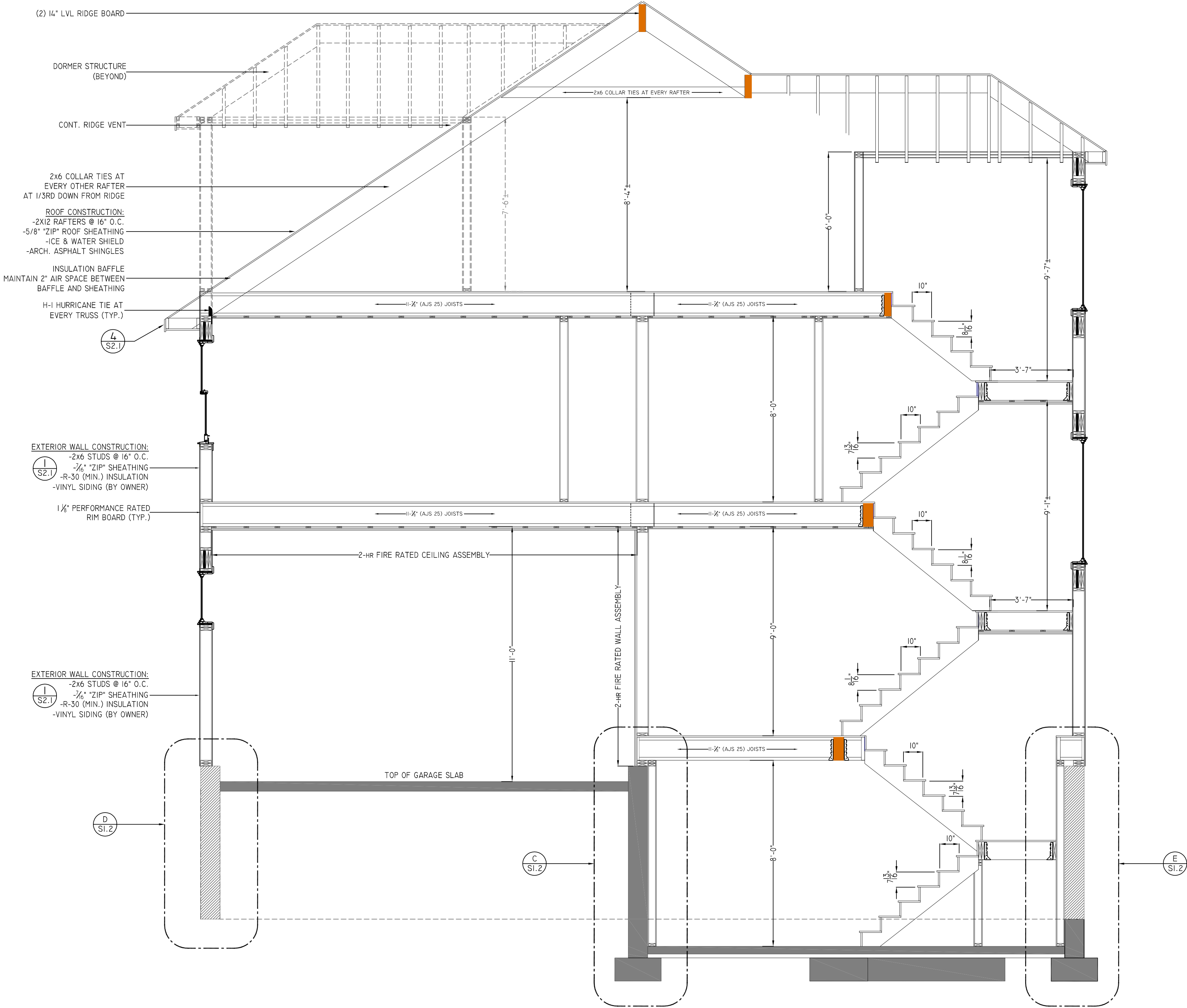
BEAM SCHEDULE		
BEAM	BEAM SIZE	COMMENTS
BM-1	(2) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-2	(3) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-3	(4) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-4	(2) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-5	(3) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-6	(4) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-7	(2) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-8	(3) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-9	(4) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-10	(2) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-11	(3) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-12	(4) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-13	(2) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-14	(3) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-15	(4) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-16	(2) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-17	(3) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-18	(4) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
BM-19	(2) 12"x12" LVL	SEE DETAIL
BM-20	(4) 12"x12" LVL	SEE DETAIL

HEADER SCHEDULE		
HEADER	HEADER SIZE	COMMENTS
HDR-1	(2) 2x6 w/ 1" RIGID	SEE MULTI-PLY FASTENING DETAIL
HDR-2	(3) 2x6 w/ 1" RIGID	SEE MULTI-PLY FASTENING DETAIL
HDR-3	(2) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-4	(3) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-5	(2) 2x10 w/ 1" RIGID	SEE MULTI-PLY FASTENING DETAIL
HDR-6	(3) 2x10 w/ 1" RIGID	SEE MULTI-PLY FASTENING DETAIL
HDR-7	(2) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-8	(3) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-9	(2) 2x12 w/ 1" RIGID	SEE MULTI-PLY FASTENING DETAIL
HDR-10	(3) 2x12 w/ 1" RIGID	SEE MULTI-PLY FASTENING DETAIL
HDR-11	(2) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL
HDR-12	(3) 12"x12" LVL	SEE MULTI-PLY LVL FASTENING DETAIL

POST SCHEDULE	
POST	MEMBER
P1	12"x12" PSL
P2	12"x12" PSL
P3	12"x12" PSL
P4	(2) 2x6 BUILT-UP POST
P5	(3) 2x6 BUILT-UP POST
P6	(2) 2x6 BUILT-UP POST
P7	(3) 2x6 BUILT-UP POST
C1	12"x12" CORE COLUMN
C2	12"x12" CORE COLUMN

INTERIOR STAIR STRINGER SCHEDULE (LL = 60 PSF)		
STAIR RUN	STRINGER SIZE & SPACING	MIN. STAIR STRINGER DEPTH
< 7'-0"	2x12 P.T. AT 12" O.C.	5/8"
7'-0" TO 9'-0"	1 1/2" x 11 1/2" LVL'S AT 16" O.C.	5/8"
9'-0" TO 10'-0"	1 1/2" x 14" LVL'S AT 16" O.C.	7/8"
10'-0" TO 12'-0"	(2) 1 1/2" x 14" LVL'S AT 16" O.C.	7/8"

INTERIOR STAIR STRINGER SCHEDULE (LL = 100 PSF)		
STAIR RUN	STRINGER SIZE & SPACING	MIN. STAIR STRINGER DEPTH
< 7'-0"	(2) 2x12 P.T. AT 12" O.C.	5/8"
7'-0" TO 9'-0"	1 1/2" x 11 1/2" LVL'S AT 12" O.C.	5/8"
9'-0" TO 10'-0"	1 1/2" x 14" LVL'S AT 12" O.C.	7/8"
10'-0" TO 12'-0"	(2) 1 1/2" x 14" LVL'S AT 12" O.C.	7/8"



SECTION DETAIL
SCALE: 3/8" = 1'-0"



PROJECT:
HOUSE ADDITION & MODIFICATIONS
34 GOLDEN AVENUE
ARLINGTON, MA 02476

PREPARED FOR:
RJJ PROPERTIES, LLC
3 WHISPERING HILL RD.
WOBURN, MA 01801



Joseph A. Pavao Jr
4/17/2025

REGISTERED ENGINEER

PROJECT NO: 25-006

DRAWN BY: J. MORETTI

DATE OF ISSUE: 4/17/2025

SCALE: AS NOTED

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		

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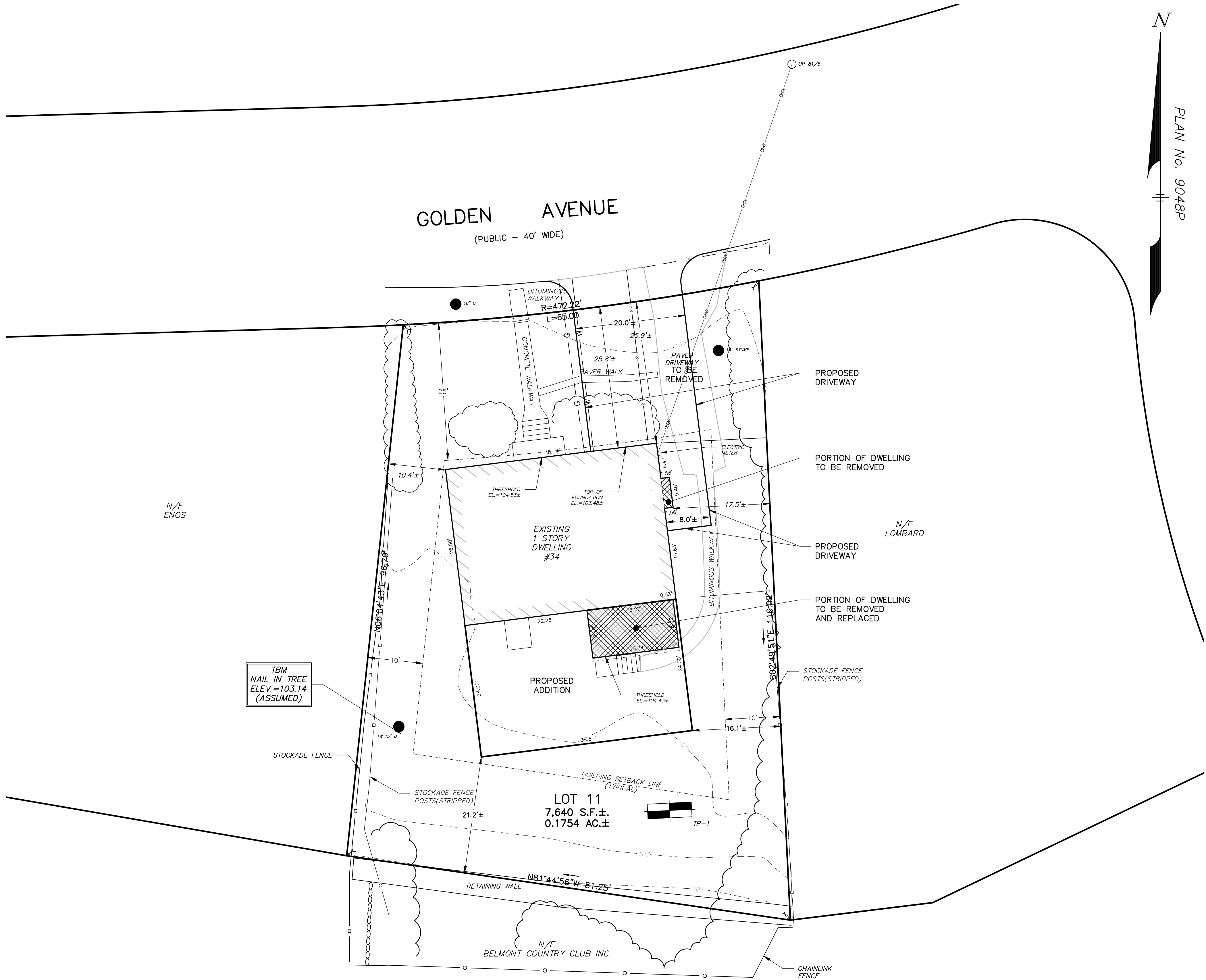
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SHEET TITLE:

SECTION DETAIL

SHEET NUMBER

S3.1



UTILITY NOTE:

1: ALL UNDERGROUND UTILITIES SHOWN HERE WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963 MASS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. DIG SAFE TELEPHONE No. 1-888-344-7233.

2: CONTRACTOR TO SECURE VALID DIGSAFE NUMBER PRIOR TO REQUESTING CONSTRUCTION LAYOUT.

RECORD OWNER

LAUREN M. JORDAN
34 GOLDEN AVENUE
ARLINGTON, MA

REFERENCE

MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
DEED BOOK 1430 PAGE 69
PLAN No. 9048P

ZONING DISTRICT

R1 - SINGLE FAMILY

DATUM

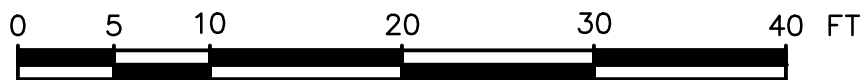
ELEVATIONS SHOWN ON THIS PLAN REFER TO AN ASSUMED BASE.

PROGRESS PRINT
MARCH 6, 2025

TOPOGRAPHIC
PLAN OF LAND
IN
ARLINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

FOR: RJJ PROPERTIES
SCALE: 1"=10' MARCH 6, 2025

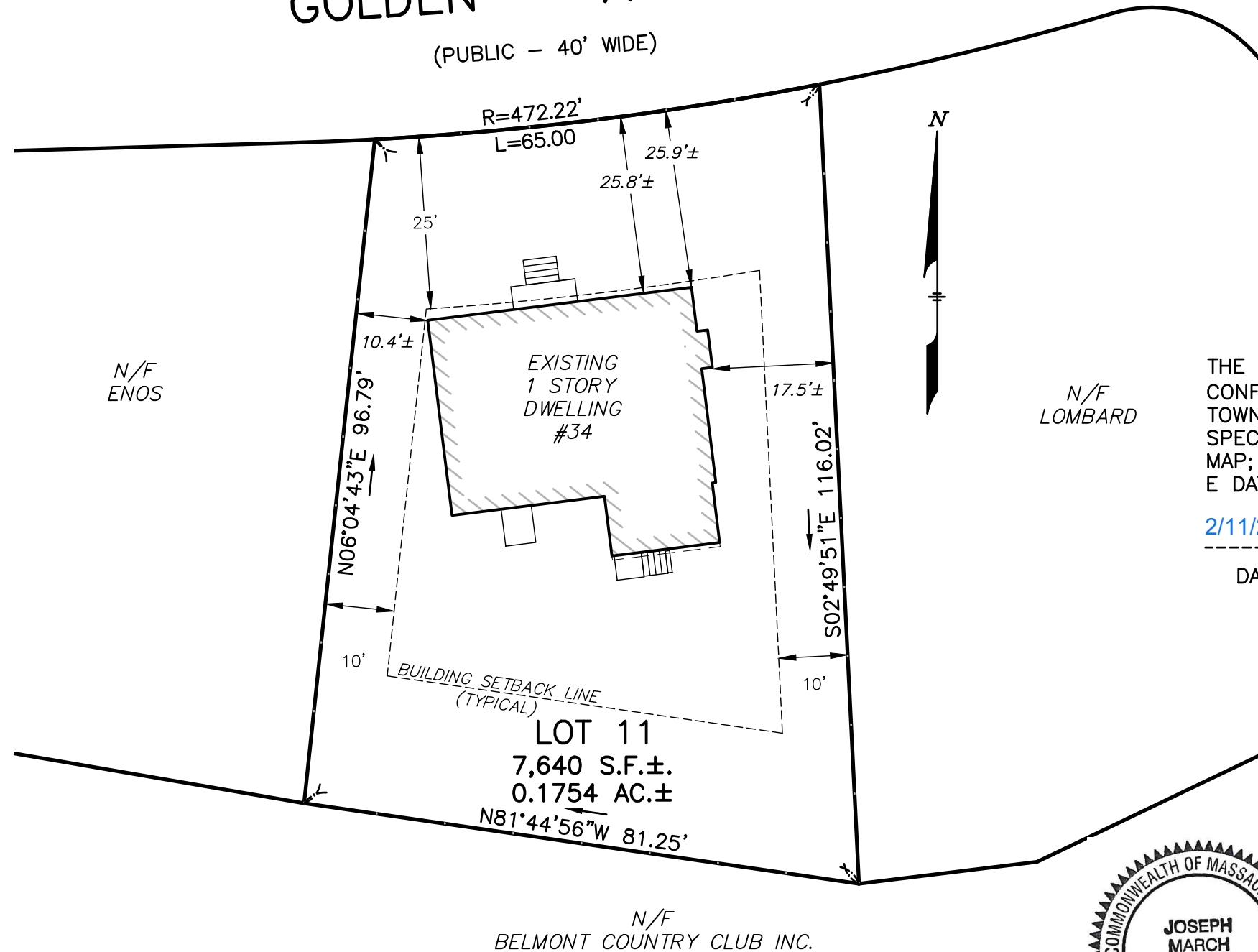
STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING



(7763work.dwg) 34 Golden Avenue SM-7763

GOLDEN AVENUE

(PUBLIC — 40' WIDE)



THE LOCATION OF THE EXISTING DWELLING ON THIS PROPERTY CONFORMS WITH THE ZONING BYLAW (DIMENSIONAL SETBACK) OF THE TOWN OF ARLINGTON, MASSACHUSETTS AND IT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP; MIDDLESEX COUNTY, MASSACHUSETTS; MAP NUMBER 25017C0412 E DATED: JJUNE 4, 2010.

2/11/25

Joseph March

DATE REGISTERED PROFESSIONAL LAND SURVEYOR

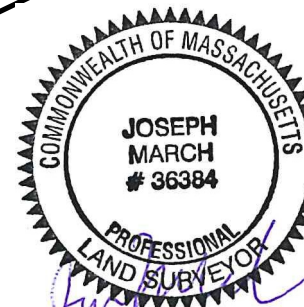
EXISTING CONDITIONS PLOT PLAN IN ARLINGTON, MASSACHUSETTS (MIDDLESEX COUNTY)

FOR: RJJ PROPERTIES
SCALE: 1"=20' FEBRUARY 11, 2025

STAMSKI AND McNARY, INC.

1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING — PLANNING — SURVEYING

(7763.E.PPL.dwg) 34 Golden Avenue SM-7763





Town of Arlington, Massachusetts

Docket #3855 63 Chester St

Summary:

OpenGov link: <https://arlingtonma.portal.opengov.com/records/210659>

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	3856_63_Chester_St_Legal_Ad_6-24-2025.pdf	3856 63 Chester St Legal Ad 6-24-2025
▢ Reference Material	3856_63_Chester_St_abutter_list_and_map.pdf	3856 63 Chester St abutter list and map
▢ Reference Material	3856_63_Chester_St_application_V-25-7.pdf	3856 63 Chester St application V-25-7
▢ Reference Material	3856_63_Chester_St_Plot_Plan.pdf	3856 63 Chester St Plot Plan



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE
DOCKET NO 3856

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Rejeev J and Caitlin C Ram**, on May 21, 2025, a petition seeking to alter their property located at **63 Chester St - Block Plan 153.0-0011-0005.0**. The said petition would require a **Special Permit** under **6.1.10 A** of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", **on Tuesday, June 24, 2025, at 7:30 P.M. as soon thereafter as the petitioner may be heard**. To attend the meeting go to <https://www.arlingtonma.gov/connect/calendar>, choose the date of the meeting you wish to attend, register for the Zoom meeting link, and review the documentation relating to this petition. Please direct any questions to: **ZBA@town.arlington.ma.us**

Christian Klein, RA, Chair
Zoning Board of Appeals

**CERTIFIED ABUTTERS LIST**

Date: May 29, 2025

Subject Property Addresses: 63 CHESTER ST, ARLINGTON, MA

Subject Property ID: 153-11-5

Search Distance: 300 Feet - Zoning

				MALING ADDRESS				
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Mailing Address 2	Town	State	Zip
152-8-9	100 GRAND VIEW RD	CARMICHAEL SANDRA L / TRUSTEE	QUENTIN L CARMICHAEL JR REV TR	100 GRAND VIEW RD		ARLINGTON	MA	02476
152-9-11	99 GRAND VIEW RD	HARTMAN MARK R & LILLIAN		99 GRAND VIEW RD		ARLINGTON	MA	02476
152-9-12.A	103 EASTERN AVE	JACOB PHILIP	PELTRE BEATRICE	103 EASTERN AVE		ARLINGTON	MA	02476
152-9-13	107 EASTERN AVE	BLACKMAN TIMOTHY J ETAL/ TRS	TIMOTHY J BLACKMAN 2010 REVOCA	107 EASTERN AVENUE		ARLINGTON	MA	02476
152-9-14	111 EASTERN AVE	PARTRIDGE JACQUELYN R	PARTRIDGE CHRISTOPHER	111 EASTERN AVENUE		ARLINGTON	MA	02476
152-9-15	113 EASTERN AVE	GOLDBERG RICHARD/ETAL	GOLDBERG SALLY G	113 EASTERN AVENUE		ARLINGTON	MA	02476
152-9-16.A	117 EASTERN AVE	GLADSTONE PETER D/TRUSTEE	PORTNOY JENNIFER A/TRUSTEE	117 EASTERN AVENUE	JENNIFER A PORTNOY REVOCABLE TRUST	ARLINGTON	MA	02476
153-1-1.A	21 PARK CIR	GREGORY JEREMY R	GREGORY KATHERINE E	21 PARK CIRCLE		ARLINGTON	MA	02476
153-1-2	114 EASTERN AVE	WALLACE IAIN & ERIN		114 EASTERN AVE		ARLINGTON	MA	02476
153-1-3	76 CHESTER ST	GLISIC OGNJEN & KESSA/ TRS	76 CHESTER STREET REALTY TRUST	76 CHESTER ST		ARLINGTON	MA	02476
153-1-4	72 CHESTER ST	KANG SUNNY & BUM-SEUNG		72 CHESTER ST		ARLINGTON	MA	02476
153-1-5	68 CHESTER ST	LINDERT KELLY		68 CHESTER ST		ARLINGTON	MA	02476
153-1-6	64 CHESTER ST	OUELLETTE CHRISTOPHER	OUELLETTE LESLIE A	64 CHESTER STREET		ARLINGTON	MA	02476
153-1-7	156 CEDAR AVE	HARPER JULIA D	FOX PAUL G	156 CEDAR AVENUE		ARLINGTON	MA	02476
153-1-8	152 CEDAR AVE	FARRELL KEVIN J & DIANE H		152 CEDAR AVENUE		ARLINGTON	MA	02476
153-1-9	150 CEDAR AVE	DAVIES RUSSELL W ETAL/ TRS	DAVIES-HOWLETT FAMILY TRUST	150 CEDAR AVE		ARLINGTON	MA	02476
153-2-1	63 EUSTIS ST	HELMUTH CHRISTOPHER F & LESLIE		63 EUSTIS ST		ARLINGTON	MA	02476
153-2-2	92 EASTERN AVE	HO ANDREW	WONG CONNIE	92 EASTERN AVE		ARLINGTON	MA	02476
153-2-3	88 EASTERN AVE	QUINN LARISSA J & SAMUEL N		88 EASTERN AVE		ARLINGTON	MA	02476
153-2-4	74 BELLINGTON ST	MCCOY KEVIN J & KATHLEEN M/ TRS	KEVIN J MCCOY FAMILY TRUST	74 BELLINGTON ST		ARLINGTON	MA	02476
153-2-5	70 BELLINGTON ST	PARRAVANO PAOLO & MARTHA V	TRS/ PARRAVANO JOINT REVOCABLE	70 BELLINGTON ST		ARLINGTON	MA	02476
153-2-6	66 BELLINGTON ST	BARNETT MIRIAM EILEEN	SWAMY HARSHA	66 BELLINGTON ST		ARLINGTON	MA	02476
153-2-7	55 EUSTIS ST	FISCHELIS WILLIAM & ELIZABETH/ TRS	WILLIAM FISCHELIS LIVING TRUST	55 EUSTIS ST		ARLINGTON	MA	02476
153-2-8	59 EUSTIS ST	MILLER MATTHEW A & CATHERINE		59 EUSTIS ST		ARLINGTON	MA	02476
153-2-9.A	51 EUSTIS ST	MCINNIS LEAH JANE	PAIKIN DAVID NEIL	51 EUSTIS ST		ARLINGTON	MA	02476
153-2-10	22 FISHER RD	ABBOTT DAVID & CLAIRE		22 FISHER RD		ARLINGTON	MA	02476
153-2-11	26 FISHER RD	BURKE JAMES P		26 FISHER RD		ARLINGTON	MA	02476
153-2-12	30 FISHER RD	PRAGER GEORGINA		30 FISHER RD		ARLINGTON	MA	02476
153-2-13	62 BELLINGTON ST	MULVIHILL HELENA M EST OF		62 BELLINGTON ST		ARLINGTON	MA	02476
153-4-6	36 CHESTER ST	OTTENHEIMER DANIEL E-ETAL	WEBER SARA	36 CHESTER ST		ARLINGTON	MA	02476
153-4-7	42 CHESTER ST	KEOHANE JANET		42 CHESTER ST		ARLINGTON	MA	02476
153-4-8	48 CHESTER ST	GREY DOROTHY A		48 CHESTER ST		ARLINGTON	MA	02476
153-4-9	52 CHESTER ST	CONNOR AURORA B/CHRISTOPHER W		52 CHESTER ST		ARLINGTON	MA	02476
153-4-10	60 CHESTER ST	MITCHELL MICHAEL & KAITLIN		60 CHESTER ST		ARLINGTON	MA	02476
153-4-11	160 CEDAR AVE	RICHARD W HOLLY & EMILE	CHRISTINE HOLLY REVOCABLE I	23 MESA AVENUE		MILL VALLEY	CA	94941
153-4-12	164 CEDAR AVE	LEWIS DENNIS P	CLARKE WENDY E	164 CEDAR AVE		ARLINGTON	MA	02476

**CERTIFIED ABUTTERS LIST**

Date: May 29, 2025

Subject Property Addresses: 63 CHESTER ST, ARLINGTON, MA

Subject Property ID: 153-11-5

Search Distance: 300 Feet - Zoning

2

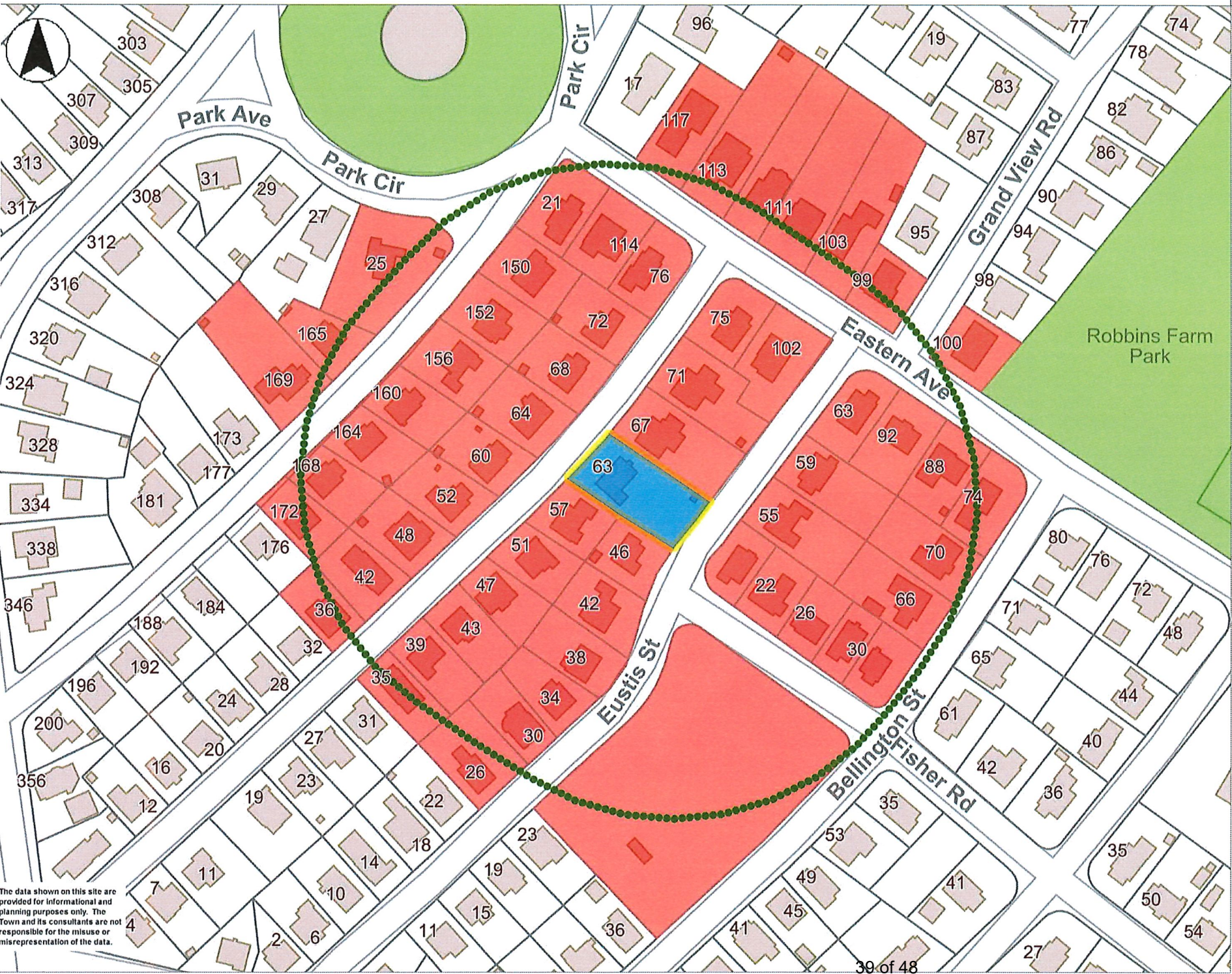
Parcel ID:	Property Location	Owner 1	Owner 2	MAILING ADDRESS				
				Mailing Address 1	Mailing Address 2	Town	State	Zip
153-4-13	168 CEDAR AVE	MCFALL REBECCA E ETAL/ TRS	MCFORCE TRUST	168 CEDAR AVE		ARLINGTON	MA	02476
153-5-4	26 EUSTIS ST	GENTILE DAVID & BETTINA K/ TRS	GENTILE REALTY TRUST OF 2023	26 EUSTIS ST		ARLINGTON	MA	02476
153-5-6.A	30 EUSTIS ST	BERNHARD BENJAMIN B D	BERNHARD SUSAN E D	30 EUSTIS ST		ARLINGTON	MA	02476
153-5-7.A	34 EUSTIS ST	SIEGEL BRYAN D	PERKINS TIFFANY	34 EUSTIS STREET		ARLINGTON	MA	02476
153-5-8	43 CHESTER ST	MAGILL MARION/ETAL	DOHAN MARC S	43 CHESTER STREET		ARLINGTON	MA	02476
153-5-9	39 CHESTER ST	POLICELLA WILLIAM V	POLICELLA RICHARD J & LYNN A	39 CHESTER STREET		ARLINGTON	MA	02476
153-5-10	35 CHESTER ST	WEINBERG-SUMMERS PHYLLIS A	SUMMERS JAMES G JR	35 CHESTER ST		ARLINGTON	MA	02476
153-6-4	0-LOT EUSTIS ST	DEPT/CONSERVATION & RECREATION	WATER SUPPLY PROTECTION DIV	STATE TRANSPORTATION BLDG	10 PARK PLZ STE 6620	BOSTON	MA	02116
153-11-1.A	102 EASTERN AVE	SIORAS ERIC & ELAINE		102 EASTERN AVE		ARLINGTON	MA	02476
153-11-2	75 CHESTER ST	CODY DEBORAH A		75 CHESTER STREET		ARLINGTON	MA	02476
153-11-3.B	71 CHESTER ST	BIRMINGHAM MATTHEW CHARLES	BIRMINGHAM ERIN GINA	71 CHESTER ST		ARLINGTON	MA	02476
153-11-4	67 CHESTER ST	ROGERS JOHN J III	ROGERS KRISTIN	67 CHESTER ST		ARLINGTON	MA	02476
153-11-5	63 CHESTER ST	RAM RAJEEV J & CAITLIN CROSS/ TRS	2020 RAM FAMILY TRUST	63 CHESTER ST		ARLINGTON	MA	02476
153-11-6	46 EUSTIS ST	NGUYEN AMANDA		46 EUSTIS ST		ARLINGTON	MA	02476
153-11-7	42 EUSTIS ST	CHIN HONG & SUSAN C/ TRUSTEES	CHIN NOMINEE REALTY TRUST	42 EUSTIS ST		ARLINGTON	MA	02476
153-11-8	38 EUSTIS ST	SHIELDS NANCY J		38 EUSTIS ST		ARLINGTON	MA	02476
153-11-9.A	47 CHESTER ST	CURCURU SHANE M N/TRUSTEE	HOLBROOK AMY E/TRUSTEE	47 CHESTER ST	2013 CURCABROOK FMLY TRUST	ARLINGTON	MA	02476
153-11-10	51 CHESTER ST	FAN AARON		51 CHESTER ST		ARLINGTON	MA	02476
153-11-11	57 CHESTER ST	COHEN RUSSELL A	COHEN ELLEN VILET	57 CHESTER ST		ARLINGTON	MA	02476
156-3-1.B	25 PARK CIR	WINKLER JOHN M--ETAL	JAMESON DEBORAH L	25 PARK CIRCLE		ARLINGTON	MA	02476
156-3-2	165 CEDAR AVE	LYNCH MICHAEL		165 CEDAR AVE		ARLINGTON	MA	02476
156-3-3	169 CEDAR AVE	DI SPENA JOSEPH V & DENISE		169 CEDAR AVE		ARLINGTON	MA	02476
156-4-7	172 CEDAR AVE	PAUL BERNHARD J	PAUL MARITA	172 CEDAR AVE		ARLINGTON	MA	02476

The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.

Town of Arlington
Office of the Board of Assessors
730 Massachusetts Ave
Arlington, MA 02476
P: 781.316.3050
E: assessors@town.arlington.ma.us



- Places by Category
- Police Station
 - Fire Station
 - School
 - Library
 - Public Works
 - Recreation - Facilities
 - Recreation - Fields Cc
 - Recreation - Fields Cc
 - Open Space: Conserv
 - Open Space - Minuter
 - Open Space - Labels
 - Open Space
 - Town, State, or
 - Other Town Ow
 - MA Highways
 - Interstate
 - US Highway
 - Numbered Rout
 - Abutting Towns
 - Town Boundary
 - Parcels
 - Buildings
 - Cemetery - Roads
 - Road1
 - Road2
 - Road3
 - Road4
 - Pavement Markings
 - Impervious Surface - I
 - Street
 - Sidewalk
 - Street Island
 - Driveway
 - Parking Lot
 - Bike Path
 - Roads - For Large Sci
 - Roads - For Small Sci
 - Major Road
 - Local Road
 - Master Plan Base Map
 - Water Line
 - Water Body



The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



V-25-7

Variance Permit

Application (ZBA)

Status: Active

Submitted On: 5/21/2025

Primary Location

63 CHESTER ST
Arlington, MA 02476

Owner

RAM RAJEEV J & CAITLIN
CROSS/ TRS; 2020 RAM FAMILY
TRUST
63 CHESTER ST ARLINGTON, MA
02476

Applicant

 Gelcir Camara
 617-828-2733
 junior@masonworks.me
 37 Country Club Circle
Marlborough , MA 01752

Variance Permit Criteria

Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.*

Install new driveway with pavers to accomodate a handicap person

Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.*

Install new driveway with pavers to accomodate a handicap person

Describe how desirable relief may be granted without substantial detriment to the public good. *

Install new driveway with pavers to accomodate a handicap person

Describe how desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.*

Install new driveway with pavers to accomodate a handicap person

State Law (MGL Chapter 40a, Section 10) requires that the Zoning Board of Appeals must find that all four (4) criteria are met in order to be authorized to grant a Variance. If any one of the standards is not met, the Board must deny the Variance.

Dimensional and Parking Information

Present Use/Occupancy *

New driveway

Proposed Use/Occupancy *

New driveway to accomodate handicap person

Existing Number of Dwelling Units*

1

Proposed Number of Dwelling Units*

1

Existing Gross Floor Area (Sq. Ft.)*

0

Proposed Gross Floor Area (Sq. Ft.)*

0

Existing Lot Size (Sq. Ft.)*

0

Proposed Lot Size (Sq. Ft.)* 

0

Minimum Lot Size required by Zoning*

0

Existing Frontage (ft.)*

0

Proposed Frontage (ft.)*

0

Minimum Frontage required by Zoning*

0

Existing Floor Area Ratio*

0

Proposed Floor Area Ratio*

0

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

0

Proposed Lot Coverage (%)*

0

Max. Lot Coverage required by Zoning*

0

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

0

Minimum Lot Area per Dwelling Unit required by
Zoning*

0

Existing Front Yard Depth (ft.)*

0

Proposed Front Yard Depth (ft.)*

0

Minimum Front Yard Depth required by Zoning*

0

Existing Left Side Yard Depth (ft.)*

0

Proposed Left Side Yard Depth (ft.)*

0

Minimum Left Side Yard Depth required by Zoning*

0

Existing Right Side Yard Depth (ft.)*

0

Proposed Right Side Yard Depth (ft.)*

0

Minimum Right Side Yard Depth required by Zoning*

0

Existing Rear Yard Depth (ft.)*

0

Proposed Rear Yard Depth (ft.)*

0

Minimum Rear Yard Depth required by Zoning*

0

Existing Height (stories)

0

Proposed Height (stories)*

0

Maximum Height (stories) required by Zoning*

0

Existing Height (ft.)*

0

Proposed Height (ft.)*

0

Maximum Height (ft.) required by Zoning*

0

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

0

Proposed Landscaped Open Space (Sq. Ft.)*

0

Existing Landscaped Open Space (% of GFA)*

0

Proposed Landscaped Open Space (% of GFA)*

0

Minimum Landscaped Open Space (% of GFA)
required by Zoning*

0

Existing Usable Open Space (Sq. Ft.)*

0

Proposed Usable Open Space (Sq. Ft.)*

0

Existing Usable Open Space (% of GFA)*

0

Proposed Usable Open Space (% of GFA)*

0

Minimum Usable Open Space required by Zoning*

0

Existing Number of Parking Spaces*

0

Proposed Number of Parking Spaces*

0

Minimum Number of Parking Spaces required by
Zoning*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by
Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by
Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

0

Proposed Slope of proposed roof(s) (in. per ft.)*

0

Minimum Slope of Proposed Roof(s) required by
Zoning*

0

Existing type of construction*

0

Proposed type of construction*

0

Open Space Information

Existing Total Lot Area*

0

Proposed Total Lot Area*

0

Existing Open Space, Usable*

0

Proposed Open Space, Usable*

0

Existing Open Space, Landscaped*

0

Proposed Open Space, Landscaped*

0

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

0

Basement or Cellar, Proposed Gross Floor Area

0

1st Floor, Existing Gross Floor Area

0

1st Floor, Proposed Gross Floor Area

0

2nd Floor, Existing Gross Floor Area

0

2nd Floor, Proposed Gross Floor Area

0

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies,
Existing Gross Floor Area

0

All weather habitable porches and balconies,
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

0 

Total Proposed Gross Floor Area

0 

APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*

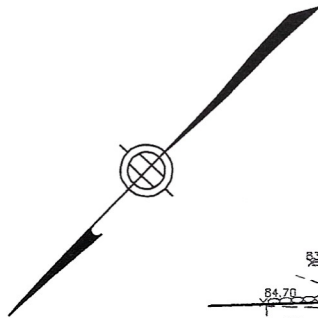


Applicant's Signature*



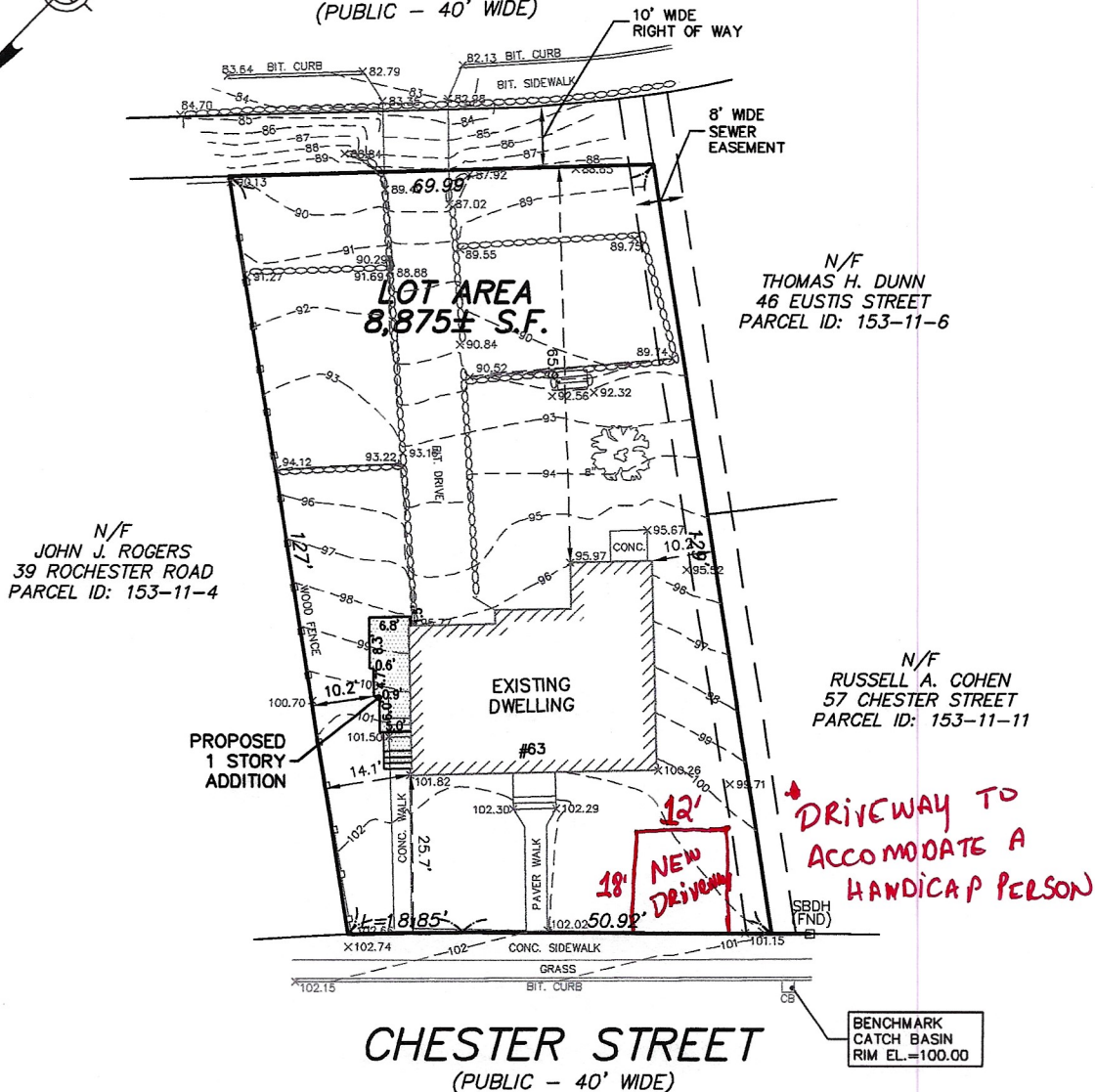
GELCIR CAMARA JR

May 21, 2025



EUSTIS STREET

(PUBLIC - 40' WIDE)

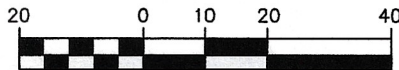


CHESTER STREET

(PUBLIC - 40' WIDE)

PLAN

GRAPHIC SCALE



1" = 20'

ZONING SETBACKS: R1

RECORD OWNER:

RAJEEV J. & CAITLIN C. RAM
BOOK 46558 PAGE 164

PLAN REFERENCE:

LOT 7 ON PLAN No. 164 OF 1945

I HEREBY CERTIFY THAT THIS PLAN IS BASED
ON AN ACTUAL INSTRUMENT SURVEY MADE ON THE
GROUND IN AUGUST 2020 AND THE STRUCTURES
DEPICTED HEREON ARE LOCATED AS SHOWN.

12-14-20

DATE

Scott M. Cerrato
SIGNATURE

SCOTT M. CERRATO
Professional Land Surveyor

24 Pleasant View Drive - Exeter, NH 03833 - 781-775-3724

PLOT PLAN

63 CHESTER STREET
ARLINGTON, MASSACHUSETTS
PARCEL ID: 153-11-5

48 of 48

DECEMBER 14, 2020