



Arlington Zoning Board of Appeals

Date: Tuesday, July 22, 2025
Time: 7:30 PM
Location: Conducted by Remote Participation
Additional Details:

Agenda Items

Administrative Items

1. **Conducted by Remote Participation**

You are invited to a Zoom meeting.

When: July 22, 2025 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

https://town-arlington-ma-us.zoom.us/meeting/register/Qf4ZasV6QEigj5cSdQ_-AA

After registering, you will receive a confirmation email containing information about joining the meeting.

Per Board Rules and Regulations, public comments will be accepted during the public comment period during each public hearing. Written comments should be sent by email to ZBA@town.arlington.ma.us prior to the start of the meeting.

Notice to the Public on meeting privacy In the interests of preventing abuse of video conferencing technology, all participants, including members of the public, wishing to engage via the Zoom App must register for each meeting and will need to follow multi-step authentication protocols. Please allow additional time to join the meeting. Further, members of the public who wish to participate without providing their name may still do so by telephone using the dial-in information provided above.

Hearings

2. **Docket #3836 103 Thorndike St (continued)**

OpenGov Links:

- Special Permit: <https://arlingtonma.portal.opengov.com/records/207277>
- Variance: <https://arlingtonma.portal.opengov.com/records/208688>

3. **Docket #3858 164 Hillside Ave**

OpenGov Link: <https://arlingtonma.portal.opengov.com/records/211304>

4. **Docket #3860 67 Foster Street**

OpenGov Link: <https://arlingtonma.portal.opengov.com/records/210188>

5. **Docket #3851 351 Appleton St**

OpenGov link: <https://arlingtonma.portal.opengov.com/records/211301>

Meeting Adjourn



Town of Arlington, Massachusetts

Conducted by Remote Participation

Summary:

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Town of Arlington, Massachusetts

Docket #3836 103 Thorndike St (continued)

Summary:

OpenGov Links:

- Special Permit: <https://arlingtonma.portal.opengov.com/records/207277>
- Variance: <https://arlingtonma.portal.opengov.com/records/208688>

ATTACHMENTS:

Type	File Name	Description
Reference Material	3840_103_Thorndike_Legal_Ad.docx	3840 103 Thorndike Legal Ad
Reference Material	3836_103_Thorndike_St_Special_Permit_Application__SP-24-37.pdf	3836 103 Thorndike St Special Permit Application SP-24-37
Reference Material	3836_103_Thorndike_St_Variance_Application_V-25-3.pdf	3836 103 Thorndike St Variance Application V-25-3
Reference Material	3836_103_Thorndike_St_abutter_list_and_map.pdf	3836 103 Thorndike St abutter list and map
Reference Material	3836_103_Thorndike_St_Site_Plan.pdf	3836 103 Thorndike St Site Plan
Reference Material	3836_103_Thorndike_St_Drawings_20241223.pdf	3836 103 Thorndike St Drawings 20241223
Reference Material	3836_103_Thorndike_St_4_Photos_of_Site.pdf	3836 103 Thorndike St 4 Photographs of Site
Reference Material	3836_103_Thorndike_St_3_Property_Record_Card.pdf	3836 103 Thorndike St 3 Property Record Card
Reference Material	3836_103_Thorndike_St_3_Memo_in_Support.pdf	3836 103 Thorndike St 3 Memo in Support
Reference Material	3836_103_Thorndike_Supplemental_Memo_Stories_Variance.pdf	3836 103 Thorndike Supplemental Memo Stories Variance
Reference Material	3836_103_Thorndike_1_Site_Plan_Mar_3_2025.pdf	3836 103 Thorndike Updated Site Plan Mar 3 2025
Reference Material	3836_103_Thorndike_Street_ConCom_Order_of_Conditions.pdf	3836 103 Thorndike Street ConCom Order of Conditions
Reference Material	3836_103_Thorndike_St_Arlington_Zoning_Set_5-9-25.pdf	3836 103 Thorndike St Arlington Zoning Set 5-9-25
Reference Material	3836_103_Thorndike_Supplemental_Memo_Variance_5-9-25.pdf	3836 103 Thorndike Supplemental Memo Variance 5-9-25
Reference Material	3836_103_Thorndike_St_Supplement_Memo_Update_June_2025.pdf	3836 103 Thorndike St Supplement Memo

Update June 2025		
▢ Reference Material	3836_103_Thorndike_St_Site_Plan_6-9-2025.pdf	3836 103 Thorndike St Site Plan 6-9-2025
▢ Reference Material	3836_103_Thorndike_St_Arlington__Arch_Zoning_Set_060925.pdf	3836 103 Thorndike St Arlington Arch Zoning Set 060925
▢ Reference Material	3836_103_Thorndike_St_Geotech_Report.pdf	3836 103 Thorndike St Geotech Report
▢ Reference Material	3836_103_Thorndike_St_abutter_ltr_Evans.pdf	3836 103 Thorndike St abutter ltr Evans
▢ Reference Material	3836_103_Thorndike_St_Continue_Request_6-24-25.pdf	3836 103 Thorndike St Continue Request 6-24-25



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

DOCKET NO **3836**

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **APSE Investment LLC**, on March 3, 2025, a petition seeking to alter their property located at **103 Thorndike St - Block Plan 002.0-0001-0020.0**. Said petition would require a **Special Permit** under **5.4.2** and a **Variance** under **8.1.3 B** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M. on April 8, 2025, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

Please direct any questions to: **ZBA@town.arlington.ma.us**

Christian Klein, RA, Chair
Zoning Board of Appeals



SP-24-37

Special Use Permit
Application (ZBA)

Status: Active

Submitted On: 12/23/2024





Primary Location

103 THORNDIKE ST
Arlington, MA 02474


Owner

APSE INVESTMENT LLC
C/O KUI XUE; 14 EMERALD ST
NEWTON, MA 02458

Applicant

 DUO (Alan) Yu
 617-938-7606
 alan.yu@buildwithmomo.com
 1660 SOLDIERS FIELD RD
BRIGHTON, MA 02135

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)**** 

Proposed two-family dwelling in R2 is permitted per 5.4.3 Use Regulations for Residential Districts

Explain why the requested use is essential or desirable to the public convenience or welfare.*

A 2-family dwelling promotes sustainable development by increasing density without requiring significant infrastructure upgrades. It also provides an affordable housing option for those seeking lower rent or mortgage costs, making housing more accessible. Lastly, two-family homes blend well with existing residential architecture, ensuring the development aligns with the neighborhood's character and maintains both visual and economic stability.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

A 2-family dwelling is consistent with the surrounding residential density and character, ensuring that the increase in activity does not significantly alter the flow of traffic or pedestrian movement.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

A 2-family dwelling typically requires minimal additional utility services compared to larger developments. The water and sewer usage will be relatively low, with only two households drawing from the system. Existing infrastructure should be sufficient to accommodate this modest increase in demand without causing strain on the public systems.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

The existing single-family dwelling is non-conforming with current zoning regulations. To address this, we are filing for a special permit to allow for the new 2-family dwelling, as permitted by the Zoning Bylaw for non-conforming structures.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The development is compatible with the existing zoning, ensuring that it does not disrupt the health, safety, or general welfare of the community.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The 2-family dwelling is designed to have minimal impact on neighboring properties. It will not produce excessive noise, traffic, or pollution, and it will not introduce uses that are incompatible with the surrounding residential area.

Dimensional and Parking Information

Present Use/Occupancy *

RESIDENCE SINGLE FAMILY

Proposed Use/Occupancy *

RESIDENCE 2-FAMILY

Existing Number of Dwelling Units*

1

Proposed Number of Dwelling Units*

2

Existing Gross Floor Area (Sq. Ft.)*

1263

Proposed Gross Floor Area (Sq. Ft.)*

3372

Existing Lot Size (Sq. Ft.)*

4377.6

Proposed Lot Size (Sq. Ft.)* ?

4377.6

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

45

Proposed Frontage (ft.)*

45

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0.29

Proposed Floor Area Ratio*

0.77

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

23.6

Proposed Lot Coverage (%)*

32.5

Max. Lot Coverage required by Zoning*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

4375.6

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

2188.8

Minimum Lot Area per Dwelling Unit required by Zoning*

0

Existing Front Yard Depth (ft.)*

13.9

Proposed Front Yard Depth (ft.)*

20

Minimum Front Yard Depth required by Zoning*

20

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning* ?

0

Existing Left Side Yard Depth (ft.)* ?

11.9

Proposed Left Side Yard Depth (ft.)* ?

10

Minimum Left Side Yard Depth required by Zoning* ?

10

Existing Right Side Yard Depth (ft.)* ?

6.9

Proposed Right Side Yard Depth (ft.)* ?

10

Minimum Right Side Yard Depth required by Zoning* ?

10

Existing Rear Yard Depth (ft.)*

47.8

Proposed Rear Yard Depth (ft.)*

20

Minimum Rear Yard Depth required by Zoning*

20

Existing Height (stories)

2.5

Proposed Height (stories)*

2.5

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

30

Proposed Height (ft.)*

35

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

2464

Proposed Landscaped Open Space (Sq. Ft.)*

1742

Existing Landscaped Open Space (% of GFA)*

195

Proposed Landscaped Open Space (% of GFA)*

51.6

Minimum Landscaped Open Space (% of GFA)
required by Zoning*

10

Existing Usable Open Space (Sq. Ft.)*

2063

Proposed Usable Open Space (Sq. Ft.)*

1054

Existing Usable Open Space (% of GFA)* ?

163

Proposed Usable Open Space (% of GFA)* ?

31

Minimum Usable Open Space required by Zoning*

30

Existing Number of Parking Spaces*

1

Proposed Number of Parking Spaces*

2

Minimum Number of Parking Spaces required by Zoning*

2

Existing Parking area setbacks

20

Proposed Parking area setbacks *

1

Minimum Parking Area Setbacks required by Zoning*

2

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

5

Proposed Slope of proposed roof(s) (in. per ft.)*

2

Minimum Slope of Proposed Roof(s) required by Zoning*

2

Existing type of construction*

TYPE V

Proposed type of construction*

TYPE V

Open Space Information

Existing Total Lot Area*

4377.6

Proposed Total Lot Area*

4377.6

Existing Open Space, Usable*

2063

Proposed Open Space, Usable*

1054

Existing Open Space, Landscaped*

2464

Proposed Open Space, Landscaped*

1742

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

664

Basement or Cellar, Proposed Gross Floor Area

709

1st Floor, Existing Gross Floor Area

—

1st Floor, Proposed Gross Floor Area

—

2nd Floor, Existing Gross Floor Area

—

2nd Floor, Proposed Gross Floor Area

—

3rd Floor, Existing Gross Floor Area

—

3rd Floor, Proposed Gross Floor Area

—

4th Floor, Existing Gross Floor Area

—

4th Floor, Proposed Gross Floor Area

—

5th Floor, Existing Gross Floor Area

—

5th Floor, Proposed Gross Floor Area

—

Attic, Existing Gross Floor Area ?

—

Attic, Proposed Gross Floor Area

—

Parking Garages, Existing Gross Floor Area ?

—

Parking Garages, Proposed Gross Floor Area

—

All weather habitable porches and balconies,
Existing Gross Floor Area

—

All weather habitable porches and balconies,
Proposed Gross Floor Area

—

Total Existing Gross Floor Area

664



Total Proposed Gross Floor Area

709



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



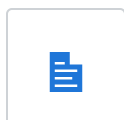
Applicant's Signature*



DUO YU

Dec 23, 2024

Attachments



103 Thorndike st Arlington _ Site Plan _8-21-24-C-1 sealed.pdf

103 Thorndike st Arlington _ Site Plan _8-21-24-C-1 sealed.pdf

Uploaded by DUO (Alan) Yu on Dec 23, 2024 at 1:20 PM



Supporting Documentation [worksheet and drawings]

REQUIRED

20241223 103 Thorndike St Arlington.pdf

Uploaded by DUO (Alan) Yu on Dec 23, 2024 at 1:19 PM



V-25-3

Variance Permit
Application (ZBA)
Status: Active
Submitted On: 3/3/2025




Primary Location

103 THORNDIKE ST
Arlington, MA 02474

Owner

APSE INVESTMENT LLC
C/O KUI XUE; 14 EMERALD ST
NEWTON, MA 02458

Applicant

 Christopher Alphen
 978-371-2226
 chris@bbhlaw.net
 9 Damonmill Square, Suite
4A4
Concord, MA 01742

Variance Permit Criteria

Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.*

A hardship exists due to the unique shape and location of the Property. The Property abuts municipal recreational land to its rear and westerly side. The area provides ample open and recreational space. Due to the long narrow shape of the lot, it would be difficult to design a dwelling that meets all the dimensional requirements. The Proposed Project only does not meet the lot coverage requirement. The size of the Proposed Dwelling is consistent with other dwellings in the immediate neighborhood.

Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.*

With a literal enforcement of the Bylaw, the Petitioner would not be able to replace the existing structure with a dwelling that fits into the existing neighborhood. The existing structure is in poor condition and needs to be redeveloped. See Existing Photographs attached hereto.

The removal of the existing dwelling will eliminate front and side yard setback nonconformities. The Proposed Project will be more conforming for zoning purposes but for the lot coverage requirement.

With a literal enforcement of the Bylaw the Petitioner would be left with the nonconforming dwelling which size and condition are not harmonized with the surrounding neighborhood. The Proposed Project will improve the Property and provide a benefit to the neighborhood.

Describe how desirable relief may be granted without substantial detriment to the public good. *

Permitting the removal of a pre-existing nonconforming structure and allowing the Proposed Project will not be substantial detriment to the public good or derogate from the intent or purpose of the Bylaw. The Petitioner proposes a well-designed site plan that will replace a outdated nonconforming structure. The Proposed Project is an improvement to the neighborhood and fits comfortably with the surrounding area. The nonconforming lot coverage will have a de minis impact on the surrounding area.

Describe how desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.*

Permitting the removal of a pre-existing nonconforming structure and allowing the Proposed Project will not be substantial detriment to the public good or derogate from the intent or purpose of the Bylaw. The Petitioner proposes a well-designed site plan that will replace a outdated nonconforming structure. The Proposed Project is an improvement to the neighborhood and fits comfortably with the surrounding area. The nonconforming lot coverage will have a de minis impact on the surrounding area.

State Law (MGL Chapter 40a, Section 10) requires that the Zoning Board of Appeals must find that all four (4) criteria are met in order to be authorized to grant a Variance. If any one of the standards is not met, the Board must deny the Variance.

Dimensional and Parking Information

Present Use/Occupancy *

One Family

Proposed Use/Occupancy *

Two Family

Existing Number of Dwelling Units*

1

Proposed Number of Dwelling Units*

2

Existing Gross Floor Area (Sq. Ft.)*

1263

Proposed Gross Floor Area (Sq. Ft.)*

0

Existing Lot Size (Sq. Ft.)*

4377

Proposed Lot Size (Sq. Ft.)* 

4377

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

45

Proposed Frontage (ft.)*

45

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0.29

Proposed Floor Area Ratio*

0.77

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

23.6

Proposed Lot Coverage (%)*

56.4

Max. Lot Coverage required by Zoning*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

0

Minimum Lot Area per Dwelling Unit required by Zoning*

0

Existing Front Yard Depth (ft.)*

0

Proposed Front Yard Depth (ft.)*

0

Minimum Front Yard Depth required by Zoning*

0

Existing Left Side Yard Depth (ft.)*

6.9

Proposed Left Side Yard Depth (ft.)*

10

Minimum Left Side Yard Depth required by Zoning*

11.9

Existing Right Side Yard Depth (ft.)*

6.9

Proposed Right Side Yard Depth (ft.)*

10

Minimum Right Side Yard Depth required by Zoning*

10

Existing Rear Yard Depth (ft.)*

47.8

Proposed Rear Yard Depth (ft.)*

20

Minimum Rear Yard Depth required by Zoning*

20

Existing Height (stories)

2.5

Proposed Height (stories)*

2.5

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

30

Proposed Height (ft.)*

35

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

2464

Proposed Landscaped Open Space (Sq. Ft.)*

1742

Existing Landscaped Open Space (% of GFA)*

76.4

Proposed Landscaped Open Space (% of GFA)*

43.6

Minimum Landscaped Open Space (% of GFA)
required by Zoning*

10

Existing Usable Open Space (Sq. Ft.)*

1

Proposed Usable Open Space (Sq. Ft.)*

1054

Existing Usable Open Space (% of GFA)*

2063

Proposed Usable Open Space (% of GFA)*

43.6

Minimum Usable Open Space required by Zoning*

30

Existing Number of Parking Spaces*

1

Proposed Number of Parking Spaces*

2

Minimum Number of Parking Spaces required by
Zoning*

2

Existing Parking area setbacks

20

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by
Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

5

Proposed Slope of proposed roof(s) (in. per ft.)*

2

Minimum Slope of Proposed Roof(s) required by Zoning*

2

Existing type of construction*

TYPE V

Proposed type of construction*

TYPE V

Open Space Information

Existing Total Lot Area*

4377

Proposed Total Lot Area*

4377

Existing Open Space, Usable*

2063

Proposed Open Space, Usable*

1054

Existing Open Space, Landscaped*

2464

Proposed Open Space, Landscaped*

1742

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

664

Basement or Cellar, Proposed Gross Floor Area

709

1st Floor, Existing Gross Floor Area

—

1st Floor, Proposed Gross Floor Area

—

2nd Floor, Existing Gross Floor Area

—

2nd Floor, Proposed Gross Floor Area

—

3rd Floor, Existing Gross Floor Area

—

3rd Floor, Proposed Gross Floor Area

—

4th Floor, Existing Gross Floor Area

—

4th Floor, Proposed Gross Floor Area

—

5th Floor, Existing Gross Floor Area

—

5th Floor, Proposed Gross Floor Area

—

Attic, Existing Gross Floor Area 

—

Attic, Proposed Gross Floor Area

—

Parking Garages, Existing Gross Floor Area 

—

Parking Garages, Proposed Gross Floor Area

—

All weather habitable porches and balconies,
Existing Gross Floor Area

—

All weather habitable porches and balconies,
Proposed Gross Floor Area

—

Total Existing Gross Floor Area

664



Total Proposed Gross Floor Area

709



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*

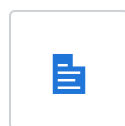


Applicant's Signature*



Christopher J. Alphen, Esq.
Mar 3, 2025

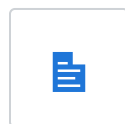
Attachments



2 Architectural Plans.pdf

2 Architectural Plans.pdf

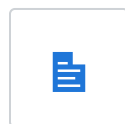
Uploaded by Christopher Alphen on Mar 3, 2025 at 5:09 PM



3 Memo in Support.pdf

3 Memo in Support.pdf

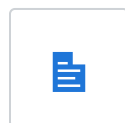
Uploaded by Christopher Alphen on Mar 3, 2025 at 5:09 PM



3 Property Record Card.pdf

3 Property Record Card.pdf

Uploaded by Christopher Alphen on Mar 3, 2025 at 5:09 PM



4 Photographs of Site.pdf

4 Photographs of Site.pdf

Uploaded by Christopher Alphen on Mar 3, 2025 at 5:09 PM



Supporting Documentation [worksheet and drawings]

REQUIRED

1 Site Plan 103 Thorndike.pdf

Uploaded by Christopher Alphen on Mar 3, 2025 at 5:08 PM

**CERTIFIED ABUTTERS LIST****Date: December 23, 2024****Subject Property Location: 103 THORNDIKE ST Arlington, MA****Subject Parcel ID: 2-1-20****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mailing Address 1	Mail Address 2	City/Town	State	Zip
2-1-5	0-LOT MAGNOLIA ST	TOWN OF ARLINGTON PARK		730 MASS AVE		ARLINGTON	MA	02476
2-1-12	0-LOT MAGNOLIA ST	TOWN OF ARLINGTON PARK		730 MASS AVE		ARLINGTON	MA	02476
2-1-19	99--101 THORNDIKE ST	AGGOURAS NICHOLAS A--ETAL	AGGOURAS MANNERS BARBARA	1 KENILWORTH RD		ARLINGTON	MA	02476
2-1-20	103 THORNDIKE ST	APSE INVESTMENT LLC		C/O KUI XUE	14 EMERALD ST	NEWTON	MA	02458
2-1-24	119--121 THORNDIKE ST	PELLEGRINO GRACE/TRUSTEE	PELLEGRINO REALTY TRUST	119 THORNDIKE ST		ARLINGTON	MA	02474
2-1-26	123--123A THORNDIKE ST	GUAN DONG	WU JIAYI	7 ARBOR LN		WINCHESTER	MA	01890
2-2-1	74--76 MAGNOLIA ST	PEPPER ANNE L		76 MAGNOLIA ST		ARLINGTON	MA	02474
2-2-2	72 MAGNOLIA ST	JACOBSON MARC & SHARON		72 MAGNOLIA ST		ARLINGTON	MA	02474
2-2-3	68--70 MAGNOLIA ST	FOX MARY L/SHARON/ETAL	TAYLOR ROBERT	70 MAGNOLIA ST		ARLINGTON	MA	02474
2-2-4	64--66 MAGNOLIA ST	AIELLO ROBERT B & LINDA M		106 PROSPECT ST		READING	MA	01867
2.A-5-92	92 FAIRMONT ST UNIT 2	BUCCI MAX J	DISSLY LAURA	92 FAIRMONT ST		ARLINGTON	MA	02474
2.A-5-90	90 FAIRMONT ST UNIT 1	VADALI RAGHAVENDRA		90 FAIRMONT ST	UNIT 1	ARLINGTON	MA	02474
2-2-6	56--58 MAGNOLIA ST	ENOS MARIA Z ETAL/ TRS	ANNA ZAFIROPOULOS 2023 REVOCAB	43 LONGWOOD DR		WESTPORT	MA	02790
2-2-7	71--73 THORNDIKE ST	PERALTA MARIA C	GALLAHER NATHANIEL D	73 THORNDIKE ST		ARLINGTON	MA	02474
2.A-3-118.2	118 THORNDIKE ST	CHEN ELAINE & KAM ANTHONY		118 THORNDIKE ST	UNIT 2	ARLINGTON	MA	02474
2.A-3-120.1	120 THORNDIKE ST	SAYLOR PHILIP J & LAURA S		120 THORNDIKE ST	UNIT 1	ARLINGTON	MA	02474
2-2-8	75--77 THORNDIKE ST	HORVATH DORA E/ LIFE ESTATE		77 THORNDIKE ST		ARLINGTON	MA	02474
2.A-4-1.1	78 THORNDIKE ST	DANAHER MEGHAN		78 THORNDIKE ST		ARLINGTON	MA	02474
2.A-4-2.2	80 THORNDIKE ST	CRAUMER MARTHA		80 THORNDIKE ST		ARLINGTON	MA	02474
2-2-11	87--89 THORNDIKE ST	GROSSMAN MARK W	GROSSMAN AMY ELLEN	249 RUTLEDGE RD		BELMONT	MA	02478
2-2-12	91--93 THORNDIKE ST	KOUFOS NICK J & MARIA V/TRS	DEJO TRUST	45 TERN LN		CENTERVILLE	MA	02632
2.A-2-83	83 THORNDIKE ST	BANNER MATTHEW F & JANE E		83 THORNDIKE ST		ARLINGTON	MA	02474
2.A-2-85	85 THORNDIKE ST	HOSEY IRENE	STRANGES PETER	85 THORNDIKE ST	UNIT 85	ARLINGTON	MA	02474
2.A-4-55	55 FAIRMONT ST UNIT 2	BURGESS GABRIELLE	BURKHOLZ NOAH	55 FAIRMONT ST	UNIT 2	ARLINGTON	MA	02474
2.A-4-57	57 FAIRMONT ST UNIT 1	SONAN ANDREA		82 HIGHLAND AVE		WATERTOWN	MA	02472
2-3-5	122--122B THORNDIKE ST	WESTWATER DONALD S/ETAL	CAREY KATHLEEN A	429 MYSTIC ST		ARLINGTON	MA	02474
2-3-8	116--116A THORNDIKE ST	DUPONT ANNA M/ TRUSTEE	ANNA M DUPONT REALTY TRUST	116 THORNDIKE ST		ARLINGTON	MA	02474
2-3-9	114 THORNDIKE ST	MALTZ ALAN P--ETAL	MALTZ BURNS SUSAN	114 THORNDIKE ST		ARLINGTON	MA	02474
2.A-2-5.1	60--62 MAGNOLIA ST UNIT 1	SAFF REBECCA R & DAVID E/ TRS	60 MAGNOLIA STREET NOMINEE TR	60 MAGNOLIA ST		ARLINGTON	MA	02474
2.A-2-5.2	60--62 MAGNOLIA ST UNIT 2	RADOSEVICH ALEXANDER T	SAADAT ALHAM	62 MAGNOLIA ST		ARLINGTON	MA	02474
2.A-2-9.1	79--81 THORNDIKE ST UNIT 1	PAYNTER KENNETH D ETAL/ TRS	PALANZA-PAYNTER REVOCABLE	79 THORNDIKE ST		ARLINGTON	MA	02474
2.A-2-9.2	79--81 THORNDIKE ST UNIT 2	GIGNAC GRETCHEN A &	PAYNTER NINA P	81 THORNDIKE ST		ARLINGTON	MA	02474
2-3-10	112 THORNDIKE ST	PALMTEER WILLIAM & JULIE B		112 THORNDIKE ST		ARLINGTON	MA	02474

**CERTIFIED ABUTTERS LIST****Date: December 23, 2024****Subject Property Location: 103 THORNDIKE ST Arlington, MA****Subject Parcel ID: 2-1-20****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mailing Address 1	Mail Address 2	City/Town	State	Zip
2-3-11	110 THORNDIKE ST	DEVNEY DARCY CAMPION		110 THORNDIKE ST		ARLINGTON	MA	02474
2.A-3-77.1	77--79 FAIRMONT ST UNIT 1	CHEN XUEGUANG	ZHANG PING	77 FAIRMONT ST	UNIT 1	ARLINGTON	MA	02474
2.A-3-79.2	77--79 FAIRMONT ST UNIT 2	MACKEY LESTER	FANG LILLY	79 FAIRMONT ST		ARLINGTON	MA	02474
2-3-12	104--106 THORNDIKE ST	DE MELO JOSE V/ETAL	DE MELO ROSALINA TRUSTEES	66 CLARK ST	DE MELO TRUST	MEDFORD	MA	02155
2-3-14	100 THORNDIKE ST	GUEVARA MILA H & TONY H		100 THORNDIKE ST		ARLINGTON	MA	02474
4.A-5-88	88--90 VARNUM ST UNIT 88	LAPERLA STEPHEN J & BRIDGET R		88 VARNUM ST		ARLINGTON	MA	02474
4.A-5-90	88--90 VARNUM ST UNIT 90	FAN CHUCHU	NING QIANG	90 VARNUM ST		ARLINGTON	MA	02474
2-3-16	81 FAIRMONT ST	RIZAL ABANISH & PRAGYA		81 FAIRMONT ST		ARLINGTON	MA	02474
2-3-17	85 FAIRMONT ST	CHRISTO FRANCES		85 FAIRMONT ST		ARLINGTON	MA	02474
2-3-18	87 FAIRMONT ST	SILVA DONALD J JR	SILVA KATHLEEN D	87 FAIRMONT ST		ARLINGTON	MA	02474
2-3-19	89 FAIRMONT ST	BARILLEAUX GERARD &	BARRILLEAUX MARY CATHERINE	89 FAIRMONT ST		ARLINGTON	MA	02474
2-3-20	91--91A FAIRMONT ST	MALLARD DIANE N & THOMAS L		91 FAIRMONT ST		ARLINGTON	MA	02474
2-3-21	93--93A FAIRMONT ST	VOTE SEAN ANDREW		140 RUBLEE ST		ARLINGTON	MA	02476
2-3-22	95--95A FAIRMONT ST	ANTONOPOULOS JOHN	LIFE ESTATE	95 FAIRMONT ST		ARLINGTON	MA	02474
2-3-23	97--97A FAIRMONT ST	LIN MEIXING	ZHOU RONGJIE	97 FAIRMONT ST		ARLINGTON	MA	02474
2-4-1	90--92 THORNDIKE ST	ZOU ZONG GAN		92 THORNDIKE ST		ARLINGTON	MA	02474
2-4-2	86--88 THORNDIKE ST	RICH ELEANOR S		86 THORNDIKE ST		ARLINGTON	MA	02474
2-4-5	76 THORNDIKE ST	BOUBOULIS JAMES & STEFANOS	BOUBOULIS EKATERINI+DESPINI	195 BROADWAY		ARLINGTON	MA	02474
2-4-10	59--61 FAIRMONT ST	FEINSTEIN DANIEL B &	LAY SAROM	61 FAIRMONT ST		ARLINGTON	MA	02474
2-4-11	63--65 FAIRMONT ST	CRONIN JOSEPH J-FLORENCE A		63 FAIRMONT ST		ARLINGTON	MA	02474
2-4-12	67--69 FAIRMONT ST	ZIMMERMANN NANCY A &	ZIMMERMANN PAUL M	67 FAIRMONT ST		ARLINGTON	MA	02474
2-4-13	15--17 HERBERT RD	JAROSIEWICZ KAREN		17 HERBERT RD		ARLINGTON	MA	02474
2-5-7	94--94A FAIRMONT ST	RAMEIOR LISA B/TRUSTEE	RAME FAMILY TRUST	94 FAIRMONT ST		ARLINGTON	MA	02474
2-5-10	86--88 FAIRMONT ST	STOFF DAVID--ETAL	INGRAM JENNIFER A	88 FAIRMONT ST		ARLINGTON	MA	02474
2-5-11	82--84 FAIRMONT ST	SOTIROPOULOS GEORGE	SOTIROPOULOS MARIA N	84 FAIRMONT ST		ARLINGTON	MA	02474
2-5-12	8 HERBERT RD	JAEGER WILLIAM F III--ETAL	MINTZ SUSAN E	8 HERBERT RD		ARLINGTON	MA	02474
2-6-1	68 FAIRMONT ST	GARVEY TIMOTHY G & LESLIE E		203 LAKE VIEW AVE		CAMBRIDGE	MA	02138
4-5-8	102--104 VARNUM ST	PAN MEI	CHEN XIAO L	254 BELMONT ST		QUINCY	MA	02169
4-5-9	100--100A VARNUM ST	PATTERSON ROBERT D		21 BLOSSOM ST		LEXINGTON	MA	02421
4-5-10	96--98 VARNUM ST	BREIDING DAVID E	BREIDING SYLVIA M	98 VARNUM ST		ARLINGTON	MA	02474
4-5-11	92--94 VARNUM ST	MCLAUGHLIN MAURA D	FERRARA RYAN J	92 VARNUM ST		ARLINGTON	MA	02474
4-5-13	62 HERBERT RD	SANTELO MARK /TRUSTEE &	MILLER SANDRA A/TRUSTEE	62 HERBERT RD		ARLINGTON	MA	02474
4-5-15	0-LOT MAGNOLIA ST	TOWN OF ARLINGTON		739 MASS AVE 250-100		ARLINGTON	MA	02476



CERTIFIED ABUTTERS LIST

Date: December 23, 2024

Subject Property Location: 103 THORNDIKE ST Arlington, MA

Subject Parcel ID: 2-1-20

Search Distance: 300 Feet

Parcel ID	Property Location	Owner 1	Owner 2	Mailing Address 1	Mail Address 2	City/Town	State	Zip
4-5-18	111 MAGNOLIA ST	TOWN OF ARLINGTON		730 MASS AVE		ARLINGTON	MA	02476
4-5-20	0-LOT MAGNOLIA ST	TOWN OF ARLINGTON PARK		730 MASS AVE		ARLINGTON	MA	02476
4-8-1	78--80 VARNUM ST	MOODY MARGARET T--ETAL	LIN CHARLES P	78 VARNUM ST		ARLINGTON	MA	02474
4-8-2	72--74 VARNUM ST	MARSHALL JOSEPH M & FRANCES M	TRS/ MARSHALL REALTY TRUST	72 VARNUM ST		ARLINGTON	MA	02474
4-8-6	55--57 MAGNOLIA ST	DE MOEL EVERARDUS	SCHELL KATE M	57 MAGNOLIA ST		ARLINGTON	MA	02474
4-8-7	59--59A MAGNOLIA ST	DANIELSON CHRISTINE N/ TRUSTEE	LUCREZIANO FAMILY REALTY TRUST	18 BATES DR		NASHUA	NH	03064
4-8-8	65 MAGNOLIA ST	IVERSON RALPH B ETAL/ TRS	65 MAGNOLIA STREET NOMINEE TR	65 MAGNOLIA ST		ARLINGTON	MA	02474
4-8-10	67--69 MAGNOLIA ST	VOGT MARY W		67 MAGNOLIA ST		ARLINGTON	MA	02474

The Board of Assessors certifies the names and addresses of the requested parties in interest, all abutters to sunject parcel within 300 feet.



Town of Arlington
Office of the Board of Assessors
730 Massachusetts Ave
Arlington, MA 02476
phone: 781.316.3050
email: assessors@town.arlington.ma.us



- Places by Category
 - Police Station
 - Fire Station
 - School
 - Library
 - Public Works
- Recreation - Facilities
 - Recreation - Fields Cc
 - Recreation - Fields Cc
- Open Space: Conserv
- Open Space - Minuter
- Open Space - Labels
- Open Space
 - Town, State, or
 - Other Town Ow
- MA Highways
 - Interstate
 - US Highway
 - Numbered Rout
- Abutting Towns
- Town Boundary
- Parcels
- Buildings
- Cemetery - Roads
 - Road1
 - Road2
 - Road3
 - Road4
- Pavement Markings
- Impervious Surface - I
 - Street
 - Sidewalk
 - Street Island
 - Driveway
 - Parking Lot
 - Bike Path
- Roads - For Large Sci
- Roads - For Small Sci
 - Major Road
 - Local Road
- Master Plan Base Map
- Water Line
- Water Body

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

CONSTRUCTION NOTES

1. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO ORIGINAL CONDITION.
2. CONTRACTOR TO MEET ALL TOWN OF ARLINGTON REQUIREMENTS FOR AS-BUILT CERTIFICATION.
3. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE 72 HOURS PRIOR TO EXCAVATION TO INFORM UTILITY COMPANIES OF ANY EXCAVATION NEAR EXISTING UTILITIES.
4. CONTRACTOR SHOULD IMPLEMENT EROSION AND SEDIMENTATION CONTROL IF NECESSARY TO PREVENT STORMWATER POLLUTION ONTO THE CITY DRAINAGE SYSTEM.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CITY PERMITS TO PERFORM THE WORK.

FLOOD VENT CALCULATION

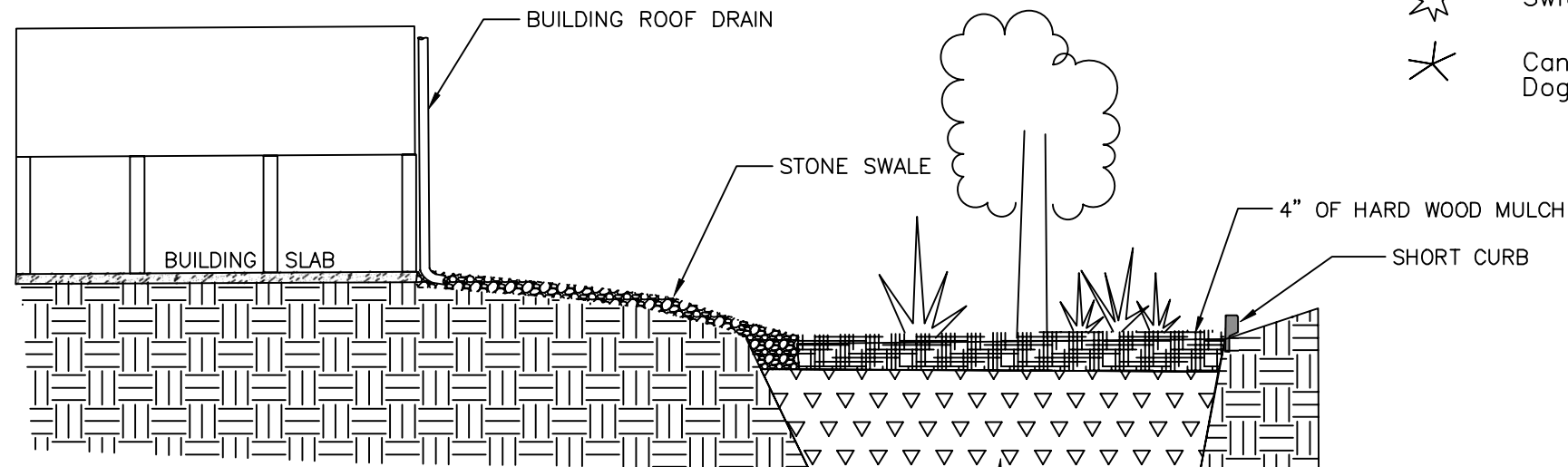
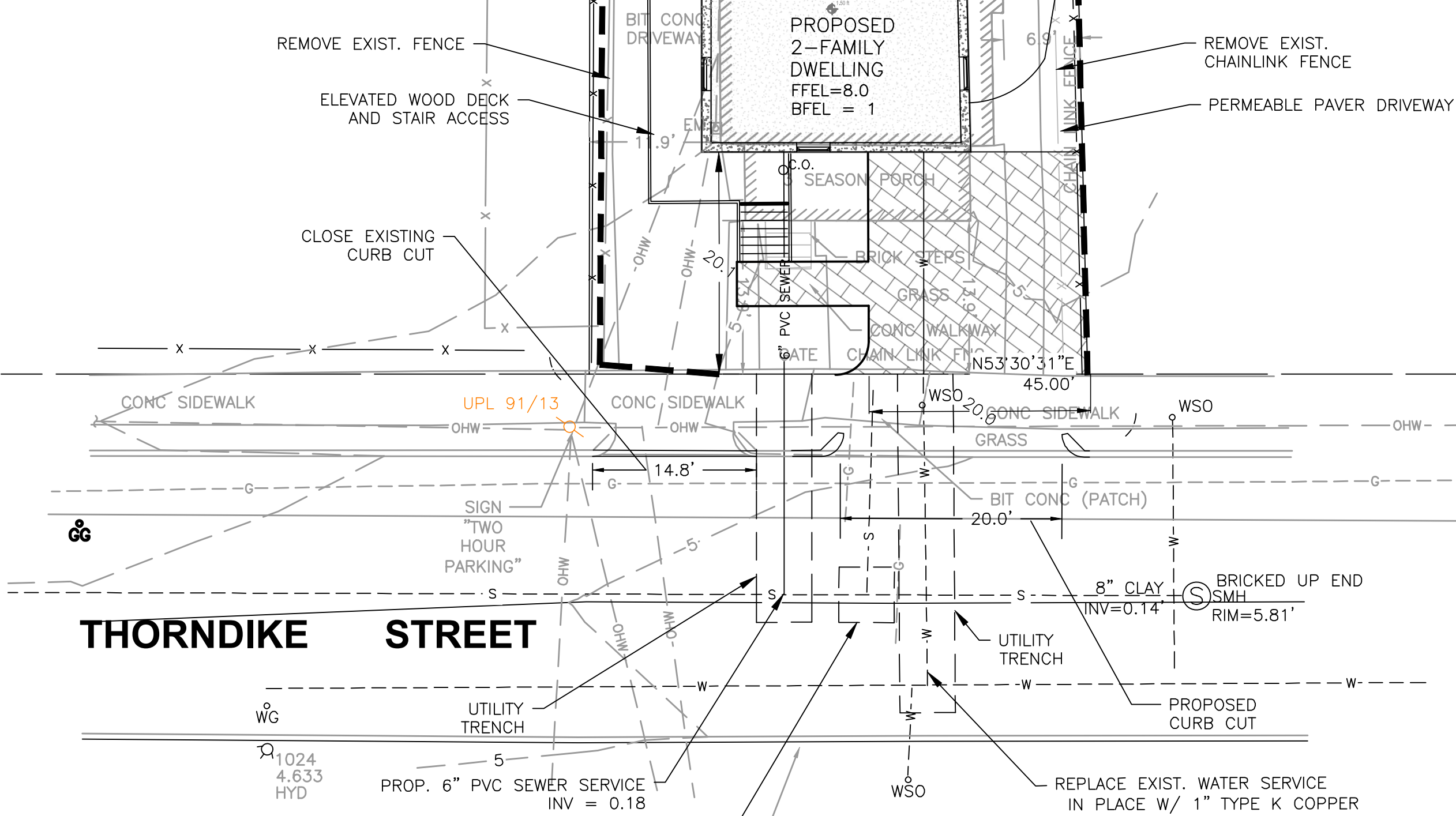
TOTAL BUILDING ENCLOSED AREA = 708 SQ. FEET

TOTAL FLOOD VENT PROVIDED
= 16" x 8" x 6 vents = 768 SQ. INCHES

CUT & FILL

CUT VOL. = 65.86 Cu. Yd.
FILL VOL. = 0.05 Cu. Yd.
NET VOL. (CUT) = 65.81 Cu. Yd.

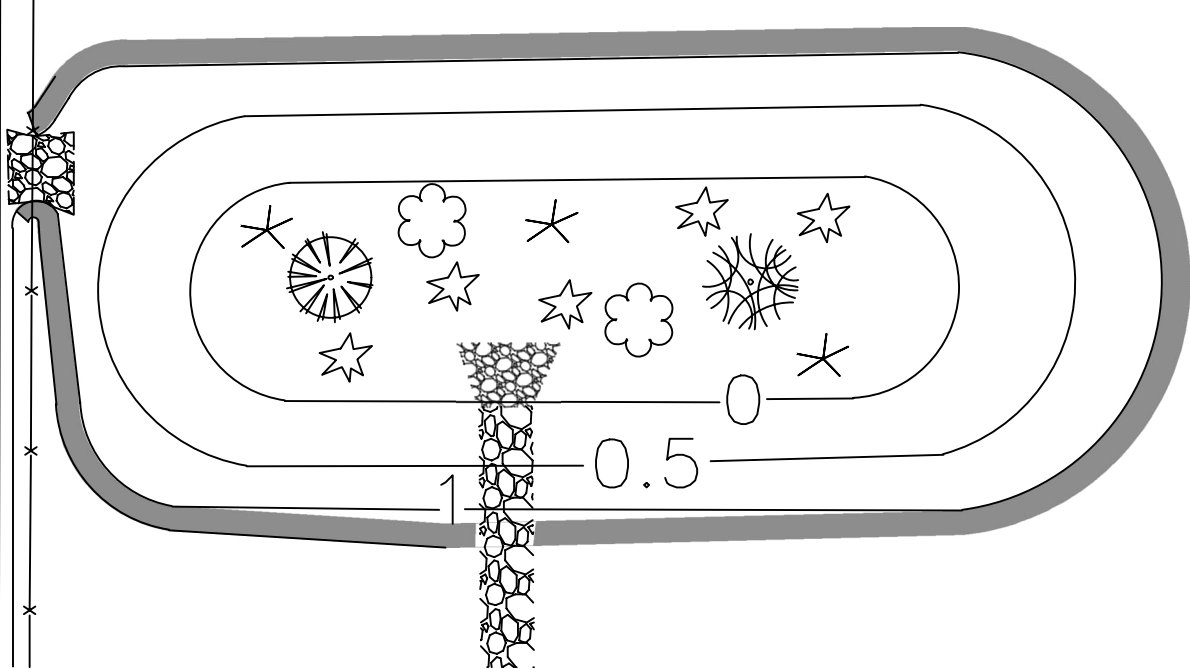
N/F
TOWN OF ARLINGTON
BK. 10679/PG.161



18 INCH SOIL AMENDMENT EXCAVATE EXISTING SOIL AND REPLACE WITH ENGINEERED BIO-RETENTION SOIL MIX CONSISTING OF 30% SAND, 30% COMPOST, AND 40% LOAM

BIORETENTION AREA DETAIL
N.T.S.

Symbol	Common Name	Botanical Name	Quantity
	Red Maple	Acer Rubrum	1
	Flowering Dogwood	Cornus Florida	1
	Winterberry	Ilex Verticillata	2
	Switch Grass	Panicum Virgatum	5
	Canada Dwarf Dogwood	Chamaepericlymenum Canadense	3

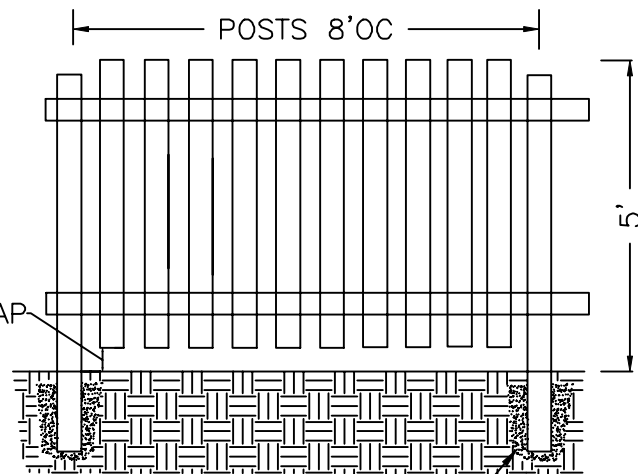


PLAN REFERENCE

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MAGNETIC NORTH. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE AE (WITHOUT BASE FLOOD ELEVATION) (BFE) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF ARLINGTON, MASSACHUSETTS, COMMUNITY PANEL NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010. THE FLOOD ELEVATION IS 7'.
- 6) NO WETLAND FLAGS WERE OBSERVED ON SITE AT THE TIME OF THE SURVEY.
- 7) OWNER AND PROPERTY INFORMATION:
OWNER: APSE INVESTMENT LLC
PARCEL ID: 2-1-20

ROAD

HERBERT

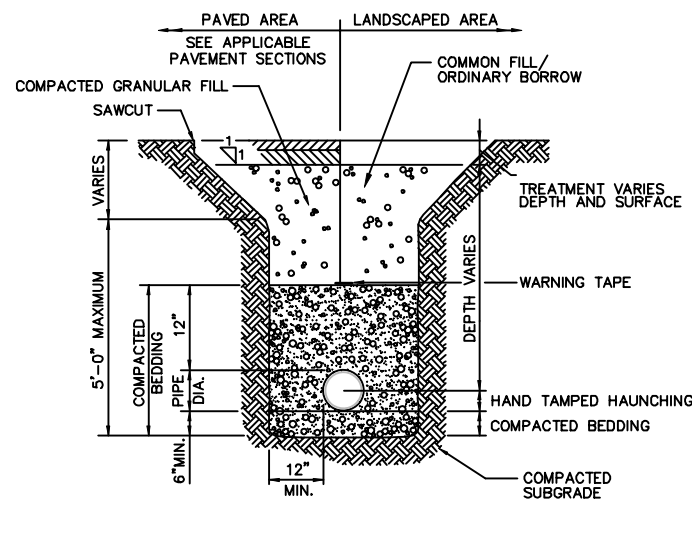


5' CEDAR FENCE DETAIL
N.T.S.

NOTE: CEDAR FENCE TO REPLACE EXISTING CHAIN LINK FENCE. 4" GAP BETWEEN BOTTOM OF FENCE AND GROUND. POSTS TO BE SET 18" MIN. BELOW GRADE.

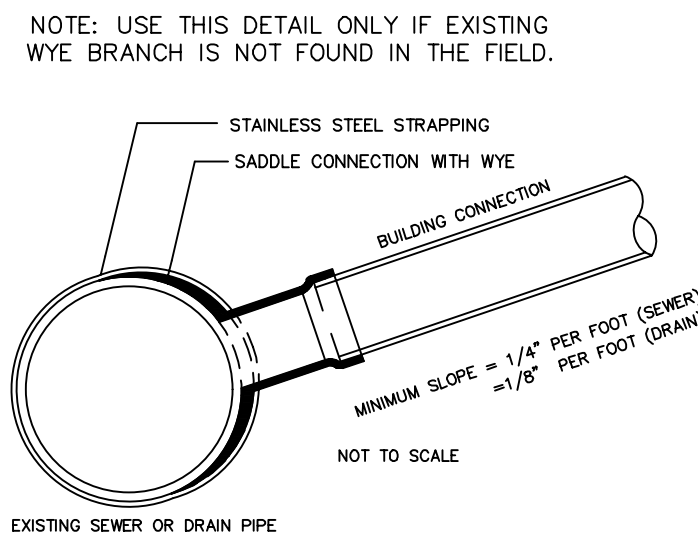


TREE PROTECTION EXAMPLE
N.T.S.



Notes:
WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH EXISTING BASE GRASS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
PAVEMENT SECTION TO CONFORM TO CITY OF QUINCY DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATION.

Utility Trench
N.T.S.



NOTE: USE THIS DETAIL ONLY IF EXISTING WYE BRANCH IS NOT FOUND IN THE FIELD.

1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE OR IRON PIPE.
2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
3. FULL WYE CONNECTION FITTINGS MAY BE USED.
4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.
6. TO BE USED IF AN EXISTING WYE IS NOT FOUND.

SEWER CONNECTION DETAIL
NOT TO SCALE

SADDLE CONNECTION DETAIL
N.T.S.

REVISIONS:		
NO.:	COMMENTS:	DATE:
1.	FENCE DETAIL ADDED	8/13/2024
2.	FENCE DETAIL ADDED PER CON. COMM. COMMENT	8/21/2024

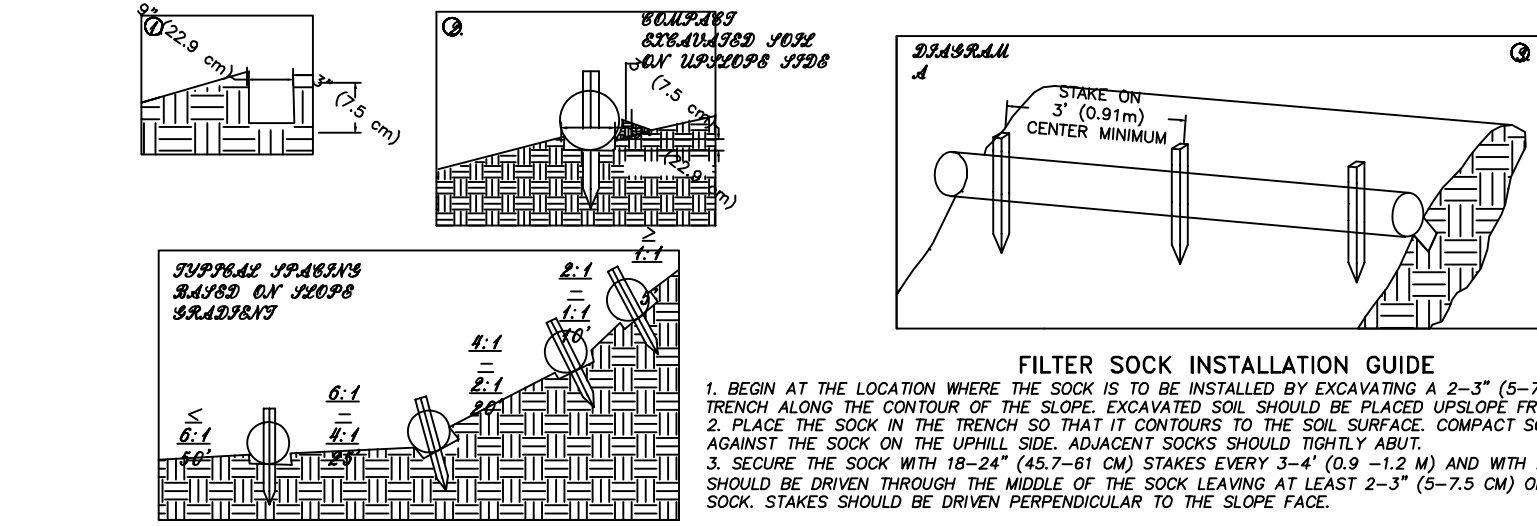
FLOOD STORAGE VOLUME EL. 7'

	EXISTING	PROPOSED
EL. -1-0	0	68
EL. 0-1	192.2	260.2
EL. 1-2	1,200.5	1,961.5
EL. 2-3	2,025.5	2,375
EL. 3-4	2,672.5	2,740.4
EL. 4-5	3,320.5	3,329.6
EL. 5-6	3,676.6	3,677.6
EL. 6-7	3,676.6	3,677.6

DIMENSIONAL REQUIREMENTS

ZONING R-2	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	6,000 SF	4,377 SF	4,377 SF
MIN. LOT AREA PER D.U.	---	N/A	N/A
MIN. LOT FRONTAGE	60 FT	45* FT	45* FT
MIN. YARD - FRONT	20 FT	13.9 FT	20.0 FT
MIN. YARD - SIDE	10 FT	6.9 FT	10.0 FT
MIN. YARD - REAR	20 FT	47.8 FT	20.0 FT
MAX. BUILDING HEIGHT	35FT/2.5ST	2.5 ST	2.5 ST
MAX. FLOOR AREA RATIO	---	N/A	N/A
MIN. LANDSCAPE OPEN SPACE	10%	76.4%	48.4%
MIN. USABLE OPEN SPACE	30%	76.4%	68.7%
MAX. LOT COV. (BUILDING & DRIVE)	35%	23.6%	32.2%

* EXISTING NONCONFORMING

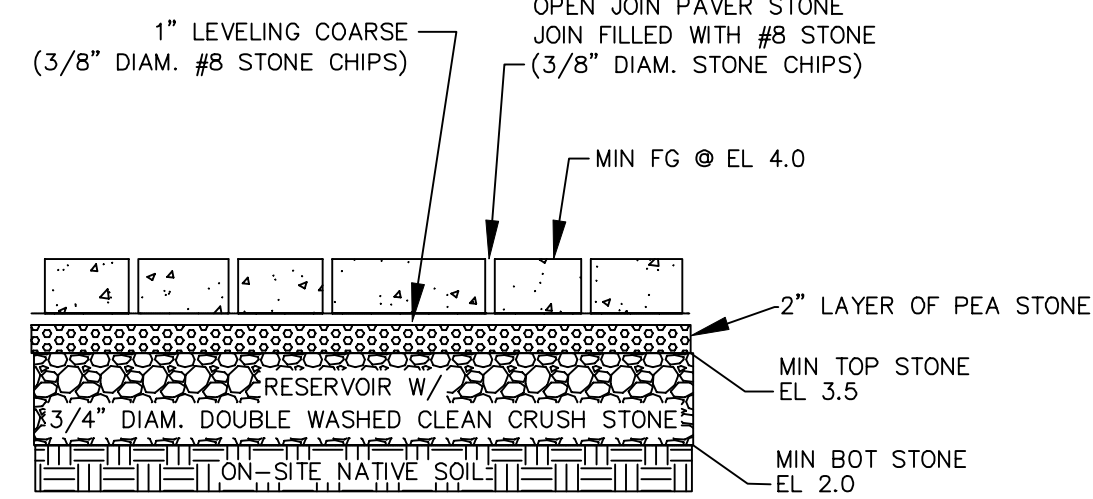


NOTES:
1. ALL MATERIAL TO MEET FILTERSXX® SPECIFICATIONS.
2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

Filterex Erosion Control
N.T.S.

DRAINAGE AREAS

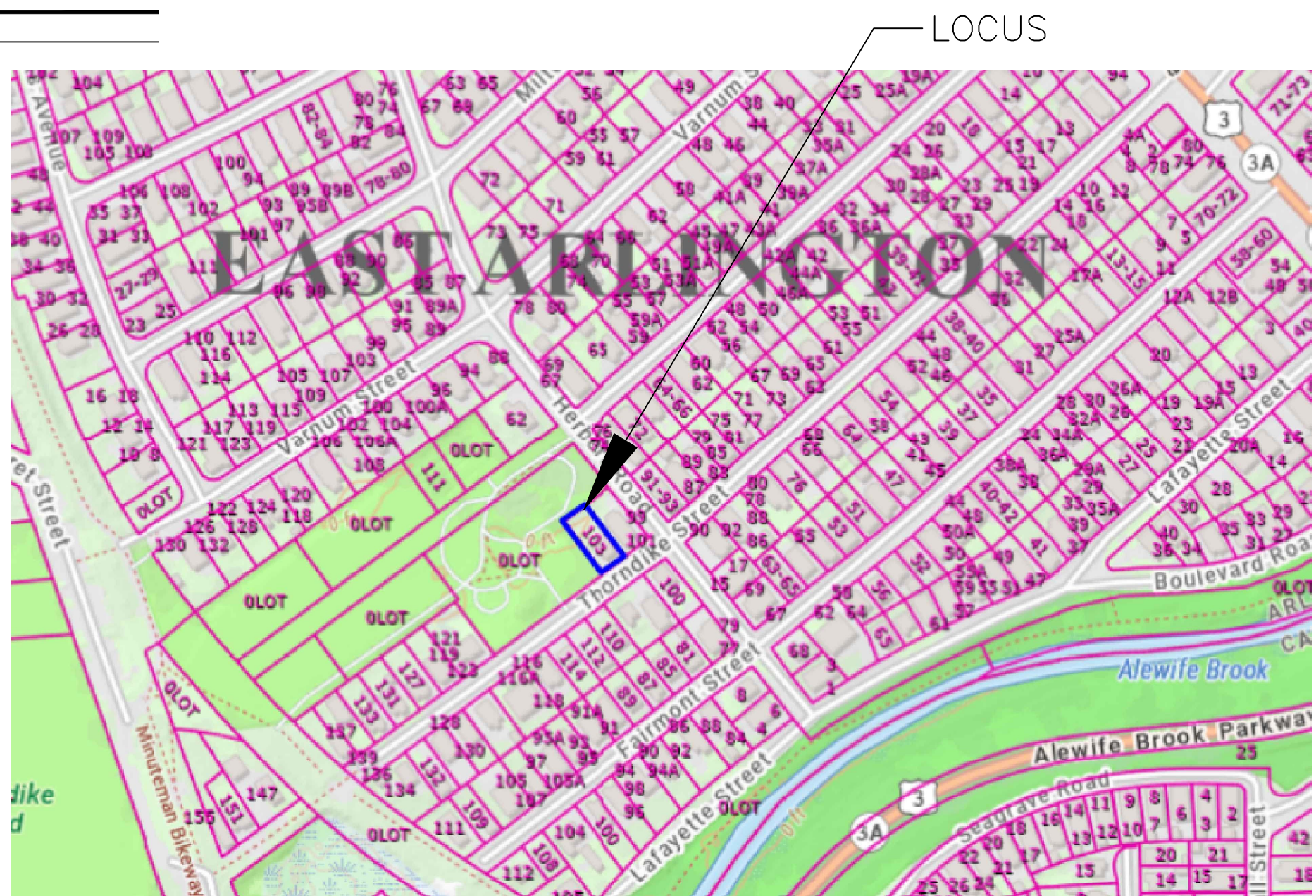
EXISTING	PROPOSED
BUILDING	665 SF
3 SEASON PORCH	139 SF
BACK PORCH	40 SF
SIDE WALKWAY	207 SF
DRIVEWAY	369 SF
FRONT WALKWAY	79 SF
TOTAL IMPERVIOUS	1,499
TOTAL IMPERVIOUS	1410 SF



Notes:
1. TYPICAL FOR DRIVEWAY AREA USE.
2. BRAND AND PRODUCT DETERMINED BY CLIENT.

ASSUME EHSQWT @ 0

Permeable Pavers Pavement Section
N.T.S.



SITE LAYOUT PLAN
103 THORNDIKE STREET
ARLINGTON, MASSACHUSETTS

DRAWN BY: ZLD
DESIGNED BY: CYM
CHECKED BY: CYM

DATE: 6-10-2024
LATEST REVISION: 8/21/2024



PREPARED FOR:
CONSERVATION COMM.

SHEET
C-1

1285 WASHINGTON STREET
WEYMOUTH, MA
(781) 335-1464

103 THORNDIKE TOWNHOUSES

PROJECT DESCRIPTION

THE PROJECT INVOLVES THE COMPLETE DEMOLITION OF THE EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW TWO-FAMILY RESIDENTIAL STRUCTURE. THE PROPOSED SITE PLAN HAS RECEIVED PRIOR APPROVAL FROM THE CONSERVATION DEPARTMENT, ENSURING COMPLIANCE WITH ENVIRONMENTAL REGULATIONS.

PROJECT ADDRESS 103 THORNDIKE ST
ARLINGTON, MA

PROJECT NUMBER 20-103-00

NUMBER	SHEET NAME
G400	ATTIC GSF CALCULATIONS
G100	COVER & GENERAL NOTES
G200	ZONING, SITE & AREA
G300	LAND SURVEY
A201	FLOOR PLANS
A202	FLOOR PLANS
A300	RENDERINGS
A302	ELEVATIONS
A301	ELEVATIONS
A900	SCHEDULES

ISSUED

PERMIT SET 09/17/2024

REV 1 11/20/2024

GENERAL NOTES

0. CODE COMPLIANCE

THE CONTRACTOR SHALL CONSTRUCT THE PROJECT IN STRICT COMPLIANCE TO THE 9TH EDITION OF THE MASSACHUSETTS BUILDING CODE & ALL APPLICABLE REGULATING AGENCIES. THE CONTRACTOR SHALL VERIFY ALL ACCESSIBLE COMPONENTS WITH THE 521CMR ARCHITECTURAL BOARD HANDBOOK.

1. PROTECTION OF EXISTING TO REMAIN

THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR. IN PARTICULAR, THE CONTRACTOR SHALL MAINTAIN A DUST-FREE ENVIRONMENT WITHIN THE MAGNET VAULT.

2. SCHEDULING

THE CONTRACTOR SHALL MEET WITH THE OWNER'S AUTHORIZED REPRESENTATIVE WELL IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO:
A. SCHEDULE, SEQUENCE AND COORDINATE ALL WORK
B. MAINTAIN EXITS AND EGRESS WIDTHS REQUIRED BY CODES DURING ALL PHASES OF CONSTRUCTION

3. CLEARANCES

THE CONTRACTOR SHALL VERIFY THAT NEW CEILINGS CAN BE INSTALLED IN EXISTING SPACES TO CLEAR DUCTWORK AND OTHER CONSTRUCTED ITEMS AND MAINTAIN FLOOR TO CEILING HEIGHTS INDICATED ON DRAWINGS. IF DISCREPANCIES OCCUR DUE TO EXISTING CONDITIONS, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.

4. MATERIAL ALIGNMENT

THE FINISH FACE OF MATERIAL OF NEW PARTITIONS SHALL ALIGN ON BOTH SIDES OF THE PARTITION WITH THE FACE OF THE MATERIALS ON EXISTING COLUMNS, WALLS, OR PARTITIONS, UNLESS NOTED OTHERWISE.

5. AS BUILT VERIFICATION

THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.

6. REMOVAL SURVEY

THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE INSTALLATION OF THE NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.

7. CONSTRUCTION DEFECTS

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY CONSTRUCTION DEFECTS FOUND IN UNCOVERING WORK IN THE EXISTING CONSTRUCTION.

8. CORRECTING DEFECTIVE WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTIVE WORK IN EXISTING CONSTRUCTION WITHIN THE LIMITS OF THE CONSTRUCTION AREA. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH NEW ADJACENT SURFACES.

9. PIPING

ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT AND COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.

10. FIXTURE REMOVAL

REMOVE MECHANICAL AND ELECTRICAL FIXTURES AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS.

11. COORDINATION

COORDINATE PLANS FOR NEW CONSTRUCTION W/ DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.

DEMOLITION NOTES

1. DRAWINGS SHOW THE INTENT OF THE ARCHITECTURAL DEMOLITION BASED ON PRELIMINARY FIELD INVESTIGATIONS. ADDITIONAL DEMOLITION MAY BE REQUIRED BASED ON THE DISCOVERY OF UNFORESEEN EXISTING CONDITIONS IN FIELD. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS BEFORE PROCEEDING.

2. SHORE, BRACE, UNDERPIN OR OTHERWISE SUPPORT STRUCTURE WHICH MAY BE TEMPORARILY WEAKENED BY DEMO WORK. DO NOT MODIFY, ALTER STRUCTURAL FRAMING OR STRUCTURAL MEMBERS WITHOUT THE APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER.

3. IN THE EVENT THAT HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION, DO NOT PROCEED AND NOTIFY THE OWNER. HAZARDOUS MATERIALS SHALL BE REMOVED BY THE OWNER.

4. ALL UNUSED UTILITIES SHALL BE CAPPED AND SHUT OFF PER CITY AND STATE REQUIREMENTS.

5. NO JACK HAMMERS ARE ALLOWED AT MASONRY OR CONCRETE WORK AREA WITHOUT THE APPROVAL OF THE ARCHITECT.

6. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE. EXISTING SURFACES DAMAGED OR NEWLY EXPOSED DURING PERFORMANCE OF DEMOLITION WORK SHALL BE PREPARED, PATCHED, AND FINISHED TO MATCH ADJACENT SURFACES WHERE APPLICABLE.

7. PREPARE FOR AND PROTECT THE SAFETY AND FUNCTION OF EXISTING SERVICES TO REMAIN DURING DEMOLITION AND CONSTRUCTION.

8. PROTECT ALL EXISTING FLOORS, WALLS, PARTITIONS, AND CEILINGS TO REMAIN.

9. REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL RUBBISH, DEMOLITION MATERIALS AND DEBRIS CAUSED BY DEMOLITION.

10. REMOVE TEMPORARY PARTITIONS DOORS AND FRAMES AT THE CONCLUSION OF THE PROJECT. PATCH AND OR REPLACE ADJACENT SURFACES.

11. DEMOLISH AND REMOVE PARTITIONS, FINISHES, EQUIPMENT AND MATERIALS WHICH ARE INDICATED FOR DEMOLITION OR REQUIRED TO BE REMOVED IN ORDER TO PERMIT CONSTRUCTION.

12. FLOORS THAT ARE TO ACCEPT NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES. DO NOT DAMAGE GWB ABOVE BASE IN AREAS TO REMAIN.

13. DIMENSIONED AREAS OF PARTITIONS TO BE REMOVED ARE FOR FUTURE OPENINGS. ACTUAL OPENING SIZE MAY VARY DEPENDING ON EXISTING PARTITION FRAMING. THE OPENING IS ASSUMED TO BE AS LARGE AS REQUIRED TO MEET THE NEW OPENING FRAME OR OPENING SIZE.

14. VERIFY IN FIELD ALL EXISTING CONDITIONS AND DIMENSIONS, TYPICAL.

15. THESE DOCUMENTS INTEND TO ILLUSTRATE THE SCOPE OF DEMOLITION. ANY ITEM FOUND ON THE SITE IN AN AREA TO BE DEMOLISHED OR CONNECTED TO AN ITEM TO BE REMOVED IS ALSO TO BE REMOVED UNLESS IT EITHER A) SUPPORTS AN EXISTING ITEM OR B) WILL SUPPORT A PROPOSED ITEM.

WINDOW/DOOR NOTES

1. CONTRACTOR TO CONFIRM ALL R.O. SIZES & INSTALL PER MANUFACTURER INSTRUCTIONS. ALL WINDOWS AND DOORS IN ARCH. DRAWINGS ARE NOMINAL DIMENSIONS.

2. ALL WINDOWS ARE TO BE TEMPERED WHEN ADJACENT TO AN EXTERIOR SWINGING DOOR OR BELOW 18" A.F.F. OR WITHIN 5'-0" TO A SHOWER OR BATHTUB.

3. CONTRACTOR TO VERIFY NEW WINDOW SIZES WITH EXISTING CONDITIONS.

4. ALL WINDOWS AND DOORS MUST MEET FENESTRATION U-FACTOR OF .32 PER MASSACHUSETTS STRETCH ENERGY CODE.

5. INSTALL ICE AND WATER SHIELD AROUND ALL WINDOW OPENINGS AS PER MANUFACTURER'S RECOMMENDATION.

6. OWNER TO SELECT DOOR/WINDOW HARDWARE & ALL INTERIOR HARDWARD. CONTRACTOR TO COORDINATE.

7. OWNER TO SELECT EXTERIOR AND INTERIOR DOOR/WINDOW TRIM, STYLE, AND/OR FINISHES. FOR RENOVATIONS WHERE EXISTING DOORS AND WINDOWS ARE TO REMAIN, NEW DOORS AND WINDOWS ARE INTENDED TO MATCH. CONTRACTOR TO COORDINATE.

8. EGRESS WINDOWS - EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ FT. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES. SINGLE-HUNG AND DOUBLE-HUNG WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 3.3 SQ FT. THE MINIMUM NET CLEAR OPENING DIMENSIONS SHALL BE 20 INCHES BY 24 INCHES IN EITHER DIRECTION.

9. PROVIDE WINDOW OPENING LIMITING DEVICES AT WINDOWS MORE THAN 6'-0" ABOVE GROUND.

CODE SUMMARY

APPLICABLE CODES AND STANDARDS

BUILDING CODE:
780 CMR THE MASSACHUSETTS STATE BUILDING CODE – NINTH EDITION

STUCTURAL CODE:
780 CMR THE MASSACHUSETTS STATE BUILDING CODE – NINTH EDITION

FIRE CODE:
527 CMR 1.00: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE

MECHANICAL CODE:
INTERNATIONAL MECHANICAL CODE – 2015 EDITION

PLUMBING CODE:
248 CMR MASSACHUSETTS STATE PLUMBING CODE

ELECTRICAL CODE:
NFPA 70-2020 WITH 527 CMR CHAPTER 12 MASSACHUSETTS ELECTRICAL CODE AMENDMENTS

ENERGY CODE:
780 CMR THE MASSACHUSETTS STATE BUILDING CODE – NINTH EDITION, CHAPTER 13, 2021 INTERNATIONAL ENERGY CONSERVATION CODE WITH 2023 MASSACHUSETTS AMENDMENTS.

ACCESSIBILITY:
521 CMR ARCHITECTURAL ACCESS BOARD RULES AND REGULATIONS

GRAPHIC LEGEND

	FIRE SEPERATION
	RATED WALL - 1 HR
	NEW WALL
	EXISTING WALL
	DEMOLISHED WALL
	EXISTING DOOR
	NEW DOOR
	BUILDING ELEVATION TAG
	SECTION TAG
	INTERIOR ELEVATION TAG
	DOOR TAG
	WINDOW TAG
	REVISION & NUMBER
	SPOT ELEVATION
	CENTER LINE
	SMOKE DETECTOR
	SMOKE AND CARBON MONOXIDE DETECTOR
	EXIT SIGN
	EMERGENCY LIGHT
	FIRE EXTINGUISHER

ABBREVIATIONS

#	Pound OR Number
&	And
@	At
ACT	Acoustic Ceiling Tile
AD	Area Drain
AFF	Above Finished Floor
ALUM	Aluminum
ANDD	Anodized
BSMT	Basement
BYND	Beyond
BOT	Bottom
CIP	Cast In Place
CHNL	Channel
CJ	Control Joint
CL	Center Line
CLG	Ceiling
CLR	Clear
CMU	Concrete Masonry Unit
COL	Column
COMPR	Compressible
CONC	Concrete
CONT	Continuous
CPT	Carpet
CT	Ceramic Tile
CTYD	Courtyard
DBL	Double
DEMO	Demolish or Demolition
DIA	Diameter
DIM	Dimension
DIMS	Dimensions
DN	Down
DR	Door
DWG	Drawing
EA	Each
EJ	Expansion Joint
EL	Elevation
ELEC	Electrical
ELEV	Elevator or Elevation
EPOM	Ethylene Propylene Diene M-Class (Roofing)
EQ	Equal
EXIST	Existing
EXP JT	Expansion Joint
EXT	Exterior
FD	Floor Drain or Fire Department
FEC	Fire Extinguisher Cabinet
FF	Finished Face or Finished Floor
FFL	Finished Floor Level
FIXT	Fixture
FLR	Floor
FM	Filled Metal
FO	Fase Of
FND	Foundation
GA	Gauge
GALV	Galvanized
GWB	Gypsum Wall Board
HC	Hollow Core
HI	High
HM	Hollow Metal
HP	High Point
HR	Hour
HVAC	Heating, Ventilating, And Air Conditioning
IRGWB	Impact Resistant Gypsum Wall Board
IL	In Lieu Of
INSUL	Insulated or Insulation
INT	Interior
LO	Low
MAX	Maximum
MO	Masonry Opening
MECH	Mechanical
MEMBR	Membrane
MIN	Minimum
MRGWB	Moisture-Resistant Gypsum Wall Board
MTL	Metal
NIC	Not In Contract
NO	Number
NOM	Normal
OC	On Center
OH	Overhang or Opposite Hand
OPP	Opposite or Opposite Hand
OZ	Ounce
POC	Pre-Cast Concrete
PLUMB	Plumbing
PLYD	Plywood
PT	Pressure Treated
PNT	Paint or Painted
PVC	Polyvinyl Chloride
RBR	Rubber
RCP	Reflected Ceiling Plan
RD	Roof Drain
REQD	Required
RM	Room
SIM	Similar
SD	Smoke Detector
SPFC	Specified OR Specification
SPK	Sprinkler or Speaker
SSTL	Stainless Steel
STL	Sound Transmission Coefficient
STRUCT	Structure or Structural
T&G	Tongue And Groove
TELE	Telephone
TLT	Toilet
TME	To Match Existing
TO	Top Of
TOC	Top Of Concrete
TOS	Top Of Steel
TPD	Toilet Paper Dispenser
T/D	Telephone/Data
TYP	Typical
UNO	Unless Noted Otherwise
U/S	Underside
VIF	Verify In Field
VP	Vision Panel
W/	With
WO	Wood

OWNER

103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



103 THORNDIKE TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
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KEY PLAN

DRAWN BY	Author
CHECKED BY	Checker
SHEET ISSUE DATE	09/17/24
SCALE	As indicated

SHEET NAME

COVER & GENERAL NOTES

.G100

OWNER

103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

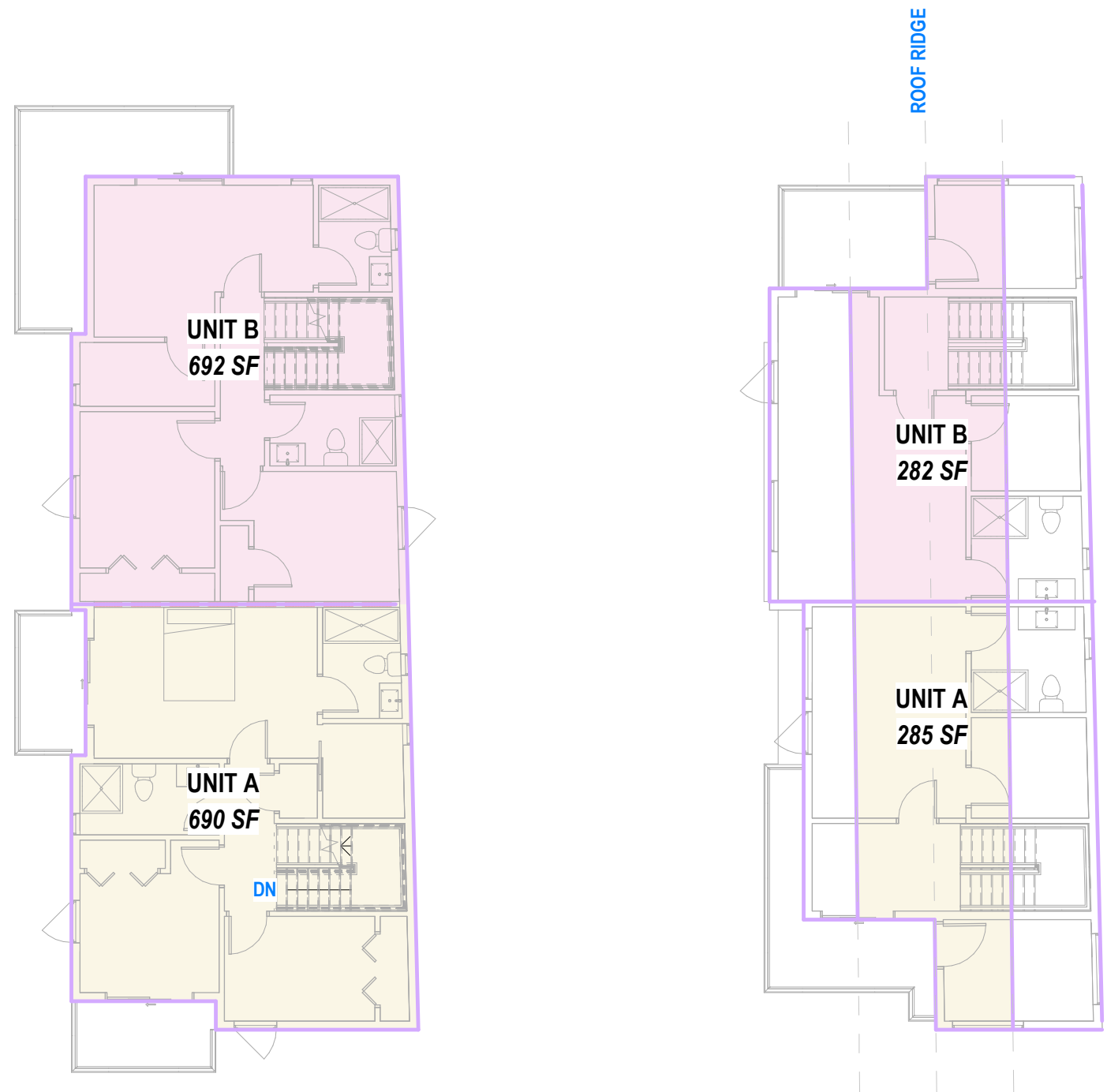
STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA

ZONING COMPLIANCE TABLE						
ZR	Item/Description	Existing	Permitted / Required	Proposed	Complan...	Notes
	USES	1 FAMILY	2-FAMILY	2-FAMILY		
	FAR	-	-	-		
	FLOOR AREA	1,263 SF	-	3,470 SF		BASEMENT AND CEILING UNDER 7" EXCLUDED
	LOT SIZE	4377.6 SF	4377.6 SF	4377.6 SF		
	LOT COVERAGE	23.6%	35%	33.5%		
	PARKING	2	2	2		DRIVEWAY
SETBACK & HEIGHT	NORTH	47.8'	20.0'	20.0'		
	EAST	6.6'	10.0'	10.0'		
	SOUTH (STREET)		20.0'	20.0'		
	WEST	11.9'	10.0'	10.0'		
	MAX BUILDING HEIGHT	-	35'	35'		

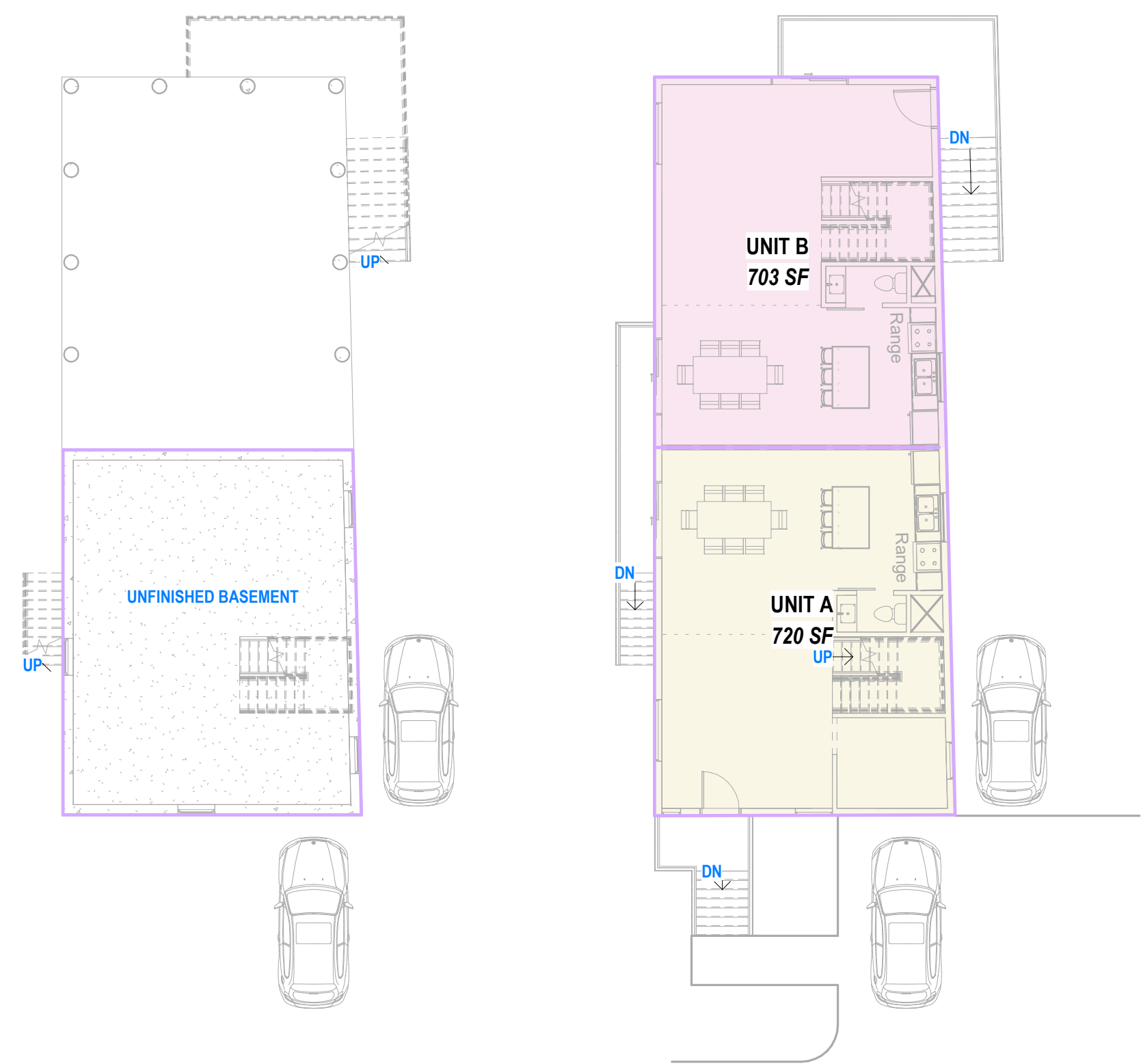
GROSS FLOOR AREA, PROPOSED		
Name	Level	Area
UNIT A	LEVEL 1	720 SF
UNIT A	LEVEL 2	690 SF
UNIT A	LEVEL ATTIC	285 SF
		1694 SF
UNIT B	LEVEL 1	703 SF
UNIT B	LEVEL 2	692 SF
UNIT B	LEVEL ATTIC	282 SF
		1677 SF
Grand total		3372 SF

GROSS FLOOR AREA, PROPOSED BY LEVEL		
Level	Name	Area
LEVEL 1	UNIT A	720 SF
LEVEL 1	UNIT B	703 SF
		1423 SF
LEVEL 2	UNIT A	690 SF
LEVEL 2	UNIT B	692 SF
		1382 SF
LEVEL ATTIC	UNIT A	285 SF
LEVEL ATTIC	UNIT B	282 SF
		566 SF
Grand total		3372 SF



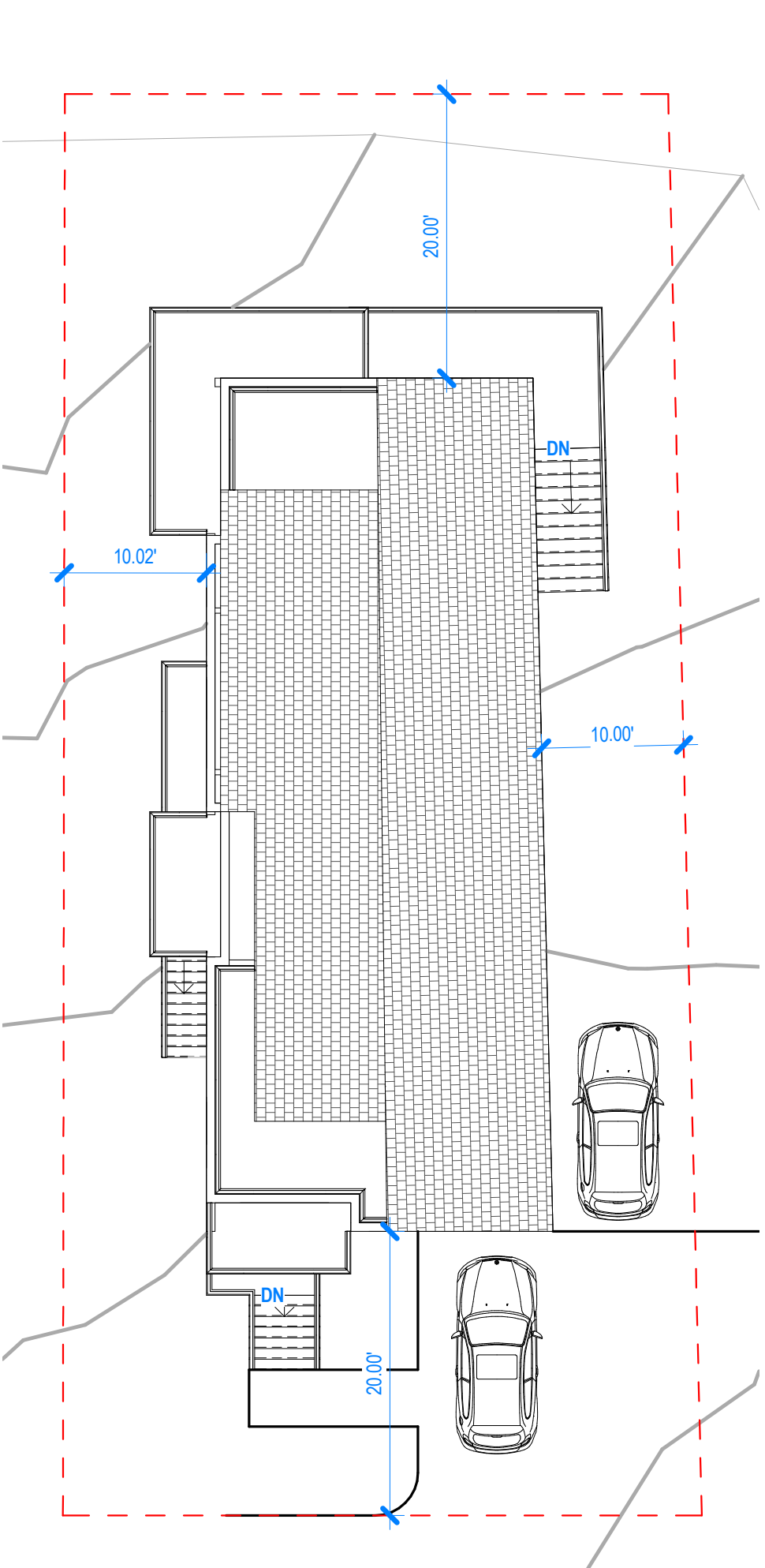
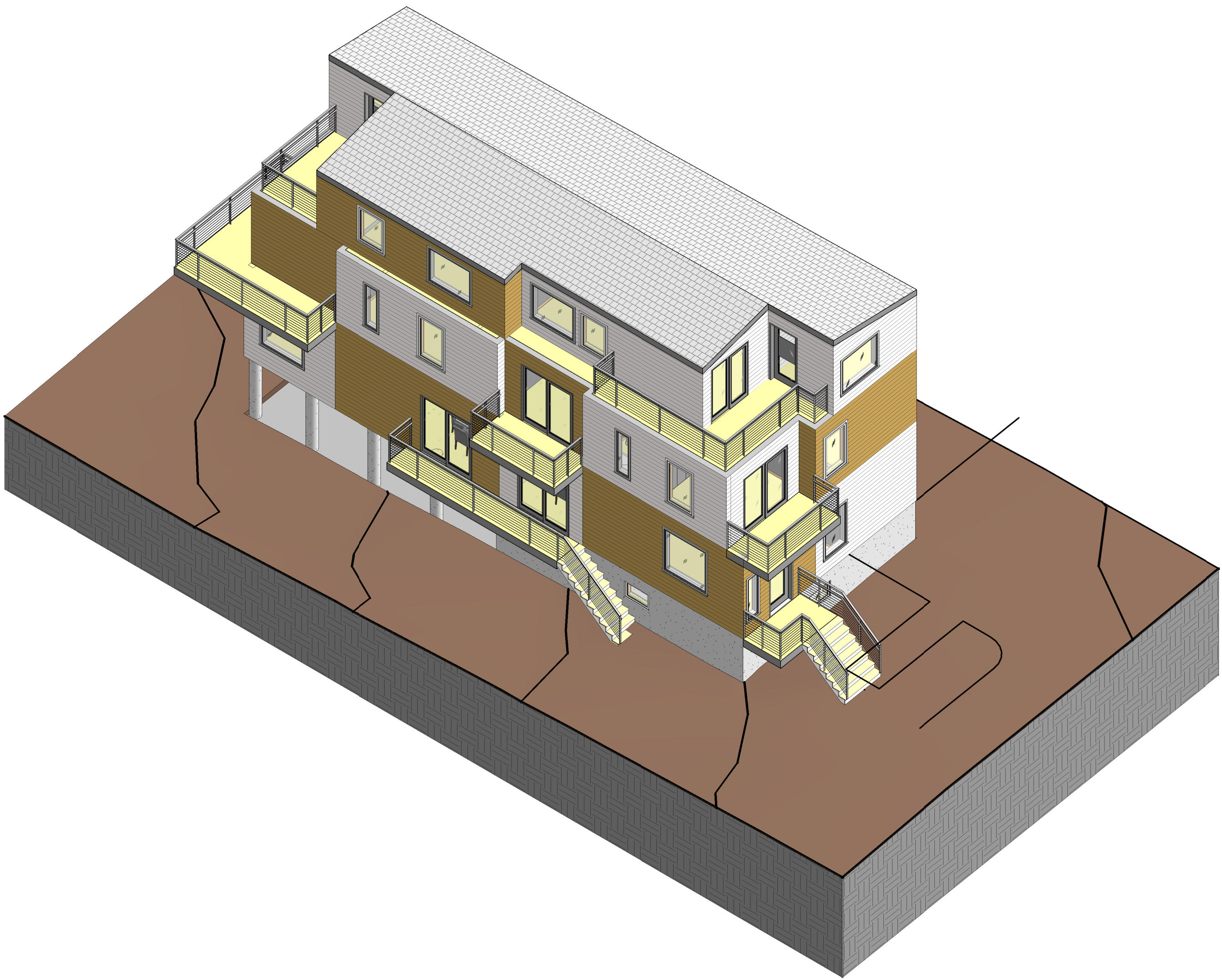
3 LEVEL 2 GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"

4 LEVEL ATTIC GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"

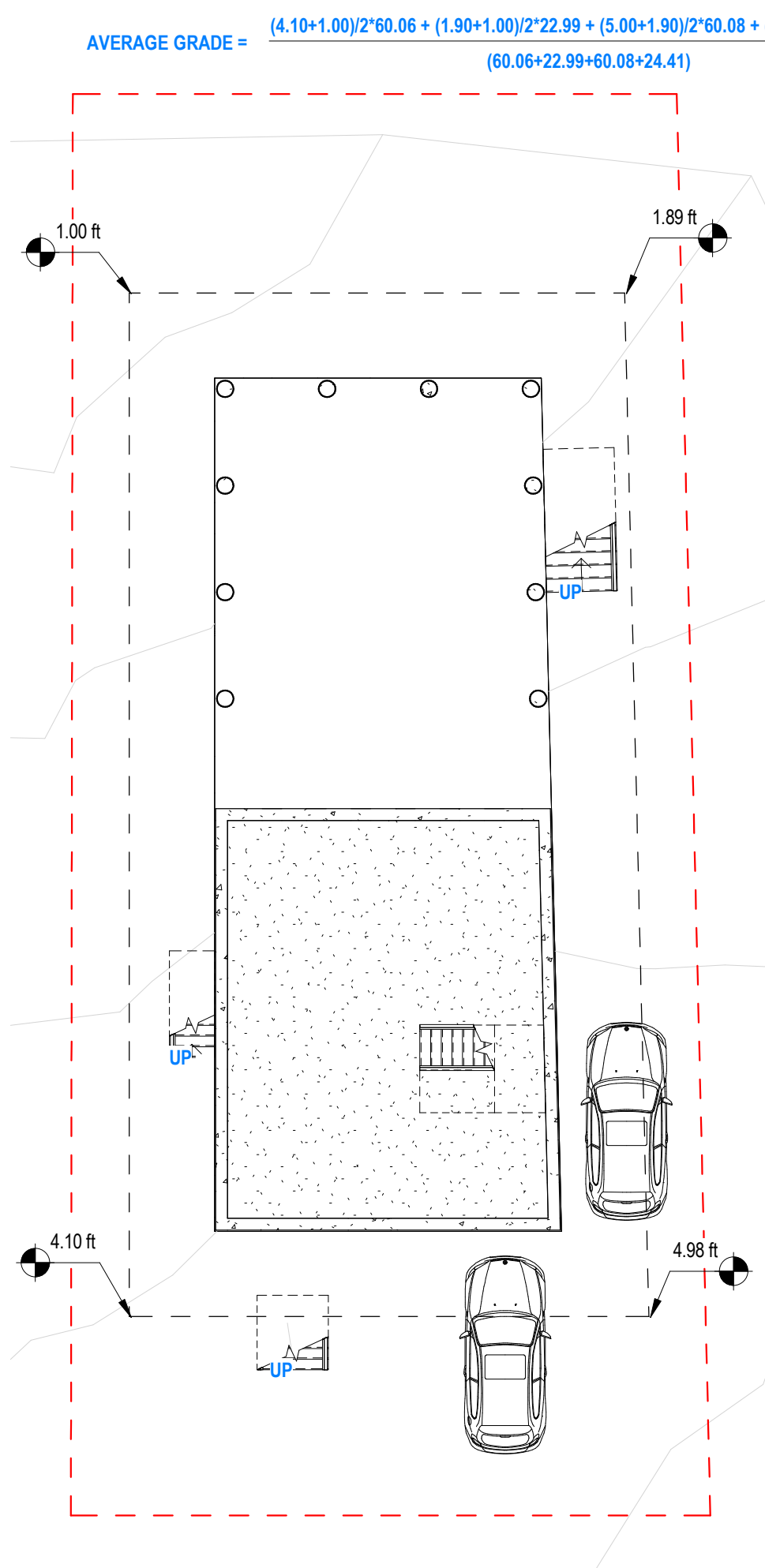


1 LEVEL 0 GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"

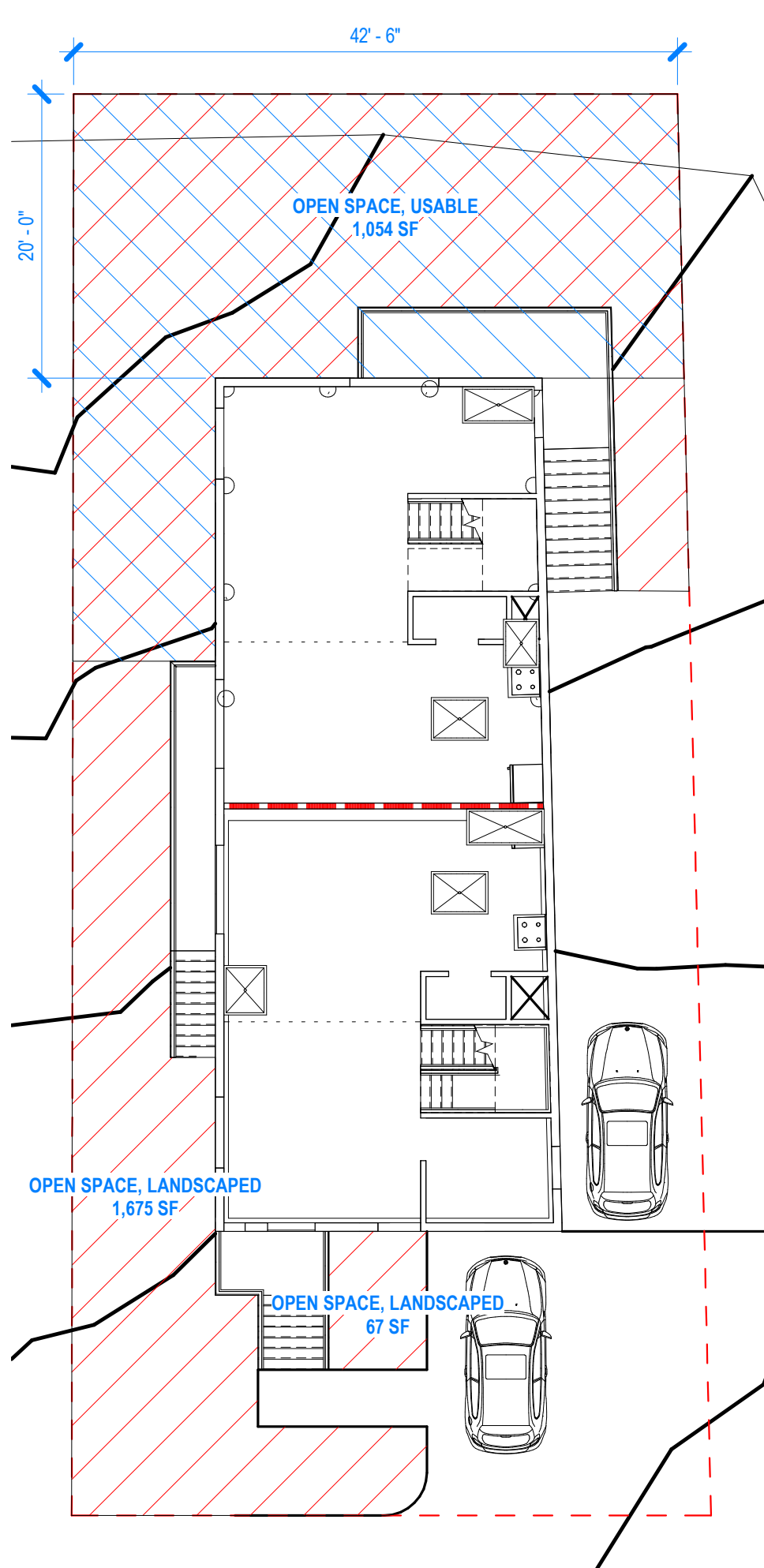
2 LEVEL 1 GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"



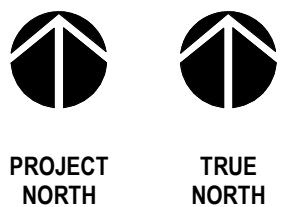
5 SITE PLAN, PROPOSED
3/32" = 1'-0"



6 AVERAGE GRADE CALCULATION
3/32" = 1'-0"



7 OPEN SPACE, PROPOSED
3/32" = 1'-0"



103 THORNDIKE TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
KEY PLAN		

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE
0 8'-0" 16'-0" 32'-0"
SCALE: 3/32" = 1'-0"

SHEET NAME
**ZONING,
SITE &
AREA**

.G200

OWNER

103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA

PFS Land
Surveying, Inc.

20 Blach Avenue
Grovecland, MA 01834
P-978.891.5203
www.pfsland.com

LEGEND

BM #	BENCHMARK
CB	BOUND (CONC, STONE, LAND COURT, ETC.)
CB	CATCH BASIN - SQUARE
CB	CATCH BASIN - ROUND
DSK	DISK (CAT, USC&GS, LAND COURT, ETC.)
DH	DRILL HOLE
DMH	DRAIN MANHOLE
RD	ROOF DRAIN
EH	ELECTRIC HANDHOLE
EM	ELECTRIC MANHOLE
EM	ELECTRIC METER
GG	GAS GATE
GM	GAS METER
HS	HANDICAP SYMBOL
W	GUY WIRE ANCHOR
FD	FIRE HYDRANT
L	LIGHT
OW	OVERHEAD WIRE
RB	REBAR MARKER
MB	MAIL BOX
OMH	OTHER MANHOLE
SMH	SEWER MANHOLE
TMH	TELEPHONE MANHOLE
S	SIGN
ULT#	UTILITY POLE W/ LIGHT
UPL#	UTILITY POLE
WG	WATER GATE
WSO	WATER SHUTOFF
BIT	BITUMINOUS
CONC	CONCRETE
CLF	CHAIN LINK FENCE
CT	CONIFEROUS TREE
DT	DECIDUOUS TREE
DYL	DOUBLE YELLOW LINE
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FF	FINISHED FLOOR
FNC	FENCE
LSA	LANDSCAPE AREA
OH	OVERHANG
RET	RETAINING
RW	RETAINING WALL
SGC	SLOPED GRANITE CURB
SWL	SINGLE WHITE LINE
TYP	TYPICAL
VGC	VERTICAL GRANITE CURB
WD	WOOD

No.	Revision	Date	Appr.
Designed by	BGP	Drawn by	BGP
CAD checked by	BGP	Approved by	BGP
Scale	1"=10'	Date	11/16/2023

Project Title
Existing Conditions

Plan of Land

103 Thorndike Street

Arlington, MA 02474

Issued for
Review

Drawing Title

Plot Plan

Drawing Number

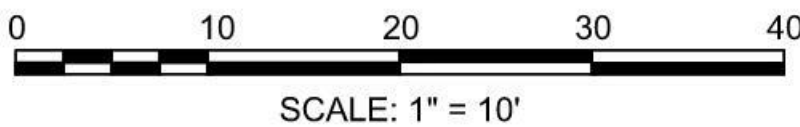
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Sheet

1 of 1

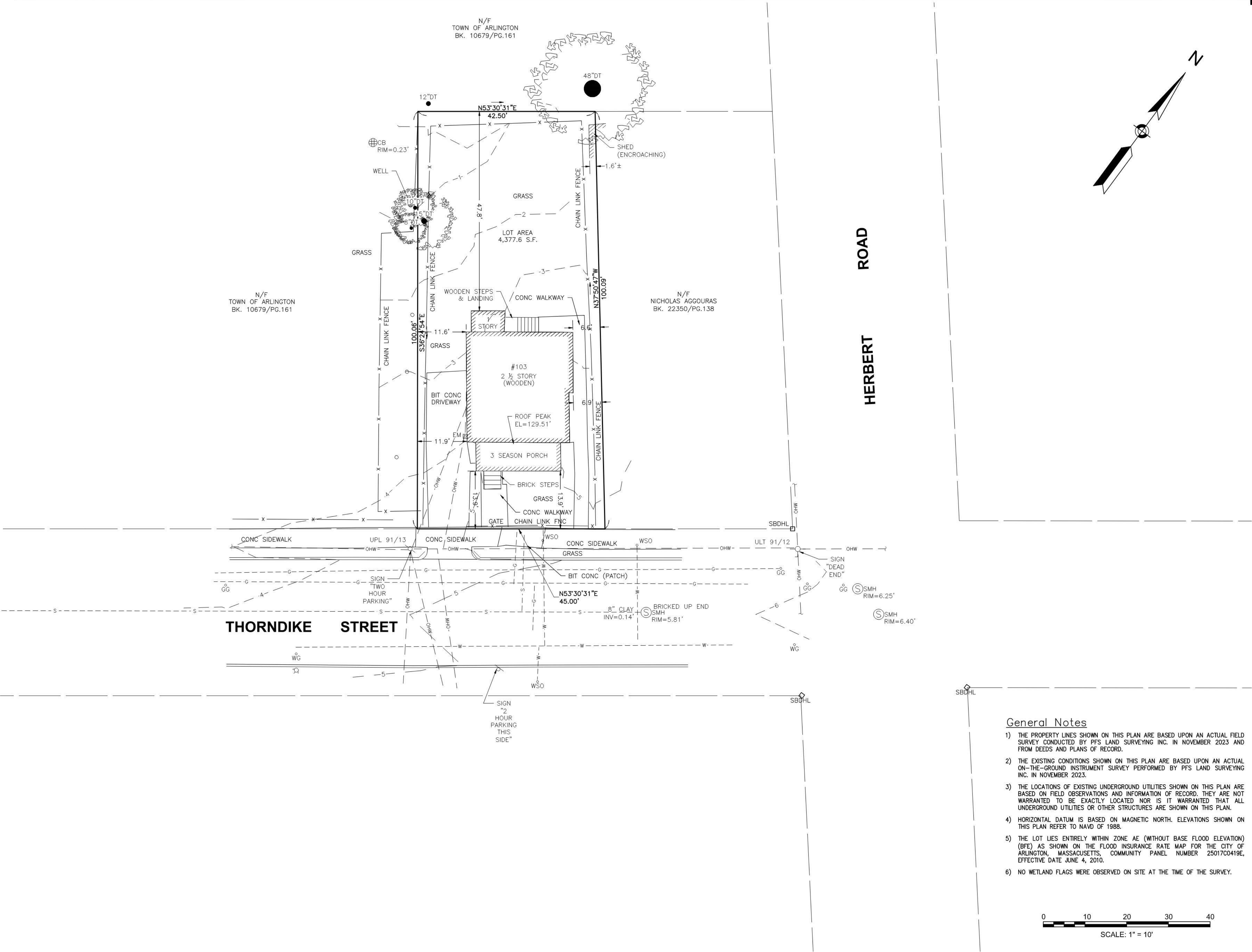
Project Number

23141



General Notes

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023 AND FROM DEEDS AND PLANS OF RECORD.
- THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- HORIZONTAL DATUM IS BASED ON MAGNETIC NORTH. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- THE LOT LIES ENTIRELY WITHIN ZONE AE (WITHOUT BASE FLOOD ELEVATION) (BFE) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF ARLINGTON, MASSACHUSETTS, COMMUNITY PANEL NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010.
- NO WETLAND FLAGS WERE OBSERVED ON SITE AT THE TIME OF THE SURVEY.



103 THORNDIKE
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO. DESCRIPTION DATE

KEY PLAN

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

Author
Checker
09/17/24

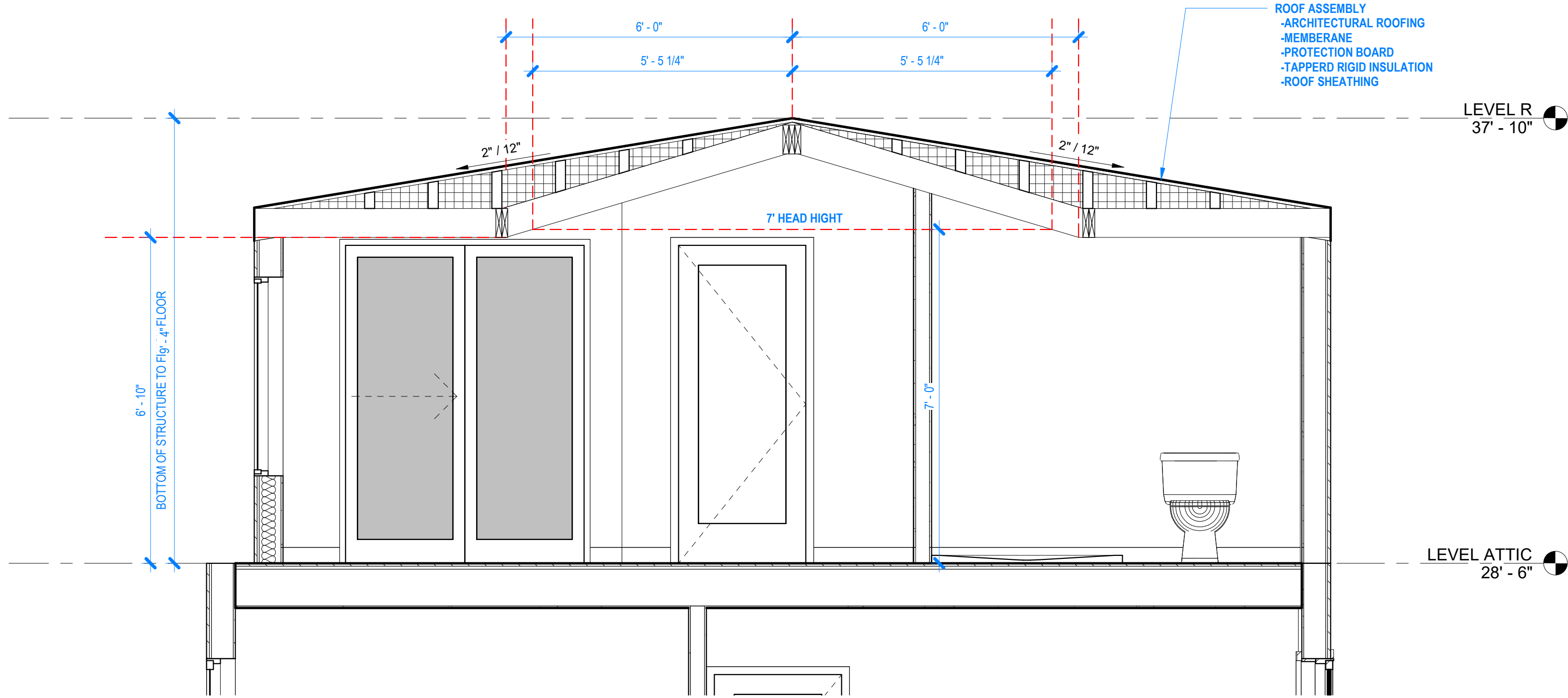
SHEET NAME
LAND
SURVEY

.G300

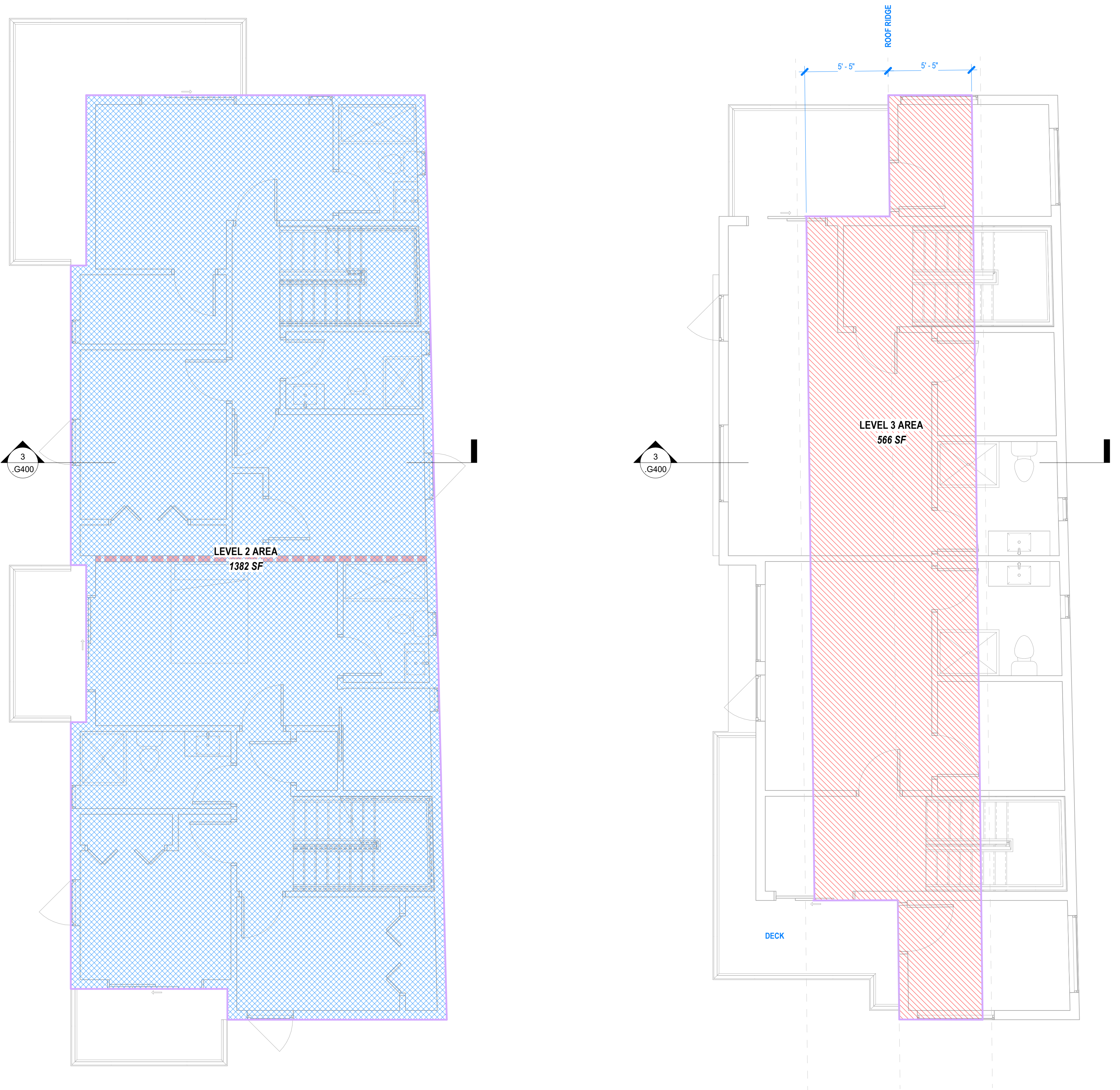
ATTIC SQUARE FOOTAGE:

TOTAL 2ND FLOOR FOOTPRINT = 1,382 SQUARE FEET
ALLOWABLE SQUARE FOOTAGE > 7'-0" = 691 SQUARE FEET

(50% OF TOTAL FOOTPRINT)
PROPOSED SQUARE FOOTAGE > 7'-0" = 566 SQUARE FEET



3 SECTION ATTIC
1/2" = 1'-0"



1 LEVEL 2 - FLOOR AREA
1/4" = 1'-0"

2 LEVEL ATTIC - FLOOR AREA
1/4" = 1'-0"

OWNER
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT
YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBBURN, MA

STRUCTURAL ENGINEER
AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



103 THORNDIKE
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY Author
CHECKED BY Checker
SHEET ISSUE DATE 09/23/24
SCALE As indicated

SHEET NAME
ATTIC GSF
CALCULATIONS

OWNER

103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



103 THORNDIKE
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

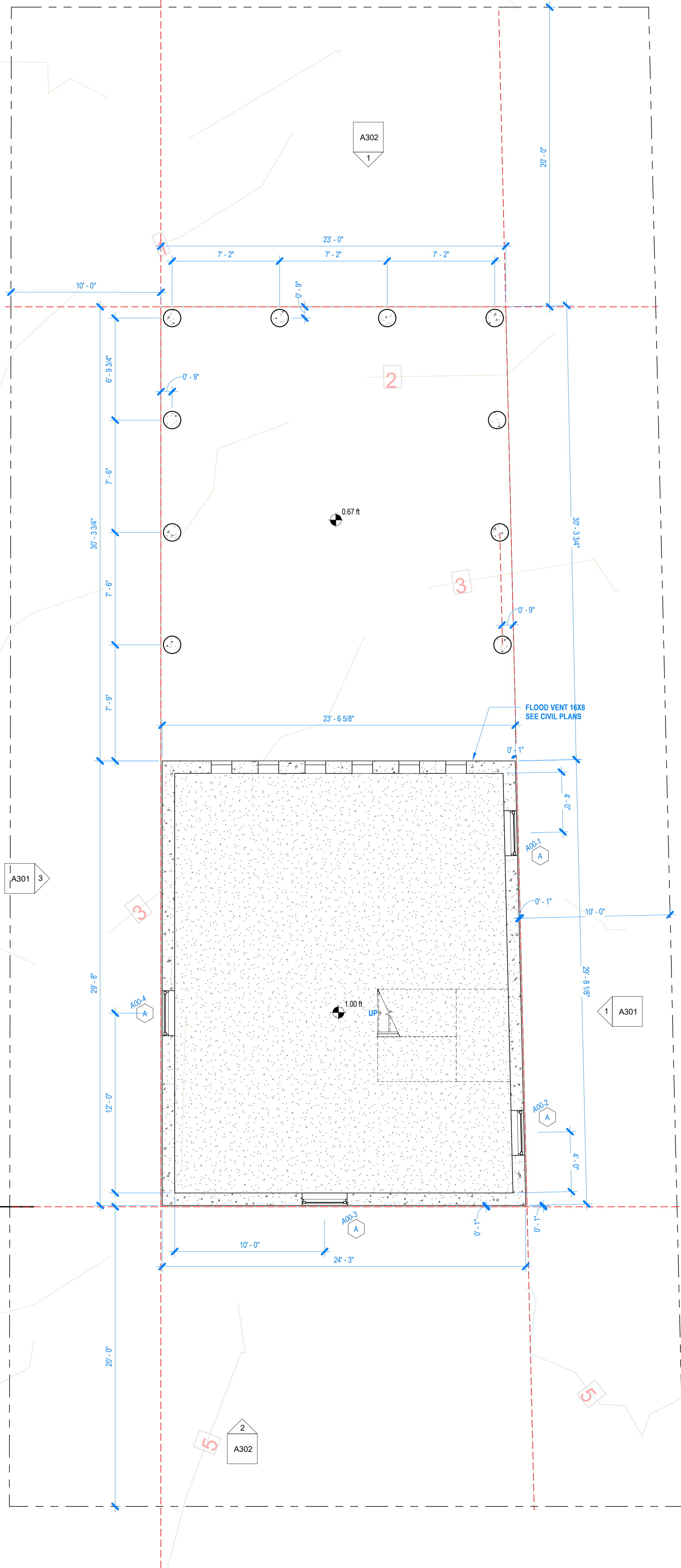
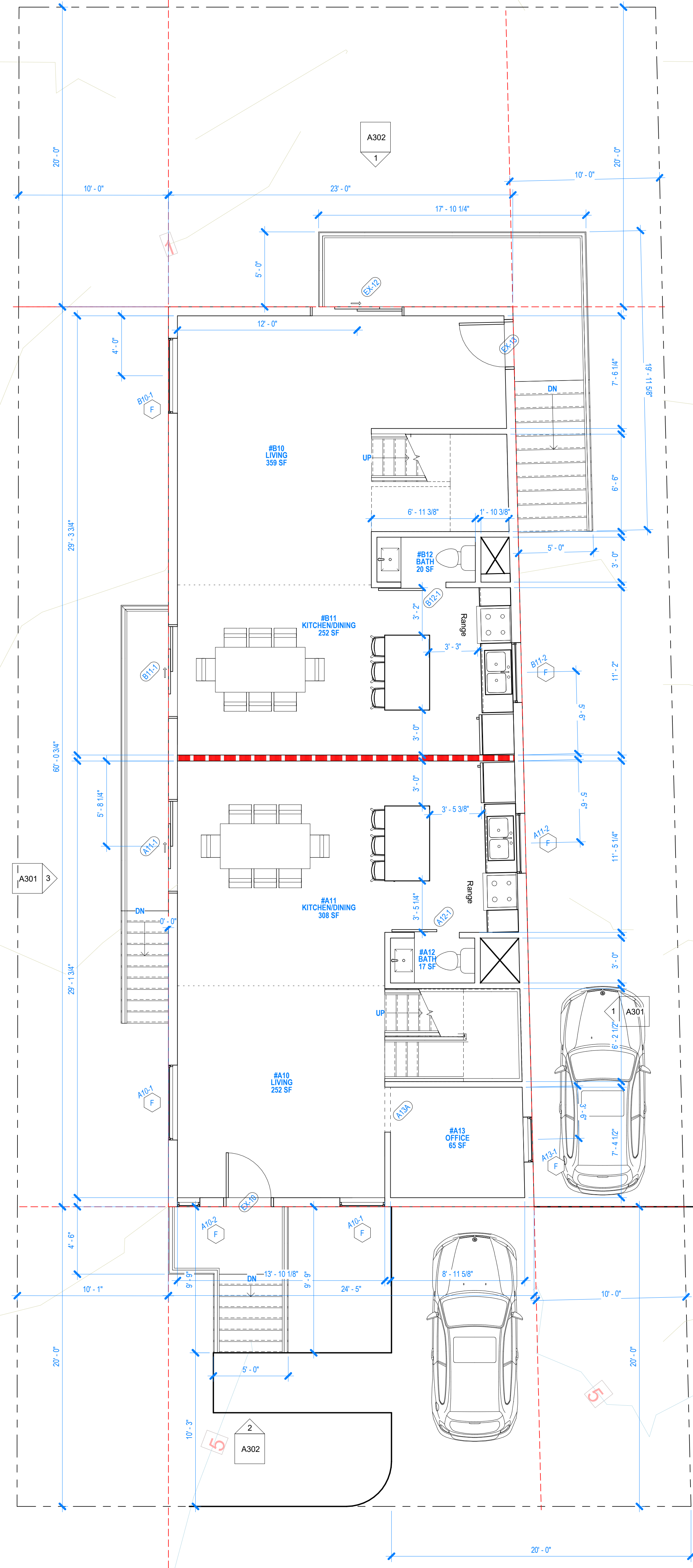
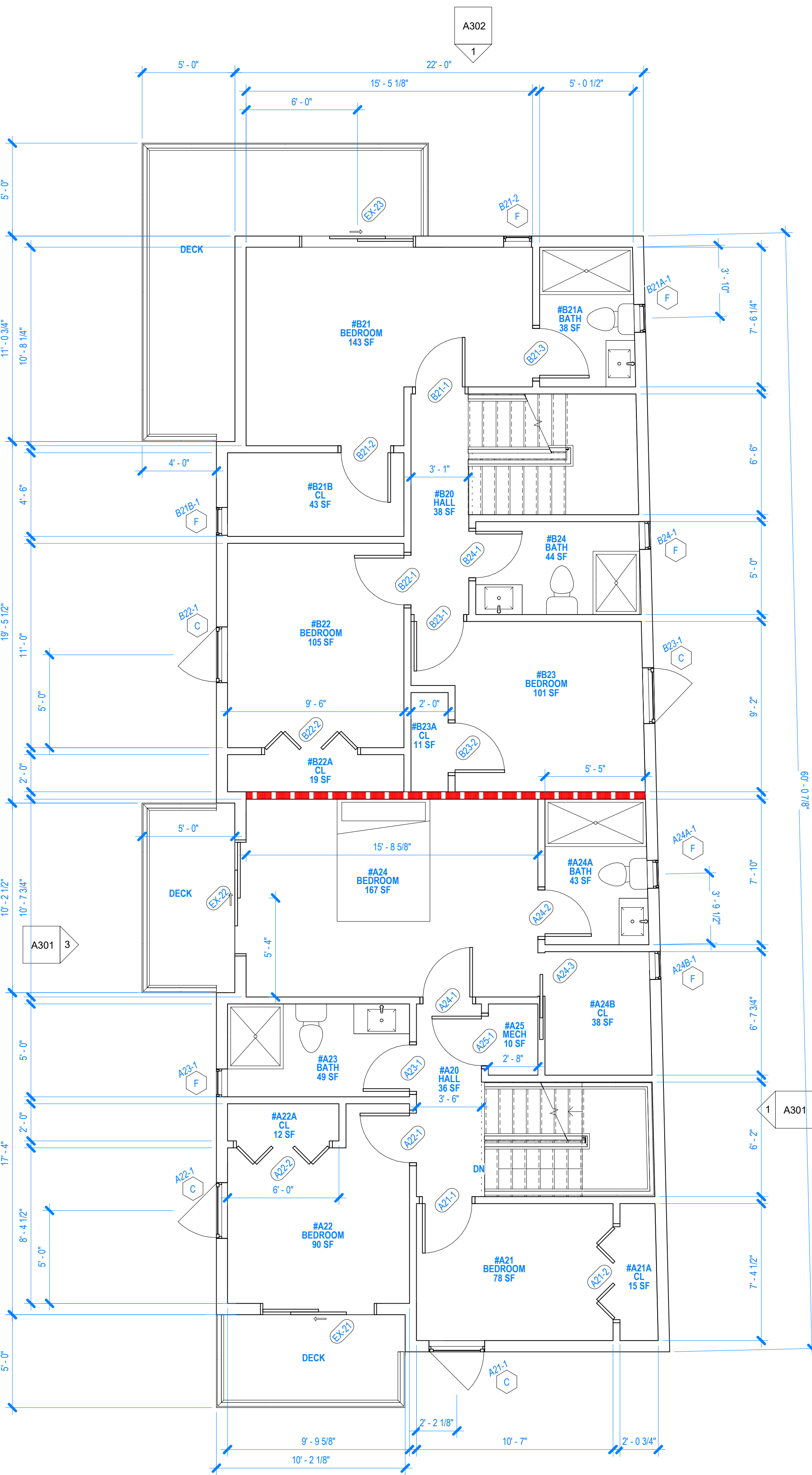
Author
Checker
09/17/24
1/4" = 1'-0"

0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0"

SHEET NAME

FLOOR
PLANS

A201



1 LEVEL 2 FLOOR PLAN, PROPOSED
1/4" = 1'-0"

2 LEVEL 1 FLOOR PLAN, PROPOSED
1/4" = 1'-0"

3 LEVEL 0 FLOOR PLAN, PROPOSED
1/4" = 1'-0"

OWNER
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT
YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

STRUCTURAL ENGINEER
AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



103 THORNDIKE
TOWNHOUSES

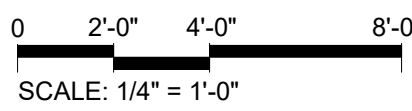
PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

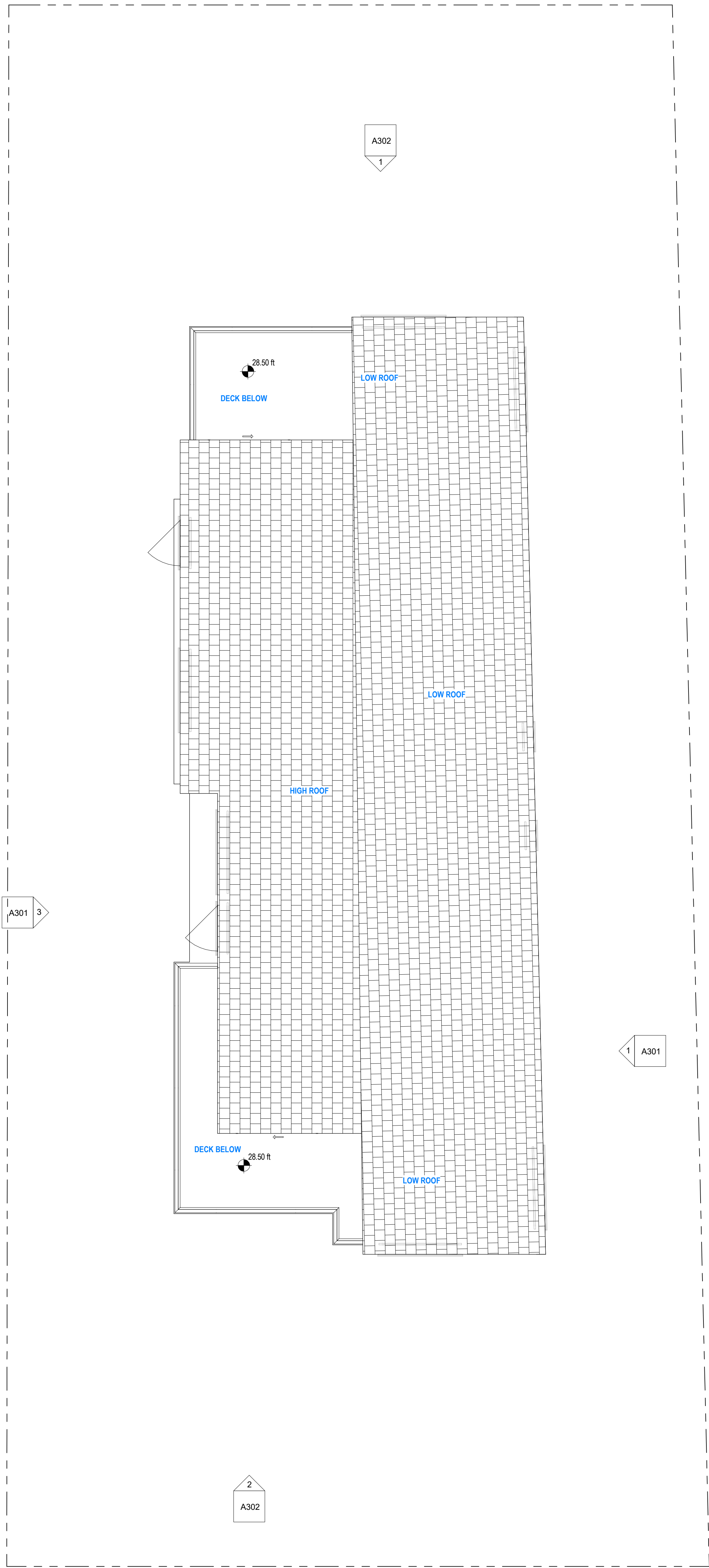
Author
Checker
09/17/24
1/4" = 1'-0"



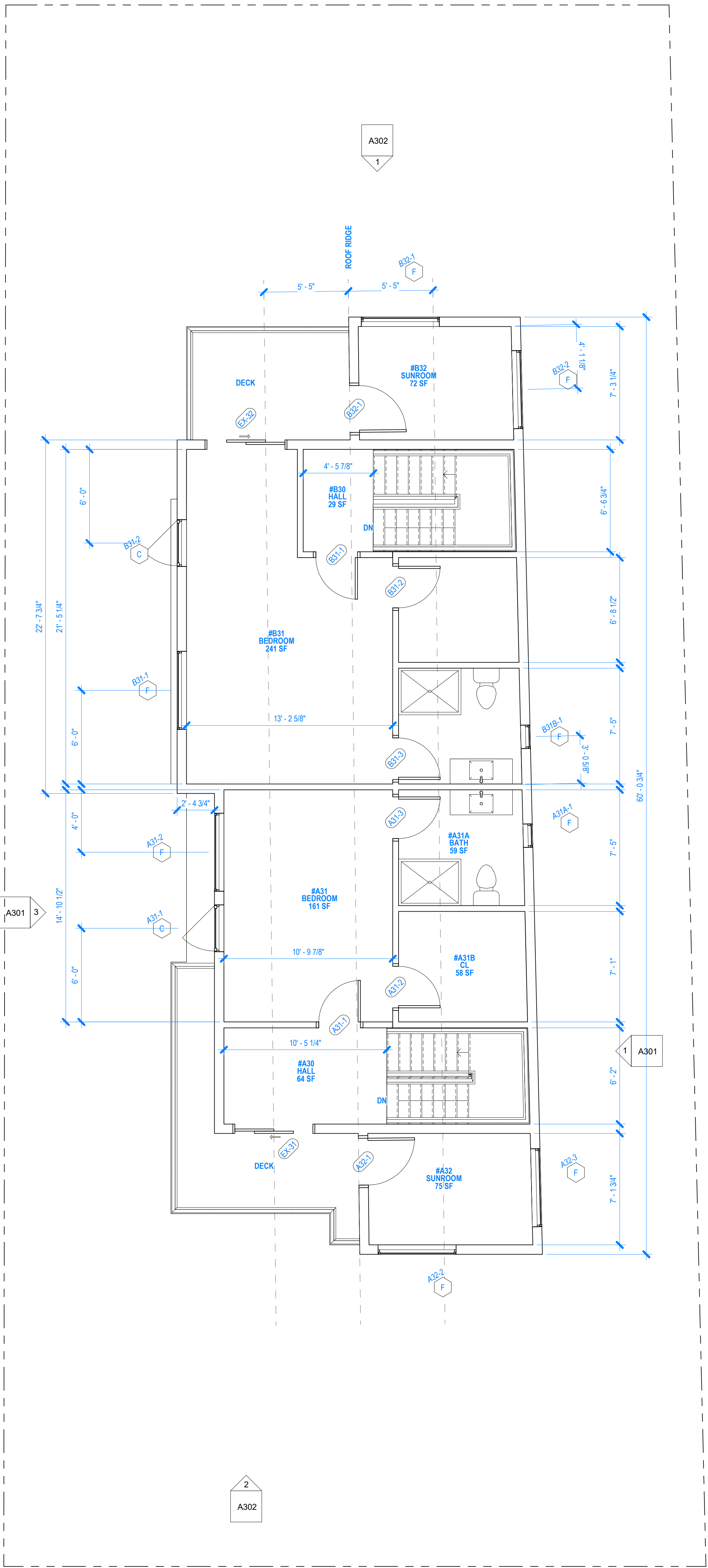
SHEET NAME

FLOOR
PLANS

A202



2 LEVEL R FLOOR PLAN, PROPOSED
1/4" = 1'-0"



1 LEVEL ATTIC FLOOR PLAN, PROPOSED
1/4" = 1'-0"

OWNER

103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



103 THORNDIKE
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

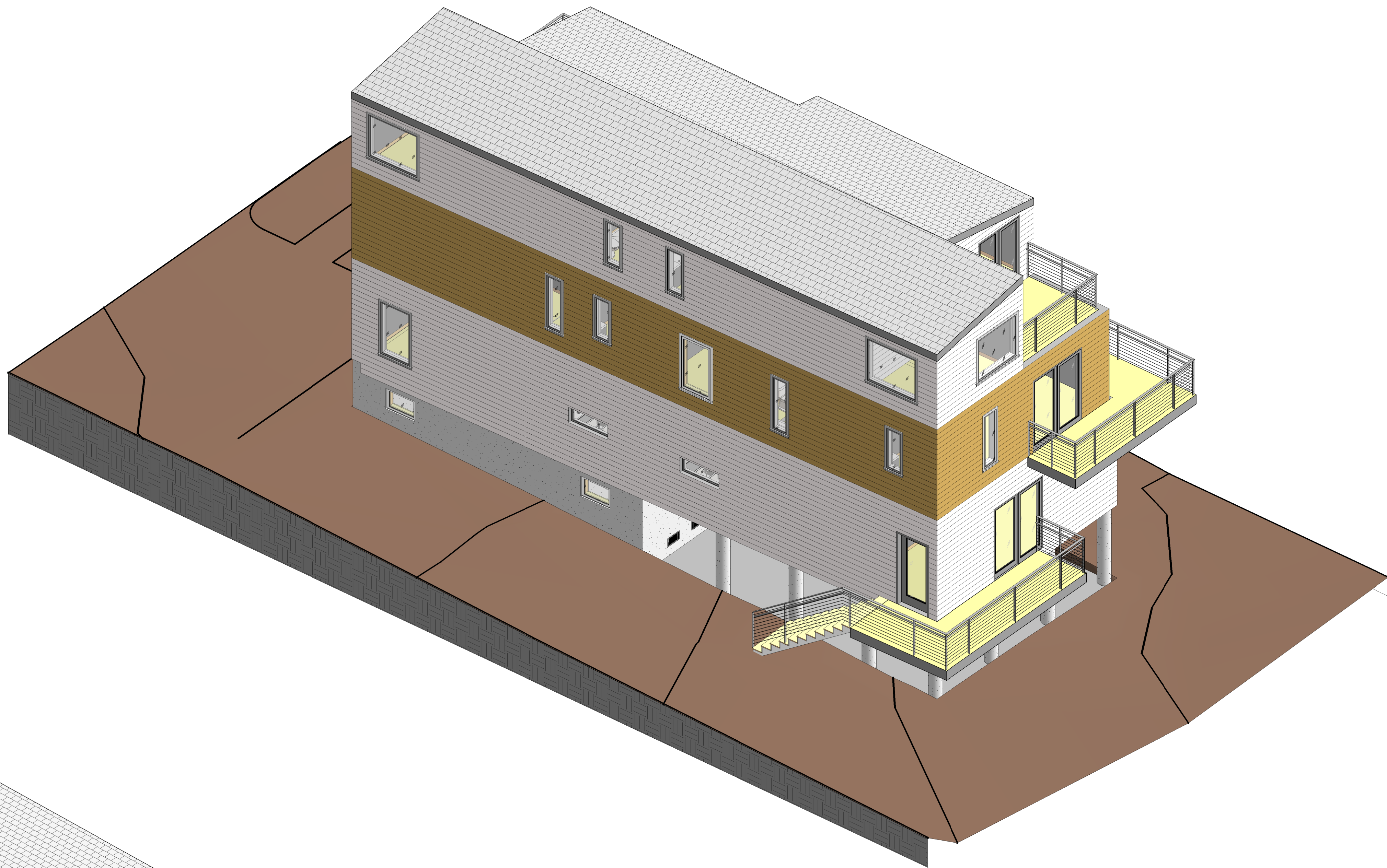
NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY Author
CHECKED BY Checker
SHEET ISSUE DATE 09/17/24
SCALE

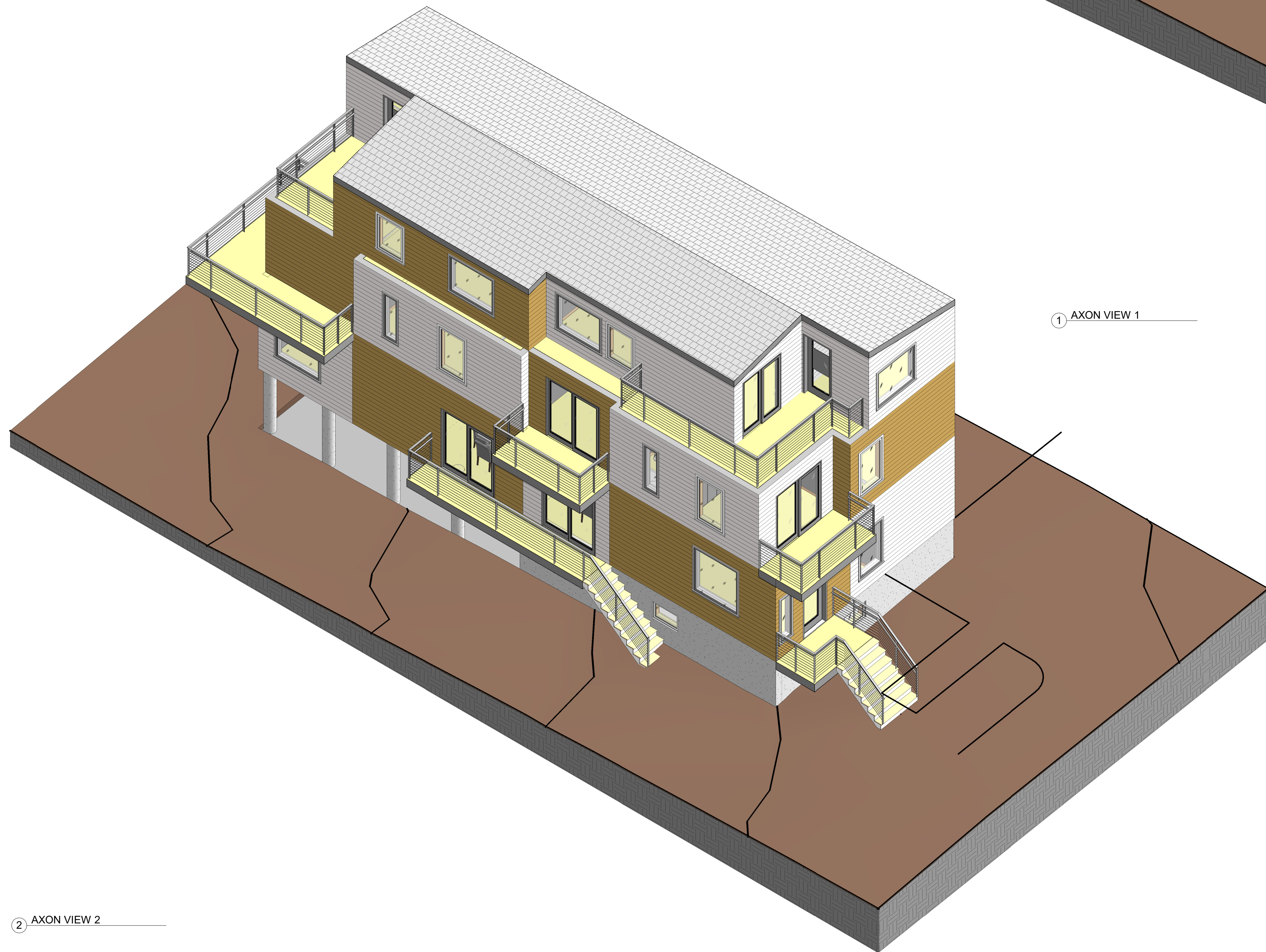
SHEET NAME

RENDERINGS

A300



1 AXON VIEW 1



2 AXON VIEW 2

OWNER

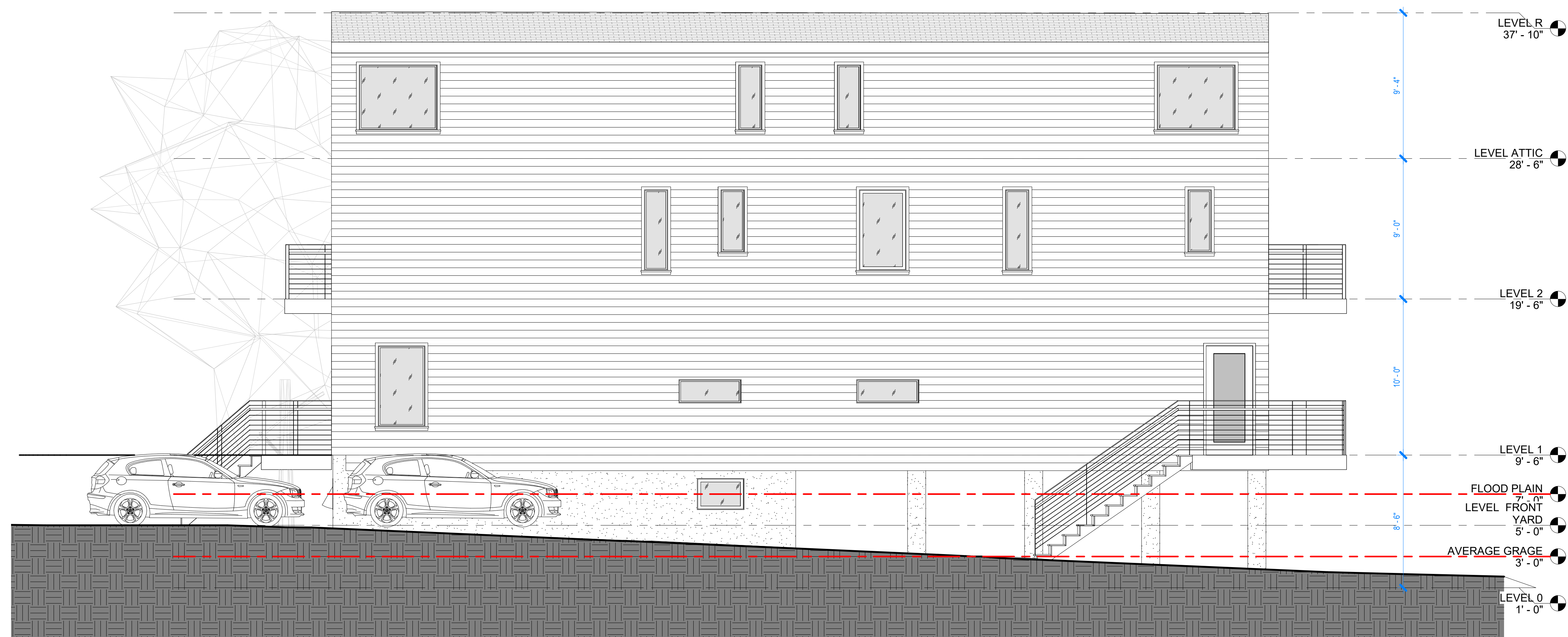
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



① BUILDING ELEVATION EAST, PROPOSED
1/4" = 1'-0"



③ BUILDING ELEVATION WEST, PROPOSED
1/4" = 1'-0"



103 THORNDIKE TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY	Author
CHECKED BY	Checker
SHEET ISSUE DATE	09/17/24
SCALE	1/4" = 1'-0"

0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0"

SHEET NAME ELEVATIONS

A301

OWNER

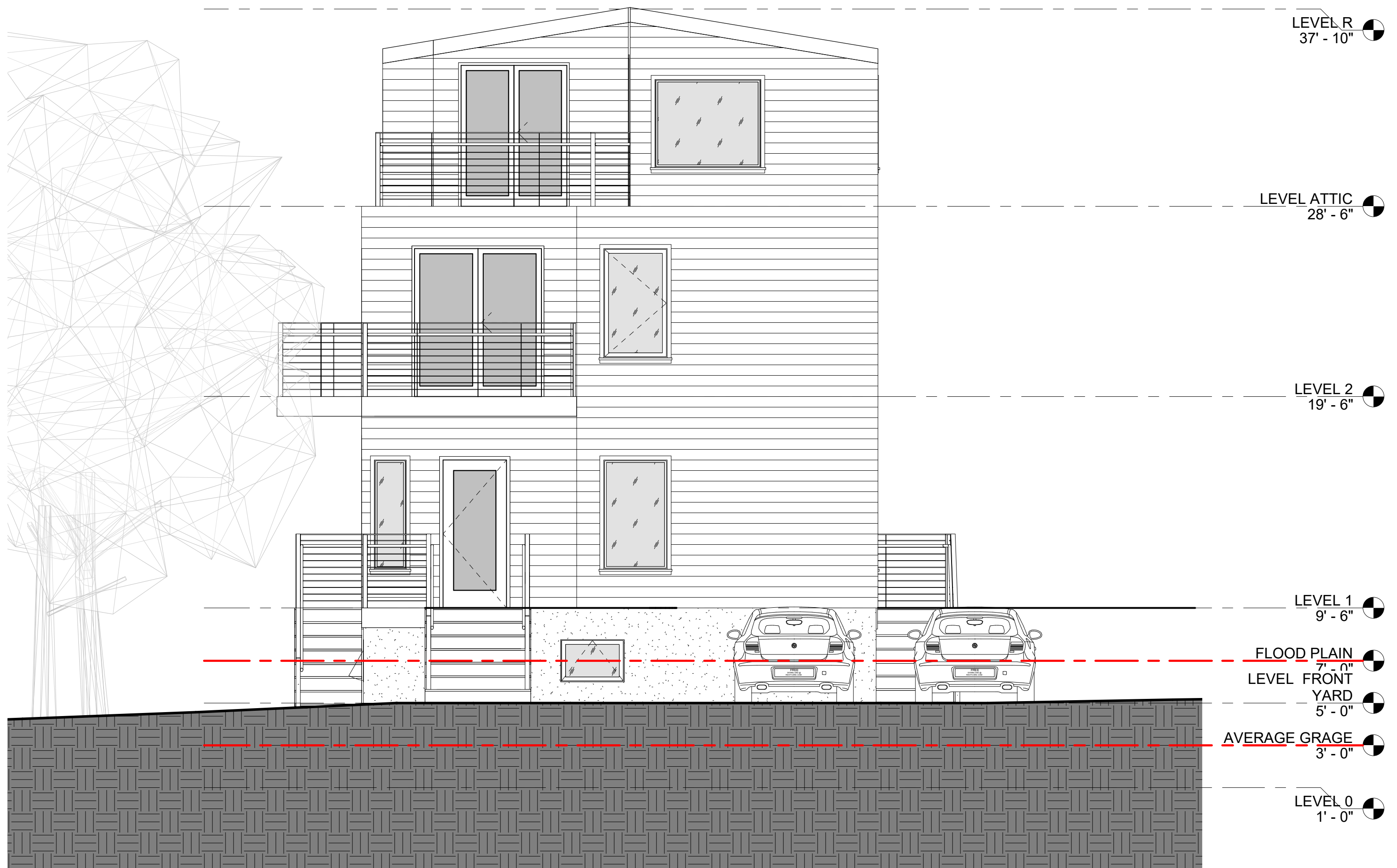
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

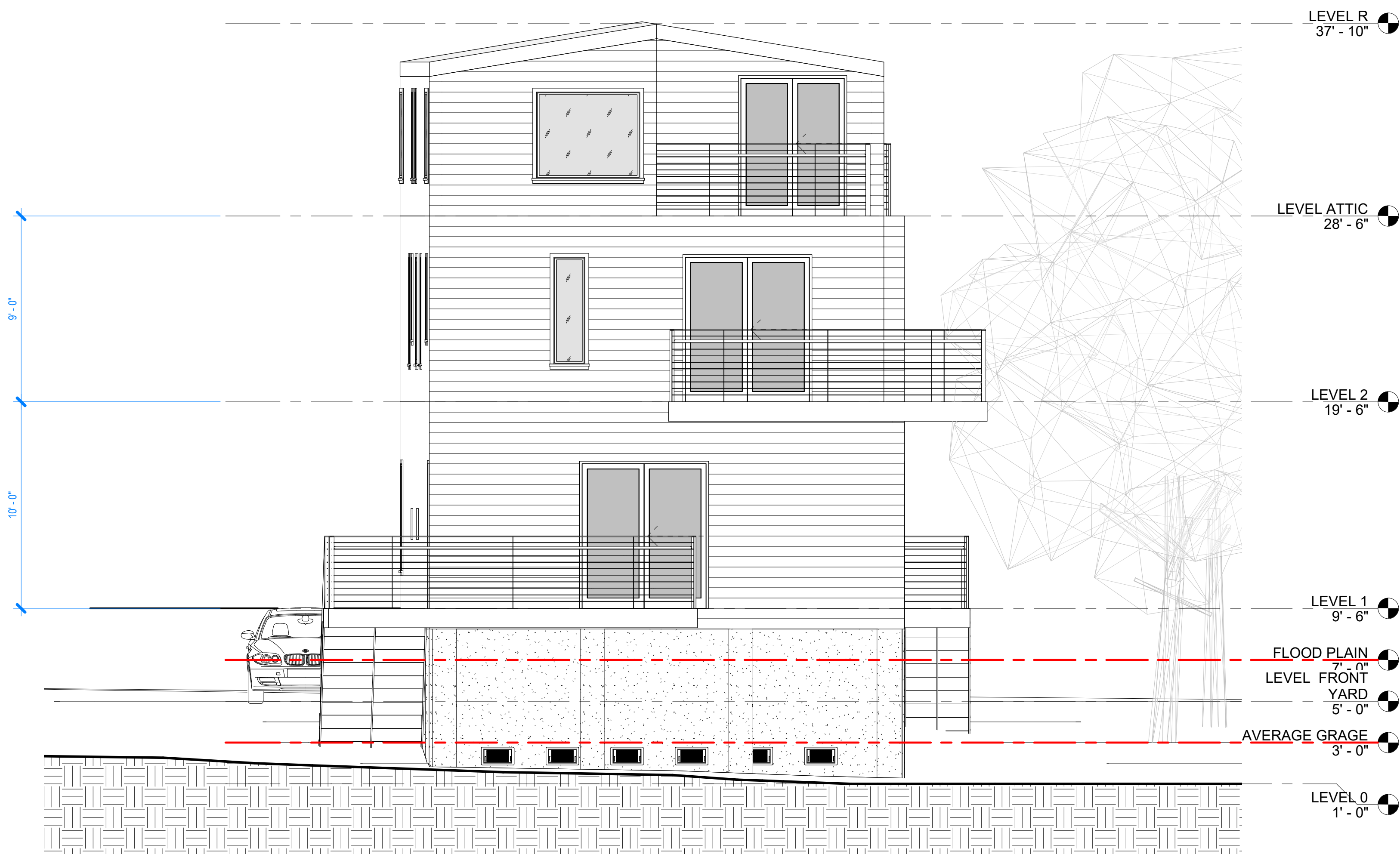
YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



② BUILDING ELEVATION SOUTH, PROPOSED
1/4" = 1'-0"



① BUILDING ELEVATION NORTH, PROPOSED
1/4" = 1'-0"



103 THORNDIKE
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
KEY PLAN		

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

Author
Checker
09/17/24
1/4" = 1'-0"

0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0"

SHEET NAME
ELEVATIONS

DOOR SCHEDULE EXTERIOR								
Door Number	Function	Door Type	Level	Width	Height	From Room: Name	To Room: Name	Comments
A11-1	Exterior	SLIDING DOUBLE	LEVEL 1	6' - 0"	7' - 0"	KITCHEN/DINING		
B11-1	Exterior	SLIDING DOUBLE	LEVEL 1	6' - 0"	7' - 0"	KITCHEN/DINING		
EX-10	Exterior	SINGLE DOOR	LEVEL 1	3' - 0"	7' - 0"		LIVING	
EX-12	Exterior	SLIDING DOUBLE	LEVEL 1	6' - 0"	7' - 0"	LIVING		
EX-13	Exterior	SINGLE DOOR	LEVEL 1	3' - 0"	7' - 0"		LIVING	
LEVEL 1: 5								
EX-21	Exterior	SLIDING DOUBLE	LEVEL 2	6' - 0"	7' - 0"	BEDROOM		
EX-22	Exterior	SLIDING DOUBLE	LEVEL 2	6' - 0"	7' - 0"	BEDROOM		
EX-23	Exterior	SLIDING DOUBLE	LEVEL 2	6' - 0"	7' - 0"	BEDROOM		
LEVEL 2: 3								
A32-1	Exterior	SINGLE DOOR	LEVEL ATTIC	3' - 0"	7' - 0"		SUNROOM	
B32-1	Exterior	SINGLE DOOR	LEVEL ATTIC	3' - 0"	7' - 0"		SUNROOM	
EX-31	Exterior	LL	LEVEL ATTIC	5' - 0"	6' - 8"	HALL		
EX-32	Exterior	LL	LEVEL ATTIC	5' - 0"	6' - 8"	BEDROOM		
LEVEL ATTIC: 4								
Grand total: 12								

DOOR SCHEDULE INTERIOR								
Door Number	Function	Door Type	Level	Width	Height	From Room: Name	To Room: Name	Comments
A12-1	Interior	BARN DOOR	LEVEL 1	3' - 0"	8' - 0"	BATH	KITCHEN/DINING	
A13A	Interior	OPENING	LEVEL 1	3' - 0"	8' - 0"	LIVING	OFFICE	
B12-1	Interior	BARN DOOR	LEVEL 1	3' - 0"	8' - 0"	KITCHEN/DINING	BATH	
LEVEL 1: 3								
A21-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	HALL	BEDROOM	
A21-2	Interior	BIFOLD	LEVEL 2	5' - 0"	8' - 0"	BEDROOM	CL	
A22-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	HALL	BEDROOM	
A22-2	Interior	BIFOLD	LEVEL 2	5' - 0"	8' - 0"	CL	BEDROOM	
A23-1	Interior	SINGLE DOOR	LEVEL 2	2' - 6"	6' - 8"	HALL	BATH	
A24-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	HALL	BEDROOM	
A24-2	Interior	SINGLE DOOR	LEVEL 2	2' - 6"	6' - 8"	BEDROOM	BATH	
A24-3	Interior	POCKET	LEVEL 2	2' - 4"	8' - 0"	BEDROOM	CL	
A25-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	MECH	HALL	
B21-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	HALL	BEDROOM	
B21-2	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	BEDROOM	CL	
B21-3	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	BEDROOM	BATH	
B22-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	HALL	BEDROOM	
B22-2	Interior	BIFOLD	LEVEL 2	5' - 0"	8' - 0"	CL	BEDROOM	
B23-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	HALL	BEDROOM	
B23-2	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	CL	BEDROOM	
B24-1	Interior	SINGLE DOOR	LEVEL 2	2' - 6"	6' - 8"	HALL	BATH	
LEVEL 2: 17								

A31-1	Interior	SINGLE DOOR	LEVEL ATTIC	2' - 8"	6' - 8"	HALL	BEDROOM	
A31-2	Interior	SINGLE DOOR	LEVEL ATTIC	2' - 8"	6' - 8"	BEDROOM	CL	
A31-3	Interior	SINGLE DOOR	LEVEL ATTIC	2' - 8"	6' - 8"	BEDROOM	BATH	
B31-1	Interior	SINGLE DOOR	LEVEL ATTIC	2' - 8"	6' - 8"	HALL	BEDROOM	
B31-2	Interior	SINGLE DOOR	LEVEL ATTIC	2' - 8"	6' - 8"	BEDROOM		
B31-3	Interior	SINGLE DOOR	LEVEL ATTIC	2' - 8"	6' - 8"	BEDROOM		
LEVEL ATTIC: 6								
Grand total: 26								

WINDOW SCHEDULE									
Phase Created	Window Number	Window Type	Description	Level	Nominal Sizes		Sill Height	Manufacturer	Comments
					Width	Height			
New Construction	A00-1	A	AWNING	LEVEL 0	3' - 0"	2' - 0"	5' - 0"		
New Construction	A00-2	A	AWNING	LEVEL 0	3' - 0"	2' - 0"	5' - 0"		
New Construction	A00-3	A	AWNING	LEVEL 0	3' - 0"	2' - 0"	5' - 0"		
New Construction	A00-4	A	AWNING	LEVEL 0	3' - 0"	2' - 0"	5' - 0"		
LEVEL 0: 4									
New Construction	A10-1	F	FIXED	LEVEL 1	3' - 0"	5' - 2"	1' - 10"		
New Construction	A10-1	F	FIXED	LEVEL 1	5' - 0"	5' - 2"	3' - 0"		
New Construction	A10-2	F	FIXED	LEVEL 1	1' - 6"	5' - 2"	1' - 10"		
New Construction	A11-2	F	FIXED	LEVEL 1	4' - 0"	1' - 6"	3' - 4"		
New Construction	A13-1	F	FIXED	LEVEL 1	3' - 0"	5' - 2"	1' - 10"		
New Construction	B10-1	F	FIXED	LEVEL 1	5' - 0"	5' - 2"	1' - 10"		
New Construction	B11-2	F	FIXED	LEVEL 1	4' - 0"	1' - 6"	3' - 4"		
LEVEL 1: 7									
New Construction	A21-1	C	CASEMENT	LEVEL 2	3' - 0"	5' - 2"	1' - 10"		EGRESS WINDOW
New Construction	A22-1	C	CASEMENT	LEVEL 2	3' - 0"	5' - 2"	1' - 10"		EGRESS WINDOW
New Construction	A23-1	F	FIXED	LEVEL 2	1' - 6"	5' - 2"	1' - 10"		TEMPERED GLASS
New Construction	A24A-1	F	FIXED	LEVEL 2	1' - 6"	4' - 0"	3' - 0"		TEMPERED GLASS
New Construction	A24B-1	F	FIXED	LEVEL 2	1' - 6"	5' - 2"	1' - 10"		
New Construction	B21-2	F	FIXED	LEVEL 2	1' - 6"	5' - 2"	1' - 10"		
New Construction	B21A-1	F	FIXED	LEVEL 2	1' - 6"	4' - 0"	3' - 0"		TEMPERED GLASS
New Construction	B21B-1	F	FIXED	LEVEL 2	1' - 6"	5' - 2"	1' - 10"		
New Construction	B22-1	C	CASEMENT	LEVEL 2	3' - 0"	5' - 2"	1' - 10"		EGRESS WINDOW
New Construction	B23-1	C	CASEMENT	LEVEL 2	3' - 0"	5' - 2"	1' - 10"		EGRESS WINDOW
New Construction	B24-1	F	FIXED	LEVEL 2	1' - 6"	5' - 2"	1' - 10"		TEMPERED GLASS
LEVEL 2: 11									

New Construction	A31-1	C	CASEMENT	LEVEL ATTIC	3' - 0"	4' - 2"	1' - 10"		EGRESS WINDOW
New Construction	A31-2	F	FIXED	LEVEL ATTIC	5' - 0"	4' - 2"	1' - 10"		
New Construction	A31A-1	F	FIXED	LEVEL ATTIC	1' - 6"	4' - 2"	1' - 10"		TEMPERED GLASS
New Construction	A32-2	F	FIXED	LEVEL ATTIC	5' - 0"	4' - 2"	1' - 10"		
New Construction	A32-3	F	FIXED	LEVEL ATTIC	5' - 0"	4' - 2"	1' - 10"		
New Construction	B31-1	F	FIXED	LEVEL ATTIC	5' - 0"	4' - 2"	1' - 10"		
New Construction	B31-2	C	CASEMENT	LEVEL ATTIC	3' - 0"	4' - 2"	1' - 10"		EGRESS WINDOW
New Construction	B31B-1	F	FIXED	LEVEL ATTIC	1' - 6"	4' - 2"	1' - 10"		TEMPERED GLASS
New Construction	B32-1	F	FIXED	LEVEL ATTIC	5' - 0"	4' - 2"	1' - 10"		
New Construction	B32-2	F	FIXED	LEVEL ATTIC	5' - 0"	4' - 2"	1' - 10"		
LEVEL ATTIC: 10									

OWNER

103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



103 THORNDIKE
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
KEY PLAN		

DRAWN BY	Author
CHECKED BY	Checker
SHEET ISSUE DATE	09/17/24
SCALE	

SHEET NAME
SCHEDULES

A900



Unofficial Property Record Card - Arlington, MA

General Property Data

Parcel ID **002.0-0001-0020.0**
 Prior Parcel ID **1358 --**
 Property Owner **APSE INVESTMENT LLC**

Mailing Address **C/O KUI XUE**
14 EMERALD ST
 City **NEWTON**
 Mailing State **MA** Zip **02458**
 ParcelZoning **R2**

Account Number **1358**

Property Location **103 THORNDIKE ST**
 Property Use **One Family**
 Most Recent Sale Date **11/17/2023**
 Legal Reference **1608-181**
 Grantor **BARTOLOME REMEDIOS & JAMIE R,**
 Sale Price **655,000**
 Land Area **0.100 acres**

Current Property Assessment

Card 1 Value Building Value **186,100** Xtra Features Value **0** Land Value **573,300** Total Value **759,400**

Building Description

Building Style **Old Style**
 # of Living Units **1**
 Year Built **1926**
 Building Grade **Average**
 Building Condition **Poor**
 Finished Area (SF) **1263**
 Number Rooms **6**
 # of 3/4 Baths **0**

Foundation Type **Conc. Block**
 Frame Type **Wood**
 Roof Structure **Gable**
 Roof Cover **Asphalt Shgl**
 Siding **Aluminum**
 Interior Walls **Plaster**
 # of Bedrooms **3**
 # of 1/2 Baths **0**

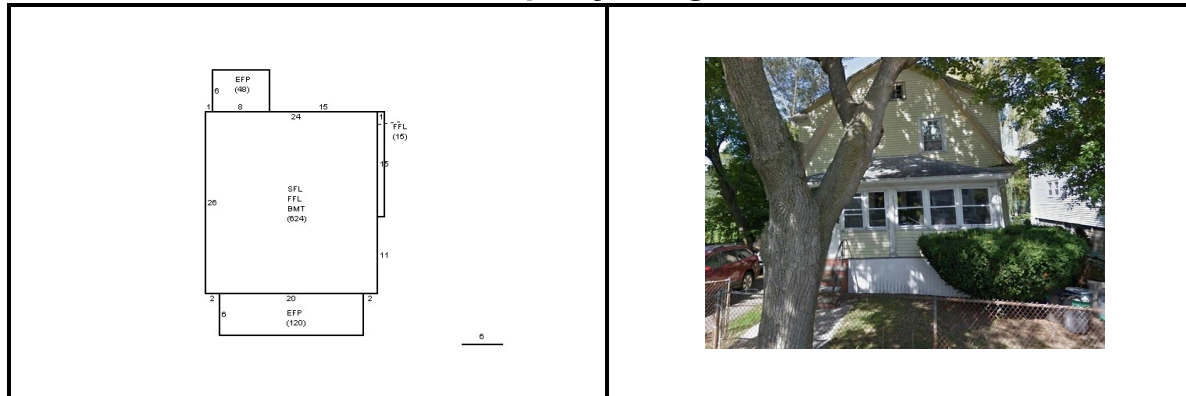
Flooring Type **Hardwood**
 Basement Floor **Concrete**
 Heating Type **Forced H/W**
 Heating Fuel **Oil**
 Air Conditioning **0%**
 # of Bsmt Garages **0**
 # of Full Baths **1**
 # of Other Fixtures **0**

Legal Description

Narrative Description of Property

This property contains 0.100 acres of land mainly classified as One Family with a(n) Old Style style building, built about 1926 , having Aluminum exterior and Asphalt Shgl roof cover, with 1 unit(s), 6 room(s), 3 bedroom(s), 1 bath(s), 0 half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

BLATMAN, BOBROWSKI, HAVERTY & SILVERSTEIN, LLC
— ATTORNEYS AT LAW —

9 DAMONMILL SQUARE, SUITE 4A4
CONCORD, MA 01742
PHONE 978.371.2226
FAX 978.371.2296

CHRISTOPHER J. ALPHEN, ESQ.
Chris@bbhslaw.net

September 14, 2022

Via ViewPoint Cloud
Town of Arlington
Board of Zoning Appeals
51 Grove St
Arlington, MA 02476

RE: Special Permit/Variance Applications
APSE Investment LLC – 103 Thorndike Street, Arlington, Massachusetts

Dear Board:

Please be informed that this office represents APSE Investment LLC, a Massachusetts Limited Liability Company with an address of 15 Emerald Street, Newton, Massachusetts (the “Applicant”). The Applicant is the owner of the property known as 103 Thorndike Street, Arlington, Massachusetts (the “Property”).

The Applicants hereby request a variance and special permits for proposed reconstruction of an existing dwelling. The entirety of the project are shown on the site plan entitled “Site Layout Plan” prepared by Hardy + Man Design Group, PC and the architectural plan set entitled “103 Thorndike Townhouses” prepared by y/room (the “Plans”).

The Applicant seeks to demolition the existing single-family dwelling and construct a two-family dwelling (the “Proposed Project”). The Property is located in the “Residence 2” (R2) Zoning District pursuant to the Arlington Zoning Bylaw (the “Bylaw”). Under Section 5.4.3. (Table of Uses), two-family dwellings are permitted in the R2 Zoning District by right.

1. Variance – Excessive Lot Coverage

As shown in the zoning table below, the Proposed Project meets the majority of the dimensional requirements for a two-family dwelling in the R2 Zoning District.

DIMENSIONAL REQUIREMENTS			
ZONING R-2	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	6,000 SF	4,377* SF	4,377* SF
MIN LOT AREA PER D.U.	---	N/A	N/A
MIN. LOT FRONTAGE	60 FT	45* FT	45* FT
MIN. YARD – FRONT	20 FT	13.9 FT	20.0 FT
MIN. YARD – SIDE	10 FT	6.9 FT	10.0 FT
MIN. YARD – REAR	20 FT	47.8 FT	20.0 FT
MAX. BUILDING HEIGHT	35FT/2.5ST	2.5 ST	2.5 ST
MAX. FLOOR AREA RATIO	---	N/A	N/A
MIN. LANDSCAPE OPEN SPACE	10%	76.4%	43.6%
MIN. USABLE OPEN SPACE	30%	76.4%	43.6%
MAX. LOT COV. (BUILDING & DRIVE)	35%	23.6%	56.4%

* EXISTING NONCONFORMING

The proposed dwelling eliminates certain existing non-conformities. The Proposed Project meets all setback and height requirements.

Additionally, the Proposed Project provides two parking spaces to be located in the rear of the Property in compliance with Section 6.1.4. and Section 6.1.10A of the Bylaw.

However, the Proposed Project exceeds the maximum lot coverage requirement. The Proposed Project will have a lot coverage of 56.4% when the maximum lot coverage in the zoning district is 35%. Accordingly, the Petitioner required a variance pursuant to Section 3.2.2.D. and G.L. c. 40A, § 10.

Under G.L. c. 40A, § 10 a variance can be granted if the Board makes a finding that:

that owing to circumstances relating to the soil conditions, shape, or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located, a literal enforcement of the provisions of the ordinance or by-law would involve substantial hardship, financial or otherwise, to the petitioner or appellant, and that desirable relief may be granted without substantial

detriment to the public good and without nullifying or substantially derogating from the intent or purpose of such ordinance or by-law.

As set forth below, the Petitioner meets the criteria for a variance.

A. A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise to the petitioner or appellant

With a literal enforcement of the Bylaw, the Petitioner would not be able to replace the existing structure with a dwelling that fits into the existing neighborhood. The existing structure is in poor condition and needs to be redeveloped. See Existing Photographs attached hereto.

The removal of the existing dwelling will eliminate front and side yard setback nonconformities. The Proposed Project will be more conforming for zoning purposes but for the lot coverage requirement.

With a literal enforcement of the Bylaw the Petitioner would be left with the nonconforming dwelling which size and condition are not harmonized with the surrounding neighborhood. The Proposed Project will improve the Property and provide a benefit to the neighborhood.

B. The hardship is owing to circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structure but not affecting generally the zoning district in which it is located.

A hardship exists due to the unique shape and location of the Property. The Property abuts municipal recreational land to its rear and westerly side. There is ample open space and recreational space in the immediate area. Due to the long narrow shape of the lot, it would be difficult to design a dwelling that meets all the dimensional requirements. The Proposed Project only does not meet the lot coverage requirement. The size of the Proposed Dwelling is consistent with other dwellings in the immediate neighborhood.

C. Desirable relief may be granted without either: (1) Substantial detriment to the public good; or (2) Nullifying or substantially derogating from the intent or purpose of this Ordinance.

Permitting the removal of a pre-existing nonconforming structure and allowing the Proposed Project will not be substantial detriment to the public good or derogate from the intent or purpose of the Bylaw. The Petitioner proposes a well-designed site plan that will replace an outdated nonconforming structure. The Proposed Project is an improvement to the neighborhood and fits comfortably with the surrounding area. The nonconforming lot coverage will have a de minimis impact on the surrounding area.

2. Special Permit – Reconstruction of a Non-Conforming Structure

The Petitioner also requires special permits for the Proposed Project. Pursuant to Section 5.4.2. and the table of dimensional requirements, the minimum lot area is 6,000 square feet. The Property contains 4,377.6 square feet. Additionally, the Bylaw requires a minimum frontage requirement of sixty (60) feet, whereas the lot provides forty-five (45) feet of frontage. Accordingly, the existing dwelling is a legal pre-existing non-conforming structure. Since the existing dwelling is a pre-existing non-conforming structure, the Applicant requires a special permit under Section 8.1.1.A. of the Bylaw and G.L. ch. 40A, § 6 for the construction of the Proposed Dwelling.

Furthermore, the Bylaw provides that alterations and additions which increase the gross floor area of a building by more than 750 square feet shall require a special permit from the Board under Section 3.3, that the alteration or addition is in harmony with other structures and uses in the vicinity.¹

¹ The Applicant notes that because the existing dwelling is a legal pre-existing non-conforming structure, only a finding under Section 8.1.1.A. of the Bylaw and G.L. ch. 40A, § 6 is required for any reconstruction. Nevertheless, the Applicant seeks a special permit under Section 3.3. per the direction of the Zoning Administrator.

As noted, the Proposed Project eliminates existing setback nonconformities. The Proposed Project meets the characteristics of the neighborhood. The Property is surrounded by open and recreational space. The two-dwelling design will not have a detriment to the neighborhood.

Very truly yours,

A handwritten signature in black ink, appearing to be 'C. Alphen', with a long horizontal flourish extending to the right.

Christopher J. Alphen, Esq.

BLATMAN, BOBROWSKI, HAVERTY & SILVERSTEIN, LLC
— ATTORNEYS AT LAW —

9 DAMONMILL SQUARE, SUITE 4A4
CONCORD, MA 01742
PHONE 978.371.2226
FAX 978.371.2296

CHRISTOPHER J. ALPHEN, ESQ.
Chris@bbhslaw.net

April 7, 2025

Via ViewPoint Cloud
Town of Arlington
Board of Zoning Appeals
51 Grove St
Arlington, MA 02476

RE: Special Permit/Variance Applications
APSE Investment LLC – 103 Thorndike Street, Arlington, Massachusetts

Dear Board:

Please be informed that this office represents APSE Investment LLC, a Massachusetts Limited Liability Company with an address of 15 Emerald Street, Newton, Massachusetts (the “Applicant”). Please accept this letter as a supplement to the Applicant’s Special Permit / Variance Application.

In addition to the zoning relief detailed in the memorandum in support submitted March 2025, the Applicant requires a variance for the number of stories located in the proposed dwelling. Two and half (2.5) stories is maximum number of stories permitted in the R2 Zoning District.

The Bylaw states in part that “[a] **basement shall be deemed a story when its ceiling is 4 feet 6 inches or more above the finished grade.**” The first level elevation is more than 6 inches above average grade. It is higher in order to conform with FEMA requirement. The first-

floor elevation needs to be at least one (1) foot higher than FEMA flood plain. Accordingly, the Applicant requires a variance to permit 3.5 stories.

Very truly yours,

A handwritten signature in black ink, appearing to read 'C. Alphen', with a long horizontal flourish extending to the right.

Christopher J. Alphen, Esq.

CONSTRUCTION NOTES

- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO ORIGINAL CONDITION.
- CONTRACTOR TO MEET ALL TOWN OF ARLINGTON REQUIREMENTS FOR AS-BUILT CERTIFICATION.
- NOTIFY DIG-SAFE AT 1-888-DIG-SAFE 72 HOURS PRIOR TO EXCAVATION TO INFORM UTILITY COMPANIES OF ANY EXCAVATION NEAR EXISTING UTILITIES.
- CONTRACTOR SHOULD IMPLEMENT EROSION AND SEDIMENTATION CONTROL IF NECESSARY TO PREVENT STORMWATER POLLUTION ONTO THE CITY DRAINAGE SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CITY PERMITS TO PERFORM THE WORK.

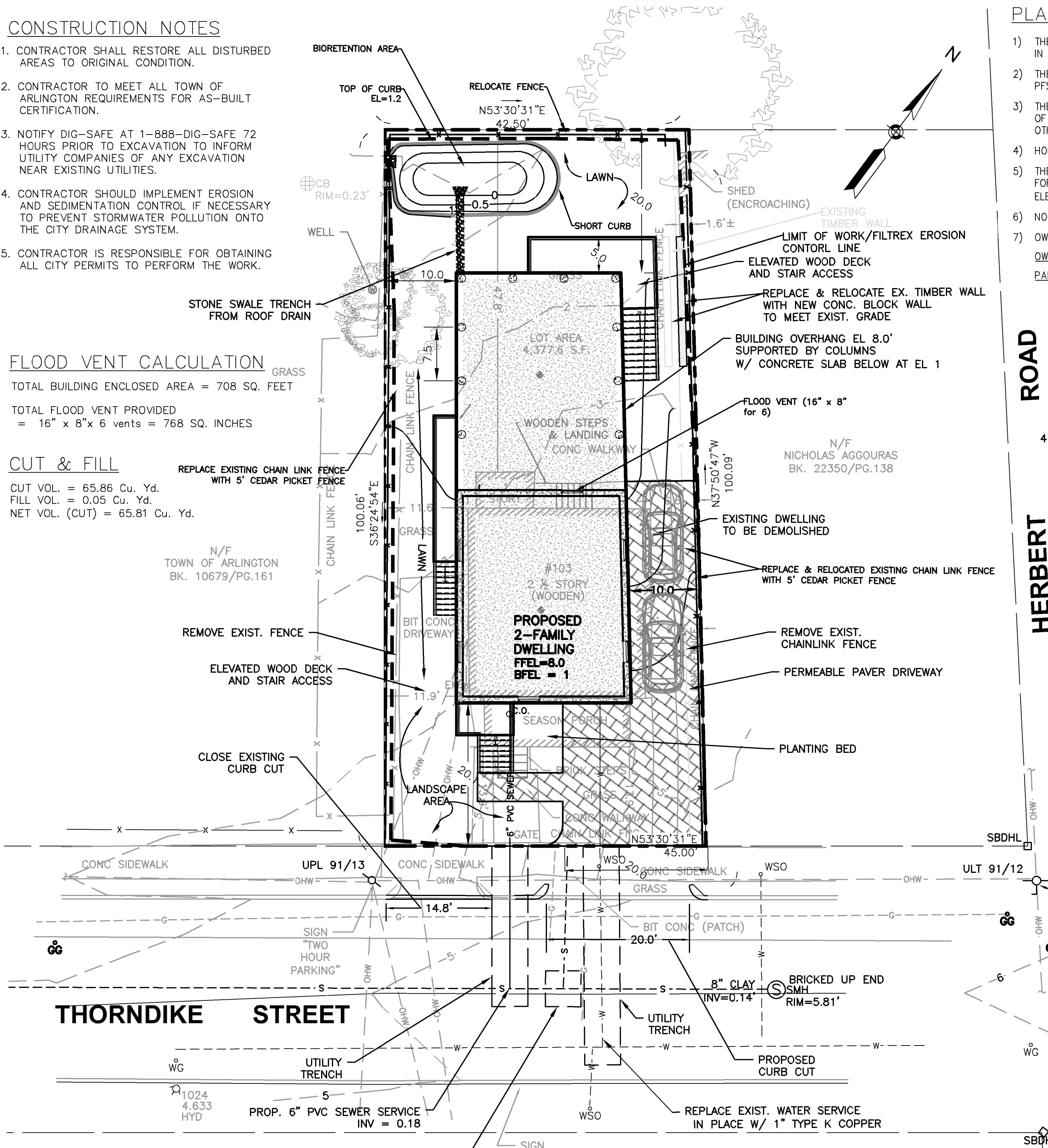
FLOOD VENT CALCULATION

TOTAL BUILDING ENCLOSED AREA = 708 SQ. FEET
TOTAL FLOOD VENT PROVIDED
= 16" x 8" x 6 vents = 768 SQ. INCHES

CUT & FILL

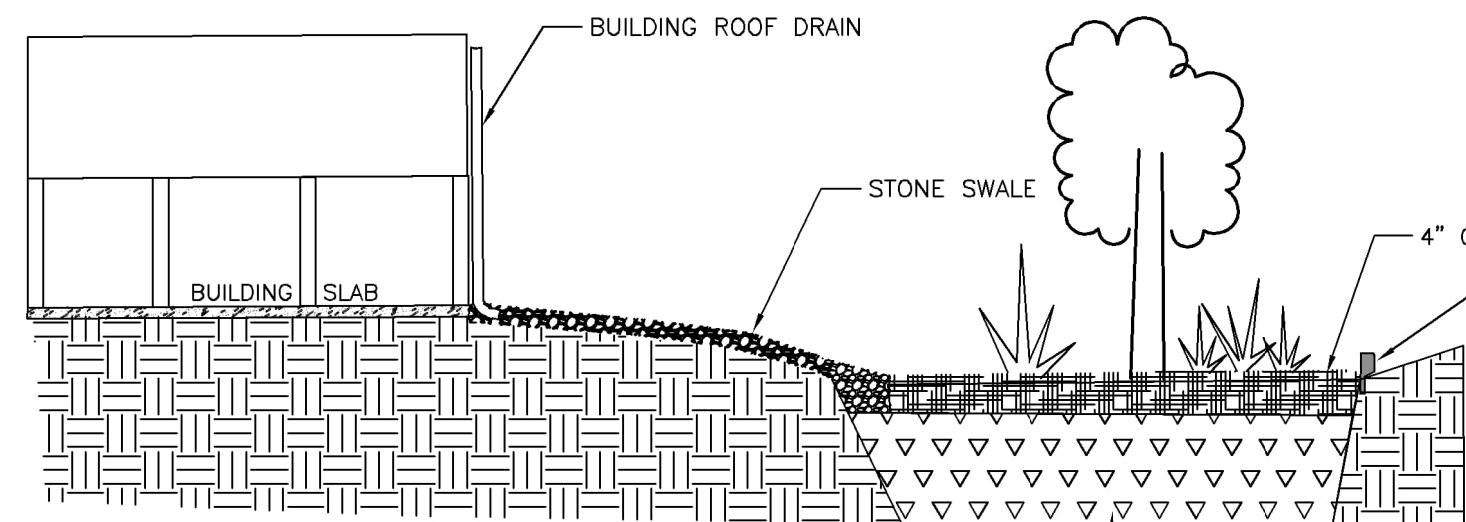
CUT VOL. = 65.86 Cu. Yd.
FILL VOL. = 0.05 Cu. Yd.
NET VOL. (CUT) = 65.81 Cu. Yd.

N/F
TOWN OF ARLINGTON
BK. 10679/PG.161



Plant Schedule

Symbol	Common Name	Botanical Name	Quantity
	Red Maple	Acer Rubrum	1
	Flowering Dogwood	Cornus Florida	1
	Winterberry	Ilex Verticillata	2
	Switch Grass	Panicum Virgatum	5
	Canada Dwarf Dogwood	Chamaepericlymenum Canadense	3



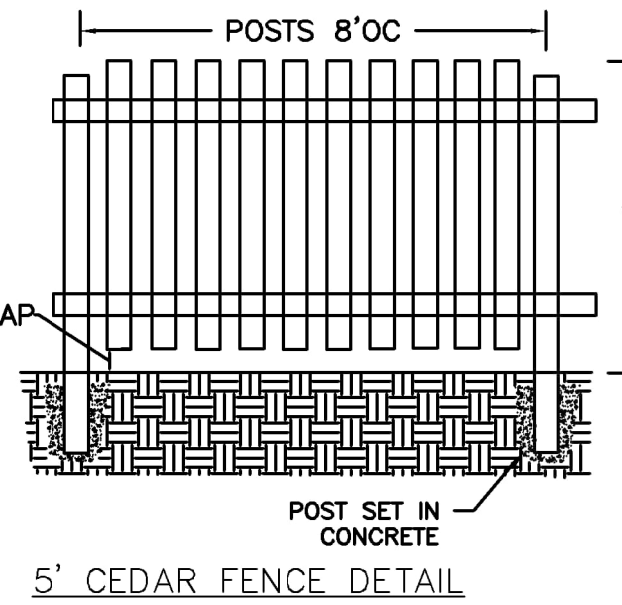
BIORETENTION AREA DETAIL
N.T.S.

PLAN REFERENCE

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023 AND FROM DEEDS AND PLANS OF RECORD.
- THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- HORIZONTAL DATUM IS BASED ON MAGNETIC NORTH. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- THE LOT LIES ENTIRELY WITHIN ZONE AE (WITHOUT BASE FLOOD ELEVATION) (BFE) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF ARLINGTON, MASSACHUSETTS, COMMUNITY PANEL NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010. THE FLOOD ELEVATION IS 7'.
- NO WETLAND FLAGS WERE OBSERVED ON SITE AT THE TIME OF THE SURVEY.
- OWNER AND PROPERTY INFORMATION:
OWNER: APSE INVESTMENT LLC
PARCEL ID: 2-1-20

ROAD

HERBERT

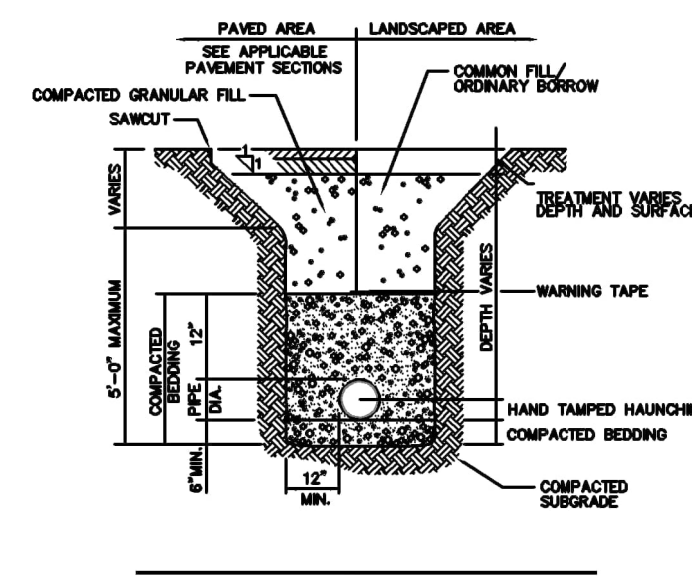


5' CEDAR FENCE DETAIL
N.T.S.

NOTE: CEDAR FENCE TO REPLACE EXISTING CHAIN LINK FENCE. 4" GAP BETWEEN BOTTOM OF FENCE AND GROUND. POSTS TO BE SET 18" MIN. BELOW GRADE.

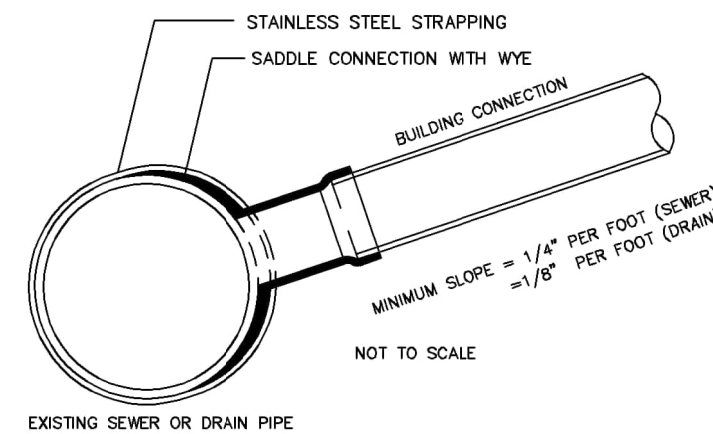


TREE PROTECTION EXAMPLE
N.T.S.



Notes:
WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BASINS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH SIGNALS WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
USE METALLIC TACKING/WARNING TAPE OVER ALL PIPES.
PARALLEL TRENCHES TO CONFORM TO CITY OF QUINCY DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATION.

Utility Trench
N.T.S.



Notes:
1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE OR IRON PIPE.
2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
3. FULL WYE CONNECTION FITTINGS MAY BE USED.
4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.
6. TO BE USED IF AN EXISTING WYE IS NOT FOUND.

SEWER CONNECTION DETAIL
NOT TO SCALE

SADDLE CONNECTION DETAIL
N.T.S.

REVISIONS:

NO.	COMMENTS:	DATE:
1.	FENCE DETAIL ADDED	8/13/2024
2.	PER CON. COMM COMMENT	8/21/2024
3.	NEW PARKING LAYOUT	2/26/2025

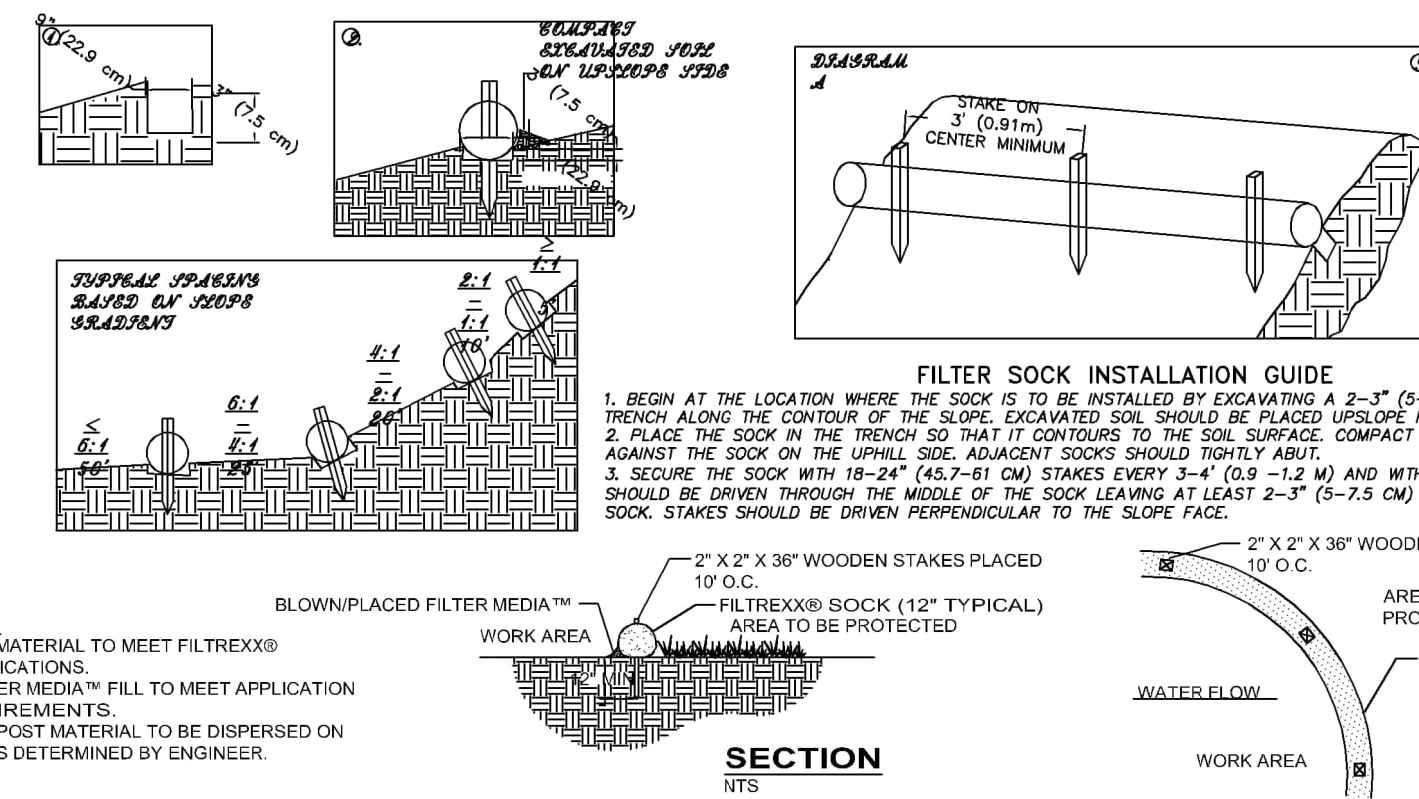
FLOOD STORAGE VOLUME EL 7'

	EXISTING	PROPOSED
EL -1-0	0	68
EL 0-1	192.2	260.2
EL 1-2	1,200.5	1,961.5
EL 2-3	2,025.5	2,375
EL 3-4	2,672.5	2,740.4
EL 4-5	3,320.5	3,329.6
EL 5-6	3,676.6	3,677.6
EL 6-7	3,676.6	3,677.6

DIMENSIONAL REQUIREMENTS

ZONING R-2	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	6,000 SF	4,377* SF	4,377* SF
MIN. LOT AREA PER D.U.	---	N/A	N/A
MIN. LOT FRONTAGE	60 FT	45* FT	45* FT
MIN. YARD - FRONT	20 FT	13.9 FT	20.0 FT
MIN. YARD - SIDE	10 FT	6.9 FT	10.0 FT
MIN. YARD - REAR	20 FT	47.8 FT	20.0 FT
MAX. BUILDING HEIGHT	35FT/2.5ST	2.5 ST	2.5 ST
MAX. FLOOR AREA RATIO	---	N/A	N/A
MIN. LANDSCAPE OPEN SPACE	10%	76.4%	43.6%
MIN. USABLE OPEN SPACE	30%	76.4%	43.6%
MAX. LOT COV. (BUILDING & DRIVE)	35%	23.6%	56.4%

* EXISTING NONCONFORMING



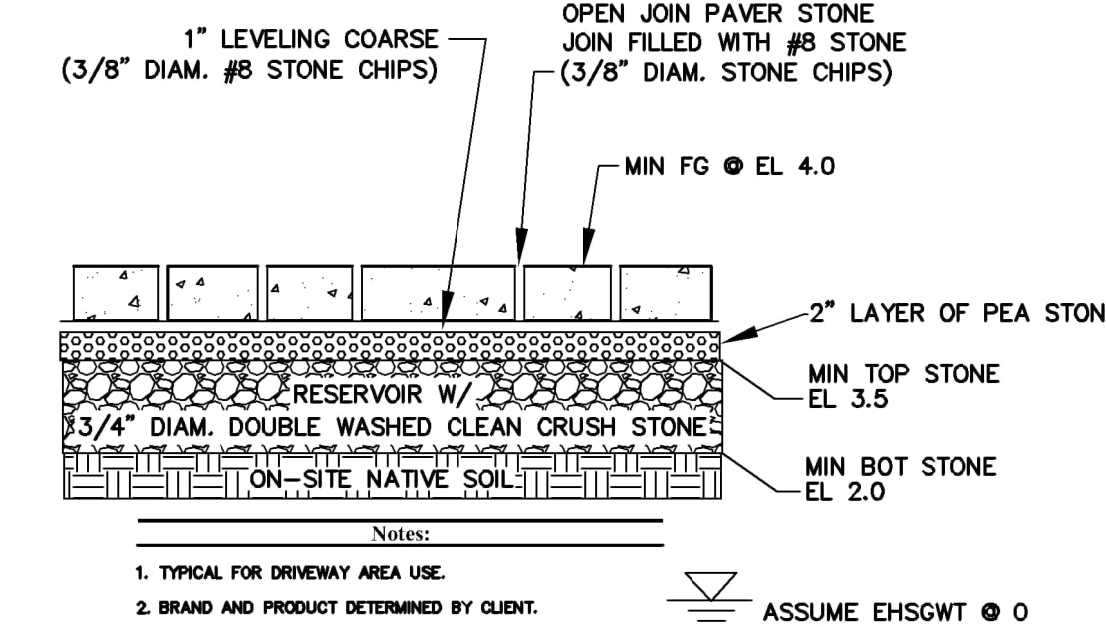
Notes:
1. ALL MATERIAL TO MEET FILTERX® SPECIFICATIONS.
2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

Filterx Erosion Control

N.T.S.

DRAINAGE AREAS

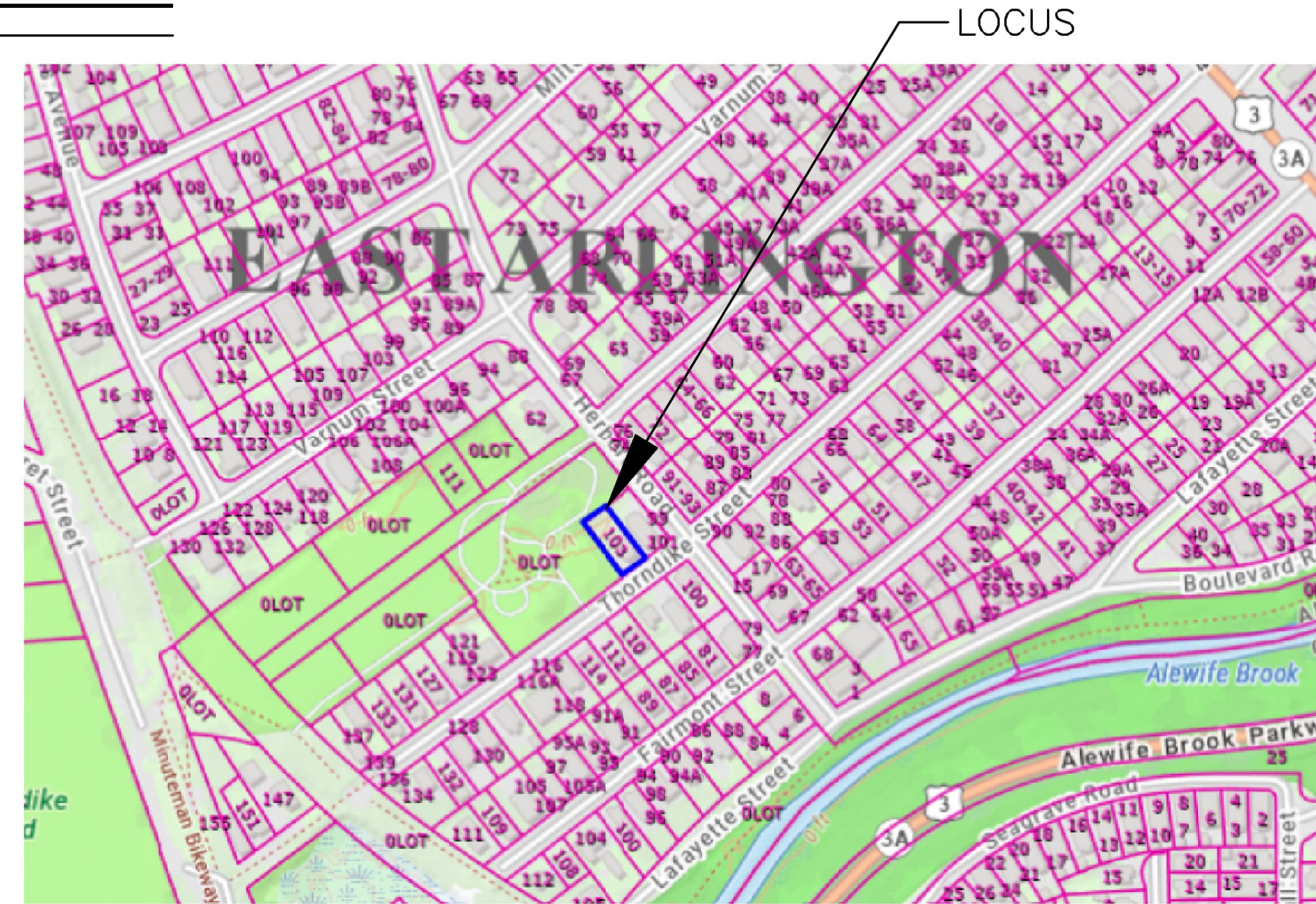
	EXISTING	PROPOSED
BUILDING	665 SF	1410 SF
3 SEASON PORCH	139 SF	
BACK PORCH	40 SF	
SIDE WALKWAY	207 SF	
DRIVEWAY	369 SF	
FRONT WALKWAY	79 SF	
TOTAL IMPERVIOUS	1,499	1410 SF



Notes:
1. TYPICAL FOR DRIVEWAY AREA USE.
2. BRAND AND PRODUCT DETERMINED BY CLIENT.

Permeable Pavers Pavement Section

N.T.S.



SITE LAYOUT PLAN 103 THORNDIKE STREET ARLINGTON, MASSACHUSETTS

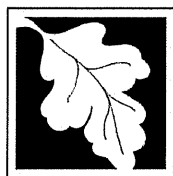
DRAWN BY: ZLD
DESIGNED BY: CYM
CHECKED BY: CYM
DATE: 6-10-2024
LATEST REVISION: 2-26-2025



1285 WASHINGTON STREET
WEYMOUTH, MA
(781) 335-1464

PREPARED FOR:
CONSERVATION COMM.

SHEET
C-1



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

A. General Information

Please note:
 this form has
 been modified
 with added
 space to
 accommodate
 the Registry
 of Deeds
 Requirements

Important:
 When filling
 out forms on
 the
 computer,
 use only the
 tab key to
 move your
 cursor - do
 not use the
 return key.



1. From: Arlington
Conservation Commission

2. This issuance is for
 (check one): a. ☒ Order of Conditions b. ☐ Amended Order of Conditions

3. To: Applicant:

Kui

a. First Name

Xue

b. Last Name

APSE Investment LLC

c. Organization

14 Emerald Street

d. Mailing Address

Newton

e. City/Town

MA

f. State

02548

g. Zip Code

4. Property Owner (if different from applicant):

a. First Name

b. Last Name

c. Organization

d. Mailing Address

e. City/Town

f. State

g. Zip Code

5. Project Location:

103 Thorndike Street

a. Street Address

Arlington

b. City/Town

2-1

c. Assessors Map/Plat Number

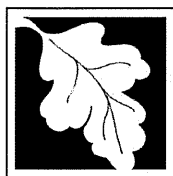
20

d. Parcel/Lot Number

Latitude and Longitude, if known:

d m s
 d. Latitude

d m s
 e. Longitude



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A. General Information (cont.)

6. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):
 Middlesex South
 a. County _____ b. Certificate Number (if registered land) _____
 c. Book _____ d. Page _____
7. Dates: 06/24/2024 08/15/2024 08/16/2024
 a. Date Notice of Intent Filed b. Date Public Hearing Closed c. Date of Issuance
8. Final Approved Plans and Other Documents (attach additional plan or document references as needed):
 103 Thorndike Street Notice of Intent Package
 a. Plan Title
 Hardy + Man Design Group Chi Man
 b. Prepared By c. Signed and Stamped by
 06/24/2024
 d. Final Revision Date e. Scale
 Site Layout Plan 08/07/2024
 f. Additional Plan or Document Title g. Date

B. Findings

1. Findings pursuant to the Massachusetts Wetlands Protection Act:

Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act (the Act). Check all that apply:

- a. ☐ Public Water Supply b. ☐ Land Containing Shellfish c. ☐ Prevention of Pollution
 d. ☐ Private Water Supply e. ☐ Fisheries f. ☒ Protection of Wildlife Habitat
 g. ☐ Groundwater Supply h. ☐ Storm Damage Prevention i. ☒ Flood Control

2. This Commission hereby finds the project, as proposed, is: (check one of the following boxes)

Approved subject to:

- a. ☒ the following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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B. Findings (cont.)

Denied because:

- b. ☐ the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c. ☐ the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**
3. ☐ Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310 CMR 10.02(1)(a) a. linear feet

Inland Resource Area Impacts: Check all that apply below. (For Approvals Only)

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	<u> </u> a. linear feet	<u> </u> b. linear feet	<u> </u> c. linear feet	<u> </u> d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
6. <input type="checkbox"/> Land Under Waterbodies and Waterways	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
	<u> </u> e. c/y dredged	<u> </u> f. c/y dredged		
7. <input checked="" type="checkbox"/> Bordering Land Subject to Flooding	<u>4377.6</u> a. square feet	<u>4377.6</u> b. square feet	<u>4377.6</u> c. square feet	<u>4377.6</u> d. square feet
Cubic Feet Flood Storage	<u> </u> e. cubic feet	<u> </u> f. cubic feet	<u>1,325.5</u> g. cubic feet	<u>1,325.5</u> h. cubic feet
8. <input type="checkbox"/> Isolated Land Subject to Flooding	<u> </u> a. square feet	<u> </u> b. square feet		
Cubic Feet Flood Storage	<u> </u> c. cubic feet	<u> </u> d. cubic feet	<u> </u> e. cubic feet	<u> </u> f. cubic feet
9. <input type="checkbox"/> Riverfront Area	<u> </u> a. total sq. feet	<u> </u> b. total sq. feet		
Sq ft within 100 ft	<u> </u> c. square feet	<u> </u> d. square feet	<u> </u> e. square feet	<u> </u> f. square feet
Sq ft between 100-200 ft	<u> </u> g. square feet	<u> </u> h. square feet	<u> </u> i. square feet	<u> </u> j. square feet



Massachusetts Department of Environmental Protection
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B. Findings (cont.)

Coastal Resource Area Impacts: Check all that apply below. (For Approvals Only)

	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input type="checkbox"/> Land Under the Ocean	a. square feet	b. square feet		
	c. c/y dredged	d. c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	a. square feet	b. square feet	c. ^{cu yd} nourishment	d. ^{cu yd} nourishment
14. <input type="checkbox"/> Coastal Dunes	a. square feet	b. square feet	c. ^{cu yd} nourishment	d. ^{cu yd} nourishment
15. <input type="checkbox"/> Coastal Banks	a. linear feet	b. linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	a. square feet	b. square feet		
17. <input type="checkbox"/> Salt Marshes	a. square feet	b. square feet	c. square feet	d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	a. square feet	b. square feet		
	c. c/y dredged	d. c/y dredged		
19. <input type="checkbox"/> Land Containing Shellfish	a. square feet	b. square feet	c. square feet	d. square feet
20. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			
	a. c/y dredged	b. c/y dredged		
21. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	a. square feet	b. square feet		
22. <input type="checkbox"/> Riverfront Area	a. total sq. feet	b. total sq. feet		
Sq ft within 100 ft	c. square feet	d. square feet	e. square feet	f. square feet
Sq ft between 100-200 ft	g. square feet	h. square feet	i. square feet	j. square feet



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B. Findings (cont.)

* #23. If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c (BVW) or B.17.c (Salt Marsh) above, please enter the additional amount here.

23. ☐ Restoration/Enhancement *:

a. square feet of BVW

b. square feet of salt marsh

24. ☐ Stream Crossing(s):

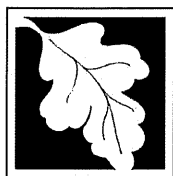
a. number of new stream crossings

b. number of replacement stream crossings

C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects.

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
 - a. The work is a maintenance dredging project as provided for in the Act; or
 - b. The time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
 - c. If the work is for a Test Project, this Order of Conditions shall be valid for no more than one year.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order. An Order of Conditions for a Test Project may be extended for one additional year only upon written application by the applicant, subject to the provisions of 310 CMR 10.05(11)(f).
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on 08/16/2027 unless extended in writing by the Department.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.



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C. General Conditions Under Massachusetts Wetlands Protection Act

8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

"Massachusetts Department of Environmental Protection" [or, "MassDEP"]
"File Number 091-0364 "
11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before MassDEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.
19. The work associated with this Order (the "Project")
 - (1) ☐ is subject to the Massachusetts Stormwater Standards
 - (2) ☒ is NOT subject to the Massachusetts Stormwater Standards

If the work is subject to the Stormwater Standards, then the project is subject to the following conditions:

- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Construction General Permit as required by Stormwater Condition 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that:
 - i. all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures;
 - ii. as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized;
 - iii. any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10;



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

iv. all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition;

v. any vegetation associated with post-construction BMPs is suitably established to withstand erosion.

c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 18(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following:

i.) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and

ii.) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.

d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Multi-Sector General Permit.

e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 18(f) through 18(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 18(f) through 18(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.

f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

- g) The responsible party shall:
 - 1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 - 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
 - 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions (if you need more space for additional conditions, please attach a text document):

SEE ATTACHED

- 20. For Test Projects subject to 310 CMR 10.05(11), the applicant shall also implement the monitoring plan and the restoration plan submitted with the Notice of Intent. If the conservation commission or Department determines that the Test Project threatens the public health, safety or the environment, the applicant shall implement the removal plan submitted with the Notice of Intent or modify the project as directed by the conservation commission or the Department.



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D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? ☒ Yes ☐ No
2. The Arlington hereby finds (check one that applies):
 Conservation Commission

- a. ☐ that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw, specifically:

1. Municipal Ordinance or Bylaw

2. Citation

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.

- b. ☒ that the following additional conditions are necessary to comply with a municipal ordinance or bylaw:

Arlington Bylaw for Wetlands Protection

Title V,
Article 8

1. Municipal Ordinance or Bylaw

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document):

SEE ATTACHED



Massachusetts Department of Environmental Protection
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E. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

1. Date of Issuance

Please indicate the number of members who will sign this form. This Order must be signed by a majority of the Conservation Commission.

2. Number of Signers

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signature *[Handwritten Signature]*

Printed Name Susan Chapnick

Signature *[Handwritten Signature]*

Printed Name David White

Signature *[Handwritten Signature]*

Printed Name M. GILDESGAMB

Signature *[Handwritten Signature]*

Printed Name David Kaplan

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

☐ by hand delivery on

☐ by certified mail, return receipt requested, on

Date

Date



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

G. Recording Information

Prior to commencement of work, this Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:

Conservation Commission

Please be advised that the Order of Conditions for the Project at:

Project Location

MassDEP File Number

Has been recorded at the Registry of Deeds of:

County

Book

Page

for:

Property Owner

and has been noted in the chain of title of the affected property in:

Book

Page

In accordance with the Order of Conditions issued on:

Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

DEP File Number: _____

**Request for Departmental Action Fee
Transmittal Form**

Provided by DEP _____

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. Request Information

1. Location of Project

a. Street Address _____

b. City/Town, Zip _____

c. Check number _____

d. Fee amount _____

2. Person or party making request (if appropriate, name the citizen group's representative):

Name _____

Mailing Address _____

City/Town _____

State _____

Zip Code _____

Phone Number _____

Fax Number (if applicable) _____

3. Applicant (as shown on Determination of Applicability (Form 2), Order of Resource Area Delineation (Form 4B), Order of Conditions (Form 5), Restoration Order of Conditions (Form 5A), or Notice of Non-Significance (Form 6)):

Name _____

Mailing Address _____

City/Town _____

State _____

Zip Code _____

Phone Number _____

Fax Number (if applicable) _____

4. DEP File Number: _____

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



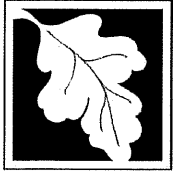
B. Instructions

1. When the Departmental action request is for (check one):

☐ Superseding Order of Conditions – Fee: \$120.00 (single family house projects) or \$245 (all other projects)

☐ Superseding Determination of Applicability – Fee: \$120

☐ Superseding Order of Resource Area Delineation – Fee: \$120



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

DEP File Number:

**Request for Departmental Action Fee
Transmittal Form**

Provided by DEP

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Instructions (cont.)

Send this form and check or money order, payable to the *Commonwealth of Massachusetts*, to:

Department of Environmental Protection
Box 4062
Boston, MA 02211

2. On a separate sheet attached to this form, state clearly and concisely the objections to the Determination or Order which is being appealed. To the extent that the Determination or Order is based on a municipal bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.
3. Send a **copy** of this form and a **copy** of the check or money order with the Request for a Superseding Determination or Order by certified mail or hand delivery to the appropriate DEP Regional Office (see <https://www.mass.gov/service-details/massdep-regional-offices-by-community>).
4. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

ARLINGTON CONSERVATION COMMISSION
APPROVAL ORDER OF CONDITIONS – 103 Thorndike Street
MassDEP File # 091-0364
UNDER THE WETLANDS PROTECTION ACT and ARLINGTON BYLAW FOR WETLANDS PROTECTION
Multifamily Residential Redevelopment
08/16/2024

Documents Reviewed

1. 103 Thorndike Street NOI Application
 - a. WPA Form 3 – eDEP Notice of Intent Filing #1514721
 - b. WPA Notice of Wetland Fee Transmittal Form – eDEP Notice of Intent Filing #1514721
 - c. Local Filing Fee Form
 - d. Legal Notice Charge Authorization
 - e. Affidavit of Service
 - f. Letter to Abutters
 - g. Abutter Notification Form
 - h. Certified List of Abutters
 - i. USGS Topographic Quadrangle
 - j. FEMA Flood Insurance Rate Map
 - k. MassGIS Orthophoto & NHESP Estimated Habitat Map
 - l. Site Photographs
 - m. Drainage Report, prepared by Hardy + Man, dated 06/15/2024, revised 07/26/2024
 - n. Stormwater Operation and Maintenance Plan, dated 06/20/2024
 - o. Schematic designs showing bioretention area and snow removal area and surface water flow lines, undated and unstamped, two pages
 - p. *Site Layout Plan*, dated 06/10/2024, stamped by Chi Man, Professional Engineer #45441

Proceedings

The Conservation Commission held a public hearing for the Notice of Intent on August 1, 2024, and continued the hearing to August 15, 2024. The Commission closed the hearing and deliberated on August 15 and voted 6-0-1 to approve the Project with conditions under the Wetlands Protection Act (the “Act”) and voted 6-0-1 to approve the Project with conditions under the Arlington Wetlands Protection Bylaw (the “Bylaw”).

**Findings of Fact and Law under Arlington Wetlands Protection Bylaw
and Wetlands Protection Act**

- A. The project as approved will demolish the existing structure and build a multifamily residence at 103 Thorndike Street in Arlington, Massachusetts.

- B. 103 Thorndike Street is a 4,377± square foot property containing a two-story, single-family dwelling with a bituminous concrete driveway extending halfway along the southwestern side of the structure from Thorndike Street. Residential development associated with the East Arlington neighborhood occurs on all sides except westerly, which is bordered by Town-owned park land associated with Magnolia Field and Playground.
- C. Resource Areas on site or within 100' of the property lines include Bordering Land Subject to Flooding (Zone AE).
- i. The entirety of the property lies within the floodplain, Zone AE.
 - ii. The Applicant will not fill anywhere on site but rather cut and add 1,325.5 cubic feet of flood storage. Additional storage will be provided within the footprint of the building using flood vents. The amount of storage calculated here does not include the volume within the footprint of the building.
 - iii. Existing front and rear porches, two walkways, and the driveway will be removed, a total of 834 sq. ft. reduction in impervious surface. A permeable paver driveway of 850 sq. ft. will be installed. With the addition of the new structure (1,410 sq. ft. footprint), a reduction of 89 sq. ft. of impervious surface will be accomplished.
 - iv. Stormwater runoff will be directed to a bioretention area at the rear of the lot (capacity 148 cu. ft.), which will be connected to the roof drainage via a stone swale. The bioretention area will be planted with native shrubs and groundcovers and demarcated as a permanent restoration zone.
- D. Reduction of impervious surface through the use of permeable pavers, increased flood storage, and the use of a bioretention basin comply with the climate resilience standards of the Arlington Bylaw for Wetlands Protection and its regulations.

Conclusion

Based on the testimony at the public hearings, and review of the application materials and the documents listed above submitted during the public hearings, the Commission concludes that the proposed Project as conditioned will not have significant or cumulative effects upon the interests of the Resource Area values of the Massachusetts Wetlands Protection Act and the Arlington Bylaw for Wetlands Protection when the conditions imposed herein are implemented to protect the Resource Area values. With these conditions contained, the Project meets the performance standards in the Act and Bylaw and implementing regulations.

For the foregoing reasons, the Commission approves this project under the Act and Bylaw with the conditions stated herein the applications for work at 103 Thorndike Street.

Additional Special Conditions

In addition to the General Conditions (numbered 1 – 20 above), the Project is subject to the following Additional Special Conditions (under both the Act and Bylaw):

21. Prior to the start of work, the planting plan for the bioretention area shall be modified to replace the 8 switchgrass plugs with the same number of bunchberry (*Chamaepericlymenum canadense*) plants. The applicant shall include methods to protect proposed infiltration beds and bioretention areas from soil compaction, sedimentation, and clogging during construction. Bioretention areas shall be stabilized with vegetation prior to discharge of stormwater into them. The applicant shall provide temporary stormwater management structures as needed to prevent sedimentation of wetlands and clogging of drainage structures. The Commission or Administrator shall be notified prior to the placement of soil media within bioretention areas, and inspections shall be scheduled as these systems are installed.
22. Tree protections shall include orange safety fencing erected at the drip line of all trees with canopy overhanging the subject site. In the event that such fencing prohibits construction access, the tree protection shall instead include construction-grade metal plates laid over the root protection area, equivalent to the height of the tree measured from the center of the stem.
23. The Applicant shall discuss and gain approval for all necessary tree and root protection and/or trimming measures with the Town Tree Warden for trees on Town-owned park land or in the right of way.
24. Roots severed by construction activities shall be cut clean. If roots are severed on more than one side of the tree, the Applicant shall notify the Conservation Agent within 7 days of the incident and contract a Certified Arborist to assess the health of the tree. The Arborist's report shall be submitted to the Conservation Agent within 30 days of the incident. The Conservation Agent shall have the authority to require the Arborist's recommended actions as part of this Order/Permit.
25. At least one permanent boundary marker shall be installed to designate the bioretention area as a restoration area. One marker shall be made of stone or metal at least 4x4" and extend at least 6" above the ground and placed at the edge of the bioretention area facing the house. Any additional markers may be flush to the ground. The marker(s) shall have lettering at least 1" tall that labels the area as a Restoration Zone. The Applicant shall submit to the Conservation Agent for approval a plan showing the detail and location of the proposed signage.
26. All boundary markers shall be maintained in their designated locations and clearly labeled.
This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.

Pre-Construction

27. Prior to the start of work, the Applicant shall update, reconcile, and correct the impervious surface calculations on the Conservation Plan (Document #1.I).
28. Work permitted by this Order and Permit shall conform to the Notice of Intent, the approved plans and documents (listed above), and oral representations (as recorded in hearing minutes) submitted or made by the Applicant and the Applicant's agents or representatives, as well as

APPROVAL ORDER OF CONDITIONS – 103 Thorndike Street
MassDEP File # 091-0364

any plans and other data, information or representations submitted per these Conditions and approved by the Commission.

29. The provisions of this Order and Permit shall apply to and be binding upon the Applicant and Applicant's assigns, tenants, lessees, property manager, employees, contractors, and agents.
30. The Applicant shall ensure that a copy of this Order and Permit, with any referenced plans, is always available on site, and that contractors, site managers, foremen, and sub-contractors understand its provisions.
31. The lead contractor shall sign and return to the Conservation Agent an acknowledgment that contractors, site managers, foremen, and sub-contractors cannot deviate from the approved plans without Commission approval.
32. If there are conflicting conditions within this Order and Permit, the stricter condition(s) shall govern.
33. No work shall begin under this Order and Permit until: (a) all other required permits or approvals have been obtained and (b) the appeal period of ten (10) business days from the date of issue of this Order has expired without any appeal being filed, and (c) proof that this Order has been recorded in the Registry of Deeds has been submitted to the Conservation Agent.
34. Prior to any work on the site, or within six (6) weeks of the date of this Order, whichever comes first, this Order of Conditions and relevant attachments, including any and all operations and maintenance plans, shall be recorded at the Middlesex Registry of Deeds or Land Court, and notice filed with the Commission. Failure to do so shall be deemed cause to revoke this Order.
35. Prior to starting work, the Applicant shall submit to the Commission the names and 24-hour phone numbers of project managers or the persons responsible for site work or mitigation.
36. Before work begins, erosion and sediment controls shall be installed at the limits of the work area. Unless otherwise specified, erosion controls will include a silt fence and a biodegradable 12-inch diameter straw or silt wattle around the entire work area. Hay bales are not allowed, and biodegradable wattles are preferred.
37. Prior to any work commencing, a sign no less than 2 square feet or more than 3 square feet, visible from the street, shall be displayed reading "**MA DEP File # 091-0361**" and not placed on a living tree.
38. The contractor shall contact the Conservation Agent (concomm@town.arlington.ma.us ; 781-316-3012) at least 72 hours prior to commencement of work to arrange for a pre-construction meeting with the on-site project manager to walk through the Order of Conditions and Permit for Work, confirm the wash out location, and walk the site to confirm the installation and placement of erosion controls prior to the start of any grading or construction work.

39. The Commission, its employees, and its agents shall have the right of entry onto the site to inspect for compliance with the terms of this Order of Conditions and Permit until a Certificate of Compliance has been issued.
40. Any backfill or reuse of on-site materials shall be free of contamination in accordance with the Massachusetts Contingency Plan, 310 CMR 40.0000. All fill used in connection with this project shall be clean borrow. The following shall be prohibited: concrete and asphalt rubble; crushed glass; stumps, invasive plants or debris, and other solid waste or anthropogenic materials.

Dumpsters

41. All dumpsters must be covered at the end of each workday. No dumpsters will be allowed overnight within the 100-foot Buffer Zone or Adjacent Upland Resource Areas (“AURA”) or other Resource Areas unless otherwise approved by the Commission.

Stockpiling

42. Any stockpile of soil, sand, or similar materials that is permitted within said areas shall be enclosed within a line of entrenched and staked erosion control socks or silt fence in addition to the perimeter erosion controls for the site. In the event that all earthwork ceases for more than 15 days or if inclement weather is imminent, all exposed stockpiled soils shall be stabilized with a temporary vegetative cover, tarp, or other erosion control acceptable to the Conservation Commission.

Erosion

43. Areas that are disturbed by construction and access activities shall as soon as possible be brought to final grade and reseeded and restabilized and shall be done so prior to the removal of the erosion control barrier. Erosion control measures shall be installed per the approved plans or as directed by the Conservation Agent.
44. The Commission and its Agent shall have the discretion to require additional erosion/siltation control methods during construction if necessary.
45. Upon completion of the project, the applicant shall remove and legally dispose off-site of all temporary erosion controls and other materials determined to be detrimental to the resource areas if left in place permanently.

Equipment

46. No heavy equipment may be stored overnight within 50 feet of the wetland and no refueling or maintenance of machinery shall be allowed within the 100-foot Buffer Zone, 200-foot Resource Area, and Adjacent Upland Resource Area or within any Resource Area unless otherwise approved by the Commission.
47. Construction entrances shall be used and maintained only where noted on approved plans.
48. Arrangements shall be made for any rinsing of tools, equipment associated with on-site mixing or use of concrete, rubber, or other materials such that the wastewater is disposed of in the

concrete wash out station-at least 50 feet from the resource area. In no case may waste water be discharged into or onto Resource Areas on or adjacent to the site. In no case may waste water be placed in storm drains. Any spillage of materials shall be cleaned up promptly.

Sweeping

49. Any dirt or debris spilled or tracked onto any paved streets shall be swept up and removed daily.
50. The areas of construction shall remain in a stable condition at the close of each construction day.

Dewatering

51. Any dewatering operations shall conform to the following:
 - (a) If dewatering is needed, the Applicant must submit for approval a dewatering plan to the Conservation Agent or Conservation Commission.
 - (b) Any catch basins, drains, and outfalls to be used in dewatering operations shall be cleaned out before operations begin.
 - (c) Any water discharged as part of any dewatering operation shall be passed through filters, on-site settling basins, settling tank trucks, or other devices to ensure that no observable sediments or pollutants are carried into any Resource Area, street, drain, or adjacent property.
 - (d) Measures shall be taken to ensure that no erosion or scouring shall occur because of dewatering operations.
 - (e) Dewatering shall occur only where noted on approved plans.

Plantings and Vegetation

52. All plantings shall be as specified in the planting plan and installed and maintained according to the standards of the American Association of Nurserymen (AAN). **This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.**
53. The Applicant shall protect all area trees per the Town Wetlands Protection Regulations, Section 24 Vegetation Removal and Replacement. The Commission may at its discretion supersede the requirements of Section 24.
54. All native restoration plantings shall be monitored for three full growing seasons. A survival rate of at least 100% of trees and 80% of other vegetation in the planting plan must be maintained and demonstrated unless otherwise approved by the Commission.
55. A monitoring report shall be submitted annually in November for the three-year monitoring period and shall include the number and types of restoration plantings evaluated, condition of the plantings, and status of invasive plant removal. The Applicant must provide a monitoring report by a qualified consultant for survival of all approved plantings. The monitoring report must include measures to remove invasive species if they are discovered.

56. Any planting areas provided as mitigation shall be maintained in perpetuity. **This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.**
57. There shall be no dumping of woody vegetation, leaves, grass clippings, brush, or other debris into a wetland resource area or associated buffer zones. **This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.**

Fertilizer and Chemical Use

58. To avoid adding excess nutrient runoff, the Applicant shall only treat existing lawn area with no phosphorous, low nitrogen, slow-release fertilizer and it shall be applied at the lowest rate necessary. Any application of phosphorus-containing fertilizers for new lawn must be first reviewed and approved by the Conservation Agent. Except for the establishment of vegetation in the first growing season, the Application of lawn fertilizer cannot occur in the summer, or before or after storm events. Lawn fertilizer shall at most be applied twice a year. **This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.**
59. No pesticides or rodenticides shall be used to treat pest management issues. **This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.**

Stormwater

60. The Applicant shall conduct catch basin sump cleanings as necessary to proximate catch basins at the end of the project work period.
61. The project shall not cause an increase in run-off or stormwater volume onto adjacent properties, either during construction or when completed.
62. Bioretention areas shall be inspected, and trash shall be removed monthly. Structural damage shall be repaired. These areas shall be pruned as needed in spring or fall. Dead vegetation and invasive species shall be removed and replaced with new vegetation every spring and fall. Sediments shall be removed every spring. At least twice a year, the system shall be monitored during and after a heavy rainstorm to determine whether it is meeting the intended detention, water quality, and infiltration functions.

Snow and Deicing

63. Dumping of snow into resource areas is prohibited and shall comply with the current Mass. DEP Bureau of Water Resources Snow Removal Guidance.
64. Deicing chemicals containing sodium, potassium, and calcium chloride are prohibited from use in the wetland resource area and the associated 100-foot buffer. An alternative deicing product such as magnesium chloride (MgCl) may be used as recommended in the Winter Parking Lot and Sidewalk Maintenance Manual published by the Minnesota Pollution Control Agency, <https://www.pca.state.mn.us/sites/default/files/p-tr1-10.pdf>. **This shall be a continuing**

condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.

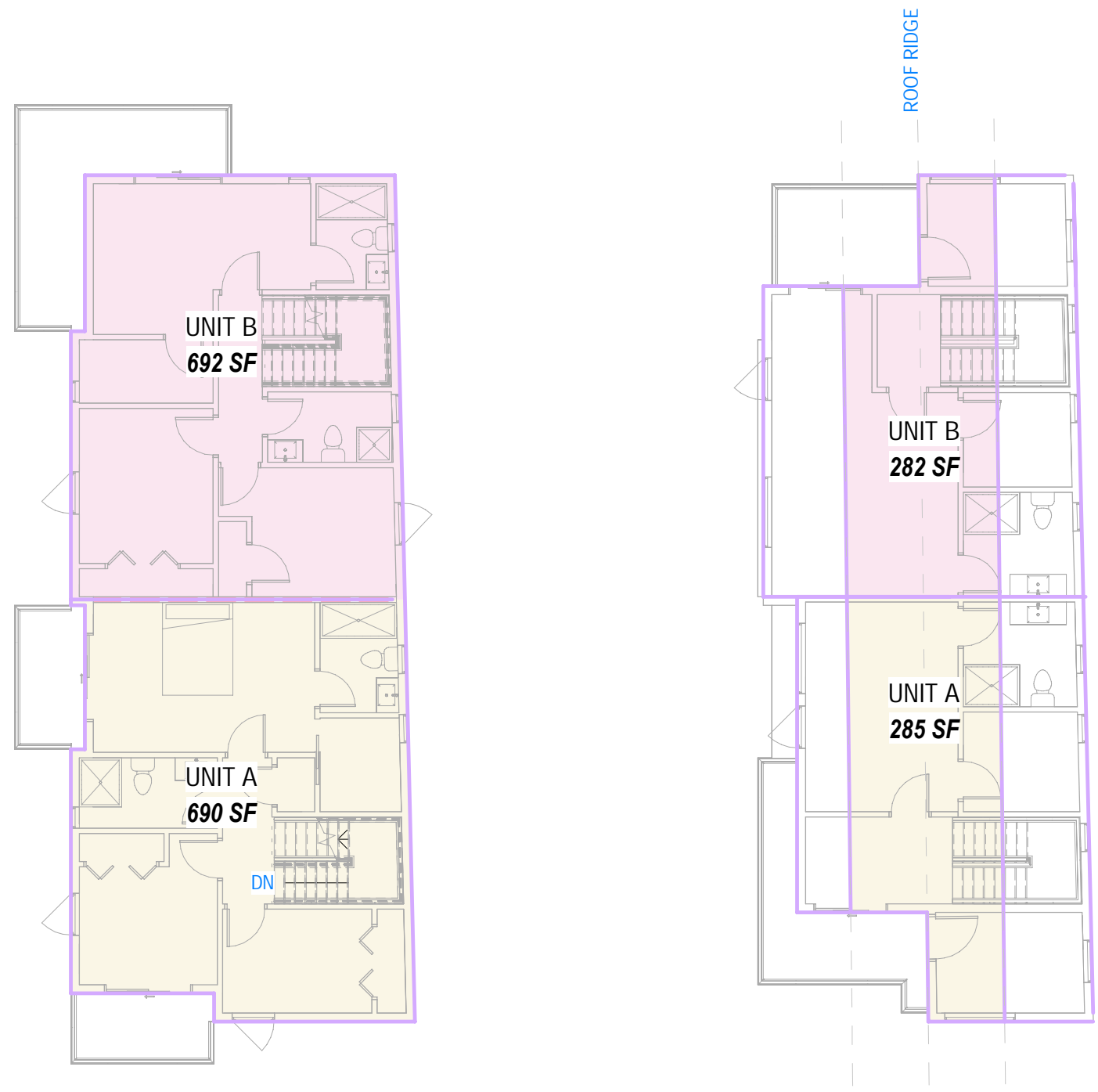
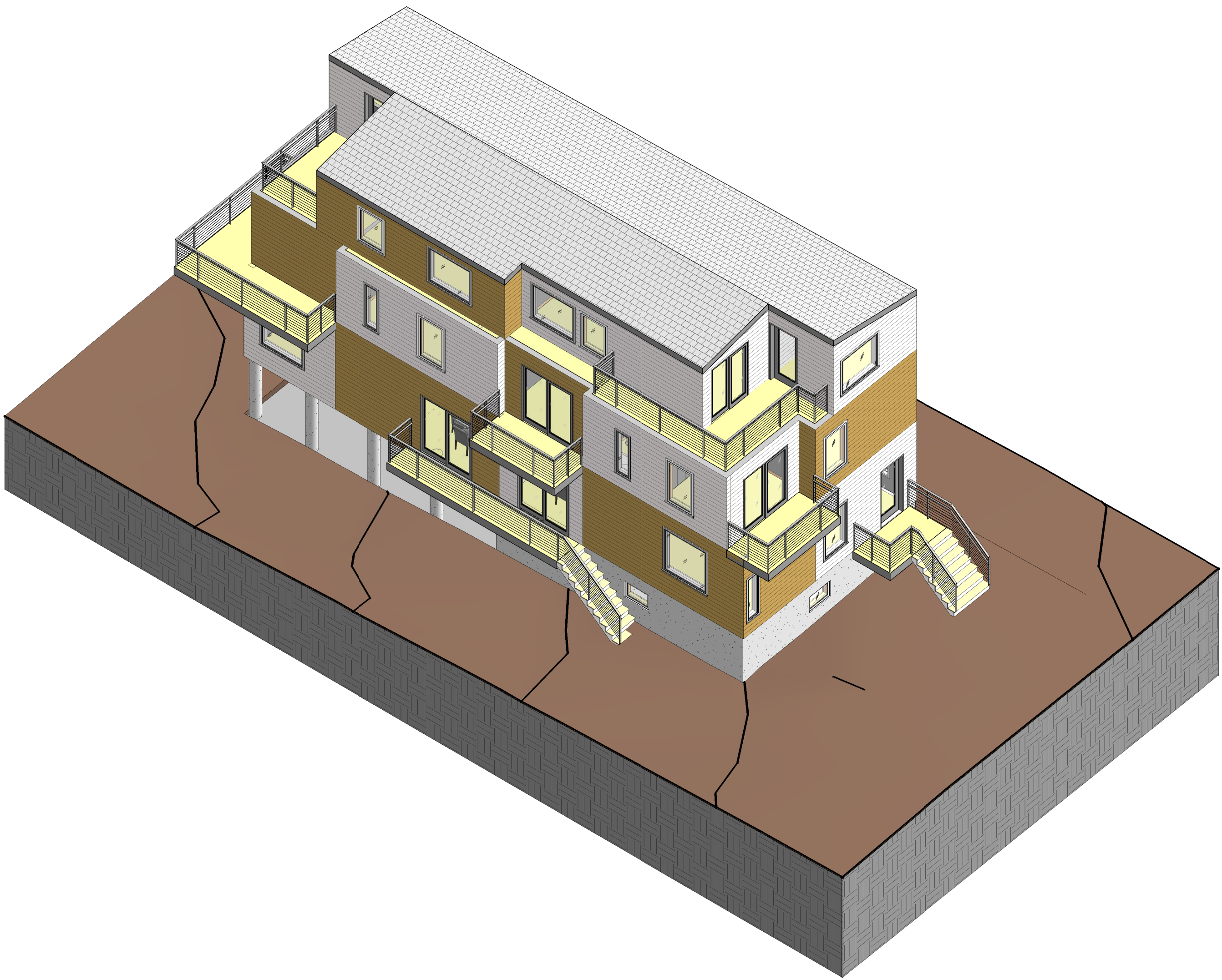
Project Completion

65. Upon completion of the project or 60 days prior to the expiration of this Order of Conditions, the Applicant or a representative thereof shall file for a Certificate of Compliance.
66. When requesting a Certificate of Compliance for this Order of Conditions, the Applicant must submit a written statement from a qualified professional licensed and/or registered to work in Massachusetts. The type of professional shall be determined by the Conservation Agent as is applicable to the project. A professional engineer, registered land surveyor, or registered landscape architect may be chosen. The statement submitted by said professional shall certify that the completed work complies with the plans referenced in this Order and the chosen professional shall provide an as-built plan and statement describing any differences.
67. In conjunction with the sale of any portion of the site covered by this Order of Conditions, the Applicant shall submit to the Commission a signed statement by the buyer that the new owner is aware of the applicable conditions of this Order and permit.

ZONING COMPLIANCE TABLE - 103 THORNDIKE ST ARLINGTON R2						
ZR	Item/Description	Existing	Permitted / Required	Proposed	Complan...	Notes
	USES	1 FAMILY	2-FAMILY	2-FAMILY		
	FAR	-	-	-		
	FLOOR AREA	1,263 SF	-	3,470 SF		BASEMENT AND CEILING UNDER 7' EXCLUDED
	LOT SIZE	4377.6 SF	4377.6 SF	4377.6 SF		
	LOT COVERAGE	23.6%	35%	56.4%		
	OPEN SPACE	USABLE	30% (1,313.3SF)	30.95% (1,355 SF)		
		LANDSCAPE	10% (437.8SF)	14.48% (634 SF)		
	PARKING	2	2	2		DRIVEWAY
	SETBACK & HEIGHT	NORTH	47.8'	20.0'	20.0'	
		EAST	6.6'	10.0'	10.0'	
		SOUTH (STREET)	-	20.0'	20.0'	
		WEST	11.9'	10.0'	10.0'	
		MAX BUILDING HEIGHT	-	35'	35'	

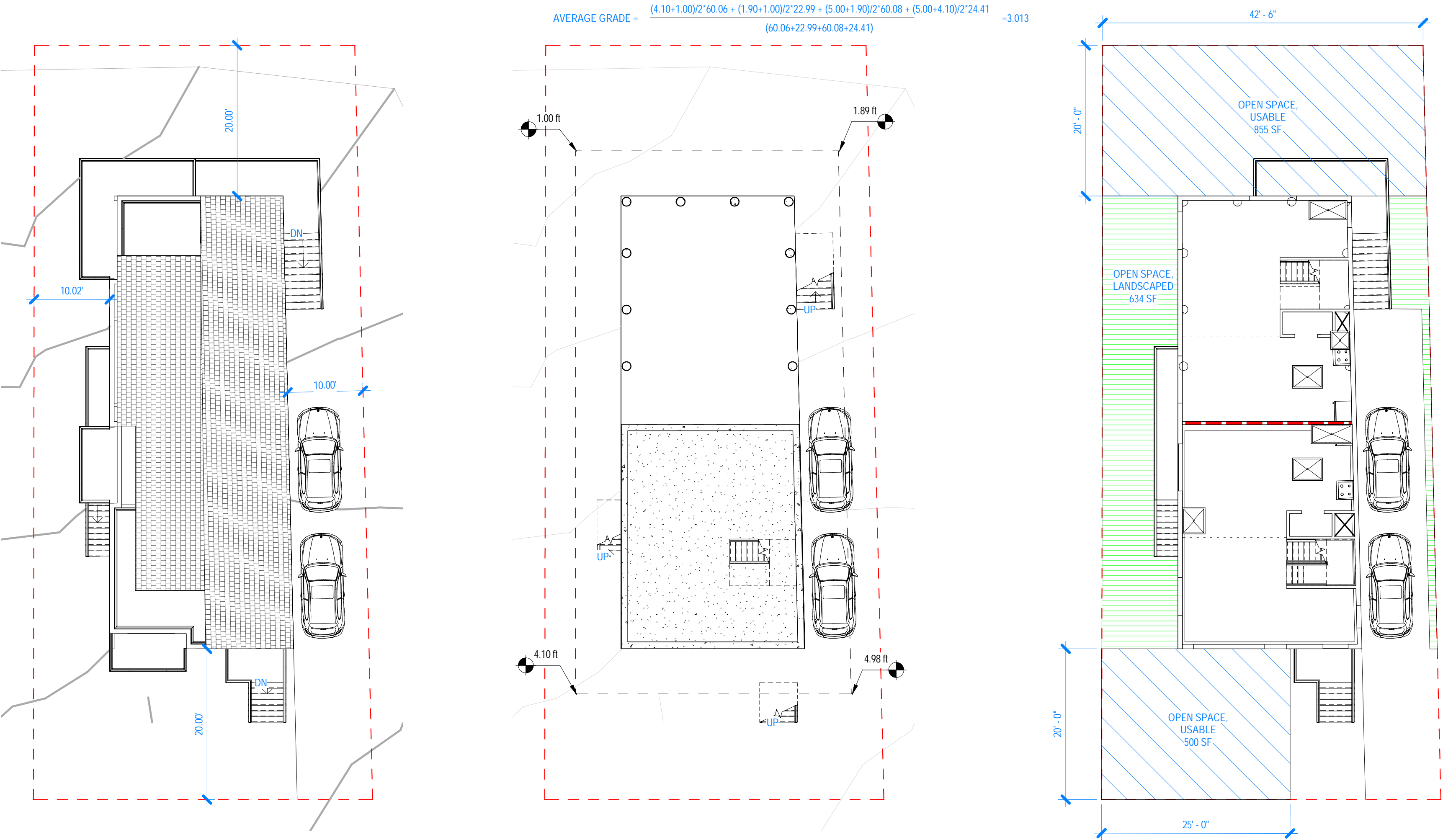
GROSS FLOOR AREA, PROPOSED		
Name	Level	Area
UNIT A	LEVEL 1	720 SF
UNIT A	LEVEL 2	690 SF
UNIT A	LEVEL ATTIC	285 SF
		1694 SF
UNIT B	LEVEL 1	703 SF
UNIT B	LEVEL 2	692 SF
UNIT B	LEVEL ATTIC	282 SF
		1677 SF
Grand total		3372 SF

GROSS FLOOR AREA, PROPOSED BY LEVEL		
Level	Name	Area
LEVEL 1	UNIT A	720 SF
LEVEL 1	UNIT B	703 SF
		1423 SF
LEVEL 2	UNIT A	690 SF
LEVEL 2	UNIT B	692 SF
		1382 SF
LEVEL ATTIC	UNIT A	285 SF
LEVEL ATTIC	UNIT B	282 SF
		566 SF
Grand total		3372 SF

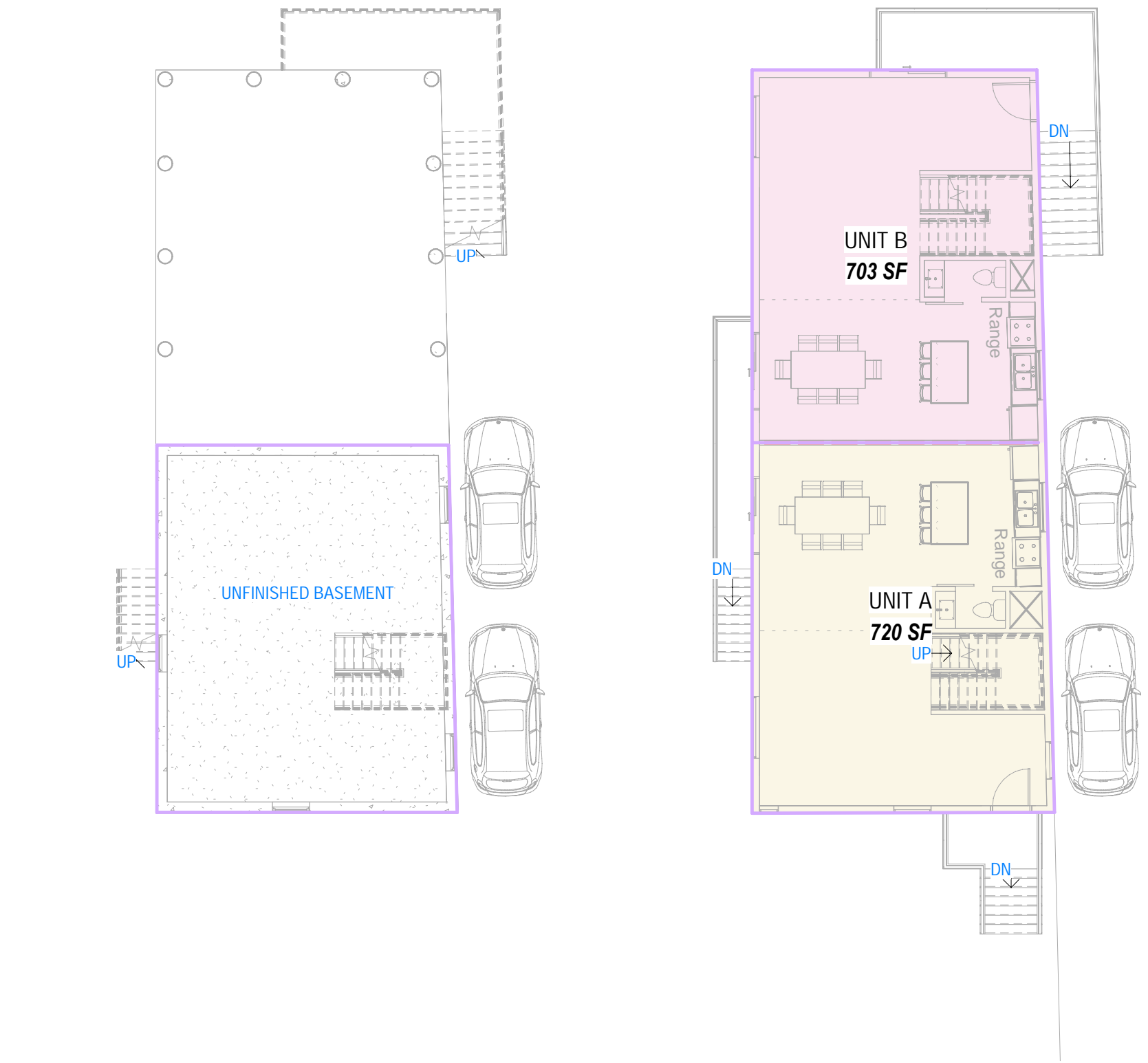


③ LEVEL 2 GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"

④ LEVEL ATTIC GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"



OPEN SPACE, LANDSCAPED: 1,742 SF
OPEN SPACE, USABLE: 1,054 SF



① LEVEL 0 GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"

② LEVEL 1 GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"

103 THORNDIKE
TOWNHOUSES

103 THORNDIKE ST
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

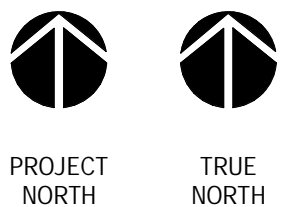
NO.	DESCRIPTION	DATE
KEY PLAN		

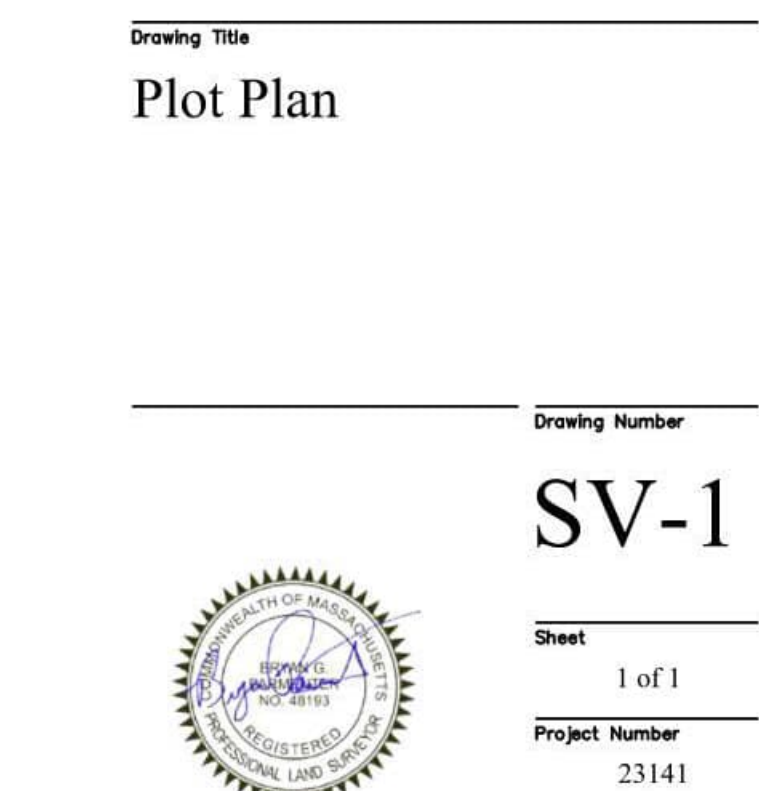
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SHEET ISSUE DATE
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Author
Checker
09/17/24
As Indicated

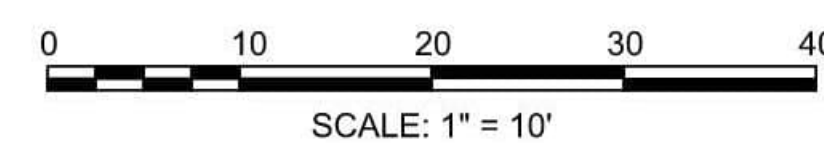
SHEET NAME
ZONING,
SITE &
AREA

200





- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MAGNETIC NORTH. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD 83.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE AE (WITHOUT BASE FLOOD ELEVATION) (BFE) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF ARLINGTON, MASSACHUSETTS, COMMUNITY PANEL NUMBER 2501700419E, EFFECTIVE DATE JUNE 4, 2010.
- 6) NO WETLAND FLAGS WERE OBSERVED ON SITE AT THE TIME OF THE SURVEY.



PROJECT NUMBER	20-103-00
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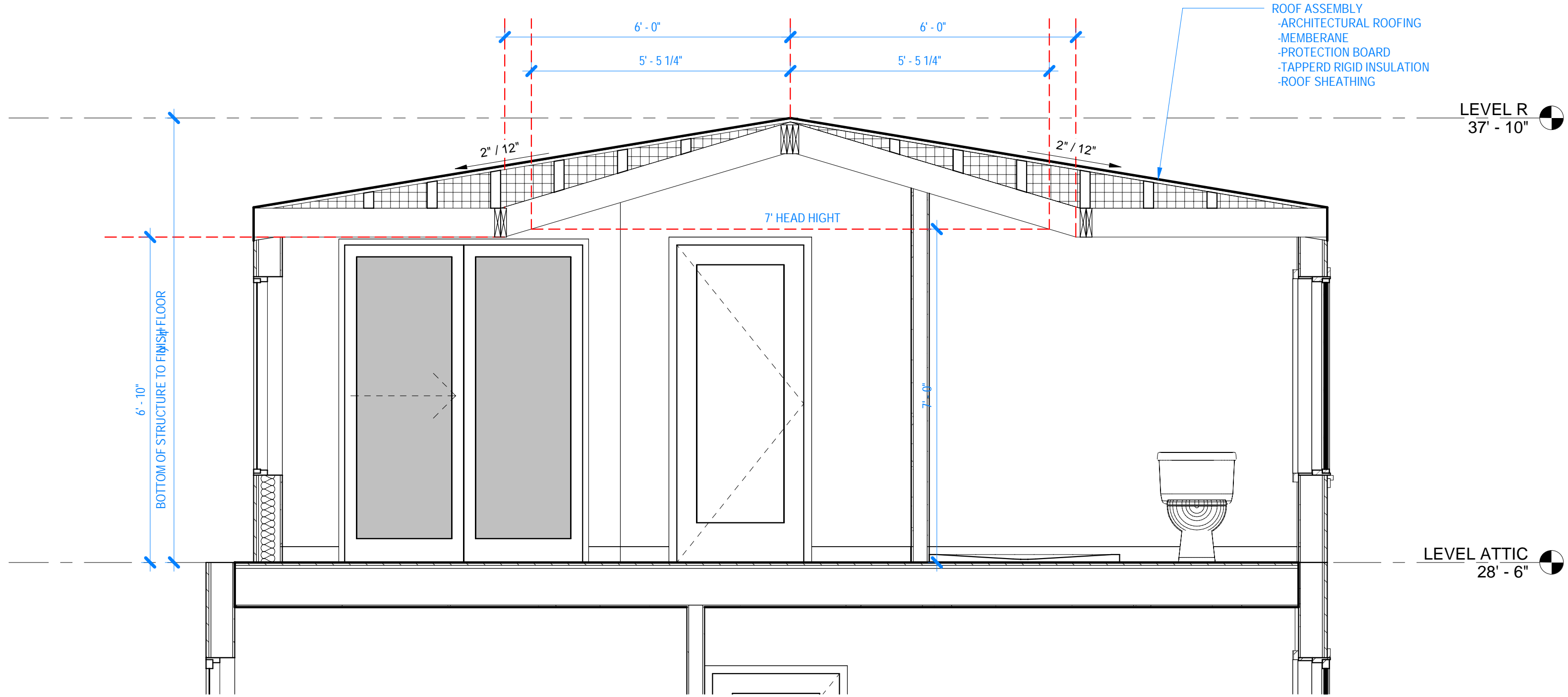
SURVEY

DRAFT
G300

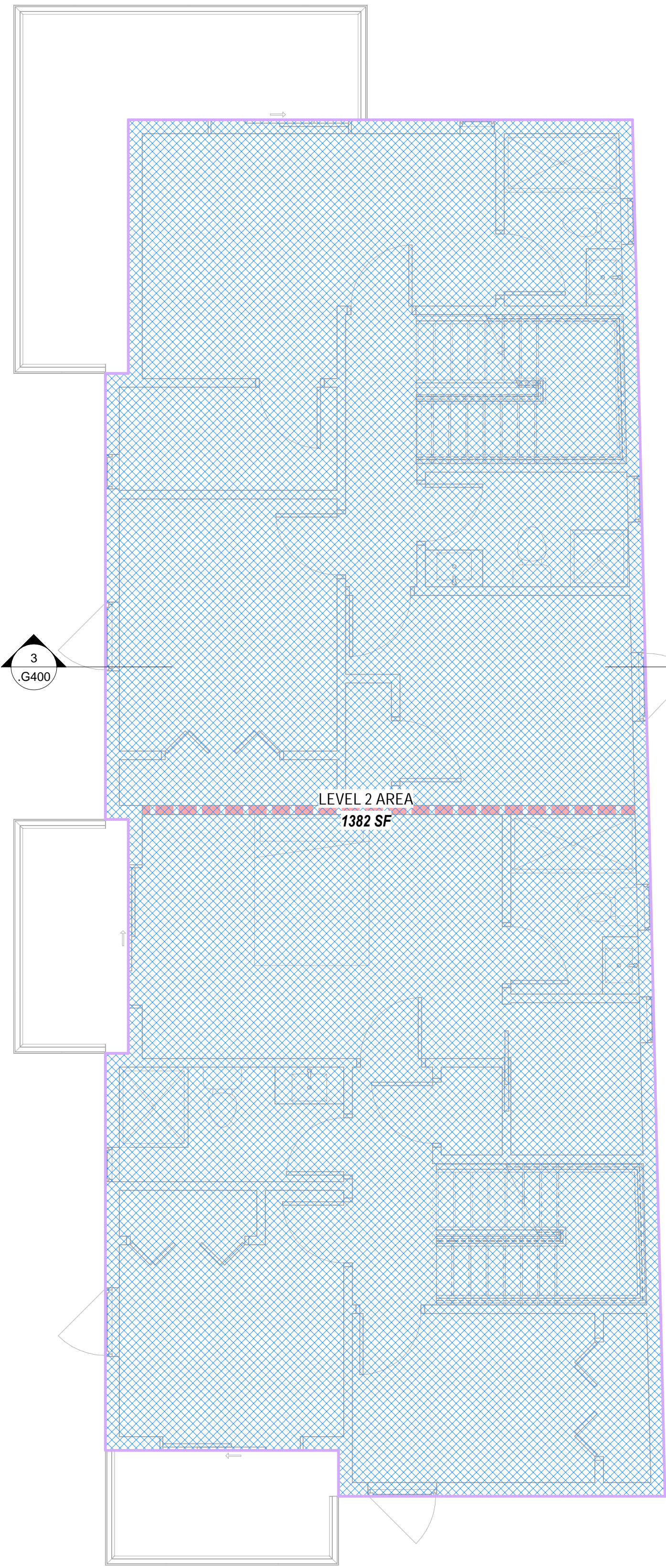
ATTIC SQUARE FOOTAGE:

TOTAL 2ND FLOOR FOOTPRINT = 1,382 SQUARE FEET
ALLOWABLE SQUARE FOOTAGE > 7'-0" = 691 SQUARE FEET

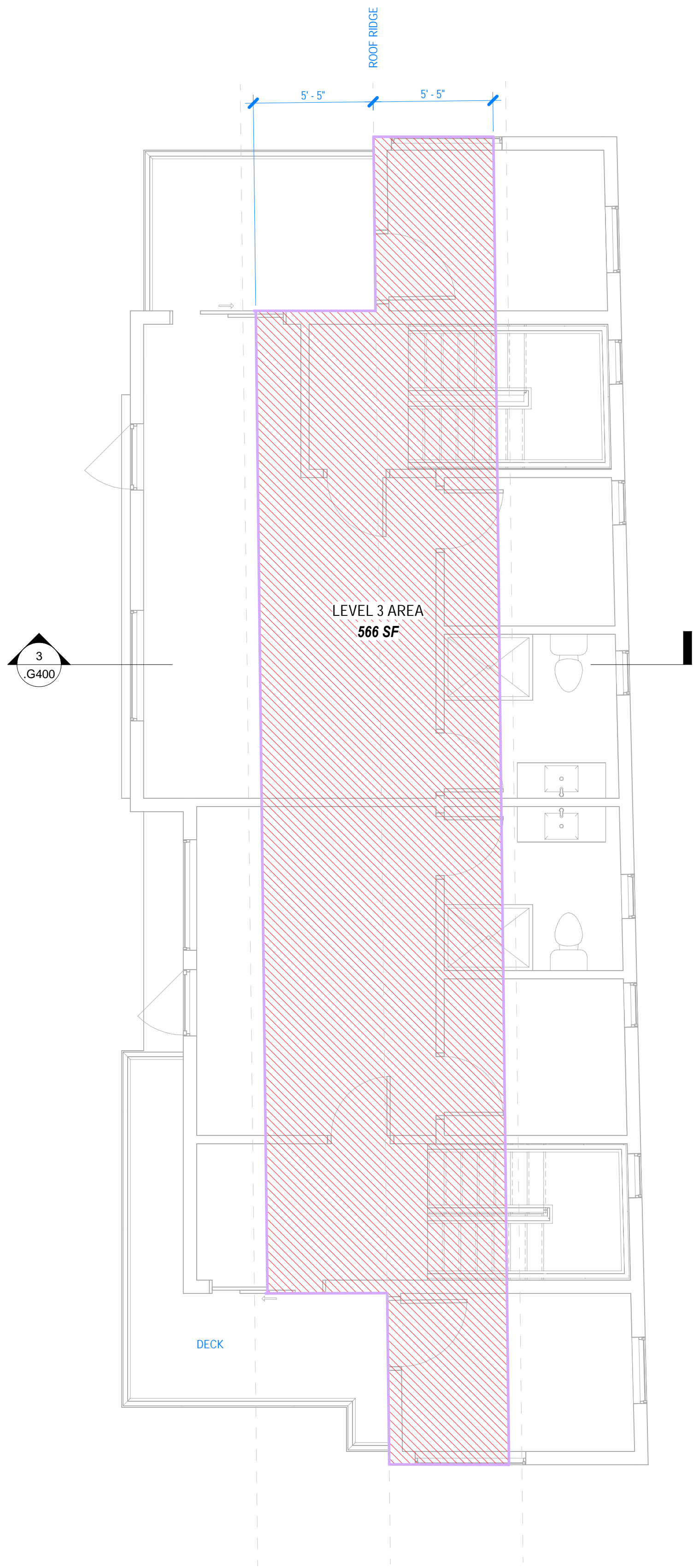
(50% OF TOTAL FOOTPRINT)
PROPOSED SQUARE FOOTAGE > 7'-0" = 566 SQUARE FEET



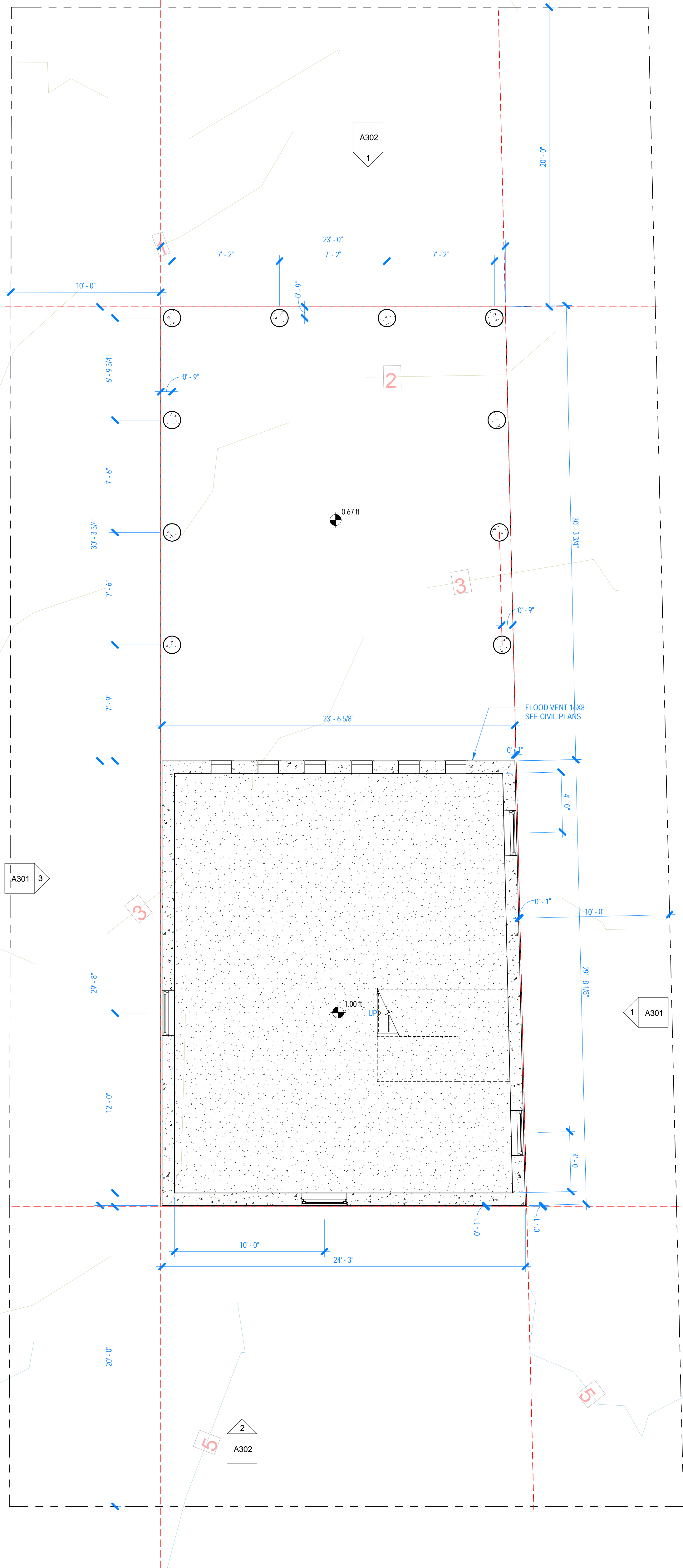
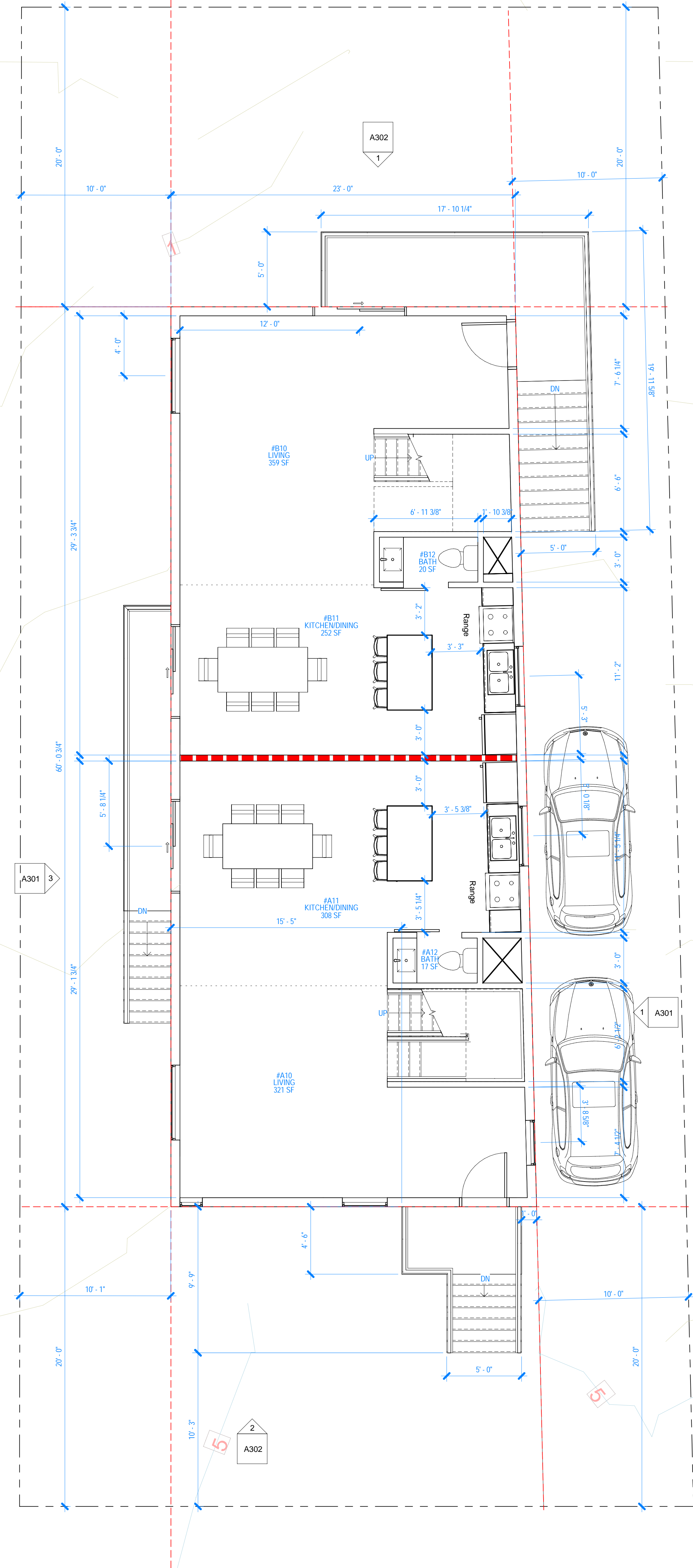
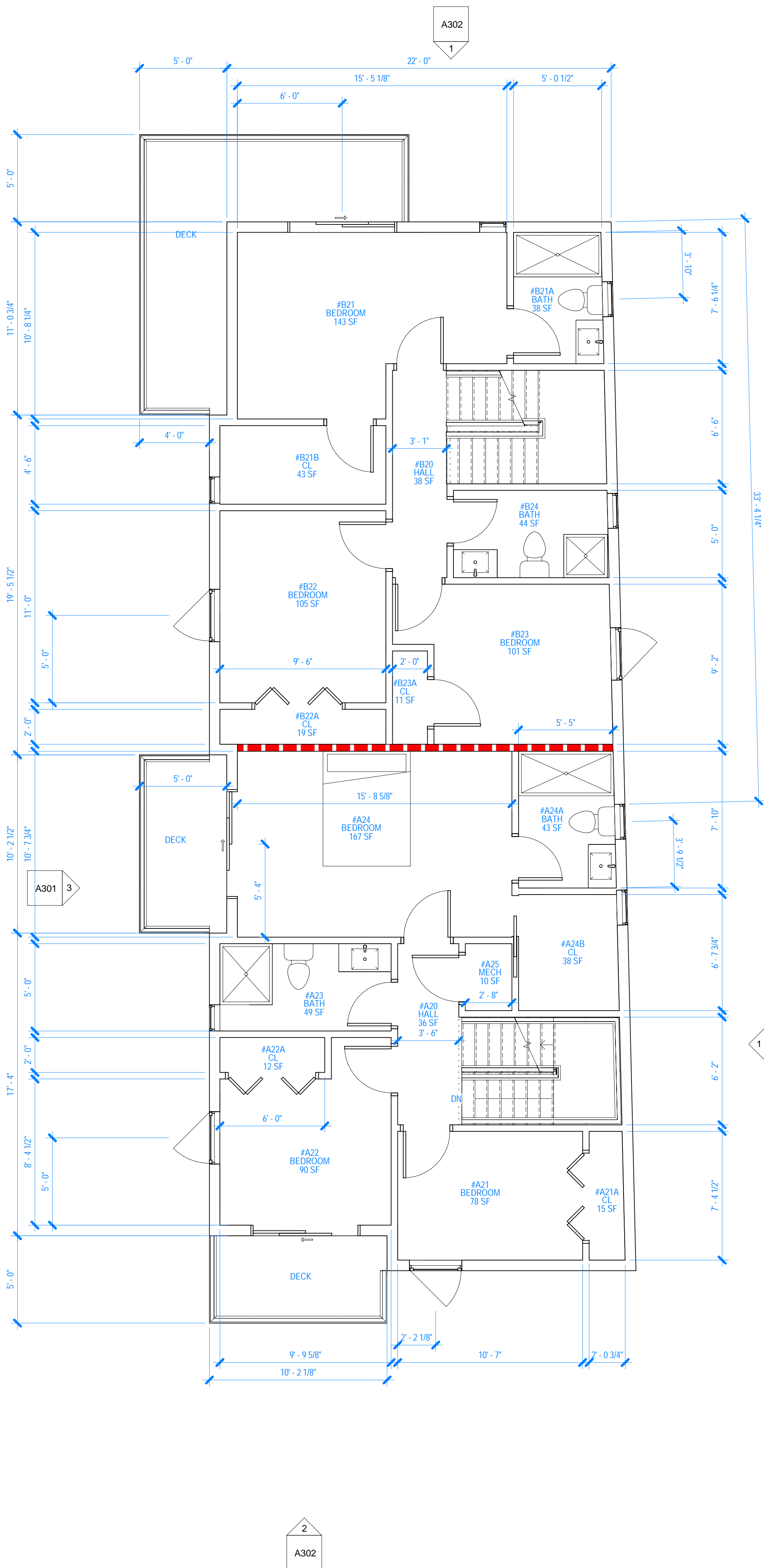
3 SECTION ATTIC
1/2" = 1'-0"



1 LEVEL 2 - FLOOR AREA
1/4" = 1'-0"



2 LEVEL ATTIC - FLOOR AREA
1/4" = 1'-0"



1 LEVEL 2 FLOOR PLAN, PROPOSED
1/4" = 1'-0"

2 LEVEL 1 FLOOR PLAN, PROPOSED
1/4" = 1'-0"

3 LEVEL 0 FLOOR PLAN, PROPOSED
1/4" = 1'-0"

103 THORNDIKE
TOWNHOUSES
103 THORNDIKE ST
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE
0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0"

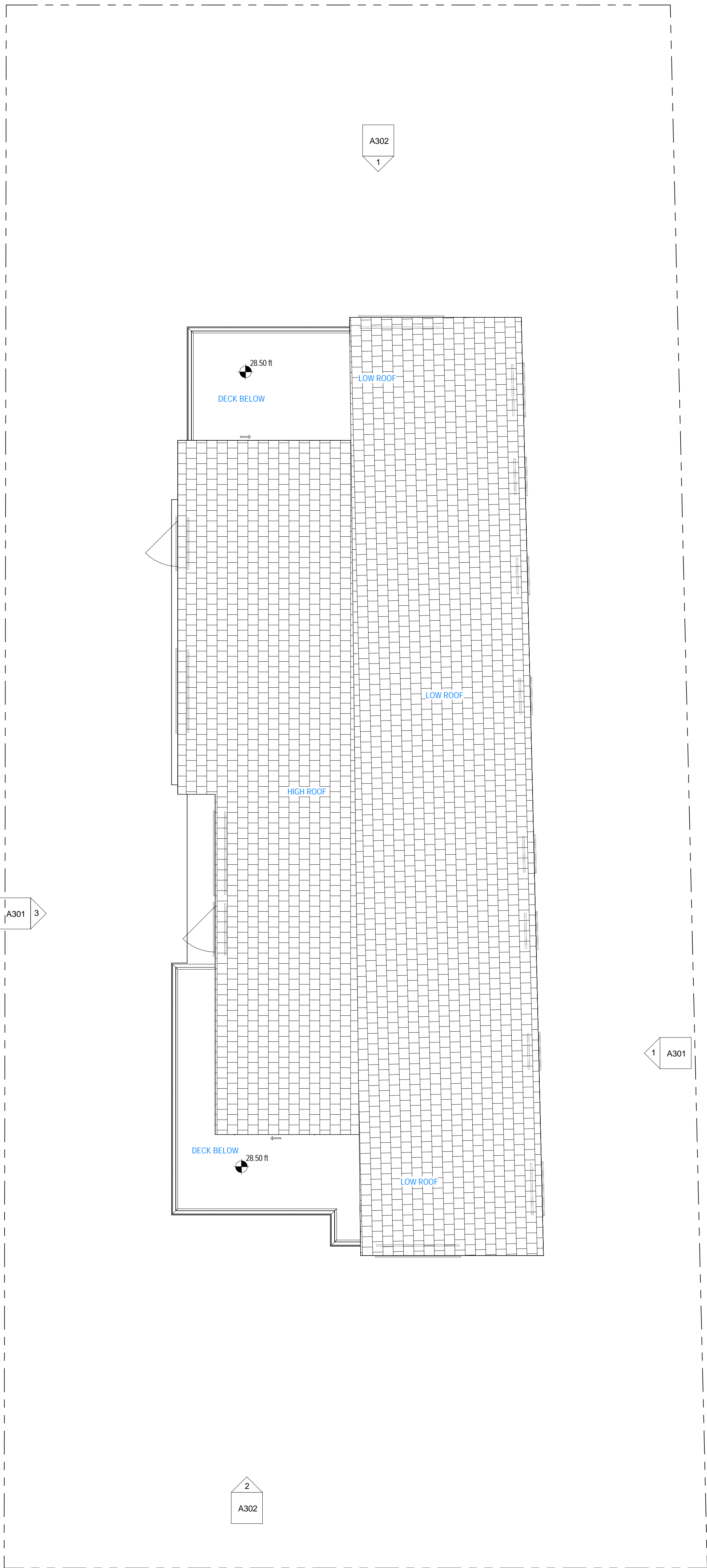
Author
Checker
09/17/24
1/4" = 1'-0"

SHEET NAME
FLOOR
PLANS

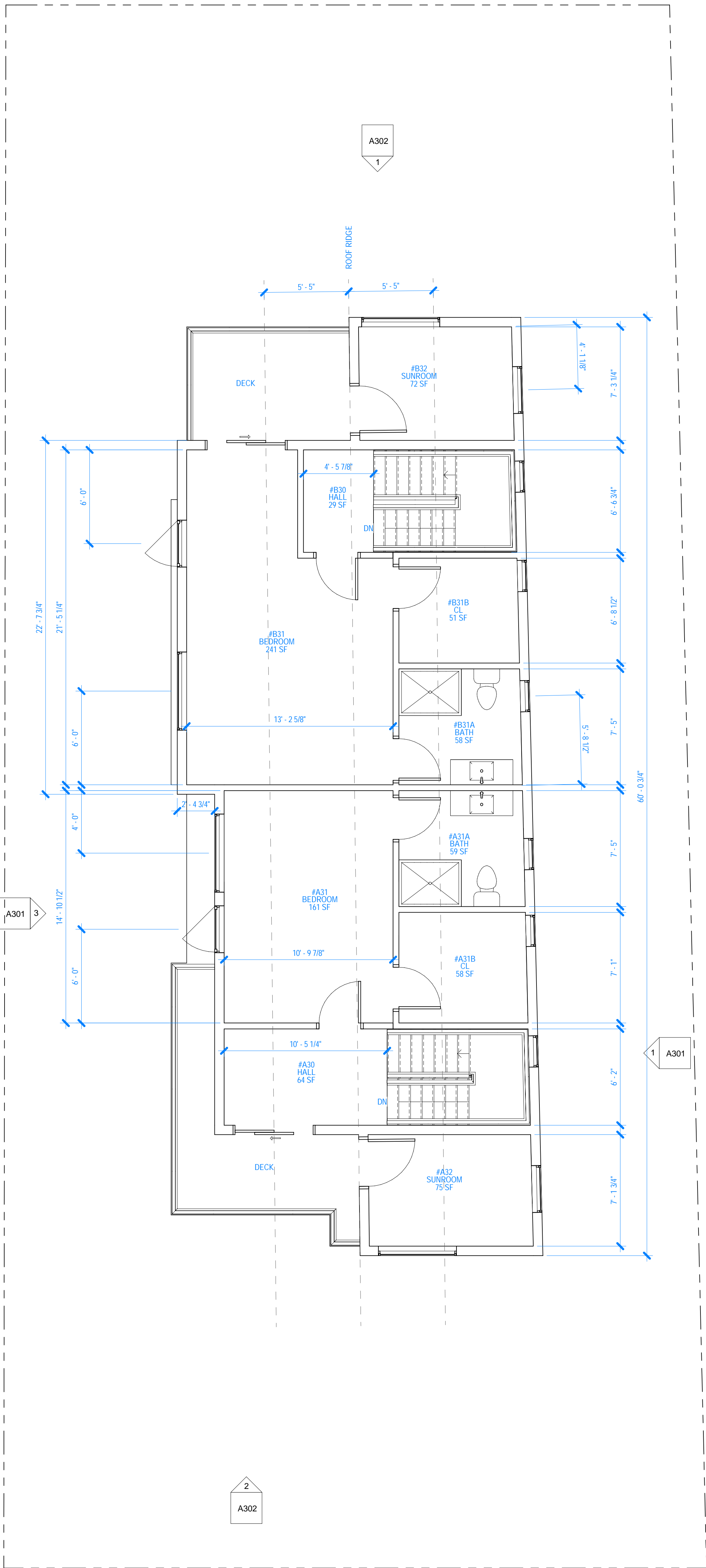
DRAFT
A201

OWNER
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT
HEXI, LLC
34 COMMERCE WAY
SUITE B-255
WOBURN, MA



2 LEVEL R FLOOR PLAN, PROPOSED
1/4" = 1'-0"



1 LEVEL ATTIC FLOOR PLAN, PROPOSED
1/4" = 1'-0"

103 THORNDIKE
TOWNHOUSES

103 THORNDIKE ST
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

Author
Checker
09/17/24
1/4" = 1'-0"

0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0"

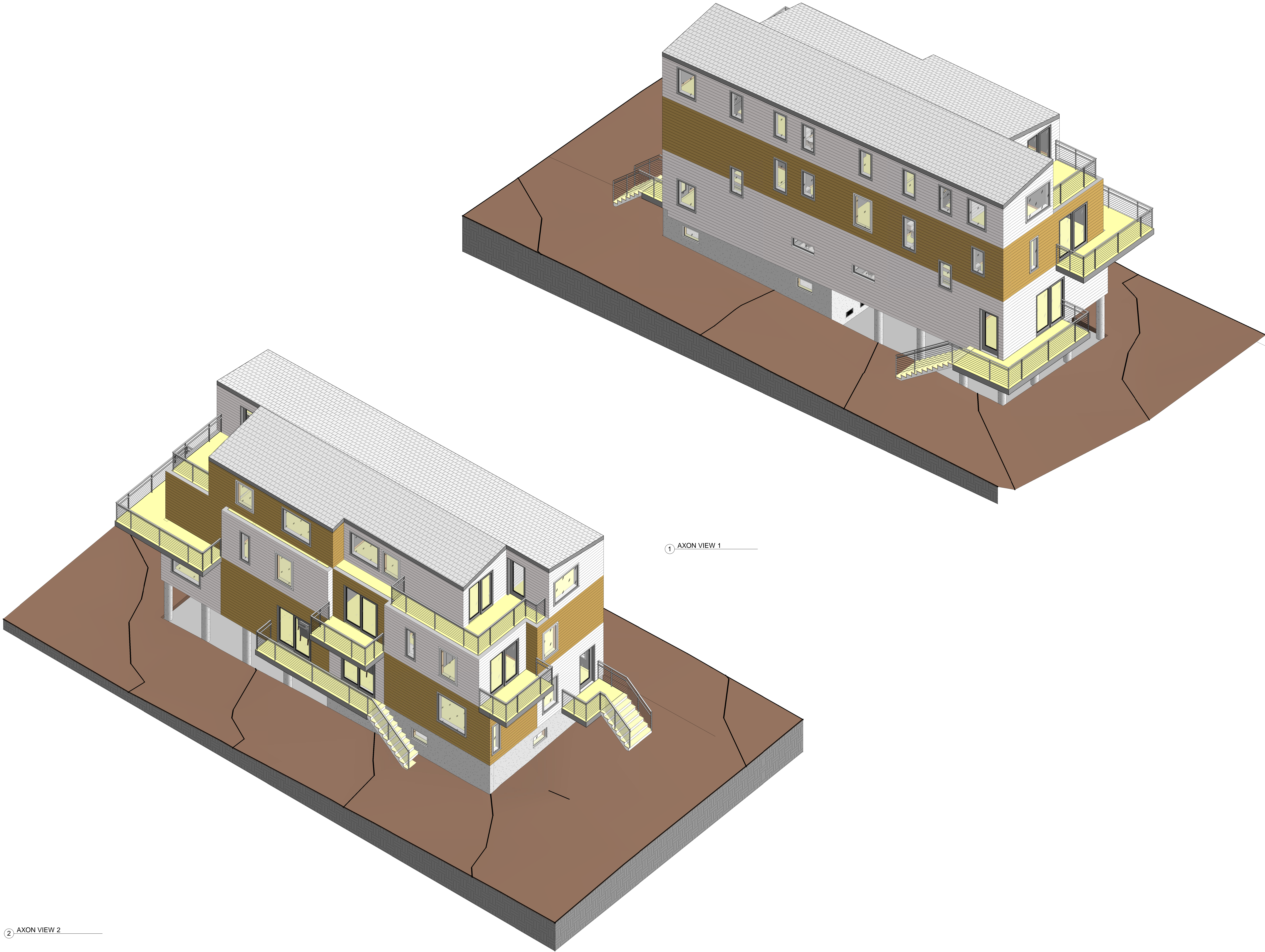
SHEET NAME

FLOOR
PLANS

DRAFT
A202

OWNER
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT
HEXI, LLC
34 COMMERCE WAY
SUITE B-255
WOBURN, MA



1 AXON VIEW 1

2 AXON VIEW 2

103 THORNDIKE
TOWNHOUSES
103 THORNDIKE ST
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

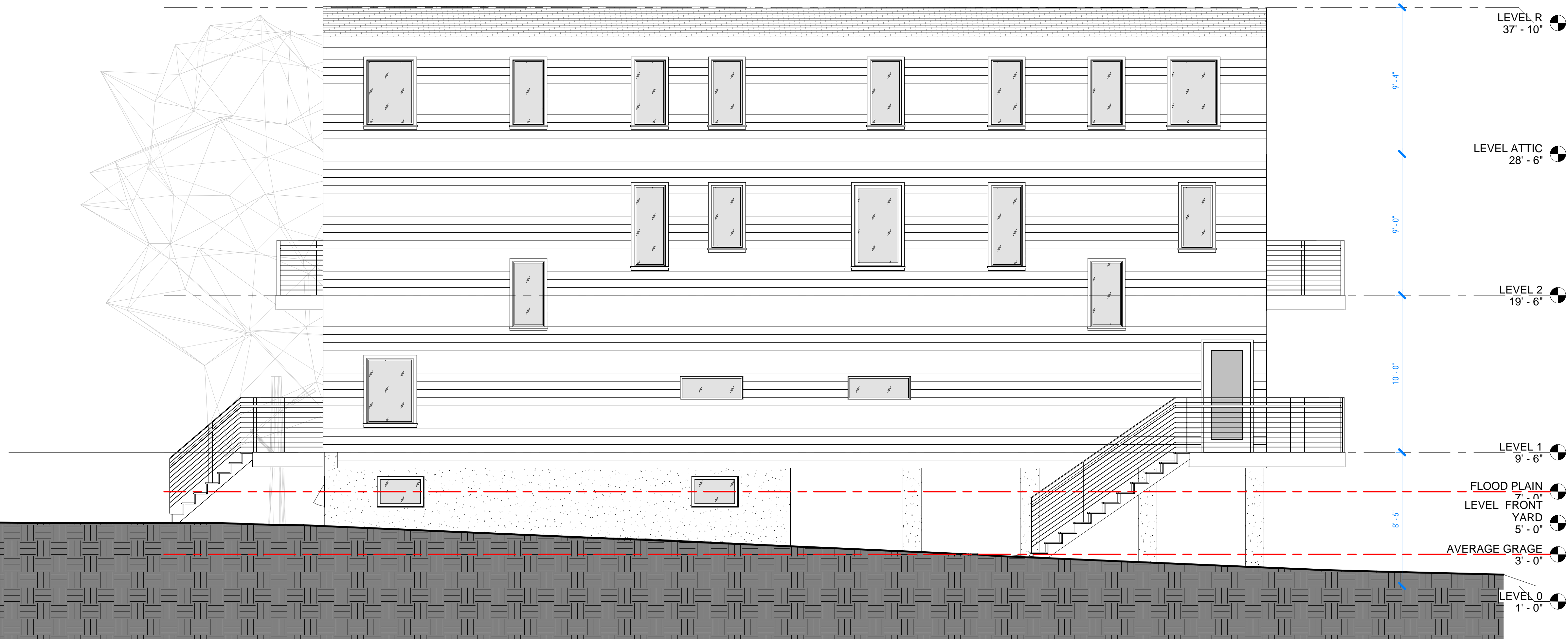
Author
Checker
09/17/24

SHEET NAME
RENDERINGS

DRAFT
A300

OWNER
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT
HEXI, LLC
34 COMMERCE WAY
SUITE B-255
WOBBURN, MA



1 BUILDING ELEVATION EAST, PROPOSED
1/4" = 1'-0"



3 BUILDING ELEVATION WEST, PROPOSED
1/4" = 1'-0"

103 THORNDIKE
TOWNHOUSES

103 THORNDIKE ST
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

Author
Checker
09/17/24
1/4" = 1'-0"

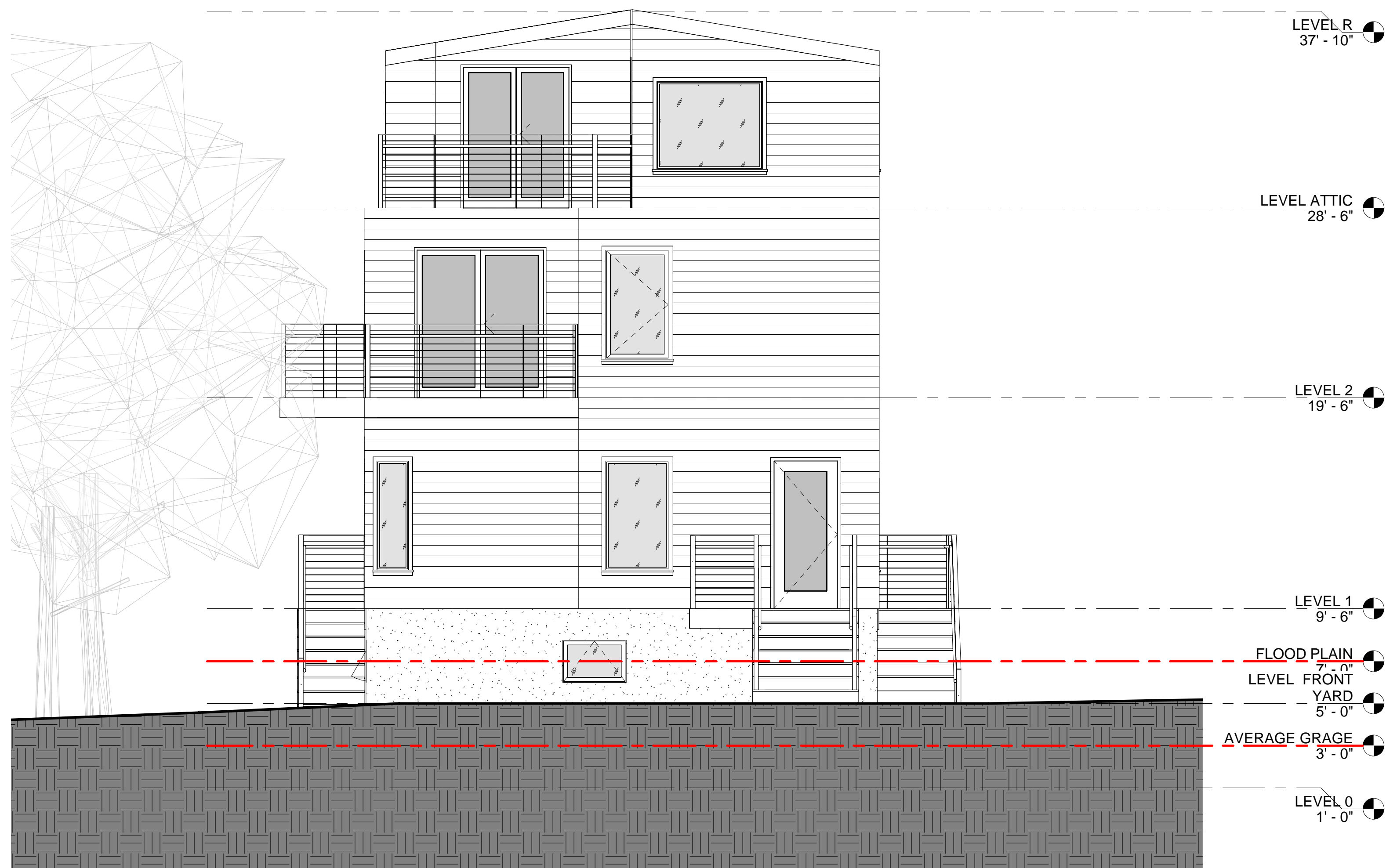
0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0"

SHEET NAME
ELEVATIONS

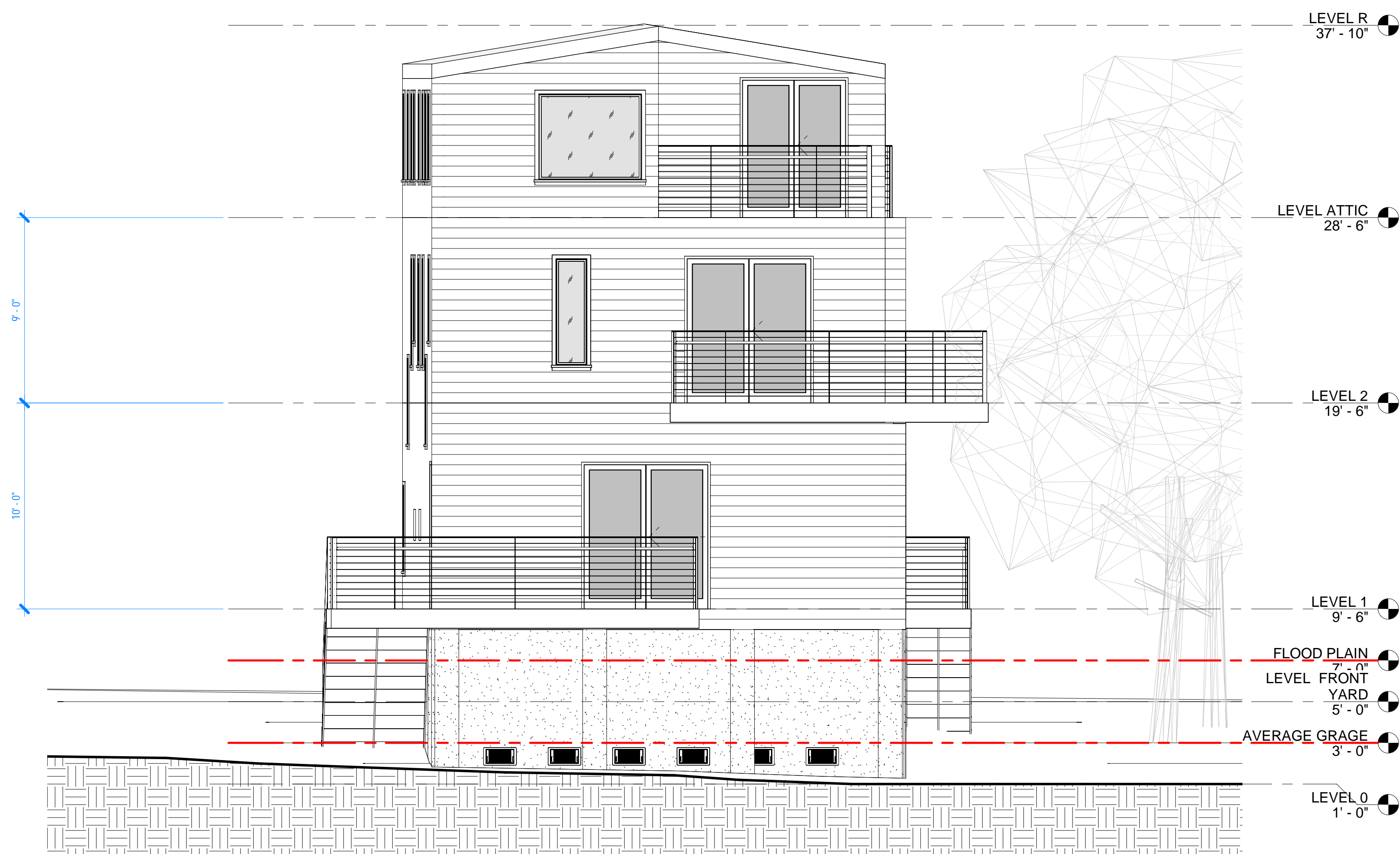
DRAFT
A301

OWNER
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT
HEXI, LLC
34 COMMERCE WAY
SUITE B-255
WOBURN, MA



② BUILDING ELEVATION SOUTH, PROPOSED
1/4" = 1'-0"



① BUILDING ELEVATION NORTH, PROPOSED
1/4" = 1'-0"

103 THORNDIKE
TOWNHOUSES

103 THORNDIKE ST
ARLINGTON, MA

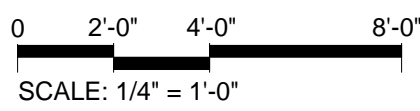
ZONING SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
KEY PLAN		

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

Author
Checker
09/17/24
1/4" = 1'-0"



SHEET NAME
ELEVATIONS

DRAFT
A302

BLATMAN, BOBROWSKI, HAVERTY & SILVERSTEIN, LLC
— ATTORNEYS AT LAW —

9 DAMONMILL SQUARE, SUITE 4A4
CONCORD, MA 01742
PHONE 978.371.2226
FAX 978.371.2296

CHRISTOPHER J. ALPHEN, ESQ.
Chris@bbhslaw.net

May 9, 2025

Via ViewPoint Cloud
Town of Arlington
Board of Zoning Appeals
51 Grove St
Arlington, MA 02476

RE: Special Permit/Variance Applications
APSE Investment LLC – 103 Thorndike Street, Arlington, Massachusetts

Dear Board:

Please be informed that this office represents APSE Investment LLC, a Massachusetts Limited Liability Company with an address of 15 Emerald Street, Newton, Massachusetts (the “Petitioner”). Please accept this letter as a supplement to the Applicant’s Special Permit / Variance Application.

During the first public hearing, the Board had questions and comments regarding the Petitioner’s proposal. The purpose of this letter is to address the Board’s comments.

Compliance with Section 6.1.10.A.

Section 6.1.10.A provides, in part, that “*Side yards used for parking shall have a vegetated buffer when abutting a lot used for residential purposes, to minimize visual impacts.*” Accordingly, the plan has been updated to provide a one-foot vegetated buffer. It shall be a vegetated wall in order to screen the parking.

Calculation of Landscaped and Usable Open Space

The plan has been revised to provide additional open and landscape space. The open space and landscape space calculations have been updated to comply with the definition provided by the Bylaw and Section 5.3.22.C. The proposal provides 30.95% (1,335 square feet) of usable open space and 14.48% (634 square feet) of landscape open space. Accordingly, the proposal provides open space in compliance with Section 5.3.22.C.

Windows on East Elevations

In response to the Board's comments, the windows on the east façade of the dwelling have been reorganized. The windows are now more aligned and provide a cohesive look.

Top Floor Building Code Compliance

The Petitioner reviewed the building code standards regarding the proposed top floor. The proposal is compliant with the Building Code. Of course, as a condition of approval, the dwelling will be required to meet the building code. A section diagram has been added to the plan set.

FEMA Regulations / Stories

The Bylaw states in part that “[a] **basement shall be deemed a story when its ceiling is 4 feet 6 inches or more above the finished grade.**” The first level elevation is more than 6 inches above average grade. It is higher in order to conform with FEMA requirement. The first-floor elevation needs to be at least one (1) foot higher than FEMA flood plain.¹

¹ Applicable FEMA regulations: 1.FEMA - The National Flood Insurance Program (NFIP) Technical Bulletins provide guidance for complying with the NFIP's building performance requirements contained in Title 44 of the U.S. Code of Federal Regulations at Section 60.3 Floodplain Management Criteria for Flood-prone Areas. The bulletins help state and local officials interpret the NFIP regulations and are also useful resources for homeowners, insurance agents, building professionals, and designers. - See Section C 1-3, The FEPA also refer to Technical ASCE 24
2. International Building Code (IBC) – Section 1612.1 – 1612.5
<https://www.ecfr.gov/current/title-44/chapter-I/subchapter-B/part-60/subpart-A/section-60.3>

Variance Criteria

The Board requested an additional explanation on how the proposal meets the criteria for a variance. As noted, the existing dwelling is a legal pre-existing nonconforming structure. Section 8.1.1. of the Bylaw along with G.L. ch. 40A, § 6 permits the reconstruction of pre-existing nonconforming structures with the issuance of a special permit.

However, Section 8.1.1. does not apply to when the reconstruction “*increase[s] the nonconforming nature of said structure.*” Because the proposal arguably creates two new nonconformities the Petitioner requires two variances. See *Deadrick v. Zoning Bd. Appeals of Chatham*, 85 Mass.App.Ct. 539 (2014).

The Petitioner requires the following variances:

- 1. Section 5.4.2.A. provides a maximum height of two and half (2.5) stories in the R2 Zoning District. The project contains three and half (3.5) stories; and**
- 2. Section 5.4.2.A. provides a maximum lot coverage of thirty-five (35%) percent. The project has proposed lot coverage of fifty-six and four tenths (56.4%) percent. Accordingly, the Petitioner required a variance pursuant to Section 3.2.2.D. and G.L. c. 40A, § 10.**

The Petitioner meets the requirements for a variance as detailed below.

A. A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise to the petitioner or appellant

The proposal meets the compliant with the maximum height requirement of thirty-five (35) feet. However, the Bylaw also provides that dwellings may not exceed two and half (2.5) stories.

3. ASEC 24-14 – America Society of Civil Engineer Technical Bulletin on Flood Resistant Design and Construction which is adopted by the FEMA Technical Bulletins. See attached.

4. MGL Chapter 131, Section 40 and 310 CMR 10.00: Wetland Protection Act Regulations. See subsection 10.57 Land Subject to Flood. Under this section, the regulations prohibit lost of flood storage that the new structures have to be elevated so that the proposed building will be uptake any flood storage volume on the site.

The Bylaw states in part that “[a] basement shall be deemed a story when its ceiling is 4 feet 6 inches or more above the finished grade.” The first level elevation is more than 6 inches above average grade in order to meet FEMA regulations. The first-floor elevation needs to be at least one (1) foot higher than FEMA flood plain.

With a literal enforcement of the Bylaw, the Petitioner would be required to construct a much shorter dwelling to meet both the Bylaw and FEMA regulations.

The removal of the existing dwelling and construction of the new building will eliminate existing front and side yard setback nonconformities. A grant of a variance in this circumstance would forever eliminate the existing setback conformities. As the Supreme Judicial Court made clear, “the ultimate objectives of zoning would be furthered by the eventual elimination of nonconformities in most cases.” *Bransford v. Zoning Bd. of Appeals of Edgartown*, 444 Mass. 852, 853, 832 N.E.2d 639 (2005). The Proposed Project will be more conforming for zoning purposes but for the story and lot coverage requirements.

The existing dwelling is dilapidated, and it would be uneconomic to renovate. Without the right to reconstruct the building there would be substantial hardship placed on the petitioner.

With a literal enforcement of the Bylaw the Petitioner would be left with the nonconforming dwelling which size and conditions are not harmonized with the surrounding neighborhood. The Proposed Project will improve the Property and provide a benefit to the neighborhood.

B. The hardship is owing to circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structure but not affecting generally the zoning district in which it is located.

A hardship exists due to the unique shape and soil conditions of the Property. The Property is located in a flood district. Development requires the Petitioner to comply with FEMA

regulations. The first-floor elevation needs to be at least one (1) foot higher than FEMA flood plain. Under the Bylaw, the first floor-elevation cannot be considered a story when “its ceiling is 4 feet 6 inches or more above the finished grade.”

The Property also abuts municipal recreational land to its rear and westerly side. There is ample open space and recreational space in the immediate area. Due to the long narrow shape of the lot, it would be difficult to design a dwelling that meets all the dimensional requirements. The Proposed Project only does not meet the maximum story and lot coverage requirements. The size of the Proposed Dwelling is consistent with other dwellings in the immediate neighborhood.

C. Desirable relief may be granted without either: (1) Substantial detriment to the public good; or (2) Nullifying or substantially derogating from the intent or purpose of this Ordinance.

Permitting the removal of a pre-existing nonconforming structure and allowing the Proposed Project will not be substantial detriment to the public good or derogate from the intent or purpose of the Bylaw. The Petitioner proposes a well-designed site plan that will replace an outdated nonconforming structure.

The purpose of the lot coverage requirements is to prevent overcrowding. Here the proposal eliminates existing setback nonconformities and abuts recreational land. Accordingly, in this unique circumstance, a variance can be issued without nullifying or derogating from the intent and purpose of the Bylaw.

The Proposed Project is an improvement to the neighborhood and fits comfortably with the surrounding area. The nonconforming stories and lot coverage will have a de minis impact on the surrounding area.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Christopher J. Alphen', with a stylized flourish at the end.

Christopher J. Alphen, Esq.

BLATMAN, BOBROWSKI, HAVERTY & SILVERSTEIN, LLC
— ATTORNEYS AT LAW —

9 DAMONMILL SQUARE, SUITE 4A4
CONCORD, MA 01742
PHONE 978.371.2226
FAX 978.371.2296

CHRISTOPHER J. ALPHEN, ESQ.
Chris@bbhslaw.net

June 9, 2025

Via ViewPoint Cloud
Town of Arlington
Board of Zoning Appeals
51 Grove St
Arlington, MA 02476

RE: Special Permit/Variance Applications
APSE Investment LLC – 103 Thorndike Street, Arlington, Massachusetts

Dear Board:

Please be informed that this office represents APSE Investment LLC, a Massachusetts Limited Liability Company with an address of 15 Emerald Street, Newton, Massachusetts (the “Petitioner”). Please accept this letter as a supplement to the Applicant’s Special Permit / Variance Application.

Brief updates:

1. The Board was concerned that the project does not meet the legal criteria for a variance as to the proposed nonconforming lot coverage. After discussion, the Petitioner questioned whether the driveway areas should be included in the lot coverage calculation. The Bylaw does not provide a clear definition. By email correspondence, the Building Commissioner opinioned the driveway areas are not part of the lot coverage calculation. See attached email correspondence from Michael Ciampa. Accordingly, the zoning tables on the plans have been revised and the Petitioner no longer requires a variance for nonconforming lot coverage.
2. The Petitioner still requires a (1) a special permit for the reconstruction of a legal pre-existing nonconforming structure; and (2) a variance from the maximum number of stories. The proposal meets the compliant with the maximum height requirement of thirty-five (35) feet. However, the Bylaw also provides that dwellings may not exceed two and half (2.5) stories. See Section 5.4.2.A. The Bylaw states in part that “[a]

basement shall be deemed a story when its ceiling is 4 feet 6 inches or more above the finished grade.” The first level elevation is more than 6 inches above average grade in order to meet FEMA regulations. The first-floor elevation needs to be at least one (1) foot higher than FEMA flood plain. Without zoning relief, the Petitioner would not be able to add living space to the first floor. See also GeoTech report.

Very truly yours,

A handwritten signature in black ink, appearing to read 'C. Alphen', with a long horizontal flourish extending to the right.

Christopher J. Alphen, Esq.

From: [Michael Ciampa](#)
To: [Chris Alphen](#)
Subject: Re: Lot Coverage Calculation
Date: Tuesday, May 20, 2025 11:41:24 AM

They are not.

Best
Mike

Michael Ciampa
Director of Inspectional Services
Town of Arlington
781-316-3386

Arlington values equity, diversity, and inclusion. We are committed to building a community where everyone is heard, respected, and protected.

From: Chris Alphen <chris@bbhslaw.net>
Sent: Tuesday, May 20, 2025 11:39 AM
To: Michael Ciampa <mciampa@town.arlington.ma.us>
Subject: Lot Coverage Calculation

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Michael:

Hope all is well.

I have a simple question. Are driveway areas included as part of the lot coverage calculation? They usually are, but I didn't see anything on point in the bylaw.

Thank you,

Chris

Christopher J. Alphen, Esq.
Blatman, Bobrowski, Haverty & Silverstein, LLC
9 Damonmill Square, Ste. 4A4
Concord, MA 01742
978.371.2226 Ext. 12 (office)
978.371.2296 (fax)
chris@bbhslaw.net

The information in this transmittal is privileged and confidential and is intended only for the recipient(s) listed above. If you are neither

the intended recipient(s) nor the person responsible for the delivery of this transmittal to the intended recipient(s), you are hereby notified that any unauthorized distribution or copying of this transmittal is prohibited. If you have received this transmittal in error, please notify me immediately at (978) 371-2226.

CONSTRUCTION NOTES

1. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO ORIGINAL CONDITION.
2. CONTRACTOR TO MEET ALL TOWN OF ARLINGTON REQUIREMENTS FOR AS-BUILT CERTIFICATION.
3. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE 72 HOURS PRIOR TO EXCAVATION TO INFORM UTILITY COMPANIES OF ANY EXCAVATION NEAR EXISTING UTILITIES.
4. CONTRACTOR SHOULD IMPLEMENT EROSION AND SEDIMENTATION CONTROL IF NECESSARY TO PREVENT STORMWATER POLLUTION ONTO THE CITY DRAINAGE SYSTEM.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CITY PERMITS TO PERFORM THE WORK.

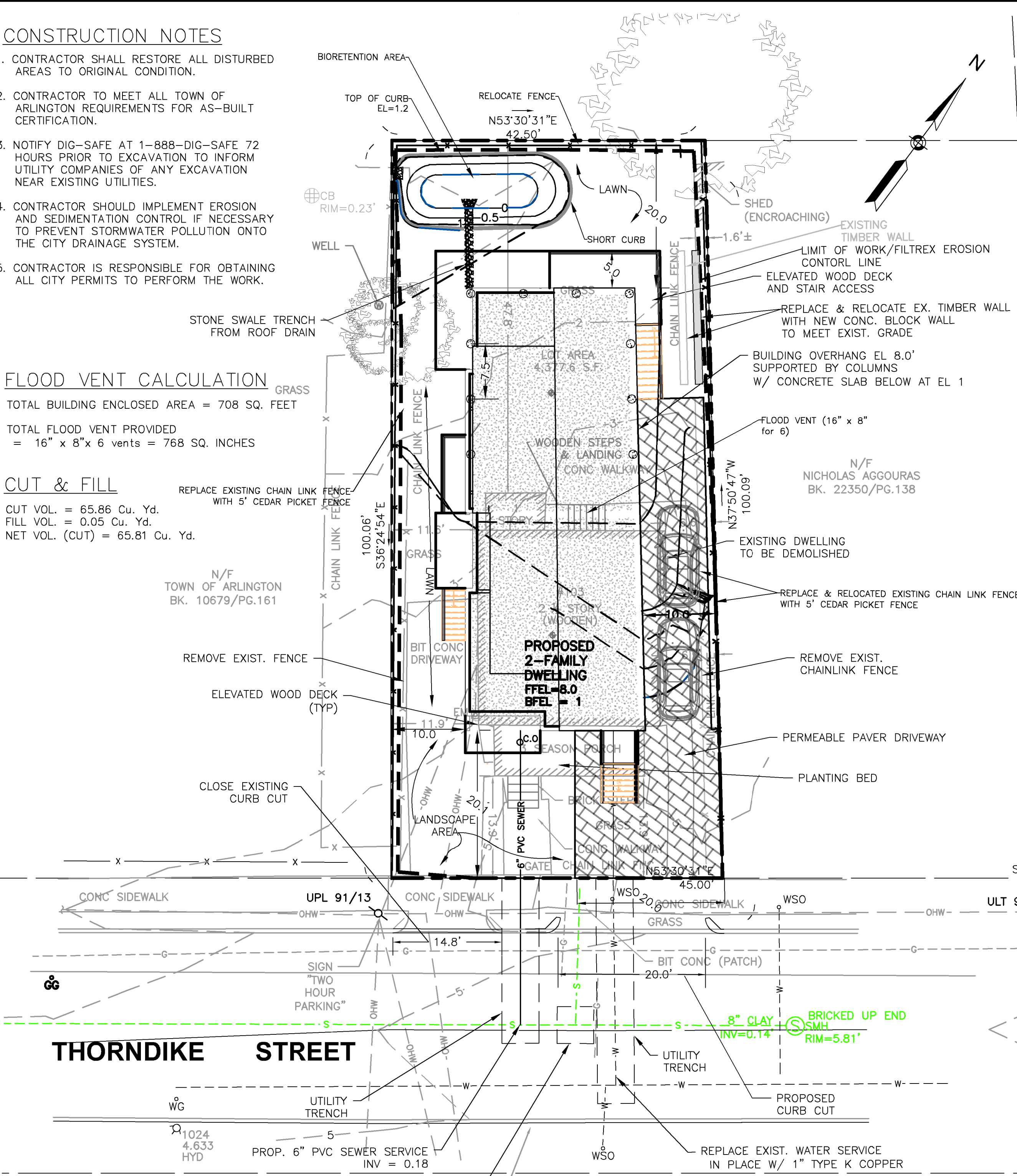
FLOOD VENT CALCULATION

TOTAL BUILDING ENCLOSED AREA = 708 SQ. FEET

TOTAL FLOOD VENT PROVIDED
= 16" x 8" x 6 vents = 768 SQ. INCHES

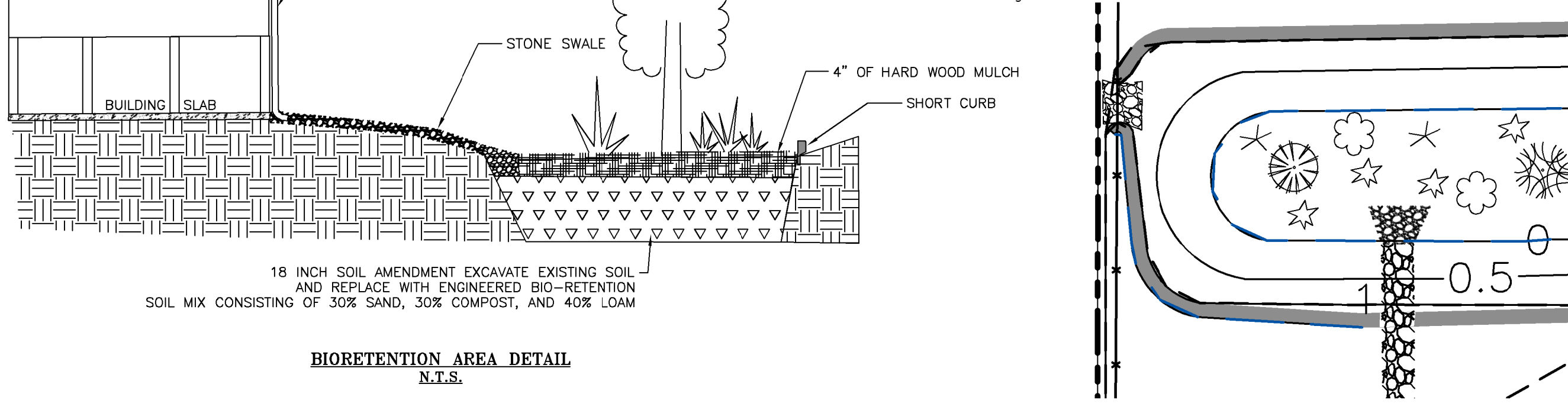
CUT & FILL

CUT VOL. = 65.86 Cu. Yd.
FILL VOL. = 0.05 Cu. Yd.
NET VOL. (CUT) = 65.81 Cu. Yd.



Plant Schedule

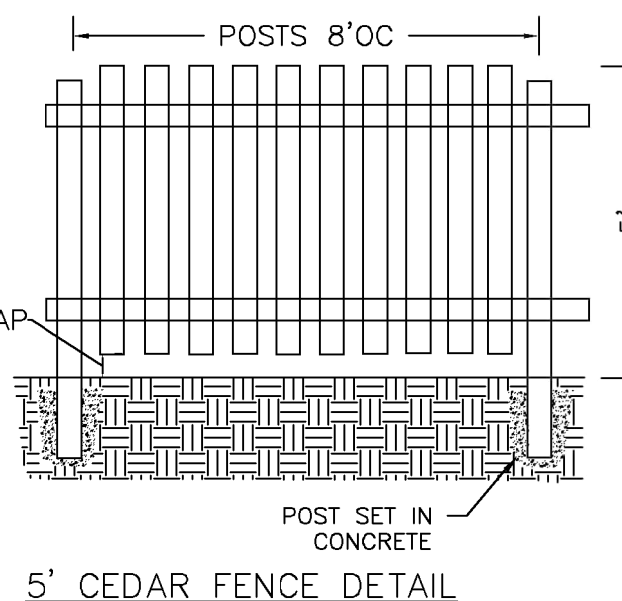
Symbol	Common Name	Botanical Name	Quantity
	Red Maple	Acer Rubrum	1
	Flowering Dogwood	Cornus Florida	1
	Winterberry	Ilex Verticillata	2
	Switch Grass	Panicum Virgatum	5
	Canada Dwarf Dogwood	Chamaepericlymenum Canadense	3



PLAN REFERENCE

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MAGNETIC NORTH. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE AE (WITHOUT BASE FLOOD ELEVATION) (BFE) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF ARLINGTON, MASSACHUSETTS, COMMUNITY PANEL NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010. THE FLOOD ELEVATION IS 7'.
- 6) NO WETLAND FLAGS WERE OBSERVED ON SITE AT THE TIME OF THE SURVEY.
- 7) OWNER AND PROPERTY INFORMATION:
OWNER: APSE INVESTMENT LLC
PARCEL ID: 2-1-20

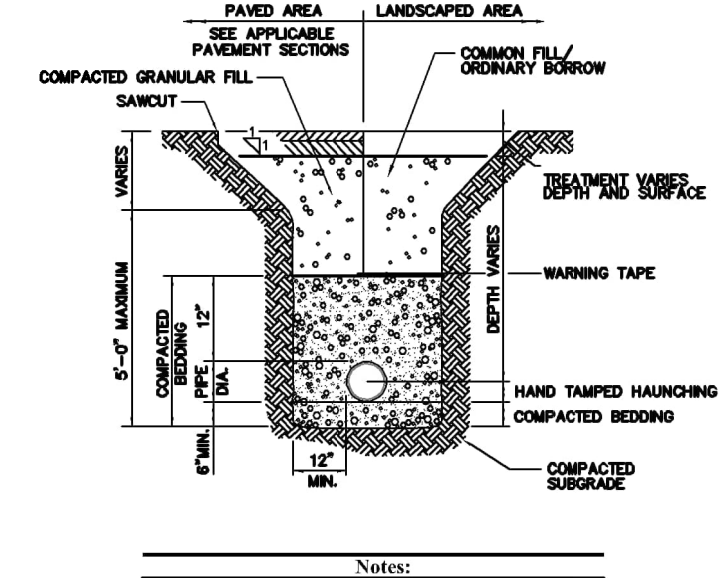
ROAD



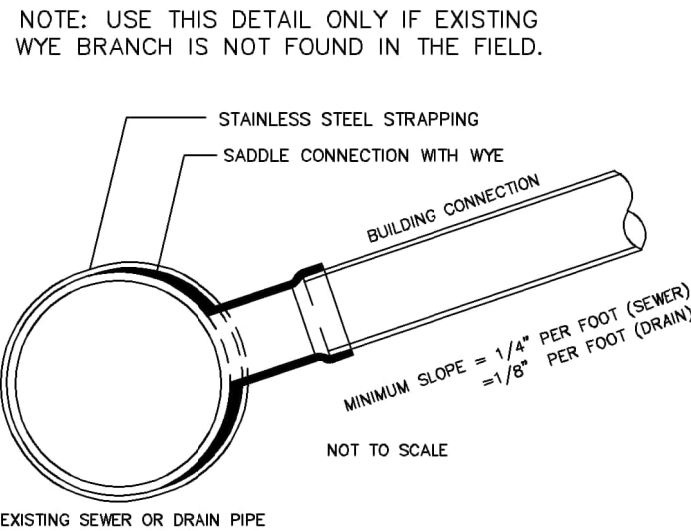
NOTE: CEDAR FENCE TO REPLACE EXISTING CHAIN LINK FENCE. 4" GAP BETWEEN BOTTOM OF FENCE AND GROUND. POSTS TO BE SET 18" MIN. BELOW GRADE.



TREE PROTECTION EXAMPLE



Utility Trench



SEWER CONNECTION DETAIL

SADDLE CONNECTION DETAIL

REVISIONS:

NO.	COMMENTS:	DATE:
1.	FENCE DETAIL ADDED	8/13/2024
2.	PER CON. COMM COMMENT	8/21/2024
3.	NEW PARKING LAYOUT	2/26/2025
4.	ARCHITECTURAL COORDINATION	5/5/2025
5.	ZBA SET	6/9/2025

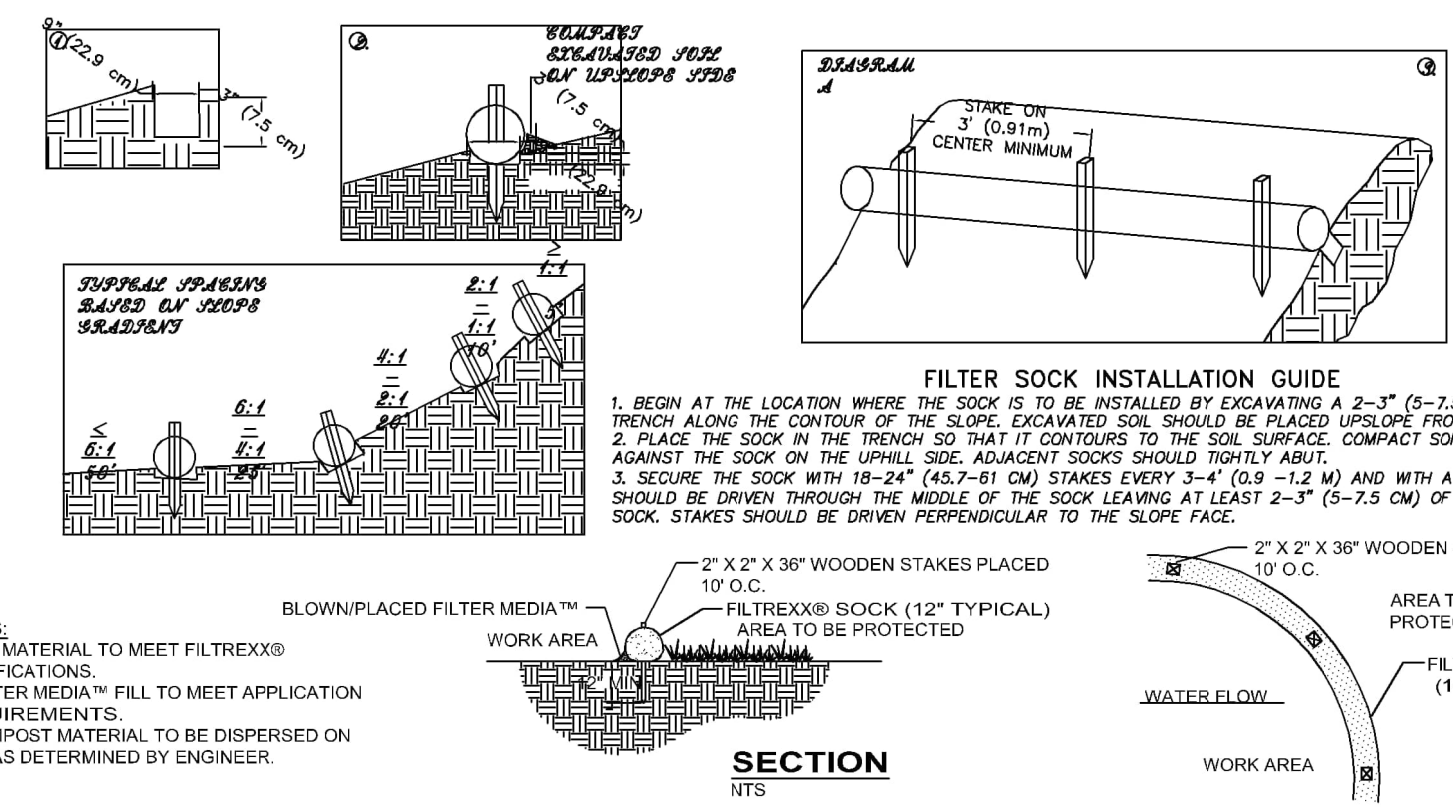
FLOOD STORAGE VOLUME EL 7'

	EXISTING	PROPOSED
EL -1-0	0	68
EL 0-1	192.2	260.2
EL 1-2	1,200.5	1,961.5
EL 2-3	2,025.5	2,375
EL 3-4	2,672.5	2,740.4
EL 4-5	3,320.5	3,329.6
EL 5-6	3,676.6	3,677.6
EL 6-7	3,676.6	3,677.6

DIMENSIONAL REQUIREMENTS

ZONING R-2	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	6,000 SF	4,377* SF	4,377* SF
MIN. LOT AREA PER D.U.	---	N/A	N/A
MIN. LOT FRONTAGE	60 FT	45* FT	45* FT
MIN. YARD - FRONT	20 FT	13.9 FT	20.0 FT
MIN. YARD - SIDE	10 FT	6.9 FT	10.0 FT
MIN. YARD - REAR	20 FT	47.8 FT	20.0 FT
MAX. BUILDING HEIGHT	35FT/2.5ST	2.5 ST	2.5 ST
MAX. FLOOR AREA RATIO	---	N/A	N/A
MIN. LANDSCAPE OPEN SPACE	10%	76.4%	43.6%
MIN. USABLE OPEN SPACE	30%	76.4%	43.6%
MAX. LOT COV. (BLDG FOUNDATION FOOTPRINT/LOT)	35%	20.4%	35.0%

* EXISTING NONCONFORMING

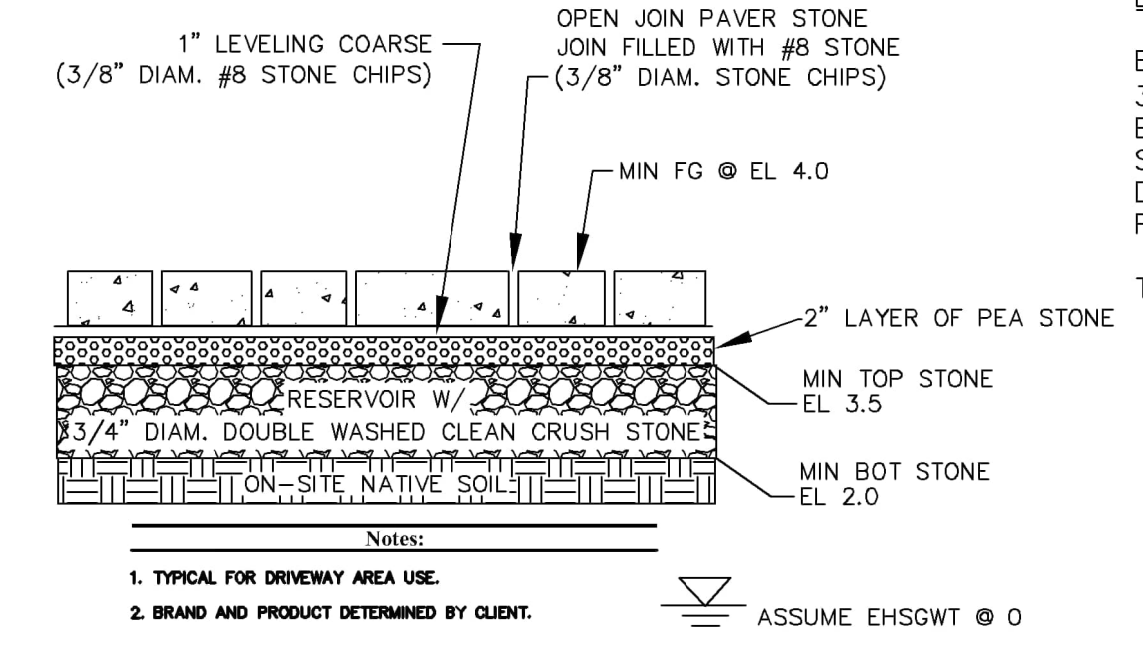


NOTES:
1. ALL MATERIAL TO MEET FILTER SOCK SPECIFICATIONS.
2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

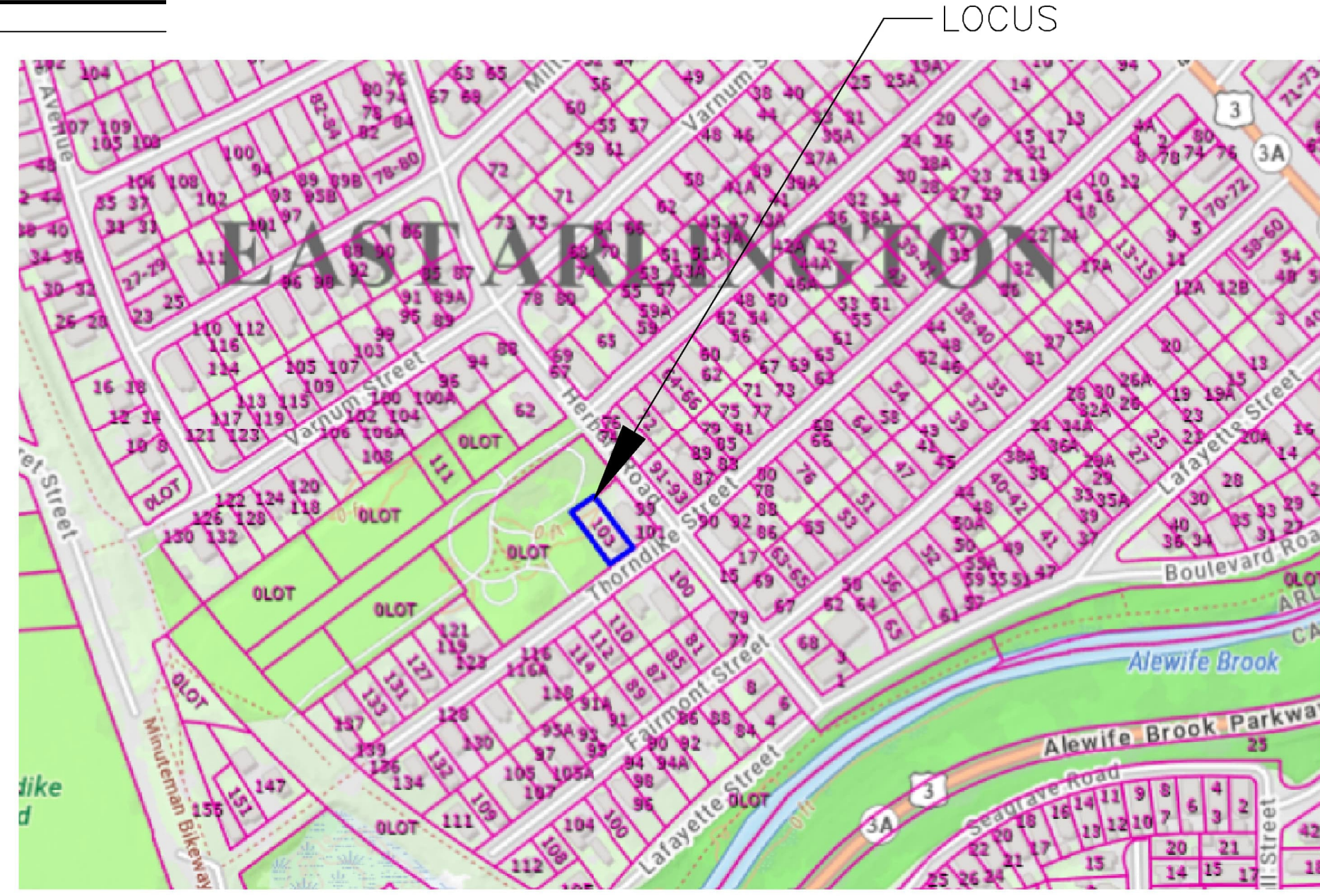
Filter Sock Erosion Control

DRAINAGE AREAS

	EXISTING	PROPOSED
BUILDING	665 SF	1410 SF
3 SEASON PORCH	139 SF	
BACK PORCH	40 SF	
SIDE WALKWAY	207 SF	
DRIVEWAY	369 SF	
FRONT WALKWAY	79 SF	
TOTAL IMPERVIOUS	1,499	2,149 SF



Permeable Pavers Pavement Section



06/09/2025

SITE LAYOUT PLAN
103 THORNDIKE STREET
ARLINGTON, MASSACHUSETTS

DRAWN BY: ZLD
DESIGNED BY: CYM
CHECKED BY: CYM



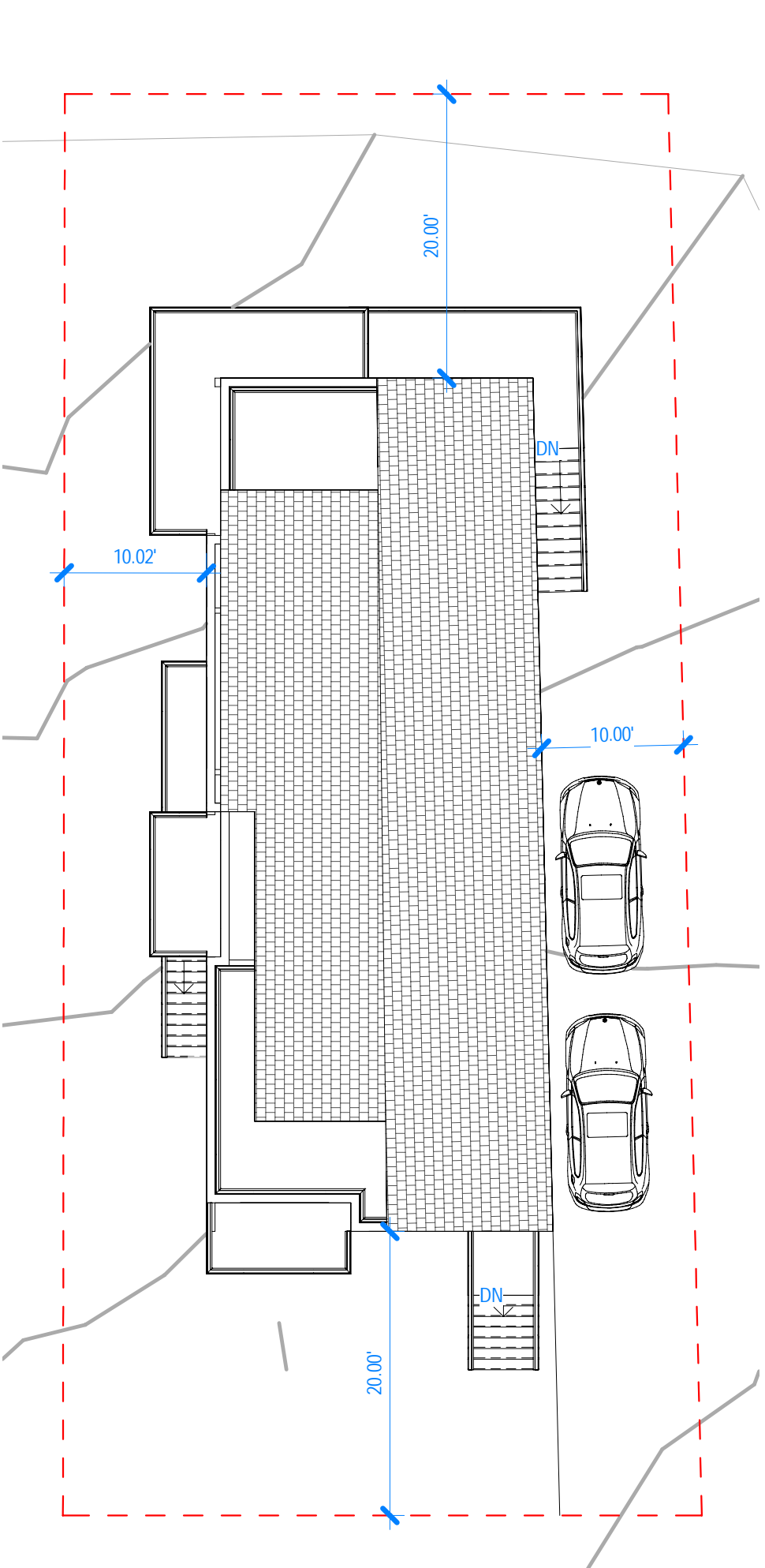
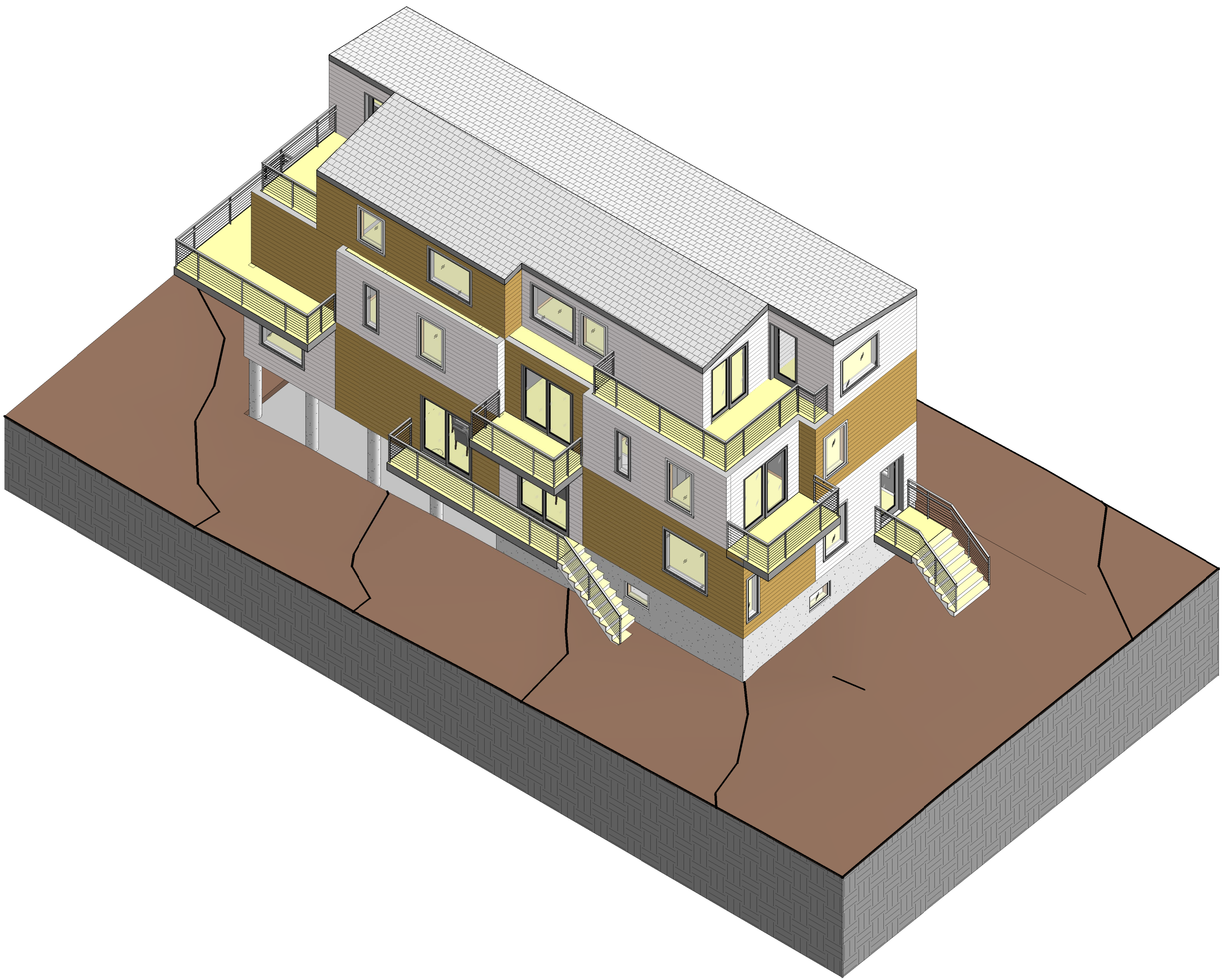
PREPARED FOR:
CONSERVATION COMM.

SHEET
C-1

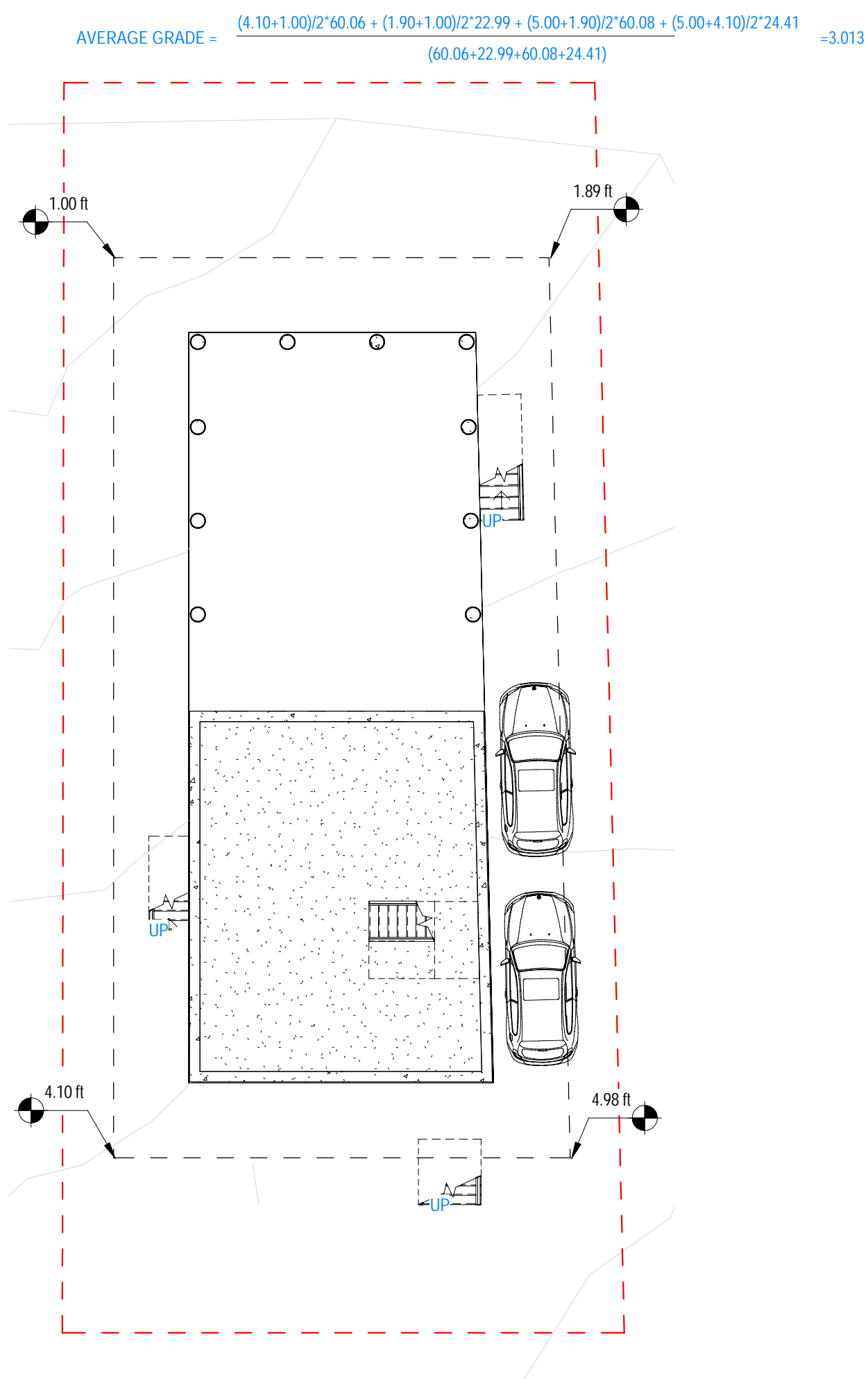
ZONING COMPLIANCE TABLE - 103 THORNDIKE ST ARLINGTON R2						
ZR	Item/Description	Existing	Permitted / Required	Proposed	Complan...	Notes
	USES	1 FAMILY	2-FAMILY	2-FAMILY		
	FAR	-	-	-		
	FLOOR AREA	1,263 SF	-	3,470 SF		BASEMENT AND CEILING UNDER 7' EXCLUDED
	LOT SIZE	4377.6 SF	4377.6 SF	4377.6 SF		
	LOT COVERAGE	23.6%	35%	35%		
	OPEN SPACE	USABLE	30% (1,313.35F)	30.95% (1,355 SF)		
		LANDSCAPE	10% (437.85F)	14.48% (634 SF)		
	PARKING	2	2	2		DRIVEWAY
	SETBACK & HEIGHT	NORTH	47.8'	20.0'	20.0'	
		EAST	6.6'	10.0'	10.0'	
		SOUTH (STREET)	-	20.0'	20.0'	
		WEST	11.9'	10.0'	10.0'	
		MAX BUILDING HEIGHT	-	35'	35'	

GROSS FLOOR AREA, PROPOSED		
Name	Level	Area
UNIT A	LEVEL 1	720 SF
UNIT A	LEVEL 2	690 SF
UNIT A	LEVEL ATTIC	285 SF
		1694 SF
UNIT B	LEVEL 1	703 SF
UNIT B	LEVEL 2	692 SF
UNIT B	LEVEL ATTIC	282 SF
		1677 SF
Grand total		3372 SF

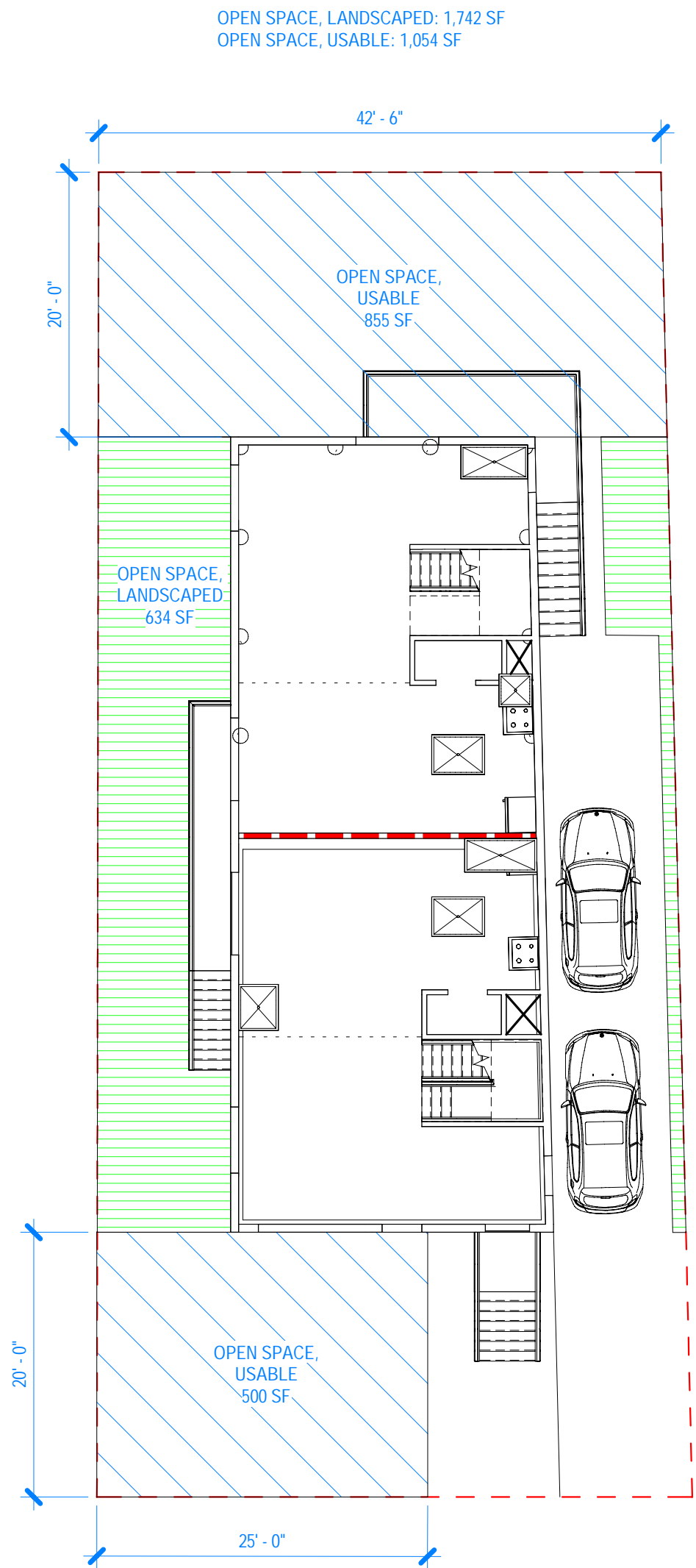
GROSS FLOOR AREA, PROPOSED BY LEVEL		
Level	Name	Area
LEVEL 1	UNIT A	720 SF
LEVEL 1	UNIT B	703 SF
		1423 SF
LEVEL 2	UNIT A	690 SF
LEVEL 2	UNIT B	692 SF
		1382 SF
LEVEL ATTIC	UNIT A	285 SF
LEVEL ATTIC	UNIT B	282 SF
		566 SF
Grand total		3372 SF



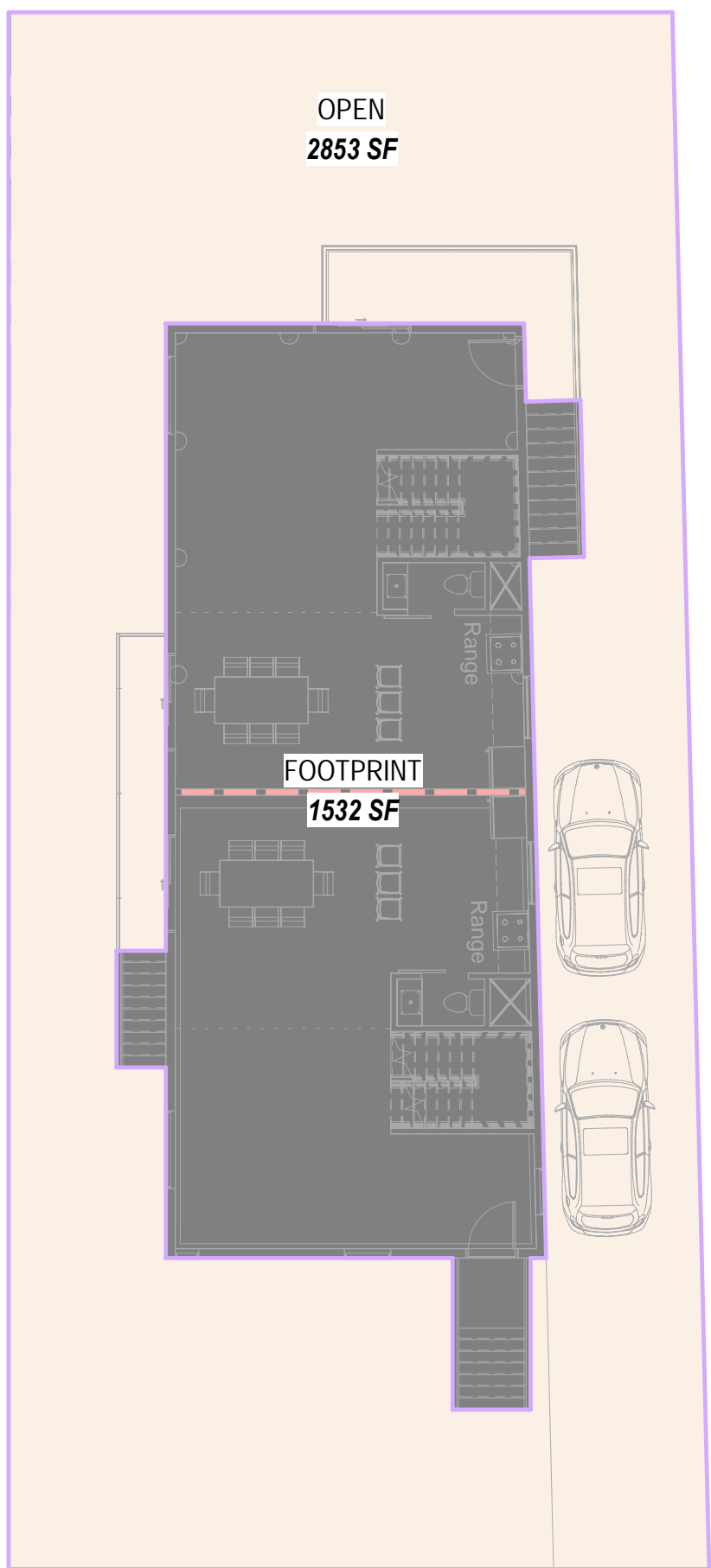
9 SITE PLAN, PROPOSED
3/32" = 1'-0"



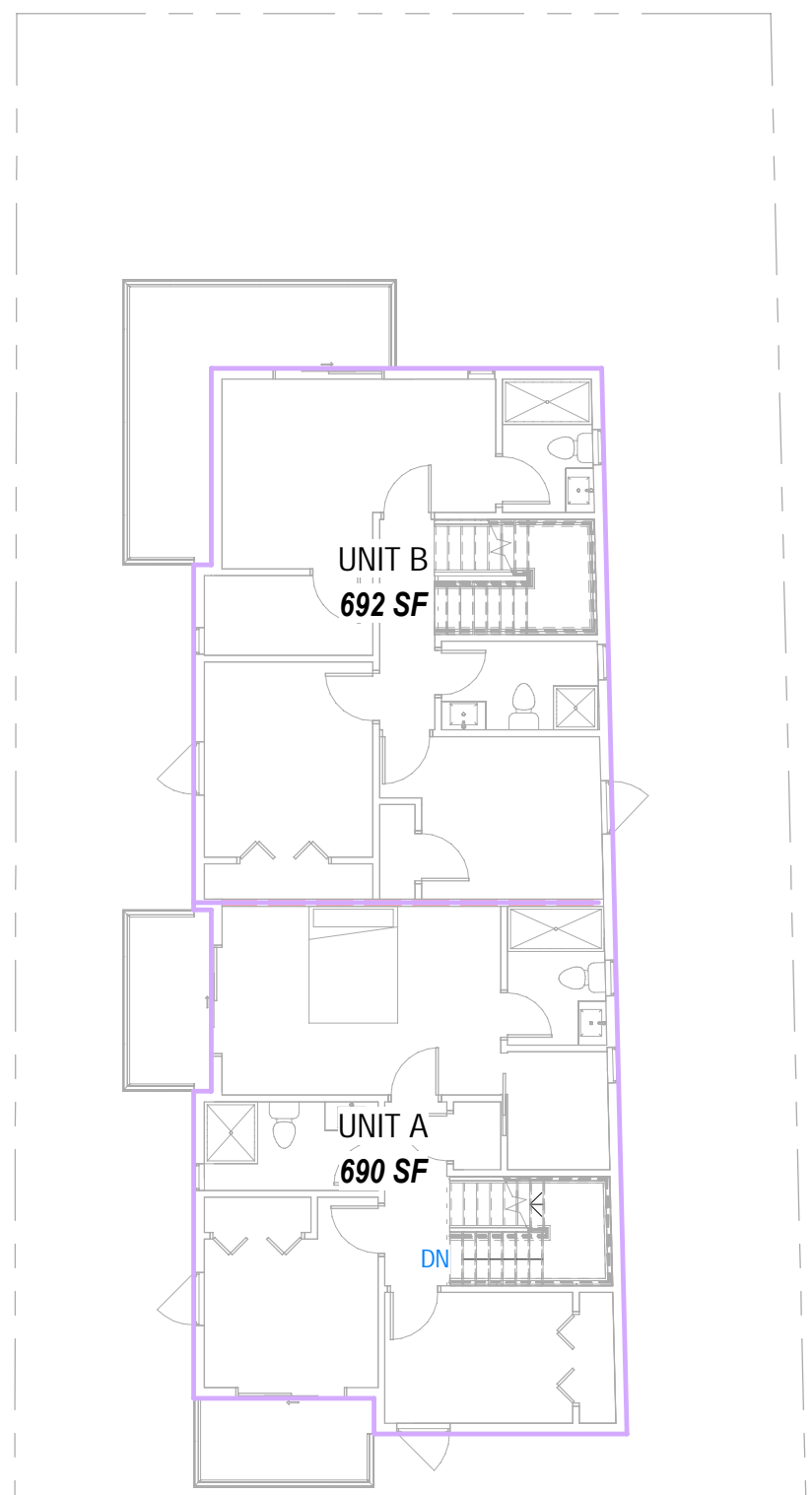
6 AVERAGE GRADE CALCULATION
3/32" = 1'-0"



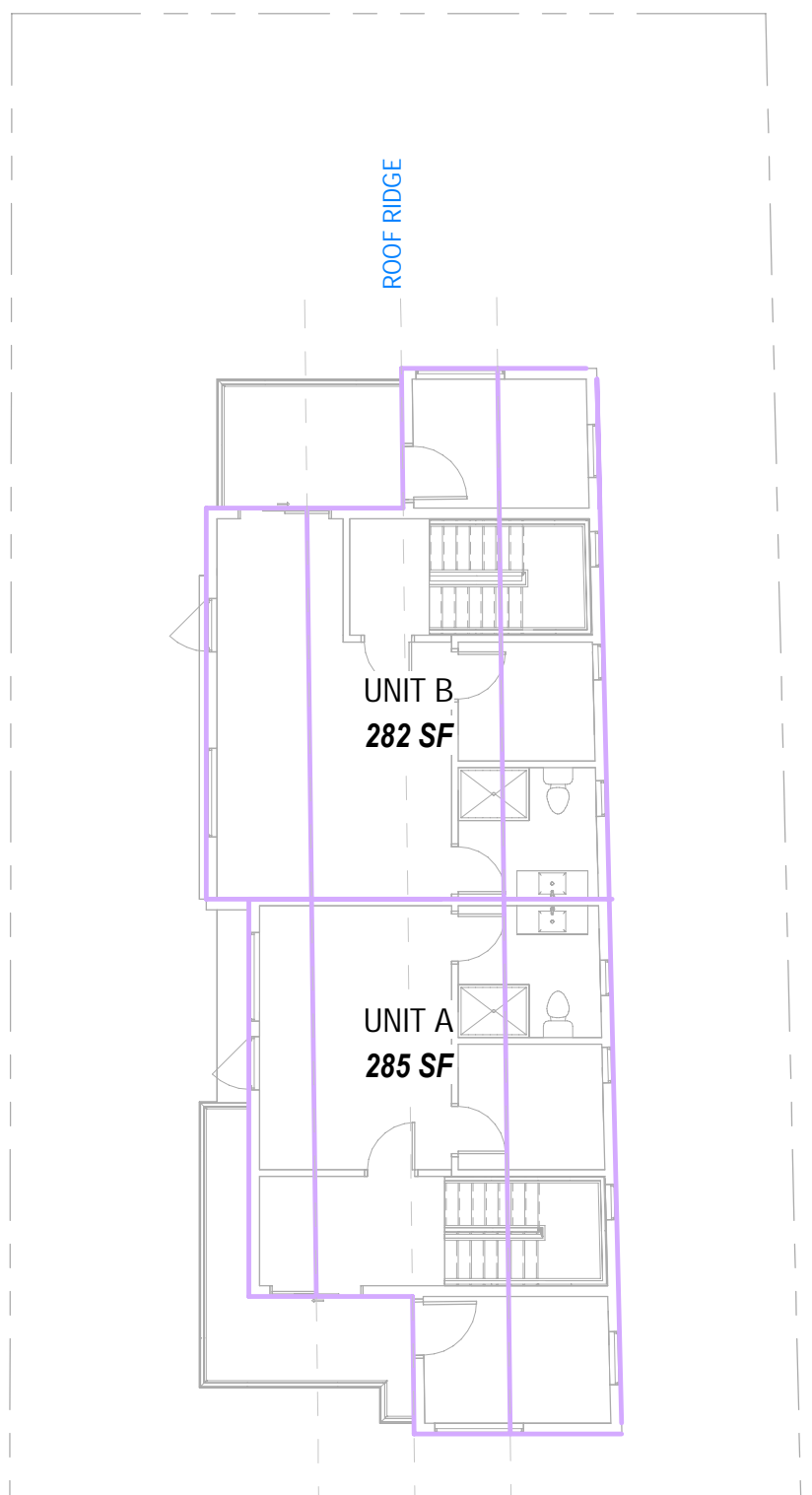
7 OPEN SPACE, PROPOSED
3/32" = 1'-0"



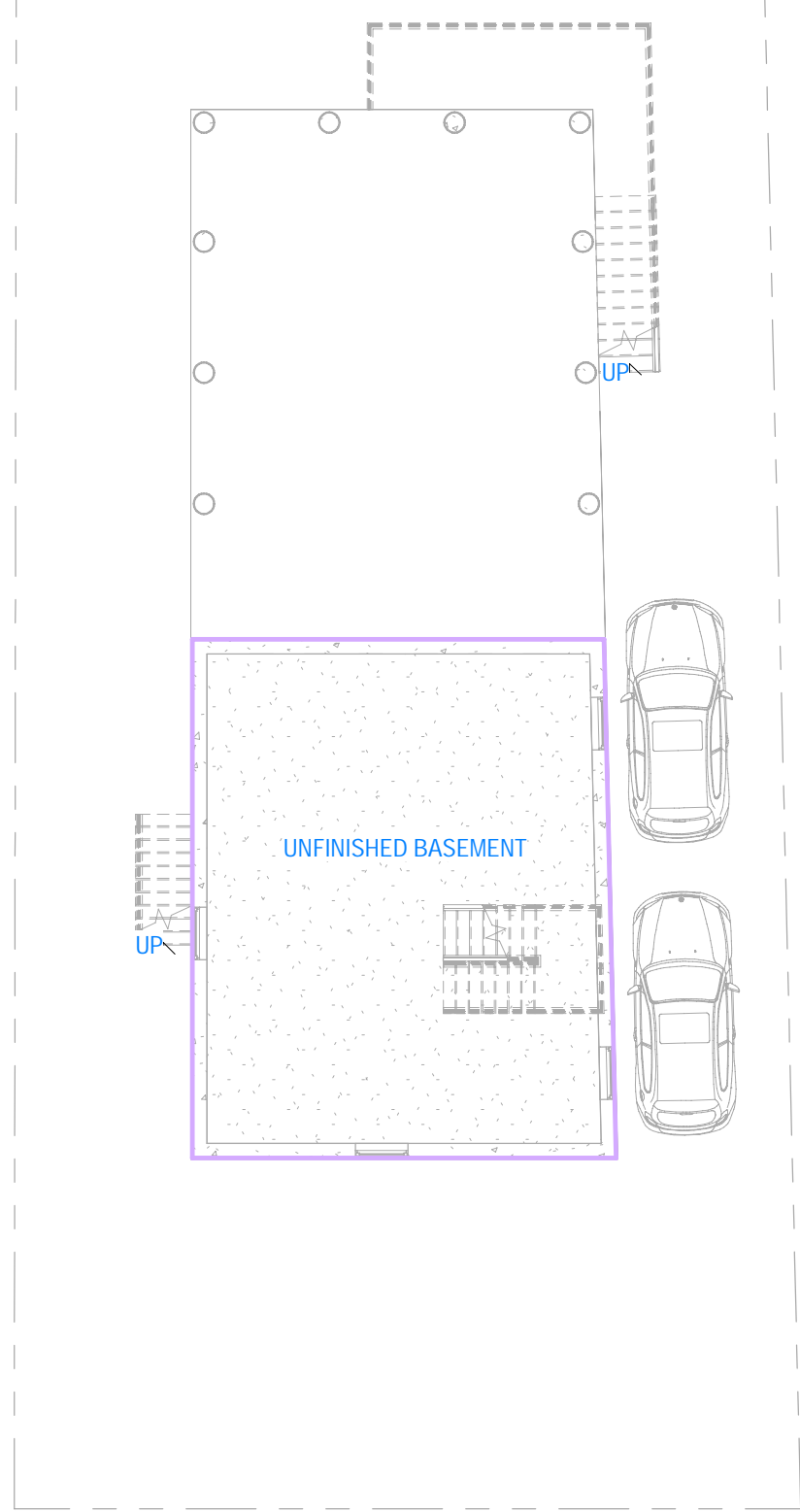
8 LOT COVERAGE
3/32" = 1'-0"



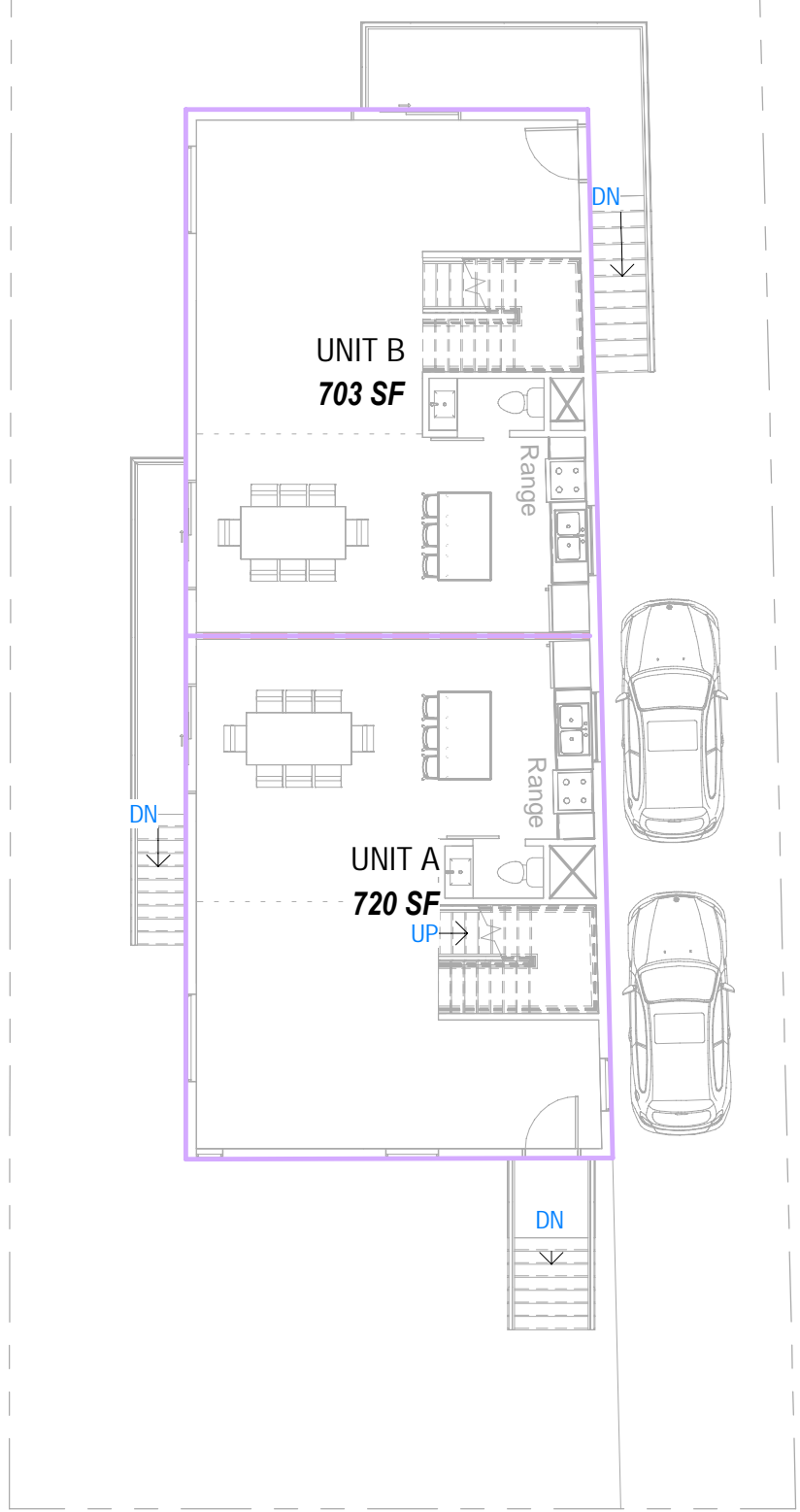
3 LEVEL 2 GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"



4 LEVEL ATTIC GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"



1 LEVEL 0 GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"



2 LEVEL 1 GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"

103 THORNDIKE
TOWNHOUSES

103 THORNDIKE ST
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

NO. DESCRIPTION DATE
KEY PLAN

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE
0 8'-0" 16'-0" 32'-0"
SCALE: 3/32" = 1'-0"

SHEET NAME
ZONING,
SITE &
AREA

200

PFS Land
Surveying, Inc.

20 Blach Avenue
Groveland, MA 01834
P: 978.891.5203
www.pfsland.com

LEGEND

- BM # BENCHMARK
CB BOUND (CONC, STONE, LAND COURT, ETC.)
CB CATCH BASIN - SQUARE
CB CATCH BASIN - ROUND
DSK (CAT, USC&GS, LAND COURT, ETC.)
DH DRILL HOLE
DM DRAIN MANHOLE
RD ROOF DRAIN
EHH ELECTRIC HANDHOLE
EM ELECTRIC MANHOLE
EM ELECTRIC METER
GG GAS GATE
GM GAS METER
HND HANDICAP SYMBOL
GWA GUY WIRE ANCHOR
FHY FIRE HYDRANT
LIGHT
OHW OVERHEAD WIRE
RB REBAR MARKER
MB MAIL BOX
OM OTHER MANHOLE
SMH SEWER MANHOLE
TM TELEPHONE MANHOLE
SIGN
ULT# UTILITY POLE W/ LIGHT
UPL# UTILITY POLE
WG WATER GATE
WSO WATER SHUTOFF
BIT BITUMINOUS
CONC CONCRETE
CLF CHAIN LINK FENCE
CT CONIFEROUS TREE
DT DECIDUOUS TREE
DYL DOUBLE YELLOW LINE
EM ELECTRIC METER
EP EDGE OF PAVEMENT
FF FINISHED FLOOR
FNC FENCE
LSA LANDSCAPE AREA
OH OVERHANG
RET RETAINING
RW RETAINING WALL
SGC SLOPED GRANITE CURB
SWL SINGLE WHITE LINE
TYP TYPICAL
VGC VERTICAL GRANITE CURB
WD WOOD

No.	Revision	Date	Appr.
Designed by	BGP	Drawn by	BGP
CAD checked by	BGP	Approved by	BGP
Scale	1"=10'	Date	11/16/2023

Existing Conditions

Plan of Land

103 Thorndike Street
Arlington, MA 02474

Issued for
Review

Drawing Title

Plot Plan

Drawing Number

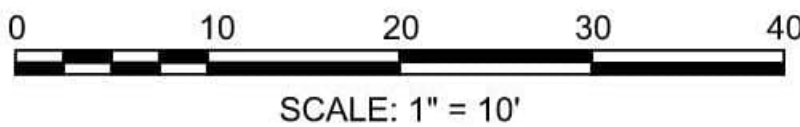
SV-1

Sheet

1 of 1

Project Number

23141



General Notes

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023 AND FROM DEEDS AND PLANS OF RECORD.
- THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- HORIZONTAL DATUM IS BASED ON MAGNETIC NORTH. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- THE LOT LIES ENTIRELY WITHIN ZONE AE (WITHOUT BASE FLOOD ELEVATION) (BFE) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF ARLINGTON, MASSACHUSETTS, COMMUNITY PANEL NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010.
- NO WETLAND FLAGS WERE OBSERVED ON SITE AT THE TIME OF THE SURVEY.

103 THORNDIKE
TOWNHOUSES

103 THORNDIKE ST
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

SHEET NAME

LAND
SURVEY

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

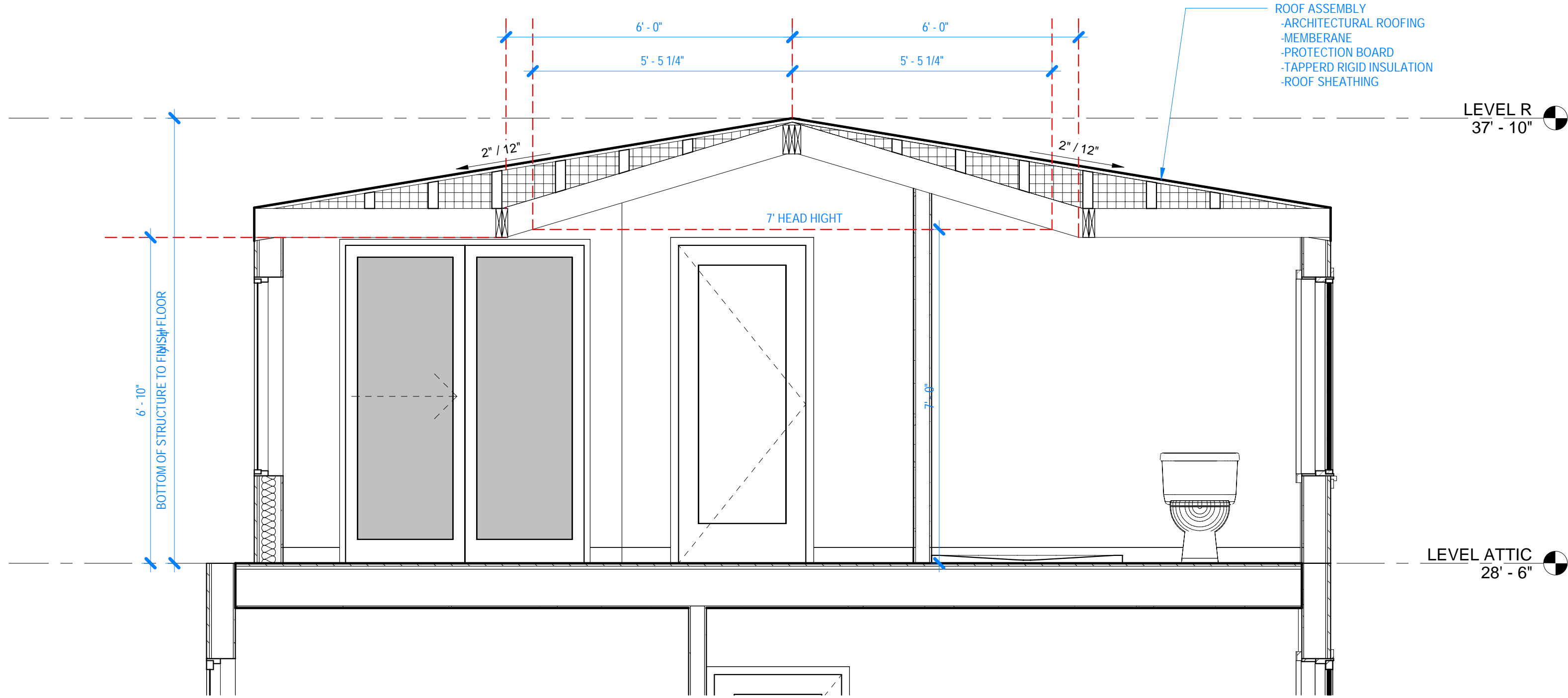
Author
Checker
09/17/24

300

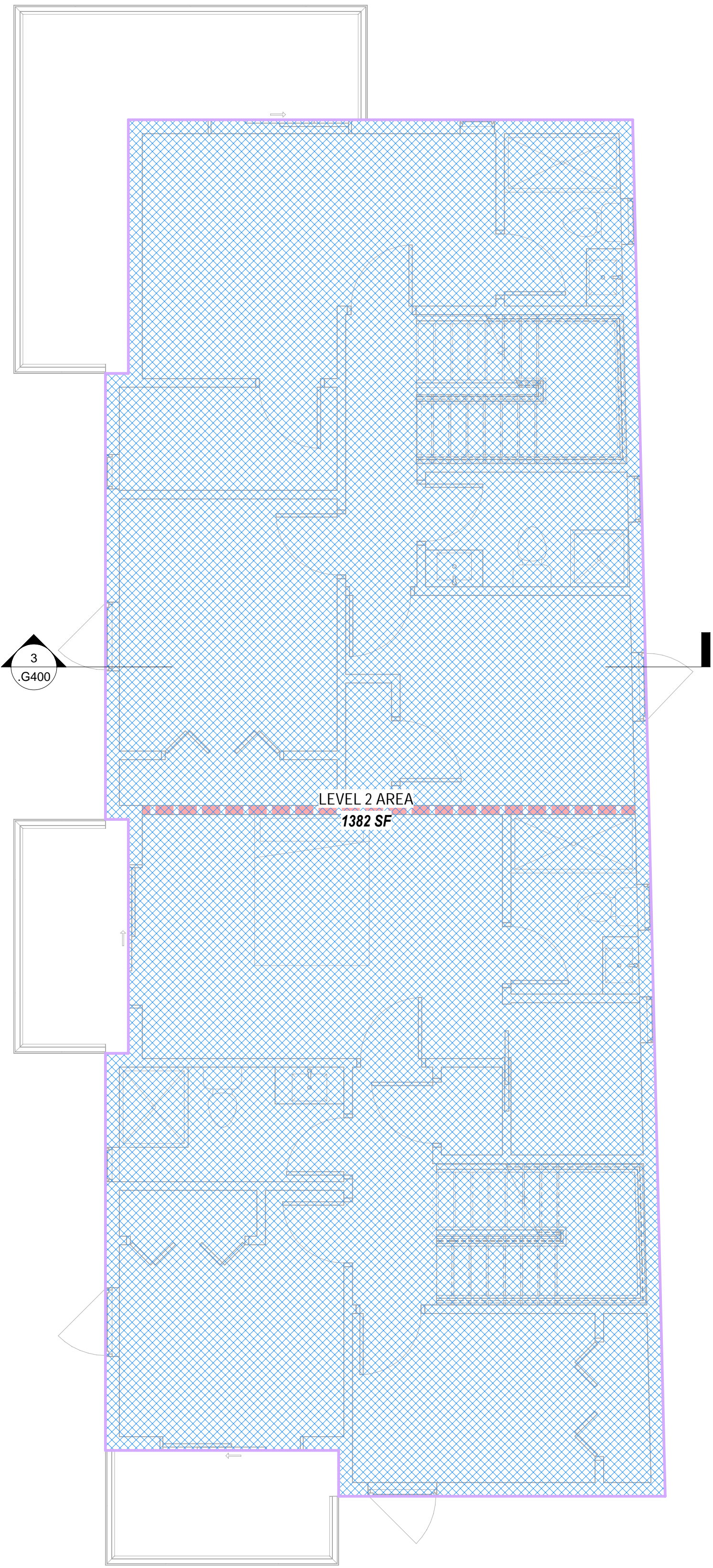
ATTIC SQUARE FOOTAGE:

TOTAL 2ND FLOOR FOOTPRINT = 1,382 SQUARE FEET
ALLOWABLE SQUARE FOOTAGE > 7'-0" = 691 SQUARE FEET

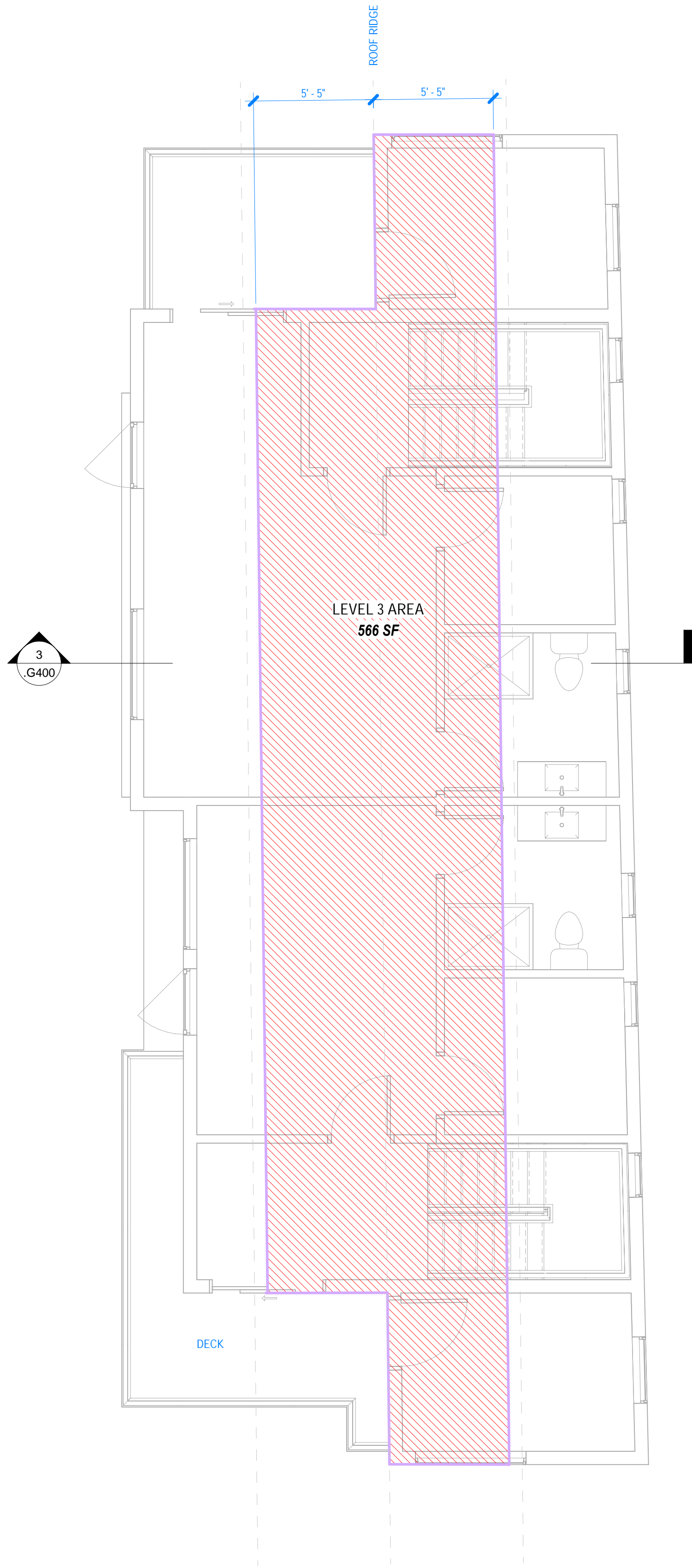
(50% OF TOTAL FOOTPRINT)
PROPOSED SQUARE FOOTAGE > 7'-0" = 566 SQUARE FEET



③ SECTION ATTIC
1/2" = 1'-0"



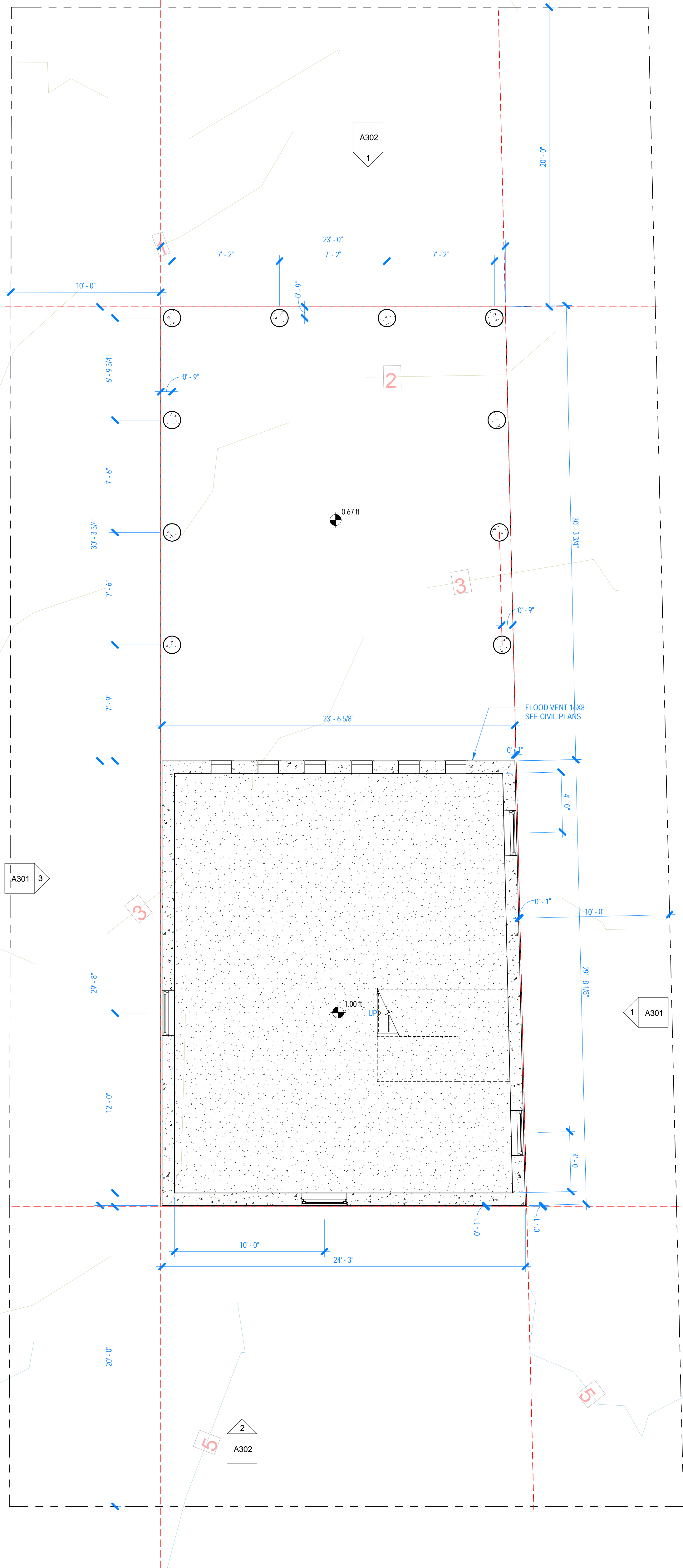
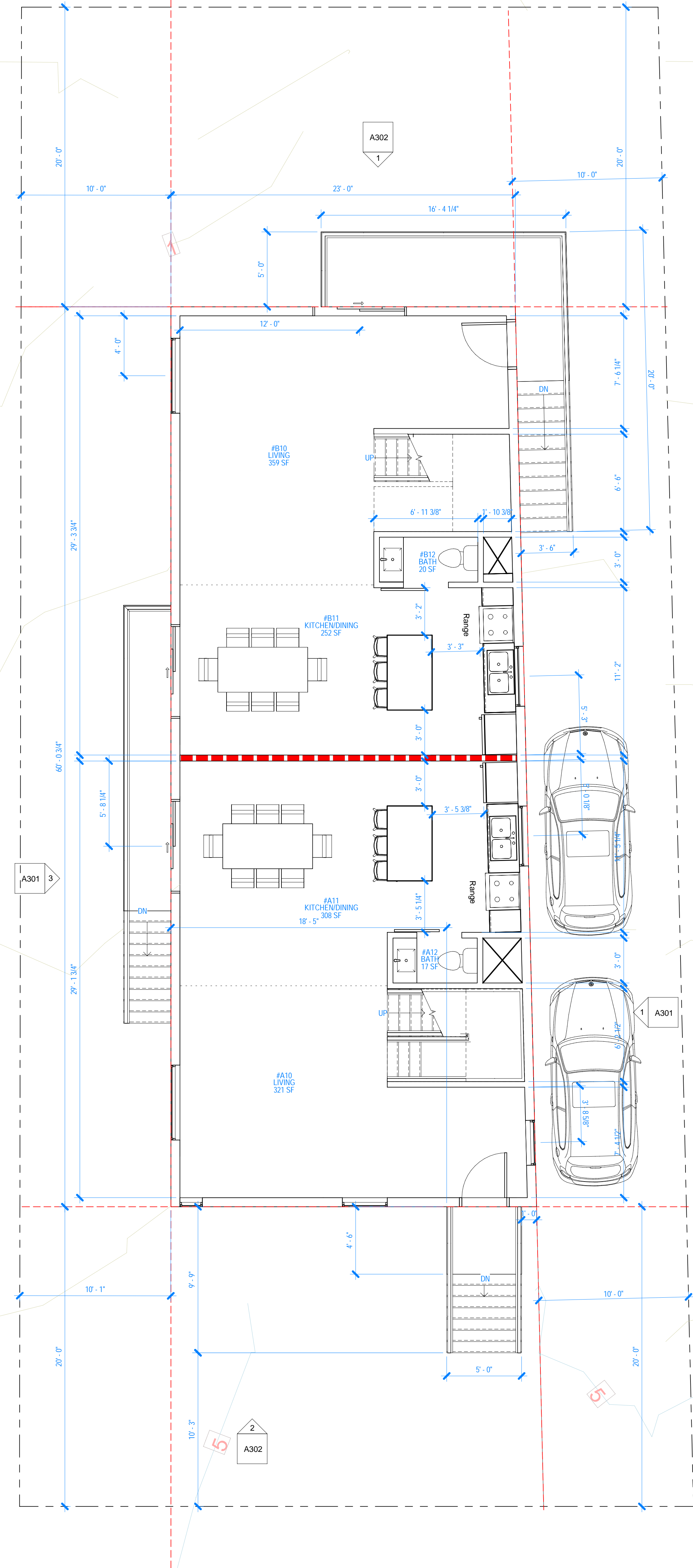
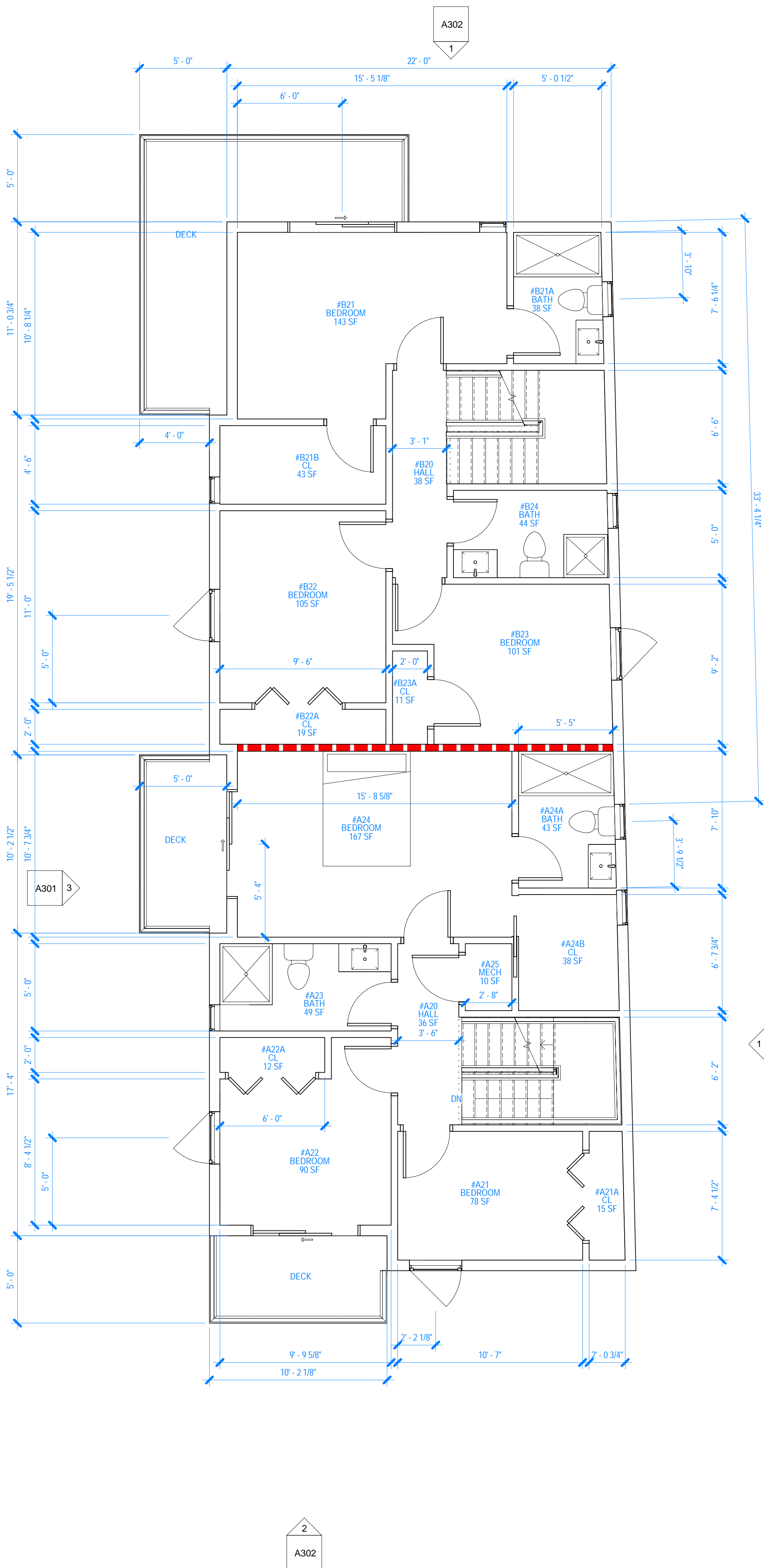
① LEVEL 2 - FLOOR AREA
1/4" = 1'-0"



② LEVEL ATTIC - FLOOR AREA
1/4" = 1'-0"

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY	Author
CHECKED BY	Checker
SHEET ISSUE DATE	09/23/24
SCALE	As indicated



1 LEVEL 2 FLOOR PLAN, PROPOSED
1/4" = 1'-0"

2 LEVEL 1 FLOOR PLAN, PROPOSED
1/4" = 1'-0"

3 LEVEL 0 FLOOR PLAN, PROPOSED
1/4" = 1'-0"

103 THORNDIKE
TOWNHOUSES
103 THORNDIKE ST
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

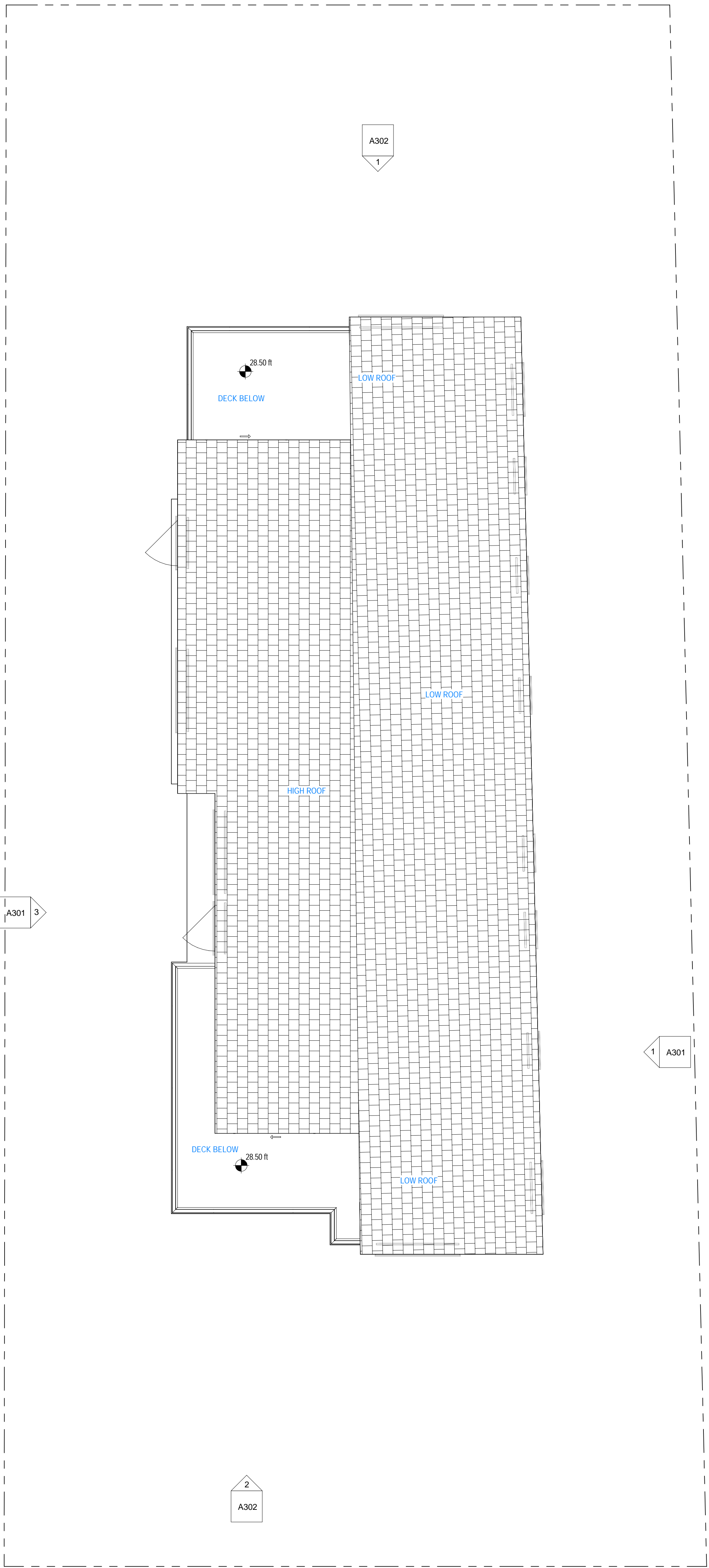
NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE
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SCALE: 1/4" = 1'-0"

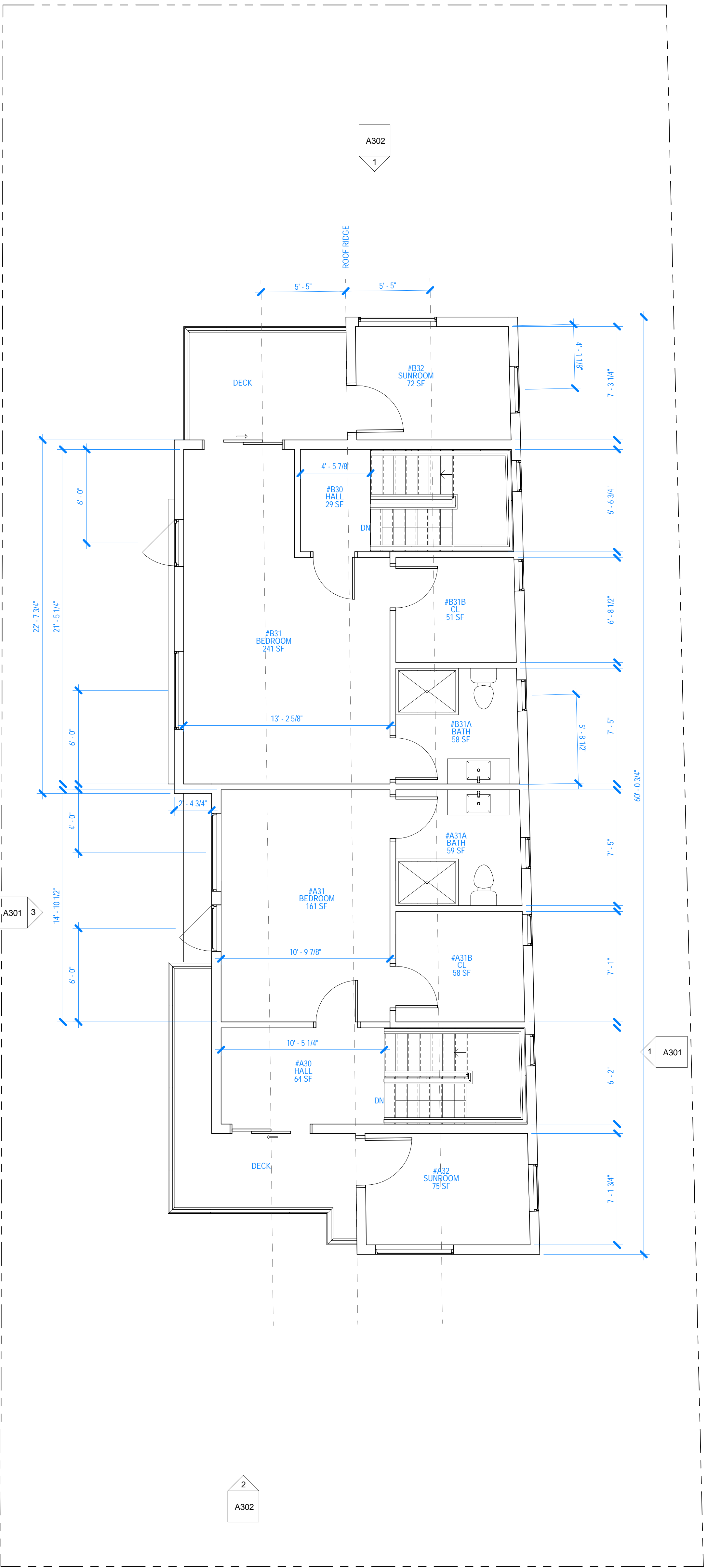
Author
Checker
09/17/24
1/4" = 1'-0"

SHEET NAME
FLOOR
PLANS

DRAFT
A201



2 LEVEL R FLOOR PLAN, PROPOSED
1/4" = 1'-0"



1 LEVEL ATTIC FLOOR PLAN, PROPOSED
1/4" = 1'-0"

103 THORNDIKE
TOWNHOUSES
103 THORNDIKE ST
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE
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SCALE: 1/4" = 1'-0"

Author
Checker
09/17/24
1/4" = 1'-0"

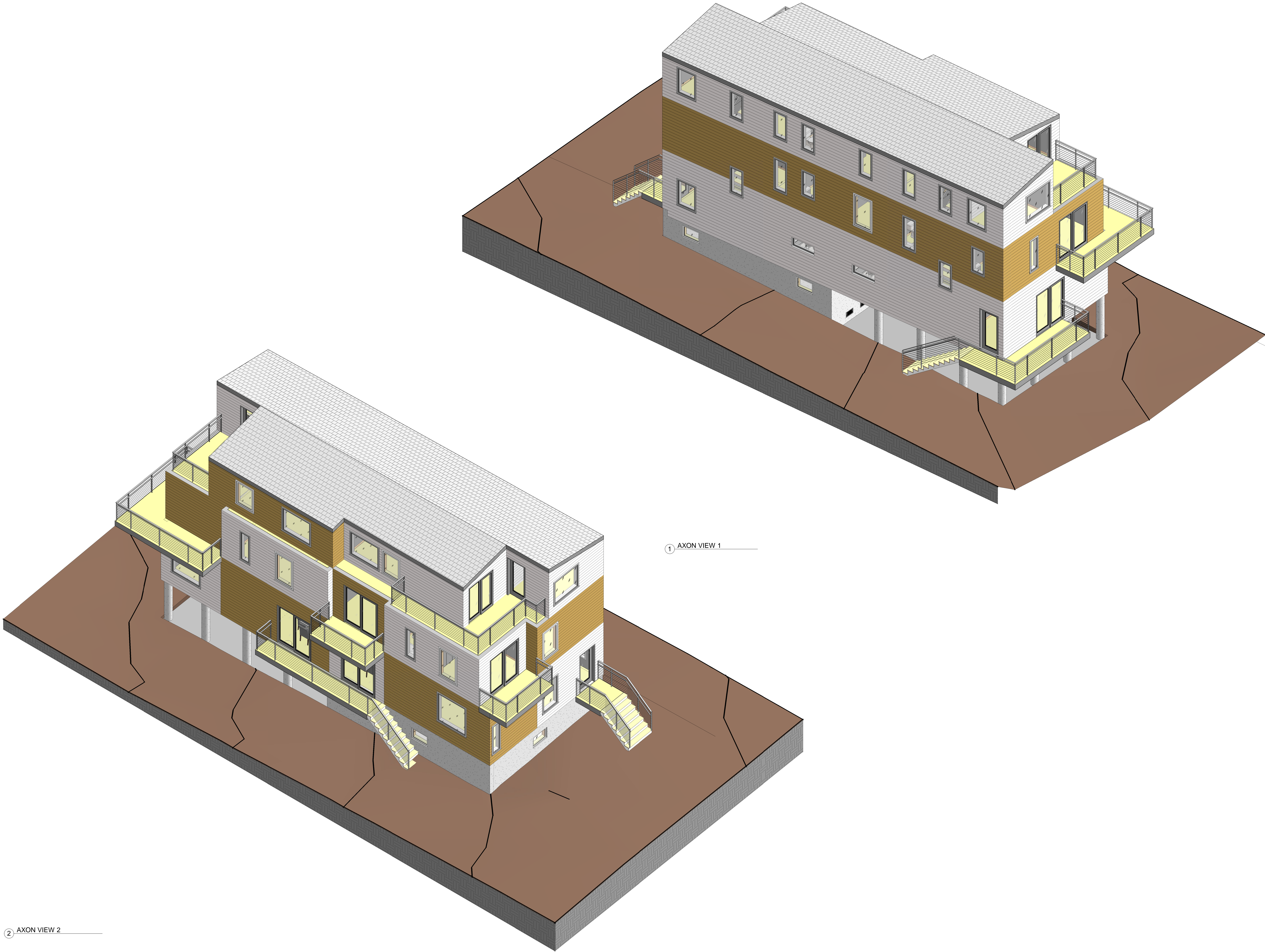
SHEET NAME

FLOOR
PLANS

DRAFT
A202

OWNER
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT
HEXI, LLC
34 COMMERCE WAY
SUITE B-255
WOBURN, MA



1 AXON VIEW 1

2 AXON VIEW 2

103 THORNDIKE
TOWNHOUSES
103 THORNDIKE ST
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

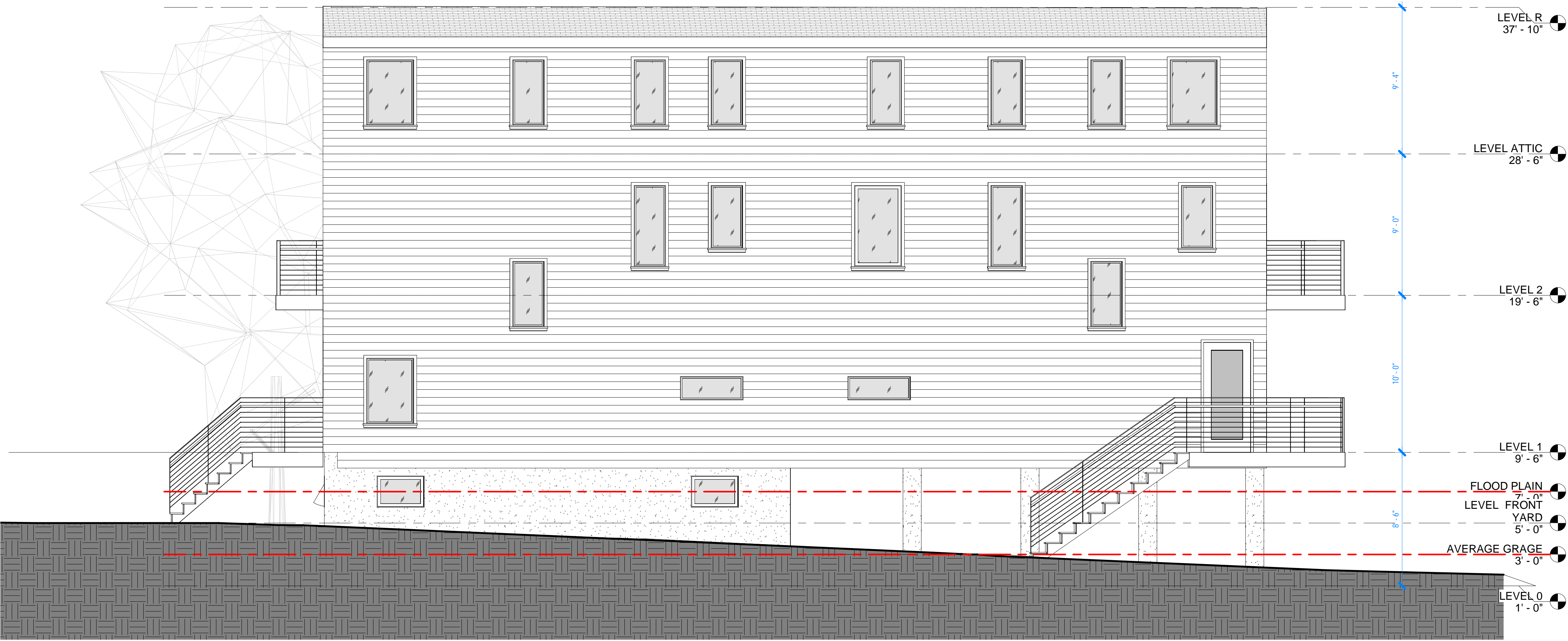
DRAWN BY	Author
CHECKED BY	Checker
SHEET ISSUE DATE	09/17/24
SCALE	

SHEET NAME
RENDERINGS

DRAFT
A300

OWNER
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT
HEXI, LLC
34 COMMERCE WAY
SUITE B-255
WOBBURN, MA



① BUILDING ELEVATION EAST, PROPOSED
1/4" = 1'-0"



③ BUILDING ELEVATION WEST, PROPOSED
1/4" = 1'-0"

103 THORNDIKE
TOWNHOUSES
103 THORNDIKE ST
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

Author
Checker
09/17/24
1/4" = 1'-0"

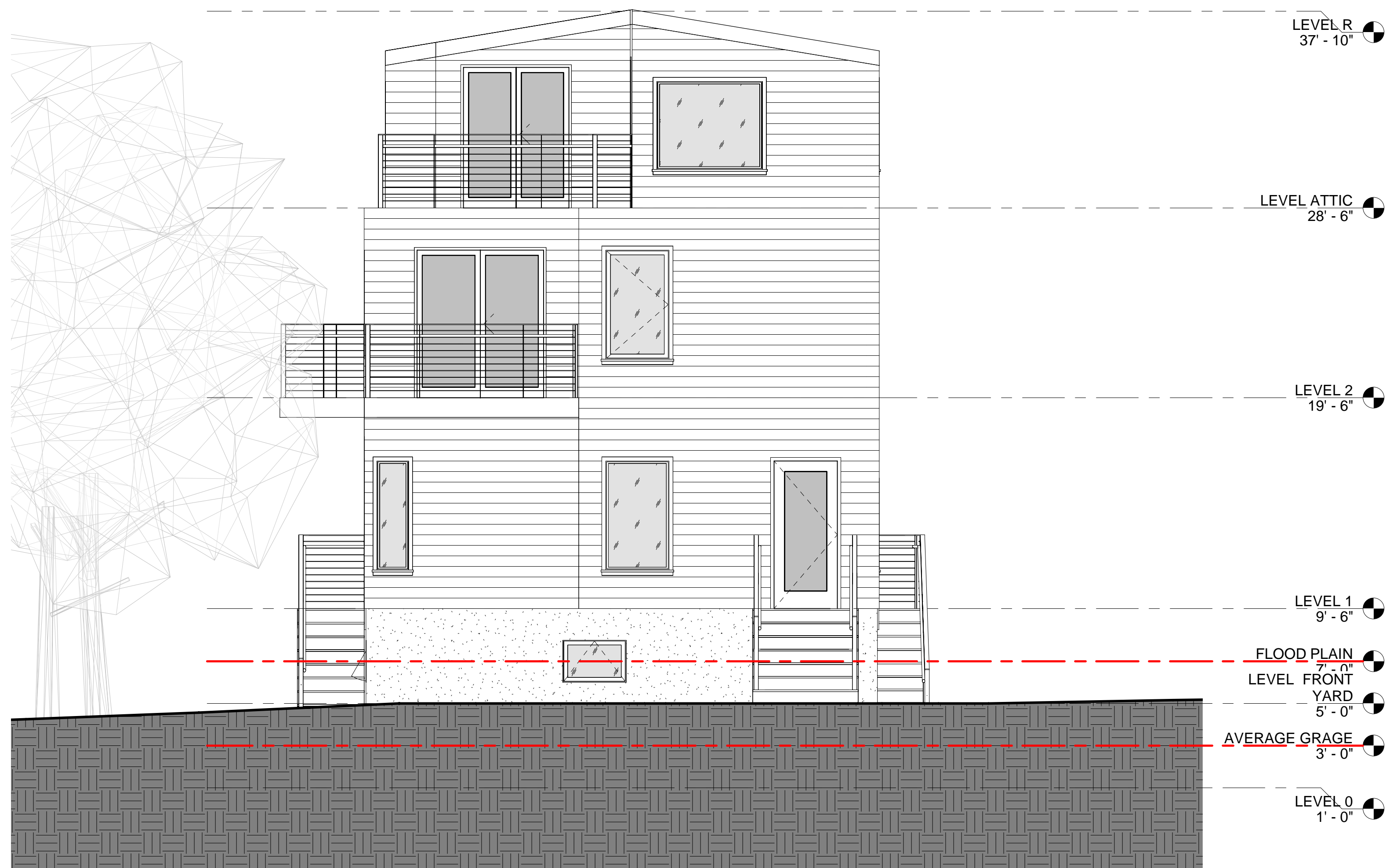
0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0"

SHEET NAME
ELEVATIONS

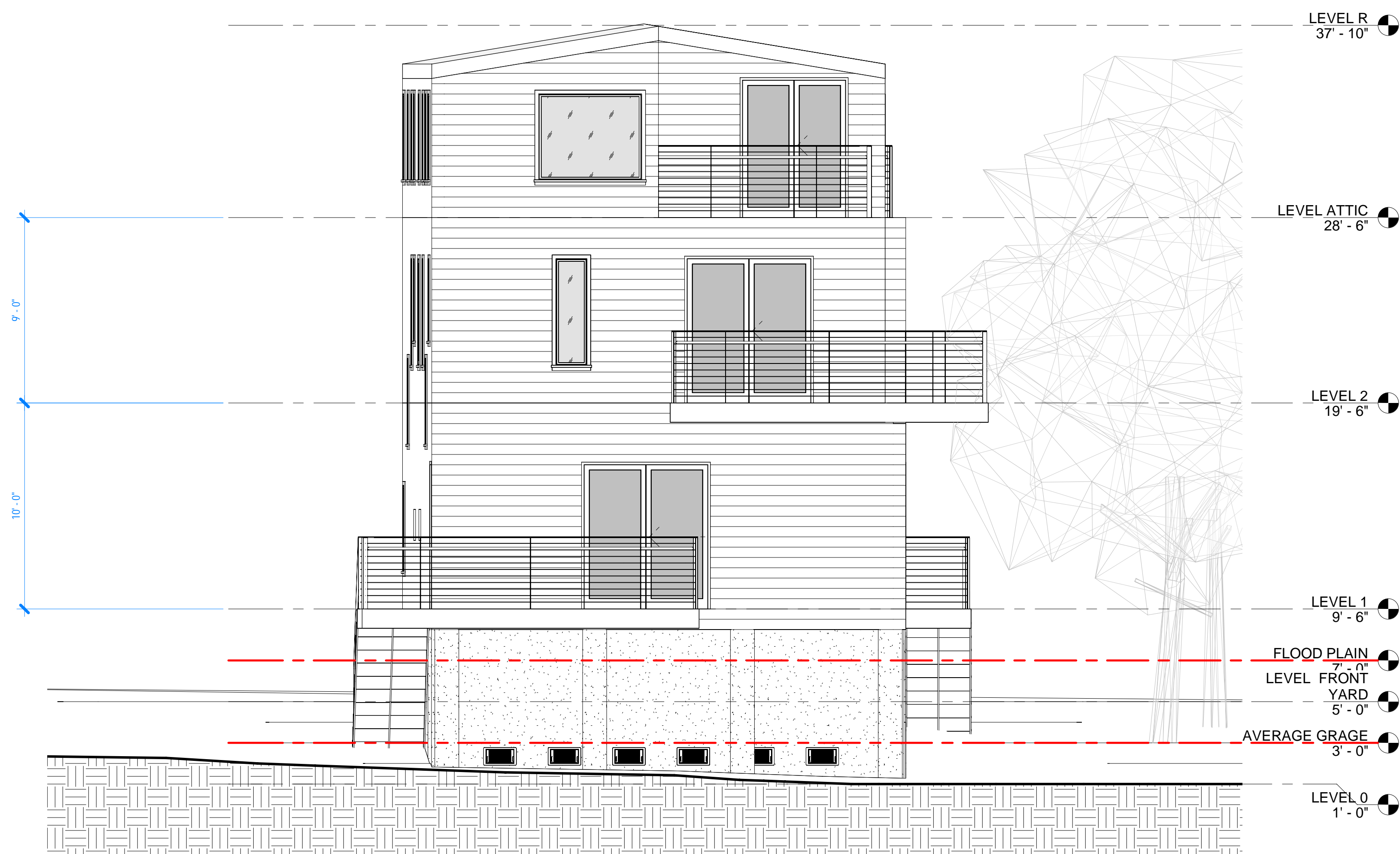
DRAFT
A301

OWNER
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT
HEXI, LLC
34 COMMERCE WAY
SUITE B-255
WOBURN, MA



② BUILDING ELEVATION SOUTH, PROPOSED
1/4" = 1'-0"



① BUILDING ELEVATION NORTH, PROPOSED
1/4" = 1'-0"

103 THORNDIKE
TOWNHOUSES

103 THORNDIKE ST
ARLINGTON, MA

ZONING SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
KEY PLAN		

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

Author
Checker
09/17/24
1/4" = 1'-0"

0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0"

SHEET NAME
ELEVATIONS

DRAFT
A302

KEVIN M. MARTIN, P.E.
KMM GEOTECHNICAL CONSULTANTS, LLC

7 Marshall Road
Hampstead, NH 03841
603-489-5556 (p)/ 603-489-5558 (f)/781-718-4084(m)
kevinmartinpe@aol.com

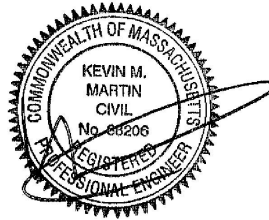
MEMORANDUM

TO: Kyle Xue
Up Design & Build, LLC
14 Emerald Street
Newton, MA 02458

FROM: Kevin M. Martin, P.E.
Geotechnical Engineer

DATE: December 19, 2023

RE: **GEOTECHNICAL SUMMARY**
PROPOSED RESIDENTIAL BUILDING
103 THORNDIKE STREET
ARLINGTON, MASSACHUSETTS



This memorandum serves as a geotechnical summary report for the referenced project. The contents of this memorandum are subject to the attached ***Limitations***.

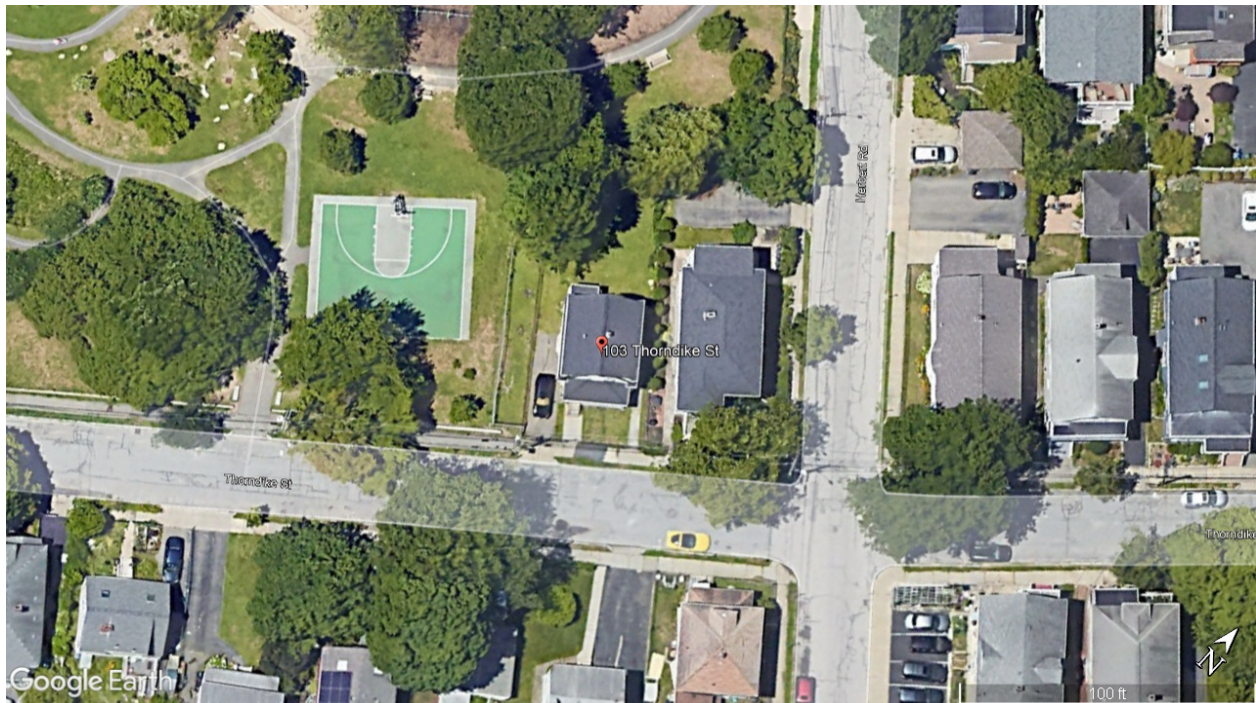
SITE & PROJECT DESCRIPTION

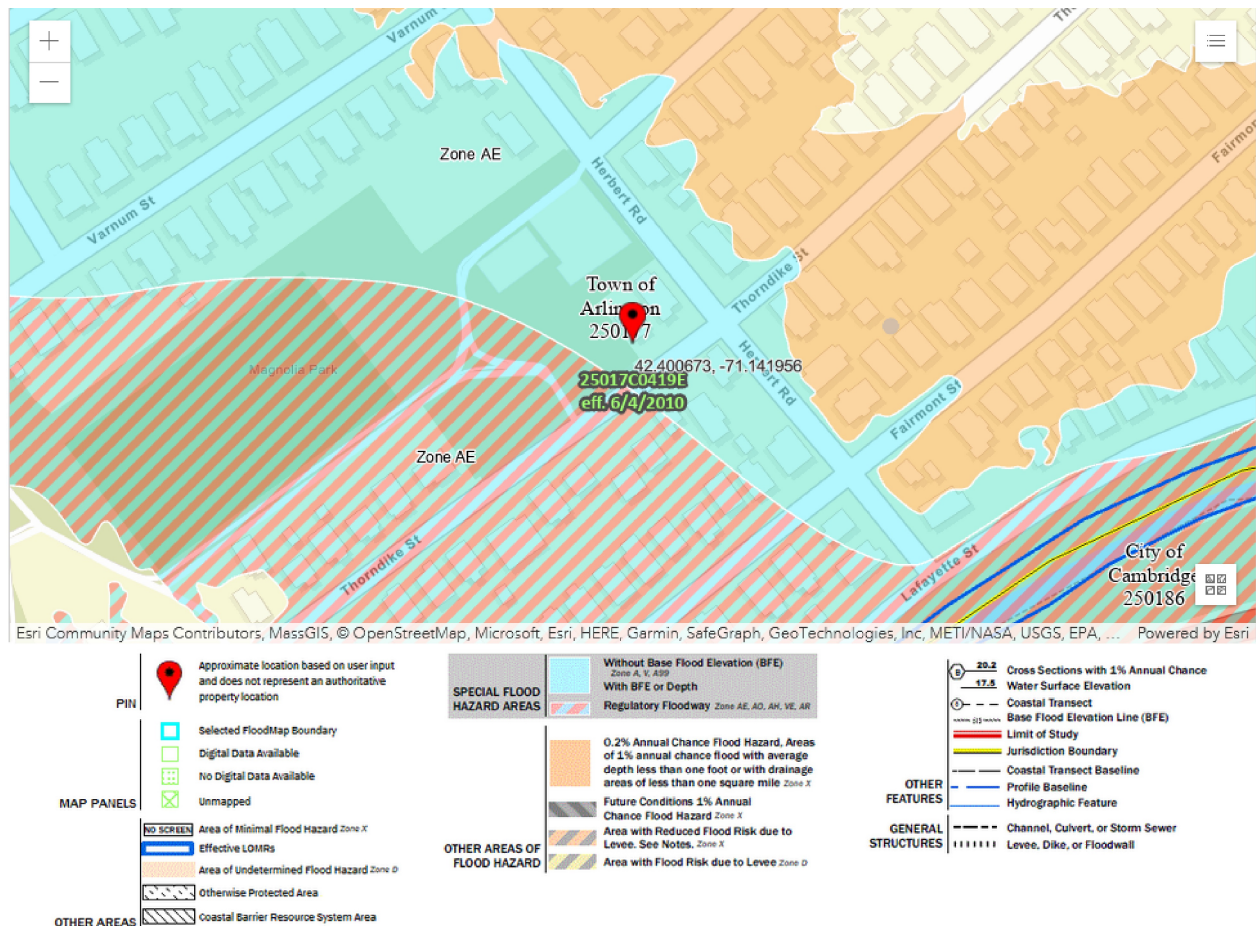
Present development includes a residence. This building and associated construction will be razed to accommodate the project. The existing house is reportedly having structural distress with sloping floors. Poor subgrade will impact the foundation design and construction. KMM has no knowledge of past construction, use and/or development of the property except what is visible or shown on the *Site Plan*. Based on the *Site Plan*, grades around the building vary from elevation ≈ 100 -97 ft possessing a gradual downward slope to the rear. The lot is located in a FEMA Flood Zone being associated with Alewife Brook.

The project includes a new duplex residence about $\approx 1,600$ ft² in footprint. A basement is proposed for the building but groundwater and flood impact need to be considered in this regard. Final Plans were not available at this time.

The purpose of this study is to review the subgrade conditions and provide a geotechnical evaluation related to foundation design and construction as required by the *Massachusetts State Building Code*. This report does not include an environmental assessment relative to oil, gasoline, solid waste and/or other hazardous materials. The environmental conditions of the property should be addressed by

others as necessary. This study also does not include review of site design or construction issues such as infiltration systems, dry wells, retaining walls, excavation support, underground utilities, crane pads, protection of surrounding buildings/utilities, shoring, foundation water-proofing, flood mitigation or other site and/or temporary design unless specifically addressed herein.



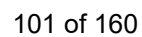


The site is located in a FEMA Flood Zone (AE 7 ft) being impacted by Alewife Brook. This would have impact for a basement foundation. The Flood elevation and impact should be reviewed by others.

SUBSURFACE EXPLORATION PROGRAM

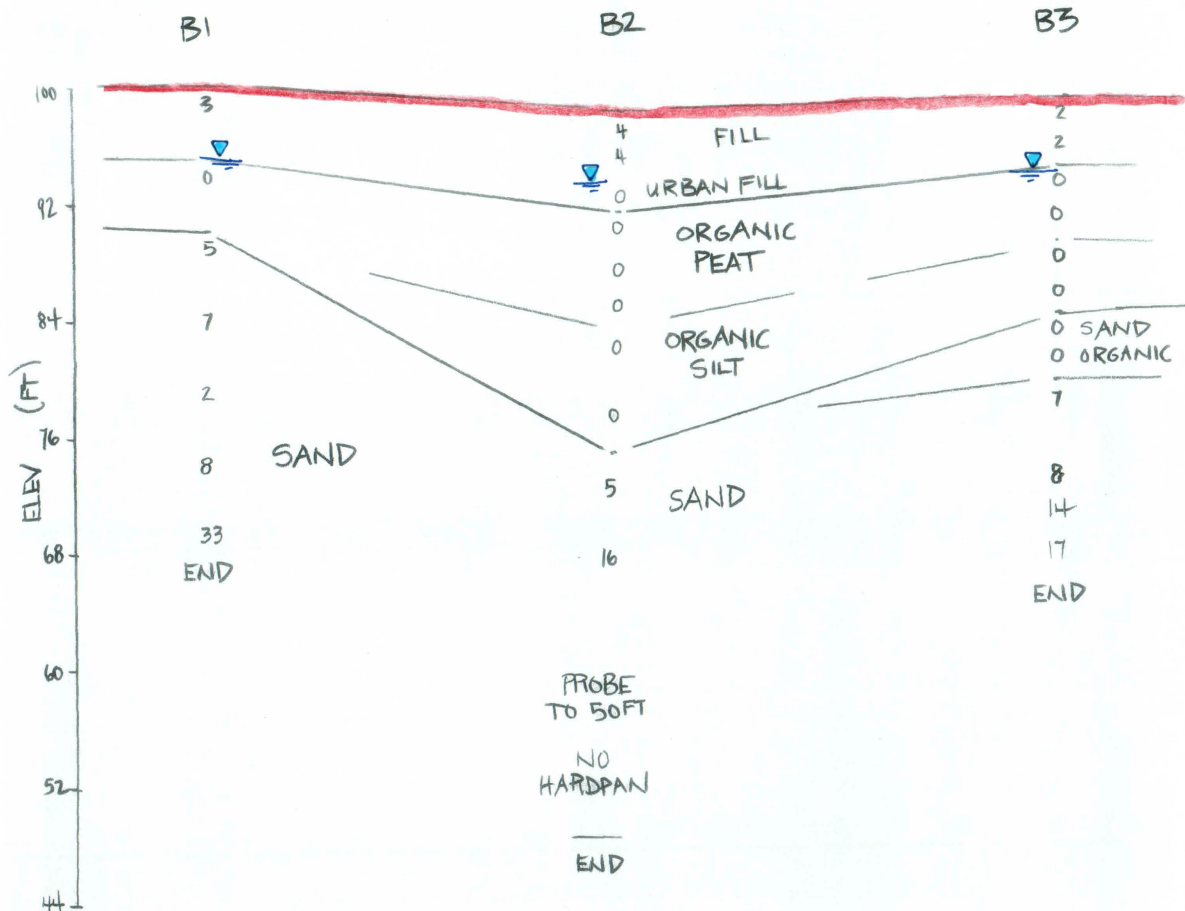
Test Bores

The exploration program for the project included three (3) deep test borings where accessible. The test borings (B1 to B3) were advanced to depths of ≈ 32 -50 ft utilizing 3 inch pneumatically driven casing. Soil samples were typically retrieved at no greater than 5 ft intervals with a 2 inch diameter split-spoon sampler. Standard Penetration Tests (SPTs) were performed at the sampling intervals in general accordance with ASTM-D1586 (*Standard Method for Penetration Test and Split-Barrel Sampling of Soils*). Field descriptions and penetration resistance of the soils encountered, observed depth to groundwater and other pertinent data are contained on the attached *Test Boring Logs*.



SUBSURFACE CONDITIONS

The subsurface conditions below (1) Undocumented Fill include (2) buried Organic soils then (3) Stratified Sand. These conditions suggest a filled wet area. A *Subsurface Profile* depicting the soil and groundwater conditions is attached for review.

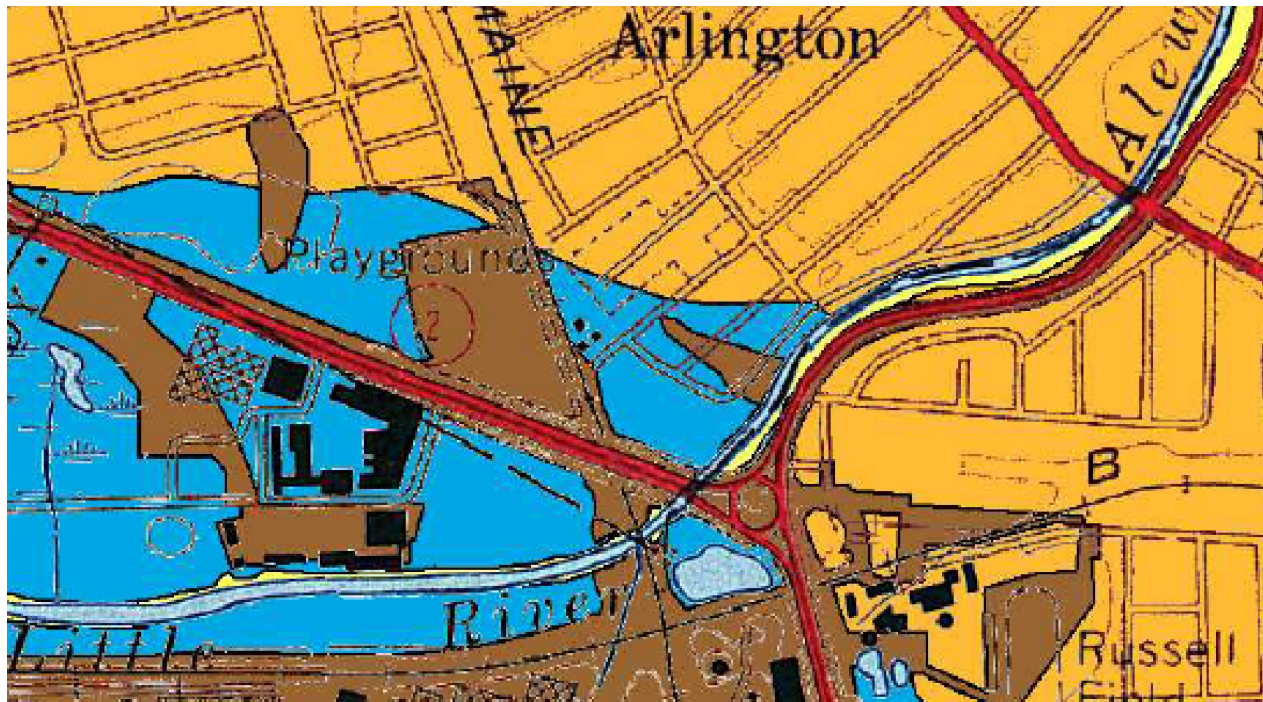


SUBSURFACE PROFILE

Fill was encountered at ALL locations to depths of ~5-7 ft below grade. The Fill varies from Clean to Fine-Grained to Urban. Generally Clean Fill was encountered to shallow depths. A fine-grained Silt-Clay-Fine Sand was encountered at B1. Urban Fill (Sand-Ash-Cinders) was encountered at B2. The Fill is generally loose and unstable.

Buried Organic soils were present at ALL locations extending ~10-22 ft below grade (deeper to the rear). There is a black, silty-fibrous Peat underlain by a dark brown Organic Silt. These Organic soils are soft, weak and highly compressible.

The parent soils include Stratified Sand. For the most part, these include Clean Sand with occasional silt/clay layers. The Sand was probed but not penetrated to 50 ft (B2).



USGS SURFICIAL GEOLOGIC MAP - 2018



Artificial fill—Earth materials and manmade materials that have been artificially emplaced, primarily in highway and railroad embankments and in dams; unit may also include landfills, urban-development areas, and filled coastal wetlands



Glaciomarine fine deposits include clay, silty clay, fine sand, and some fine gravel deposited in a higher-level sea in environments of low wave energy along the coast and in river estuaries. Fine to very fine sand, massive and laminated, commonly is present at the surface and grades downward into interbedded very fine sand, silt, silty clay, and clay. The lower silty clay and clay is massive and thinly laminated. Total thickness is generally a few feet to 75 ft



Coarse deposits consist of *gravel deposits*, *sand and gravel deposits*, and *sand deposits*, not differentiated in this report. *Gravel deposits* are composed of at least 50 percent gravel-size clasts; cobbles and boulders predominate; minor amounts of sand occur within gravel beds, and sand comprises a few separate layers. Gravel layers generally are poorly sorted, and bedding commonly is distorted and faulted due to postdepositional collapse related to melting of ice. *Sand and gravel deposits* occur as mixtures of gravel and sand within individual layers and as layers of sand alternating with layers of gravel. Sand and gravel layers generally range between 25 and 50 percent gravel particles and between 50 and 75 percent sand particles. Layers are well sorted to poorly sorted; bedding may be distorted and faulted due to postdepositional collapse. *Sand deposits* are composed mainly of very coarse to fine sand, commonly in well-sorted layers. Coarser layers may contain up to 25 percent gravel particles, generally granules and pebbles; finer layers may contain some very fine sand, silt, and clay

The *USGS Surficial Geologic Map* shows the site in a lower lying area being associated with Alewife Brook. Conditions include Fill, post Glacial finer Glacio-Marine soils as well as Stratified Outwash. These conditions are generally consistent with this study.

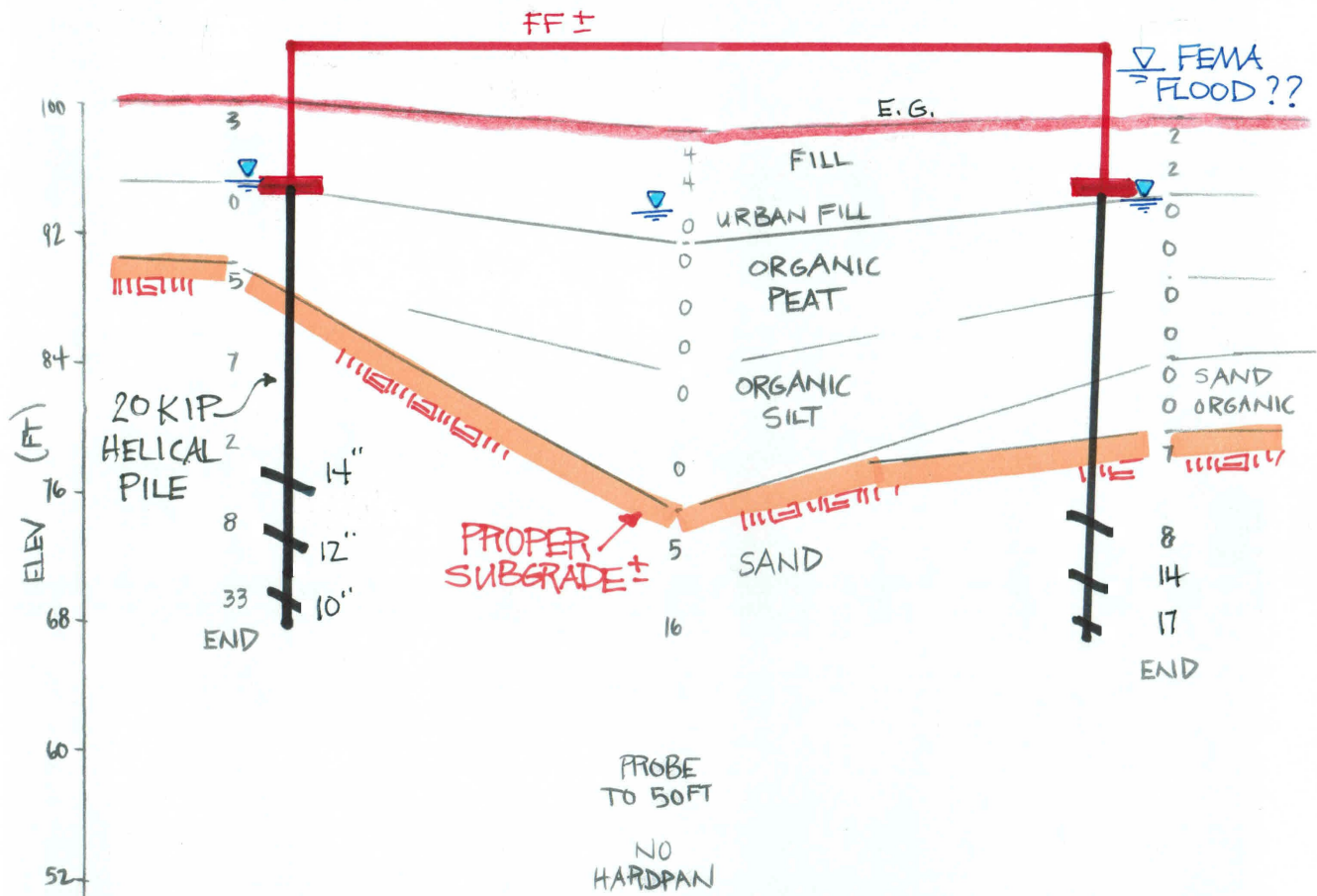
Groundwater was encountered at depths of ≈ 5 ft below grade. Wet and saturated soils were present at these depths. It should be noted that fluctuations in the level of the groundwater may occur due to variations in rainfall, temperature, utilities, flooding and other factors differing from the time of the measurements. This study was completed at a time of seasonally normal groundwater. The site is located in a FEMA Flood Zone (AE 7 ft).

FOUNDATION RECOMMENDATIONS

The loose Fill and buried Organic soils are **not** suitable for foundation support. Relying on these soils for bearing support would manifest intolerable foundation settlement. The present building distress is likely associated with these poor conditions. Timber Piles may be used but the noise and vibration may impact nearby structures. Helical Piers that penetrate the Fill & Organic to gain end-bearing resistance within the Stratified Sand are recommended for foundation support. Helical piers can be installed with smaller equipment with limited noise and vibration.

We provide the following recommendations for the piles.

1. Given the subgrade conditions, the piles may be designed using an allowable capacity of 20 kips (FS=2). The piles will need to be seated into the Stratified Sand to achieve this capacity. This is shown on the attached *Profile*.
2. The minimum plate configuration should include a 14 inch, 12 inch and 10 inch helix (14/12/10) for a ≈ 20 kip allowable capacity (FS=2). The attached *Profile* shows the proposed pile in relation to the subgrade. The plates should not be less than $\frac{3}{8}$ -inch thickness.
3. The shaft shall be a minimum $2\frac{7}{8}$ inch outside-diameter (minimum 0.262 wall thickness). A 0.203 inch wall thickness shaft may be used with a minimum 65 ksi yield steel. The shaft shall also have a minimum torsional capacity of 6,500 ft-lbs. This shaft is recommended given the Loose Fill and soft Organic. It is further specified that the pipe be filled with a cement grout for additional stiffness and corrosion protection.
4. The entire pile section shall be galvanized for corrosion protection per ASTM A 123. The inside of the shaft shall be filled with a cement grout.
5. The helical piles shall be installed with a hydraulic torque motor no less than 8,000 ft-pounds in capacity. The capacity of the shaft is empirically correlated to the installation torque. A 20 kip pile shall be installed to a torque no less than $\approx 4,400$ ft-lbs for ≈ 3 consecutive feet. The torque motor should have a calibrated gauge in this respect.



CONCEPTUAL HELICAL PILE FOUNDATION

6. Some indicator piles should be installed at the commencement of the project to evaluate penetration resistance. As prior mentioned, the intent is to gain end-bearing capacity in the deeper Stratified Sand. If such torque resistance can not be achieved then a reduced pile capacity may be necessary. Other options to gain capacity may include larger plates or additional plates. A thinner shaft along the plates may also be considered for additional plate coverage.
7. It is recommended that the selected pile contractor provide a *Technical Submittal* prior to installing the piers. These piles are typically considered a proprietary “design-build” foundation. The Submittal shall include the pier type, helical sections, shaft size, plate thickness, torque motor specifications, means to verify torque for quality control, structural properties of the pile sections, corrosion protection, couplings, end-connections and other items considered relevant to the design and construction. KMM should have the opportunity to review the *Technical Submittal* for compliance with the project design prior (10 days) to construction. The Structural Engineer should also review the *Technical Submittal* for compliance with structural aspects of the project.

8. A pile load test is not required for the project provided the following minimum criteria outlined herein are specified for the project. A load test could be considered to validate higher allowable capacity.
9. The piles shall be installed within 3 inches of plan location and cut-off within $\frac{1}{2}$ inch of the design cut-off elevation. Further, the piles shall be installed no more than 5% out of plumb. Piles that exceed this criteria should be reviewed by the Engineer and may require re-installation or additional piles. The piles shall be surveyed for “as-built” location in this regard.
10. It is recommended that KMM be retained to review the pile installation to observe compliance with the design concepts and as required by the *MSBC*.
11. Obstructions associated with abandoned foundations, potential timber piles, etc may impact the helical piles. Potential for obstructions should be reviewed prior with test pits. Obstructions will need to be removed and backfilled to properly install the piles. It is uncertain the foundation supporting the existing residence in this regard.

Structural Design

A Structural Engineer will need to be retained to provide a pile layout. The Structural Engineer should provide a pile layout considering a pile capacity no more than ≈ 20 kips. The foundation piles should be necessary for support of all structural foundations including columns and ancillary structures.

The piles shall be structurally connected for stability by means of grade beams, tie beams or a structural floor slab per the *MSBC*. The piles shall not be spaced less than 42 inches measured center to center. Isolated column supports shall not have less than 3 piles for stability per Code.

Proper frost protection will be necessary for the grade beams. This requires at least 4 ft of embedment for protection.

The FFE shall be located no less than 1 ft above the FEMA Flood elevation. The FEMA Flood elevation with regards to present site elevation shall be reviewed by others.

Where underground utilities are to enter the pile supported building, it is recommended that flexible connections and over-sized sleeves allowing upwards of $\approx 1\frac{1}{2}$ inches of vertical settlement be used to mitigate long-term differential movement.

CLOSING COMMENTS

Depending upon the selected foundation system, it is recommended that KMM review the final engineering design and *Technical Submittals*. This is to observe compliance with the *Massachusetts State Building Code* and the recommendations provided herein.

CONSTRUCTION MONITORING

It is recommended that a geotechnical engineer or representative be retained to review foundation activities such as the pile installation as well as the placement/compaction of Structural Fill. It is recommended that KMM be retained to provide construction monitoring services. This is to observe compliance with the design concepts presented herein. Pile Inspection is also a requirement of the *MSBC*.

We trust the contents of this memorandum report are responsive to your needs at this time. Should you have any questions or require additional assistance, please do not hesitate to contact our office.

Arlington103ThorndikeSt.wpd

LIMITATIONS

Explorations

1. The analyses, recommendations and designs submitted in this report are based in part upon the data obtained from preliminary subsurface explorations. The nature and extent of variations between these explorations may not become evident until construction. If variations then appear evident, it will be necessary to re-evaluate the recommendations of this report.
2. The generalized soil profile described in the text is intended to convey trends in subsurface conditions. The boundaries between strata are approximate and idealized and have been developed by interpretation of widely spaced explorations and samples; actual soil transitions are probably more gradual. For specific information, refer to the individual test pit and/or boring logs.
3. Water level readings have been made in the test pits and/or test borings under conditions stated on the logs. These data have been reviewed and interpretations have been made in the text of this report. However, it must be noted that fluctuations in the level of the groundwater may occur due to variations in rainfall, temperature, and other factors differing from the time the measurements were made.

Review

4. It is recommended that this firm be given the opportunity to review final design drawings and specifications to evaluate the appropriate implementation of the recommendations provided herein.
5. In the event that any changes in the nature, design, or location of the proposed areas are planned, the conclusions and recommendations contained in this report shall not be considered valid unless the changes are reviewed and conclusions of the report modified or verified in writing by KMM Geotechnical Consultants, LLC.

Construction

6. It is recommended that this firm be retained to provide geotechnical engineering services during the earthwork phases of the work. This is to observe compliance with the design concepts, specifications, and recommendations and to allow design changes in the event that subsurface conditions differ from those anticipated prior to the start of construction.

Use of Report

7. This report has been prepared for the exclusive use of Agile Engineering in accordance with generally accepted soil and foundation engineering practices. No other warranty, expressed or implied, is made.
8. This report has been prepared for this project by KMM Geotechnical Consultants, LLC. This report was completed for preliminary design purposes and may be limited in its scope to complete an accurate bid. Contractors wishing a copy of the report may secure it with the understanding that its scope is limited to preliminary geotechnical design considerations only.

TABLE 1

103 Thorndike Street
Arlington, Massachusetts

Recommended Soil Gradation & Compaction Specifications

Gravel Base Fill

(Select CRUSHED GRAVEL borrow)

SIEVE SIZE	PERCENT PASSING BY WEIGHT
3 inch	100
3/4 inch	50-90
No. 4	30-70
No. 200	2-8

NOTES: For 12 inch base below exterior concrete slabs exposed to frost
Shall have less than 12% fines (No. 200 sieve) based on the Sand fraction

Structural Fill

(Gravelly SAND)

SIEVE SIZE	PERCENT PASSING BY WEIGHT
5 inch	100
3/4 inch	50-100
No. 4	20-80
No. 200	0-10

NOTES: For use as backfill behind foundation walls

Structural Fill placed beneath the foundation should include the *Footing Zone of Influence* which is defined as that area extending laterally one foot from the edge of the footing then outward and downward at a 1H:1V splay. Structural Fill should be placed in loose lifts not exceeding 12 inches for heavy vibratory rollers and 8 inches for vibratory plate compactors. All the fill on the project should be compacted to at least 95 percent of maximum dry density as determined by the Modified Proctor Test (ASTM-D1557). The fill shall be compacted within ± 2 of the optimum moisture content. The adequacy of the compaction efforts should be verified by field density testing which is also a requirement of the *Massachusetts State Building Code*.

TEST BORING LOG



SOIL X, Corp.
148 Pioneer Drive
Leominster, MA 01453

**103 Thorndike Street
Arlington, MA**

B-1

Sheet 1 of 1

23-12011

Ground Elevation: 100 ft+/-
Date Started: 12/14/23
Date Finished: 12/14/23
Driller: DL

GROUNDWATER OBSERVATIONS

DATE	DEPTH	CASING AT	STABILIZATION
12/14/23	5 ft		

Soil Engineer/Geologist:

Depth Ft.	Casing bl/ft	Sample				Strat a Break	Visual Identification of Soil and / or Rock Sample
		No.	Pen/Rec	Depth	Blows/6"		
1		1 1A	8" 8"	0'0"-1'0" 1'0"-2'0"	1-1 2-2	1'	Black, silty Sand, little gravel (FILL) Olive, Silt-Fine Sand-Clay (FILL)
5		2	18"	5'0"-7'0"	WOH	5'	Black, Organic, silty-fibrous Peat, wet (ORGANIC)
10		3	15"	10'0"-12'0"	2-3-2-3	10'	Grey, f-m Sand, trace silt, wet (SAND)
15		4	18"	15'0"-17'0"	2-3-4-5		Same
20		5	0"	20'0"-22'0"	1-1-1-1		No Recovery
25		6	7"	25'0"-27'0"	2-2-6-8		Grey, f-m Sand (SAND)
30		3	21"	30'0"-32'0"	10-15-18-10		Brown, fine to medium Sand, trace silt
35							EOB @ 32' BGS GWT @ 5' BGS upon completion

GeoProbe 6712

Cohesionless: 0 - 4 V. Loose, 4 - 10 Loose,
10 - 30 M Dense, 30 - 50 Dense, 50+ V Dense.
Cohesive: 0 - 2 V Soft, 2 - 4 Soft, 4 - 8 M Stiff
8 - 15 Stiff, 15 - 30 V. Stiff, 30 + Hard.

Trace 0 to 10%
Little 10 to 20%
Some 20 to 35%
And 35% to 50%

ID SIZE (IN)
HAMMER WGT (LB)
HAMMER FALL (IN)

CASING

SAMPLE

CORE TYPE

SS
140 lb.
30" 110 of 160

TEST BORING LOG



SOIL X, Corp.

148 Pioneer Drive
Leominster, MA 01453

**103 Thorndike Street
Arlington, MA**

B-2

Sheet 1 of 1

23-12011

Ground Elevation: 98 ft+/-

Date Started: 12/14/23

Date Finished: 12/14/23

Driller: DL

Soil Engineer/Geologist:

GROUNDWATER OBSERVATIONS

DATE	DEPTH	CASING AT	STABILIZATION
12/14/23	5 ft		

Depth h Ft.	Casing bl/ft	Sample				Strat a Break	Visual Identification of Soil and / or Rock Sample
		No.	Pen/Rec	Depth	Blows/6"		
1		1	10"	0'0"-2'0"	2-2-2-2		Black, fine to medium Sand, little silt
		2	3"	2'0"-4'0"	2-1-3-3		Brown, fine to coarse Sand, little gravel (FILL)
5		3	18"	5'0"-7'0"	1/for 24"	5'	Grey Sand/ Ash/ Cinders, wet (URBAN FILL)
		4	24"	7'0"-9'0"	WOH	7'	Black, Organic Silt, trace silt (ORGANIC)
10		5	20"	10'0"-12'0"	WOH		Black, Organic, silty-fibrous Peat, wet
		6	24"	12'0"-14'0"	WOH		
15		7	18"	15'0"-17'0"	WOH	15'	Dark Brown, Organic Silt, wet (ORGANIC)
20		8	24"	20'0"-22'0"	WOH		Dark Grey, Organic, clayey Silt, wet (ORGANIC)
25		9	17"	25'0"-27'0"	2-2-3-3	24'	Grey, fine to medium Sand, little silt (SAND)
30		10	23"	30'0"-32'0"	7-8-8-5		Grey, f-m Sand (SAND)
35							EOB @ 50' BGS GWT @ 5' BGS upon completion. Push rod from 30-50' – No difference with resistance

GeoProbe 6712

Cohesionless: 0 - 4 V. Loose, 4 - 10 Loose,
10 -30 M Dense, 30 -50 Dense, 50+ V Dense.
Cohesive: 0 -2 V Soft, 2 -4 Soft, 4 -8 M Stiff
8 -15 Stiff, 15 -30 V. Stiff, 30 + Hard.

Trace 0 to 10%
Little 10 to 20%
Some 20 to 35%
And 35% to 50%

ID SIZE (IN)
HAMMER WGT (LB)
HAMMER FALL (IN)

CASING

SAMPLE

CORE TYPE

SS

140 lb.

30"

TEST BORING LOG



**103 Thorndike Street
Arlington, MA**

B-3

Sheet 1 of 1

23-12011

Ground Elevation: 99 ft+/-
Date Started: 12/14/23
Date Finished: 12/14/23
Driller: DL

Soil Engineer/Geologist:

GROUNDWATER OBSERVATIONS

DATE	DEPTH	CASING AT	STABILIZATION
12/14/23	5 ft		

Depth Ft.	Casing bl/ft	Sample				Strat a Break	Visual Identification of Soil and / or Rock Sample
		No.	Pen/Rec	Depth	Blows/6"		
1		1	8"	0'0"-2'0"	1-1-1-1		Dark Brown, Sand, little gravel, dry (FILL)
		2	4"	2'0"-4'0"	1-1-1-1		
5		3	24"	5'0"-7'0"	WOH	5'	Black, Organic, silty-fibrous Peat, wet (ORGANIC)
		4	24"	7'0"-9'0"	WOH		
10		5	24"	10'0"-12'0"	WOH	10'	Dark Brown, Organic Silt, wet (ORGANIC)
		6	24"	12'0"-14'0"	WOH		
15		7	24"	15'0"-17'0"	WOH	15'	Dark Grey, fine to medium Sand, trace organic, wet
		8	24"	17'0"-19'0"	WOH		Dark Grey, f-m Sand
20		9	8"	20'0"-22'0"	3-2-5-5	20'	Grey, f-m Sand, wet (SAND)
25		10	22"	25'0"-27'0"	3-3-5-5		Grey, Silt-Clay w/ Sand layers
		11	22"	27'0"-29'0"	6-7-7-5		Grey, f-m Sand (SAND)
30		12	24"	30'0"-32'0"	6-7-10-7		Brown, f-c Sand, wet
35							EOB @ 32' BGS GWT @ 5' BGS upon completion


GeoProbe 6712

Cohesionless: 0 - 4 V. Loose, 4 - 10 Loose, 10 - 30 M Dense, 30 - 50 Dense, 50+ V Dense.	Trace 0 to 10%	CASING	SAMPLE	CORE TYPE
Cohesive: 0 - 2 V Soft, 2 - 4 Soft, 4 - 8 M Stiff	Little 10 to 20%	ID SIZE (IN)	SS	
8 - 15 Stiff, 15 - 30 V. Stiff, 30 + Hard.	Some 20 to 35%	HAMMER WGT (LB)	140 lb.	
	And 35% to 50%	HAMMER FALL (IN)	30"	



re: 103 Thorndike St

From Wynelle Evans <evco7@rcn.com>
Date Thu 6/12/2025 10:51 AM
To ZBA <ZBA@town.arlington.ma.us>

 1 attachment (9 MB)
3836_103_Thorndike_St_Drawings_20241223 8.55.53 PM.pdf;

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Members of the Zoning Board of Appeals:

I'm writing about the proposed new condos at 103 Thorndike St., and the poor fit into that neighborhood that they represent.

The memo from the applicant's attorney refers to this project as a "reconstruction of an existing dwelling," but then goes on to call it the "demolition [of] the existing single-family dwelling and construct[ion of] a two-family dwelling." To be most accurate, this is the demolition of an existing single-family dwelling and construction of two condo dwellings.

It goes on to state that "the size of the Proposed Dwelling is consistent with other dwellings in the immediate neighborhood," and that it will "fit comfortably with the surrounding area."

My concern is that this last statement doesn't reflect easily observed conditions in the neighborhood, where a mix of traditional and modestly-scaled two-families and single-families prevail. Instead, the current drawings indicate a very large, boxy structure that presents the appearance of a three-story building, with flat facades and somewhat random finish applications, and an overall generic appearance.

I have several questions, but had to leave before the discussion ended Tuesday night, so if any of these issues raised below were resolved, please disregard.

1. Has the applicant had an opportunity to review our Residential Design Guidelines? They were created to discourage these kinds of sore thumb projects by providing examples and suggestions for how to more-successfully integrate new construction into existing neighborhoods.

2. Has a shadow study been done to gauge the effects on the Magnolia playground and basketball court to the west of this parcel, and the neighboring house to the east, at 99-101 Thorndike?

3. The plan set shows a new curb cut leading to a permeable paver drive on the east side of the house. This new curb cut appears to be almost double the width of the existing driveway entrance. That, combined with what appears to be permeable paving between the front facade and the sidewalk, indicates that parking in front of the house will be possible. (In fact, one plan set, dated 9/2024, shows a car parked in that front area; see pg. 2 of attached file.). Condo owners are not going to want to fuss with tandem parking, and/or there may be more than one car per unit, so parking in front of the building will be very appealing. However, this is not allowed—see 6.1.10.A., as amended at 2025 Annual Town Meeting. Also, there must be space allowed for a vegetated buffer between 103 and 99-101, of a minimum 1'5" width. It would be good to see these regulations addressed in revised plans.

Many thanks for your work, and for your attention to these issues.

Best,
Wynelle

Wynelle Evans
TMM, Pct. 14
781.859.9291 cell
evco7@rcn.com

BLATMAN, BOBROWSKI, HAVERTY & SILVERSTEIN, LLC
— ATTORNEYS AT LAW —

9 DAMONMILL SQUARE, SUITE 4A4
CONCORD, MA 01742
PHONE 978.371.2226
FAX 978.371.2296

CHRISTOPHER J. ALPHEN, ESQ.
Chris@bbhslaw.net

June 24, 2025

Via ViewPoint Cloud
Town of Arlington
Board of Zoning Appeals
51 Grove St
Arlington, MA 02476

RE: Special Permit/Variance Applications
APSE Investment LLC – 103 Thorndike Street, Arlington, Massachusetts

Dear Board:

Please be informed that this office represents APSE Investment LLC, a Massachusetts Limited Liability Company with an address of 15 Emerald Street, Newton, Massachusetts (the “Petitioner”). Please accept this letter as a request to continue tonight’s hearing to a date certain convenient for the Board.

As grounds therefore, the Petitioner states it is still working on finalizing plans that may cause the project to no longer require a variance under Section 8.1.1. and G.L. ch. 40A, § 10. Additionally, the Petitioner may be able to revise the plans to be eligible for a special permit under 5.4.2.B(8) oppose to obtaining a special permit for the reconstruction of a non-conforming structure under G.L. ch. 40A, § 6.

The Petitioner requires additional time to update the plan set and discuss the same with the Building Commissioner. The Petitioner expects to be prepared to discuss it with the Board within two weeks.

In consideration of this continuance, the Petitioner hereby extends all statutory deadlines under G.L. ch. 40A, § 9 & 15 by forty-five days.

Very truly yours,

A handwritten signature in black ink, appearing to be 'CJ Alphen', with a long horizontal flourish extending to the right.

Christopher J. Alphen, Esq.



Town of Arlington, Massachusetts

Docket #3858 164 Hillside Ave

Summary:

OpenGov Link: <https://arlingtonma.portal.opengov.com/records/211304>

ATTACHMENTS:

Type	File Name	Description
Reference Material	3858_165_Hillside_Ave_legal_ad_7-22-2025.pdf	3858 165 Hillside Ave legal ad 7-22-2025
Reference Material	3858_164_Hillside_Ave_Application_SP-25-14.pdf	3858 164 Hillside Ave Application SP-25-14
Reference Material	3858_164_Hillside_Ave_Application_abutter_map_and_list.pdf	3858 164 Hillside Ave Application abutter map and list
Reference Material	3858_164_Hillside_Avenue_Arlington_survey.pdf	3858 164 Hillside Avenue Arlington survey
Reference Material	3858_164_Hillside_Plans_showing_proposed_front_porch.PDF	3858 164 Hillside Plans showing proposed front porch



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE
DOCKET NO 3858

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Autumn Development Group LLC**, on June 23, 2025, a petition seeking to alter their property located at **164 Hillside Ave - Block Plan 161.0-0002-0019.A**. The said petition would require a **Special Permit** under **5.3.9D** of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", **on Tuesday, July 22, 2025, at 7:30 P.M.** as soon thereafter as the petitioner may be heard. To attend the meeting, please go to <https://www.arlingtonma.gov/connect/calendar>, choose the date of the meeting you wish to attend and register in the Zoom link.

For documentation relating to this petition, visit the ZBA website 48 hours before the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>. Please direct any questions to: **ZBA@town.arlington.ma.us**

Christian Klein, RA, Chair
Zoning Board of Appeals

**SP-25-14****Special Use Permit Application
(ZBA)**

Status: Active

Submitted On: 6/23/2025

Primary Location164 HILLSIDE AVE
Arlington, MA 02476**Owner**AUTUMN DEVELOPMENT GROUP LLC
69 RICHFIELD RD ARLINGTON, MA 02474**Applicant**

Bruce Ward



617-872-0411



bruce.ward@autumndevelopment.com



69 RICHFIELD RD

ARLINGTON, MA 02474

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)***

Zoning Bylaw Section 3.3.3 and 5.3.9D

Explain why the requested use is essential or desirable to the public convenience or welfare.*

Will create a much more desirable front fascade and more functional home. Will fit better into the vibe and style of existing abutting and nearby homes.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

Being a corner lot with 27 feet of setback on the right side (Prospect Ave) there will be no blocking of line of site around corner.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The porch will add an additional 40 sq feet of roof to house, and will have a gutter and downspout into landscaped area. It will not overload any municipal system.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

This proposal will not result in the need for special regulations.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

While the proposed front porch exceeds the maximum square footage allowable by right, the overall proposal is not substantially more detrimental to the neighborhood than the existing structure. There are a variety of architectural styles on Hillside Ave. that incorporate sitting porches, providing a more welcoming vibe than just stairs going to front door.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The proposed porch would actually enhance the character of the neighborhood, hopefully encouraging frequent communication with neighbors and people walking by.

Dimensional and Parking Information

Present Use/Occupancy *

Single Family

Proposed Use/Occupancy *

Single Family

Existing Number of Dwelling Units*

1

Proposed Number of Dwelling Units*

1

Existing Gross Floor Area (Sq. Ft.)*

3700

Proposed Gross Floor Area (Sq. Ft.)*

3700

Existing Lot Size (Sq. Ft.)*

7442

Proposed Lot Size (Sq. Ft.)* ?

7442

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

91.5

Proposed Frontage (ft.)*

91.5

Minimum Frontage required by Zoning*

50

Existing Floor Area Ratio*

0.209

Proposed Floor Area Ratio*

0.209

Max. Floor Area Ratio required by Zoning*

0.35

Existing Lot Coverage (%)*

20.9

Proposed Lot Coverage (%)*

20.9

Max. Lot Coverage required by Zoning*

0.35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

7442

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

7442

Minimum Lot Area per Dwelling Unit required by Zoning*

6000

Existing Front Yard Depth (ft.)*

25

Proposed Front Yard Depth (ft.)*

25

Minimum Front Yard Depth required by Zoning*

25

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning* ?

0

Existing Left Side Yard Depth (ft.)* ?

9.9

Proposed Left Side Yard Depth (ft.)* ?

9.9

Minimum Left Side Yard Depth required by Zoning* ?

10

Existing Right Side Yard Depth (ft.)* ?

25.4

Proposed Right Side Yard Depth (ft.)* ?

25.4

Minimum Right Side Yard Depth required by Zoning* ?

25

Existing Rear Yard Depth (ft.)*

21.5

Proposed Rear Yard Depth (ft.)*

21.5

Minimum Rear Yard Depth required by Zoning*

20

Existing Height (stories)

2.5

Proposed Height (stories)*

2.5

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

33

Proposed Height (ft.)*

33

Maximum Height (ft.) required by Zoning*

34

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*	Proposed Landscaped Open Space (Sq. Ft.)*
5396	5356
Existing Landscaped Open Space (% of GFA)*	Proposed Landscaped Open Space (% of GFA)*
72.5	71.9
Minimum Landscaped Open Space (% of GFA) required by Zoning*	Existing Usable Open Space (Sq. Ft.)*
10	5396
Proposed Usable Open Space (Sq. Ft.)*	Existing Usable Open Space (% of GFA)* ?
5356	72.5
Proposed Usable Open Space (% of GFA)* ?	Minimum Usable Open Space required by Zoning*
72.5	9
Existing Number of Parking Spaces*	Proposed Number of Parking Spaces*
2	2
Minimum Number of Parking Spaces required by Zoning*	Existing Parking area setbacks
1	28
Proposed Parking area setbacks *	Minimum Parking Area Setbacks required by Zoning*
28	25
Existing Number of Loading Spaces	Proposed Number of Loading Spaces*
1	1
Minimum Number of Loading Spaces required by Zoning*	Existing Slope of proposed roof(s) (in. per ft.)*
1	12
Proposed Slope of proposed roof(s) (in. per ft.)*	Minimum Slope of Proposed Roof(s) required by Zoning*
12	2
Existing type of construction*	Proposed type of construction*
wood frame	wood frame

Open Space Information

Existing Total Lot Area*

7442

Proposed Total Lot Area*

7442

Existing Open Space, Usable*

5396

Proposed Open Space, Usable*

5356

Existing Open Space, Landscaped*

5396

Proposed Open Space, Landscaped*

5356

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

1100

Basement or Cellar, Proposed Gross Floor Area

1100

1st Floor, Existing Gross Floor Area

1100

1st Floor, Proposed Gross Floor Area

1100

2nd Floor, Existing Gross Floor Area

1210

2nd Floor, Proposed Gross Floor Area

1210

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area




0

Attic, Existing Gross Floor Area ?

600

Attic, Proposed Gross Floor Area

600

Parking Garages, Existing Gross Floor Area 	Parking Garages, Proposed Gross Floor Area
300	300
All weather habitable porches and balconies, Existing Gross Floor Area	All weather habitable porches and balconies, Proposed Gross Floor Area
0	0
Total Existing Gross Floor Area	Total Proposed Gross Floor Area
<div>4310</div>	<div>4310</div>

APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:


- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*

☒

Applicant's Signature*

 Bruce D Ward
Jun 23, 2025

**CERTIFIED ABUTTERS LIST**

Date: June 23, 2025

Subject Property Addresses: 164 HILLSIDE AVE, ARLINGTON, MA

Subject Property ID: 161-2-19.A

Search Distance: 300 Feet - Zoning

					MAILING ADDRESS			
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Mailing Address 2	Town	State	Zip
156-2-1	293 PARK AVE	SIDLEY KAREN L/ LIFE ESTATE		293 PARK AVE		ARLINGTON	MA	02476
156-2-2	295 PARK AVE	BISHOP JONATHAN ALEXANDER		295 PARK AVE		ARLINGTON	MA	02476
156-2-3	297 PARK AVE	CUSHMAN SARA	RANTA-SPINDLER COLLEEN	297 PARK AVENUE		ARLINGTON	MA	02476
156-2-20	190 HILLSIDE AVE	HAJIGHAVAMI ROCKNEDDIN-ETAL	KHADEM MITRA	190 HILLSIDE AVE		ARLINGTON	MA	02476
161-1-2	145 HILLSIDE AVE	GALLAGHER DAVID T & CHYREL A	TRS/ DAVID A GALLAGHER REVOCAB	145 HILLSIDE AV		ARLINGTON	MA	02476
161-1-3.A	149 HILLSIDE AVE UNIT A	MASON ANDREW	ANANWORANICH JINTANAT	149 HILLSIDE AVE UNIT A		ARLINGTON	MA	02476
161-1-3.B	149 HILLSIDE AVE UNIT B	BOLTON WILLIAM/TRUSTEE	THROP-BOLTON CAROL /TRUSTEE	149-B HILLSIDE AVE	BOLTON FAMILY TRUST	ARLINGTON	MA	02476
161-1-4	153 HILLSIDE AVE	ALI MOHAMAD S & KECIA TRUSTEES	KECIA ALI 2008 REVOCABLE TRUST	153 HILLSIDE AVE		ARLINGTON	MA	02476
161-1-5	157 HILLSIDE AVE	MACMILLIN BRIAN & KRISTYN		157 HILLSIDE AVE		ARLINGTON	MA	02476
161-1-6	163 HILLSIDE AVE	PERHANIDIS NICOLAOS &	PERHANIDIS EVANGELIA	163 HILLSIDE AVENUE		ARLINGTON	MA	02476
161-1-6.A	19 PROSPECT AVE	GILLAN LILLY		19 PROSPECT AVE		ARLINGTON	MA	02476
161-1-6.B	23 PROSPECT AVE	ISHAQUE MASHHOOD	TAHAR LOUBNA BEN	23 PROSPECT AVE		ARLINGTON	MA	02476
161-1-7	27 PROSPECT AVE	SWIECICKI JEAN-MARIE	SILVERMAN JULIE	27 PROSPECT AVE		ARLINGTON	MA	02476
161-1-8.A	31 PROSPECT AVE	OLLAND STEPHANE	OLLAND ANDREA	31 PROSPECT AVE		ARLINGTON	MA	02476
161-1-16	172 OAKLAND AVE	YETMAN KENNETH/CHERYL A		172 OAKLAND AVE		ARLINGTON	MA	02476
161-1-17	168 OAKLAND AVE	HUET FRANCOIS/ TRUSTEE	FRANCOIS HUET TRUST	168 OAKLAND AVE		ARLINGTON	MA	02476
161-2-8	245 PARK AVE	CHOWDHURY SALIM		245 PARK AVE		ARLINGTON	MA	02476
161-2-9	247 PARK AVE	HEENAN CHERYL		247 PARK AVE		ARLINGTON	MA	02476
161-2-11	255 PARK AVE	WEISBACH KAREN & PAUL		255 PARK AVE		ARLINGTON	MA	02476
161-2-13	259 PARK AVE	DAVIS EUGENE N II	ELVERRILLO LOLITA R	259 PARK AVENUE		ARLINGTON	MA	02476
161-2-14	263 PARK AVE	JALELIAN DIANE--ETAL/TRS	JALELIAN CERISE	263 PARK AVE		ARLINGTON	MA	02476
161-2-15.A	267 PARK AVE	KOMANETSKY JEFFREY R	KOMANETSKY JOELLEN	267 PARK AVE		ARLINGTON	MA	02476
161-2-16	271 PARK AVE	LI TAIHEO	ZHANG HONGJIE	271 PARK AVE		ARLINGTON	MA	02476
161-2-16.B	265 PARK AVE	ALI MOHAMAD S & KECIA TRUSTEES	KECIA ALI 2008 REVOCABLE TRUST	153 HILLSIDE AVE		ARLINGTON	MA	02476
161-2-17	275 PARK AVE	GARRITY PATRICIA J / TRUSTEE	PJGII INTERVIVOS REVOCABLE TR	275 PARK AVE		ARLINGTON	MA	02476
161-2-18	7 PROSPECT AVE	CARR TIMOTHY D	PAPPALARDO MICHELLE M	7 PROSPECT AVE		ARLINGTON	MA	02476
161-2-19.A	164 HILLSIDE AVE	AUTUMN DEVELOPMENT GROUP LLC		69 RICHFIELD RD		ARLINGTON	MA	02474
161-2-19.B	11 PROSPECT AVE	COLLINS ELLYN A TR	E A COLLINS MIDDLESEX RLTY	11 PROSPECT AVE		ARLINGTON	MA	02476
161-2-20.A	160 HILLSIDE AVE	WANG JING &	ZHANG QIHUI	26 BOWKER ST		LEXINGTON	MA	02421
161-2-21	154--156 HILLSIDE AVE	DAY ROGER P & HONG JOAN F/TRS	HONG-DAY FAMILY LIVING TRUST	10481 ANN ARBOR AVE		CUPERTINO	CA	95014
161-2-22	152 HILLSIDE AVE	STENWALL DIANNE/LIFE ESTATE		152 HILLSIDE AVE		ARLINGTON	MA	02476
161-2-23	148 HILLSIDE AVE	KITZMILLER AMRON J	SHORT SARAH M	148 HILLSIDE AVE		ARLINGTON	MA	02476
161-2-24	144 HILLSIDE AVE	IRWIN RYAN ETAL/ TRS	144 HILLSIDE AVENUE REALTY TR	144 HILLSIDE AVE		ARLINGTON	MA	02476
161-4-1	187 HILLSIDE AVE	GRODSTEIN JOEL J ETAL/ TRS	GRODSTEIN-BENVENISTE TRUST	187 HILLSIDE AVE		ARLINGTON	MA	02476

**CERTIFIED ABUTTERS LIST**

Date: June 23, 2025

Subject Property Addresses: 164 HILLSIDE AVE, ARLINGTON, MA

Subject Property ID: 161-2-19.A

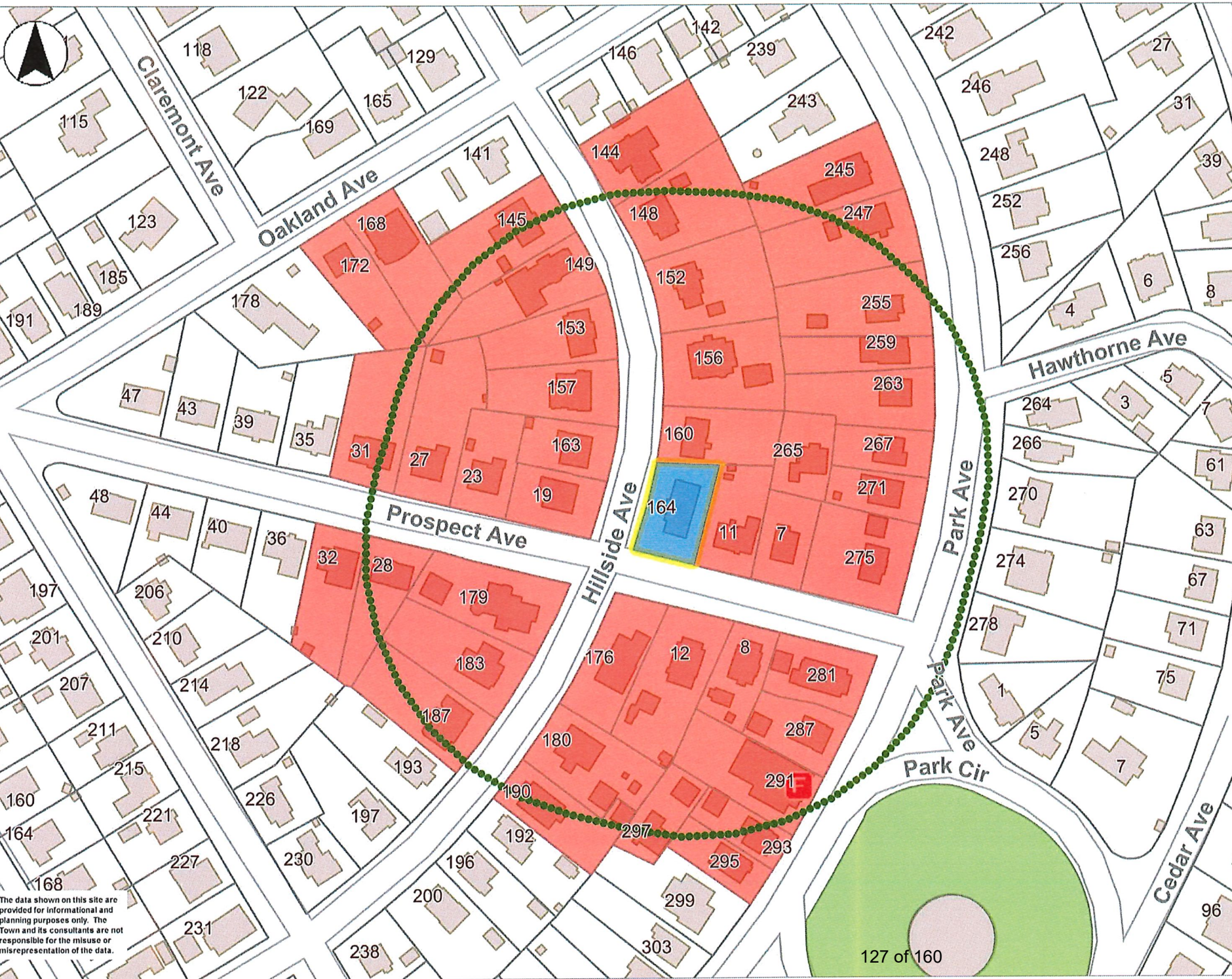
Search Distance: 300 Feet - Zoning

Parcel ID:	Property Location	Owner 1	Owner 2	MAILING ADDRESS				
				Mailing Address 1	Mailing Address 2	Town	State	Zip
161-4-2	183 HILLSIDE AVE	CARPENTER STEWART J	CARPENTER PAMELA S	183 HILLSIDE AVENUE		ARLINGTON	MA	02476
161-4-3	179 HILLSIDE AVE	HOURICAN SEAN F & BONNIE B		179 HILLSIDE AVE		ARLINGTON	MA	02476
161-4-4.A	28 PROSPECT AVE	MEDRI EDWARD E & MARISOL B		28 PROSPECT AVE		ARLINGTON	MA	02476
161-4-5.A	32 PROSPECT AVE	DENG EDDIE L	LIN CHAOCHUN	32 PROSPECT AVE		ARLINGTON	MA	02476
161-5-1	291 PARK AVE	TOWN OF ARLINGTON	FIRE STATION	291 PARK AVE		ARLINGTON	MA	02476
161-5-2	287 PARK AVE	FRISOLI LAWRENCE T JR	FRISOLI MELLISSA	287 PARK AVE		ARLINGTON	MA	02476
161-5-3	281 PARK AVE	LUO JUN	LI LINGLING	101 ALEXANDER AVE		BELMONT	MA	02478
161-5-4	8 PROSPECT AVE	MORIN MICHAEL ETAL/ TRUSTEES	MORIN FAMILY SUPPLEMENTAL NEED	17 GLENNON FARM LN		LEBANON	NJ	08833
161-5-5	12 PROSPECT AVE	IOAKIMIDIS JOHN S & ALTHEA S		12 PROSPECT AVENUE		ARLINGTON	MA	02476
161-5-6	176 HILLSIDE AVE	BOZINTAN VASILE EMIL ETAL/ TRS	BOZINTAN FAMILY TRUST	176 HILLSIDE AVE		ARLINGTON	MA	02476
161-5-7.A	180 HILLSIDE AVE	IOAKIMIDIS CONSTANINOS	IOAKIMIDIS ANASTASIA	180 HILLSIDE AVE		ARLINGTON	MA	02476



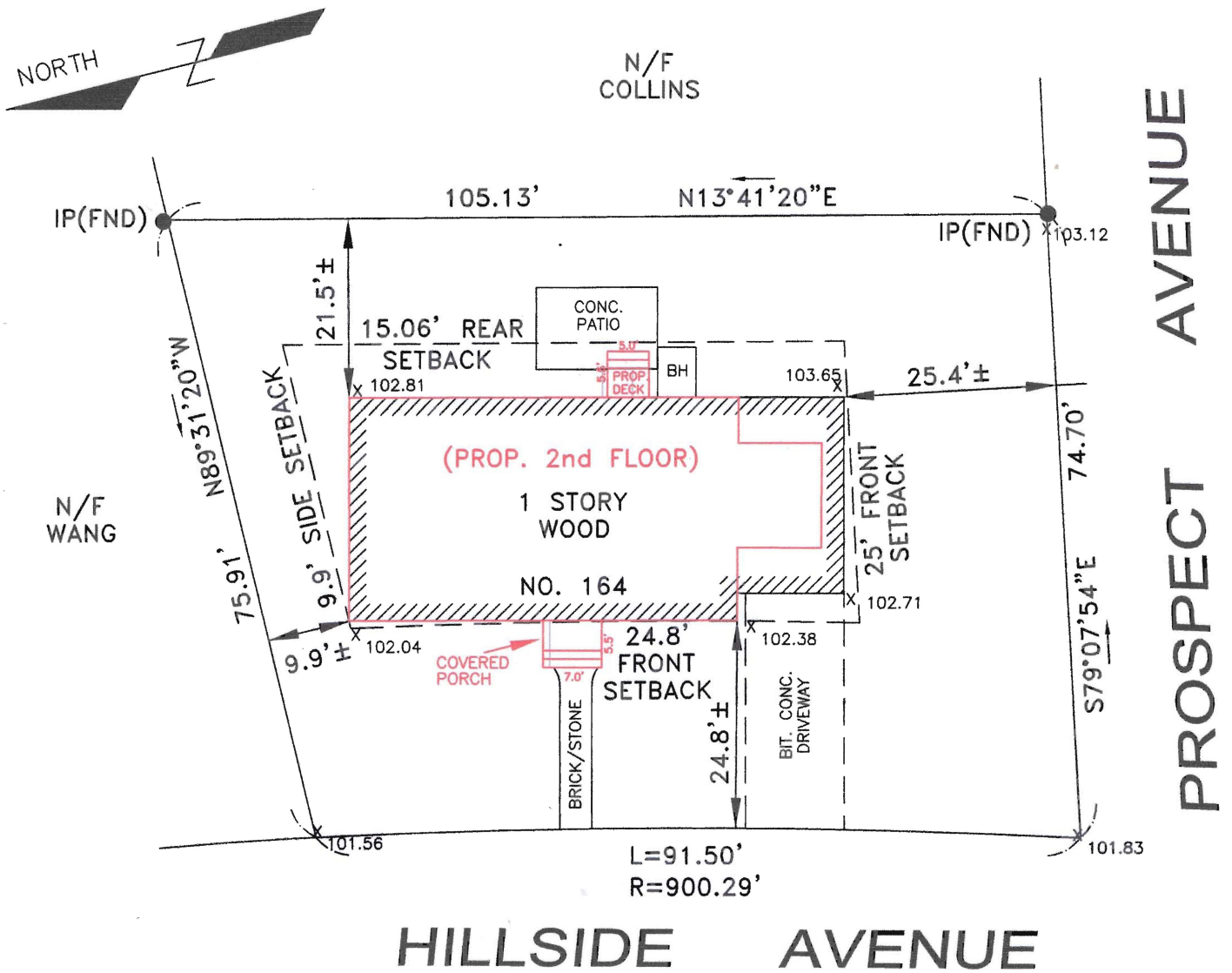
The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.

Town of Arlington
Office of the Board of Assessors
730 Massachusetts Ave
Arlington, MA 02476
P: 781.316.3050
E: assessors@town.arlington.ma.us



- Places by Category
- Police Station
 - Fire Station
 - School
 - Library
 - Public Works
 - Recreation - Facilities
- Recreation - Fields Cc
- Recreation - Fields Cc
- Open Space: Conserv
- Open Space - Minuter
- Open Space - Labels
- Open Space
- Town, State, or
 - Other Town Ow
- MA Highways
- Interstate
 - US Highway
 - Numbered Rout
- Abutting Towns
- Town Boundary
- Parcels
- Buildings
- Cemetery - Roads
- Road1
 - Road2
 - Road3
 - Road4
- Pavement Markings
- Impervious Surface - I
- Street
 - Sidewalk
 - Street Island
 - Driveway
 - Parking Lot
 - Bike Path
- Roads - For Large Sc
- Roads - For Small Sc
- Major Road
 - Local Road
- Master Plan Base Map
- Water Line
- Water Body

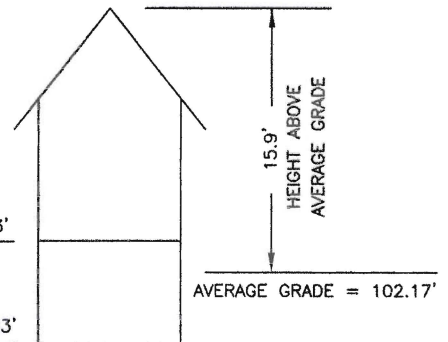
The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



LOT AREA = 7,442 S.F.±
 EXISTING BUILDING = 1,558 S.F.±
 EXISTING PAVEMENT + CONC. = 490 S.F.±
 PROPOSED ADDITION = 1,382 S.F.± (NET ADD = 46 S.F.±)
 EXISTING LOT COVERAGE = 20.9%
 PROPOSED LOT COVERAGE = 21.6%
 EXISTING OPEN SPACE = 72.5%
 PROPOSED OPEN SPACE = 71.9%

BASEMENT CEILING = 105.13'

BASEMENT FLOOR = 98.03'



NOTES

1. SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 48267, PAGE 66.
2. SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 9392, END.
3. SUBJECT PARCEL IS LOCATED IN ZONE R-1.



(IN FEET)
 1 inch = 20 ft.

PROPOSED PLOT PLAN
 IN
 ARLINGTON, MA

SCALE: 1" = 20' APRIL 15, 2025

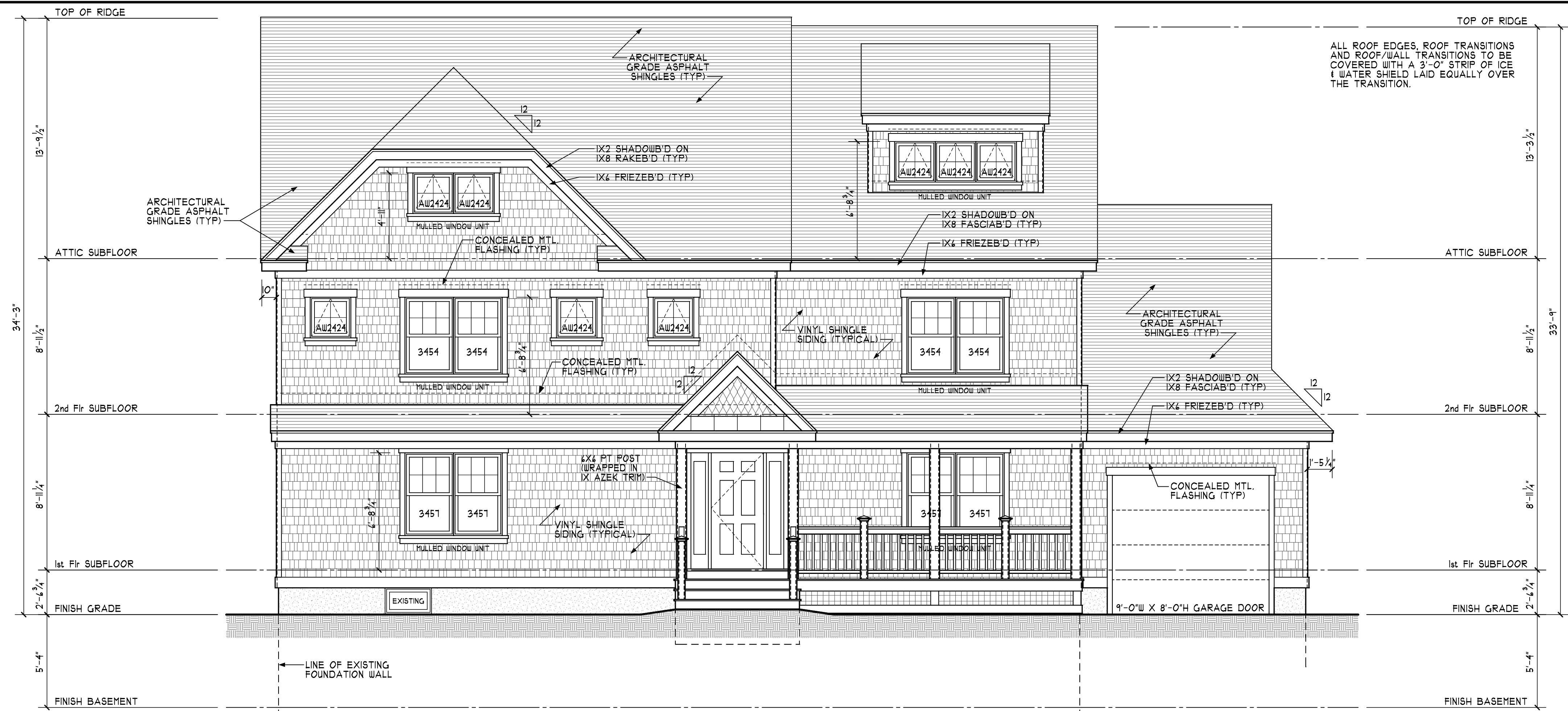
DLJ GEOMATICS
 PROFESSIONAL LAND SURVEYING
 276 NORTH STREET
 WEYMOUTH, MA 02191
 (781) 812-0457

164 HILLSIDE AVE ARLINGTON, MA 01901

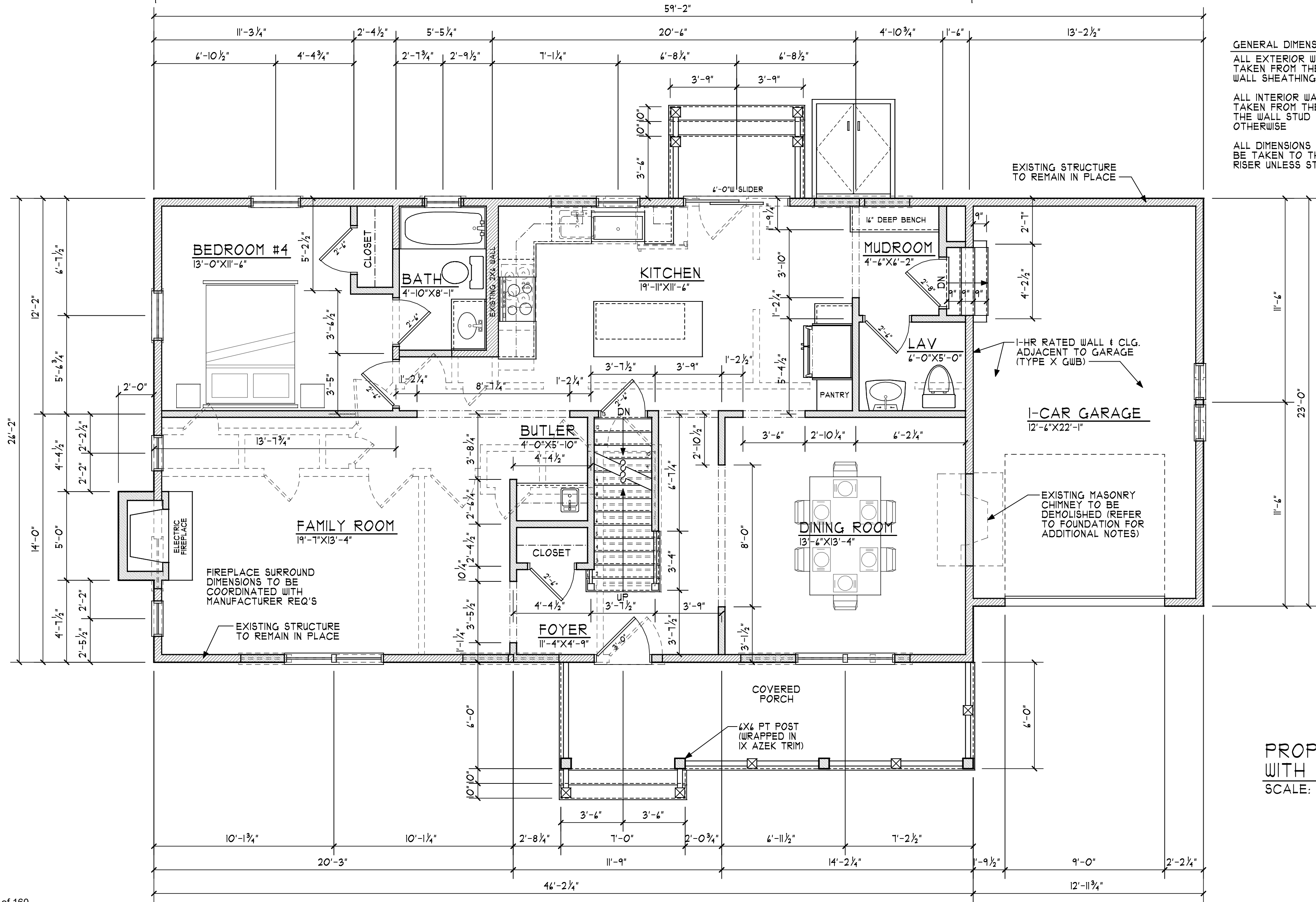
PROFESSIONAL LAND SURVEYOR DATE

DOUGLAS L. JOHNSTON
 NO. 47879
 REGISTERED PROFESSIONAL LAND SURVEYOR

4-16-25



PROPOSED FRONT ELEVATION
WITH FARMER'S PORCH
SCALE: 1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN
WITH FARMER'S PORCH
SCALE: 1/4" = 1'-0"

GENERAL DIMENSION STANDARD
ALL EXTERIOR WALL DIMENSIONS ARE
TAKEN FROM THE EXTERIOR FACE OF
WALL SHEATHING
ALL INTERIOR WALL DIMENSIONS ARE
TAKEN FROM THE CENTERLINE OF
THE WALL STUD UNLESS STATED
OTHERWISE
ALL DIMENSIONS TO STAIRS ARE TO
BE TAKEN TO THE FINISH FACE OF
RISER UNLESS STATED OTHERWISE

- LEGEND
- EXISTING STRUCTURE
 - EXISTING STRUCTURE TO BE DEMOLISHED
 - NEW CONSTRUCTION
 - NEW HARD WIRE SMOKE DETECTOR w/ BATTERY BACKUP (PHOTOELECTRIC)
 - COMBINATION PHOTO-ELECTRIC SMOKE/CARBON MONOXIDE DETECTOR

**PORAVAS
DESIGN &
CONSULTING**

4R Forest Street
Manchester-by-the-Sea
Massachusetts 01944

Telephone:
339-927-1579
E-Mail:
chris@poravasdesign.com

Proposed Additions
& Renovations at:

164 Hillside Ave.
Arlington, MA

Submitted for:
Building Permit Set

Scale:
1/4" = 1'-0"

Drawn by:
C A Poravas

File Name:
SK_1-FloorPlans.aec

Date:	
May 22, 2025	
Issue:	
#	Date
Revisions:	
Rev #	Date

Drawing Number

Sk-1



Town of Arlington, Massachusetts

Docket #3860 67 Foster Street

Summary:

OpenGov Link: <https://arlingtonma.portal.opengov.com/records/210188>

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	3850_67_Foster_St_legal_ad.pdf	3850 67 Foster St legal ad
▢ Reference Material	3860_67_Foster_St_abutter_map_and_list.pdf	3860 67 Foster St abutter map and list
▢ Reference Material	3850_67_Foster_St_Application_SP-25-10.pdf	3850 67 Foster St Application SP-25-10
▢ Reference Material	3850_67_Foster_St_Plot_Plan_-_Survey.pdf	3850 67 Foster St Plot Plan - Survey
▢ Reference Material	Back_yard_view.jpg	3850 67 Foster Back yard view
▢ Reference Material	Fence_with_baluster.jpg	3850 67 Foster Fence with baluster
▢ Reference Material	3850_65-67_Foster_Street_letter_from_ISD.pdf	3850 65-67 Foster Street letter from ISD

ORDER DETAILS

PREVIEW FOR AD NUMBER LNEO02977280

Order Number:
LNEO0297728
External Order #:
11317569
Order Status:
Approved
Classification:
Public Notices
Package:
General Package
Total payment:
227.36
Payment Type:
Account Billed
User ID:
L0023538
External User ID:
670931

ACCOUNT INFORMATION

Arlington Board Of Appeals
51 Grove St
Arlington, MA 02476-4602
781-316-3396
cralston@town.arlington.ma.us
Arlington Board Of Appeals
Contract ID:

TRANSACTION REPORT

Date
May 13, 2025 3:17:02 PM EDT
Amount:
227.36

ADDITIONAL OPTIONS

1 Affidavit

SCHEDULE FOR AD NUMBER LNEO02977280

May 22, 2025
The Advocate & Star (Arlington - Winchester)
May 29, 2025
The Advocate & Star (Arlington - Winchester)

67 Foster Street
LEGAL NOTICE
DOCKET NO 3850

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by Christopher Decilio, on May 1, 2025, a petition seeking to alter their property located at 67 Foster Street - Block Plan 030-0001-0012.0. The said petition would require a Special Permit under 3.3.4 B of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", on Tuesday, June 10, 2025, at 7:30 P.M. as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL: <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar>, and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website before the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>. Please direct any questions to: ZBA@town.arlington.ma.us

Christian Klein, RA, Chair
Zoning Board of Appeals

May 22, 29 2025
LNEO0297728

[Privacy Policy](#) | [Terms of Service](#)

[Contact Us](#)


CERTIFIED ABUTTERS LIST
Date: June 25, 2025

Subject Property Addresses: 65-67 FOSTER ST, ARLINGTON, MA

Subject Property ID: 30-1-12

Search Distance: 300 Feet - Zoning

					MALING ADDRESS			
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Mailing Address 2	Town	State	Zip
31.A-6-45	45 ADAMS ST UNIT 45	MULLER LAURENCE Y	DONG ANQI	45 ADAMS ST		ARLINGTON	MA	02474
31.A-6-47	47 ADAMS ST UNIT 47	BAGGETT TRAVIS & MERIDALE		47 ADAMS ST		ARLINGTON	MA	02474
31.A-6-66	66 FOSTER ST UNIT 66	BONACCI BRENDA		66 FOSTER ST		ARLINGTON	MA	02474
31.A-6-68	68 FOSTER ST UNIT 68	ASLANIAN ARA M & SHARON M		38 DOW AVE		ARLINGTON	MA	02476
40.A-7-197	197 BROADWAY UNIT 197	FORMWORKS LLC		197 BROADWAY		ARLINGTON	MA	02474
40.A-7-199.1	199 BROADWAY UNIT 1	BEECHER JOEL T		199 BROADWAY UNIT 1		ARLINGTON	MA	02476
40.A-7-201	201 BROADWAY UNIT 201	COSTELLO ROBERT D		137A FRANKLIN ST		ARLINGTON	MA	02474
40.A-7-199	199 BROADWAY UNIT 199	F&G MASTER LLC		415 MT AUBURN ST		WATERTOWN	MA	02472
40.A-7-199.2	199 BROADWAY UNIT 2	LOKARE OMKAR R	VISWANATHAN RAMYA	199 BROADWAY UNIT 2		ARLINGTON	MA	02474
31.A-6-62	62 FOSTER ST UNIT 62	ATANASOVA MARIYA		62 FOSTER ST		ARLINGTON	MA	02474
31.A-6-64	64 FOSTER ST UNIT 64	PROUDFOOT LESLIE HEATHER	SHAFFER MICHAEL TOOLEY	64 FOSTER ST		ARLINGTON	MA	02474
40.A-6-6.1	6 RAWSON RD UNIT 1	ERICSON STEVEN J & SOLVEIG G	TRS/ HOME SWEET HOMES REALTY	6 RAWSON RD	APT 1	ARLINGTON	MA	02474
40.A-6-6.2	6 RAWSON RD UNIT 2	CHOU MARY		6 RAWSON RD #2		ARLINGTON	MA	02474
31.A-6-206	206--208 BROADWAY UNIT 206	LAUCLAN JENNIFER	LAUCLAN CAITLIN BROWN	206 BROADWAY		ARLINGTON	MA	02474
31.A-6-208	206--208 BROADWAY UNIT 208	GRINDAL TODD A	ROTOLO PAMPA	208 BROADWAY		ARLINGTON	MA	02474
31.A-6-65	65--67 ADAMS ST UNIT 65	MEADE CHRISTINA ZINNA	MEADE CHRISTOPHER	65 ADAMS ST		ARLINGTON	MA	02474
31.A-6-67	65--67 ADAMS ST UNIT 67	HARISIADES JAMIE	RUSSO LEON	67 ADAMS ST		ARLINGTON	MA	02474
30.A-1-73	73--75 FOSTER ST UNIT 73	STORR RACHEL A	LEBLANC ADAM P	73 FOSTER ST		ARLINGTON	MA	02474
30.A-1-75	73--75 FOSTER ST UNIT 75	YUN ANDREW K	MELKIN DEBORAH G	75 FOSTER ST		ARLINGTON	MA	02474
31.A-6-54	54--56 FOSTER ST UNIT 54	KIM RHAN	GUTHRIE JOHN	54 FOSTER ST		ARLINGTON	MA	02474
31.A-6-56	54--56 FOSTER ST UNIT 56	PERRINO CARMEN MARIA	KIM ALBERT EUSIK	56 FOSTER ST		ARLINGTON	MA	02474
31.A-5-38	38 FOSTER ST UNIT 38	MATTINGLY PETER JOSEPH	MATTINGLY AMANDA JOHANSEN	38 FOSTER ST		ARLINGTON	MA	02474
31.A-5-40	40 FOSTER ST UNIT 40	MALTZAN DAVID	GARIMELLA MANASWINI	40 FOSTER ST		ARLINGTON	MA	02474
30.A-1-57	57--59 FOSTER ST UNIT 57	MACHIELSE BERNARDUS	MACHIELSE LEONZA L	57 FOSTER ST		ARLINGTON	MA	02474
30.A-1-59	57--59 FOSTER ST UNIT 59	EDAKKUNNI GOPAKUMAR CHOORAKKOT	WARRIER THULASI	59 FOSTER ST		ARLINGTON	MA	02474
31.A-6-50	50 FOSTER ST UNIT 50	DOUGLASS NERIA	GARCIA ALVARO	50 FOSTER ST		ARLINGTON	MA	02474
31.A-6-52	52 FOSTER ST UNIT 52	LIU KUIKUI	LU JIAYAO	52 FOSTER ST		ARLINGTON	MA	02474
30.A-1-77	77--79 FOSTER ST UNIT 77	KREINDLER GABRIEL	NENEIU GABRIELA	77 FOSTER ST		ARLINGTON	MA	02474
30.A-1-79	77--79 FOSTER ST UNIT 79	REEDER ERIC	NG LIENNE	79 FOSTER ST		ARLINGTON	MA	02474
31.A-6-58	58--60 FOSTER ST UNIT 58	BRENNAN CAROLE		58 FOSTER ST		ARLINGTON	MA	02474
31.A-6-60	58--60 FOSTER ST UNIT 60	BRENNAN CAROLE & CYNTHIA	GLINES CHRISTINE & BRENNAN STE	58 FOSTER ST		ARLINGTON	MA	02474
29-1-8	41 FOSTER ST	TOWN OF ARLINGTON SCHOOL	EAST JUNIOR HIGH SCHOOL	730 MASS AVE		ARLINGTON	MA	02476
30-1-2	196--198 BROADWAY	TRINGALI LYNDIA M & CHRISTOPHER		132 BROADWAY		ARLINGTON	MA	02474
30-1-3	174--182 BROADWAY	ROGARIS PETER J/TRUSTEE	J.P. REALTY TRUST	80 RICHMOND ROAD		BELMONT	MA	02478
30-1-4	70--72 TUFTS ST	APP ZACHARY		68 LEXINGTON AVE		CAMBRIDGE	MA	02138



CERTIFIED ABUTTERS LIST

Date: June 25, 2025

Subject Property Addresses: 65-67 FOSTER ST, ARLINGTON, MA

Subject Property ID: 30-1-12

Search Distance: 300 Feet - Zoning

					MALING ADDRESS			
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Mailing Address 2	Town	State	Zip
30-1-5.A	66 TUFTS ST	YUAN LIANG		66 TUFTS ST		ARLINGTON	MA	02474
30-1-5.B	68 TUFTS ST	BERENBAUM MARISA JOY	CANAS MIGUEL EDUARDO	68 TUFTS ST		ARLINGTON	MA	02474
30-1-6	62--64 TUFTS ST	CRESCITELLI ANTHONY		231 OAKLAND AVENUE		ARLINGTON	MA	02476
30-1-7	58--60 TUFTS ST	POULAKIDAS CHARLES D		14 WINDSOR CIRCLE		WOBURN	MA	01801
30-1-8	54 TUFTS ST	SOFRONAS JEAN D & NANCY A		54 TUFTS ST		ARLINGTON	MA	02474
30-1-9	52 TUFTS ST	SOFRONAS JEAN D & PETER I	SOFRONAS NANCY A	54 TUFTS ST		ARLINGTON	MA	02474
30-1-11	61--63 FOSTER ST	DAVIES JOHN A JR & KIMBERLY A		61 FOSTER ST		ARLINGTON	MA	02474
30-1-12	65--67 FOSTER ST	DECILIO CHRISTOPHER		67 FOSTER ST		ARLINGTON	MA	02474
30-1-13	69--71 FOSTER ST	SASSO VIRGINIA C	LIFE ESTATE	69 FOSTER ST		ARLINGTON	MA	02474
30-4-1.A	170 BROADWAY	CARRIG ROBERT & NANCY JANE	MURPHY REAL ESTATE HOLDINGS LL	C/O RENZI BULGER GROUP LLC	PO BOX 750057	ARLINGTON	MA	02475
30-4-4	78 BATES RD	CONNORS JOSEPH M & JOAN L/	LIFE ESTATE	78 BATES ROAD		ARLINGTON	MA	02474
30-4-5	74 BATES RD	MAHONEY TIMOTHY F-EILEEN M	TRUSTEES/MAHONEY TRUST	74 BATES RD		ARLINGTON	MA	02474
30-4-6	70 BATES RD	ATLAS ELEANOR S/ TRUSTEE	ELEANOR S ATLAS 2025 REVOCABLE	37 SOUTH ST		FREEPORT	ME	04032
30-4-7	66 BATES RD	BOLGER ELIZABETH		66 BATES RD		ARLINGTON	MA	02474
30-4-8	62 BATES RD	SWASEY JAMES T/JULIE D		62 BATES RD		ARLINGTON	MA	02474
30-4-9	58 BATES RD	YONTAR TIMUR K	KAZNICKI LOIS W	58 BATES RD		ARLINGTON	MA	02474
30-4-12	47 TUFTS ST	BASSO TODD D & ARITA ANN S/ TRS	TUFTS BASSO TRUST	47 TUFTS STREET		ARLINGTON	MA	02474
30-4-13	51 TUFTS ST	ASLANIAN JOHN JOSEPH		51 TUFTS STREET		ARLINGTON	MA	02474
30-4-14	55 TUFTS ST	DAGAN ALON & LIAT		55 TUFTS ST		ARLINGTON	MA	02474
30-4-15	59 TUFTS ST	MURPHY JEREMIAH/ TRUSTEE	JEREMIAH MURPHY REVOCABLE TR	59 TUFTS STREET		ARLINGTON	MA	02474
30-4-16	63 TUFTS ST	VILLANDRY ROSEMARIE T ETAL/ TRS	NEW 63 TUFTS STREET REALTY TRU	63 TUFTS ST		ARLINGTON	MA	02474
30-4-17	67 TUFTS ST	SHAW ZACHARY D		67 TUFTS STREET		ARLINGTON	MA	02474
30-4-18	71 TUFTS ST	FITZGERALD JOHN/MCCLURE MARY		71 TUFTS ST		ARLINGTON	MA	02474
30-4-19	75 TUFTS ST	LEI TING &	KANG XIAO	75 TUFTS ST		ARLINGTON	MA	02474
30-4-20	79 TUFTS ST	HO PETER K & ANNA Y/ TRUSTEES	HO REALTY TRUST	79 TUFTS ST		ARLINGTON	MA	02474
31-4-8	216 BROADWAY	MANOLI ANGELA/TRUSTEE	AH REALTY REVOCABLE TRUST	216 BROADWAY		ARLINGTON	MA	02474
31-4-9	56--58 ADAMS ST	LORETI CHRISTOPHER P		56 ADAMS ST		ARLINGTON	MA	02474
31-4-10	52--54 ADAMS ST	HUANG LI XIAN	CHEN YIMOU	54 ADAMS ST		ARLINGTON	MA	02474
31-4-11	48--50 ADAMS ST	FRITSCH HOLGER &	FRITSCH KRISTEN	50 ADAMS ST		ARLINGTON	MA	02474
31-4-12	44--46 ADAMS ST	HASS KATHERINE	HASS CHRISTOPHER M	46 ADAMS ST		ARLINGTON	MA	02474
31-6-1	15 ANDREW ST	CHAPMAN STEPHEN M	HALE MARGARET E	15 ANDREW ST		ARLINGTON	MA	02474
31-6-3	49--51 ADAMS ST	KLIONSKY M MATTHEW ETAL/ TRS	M MATTHEW KLIONSKY TRUST	5416 S. UNIVERSITY AVE		CHICAGO	IL	60615
31-6-4	53--55 ADAMS ST	SILVEIRA MARIA DAS DORES/ TR	MARIA DAS DORES SILVEIRA REVOC	55 ADAMS ST		ARLINGTON	MA	02474
31-6-5	57--59 ADAMS ST	DESTA WANDOSSEN A	AYALEW YALEMZEWED	59 ADAMS ST		ARLINGTON	MA	02474
31-6-6	61--63 ADAMS ST	TANG DEBBIE WAH ETAL/ TRUSTEES	WAH FAMILY LIVING TRUST	63 ADAMS ST		ARLINGTON	MA	02474

**CERTIFIED ABUTTERS LIST**

Date: June 25, 2025

Subject Property Addresses: 65-67 FOSTER ST, ARLINGTON, MA

Subject Property ID: 30-1-12

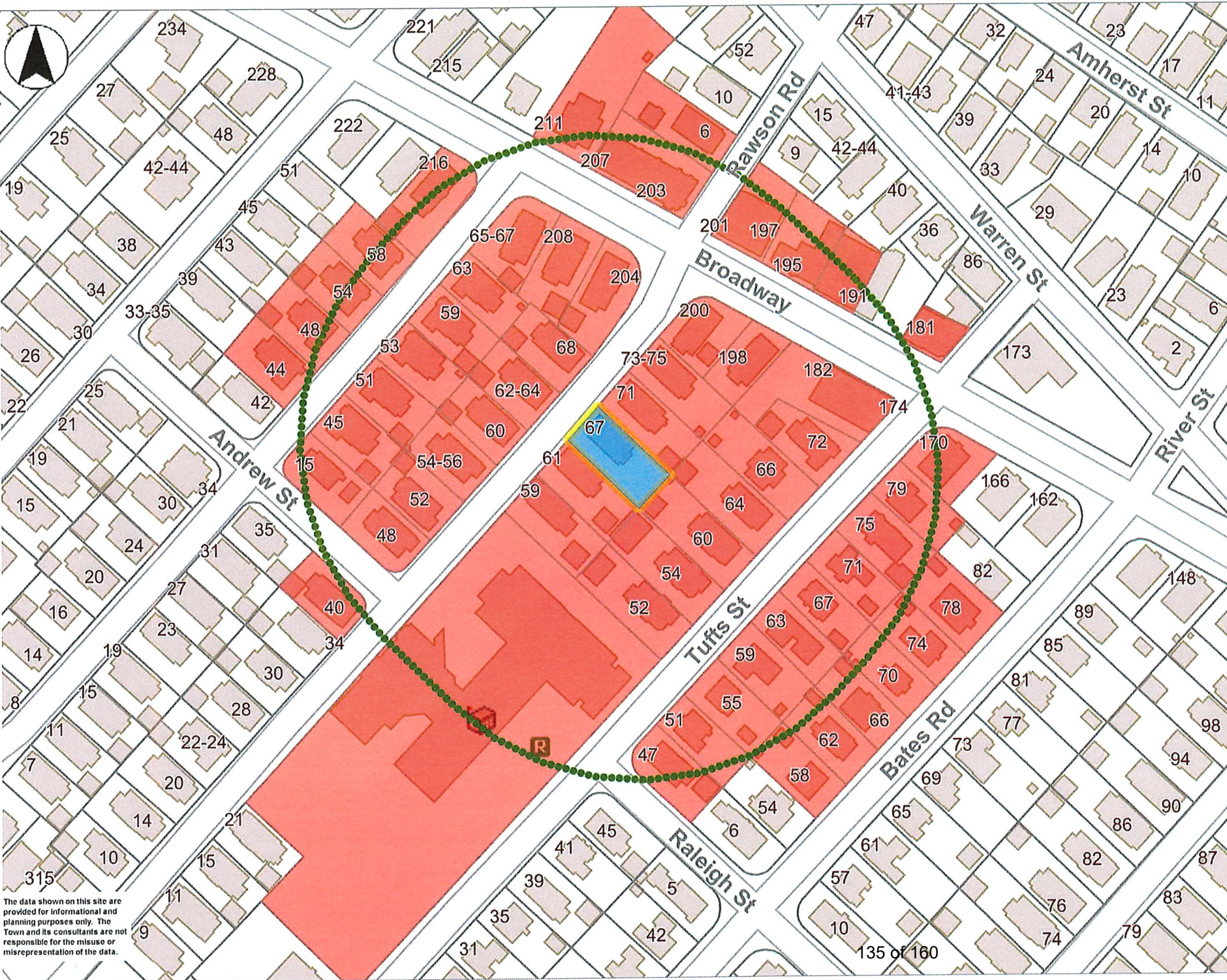
Search Distance: 300 Feet - Zoning

Parcel ID:	Property Location	Owner 1	Owner 2	MAILING ADDRESS				
				Mailing Address 1	Mailing Address 2	Town	State	Zip
31-6-9	202--204 BROADWAY	GOLDEN ANDREW M/ TRUSTEE	WILLIAM P MEEHAN 2018 TRUST	204 BROADWAY		ARLINGTON	MA	02474
31-6-15	46--48 FOSTER ST	ADAMSON JULIE T &	WALKER SCOTT C	46 FOSTER ST		ARLINGTON	MA	02474
40-6-9	203--207 BROADWAY	BOUBOULIS MICHAEL TRUSTEE	CHIOS REALTY TRUST	195 BROADWAY		ARLINGTON	MA	02474
40-6-10	209--211 BROADWAY	SALHI BRAHIM		209 BROADWAY		ARLINGTON	MA	02474
40-7-6	177--181 BROADWAY	EAST ARLINGTON REALTY LLC		177 BROADWAY		ARLINGTON	MA	02474
40-7-8	191 BROADWAY	191 BROADWAY LLC		191 BROADWAY		ARLINGTON	MA	02474
40-7-9	195 BROADWAY	BOUBOULIS JAMES & STEFANOS	TRS/195 BROADWAY REALTY TR	195 BROADWAY		ARLINGTON	MA	02474



The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.

Town of Arlington
Office of the Board of Assessors
730 Massachusetts Ave
Arlington, MA 02476
P: 781.316.3050
E: assessors@town.arlington.ma.us



- Places by Category**
- Police Station
 - Fire Station
 - School
 - Library
 - Public Works
 - Recreation - Facilities
- Recreation - Fields Cc**
- Recreation - Fields Cc
- Open Space: Conserv**
- Open Space - Minuter
 - Open Space - Labels
- Open Space**
- Town, State, or Other Town Ow
- MA Highways**
- Interstate
 - US Highway
 - Numbered Rout
- Abutting Towns**
- Town Boundary**
- Parcels
 - Buildings
- Cemetery - Roads**
- Road1
 - Road2
 - Road3
 - Road4
- Pavement Markings**
- Impervious Surface - I
 - Street
 - Sidewalk
 - Street Island
 - Driveway
 - Parking Lot
 - Bike Path
- Roads - For Large Sci**
- Roads - For Small Sci**
- Major Road
 - Local Road
- Master Plan Base Map**
- Water Line
 - Water Body

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



SP-25-10

Special Use Permit

Application (ZBA)

Status: Active

Submitted On: 4/30/2025

Primary Location

67 FOSTER ST
Arlington, MA 02474


Owner

DECILIO CHRISTOPHER
67 FOSTER ST ARLINGTON, MA
02474

Applicant

 CHRISTOPHER DECILIO
 781-643-5003
 christopherd3@gmail.com
 67 FOSTER STREET
ARLINGTON, MA 02474

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district  for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)****

I am applying for a special permit under Section 3.3 of the bylaws, for adding a 1-foot baluster topper on top of a 6-foot privacy fence (7 feet total) for a 16 foot section along the border of my back yard. The fence is intended to provide privacy between the neighboring yard, which is rather unsightly, and will replace an aluminum non-privacy fence which is currently in place. The additional foot (the baluster) will provide partial privacy, but is intended more to offer a visually pleasing presentation, as it both decorative and will match the baluster appearance of the fencing in the other borders of the yard and in deck railing.

Explain why the requested use is essential or desirable to the public convenience or welfare.*

The fence's extra foot in height is a baluster top, intended to provide an aesthetically pleasing appearance to the yard, the adjoining neighbor's yard and to other neighbors with sightline to the fence.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The section of fence will traverse 16 feet along the back yard. It does not affect traffic or pedestrians.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The section fence will traverse 16 feet along the back yard. It will not affect any public water, drainage or sewer system, or any other municipal system. It will not affect health, safety or the general welfare.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

The fence does not fulfill any special regulations. It is simply for privacy and aesthetics.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The fence's extra foot in height is a baluster top, intended to provide an aesthetically pleasing appearance. It is believed it will improve the character of the adjoining parcel, as well as other neighbors with sightline to the fence. It will not affect health.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The fence's extra foot in height is a baluster top, intended to provide an aesthetically pleasing appearance. It is believed it will improve the character of the adjoining parcel, as well as other neighbors with sightline to the fence.

Dimensional and Parking Information

Present Use/Occupancy *

This entire section is n/a. But this is a two-family home, with both units occupied

Proposed Use/Occupancy *

n/a - this special permit request is for a 16-foot section along the property's back yard border

Existing Number of Dwelling Units*

0

Proposed Number of Dwelling Units*

0

Existing Gross Floor Area (Sq. Ft.)*

0

Proposed Gross Floor Area (Sq. Ft.)*

0

Existing Lot Size (Sq. Ft.)*

0

Proposed Lot Size (Sq. Ft.)* ?

0

Minimum Lot Size required by Zoning*

0

Existing Frontage (ft.)*

0

Proposed Frontage (ft.)*

0

Minimum Frontage required by Zoning*

0

Existing Floor Area Ratio*

0

Proposed Floor Area Ratio*

0

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

0

Proposed Lot Coverage (%)*

0

Max. Lot Coverage required by Zoning*

0

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

0

Minimum Lot Area per Dwelling Unit required by Zoning*

0

Existing Front Yard Depth (ft.)*

0

Proposed Front Yard Depth (ft.)*

0

Minimum Front Yard Depth required by Zoning*

0

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning*

0

?

Existing Left Side Yard Depth (ft.)* ?

0

Proposed Left Side Yard Depth (ft.)* ?

0

Minimum Left Side Yard Depth required by Zoning* ?

0

Existing Right Side Yard Depth (ft.)* ?

0

Proposed Right Side Yard Depth (ft.)* ?

0

Minimum Right Side Yard Depth required by Zoning* ?

0

Existing Rear Yard Depth (ft.)*

0

Proposed Rear Yard Depth (ft.)*

0

Minimum Rear Yard Depth required by Zoning*

0

Existing Height (stories)

0

Proposed Height (stories)*

0

Maximum Height (stories) required by Zoning*

0

Existing Height (ft.)*

0

Proposed Height (ft.)*

0

Maximum Height (ft.) required by Zoning*

0

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

0

Proposed Landscaped Open Space (Sq. Ft.)*

0

Existing Landscaped Open Space (% of GFA)*

0

Proposed Landscaped Open Space (% of GFA)*

0

Minimum Landscaped Open Space (% of GFA) required by Zoning*

0

Existing Usable Open Space (Sq. Ft.)*

0

Proposed Usable Open Space (Sq. Ft.)*

0

Existing Usable Open Space (% of GFA)* ?

0

Proposed Usable Open Space (% of GFA)* ?

0

Minimum Usable Open Space required by Zoning*

0

Existing Number of Parking Spaces*

0

Proposed Number of Parking Spaces*

0

Minimum Number of Parking Spaces required by Zoning*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

0

Proposed Slope of proposed roof(s) (in. per ft.)*

0

Minimum Slope of Proposed Roof(s) required by Zoning*

0

Existing type of construction*

0

Proposed type of construction*

0

Open Space Information

Existing Total Lot Area*

0

Proposed Total Lot Area*

0

Existing Open Space, Usable*

0

Proposed Open Space, Usable*

0

Existing Open Space, Landscaped*

0

Proposed Open Space, Landscaped*

0

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

0

Basement or Cellar, Proposed Gross Floor Area

0

1st Floor, Existing Gross Floor Area

0

1st Floor, Proposed Gross Floor Area

0

2nd Floor, Existing Gross Floor Area

0

2nd Floor, Proposed Gross Floor Area

0

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area 

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area 

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies, Existing
Gross Floor Area

0

All weather habitable porches and balconies, Proposed
Gross Floor Area

0

Total Existing Gross Floor Area

0



Total Proposed Gross Floor Area

0



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



Applicant's Signature*



Christopher DeCilio

Apr 30, 2025

NEW ENGLAND LAND SURVEY
Professional Land Surveyors

 **710 MAIN STREET**
N.Oxford, MA 01537

PHONE: (508) 987-0025

FAX: (508) 438-6604

REGISTRY S. MIDDLESEX

MORTGAGE INSPECTION PLAN

NAME CHRISTOPHER DECILIO

LOCATION 65 FOSTER STREET

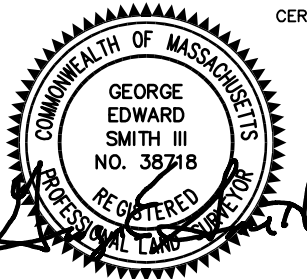
ARLINGTON, MA

SCALE 1"=30'

DATE 10/31/20

20MIP17009

BASED UPON DOCUMENTATION PROVIDED, REQUIRED MEASUREMENTS WERE MADE OF THE FRONTAGE AND BUILDING(S) SHOWN ON THIS MORTGAGE INSPECTION PLAN. IN OUR JUDGEMENT ALL VISIBLE EASEMENTS ARE SHOWN AND THERE ARE NO VIOLATIONS OF ZONING REQUIREMENTS REGARDING DWELLING STRUCTURES TO PROPERTY LINE OFFSETS (UNLESS OTHERWISE NOTED IN DRAWING BELOW). NOTE: NOT DEFINED ARE ABOVE GROUND POOLS, DRIVEWAYS, OR SHEDS WITH NO FOUNDATIONS, ETC. THIS IS A MORTGAGE INSPECTION PLAN; NOT AN INSTRUMENT SURVEY. DO NOT USE TO ERECT FENCES, OTHER BOUNDARY STRUCTURES, OR TO PLANT SHRUBS. LOCATION OF THE STRUCTURE(S) SHOWN HEREON IS EITHER IN COMPLIANCE WITH LOCAL ZONING FOR PROPERTY LINE OFFSET REQUIREMENTS, OR IS EXEMPT FROM VIOLATION ENFORCEMENT ACTION UNDER MASS. G.L. TITLE VII. CHAP. 40A, SEC. 7, UNLESS OTHERWISE NOTED. THIS CERTIFICATION IS NON-TRANSFERABLE. THE ABOVE CERTIFICATIONS ARE MADE WITH THE PROVISION THAT THE INFORMATION PROVIDED IS ACCURATE AND THAT THE MEASUREMENTS USED ARE ACCURATELY LOCATED IN RELATION TO THE PROPERTY LINES.



CERTIFY TO: LEADER BANK NA

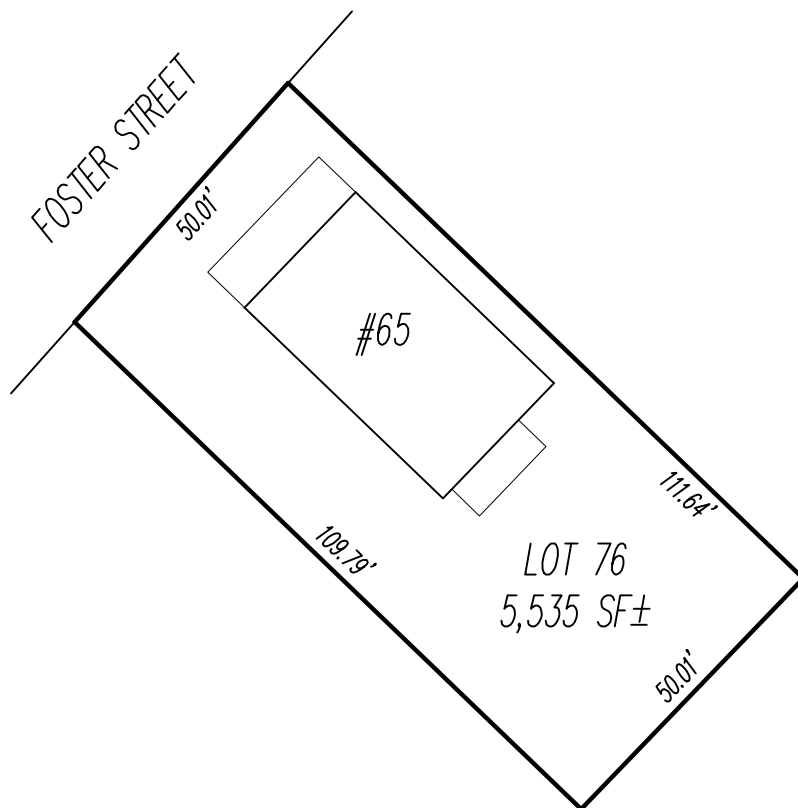
DEED REFERENCE: 70040/26

PLAN REFERENCE: 283/17

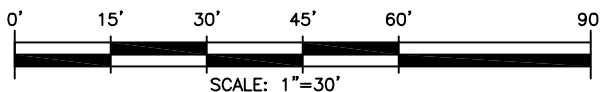
WE CERTIFY THAT THE BUILDING(S) ARE NOT WITHIN THE SPECIAL FLOOD HAZARD AREA. SEE FIRM:

25017C0417E DTD: 06/04/2010

FLOOD HAZARD ZONE HAS BEEN DETERMINED BY SCALE AND IS NOT NECESSARILY ACCURATE. UNTIL DEFINITIVE PLANS ARE ISSUED BY HUD AND/OR A VERTICAL CONTROL SURVEY IS PERFORMED, PRECISE ELEVATIONS CANNOT BE DETERMINED.



REQUESTED BY: HAGOPIAN LAW GROUP, LLC
FIELD TEC: AB
DRAWN BY: JRM
CHECKED BY: GES
FILE: 20MIP17009









June 24, 2025

Christopher DeCilio
65-67 Foster Street
Arlington, MA 02474

Subject: Denial of Fence Installation – Zoning Bylaw Violation

Dear Mr. DeCilio,

Thank you for your recent submission regarding the proposed installation of a 7-foot fence directly along your property line located at 65-67 Foster Street.

After additional review, I regret to inform you that your request cannot be approved as proposed. According to the Town of Arlington Zoning Bylaw, fences that exceed six (6) feet in height are not permitted within six (6) feet of a property line without prior approval from the Zoning Board of Appeals. Your proposed fence height and placement fall within this restricted zone and, therefore, violate this zoning requirement and can not be approved.

To proceed with your project, you would need to revise your plan to reduce the height of the fence to six (6) feet or less, or relocate it outside the 6-foot setback from the property line.

We appreciate your understanding and cooperation in maintaining compliance with Arlington's zoning regulations.

Sincerely,

Michael Ciampa

A handwritten signature in blue ink that reads "Michael Ciampa". The signature is written in a cursive style with a large, stylized "M" and "C".

Building Commissioner



Town of Arlington, Massachusetts

Docket #3851 351 Appleton St

Summary:

OpenGov link: <https://arlingtonma.portal.opengov.com/records/211301>

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	3861_351_Appleton_St_Application_SP-25-16.pdf	3861 351 Appleton St Application SP-25-16
▢ Reference Material	3861_Appleton_351_Plot_Plan_Showing_GFA_Calculation.pdf	3861 Appleton 351 Plot Plan Showing GFA Calculation
▢ Reference Material	3861_Appleton_351_Plot_Plan_Showing_Proposed_Driveway_June_2025.pdf	3861 Appleton 351 Plot Plan Showing Proposed Driveway June 2025
▢ Reference Material	3861_351_Appleton_St_legal_ad_7-22-2025.pdf	3861 351 Appleton St legal ad 7-22- 2025
▢ Reference Material	3861_351_Appleton_St_Application_abutter_list_and_map.pdf	3861 351 Appleton St Application abutter list and map

SP-25-16

Special Use Permit Application (ZBA)

Status: Active

Submitted On: 6/24/2025

Primary Location

351 APPLETON ST
Arlington, MA 02476

Owner

CORBETT WILLIAM; CORBETT JOANNE M
351 APPLETON ST ARLINGTON, MA 02476

Applicant

 Daniel Cameron
 617-513-5897
 dancameron2277@gmail.com
 22 Zachary Ln
Reading , MA 01867

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)***

Second driveway per Section 6.1.10 (A) of the Arlington Zoning ByLaw

Explain why the requested use is essential or desirable to the public convenience or welfare.*

Mrs. Corbett, the homeowner has family members living with her now and they currently park on Wollaston Ave. during the day. They need additional parking and the existing driveway is one vehicle wide that leads to a single car garage. This driveway cannot be expanded as it would inhibit access to the main entrance and would interfere with a 20" street tree. The second driveway would provide much needed relief to the parking situation.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

This is a corner lot and the new driveway will be one vehicle wide and the new curb cut will be 17' (one car length) away from the stop line at Appleton Street. This layout/curb cut has been approved by Engineering.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The additional impervious area is 440 SF and would require a Minor Stormwater Permit. This would satisfy the drainage requirements of the Town of Arlington.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

The use is consistent with the provisions of Section 6.1.10 (A)

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The use is consistant with the provisions of Section 6.1.10 (A) and similar to other curb cuts

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The use is consistant with the provisions of Section 6.1.10 (A) and similar to the driveway/curb cut at the adjacent property, 181 Wollaston Ave.

Dimensional and Parking Information

Present Use/Occupancy *

Residential

Proposed Use/Occupancy *

Residential

Existing Number of Dwelling Units*

1

Proposed Number of Dwelling Units*

1

Existing Gross Floor Area (Sq. Ft.)*

1542

Proposed Gross Floor Area (Sq. Ft.)*

1542

Existing Lot Size (Sq. Ft.)*

6536.7

Proposed Lot Size (Sq. Ft.)* ⓘ

6536.7

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

109.3

Proposed Frontage (ft.)*

109.3

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

23.5

Proposed Floor Area Ratio*

23.5

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

19.4

Proposed Lot Coverage (%)*

19.4

Max. Lot Coverage required by Zoning*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

6536.7

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

6536.7

Minimum Lot Area per Dwelling Unit required by Zoning*

6000

Existing Front Yard Depth (ft.)*

25

Proposed Front Yard Depth (ft.)*

25

Minimum Front Yard Depth required by Zoning*

25

Existing SECOND Front Yard Depth (ft.)* ?

47.9

Proposed SECOND Front Yard Depth (ft.)* ?

47.9

Minimum SECOND Front Yard Depth required by Zoning* ?

25

Existing Left Side Yard Depth (ft.)* ?

7.2

Proposed Left Side Yard Depth (ft.)* ?

7.2

Minimum Left Side Yard Depth required by Zoning* ?

10

Existing Right Side Yard Depth (ft.)* ?

0

Proposed Right Side Yard Depth (ft.)* ?

0

Minimum Right Side Yard Depth required by Zoning* ?

0

Existing Rear Yard Depth (ft.)*

10

Proposed Rear Yard Depth (ft.)*

10

Minimum Rear Yard Depth required by Zoning*

10

Existing Height (stories)

1.5

Proposed Height (stories)*

1.5

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

24.2

Proposed Height (ft.)*

24.2

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

4100

Proposed Landscaped Open Space (Sq. Ft.)*

3670

Existing Landscaped Open Space (% of GFA)*

265

Proposed Landscaped Open Space (% of GFA)*

238

Minimum Landscaped Open Space (% of GFA) required by Zoning*

10

Existing Usable Open Space (Sq. Ft.)*


2225

Proposed Usable Open Space (Sq. Ft.)*

1782

Existing Usable Open Space (% of GFA)* 

144

Proposed Usable Open Space (% of GFA)* 

114

Minimum Usable Open Space required by Zoning*

30

Existing Number of Parking Spaces*

2

Proposed Number of Parking Spaces*

3

Minimum Number of Parking Spaces required by Zoning*

1

Existing Parking area setbacks

0

Proposed Parking area setbacks *

1

Minimum Parking Area Setbacks required by Zoning*

1

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

0

Proposed Slope of proposed roof(s) (in. per ft.)*

0

Minimum Slope of Proposed Roof(s) required by Zoning*

0

Existing type of construction*

Asphalt Shingle

Proposed type of construction*

Asphalt Shingle

Open Space Information

Existing Total Lot Area*

6536.7

Proposed Total Lot Area*

6536.7

Existing Open Space, Usable*

2225

Proposed Open Space, Usable*

1782

Existing Open Space, Landscaped*

4100

Proposed Open Space, Landscaped*

3670

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

0

Basement or Cellar, Proposed Gross Floor Area

0

1st Floor, Existing Gross Floor Area

1070

1st Floor, Proposed Gross Floor Area

1070

2nd Floor, Existing Gross Floor Area

472

2nd Floor, Proposed Gross Floor Area

472

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies, Existing Gross Floor Area

0

All weather habitable porches and balconies, Proposed Gross Floor Area

0

Total Existing Gross Floor Area

1542



Total Proposed Gross Floor Area

1542



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

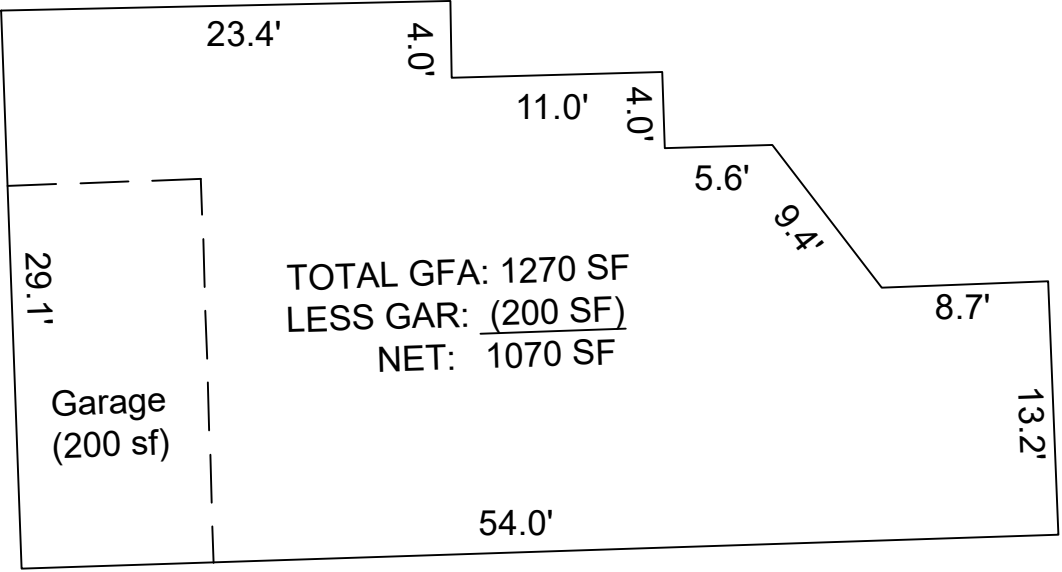
and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*

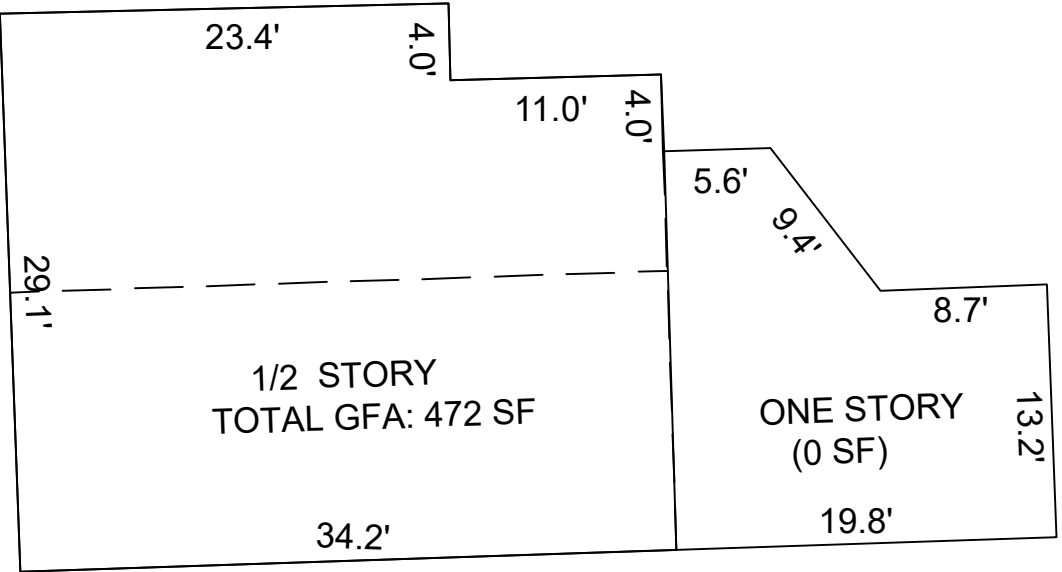


Applicant's Signature*

✓ Daniel A Cameron
Jun 24, 2025



FIRST FLOOR



SECOND FLOOR

TOTAL GFA: 1542 SF



WORKSHEET SHOWING
CALCULATION OF GFA
IN
ARLINGTON, MA

351 APPLETON STREET



SCALE: 1" = 10'-0"

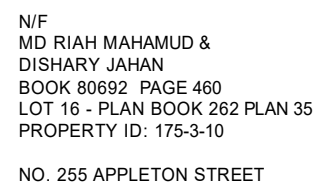
JUNE 23, 2025

D & A SURVEY ASSOCIATES, INC.

P.O. BOX 80 READING, MA 01867

(781) 324 - 9566

OWNER:
JOANNE M. CORBETT
351 APPLETON STREET
ARLINGTON, MA
CERTIFICATE NO. 199319
LOT 2 - LAND COURT PLAN NO. 17966-B
PROPERTY ID: 175-3-9



NO. 181 WOLLASTON AVENUE

WOLLASTON
(PUBLIC: 50.00' WIDE)
AVE

AVENUE

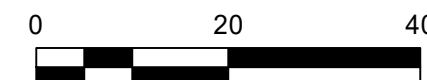
CROSSWALK

NOTES:

- 1.) THIS PLAN WAS PREPARED FROM AN INSTRUMENT SURVEY
- 2.) DEED REFERENCE: REGISTERED LAND CERT. NO. 199319
- 3.) PLAN REFERENCE: LAND COURT PLAN NO. 17966-B
- 4.) ZONING DISTRICT: R-1
- 5.) PROPOSED INCREASE IN IMPERVIOUS AREA: 403 SF
- 5.) A SPECIAL PERMIT WILL BE REQUIRED FROM THE ARLINGTON ZBA



CERTIFIED PLOT PLAN
SHOWING
PROPOSED DRIVEWAY
IN
ARLINGTON, MA
351 APPLETON STREET



SCALE: 1" - 20'-0"

JUNE 23, 2025

D & A SURVEY ASSOCIATES, INC.
P.O. BOX 80 READING, MA 01867
(781) 324 - 9566

OWNER:
JOANNE M. CORBETT
351 APPLETON STREET
ARLINGTON, MA
CERTIFICATE NO. 199319
LOT 2 - LAND COURT PLAN NO. 17966-B
PROPERTY ID: 175-3-9



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE
DOCKET NO 3861

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **William and Joanne Corbett, on June 24, 2025**, a petition seeking to alter their property located at **351 Appleton St - Block Plan 175.0-0003-0009.0**. The said petition would require an Special Permit under 6.1.1(A) of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", **on Tuesday, July 22, 2025, at 7:30 P.M.** as soon thereafter as the petitioner may be heard. To attend the meeting, please go to <https://www.arlingtonma.gov/connect/calendar> , choose the date of the meeting you wish to attend and register in the Zoom link.

For documentation relating to this petition, visit the ZBA website 48 hours before the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>. Please direct any questions to: **ZBA@town.arlington.ma.us**

Christian Klein, RA, Chair
Zoning Board of Appeals

**CERTIFIED ABUTTERS LIST**

Date: June 26, 2025

Subject Property Addresses: 351 APPLETON ST, ARLINGTON, MA

Subject Property ID: 175-3-9

Search Distance: 300 Feet - Zoning

				MALING ADDRESS			
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Town	State	Zip
175-1-4	377 APPLETON ST	AMOBİ ADAUGO	ROSEEN ERIC JON	377 APPLETON ST	ARLINGTON	MA	02476
175-1-5	2 ORTONA ST	DOGULU SERDAR YUSEF	AKYURTHA ALKIM	2 ORTONA ST	ARLINGTON	MA	02476
175-2-4	6 ORTONA ST	AKYURTLU ATEŞ & JALE		6 ORTONA STREET	ARLINGTON	MA	02476
175-3-1	24 PIEDMONT ST	MARSH VICTORIA G		24 PIEDMONT ST	ARLINGTON	MA	02476
175-3-2	20 PIEDMONT ST	MARK DENNIS C &	WOOLLEY LAURA E	20 PIEDMONT STREET	ARLINGTON	MA	02476
175-3-3	16 PIEDMONT ST	WILLEY DANIEL M & KATHRYN		16 PIEDMONT ST	ARLINGTON	MA	02476
175-3-4	12 PIEDMONT ST	KORETSKI JULIA ANN		12 PIEDMONT ST	ARLINGTON	MA	02476
175-3-5.A	0-LOT PIEDMONT ST	BOUCK DAVID C & AUTUMN		175 WOLLASTON AVE	ARLINGTON	MA	02476
175-3-5.B	0-LOT WOLLASTON AVE	QUERZE ELIO D III & YEKATERINA		179 WOLLASTON AVE	ARLINGTON	MA	02476
175-3-6	175 WOLLASTON AVE	BOUCK DAVID C & AUTUMN		175 WOLLASTON AVE	ARLINGTON	MA	02476
175-3-7	179 WOLLASTON AVE	QUERZE ELIO D III	QUERZE YEKATERINA	179 WOLLASTON AVE	ARLINGTON	MA	02476
175-3-8	181 WOLLASTON AVE	HAMNER DORIS ETAL/ TRS	DORIS HAMNER & JOSE TORRES	181 WOLLASTON AVE	ARLINGTON	MA	02476
175-3-9	351 APPLETON ST	CORBETT WILLIAM	CORBETT JOANNE M	351 APPLETON ST	ARLINGTON	MA	02476
175-3-10	355 APPLETON ST	MAHAMUD MD RIAJ	JAHAN DISHARY	355 APPLETON ST	ARLINGTON	MA	02476
175-3-11	359 APPLETON ST	GILMORE ROBERT C	WALKER SARAH M	359 APPLETON ST	ARLINGTON	MA	02476
175-3-12	363 APPLETON ST	GENDALL ROBERT G/ETAL	GENDALL APRIL L	363 APPLETON STREET	ARLINGTON	MA	02476
175-3-13.A	367 APPLETON ST	LAMORETTI RICHARD M JR		367 APPLETON ST	ARLINGTON	MA	02476
175-3-13.B	3 ORTONA ST	2M PROPERTIES LLC		13499 POINT PLEASANT DR	CHANTILLY	VA	20151
175-4-1.A	171 WOLLASTON AVE	BRADFORD PROPERTIES LLC		20 LAWSON ROAD	WINCHESTER	MA	01890
175-4-2.A	7 PIEDMONT ST	CLEARY WILLIAM J/ TRUSTEE	7 PIEDMONT STREET NOMINEE TR	7 PIEDMONT ST	ARLINGTON	MA	02476
175-4-3	9 PIEDMONT ST	BRAUNSTEIN FLORINE CLEARY/ TRS	9 PIEDMONT STREET REALTY TRUST	9 PIEDMONT ST	ARLINGTON	MA	02476
175-4-4	17 PIEDMONT ST	CHIN YOLANDA Y P/ LIFE ESTATE		17 PIEDMONT ST	ARLINGTON	MA	02476
175-4-6	21 PIEDMONT ST	WHITE BRIAN T--ETAL	SCHWEDOCK JULIE	21 PIEDMONT STREET	ARLINGTON	MA	02476
175-4-20	28 RUBLEE ST	HAWKES HOLLIS D-DOROTHY A	LIFE ESTATE	28 RUBLEE ST	ARLINGTON	MA	02476
175-8-3	315 APPLETON ST	SCEPPA LAURA S		315 APPLETON ST	ARLINGTON	MA	02476
175-8-4	319 APPLETON ST	DONOFRIO NICHOLAS S & CHRISTINA M		319 APPLETON ST	ARLINGTON	MA	02476
175-8-5	323 APPLETON ST	SMITH NORA NEAGLE		323 APPLETON ST	ARLINGTON	MA	02476
175-8-6	327 APPLETON ST	PAVONE PASQUALE & HELEN J		327 APPLETON ST	ARLINGTON	MA	02476
175-8-7	331 APPLETON ST	LANCASTER AMY	VENKATACHALAN SRINIVASAN	331 APPLETON STREET	ARLINGTON	MA	02476
175-8-8	182 WOLLASTON AVE	HICKEY ROBERT C & SANDRA R	LIFE ESTATE	182 WOLLASTON AVE	ARLINGTON	MA	02476
175-8-9	178 WOLLASTON AVE	GARDNER ANDREW S & HANNAH S		178 WOLLASTON AVE	ARLINGTON	MA	02476
175-8-10	174 WOLLASTON AVE	GOPALAKRISHNAN SATISH ETAL/ TRS	SATISH & KAVITHA REVOCABLE TR	174 WOLLASTON AVE	ARLINGTON	MA	02476
175-8-11	170 WOLLASTON AVE	WHITE GEORGE R & JEANNE M		170 WOLLASTON AVE	ARLINGTON	MA	02476
178-5-1	316 APPLETON ST	MISHINA YUJI & AYA/ TRUSTEES	MISHINA FAMILY TRUST	316 APPLETON ST	ARLINGTON	MA	02476
178-5-18	10 VIRGINIA RD	AIKEN RYAN L & LAURA M/ TRS	AIKEN FAMILY 2024 REVOCABLE TR	10 VIRGINIA RD	ARLINGTON	MA	02476



CERTIFIED ABUTTERS LIST

Date: June 26, 2025

Subject Property Addresses: 351 APPLETON ST, ARLINGTON, MA

Subject Property ID: 175-3-9

Search Distance: 300 Feet - Zoning

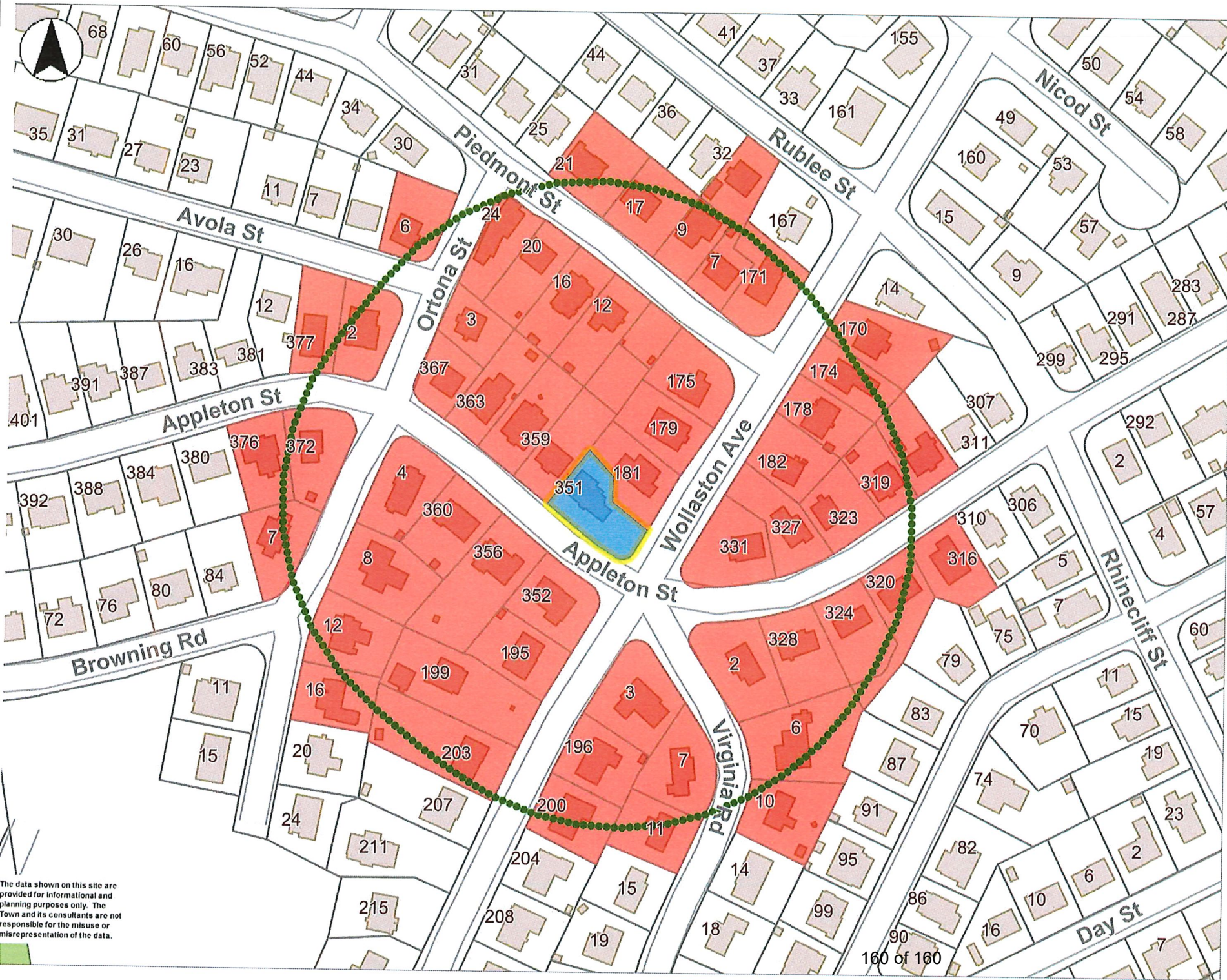
2

Parcel ID:	Property Location	Owner 1	Owner 2	MAILING ADDRESS			
				Mailing Address 1	Town	State	Zip
178-5-19	6 VIRGINIA RD	PAN ZHENGHENG &	WANG KAIXIAN	6 VIRGINIA RD	ARLINGTON	MA	02476
178-5-20	2 VIRGINIA RD	SHAD MAX	FAROKHIRAD SAMANEH	2 VIRGINIA RD	ARLINGTON	MA	02476
178-5-21	328 APPLETON ST	PROCOPIO FRANCESCA		328 APPLETON ST	ARLINGTON	MA	02476
178-5-22	324 APPLETON ST	WRIGHT EDWIN C JR & CAROLINE		324 APPLETON ST	ARLINGTON	MA	02476
178-5-23	320 APPLETON ST	JORDAN JAMES R R	CONDON JENNIFER M	320 APPLETON ST	ARLINGTON	MA	02476
178-10-1	3 VIRGINIA RD	OLDHAM MICHAEL A & JESSICA L		3 VIRGINIA RD	ARLINGTON	MA	02476
178-10-2	7 VIRGINIA RD	SEGAL ROBERT G--ETAL	YELLIN JANICE W	7 VIRGINIA ROAD	ARLINGTON	MA	02476
184-4-6	376 APPLETON ST	DOMIN DOUGLAS J JR & SANDRA M		376 APPLETON ST	ARLINGTON	MA	02476
184-4-7	372 APPLETON ST	BYRNES ROBERT G	SCHARY ALISON	372 APPLETON ST	ARLINGTON	MA	02476
184-4-8	7 KIPLING RD	ROGUL EMERICK MICHAEL ETAL/ TRS	EMERICK & MARY ROGUL LIVING TR	7 KIPLING RD	ARLINGTON	MA	02476
184-6-6	16 KIPLING RD	FENNEY JAMES B & RACHEL L		16 KIPLING RD	ARLINGTON	MA	02476
184-6-7	12 KIPLING RD	SHREWSBURY DAVID &	CURTIS ALLISON N	12 KIPLING ROAD	ARLINGTON	MA	02476
184-6-8	8 KIPLING RD	SIMCOE ROBERT A &	UDOMPRASERT PATRICIA S	8 KIPLING ROAD	ARLINGTON	MA	02476
184-6-9	4 KIPLING RD	SHAHRIARINIA MORTEZA		4 KIPLING RD	ARLINGTON	MA	02476
184-6-10	360 APPLETON ST	SCHULTZ GERARD		360 APPLETON ST	ARLINGTON	MA	02476
184-6-11	356 APPLETON ST	GRENNINGLOH ROLAND &	CAI YUANJIA	356 APPLETON ST	ARLINGTON	MA	02476
184-6-12	352 APPLETON ST	GEVERS JOLANDI & NICO		352 APPLETON ST	ARLINGTON	MA	02476
184-6-13	195 WOLLASTON AVE	TORCHIO MICHAEL R & LISA M/ TRUSTEES	WOLLASTON AVENUE 195 REALTY TR	195 WOLLASTON AVENUE	ARLINGTON	MA	02476
184-6-14	199 WOLLASTON AVE	CAYETANO WILLIAM TIU	CAYETANO ERIKA PEI YU	199 WOLLASTON AVE	ARLINGTON	MA	02476
184-6-15	203 WOLLASTON AVE	TARANTO BRIAN W		203 WOLLASTON AVENUE	ARLINGTON	MA	02476
184-7-10	200 WOLLASTON AVE	SCHMIDT DAVID D	XU JING	200 WOLLASTON AVE	ARLINGTON	MA	02476
184-7-11	196 WOLLASTON AVE	LUERCIO MARCELLA		196 WOLLASTON AVE	ARLINGTON	MA	02476
184-7-12	11 VIRGINIA RD	BRODERICK RICHARD M--ETAL	BRODERICK BARBARA E	11 VIRGINIA RD	ARLINGTON	MA	02476



The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.

Town of Arlington
Office of the Board of Assessors
730 Massachusetts Ave
Arlington, MA 02476
P: 781.316.3050
E: assessors@town.arlington.ma.us



- Places by Category**
- Police Station
 - Fire Station
 - School
 - Library
 - Public Works
 - Recreation - Facilities
 - Recreation - Fields Cc
 - Recreation - Fields Cc
 - Open Space: Conserv
 - Open Space - Minuter
 - Open Space - Labels
 - Open Space
 - Town, State, or
 - Other Town Ow
 - MA Highways
 - Interstate
 - US Highway
 - Numbered Rout
 - Abutting Towns
 - Town Boundary
 - Parcels
 - Buildings
 - Cemetery - Roads
 - Road1
 - Road2
 - Road3
 - Road4
 - Pavement Markings
 - Impervious Surface - I
 - Street
 - Sidewalk
 - Street Island
 - Driveway
 - Parking Lot
 - Bike Path
 - Roads - For Large Sci
 - Roads - For Small Sci
 - Major Road
 - Local Road
 - Master Plan Base Map
 - Water Line
 - Water Body

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.