



Arlington Zoning Board of Appeals

Date: Tuesday, August 12, 2025
Time: 7:30 PM
Location: Conducted by Remote Participation
Additional Details:

Agenda Items

Administrative Items

1. **Conducted by Remote Participation**

You are invited to a Zoom meeting.

When: August 12, 2025 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

https://town-arlington-ma-us.zoom.us/meeting/register/8A_NINWPSM2-697-OqK60Q

After registering, you will receive a confirmation email containing information about joining the meeting.

Per Board Rules and Regulations, public comments will be accepted during the public comment period during each public hearing. Written comments should be sent by email to ZBA@town.arlington.ma.us prior to the start of the meeting.

Notice to the Public on meeting privacy In the interests of preventing abuse of video conferencing technology, all participants, including members of the public, wishing to engage via the Zoom App must register for each meeting and will need to follow multi-step authentication protocols. Please allow additional time to join the meeting. Further, members of the public who wish to participate without providing their name may still do so by telephone using the dial-in information provided above.

Hearings

2. **Docket #3859 69 Falmouth Rd**

OpenGov link: <https://arlingtonma.portal.opengov.com/records/211311>

3. **Docket #3863 144 Webster St, Unit 1**

OpenGov link: <https://arlingtonma.portal.opengov.com/records/209514>

4. **Docket #3864 37 Melrose St**

OpenGov link: <https://arlingtonma.portal.opengov.com/records/211474>

Meeting Adjourn



Town of Arlington, Massachusetts

Conducted by Remote Participation

Summary:

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Town of Arlington, Massachusetts

Docket #3859 69 Falmouth Rd

Summary:

OpenGov link: <https://arlingtonma.portal.opengov.com/records/211311>

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	3859_69_Falmouth_Rd_legal_ad_08-12-2025.pdf	3859 69 Falmouth Rd legal ad 08-12-2025
▢ Reference Material	3859_69_Falmouth_Rd_application_SP-25-15.pdf	3859 69 Falmouth Rd application SP-25-15
▢ Reference Material	3859_69_Falmouth_Rd_abutter_list_and_map.pdf	3859 69 Falmouth Rd abutter list and map
▢ Reference Material	3859_69_Falmouth_Road_plot_plan.pdf	3859 69 Falmouth Road plot plan
▢ Reference Material	3859_69_Falmouth_Road_drawings.pdf	3859 69 Falmouth Road drawings



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE
DOCKET NO 3859

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Matthew and Laura Tikonoff**, on June 24, 2025, a petition seeking to alter their property located at **69 Falmouth Rd - Block Plan 095.0-0002-0014.0**. The said petition would require a **Special Permit** under **8.1.1 and 8.1.3(B)** of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", **on Tuesday, August 12, 2025, at 7:30 P.M.** as soon thereafter as the petitioner may be heard. To attend the meeting, please go to <https://www.arlingtonma.gov/connect/calendar> , choose the date of the meeting you wish to attend and register in the Zoom link.

For documentation relating to this petition, visit the ZBA website 48 hours before the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>. Please direct any questions to: **ZBA@town.arlington.ma.us**

Christian Klein, RA, Chair
Zoning Board of Appeals

SP-25-15

Special Use Permit Application (ZBA)

Status: Active

Submitted On: 6/24/2025

Primary Location

69 FALMOUTH RD
Arlington, MA 02474


Owner

TIKONOFF MATTHEW & LAURA
69 FALMOUTH RD ARLINGTON, MA 02474

Applicant

 Mary Winstanley O'Connor
 617-523-1010 ext. 223
 moconnor@koilaw.com
 One McKinley Square
5th Floor
Boston, MA 02109

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)*** 

The requested use is allowable by Special Permit with positive finds under 8.1.1 and 8.1.3(B) of the Arlington Zoning Bylaw.

Explain why the requested use is essential or desirable to the public convenience or welfare.*

The requested use is essential or desirable to the public convenience or welfare as the improvement of the residence is necessary for the needs of a growing family.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The requested use will not create undue traffic congestion, or unduly impair pedestrian safety because the property will remain a single-family home occupied by a family.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare since, although the use is modestly increasing the size of the kitchen and a bedroom, any increased water usage is negligible. There will not be the creation of hazards affecting health, safety or the general welfare.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

There are no special regulations which apply to the proposed use.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare because the use will remain as a single-family residence, substantially similar and comparable to other single-family residences in the neighborhood.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood as a single-family home presently exists on the property. The Applicant seeks to modestly expand the home for the needs of a growing family. The home, as proposed to be expanded, is comparable in size to other single-family homes in the neighborhood.

Dimensional and Parking Information

Present Use/Occupancy *

Single-family

Proposed Use/Occupancy *

Single-family

Existing Number of Dwelling Units*

1

Proposed Number of Dwelling Units*

1

Existing Gross Floor Area (Sq. Ft.)*

3532

Proposed Gross Floor Area (Sq. Ft.)*

3662

Existing Lot Size (Sq. Ft.)*

6737

Proposed Lot Size (Sq. Ft.)* ?

6737

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

70

Proposed Frontage (ft.)*

70

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

41

Proposed Floor Area Ratio*

43

Max. Floor Area Ratio required by Zoning*

100

Existing Lot Coverage (%)*

23.29

Proposed Lot Coverage (%)*

23.96

Max. Lot Coverage required by Zoning*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

6737

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

6737

Minimum Lot Area per Dwelling Unit required by Zoning*

6000

Existing Front Yard Depth (ft.)*

26.5

Proposed Front Yard Depth (ft.)*

26.5

Minimum Front Yard Depth required by Zoning*

25

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning* ?

0

Existing Left Side Yard Depth (ft.)* ?

5.9

Proposed Left Side Yard Depth (ft.)* ?

2.1

Minimum Left Side Yard Depth required by Zoning* ?

10

Existing Right Side Yard Depth (ft.)* ?

15.3

Proposed Right Side Yard Depth (ft.)* ?

15.3

Minimum Right Side Yard Depth required by Zoning* ?

10

Existing Rear Yard Depth (ft.)*

48.6

Proposed Rear Yard Depth (ft.)*

48.6

Minimum Rear Yard Depth required by Zoning*

0

Existing Height (stories)

2.5

Proposed Height (stories)*

2.5

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

30.1

Proposed Height (ft.)*

30.1

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

4042.2

Proposed Landscaped Open Space (Sq. Ft.)*

4109.5

Existing Landscaped Open Space (% of GFA)*

88

Proposed Landscaped Open Space (% of GFA)*

85.2

Minimum Landscaped Open Space (% of GFA) required by Zoning*

10

Existing Usable Open Space (Sq. Ft.)*

5144

Proposed Usable Open Space (Sq. Ft.)*

5209

Existing Usable Open Space (% of GFA)* 

76.6

Proposed Usable Open Space (% of GFA)* 

60.98

Minimum Usable Open Space required by Zoning*

30

Existing Number of Parking Spaces*

2

Proposed Number of Parking Spaces*

2

Minimum Number of Parking Spaces required by Zoning*

1

Existing Parking area setbacks

0

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

5

Proposed Slope of proposed roof(s) (in. per ft.)*

5

Minimum Slope of Proposed Roof(s) required by Zoning*

0

Existing type of construction*

Wood

Proposed type of construction*

Wood

Open Space Information

Existing Total Lot Area*

6737

Proposed Total Lot Area*

6737

Existing Open Space, Usable*

5144

Proposed Open Space, Usable*

5209

Existing Open Space, Landscaped*

5144

Proposed Open Space, Landscaped*

5209

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

768

Basement or Cellar, Proposed Gross Floor Area

768

1st Floor, Existing Gross Floor Area

998

1st Floor, Proposed Gross Floor Area

1063

2nd Floor, Existing Gross Floor Area

998

2nd Floor, Proposed Gross Floor Area

1063

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area 

230

Parking Garages, Proposed Gross Floor Area

1

All weather habitable porches and balconies, Existing Gross Floor Area

564

All weather habitable porches and balconies, Proposed Gross Floor Area

609

Total Existing Gross Floor Area

3558



Total Proposed Gross Floor Area

3504



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



Applicant's Signature*



Mary Winstanley O'Connor
Jun 23, 2025


CERTIFIED ABUTTERS LIST
Date: June 24, 2025

Subject Property Addresses: 69 FALMOUTH RD, ARLINGTON, MA

Subject Property ID: 95-2-14

Search Distance: 300 Feet - Zoning

Parcel ID:	Property Location	Owner 1	Owner 2	MAILING ADDRESS				
				Mailing Address 1	Mailing Address 2	Town	State	Zip
95-2-1	46 OLD MYSTIC ST	MONNIN-BROWDER WILLIAM	MONNIN-BROWDER ELIZABETH E	46 OLD MYSTIC ST		ARLINGTON	MA	02474
95-2-2	42 OLD MYSTIC ST	FEFFER DOROTHEA		3546 SOUTH OCEAN BLVD	UNIT 622	PALM BEACH	FL	33480
95-2-3	36 OLD MYSTIC ST	KLEMM SCOTT C	MANNING PAIGE E	36 OLD MYSTIC ST		ARLINGTON	MA	02474
95-2-4	30 OLD MYSTIC ST	MAC GILLIVRAY DANIEL--TRS	MAC GILLIVRAY CONSTANCE M	30 OLD MYSTIC STREET		ARLINGTON	MA	02474
95-2-5	20 OLD MYSTIC ST	CHITRE SACHIN DILIP	WILSON KATE STAHL	20 OLD MYSTIC ST		ARLINGTON	MA	02474
95-2-6	16 OLD MYSTIC ST	PAPOYAN ASHOT H	BISHARYAN YELENA A	16 OLD MYSTIC ST		ARLINGTON	MA	02474
95-2-10	35 FALMOUTH RD	BAPTISTA RAFAEL J/ETAL	BAPTISTA ZOE S	35 FALMOUTH ROAD		ARLINGTON	MA	02474
95-2-11	45 FALMOUTH RD	HODGE JAMES E	HODGE DEVLIN DAWN	45 FALMOUTH RD		ARLINGTON	MA	02474
95-2-12	55 FALMOUTH RD	PERDUCAT CYRIL	PERDUCAT-RUBI SOPHIE	55 FALMOUTH RD		ARLINGTON	MA	02474
95-2-13	65 FALMOUTH RD	HAYES JARROD	KNOX JANELLE	410 MEMORIAL DR APT 111		CAMBRIDGE	MA	02139
95-2-14	69 FALMOUTH RD	TIKONOFF MATTHEW & LAURA		69 FALMOUTH RD		ARLINGTON	MA	02474
95-2-15	77 FALMOUTH RD	WALTERS DANIEL T & JESSICA S		77 FALMOUTH RD		ARLINGTON	MA	02474
95-2-16	207 CROSBY ST	KREMER BRUCE S & SUSAN H		207 CROSBY ST		ARLINGTON	MA	02474
95-2-17.B	215 CROSBY ST	KHOUGAZIAN DAVID	D'ASPREMONT CLAIRE DE SURY	215 CROSBY ST		ARLINGTON	MA	02474
95-2-18	219 CROSBY ST	CARLSMITH CHRISTOPHER H ETAL/ TRS	CHRISTOPHER H CARLSMITH TRUST	219 CROSBY ST		ARLINGTON	MA	02474
95-3-1	56 FALMOUTH RD	VENKATESAN RAAJDEEP	KUMAR PRIYA KRISHNA	56 FALMOUTH ROAD		ARLINGTON	MA	02474
95-3-2	44 FALMOUTH RD	VAN HAL MARTIJN JONATHAN	VAN DEN BRAND JESSICA MARIA W	44 FALMOUTH RD		ARLINGTON	MA	02474
95-3-3	30 FALMOUTH RD	OSBORN LAURELEE--ETAL	PEPINSKY BLAKE ROBERT	30 FALMOUTH RD		ARLINGTON	MA	02474
95-3-9	15 LANGLEY RD	COHEN SONIA		15 LANGLEY RD		ARLINGTON	MA	02474
95-3-10	19 LANGLEY RD	HUBER-ANDERSON ELISSA ROSS		19 LANGLEY RD		ARLINGTON	MA	02474
95-3-11.A	27 LANGLEY RD	LAUBE KENNETH D-MELISSA M		27 LANGLEY RD		ARLINGTON	MA	02474
95-5-1	20 LANGLEY RD	DODGE MICHAEL J & ELIZABETH		20 LANGLEY RD		ARLINGTON	MA	02474
95-5-2.A	12 LANGLEY RD	CAPOBIANCO COSMO D TR	JOANS TRUST	12 LANGLEY RD		ARLINGTON	MA	02474
95-5-9.A	167 CROSBY ST	SULLIVAN MARILYN A & RICHARD P	TRS/ SULLIVAN FAMILY LIVING TR	167 CROSBY ST		ARLINGTON	MA	02474
95-5-9.B	24 LANGLEY RD	SWEENEY HERBERT T IV &	SWEENEY LINDSAY ANN	24 LANGLEY ROAD		ARLINGTON	MA	02474
95-6-1.A	4 FROST ST	LARSEN ELLEN R		4 FROST ST		ARLINGTON	MA	02474
95-6-2.A	206 CROSBY ST	KNIBB TIMOTHY LAWRENCE	YANG JUAN	206 CROSBY ST		ARLINGTON	MA	02474
95-6-3	200 CROSBY ST	VENUGOPAL VIJAY	VINNAKOTA SHRAVYA	200 CROSBY ST		ARLINGTON	MA	02474
95-6-4	196 CROSBY ST	DRAHN TIMOTHY KYLE	LEHMANN JENNIFER MARIE	196 CROSBY ST		ARLINGTON	MA	02474
96-1-1.A	89 FALMOUTH RD W	SCHULDENFREI MARK	COHEN ROBIN	89 FALMOUTH RD W		ARLINGTON	MA	02474
96-2-1	170 CROSBY ST	BUTLER BENJAMIN W & EMILY J		170 CROSBY ST		ARLINGTON	MA	02474
96-2-12	86 FALMOUTH RD W	MURRAY LAURENCE D--ETAL	MURRAY BETH L	86 FALMOUTH ROAD WEST		ARLINGTON	MA	02474

**CERTIFIED ABUTTERS LIST**

Date: June 24, 2025

Subject Property Addresses: 69 FALMOUTH RD, ARLINGTON, MA

Subject Property ID: 95-2-14

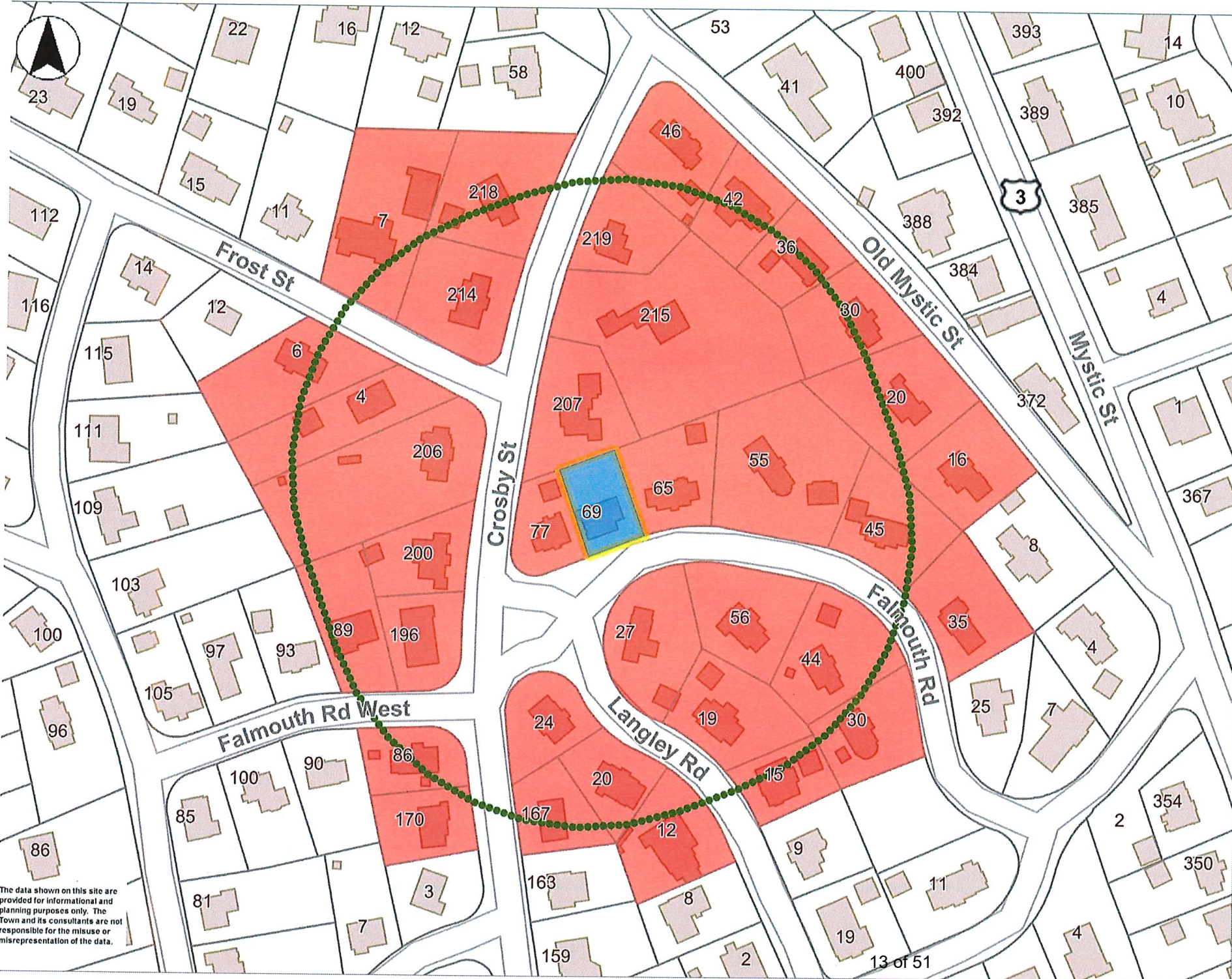
Search Distance: 300 Feet - Zoning

Parcel ID:	Property Location	Owner 1	Owner 2	MAILING ADDRESS				
				Mailing Address 1	Mailing Address 2	Town	State	Zip
97-3-2	218 CROSBY ST	CARVALHO JOAN E/ TRUSTEE	JOAN CARVALHO REVOCABLE TRUST	218 CROSBY ST		ARLINGTON	MA	02474
97-3-3	214 CROSBY ST	CARPENTER RYAN M & LAUREN P		214 CROSBY ST		ARLINGTON	MA	02474
97-3-4	7 FROST ST	CAMPAGNA LINDA M & RONALD J/ TRS	LINDA M CAMPAGNA FAMILY TRUST	7 FROST STREET		ARLINGTON	MA	02474
97-4-1	6 FROST ST	MIRACCO EDWARD J & AMY R		6 FROST ST		ARLINGTON	MA	02474



The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.

Town of Arlington
Office of the Board of Assessors
730 Massachusetts Ave
Arlington, MA 02476
P: 781.316.3050
E: assessors@town.arlington.ma.us



- Places by Category**
- Police Station
 - Fire Station
 - School
 - Library
 - Public Works
 - Recreation - Facilities
 - Recreation - Fields Cc
 - Recreation - Fields Cc
 - Open Space: Conserv
 - Open Space - Minuter
 - Open Space - Labels
 - Open Space
 - Town, State, or Other Town Ow
 - MA Highways
 - Interstate
 - US Highway
 - Numbered Rout
 - Abutting Towns
 - Town Boundary
 - Parcels
 - Buildings
 - Cemetery - Roads
 - Road1
 - Road2
 - Road3
 - Road4
 - Pavement Markings
 - Impervious Surface - f
 - Street
 - Sidewalk
 - Street Island
 - Driveway
 - Parking Lot
 - Bike Path
 - Roads - For Large Sci
 - Roads - For Small Sci
 - Major Road
 - Local Road
 - Master Plan Base Map
 - Water Line
 - Water Body

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

200 400 ft

Printed on 06/24/2025 at 11:21 AM

LOT 16

N/F
ALEXANDRA & STUART TRAFFORD

N/F
BRUCE & SUSAN KREMER

N 81°07'03" E

PART LOT 15
6,737± S.F.
(REC=6,711± S.F.)

N 05°25'19" W
99.62' (REC=99.39')

PROPOSED
ADDITION

3 STORY

#69

FL=110.04

PORCH

DECK

PLAY
STRUCTURE

LOT 14

N/F
JARROD HAYES &
JANELLE KNOX

S 81°42'00" W

FALMOUTH ROAD

SEWER

OWNER: MATTHEW & LAURA TIKONOFF

I HEREBY CERTIFY THAT THE BUILDING IS
LOCATED AS SHOWN.



Scott Lynch
SCOTT LYNCH, PLS DATE 5/18/2024

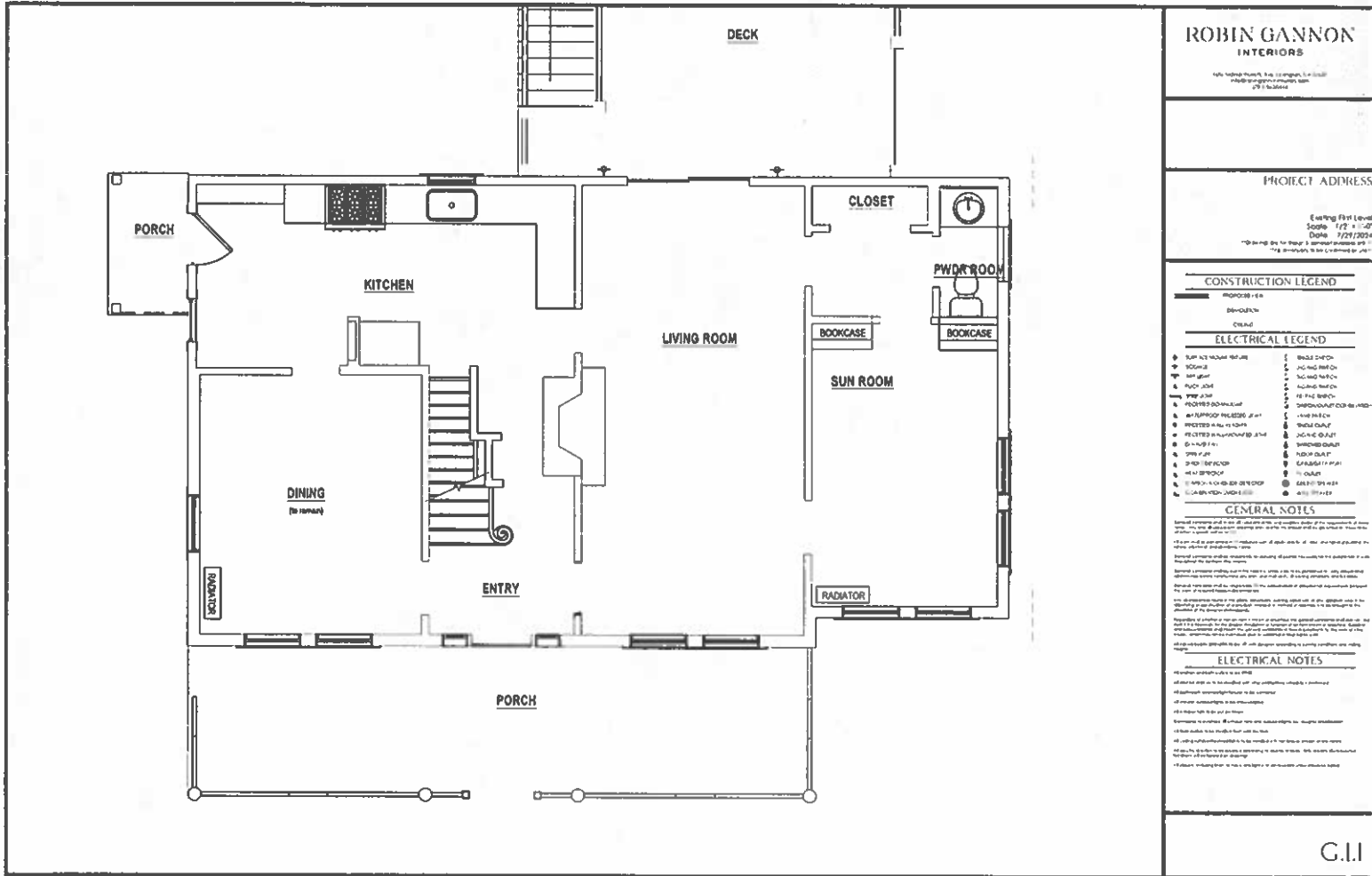
THIS PLAN MAY HAVE BEEN ALTERED IF
THE SIGNATURE IS NOT SIGNED IN BLUE.

PROPOSED PLOT PLAN
#69 FALMOUTH ROAD
IN
ARLINGTON, MA
(MIDDLESEX COUNTY)

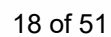
SCALE: 1" = 20' DATE: 3/19/2024



ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
7439PP1.DWG









Town of Arlington, Massachusetts

Docket #3863 144 Webster St, Unit 1

Summary:

OpenGov link: <https://arlingtonma.portal.opengov.com/records/209514>

ATTACHMENTS:

Type	File Name	Description
Reference Material	3863_144_Webster_St_Unit_1_legal_ad_08-12-2025.pdf	3863 144 Webster St Unit 1 legal ad
Reference Material	3863_144_Webster_St_Unit_1_Application_SP-25-17.pdf	3863 144 Webster St Unit 1 Application SP-25-17
Reference Material	3863_144_WEBSTER-STREET_-_Site_Plan_06-23-25.pdf	3863 144 WEBSTER-STREET - Site Plan 06-23-25
Reference Material	3863_144_Webster_Existing_Plot_plan.pdf	3863 144 Webster Existing Plot plan
Reference Material	3863_144_Webster_Existing_vs._Proposed_Front_Porch_for_Special_Permit.pdf	3863 144 Webster Existing vs. Proposed Front Porch for Special Permit
Reference Material	3863_144_Webster_drawings.pdf	3863 144 Webster drawings



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE
DOCKET NO 3863

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Northeast Venture Group and Realty LLC**, on **June 30, 2025**, a petition seeking to alter their property located at **144 Webster St, Unit 1 - Block Plan 044.0-0001-0004.0**. The said petition would require a **Special Permit** under **5.3.9.D** of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", **on Tuesday, August 12, 2025, at 7:30 P.M.** as soon thereafter as the petitioner may be heard. To attend the meeting, please go to <https://www.arlingtonma.gov/connect/calendar>, choose the date of the meeting you wish to attend and register in the Zoom link.

For documentation relating to this petition, visit the ZBA website 48 hours before the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>. Please direct any questions to: **ZBA@town.arlington.ma.us**

Christian Klein, RA, Chair
Zoning Board of Appeals

SP-25-17

Special Use Permit Application (ZBA)

Status: Active

Submitted On: 6/30/2025





Primary Location

144 WEBSTER ST Unit 1
Arlington, MA 02474

Owner

NORTHEAST VENTURE GROUP AND
REALTY LLC
144 WEBSTER ST ARLINGTON, MA 02474

Applicant

 Joshua Michalak
 508-887-5207
 joshua.michalak@gmail.com
 5 St. Nicholas Ave
Worcester, MA 01606

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)***

Requested use is past the setback and qualifies as non-conformity. 5.3.9D

Explain why the requested use is essential or desirable to the public convenience or welfare.*

Updating the envelope of the house to modern times, the additional living space created from the front porch will allow the new owner to comfortably stay in the home.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

Enclosing the first floor porch will have no affect on traffic congestion or pedestrian safety.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

No additional change to the use of the property. Therefore not adding strain to any municipal system.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

Existing porch is already nonconforming.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

Improvements will be made to the exterior of the house structurally and aesthetically

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

It will improve the neighborhood with a updated look and provide the ocupants a larger space that can be used year round vs. 4-6 months.

Dimensional and Parking Information

Present Use/Occupancy *

Open Porch

Proposed Use/Occupancy *

Enclosing the porch and squaring off to existing foundation on right side

Existing Number of Dwelling Units*

2

Proposed Number of Dwelling Units*

2

Existing Gross Floor Area (Sq. Ft.)*

3901

Proposed Gross Floor Area (Sq. Ft.)*

4604

Existing Lot Size (Sq. Ft.)*

5760

Proposed Lot Size (Sq. Ft.)* ⓘ

5760

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

55

Proposed Frontage (ft.)*

55

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0.677

Proposed Floor Area Ratio*

0.799

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

30.7

Proposed Lot Coverage (%)*

30.9

Max. Lot Coverage required by Zoning*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

2880

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

2880

Minimum Lot Area per Dwelling Unit required by Zoning*

0

Existing Front Yard Depth (ft.)*

11

Proposed Front Yard Depth (ft.)*

11

Minimum Front Yard Depth required by Zoning*

0

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning* ?

0

Existing Left Side Yard Depth (ft.)* ?

12.7

Proposed Left Side Yard Depth (ft.)* ?

12.7

Minimum Left Side Yard Depth required by Zoning* ?

0

Existing Right Side Yard Depth (ft.)* ?

16.1

Proposed Right Side Yard Depth (ft.)* ?

16.1

Minimum Right Side Yard Depth required by Zoning* ?

0

Existing Rear Yard Depth (ft.)*

42.5

Proposed Rear Yard Depth (ft.)*

42.5

Minimum Rear Yard Depth required by Zoning*

0

Existing Height (stories)

2.5

Proposed Height (stories)*

2.5

Maximum Height (stories) required by Zoning*

0

Existing Height (ft.)*

30.5

Proposed Height (ft.)*

30.5

Maximum Height (ft.) required by Zoning*

0

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

1938

Proposed Landscaped Open Space (Sq. Ft.)*

1837

Existing Landscaped Open Space (% of GFA)*

47.4

Proposed Landscaped Open Space (% of GFA)*

44.6

Minimum Landscaped Open Space (% of GFA) required by Zoning*

10

Existing Usable Open Space (Sq. Ft.)*

1242

Proposed Usable Open Space (Sq. Ft.)*

1242

Existing Usable Open Space (% of GFA)* ⓘ

30.3

Proposed Usable Open Space (% of GFA)* ⓘ

30.1

Minimum Usable Open Space required by Zoning*

1235

Existing Number of Parking Spaces*

2

Proposed Number of Parking Spaces*

2

Minimum Number of Parking Spaces required by Zoning*

2

Existing Parking area setbacks

1.9

Proposed Parking area setbacks *

1.9

Minimum Parking Area Setbacks required by Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

6

Proposed Slope of proposed roof(s) (in. per ft.)*

6

Minimum Slope of Proposed Roof(s) required by Zoning*

0

Existing type of construction*

VB

Proposed type of construction*

VB

Open Space Information

Existing Total Lot Area*

5970

Proposed Total Lot Area*

5970

Existing Open Space, Usable*

1242

Proposed Open Space, Usable*

1242

Existing Open Space, Landscaped*

1938

Proposed Open Space, Landscaped*

1837

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

1019

Basement or Cellar, Proposed Gross Floor Area

1019

1st Floor, Existing Gross Floor Area

1320

1st Floor, Proposed Gross Floor Area

1391

2nd Floor, Existing Gross Floor Area

1320

2nd Floor, Proposed Gross Floor Area

1443

3rd Floor, Existing Gross Floor Area

428

3rd Floor, Proposed Gross Floor Area

313

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area ?

—

Parking Garages, Proposed Gross Floor Area

—

All weather habitable porches and balconies, Existing Gross Floor Area

—

All weather habitable porches and balconies, Proposed Gross Floor Area

—

Total Existing Gross Floor Area

4087



Total Proposed Gross Floor Area

4166



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

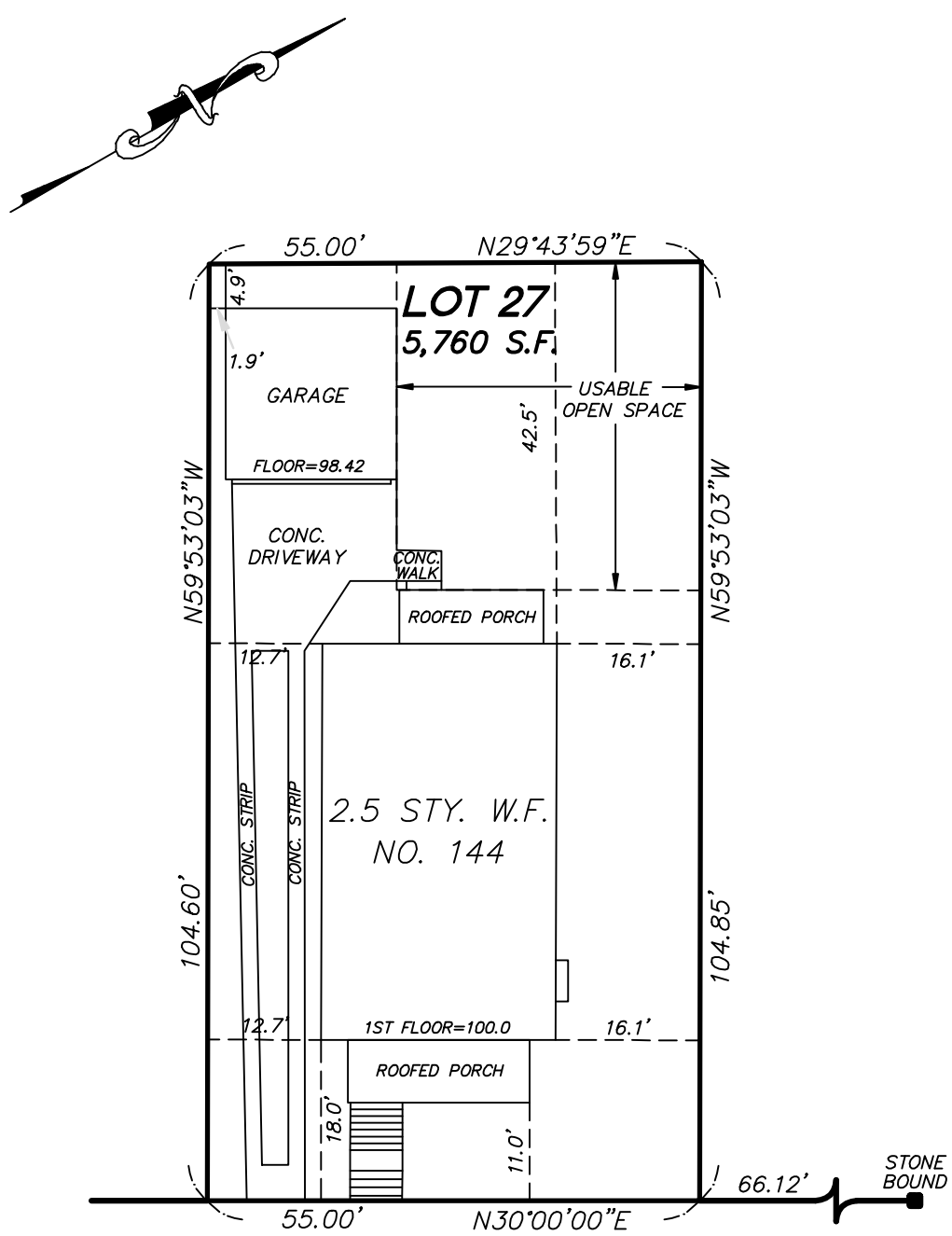
I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



Applicant's Signature*

✓ Joshua Michalak
Mar 28, 2025

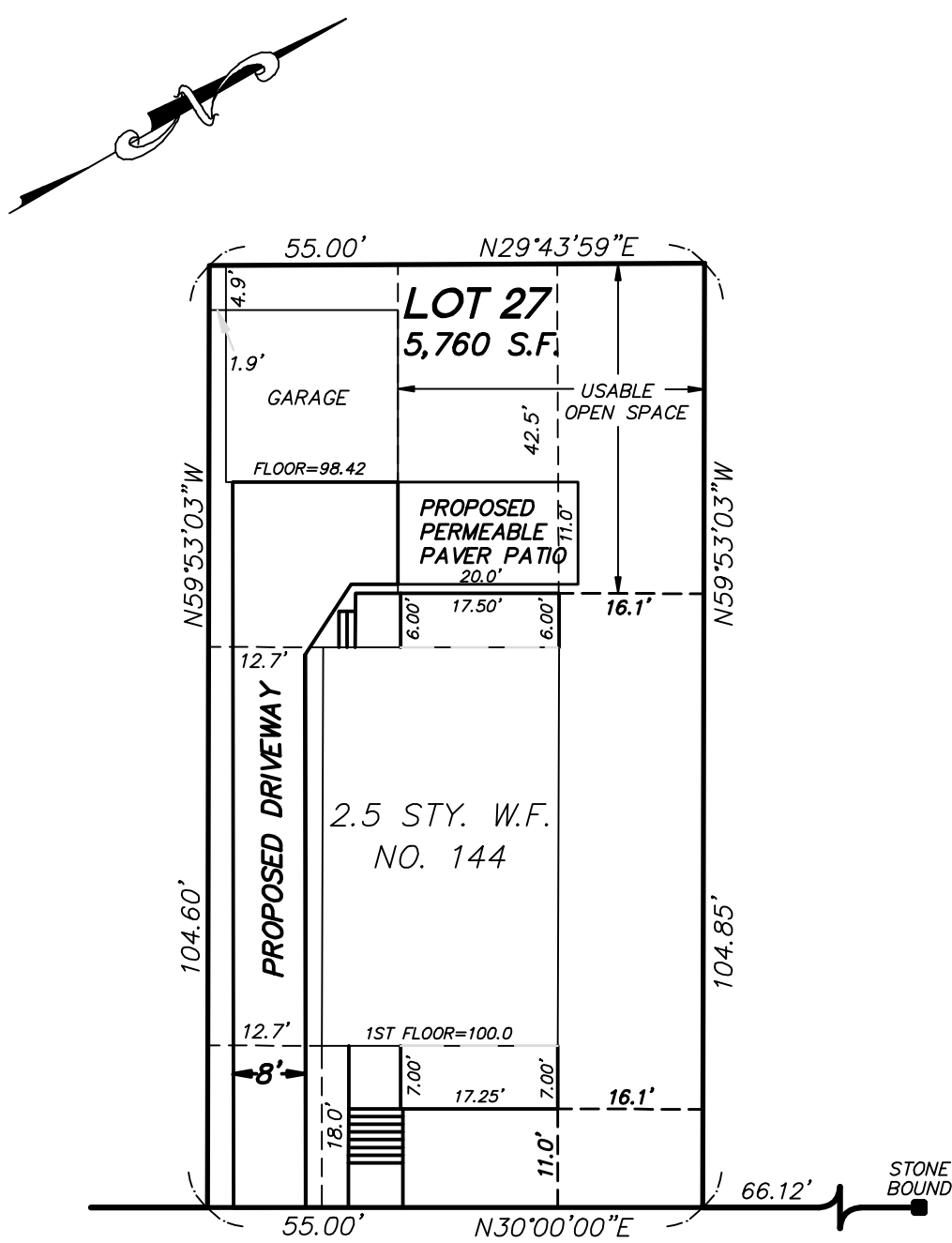
EXISTING CONDITIONS



WEBSTER STREET

TOTAL IMPERVIOUS COVER: 2,350±SF

POST-DEVELOPMENT CONDITIONS



WEBSTER STREET

TOTAL IMPERVIOUS COVER: 2,670±SF

IMPERVIOUS COVERAGE	
EXISTING CONDITIONS	
ROOF AREA	1,770 SF
DRIVEWAY AREA	540 SF
STEPS	40 SF
TOTAL	2,350 SF
PROPOSED CONDITIONS	
ROOF AREA	1,780 SF
DRIVEWAY AREA	780 SF
STEPS	110 SF
TOTAL	2,670 SF

ZONE R-2	
SETBACKS	
FRONT	20'
SIDES	10'
REAR	18'
AREA	6,000S.F.
FRONTAGE	60'
MAX HEIGHT	35'

LEGEND	
BIT.	BITUMINOUS
CB	CATCH BASIN
C.O.	CLEANOUT
DS	DOWNSPOUT
INV	INVERT
PVC	POLYVINYL CHLORIDE PIPE
SMH	SEWER MANHOLE
WSO	WATER SHUT OFF
—RD—	DRAIN LINE
—S—	SEWER LINE
—W—	WATER LINE
100	EXISTING CONTOUR
100	PROPOSED CONTOUR/ELEVATION
X	EXIST. TREE TO BE REMOVED

	REQUIRED	PROPOSED
USABLE OPEN SPACE	1,235 S.F.(MIN) 30%	1,243±S.F.
LANDSCAPED OPEN SPACE	412 S.F.(MIN) 10%	1,837±S.F.
BUILDING COVERAGE	2,016 S.F.(MAX) 35%	1,780±S.F.

EXISTING GFA*	
BASEMENT	1,019 SF
FIRST FLOOR	1,320 SF
SECOND FLOOR	1,320 SF
ATTIC (OVER 7' HEIGHT)	428 SF
TOTAL	4,087 SF

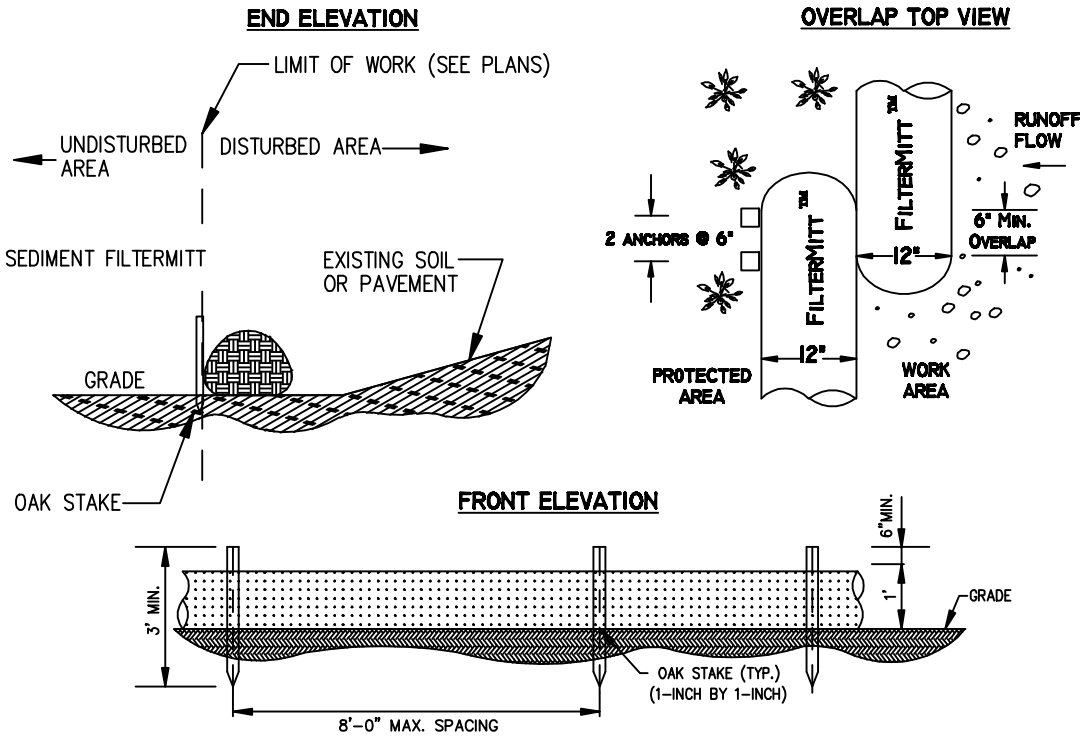
*PER ARCHITECTURAL PLANS

PROPOSED GFA*	
BASEMENT	1,019 SF
FIRST FLOOR	1,391 SF
SECOND FLOOR	1,443 SF
ATTIC (OVER 7' HEIGHT)	313 SF
TOTAL	4,116 SF

*PER ARCHITECTURAL PLANS

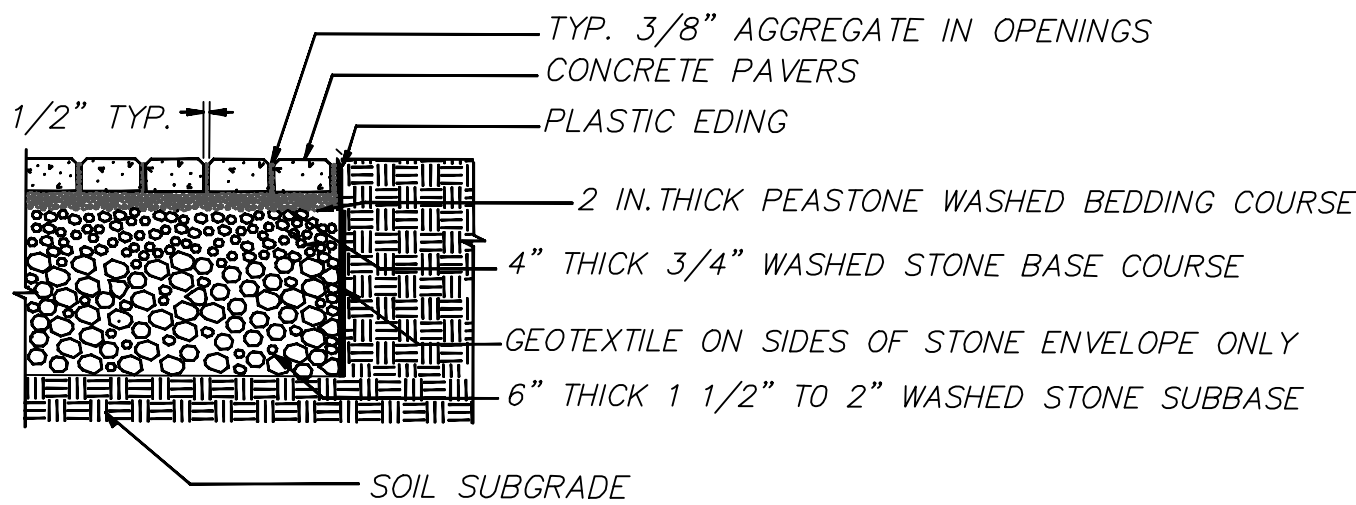
NOTES:

- EXISTING ELEVATIONS AND SITE FEATURES BASED ON FIELD SURVEY BY KEENAN SURVEY, 8 WINCHESTER PLACE, WINCHESTER, MA.
- EROSION CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION. ADEQUATE MEASURES SHALL BE TAKEN AS NEEDED TO PREVENT RUNOFF SEDIMENT FROM THE SITE COLLECTING ON THE SIDEWALK, ROADWAY, OR ABUTTING PROPERTIES DURING CONSTRUCTION ACTIVITIES. SUCH MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO, ADDITIONAL SILT FENCING/HAYBALES AND SWEEPING.
- THE CONTRACTOR SHOULD MONITOR AREAS OF EXPOSED SOIL TO INSURE THAT EROSION IS KEPT TO A MINIMUM AND SEDIMENT IS CONTAINED ON-SITE. ANY SEDIMENT ENTERING THE RIGHT-OF-WAY SHOULD BE REMOVED IMMEDIATELY. ROADWAY STREET SWEEPING AND/OR CLEANING SHOULD BE PERFORMED AT THE END OF EACH WORK DAY.
- PROPOSED GRADING AND DOWNSPOUT OVERFLOWS SHALL NOT DIRECT RUNOFF TOWARDS ABUTTING PROPERTIES.
- THE TOWN OF ARLINGTON WATER AND SEWER DIVISION IS NOT PART OF DIG SAFE AND THEREFORE, MARK OUT OF WATER AND SEWER UTILITIES MUST BE REQUESTED FROM THE TOWN OF ARLINGTON WATER AND SEWER DIVISION AT 781-316-3106 AT LEAST 72 HOURS IN ADVANCE.
- UTILITIES SHOWN ARE FROM FIELD INSPECTION AND PLANS OF RECORD. UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION BY CALLING DIG SAFE AT 888-DIG SAFE.
- ALL SIDEWALKS AND CURB CUTS SHALL CONFORM TO ADA REQUIREMENTS.



EROSION CONTROL DETAIL

NOT TO SCALE



PERMEABLE PAVER PATIO

NOT TO SCALE

REVISIONS:

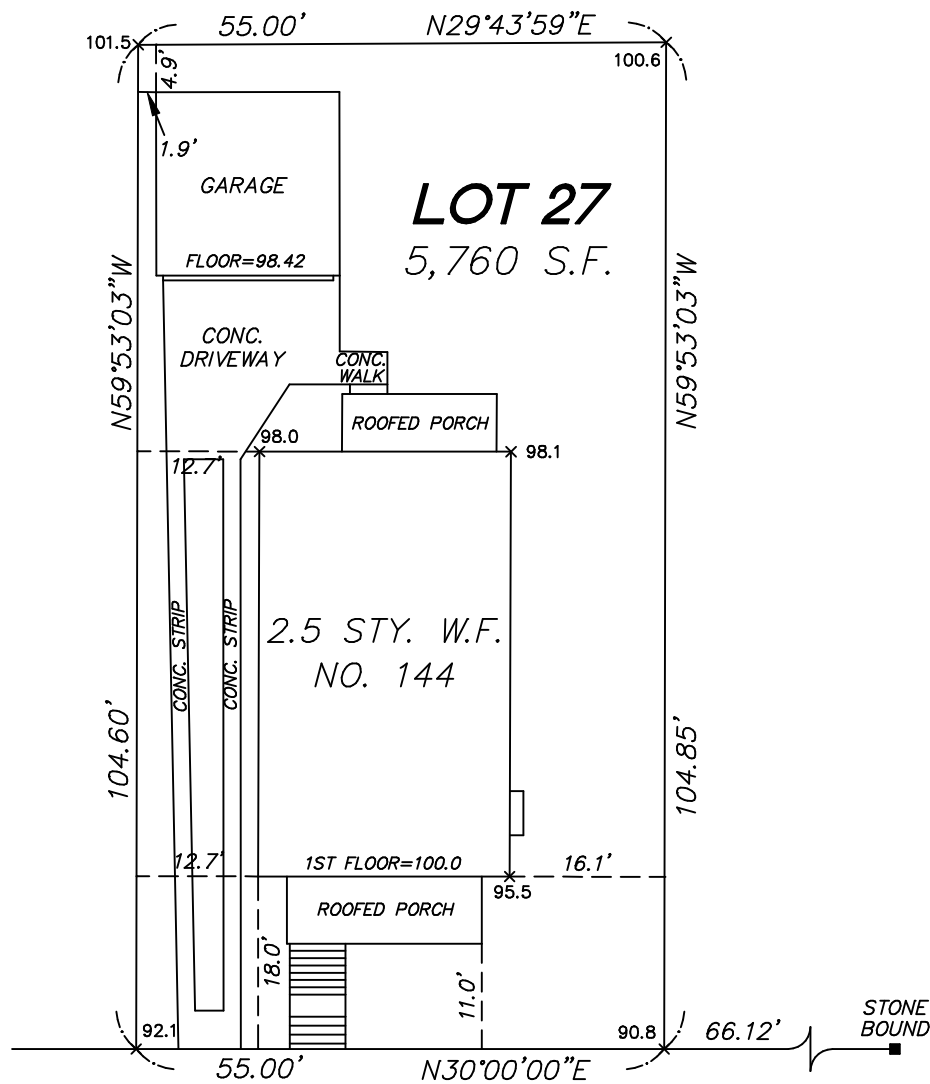
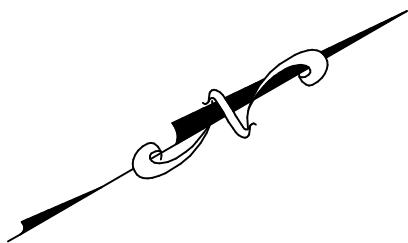
SITE PLAN
144 WEBSTER STREET
IN
ARLINGTON, MASSACHUSETTS

PREPARED FOR
NORTHEAST VENTURE GROUP

SCALE: 1"=20'
DATE: JUNE 23, 2025

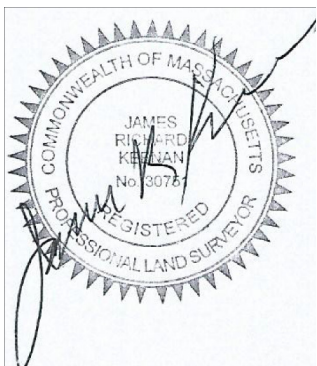
FREDERICK W. RUSSELL, PE
154 ALDRICH ROAD
WILMINGTON, MA 01887

SHEET No. 1 OF 1



WEBSTER STREET

LEGEND	
STY. W.F.	STORY WOOD FRAME
BIT.	BITUMINOUS
CONC.	CONCRETE
S.F.	SQUARE FEET



I CERTIFY THAT THE BUILDINGS ARE LOCATED AS SHOWN AND THAT THIS PLOT PLAN IS THE RESULT OF AN INSTRUMENT SURVEY.

PLOT PLAN
IN
ARLINGTON, MASS.

SCALE: 1 IN. = 20 FT. MARCH 21, 2025

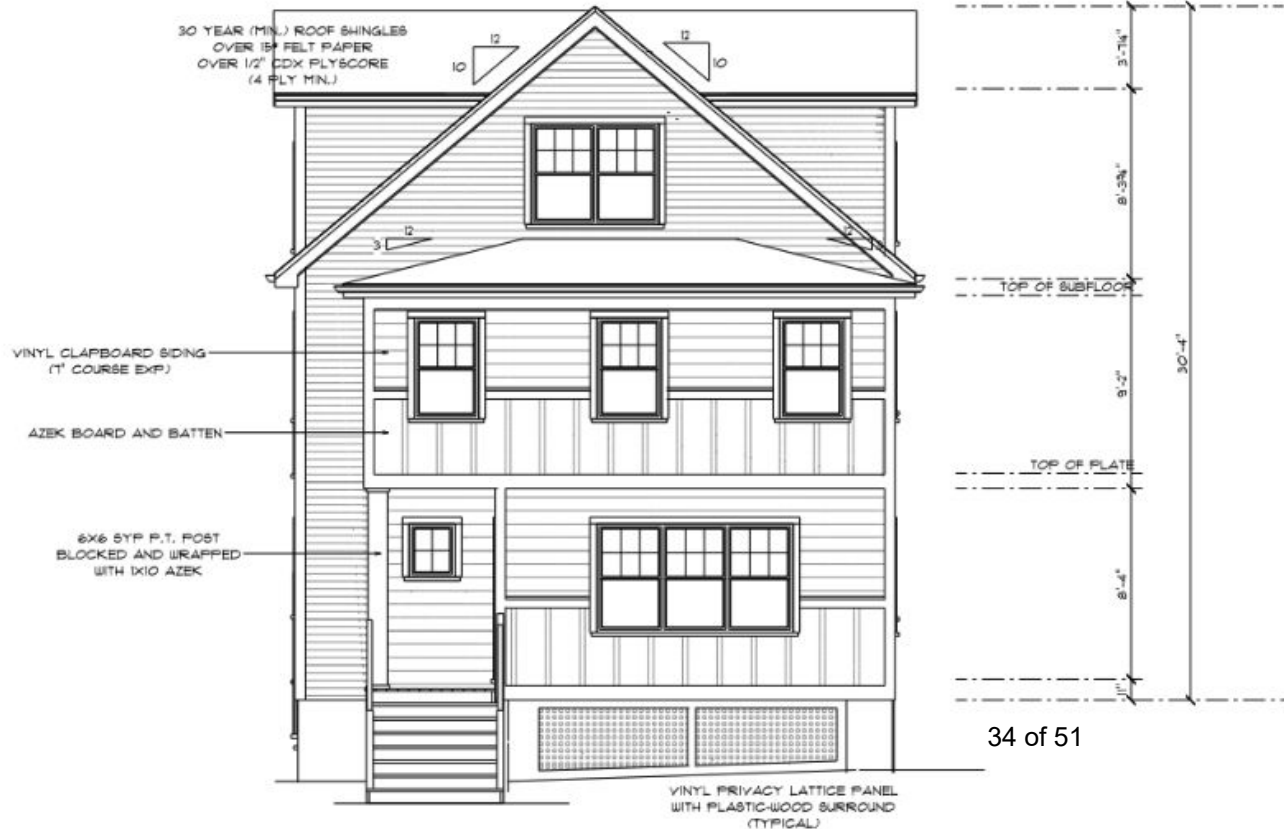
KEENAN SURVEY
8 WINCHESTER PLACE, SUITE 208
WINCHESTER, MASS. 01890
781-729-4213

32 of 51

144 Webster St - Existing

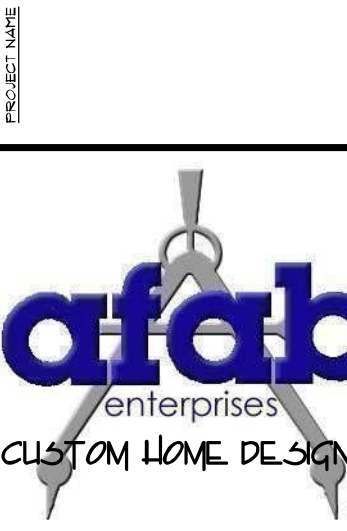


144 Webster St - Proposed





PROPOSED RENOVATION BY
NORTHEAST VENTURE GROUP
144 WEBSTER ST. ARLINGTON, MA



AFAB ENTERPRISES
PO BOX 916
BURLINGTON, MA
01803


OFFICE (781)272-2156
FAX (781)229-6394
WWW.AFABHOMES.COM

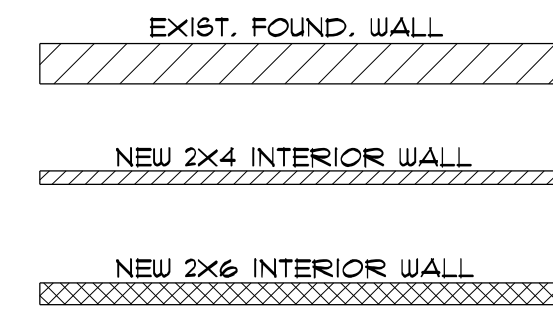
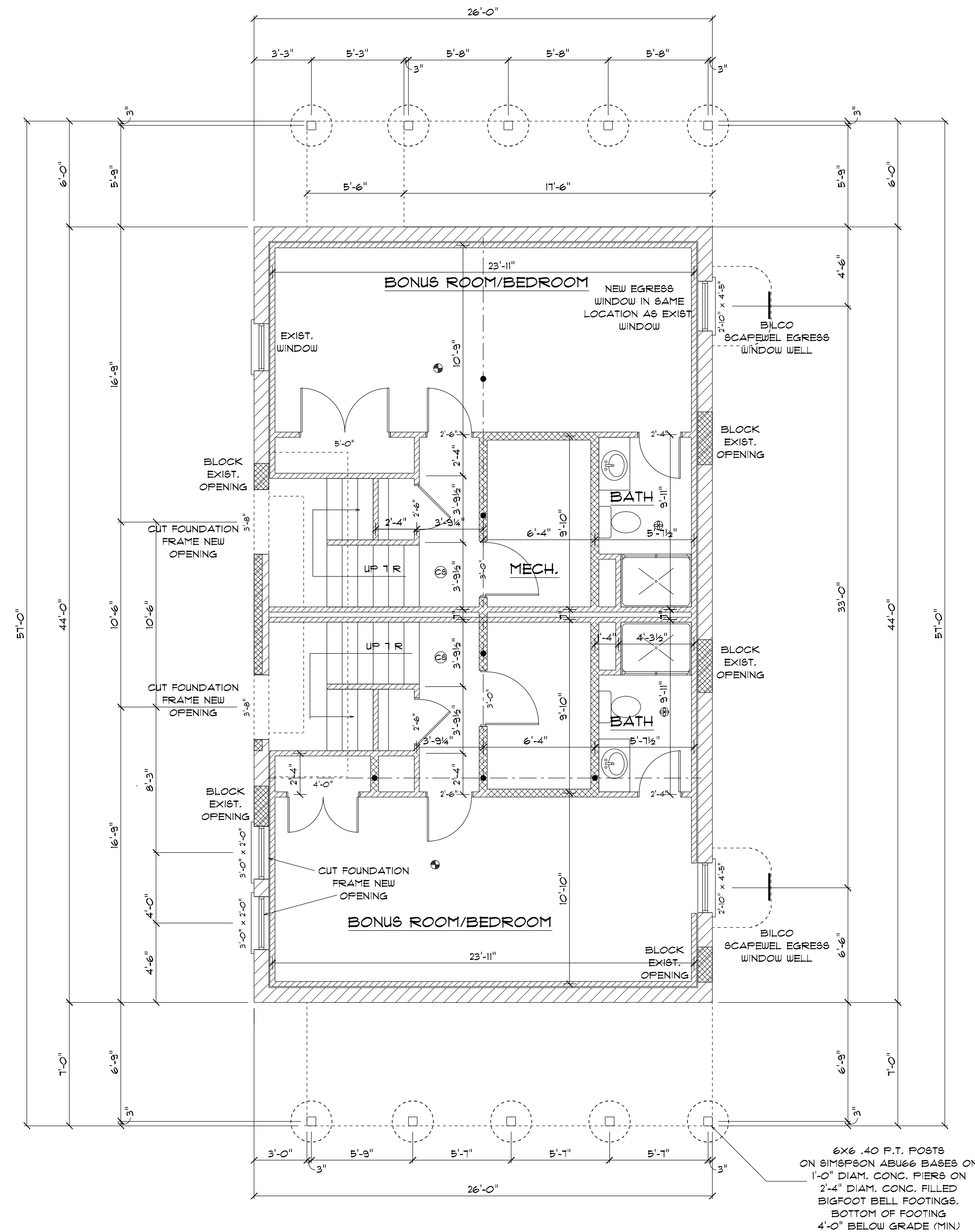



RIGHT ELEVATION

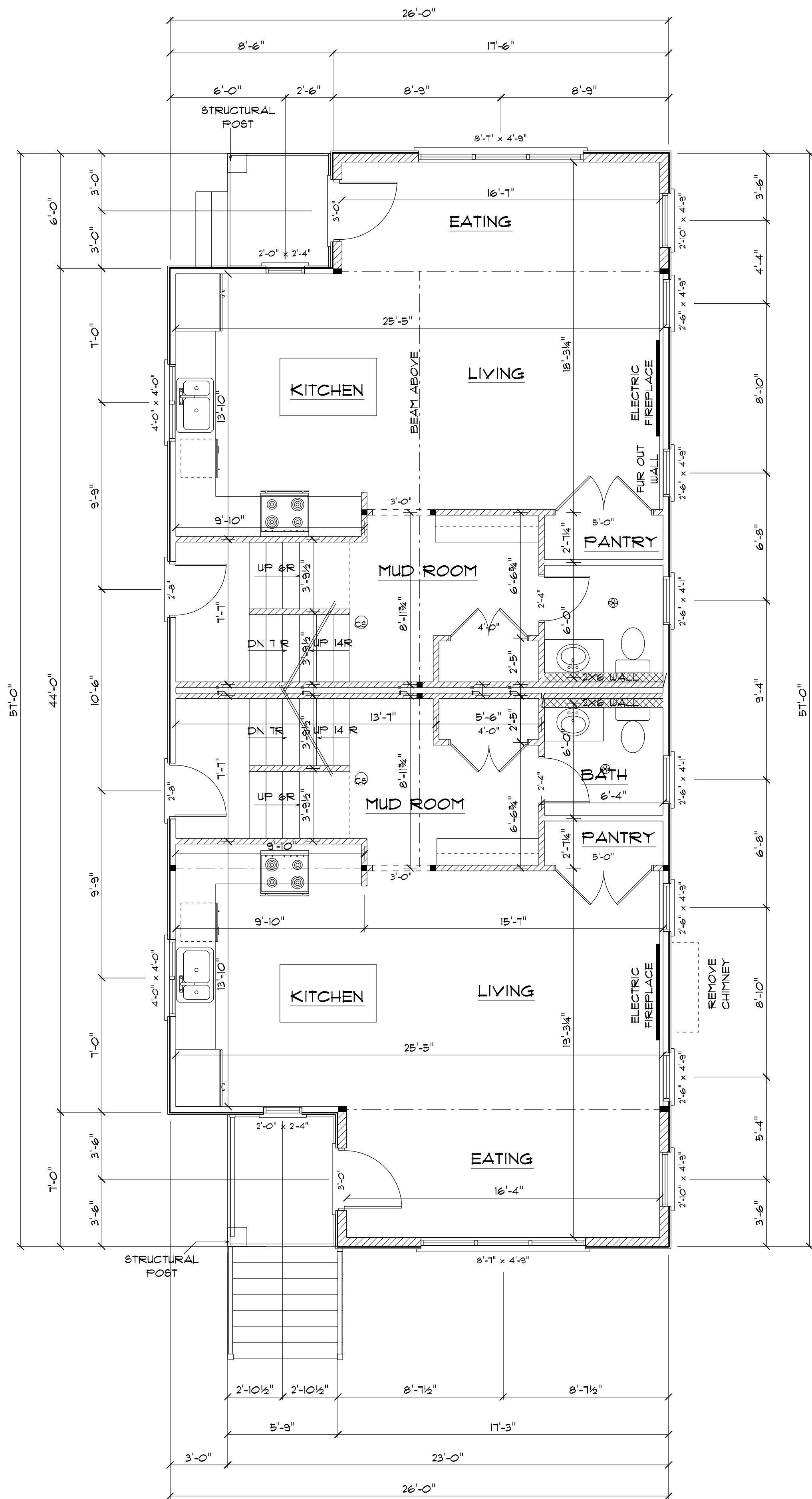


REAR ELEVATION

DATE	4/19/2025
DRAWING NO.	NORTH-144WEB
SCALE	1/4" = 1'-0"
PROPOSED RENOVATION BY NORTHEAST VENTURE GROUP 144 WEBSTER ST. ARLINGTON, MA	
PROJECT NAME	 afab enterprises CUSTOM HOME DESIGNS
AFAB ENTERPRISES PO BOX 916 BURLINGTON, MA 01803	
OFFICE (781)272-2156 FAX (781)229-6394 WWW.AFABHOMES.COM	
Page	2



DATE	4/19/2025
DRAWING NO.	NORTH-144WEB
SCALE	1/4" = 1'-0"
PROPOSED RENOVATION BY NORTHEAST VENTURE GROUP 144 WEBSTER ST. ARLINGTON, MA	
 afab enterprises CUSTOM HOME DESIGNS	
AFAB ENTERPRISES PO BOX 916 BURLINGTON, MA 01803	
OFFICE (781)272-2156 FAX (781)229-6394 WWW.AFABHOMES.COM	
3	



- EXIST. 2X4 EXTERIOR WALL
- EXIST. 2X4 INTERIOR WALL
- NEW 2X6 EXTERIOR WALL
- NEW 2X4 INTERIOR WALL
- NEW 2X6 INTERIOR WALL

1310 SQ. FEET LIVING
40.25 SQ. FEET COVERED FRONT PORCH
33 SQ. FEET NOT COVERED REAR PORCH

FIRST FLOOR PLAN OPT. 2

DATE

4/19/2025

DRAWING NO.

NORTH-144WEB

SCALE

1/4" = 1'-0"

PROPOSED RENOVATION BY

NORTHEAST VENTURE GROUP

144 WEBSTER ST. ARLINGTON, MA

PROJECT NAME

afab enterprises
CUSTOM HOME DESIGNS

AFAB ENTERPRISES

PO BOX 916

BURLINGTON, MA 01803

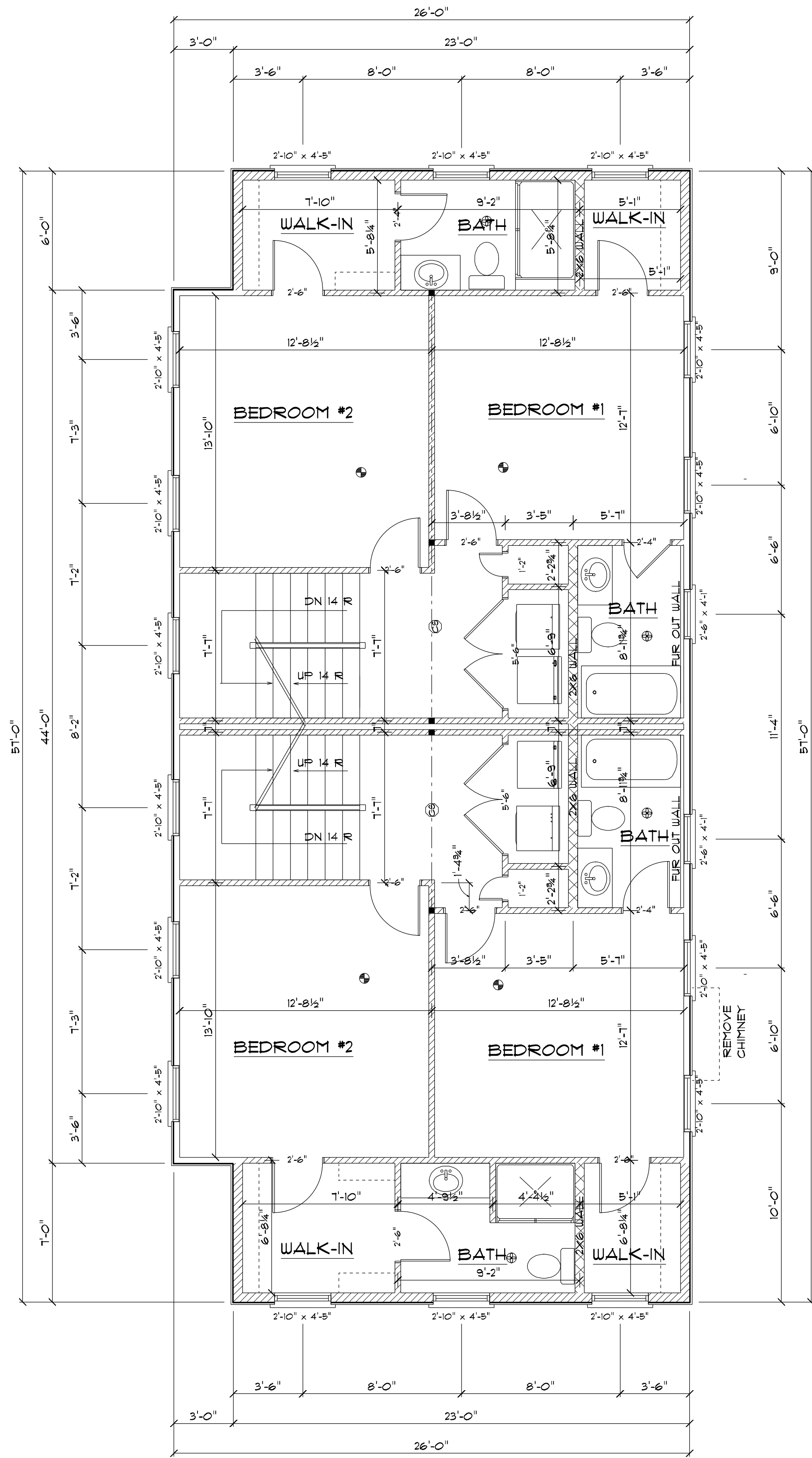
OFFICE (781)272-2156

FAX (781)229-6394

WWW.AFABHOMES.COM

PAGE

4

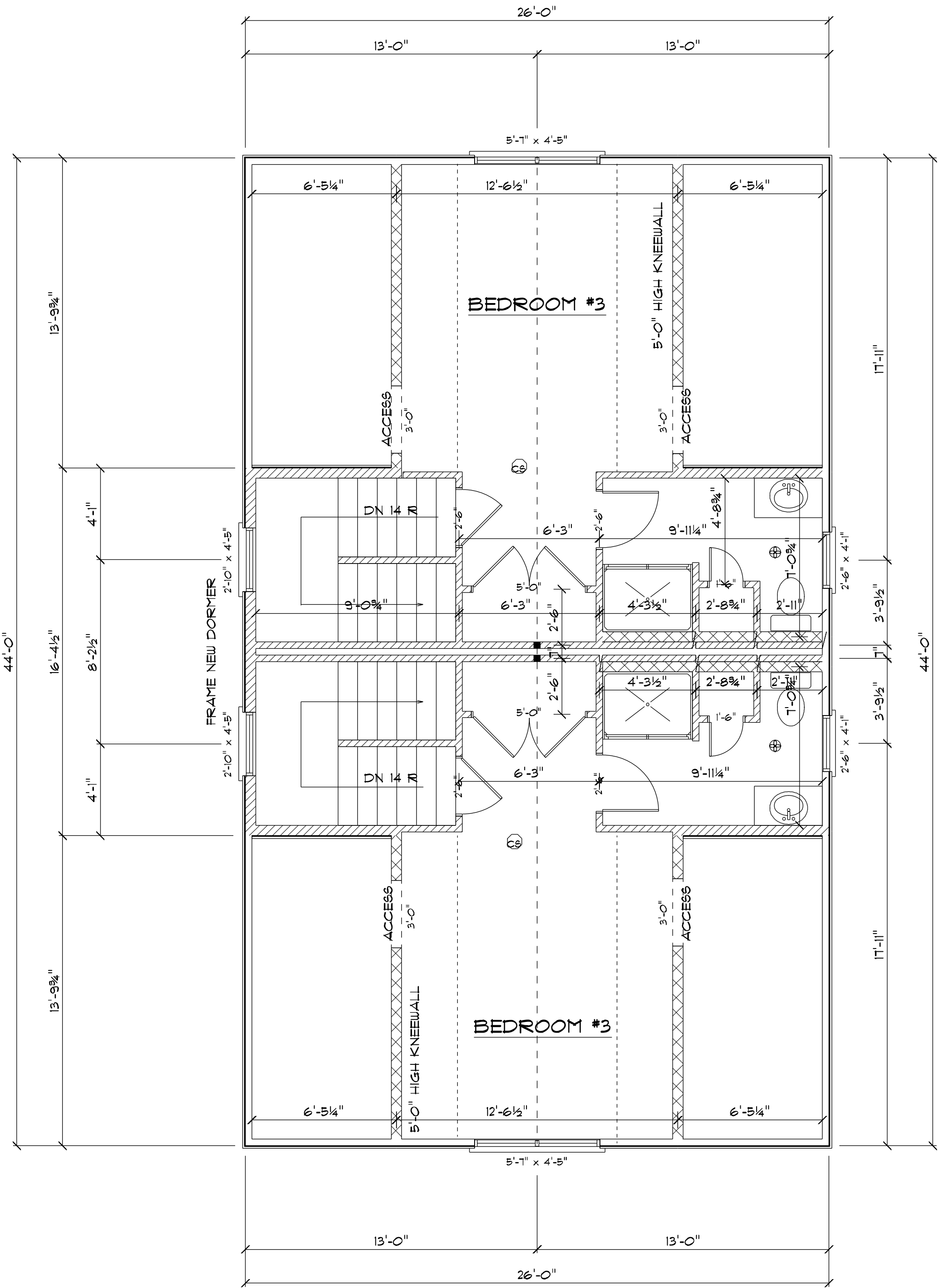


PROPOSED RENOVATION BY
NORTHEAST VENTURE GROUP
144 WEBSTER ST. ARLINGTON, MA



AFAB ENTERPRISES
PO BOX 916
BURLINGTON, MA
01803

OFFICE (781)272-2156
FAX (781)229-6394
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313 SF (CEIL. HIGHT. 7'-0" OR GREATER) EA SIDE
ATTIC FLOOR PLAN

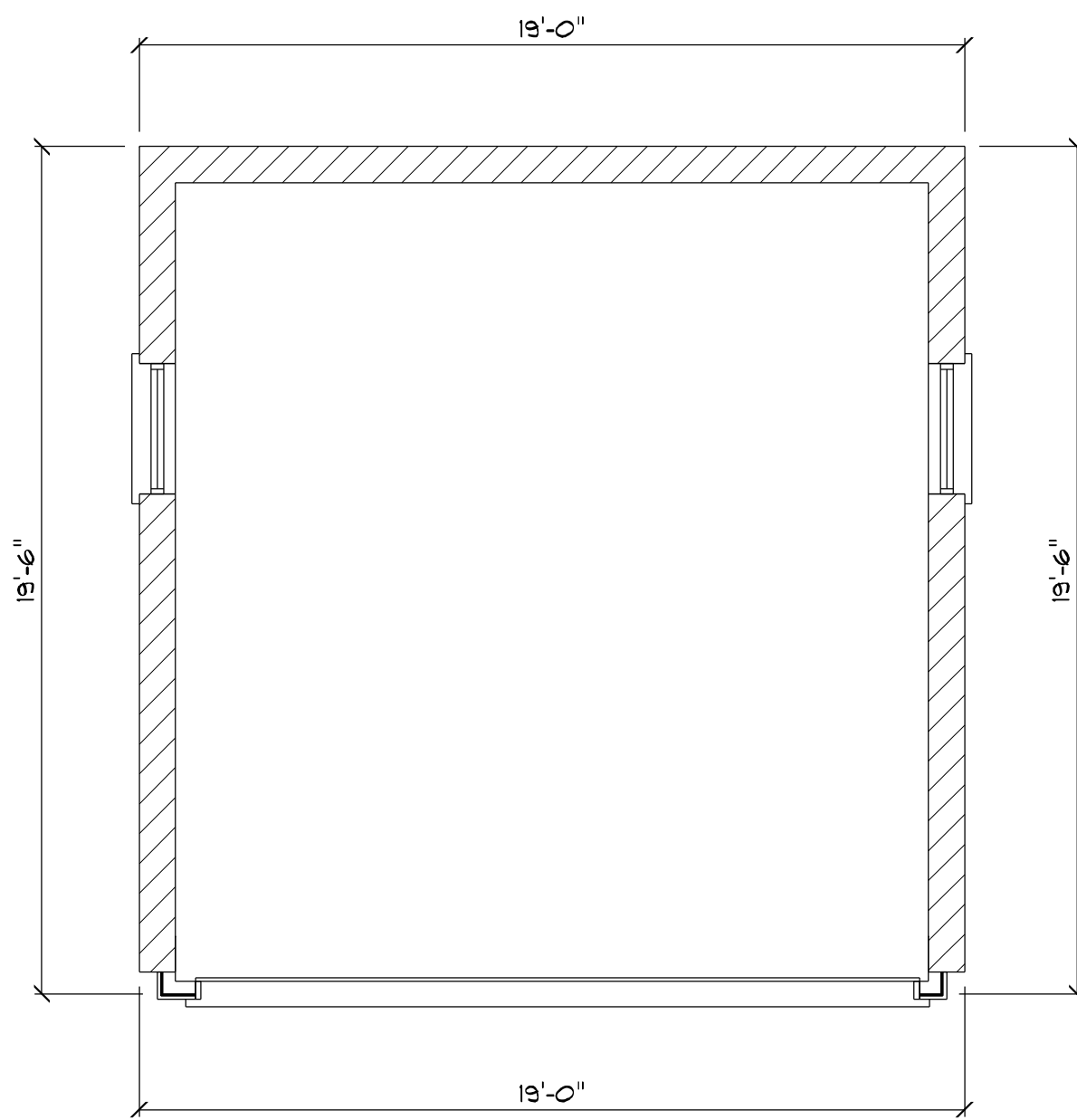
DATE	4/19/2025
DRAWING NO.	NORTH-144WEB
SCALE	1/4" = 1'-0"

PROPOSED RENOVATION BY
NORTHEAST VENTURE GROUP
144 WEBSTER ST. ARLINGTON, MA

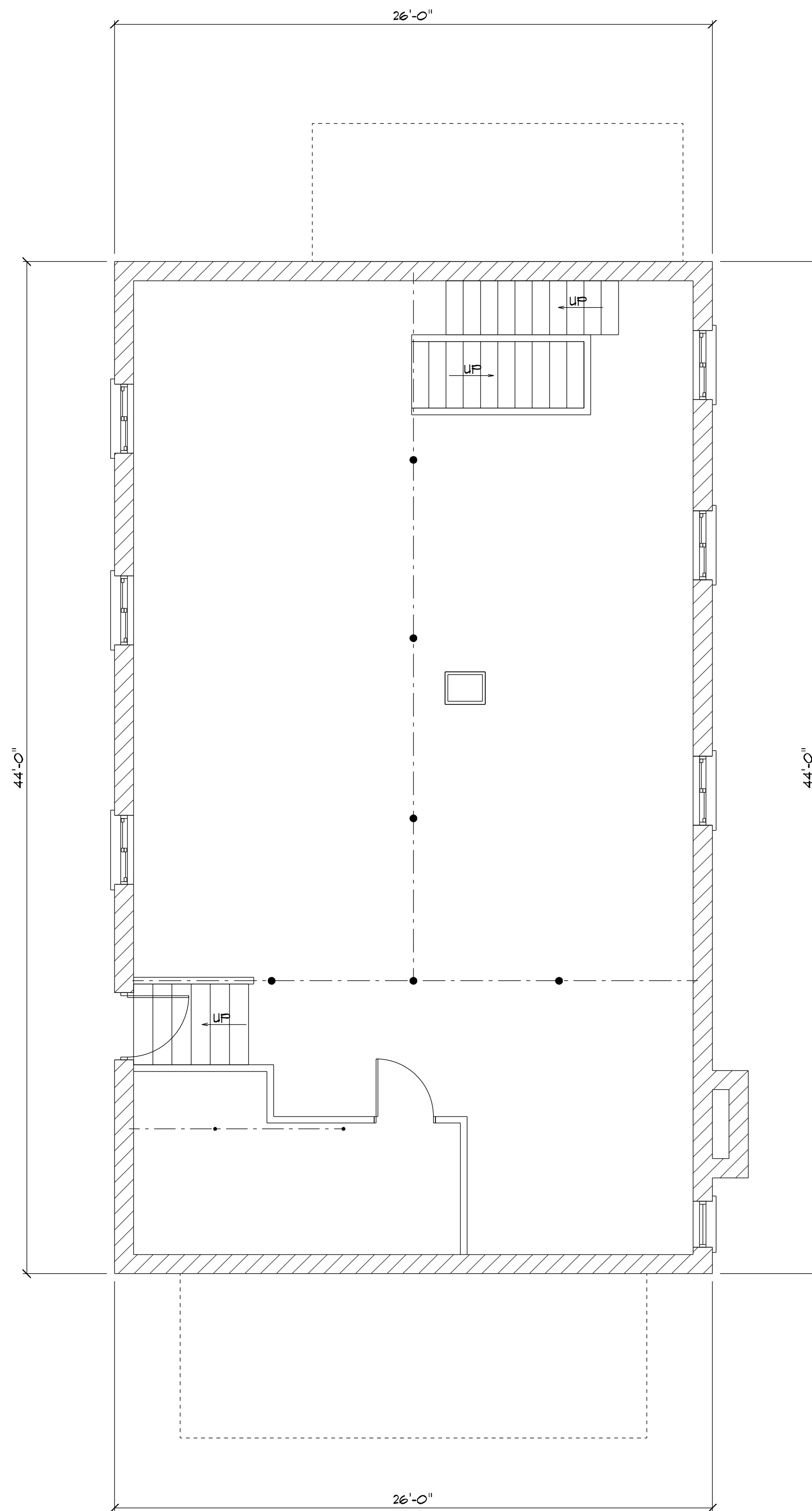


AFAB ENTERPRISES
PO BOX 916
BURLINGTON, MA
01803

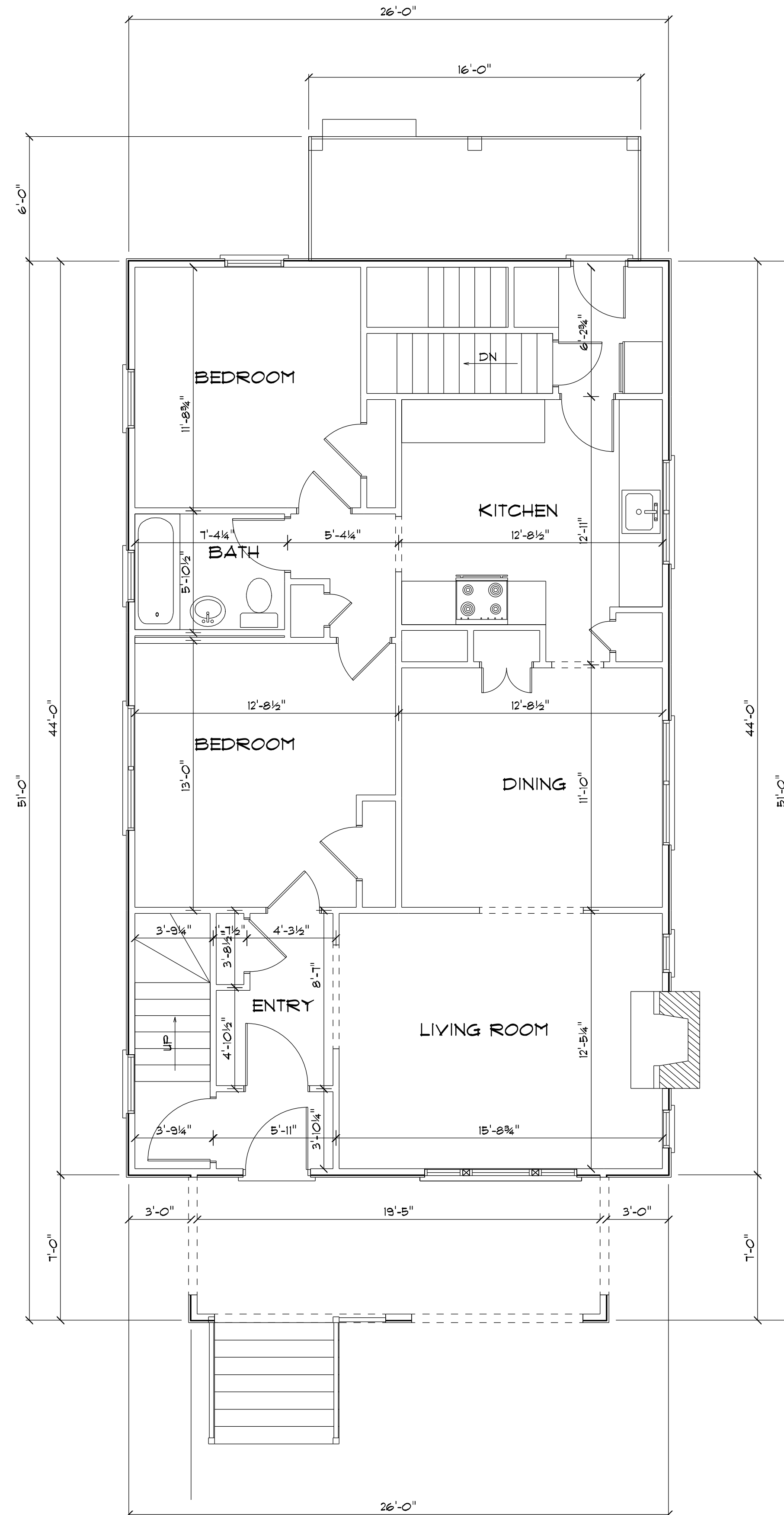
OFFICE (781)272-2156
FAX (781)229-6394
WWW.AFABHOMES.COM



370.5 SQ. FEET
EXIST. GARAGE

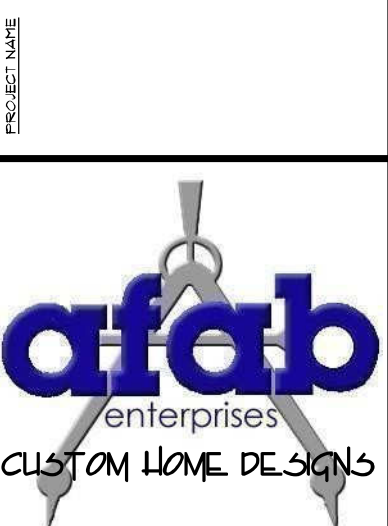


1144 SQ. FEET
EXIST. BASEMENT PLAN



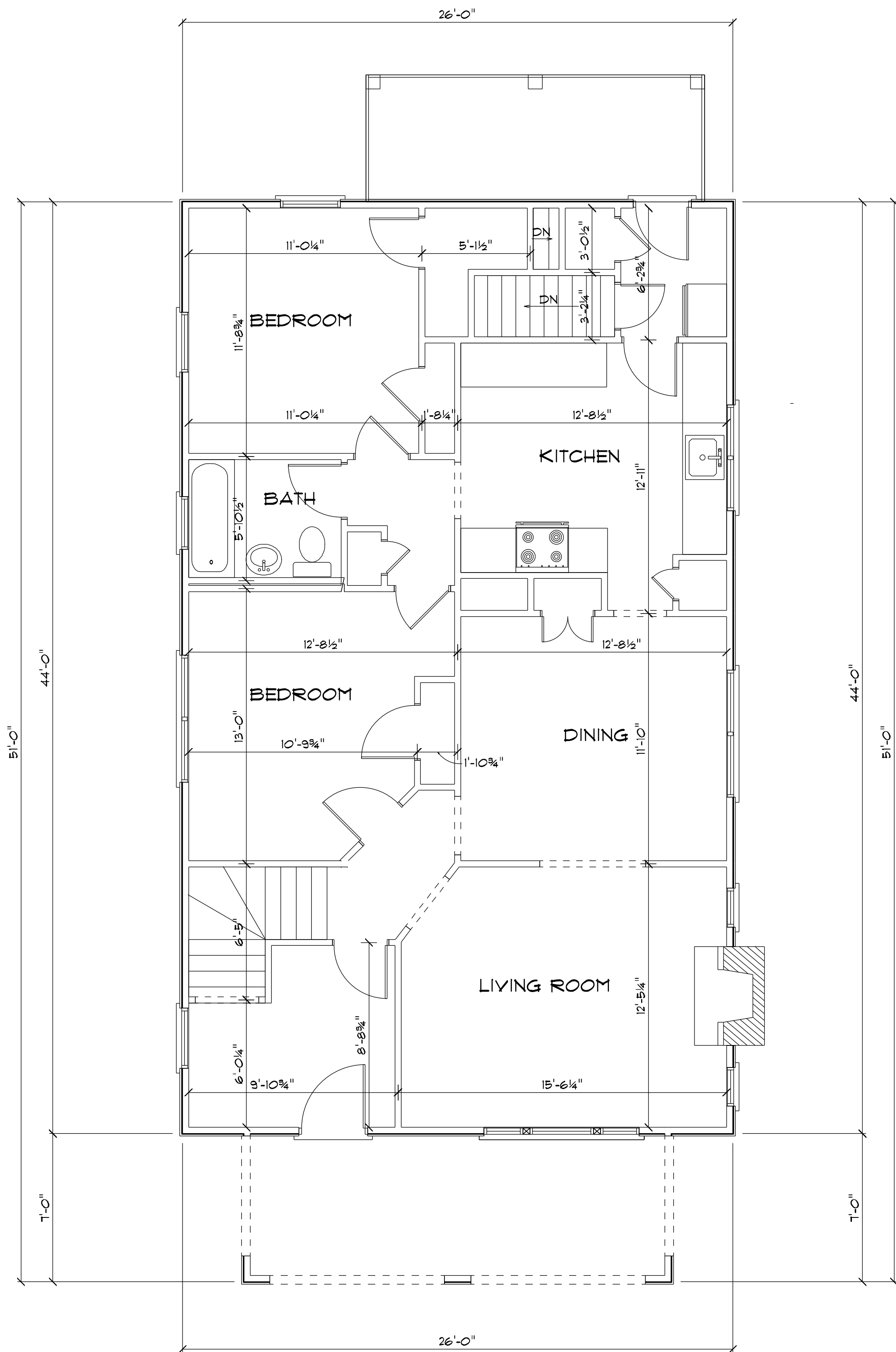
1144 SQ. FEET LIVING
140 SQ. FEET FRONT COVERED PORCH
96 SQ. FEET REAR COVERED PORCH
EXIST. FIRST FLOOR PLAN

PROPOSED RENOVATION BY
NORTHEAST VENTURE GROUP
144 WEBSTER ST. ARLINGTON, MA

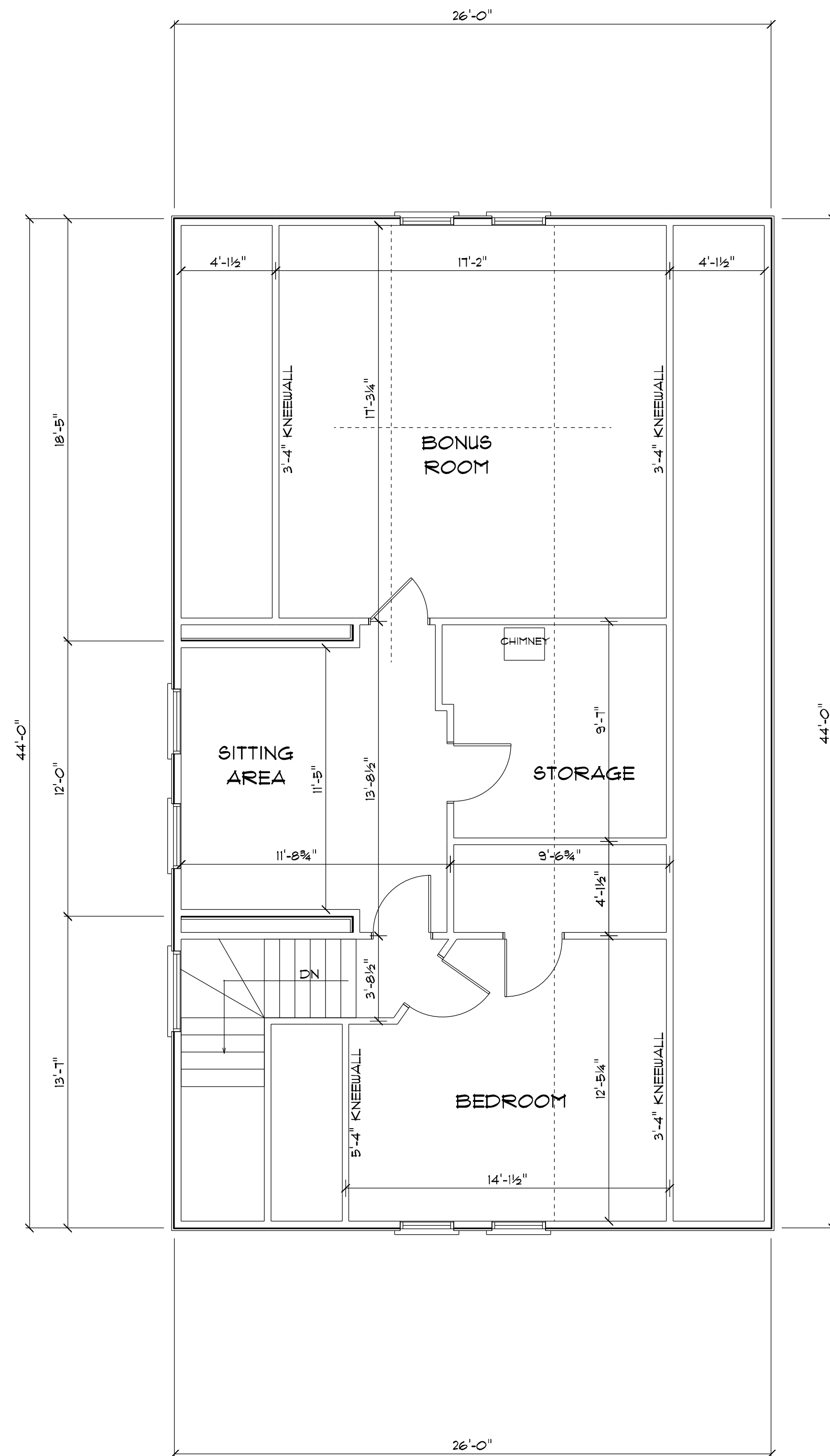


AFAB ENTERPRISES
PO BOX 916
BURLINGTON, MA
01803

OFFICE (781)272-2156
FAX (781)229-6394
WWW.AFABHOMES.COM



1,144 SF LIVING
140 SF FRONT COVERED PORCH
96 SF REAR COVERED PORCH
SECOND FLOOR PLAN



611 SF (CEIL. HIGHT. 5'-0" OR GREATER)
428 SF (CEIL. HIGHT. 7'-0" OR GREATER)
ATTIC PLAN

PROPOSED RENOVATION BY
NORTHEAST VENTURE GROUP
144 WEBSTER ST. ARLINGTON, MA

PROJECT NAME



AFAB ENTERPRISES
PO BOX 916
BURLINGTON, MA
01803

OFFICE (781)272-2156
FAX (781)229-6394
WWW.AFABHOMES.COM

Page



Town of Arlington, Massachusetts

Docket #3864 37 Melrose St

Summary:

OpenGov link: <https://arlingtonma.portal.opengov.com/records/211474>

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	3864_37_Melrose_St_legal_ad_08-12-2025.pdf	3864 37 Melrose St legal ad 08-12-2025
▢ Reference Material	3864_37_Melrose_St_Application_SP-25-18.pdf	3864 37 Melrose St Application SP-25-18



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE
DOCKET NO 3864

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Manuel and Robin Costa, on July 1, 2025**, a petition seeking to alter their property located at **37 Melrose St - Block Plan 003.0-0002-0011.0**. The said petition would require a **Special Permit** under **5.3.9.D** of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", **on Tuesday, August 12, 2025, at 7:30 P.M.** as soon thereafter as the petitioner may be heard. To attend the meeting, please go to <https://www.arlingtonma.gov/connect/calendar> , choose the date of the meeting you wish to attend and register in the Zoom link.

For documentation relating to this petition, visit the ZBA website 48 hours before the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>. Please direct any questions to: **ZBA@town.arlington.ma.us**

Christian Klein, RA, Chair
Zoning Board of Appeals

SP-25-18

Special Use Permit Application (ZBA)

Status: Active

Submitted On: 7/1/2025





Primary Location

37 MELROSE ST
Arlington, MA 02474

Owner

COSTA MANUEL R & ROBIN A/ TRS;
MANUEL R COSTA REVOCABLE TRUST;
ROBIN A COSTA REVOCABLE TRUST
62 MOTT ST ARLINGTON, MA 02474

Applicant

 Antonio Pires
 617-233-5819
 tpires1963@gail.com
 149 Spring St
Medford, MA 02155

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)***

This request is to allow a deck extension to accommodate a wheelchair lift (handicapped elevator), which may require dimensional relief under Section 5.3 and/or Section 6.00 of the Arlington Zoning Bylaw. This type of alteration is eligible for a special permit as it involves structural modifications necessary to meet accessibility needs. The proposed deck extension is not for a change of use but rather to improve accessibility, which can be granted by special permit under dimensional relief provisions.

Explain why the requested use is essential or desirable to the public convenience or welfare.*

The requested use is essential to provide safe, ADA-compliant access for a mobility-impaired resident. It promotes public welfare by ensuring the property meets basic accessibility standards without altering neighborhood character.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The proposed elevator and deck extension are intended solely for private residential use to provide safe access for a mobility-impaired resident. The location of the structure is at the rear of the property, away from public walkways and roads. As such, the project will not increase traffic volume or create any safety risks for pedestrians or vehicles. Existing access and circulation patterns remain unchanged.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The proposed deck extension and elevator installation will not connect to or alter any public water, sewer, or drainage systems. This is a non-plumbed structural addition located at the rear of the property. As such, it will not contribute any additional load to municipal infrastructure or create any hazard to health, safety, or general welfare in the area.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

The proposed elevator and deck extension are designed to meet all applicable zoning requirements, including dimensional and safety standards. The project will be constructed in compliance with all special regulations in the Zoning Bylaw, including those under Section 8, to ensure structural safety, proper clearance, and minimal impact on neighboring properties.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The proposed deck extension and elevator will be located at the rear of the property and designed to match the existing residential character of the home. It will not affect the streetscape or alter the visual integrity of the neighborhood. The project enhances the safety and quality of life for a resident with mobility needs without causing any harm to the health, welfare, or enjoyment of nearby residents.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The requested use is a one-time accessibility improvement specific to this property and does not contribute to any pattern of overdevelopment. It is a necessary and reasonable accommodation for a resident with a disability and will not create a concentration of similar modifications in the neighborhood. The project respects the character of the area while addressing an individual need.

Dimensional and Parking Information

Present Use/Occupancy *

Residential - 2 families

Proposed Use/Occupancy *

Residential - 2 families

Existing Number of Dwelling Units*

2

Proposed Number of Dwelling Units*

2

Existing Gross Floor Area (Sq. Ft.)*

4950

Proposed Gross Floor Area (Sq. Ft.)*

4950

Existing Lot Size (Sq. Ft.)*

4950

Proposed Lot Size (Sq. Ft.)* ?

4950

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

55

Proposed Frontage (ft.)*

55

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0.84

Proposed Floor Area Ratio*

0.92035

Max. Floor Area Ratio required by Zoning*

0.35

Existing Lot Coverage (%)*

34.1

Proposed Lot Coverage (%)*

35.6

Max. Lot Coverage required by Zoning*

30

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

2.475

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

2.475

Minimum Lot Area per Dwelling Unit required by Zoning*

3.5

Existing Front Yard Depth (ft.)*

11.1

Proposed Front Yard Depth (ft.)*

11.1

Minimum Front Yard Depth required by Zoning*

20

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning* ?

0

Existing Left Side Yard Depth (ft.)* ?

7.6

Proposed Left Side Yard Depth (ft.)* ?

7.6

Minimum Left Side Yard Depth required by Zoning* ?

10

Existing Right Side Yard Depth (ft.)* ⓘ

22.9

Proposed Right Side Yard Depth (ft.)* ⓘ

22.9

Minimum Right Side Yard Depth required by Zoning* ⓘ

10

Existing Rear Yard Depth (ft.)*

22.7

Proposed Rear Yard Depth (ft.)*

19.2

Minimum Rear Yard Depth required by Zoning*

16

Existing Height (stories)

2.5

Proposed Height (stories)*

2.5

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

0

Proposed Height (ft.)*

0

Maximum Height (ft.) required by Zoning*

0

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

0

Proposed Landscaped Open Space (Sq. Ft.)*

0

Existing Landscaped Open Space (% of GFA)*

0

Proposed Landscaped Open Space (% of GFA)*

0

Minimum Landscaped Open Space (% of GFA) required by Zoning*

35

Existing Usable Open Space (Sq. Ft.)*

0

Proposed Usable Open Space (Sq. Ft.)*

0

Existing Usable Open Space (% of GFA)* ⓘ

23.6

Proposed Usable Open Space (% of GFA)* ⓘ

23.6

Minimum Usable Open Space required by Zoning*

30

Existing Number of Parking Spaces*

6

Proposed Number of Parking Spaces*

6

Minimum Number of Parking Spaces required by Zoning*

2

Existing Parking area setbacks

0

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

0

Proposed Slope of proposed roof(s) (in. per ft.)*

0

Minimum Slope of Proposed Roof(s) required by Zoning*

0

Existing type of construction*

Wood frame, vinyl siding

Proposed type of construction*

Wood frame, vinyl siding

Open Space Information

Existing Total Lot Area*

4950

Proposed Total Lot Area*

4950

Existing Open Space, Usable*

0

Proposed Open Space, Usable*

0

Existing Open Space, Landscaped*

0

Proposed Open Space, Landscaped*

0

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area 

1650

Basement or Cellar, Proposed Gross Floor Area

1650

1st Floor, Existing Gross Floor Area

1650

1st Floor, Proposed Gross Floor Area

1650

2nd Floor, Existing Gross Floor Area

1650

2nd Floor, Proposed Gross Floor Area

1650

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area 

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area 

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies, Existing Gross Floor Area

0

All weather habitable porches and balconies, Proposed Gross Floor Area

0

Total Existing Gross Floor Area

4950



Total Proposed Gross Floor Area

4950



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



Applicant's Signature*

✓ Antonio Pires
Jul 1, 2025