



Arlington Zoning Board of Appeals

Date: Tuesday, January 27, 2026
Time: 7:30 PM
Location: Conducted by Remote Participation
Additional Details:

Agenda Items

Administrative Items

1. **Conducted by Remote Participation**

Register in advance for this meeting: <https://town-arlington-ma-us.zoom.us/meeting/register/H8W4sQ84T1ixpTYbuLSDEQ> After registering, you will receive a confirmation email containing information about joining the meeting. Per Board Rules and Regulations, public comments will be accepted during the public comment period during each public hearing. Written comments should be sent by email to ZBA@town.arlington.ma.us prior to the start of the meeting.
Notice to the Public on meeting privacy In the interests of preventing abuse of video conferencing technology, all participants, including members of the public, wishing to engage via the Zoom App must register for each meeting and will need to follow multi-step authentication protocols. Please allow additional time to join the meeting. Further, members of the public who wish to participate without providing their name may still do so by telephone using the dial-in information provided above.

Hearings

2. **Docket #3880 307 Washington St (continued)**

OpenGov link: <https://arlingtonma.portal.opengov.com/records/213611>

3. **Docket #3878 190 Mystic Valley Pkwy**

OpenGov application links:

Variance: <https://arlingtonma.portal.opengov.com/records/214641>

Special Permit: <https://arlingtonma.portal.opengov.com/records/212933>

4. **Docket #3884 26 Reed St**

OpenGov application link:

<https://arlingtonma.portal.opengov.com/records/215509>

Meeting Adjourn



Town of Arlington, Massachusetts

Conducted by Remote Participation

Summary:

Register in advance for this meeting: <https://town-arlington-ma-us.zoom.us/join/H8W4sQ84T1ixPTYbuLSDEQ> After registering, you will receive a confirmation email containing information about joining the meeting.

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Town of Arlington, Massachusetts

Docket #3880 307 Washington St (continued)

Summary:

OpenGov link: <https://arlingtonma.portal.opengov.com/records/213611>

ATTACHMENTS:

Type	File Name	Description
Reference Material	3880_307_Washington_St_Legal_Notice_1-13-26.pdf	3880 307 Washington St Legal Notice 1-13-26
Reference Material	3880_307_Washington_St_abutter_list_and_map.pdf	3880 307 Washington St abutter list and map
Reference Material	3880_307_Washington_St_App_Updated_1-9-26_SP-25-29.pdf	3880 307 Washington St App Updated 1-9-26 SP-25-29
Reference Material	3880_307_Washington_St_App_SP-25-29.pdf	3880 307 Washington St App SP-25-29
Reference Material	3880_307_Washington_St_5808_Arlington_Take_Station_-_Permitting_-_3Dec2025_(stamped_AS_FILED).pdf	3880 307 Washington St 5808_Arlington Take Station - Permitting - 3Dec2025 (stamped AS FILED)
Reference Material	3880_307_Washington_St_Boston_Gas_Company_Statement_in_Support_of_Special_Permit_(AS_FILED).pdf	3880 307 Washington St Boston Gas Company Statement in Support of Special Permit (AS FILED)
Reference Material	3880_307_Washington_St_Owner_Authorization_Letter_-_305_Washington_Street_(signed_AS_FILED)_4904-6657-3949_v.1.pdf	3880 307 Washington St Owner Authorization Letter - 305 Washington Street (signed AS FILED) 4904-6657-3949 v.1
Reference Material	3880_307_Washington_St_Stamped_Site_Plan_(AS_FILED).pdf	3880 307 Washington St Stamped Site Plan (AS FILED)
Reference Material	3880_307_Washington_St_MassSaveGasData_Arlington_2014-2024.pdf	3880 307 Washington St MassSaveGasData_Arlington_2014-2024
Reference Material	3880_307_Washington_St_abutter_ltr_Brewster.pdf	3880 307 Washington St abutter ltr Brewster
Reference Material	3880_307_Washington_St_abutter_ltr_Giasson.pdf	3880 307 Washington St abutter ltr Giasson
Reference Material	3880_307_Washington_St_abutter_ltr_Goodwin.pdf	3880 307 Washington St abutter ltr Goodwin
Reference Material	3880_307_Washington_St_abutter_ltr_Keane.pdf	3880 307 Washington St abutter ltr Keane
Reference Material	3880_307_Washington_St_abutter_ltr_Guzik_w_attach.pdf	3880 307 Washington St abutter ltr Guzik w attach
Reference Material	3880_307_Washington_St_abutter_ltr_Jones.pdf	3880 307 Washington St abutter ltr Jones
Reference Material	3880_307_Washington_St_abutter_ltr_Kahn-Schaye.pdf	3880 307 Washington St abutter ltr Kahn-Schaye
Reference Material	3880_307_Washington_St_abutter_ltr_Quinn.pdf	3880 307 Washington St abutter ltr Quinn
Reference Material	3880_307_Washington_St_abutter_ltr_Simon.pdf	3880 307 Washington St abutter ltr Simon
Reference Material	3880_307_Washington_St_abutter_ltr_Sullivan_-Mothers_Out_Front.pdf	3880 307 Washington St abutter ltr Sullivan -Mothers Out Front
Reference Material	3880_307_Washington_St_abutter_ltr_Thomas-Alyea.pdf	3880 307 Washington St abutter ltr Thomas-Alyea
Reference Material	3880_307_Washington_St_abutter_ltr_Turnbull.pdf	3880 307 Washington St abutter ltr Turnbull
Reference Material	3880_307_Washington_St_abutter_ltr_Rehrig.pdf	3880 307 Washington St abutter ltr Rehrig
Reference Material	3880_307_Washington_St_abutter_ltr_Rehrig.pdf	3880 307 Washington St abutter ltr Rehrig
Reference Material	3880_307_Washington_St_abutter_ltr_Trembly.pdf	3880 307 Washington St abutter ltr Trembly
Reference Material	3880_307_Washington_St_abutter_ltr_Das.pdf	3880 307 Washington St abutter ltr Das
Reference Material	3880_307_Washington_St_abutter_ltr_Sloboda.pdf	3880 307 Washington St abutter ltr Sloboda
Reference Material	3880_307_Washington_St_abutter_ltr_Block.pdf	3880 307 Washington St abutter ltr Block
Reference Material	3880_307_Washington_St_abutter_ltr_Pockrose.pdf	3880 307 Washington St abutter ltr Pockrose

Material	Pockrose
Reference Material 3880_307_Washington_St_abutter_ltr_Cause.pdf	3880 307 Washington St abutter ltr Cause
Reference Material 3880_307_Washington_St_abutter_ltr_Antczak.pdf	3880 307 Washington St abutter ltr Antczak
Reference Material 3880_307_Washington_St_abutter_ltr_Faas.pdf	3880 307 Washington St abutter ltr Faas
Reference Material 3880_307_Washington_St_abutter_ltr_Knoll.pdf	3880 307 Washington St abutter ltr Knoll
Reference Material 3880_307_Washington_St_abutter_Petition_Dean_and_Konnath.pdf	3880 307 Washington St abutter Petition Dean and Konnath
Reference Material 3880_307_Washington_St_abutter_ltr_Ingram.pdf	3880 307 Washington St abutter ltr Ingram
Reference Material 3880_307_Washington_St_abutter_ltr_Smift.pdf	3880 307 Washington St abutter ltr Smift
Reference Material 3880_307_Washington_St_abutter_ltr_A_Pockrose.pdf	3880 307 Washington St abutter ltr A Pockrose
Reference Material 3880_307_Washington_St_abutter_ltr_Salvi.pdf	3880 307 Washington St abutter ltr Salvi
Reference Material 3880_307_Washington_St_abutter_ltr_Crotty.pdf	3880 307 Washington St abutter ltr Crotty
Reference Material 3880_307_Washington_St_abutter_ltr_Monaghan.pdf	3880 307 Washington St abutter ltr Monaghan
Reference Material 3880_307_Washington_St_abutter_ltr_Ellis.pdf	3880 307 Washington St abutter ltr Ellis
Reference Material 3880_307_Washington_St_abutter_ltr_Jalkut.pdf	3880 307 Washington St abutter ltr Jalkut
Reference Material 3880_307_Washington_St_abutter_ltr_McCormick.pdf	3880 307 Washington St abutter ltr McCormick
Reference Material 3880_307_Washington_St_abutter_ltr_Hild.pdf	3880 307 Washington St abutter ltr Hild
Reference Material 3880_307_Washington_St_abutter_ltr_Hammell.pdf	3880 307 Washington St abutter ltr Hammell
Reference Material 3880_307_Washington_St_abutter_ltr_DiMola.pdf	3880 307 Washington St abutter ltr DiMola
Reference Material 3880_307_Washington_St_abutter_ltr_Co-Wallis.pdf	3880 307 Washington St abutter ltr Co-Wallis
Reference Material 3880_307_Washington_St_abutter_ltr_Zlatanovski.pdf	3880 307 Washington St abutter ltr Zlatanovski
Reference Material 3880_307_Washington_St_abutter_ltr_Bova.pdf	3880 307 Washington St abutter ltr Bova
Reference Material 3880_307_Washington_St_abutter_ltr_Bermudes.pdf	3880 307 Washington St abutter ltr Bermudes
Reference Material 3880_307_Washington_St_abutter_ltr_Brody.pdf	3880 307 Washington St abutter ltr Brody



Town of Arlington Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by Boston Gas Co, DBA National Grid on December 4, 2025, a petition seeking to alter their property located at 307 Washington St - Block Plan 100.0-0001-0006.C. The said petition would require a Special Permit under Bylaw 5.4.3 of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", on Tuesday, January 13, 2026 at 7:30 P.M. as soon thereafter as the petitioner may be heard.

To register for the meeting and view documents related to this application go to the Town of Arlington calendar, <https://www.arlingtonma.gov/connect/calendar>, choose the date of the meeting you wish to attend, register for the Zoom meeting, and review documents relating to the application by clicking the link to the agenda. Please direct any questions to: ZBA@town.arlington.ma.us

Christian Klein, RA, Chair, Zoning Board of Appeals


CERTIFIED ABUTTERS LIST
Date: December 9, 2025

Subject Property Addresses: 307 WASHINGTON ST, ARLINGTON, MA

Subject Property ID: 100-1-6.C

Search Distance: 300 Feet - Zoning

				MALING ADDRESS	
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Town, State, Zip
115.0-0004-0001.0	10 WIGWAM CIR	HILL OXFORD FOUR LLC		251 LITTLE FALLS DR	WILMINGTON DE, 19808
101.0-0005-0001.A	19 TOMAHAWK RD	PAROYAN ROBERT J & BARBARA A	LIFE ESTATE	19 TOMAHAWK RD	ARLINGTON MA, 02474
114.0-0006-0004.0	58 AERIAL ST	SCHEER WILLIAM R		58 AERIAL ST	ARLINGTON MA, 02474
119.0-0006-0005.0	0LOT WASHINGTON ST	TOWN OF ARLINGTON TAX POSS		730 MASS AVE	ARLINGTON MA, 02476
114.0-0004-0012.0	273 WASHINGTON ST	QUINN DANIEL	HAFEN JOURDAN	273 WASHINGTON ST	ARLINGTON MA, 02474
100.0-0001-0007.A	0LOT MAYBIE ST	TOWN OF ARLINGTON PARK	TURKEY HILL	730 MASS AVE	ARLINGTON MA, 02476
101.0-0007-0009.0	38 TOWER RD	LEVINSON STEPHANIE G/TRUSTEE	STEPHANIE G LEVINSON REVOCABLE	38 TOWER RD	ARLINGTON MA, 02474
119.0-0001-0011.0	316 WASHINGTON ST	VAN BENSCHOTEN ROBERT W	VAN BENSCHOTEN ELLEN Q	316 WASHINGTON STREET	ARLINGTON MA, 02474
101.0-0006-0007.0	6 GREELEY CIR	SOUSA LAURA J		6 GREELEY CIRCLE	ARLINGTON MA, 02474
119.0-0005-0007.0	16 MOHAWK RD	WOODIN MARK A/SUSAN T		16 MOHAWK RD	ARLINGTON MA, 02474
101.0-0006-0002.0	50 GREELEY CIR	FANNING KURT H/TARA K		50 GREELEY CIRCLE	ARLINGTON MA, 02474
101.0-0006-0008.0	27 TOWER RD	GAUMONT COLIN	GAUMONT-KULIKOVA MARIA	27 TOWER RD	ARLINGTON MA, 02474
101.0-0004-0003.0	38 TOMAHAWK RD	VALLEJO JACINTO J & SWETA P		38 TOMAHAWK RD	ARLINGTON MA, 02474
101.0-0004-0001.0	22 TOMAHAWK RD	BUI MICHAEL D & CATHERINE H	TRS/ BUI 2019 FUNDING TRUST	22 TOMAHAWK RD	ARLINGTON MA, 02474
114.0-0013-0004.0	7 GAY ST	KULIESIS WALTER F		7 GAY STREET	ARLINGTON MA, 02474
114.0-0003-0009.0	256 MOUNTAIN AVE	POWERS FRANK L & ANN M		256 MOUNTAIN AVE	ARLINGTON MA, 02474
114.0-0006-0001.A	292 WASHINGTON ST	DARDOMPRES CAREY A & DONNA M/ TRS	DARDOMPRES FAMILY REVOCABLE TR	292 WASHINGTON ST	ARLINGTON MA, 02474
114.0-0006-0019.B	0LOT GAY ST	TOWN OF ARLINGTON TAX POSS		730 MASS AVE	ARLINGTON MA, 02476
114.0-0001-0010.A	255 MOUNTAIN AVE	O'CONNOR THOMAS & SHELBY-LYNN		255 MOUNTAIN AVE	ARLINGTON MA, 02474
100.0-0001-0006.0	305 WASHINGTON ST	TENNESSEE GAS PIPELINE CO.	C/O TAX DEPARTMENT	PO BOX 4372	HOUSTON TX, 77210
114.0-0013-0001.A	6 WIGWAM CIR	OGILVIE MARK & COLLEEN		6 WIGWAM CIRCLE	ARLINGTON MA, 02474
114.0-0013-0005.0	11 GAY ST	MC CARTHY JOHN		11 GAY ST	ARLINGTON MA, 02474
101.0-0007-0008.0	34 TOWER RD	BRUNE LASSE &	BRODSKY SASHA	34 TOWER RD	ARLINGTON MA, 02474
101.0-0006-0004.0	32 GREELEY CIR	SANDERS SAMUEL NATHAN	CHOI BOYEON	32 GREELEY CIRCLE	ARLINGTON MA, 02474
119.0-0005-0006.0	12 MOHAWK RD	KREPELKA MARIE A		12 MOHAWK RD	ARLINGTON MA, 02474
101.0-0007-0007.0	30 TOWER RD	PATTI LOUIS P & PATRICIA		30 TOWER RD	ARLINGTON MA, 02474
119.0-0005-0010.A	12 SEMINOLE AVE	CHEUK SHERRY	LEVINE JILLIAN	12 SEMINOLE AVE	ARLINGTON MA, 02474
119.0-0001-0016.0	11 WIGWAM CIR	CEPPI STEPHEN S/ETAL	CEPPI FATIMA G	11 WIGWAM CIRCLE	ARLINGTON MA, 02474
119.0-0006-0003.0	11 MOHAWK RD	XU JING	DING XIANG	11 MOHAWK RD	ARLINGTON MA, 02474
114.0-0013-0003.0	296 WASHINGTON ST	CRONIN SHEA W ETAL/ TRS	296 WASHINGTON STREET REALTY	296 WASHINGTON ST	ARLINGTON MA, 02474
119.0-0001-0009.C	324 WASHINGTON ST	PAPOULIDIS DEMETRIOS	PAPOULIDIS ASIMINA X	324 WASHINGTON ST	ARLINGTON MA, 02474
101.0-0005-0004.A	31 TOMAHAWK RD	CAMPBELL PATRICIA		31 TOMAHAWK RD	ARLINGTON MA, 02474
101.0-0005-0002.A	23 TOMAHAWK RD	ALLEN MIRIAM P		2320 SOUTH INGE STREET	ARLINGTON VA, 22202
101.0-0005-0003.A	27 TOMAHAWK RD	KANG BRIAN & LINDA		27 TOMAHAWK RD	ARLINGTON MA, 02474


CERTIFIED ABUTTERS LIST
Date: December 9, 2025

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Subject Property ID: 100-1-6.C

Search Distance: 300 Feet - Zoning

				MALING ADDRESS	
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Town, State, Zip
114.0-0003-0002.0	277 WASHINGTON ST	CONNELLY DENNIS W	CONNELLY SONYA	277 WASHINGTON ST	ARLINGTON MA, 02474
114.0-0001-0008.A	247 MOUNTAIN AVE	TUCCERI JOSEPH T JR &	TUCCERI KAREN T	247 MOUNTAIN AVE	ARLINGTON MA, 02474
100.0-0001-0006.C	307 WASHINGTON ST	BOSTON GAS COMPANY	DBA NATIONAL GRID	40 SYLVAN RD	WALTHAM MA, 02451
119.0-0001-0013.0	308 WASHINGTON ST	MACARTHY ROBERT G ETAL/ TTEES	ROBERT G MACARTHY FAMILY IRREV	37 RIDGE STREET	WINCHESTER MA, 01890
119.0-0005-0004.0	321 WASHINGTON ST	TURNER ELEANOR A / LIFE ESTATE		321 WASHINGTON ST	ARLINGTON MA, 02474
119.0-0005-0002.A	329 WASHINGTON ST	MORENCY MARK & SUSAN/ TRS	MORENCY FAMILY REVOCABLE TRUST	329 WASHINGTON ST	ARLINGTON MA, 02474
114.0-0006-0019.A	4 GAY ST	ZUCKERMAN STEVEN H &	ZUCKERMAN INES MONTSEERRAT	4 GAY ST	ARLINGTON MA, 02474
119.0-0001-0015.0	7 WIGWAM CIR	ROSS BENJAMIN C & LAURA M		7 WIGWAM CIR	ARLINGTON MA, 02474
101.0-0005-0005.0	37 TOMAHAWK RD	GOOD DAVID F/ETAL	GOOD VICTORIA L	37 TOMAHAWK RD	ARLINGTON MA, 02474
119.0-0006-0001.0	42 TOMAHAWK RD	MALLOY MARK J & CARYN C / TRS	MARK J MALLOY TRUST	42 TOMAHAWK RD	ARLINGTON MA, 02474
101.0-0004-0002.0	26 TOMAHAWK RD	MAHER JAMES M	KONNATH KRISTINA	26 TOMAHAWK RD	ARLINGTON MA, 02474
114.0-0013-0002.A	300 WASHINGTON ST	HASTINGS EUGENE		300 WASHINGTON ST	ARLINGTON MA, 02474
101.0-0005-0015.0	39 GREELEY CIR	GUZIK BRIAN	STRALEY KIMBERLY S	39 GREELEY CIRCLE	ARLINGTON MA, 02474
119.0-0005-0003.0	325 WASHINGTON ST	WEBBER JOSEPH S/ETAL	WEBBER JOAN A	325 WASHINGTON ST	ARLINGTON MA, 02474
101.0-0005-0012.0	51 GREELEY CIR	PETIT NADEGE SOTNIKOVA	PETIT VINCENT LOUIS JEAN-MARIE	51 GREELEY CIR	ARLINGTON MA, 02474
101.0-0005-0013.0	47 GREELEY CIR	LANCELOTTA MARY PAT	TAGUPA JONATHAN	47 GREELEY CIR	ARLINGTON MA, 02474
114.0-0004-0013.0	250 MOUNTAIN AVE	HILT MARY L		250 MOUNTAIN AVE	ARLINGTON MA, 02474
119.0-0006-0004.A	7 MOHAWK RD	VISWESWARAIAH JYOTHSNA &	HOLI VENKET R	7 MOHAWK RD	ARLINGTON MA, 02474
119.0-0001-0014.0	304 WASHINGTON ST	PATIL VISHWESH &	DSOUZA BONEETA	304 WASHINGTON ST	ARLINGTON MA, 02474
119.0-0006-0004.B	0LOT MOHAWK RD	TOWN OF ARLINGTON TAX POSS		730 MASS AVE	ARLINGTON MA, 02476
114.0-0003-0003.0	281 WASHINGTON ST	BULLOCK GREG DANIEL &	BULLOCK JENNIFER ANNE FLINT	281 WASHINGTON STREET	ARLINGTON MA, 02474
101.0-0005-0011.0	55 GREELEY CIR	DEAN DANIELLE & PATRICK		55 GREELEY CIR	ARLINGTON MA, 02474
119.0-0001-0010.0	320 WASHINGTON ST	SUBEDI BINOD	TIWARI SALU	320 WASHINGTON ST	ARLINGTON MA, 02474
101.0-0007-0005.0	22 TOWER RD	KREIDER JOHN A JR/ERIN E		22 TOWER RD	ARLINGTON MA, 02474
101.0-0006-0006.0	10 GREELEY CIR	SPECHT WILLIAM		10 GREELEY CIRCLE	ARLINGTON MA, 02474
101.0-0005-0014.0	43 GREELEY CIR	MACDONALD MARK J		43 GREELEY CIR	ARLINGTON MA, 02474
114.0-0006-0015.A	8 GAY ST	HARRINGTON PATRICK J & CARA A		8 GAY ST	ARLINGTON MA, 02474
119.0-0001-0012.0	312 WASHINGTON ST	FITZGERALD JOSEPH D/TRUSTEE	312 WASHINGTON ST NOMINEE TR	312 WASHINGTON ST	ARLINGTON MA, 02474
114.0-0006-0003.0	62 AERIAL ST	SCHWARTZ BARBARA E	BENNETT BRAD A	62 AERIAL ST	ARLINGTON MA, 02474
101.0-0006-0001.0	31 TOWER RD	WUJCIAC STEVEN E/TRUSTEE	WUJCIAC REALTY TRUST	31 TOWER RD	ARLINGTON MA, 02474
101.0-0006-0003.0	46 GREELEY CIR	JAIN RISHI K ETAL/ TRUSTEES	RISHI K JAIN & SAYAKA MIYAGI	46 GREELEY CIRCLE	ARLINGTON MA, 02474
114.0-0001-0007.0	243 MOUNTAIN AVE	WRIGHT HUGH D		243 MOUNTAIN AVE	ARLINGTON MA, 02474
119.0-0005-0009.0	8 SEMINOLE AVE	DI BIASE MARIO & JOAN P		8 SEMINOLE AVE	ARLINGTON MA, 02474
114.0-0001-0009.A	251 MOUNTAIN AVE	ZHANG ZHOUWEI	YANG XIAN	251 MOUNTAIN AVE	ARLINGTON MA, 02474

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Date: December 9, 2025

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Subject Property ID: 100-1-6.C

Search Distance: 300 Feet - Zoning

Parcel ID:	Property Location	Owner 1	Owner 2	MAILING ADDRESS	
				Mailing Address 1	Town, State, Zip
101.0-0007-0006.0	26 TOWER RD	MC SWEENEY ROBERT G--ETAL	MC SWEENEY KATHLEEN M	26 TOWER RD	ARLINGTON MA, 02474
119.0-0005-0005.0	8 MOHAWK RD	SIMONI MICHAEL & COURTNEY		8 MOHAWK RD	ARLINGTON MA, 02474
114.0-0003-0005.A	291 WASHINGTON ST	BELANGER ANDREW W & ALLISON W		291 WASHINGTON ST	ARLINGTON MA, 02474
114.0-0007-0001.0	61 AERIAL ST	WALDON LAURA & EMILY		61 AERIAL ST	ARLINGTON MA, 02474
119.0-0001-0009.B	328 WASHINGTON ST	STILLER PAUL F & LISA K		328 WASHINGTON ST	ARLINGTON MA, 02474
114.0-0003-0004.0	285 WASHINGTON ST	NANNIG GREGORY T	NANNIG KELSEY S	285 WASHINGTON STREET	ARLINGTON MA, 02474
114.0-0006-0002.A	288 WASHINGTON ST	WAICHIGO ROSETTA & MARTIN		288 WASHINGTON ST	ARLINGTON MA, 02474
119.0-0006-0002.0	15 MOHAWK RD	BATTAGLIA MICHAEL P--ETAL	BATTAGLIA ANNABELLA A	15 MOHAWK ROAD	ARLINGTON MA, 02474
114.0-0006-0005.0	54 AERIAL ST	THOMPSON LINDA B--ETAL	THOMPSON DEBORAH L	54 AERIAL ST	ARLINGTON MA, 02474



The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.

Town of Arlington
 Office of the Board of Assessors
 730 Massachusetts Ave • Arlington, MA 02476
 P: 781-316-3050 E: assessors@town.arlington.ma.us



Record No: SP-25-29

Special Use Permit Application (ZBA)

Status: Active

Submitted On: 12/4/2025

Primary Location

307 WASHINGTON ST
Arlington, MA 02474

Owner

BOSTON GAS COMPANY; DBA NATIONAL
GRID; PROPERTY TAX DEPT
170 Data Drive WALTHAM, MA

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)*** ?

Special Permit is required for "Essential Services" uses in the R1 Zoning District pursuant to Table of Use Regulations in Section 5.4.3 of the Zoning Bylaw.

Explain why the requested use is essential or desirable to the public convenience or welfare.*

The existing Take Station is located at 305 Washington Street within a below-grade vault and telecommunications equipment within a 20' x 13' building.

The Take Station has been in operation since the 1950s. A "take station" is a critical component of a natural gas distribution system. Its primary function is to serve as the point where a local gas utility receives high-pressure gas from an interstate transmission pipeline and processes it for safe delivery to consumers.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The proposed take station will continue to be unmanned and closed off to the public. The property will only be accessed by authorized personnel for upkeep and maintenance of the equipment.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The Project will not require connections or tie-ins to any public water, sewer or storm drainage systems or roadway infrastructure. Downstream properties, water courses, channels and conduits will not be affected by stormwater runoff as a result of the Project.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

Please see Statement in Support.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

Please see Statement in Support.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

Please see Statement in Support.

Dimensional and Parking Information

Present Use/Occupancy *

Essential Services

Proposed Use/Occupancy *

Essential Services

Existing Number of Dwelling Units*

0

Proposed Number of Dwelling Units*

0

Existing Gross Floor Area (Sq. Ft.)*

273

Proposed Gross Floor Area (Sq. Ft.)*

1990

Existing Lot Size (Sq. Ft.)*

81734

Proposed Lot Size (Sq. Ft.)* ?

81734

Minimum Lot Size required by Zoning*

6001

Existing Frontage (ft.)*

226

Proposed Frontage (ft.)*

226

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0

Proposed Floor Area Ratio*

0.023

Max. Floor Area Ratio required by Zoning*

0.35

Existing Lot Coverage (%)*

0

Proposed Lot Coverage (%)*

15.1

Max. Lot Coverage required by Zoning*

0

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

0

Minimum Lot Area per Dwelling Unit required by Zoning*

0

Existing Front Yard Depth (ft.)*

0

Proposed Front Yard Depth (ft.)*

116

Minimum Front Yard Depth required by Zoning*

24

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning* ?

0

Existing Left Side Yard Depth (ft.)* ?

0

Proposed Left Side Yard Depth (ft.)* ?

26

Minimum Left Side Yard Depth required by Zoning* ?

10

Existing Right Side Yard Depth (ft.)* ?

0

Proposed Right Side Yard Depth (ft.)* ?

110

Minimum Right Side Yard Depth required by Zoning* ?

10

Existing Rear Yard Depth (ft.)*

0

Proposed Rear Yard Depth (ft.)*

76

Minimum Rear Yard Depth required by Zoning*

20

Existing Height (stories)

0

Proposed Height (stories)*

1

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

0

Proposed Height (ft.)*

10

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

75440

Proposed Landscaped Open Space (Sq. Ft.)*

60564

Existing Landscaped Open Space (% of GFA)*

0

Proposed Landscaped Open Space (% of GFA)*

74

Minimum Landscaped Open Space (% of GFA) required by Zoning*

30

Existing Usable Open Space (Sq. Ft.)*

6083

Proposed Usable Open Space (Sq. Ft.)*

21138

Existing Usable Open Space (% of GFA)* ?

30

Proposed Usable Open Space (% of GFA)* ?

0

Minimum Usable Open Space required by Zoning*

0

Existing Number of Parking Spaces*

0

Proposed Number of Parking Spaces*

0

Minimum Number of Parking Spaces required by Zoning*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

0

Proposed Slope of proposed roof(s) (in. per ft.)*

0

Minimum Slope of Proposed Roof(s) required by Zoning*

0

Existing type of construction*

See plans

Proposed type of construction*

See plans

Open Space Information

Existing Total Lot Area*

81734

Proposed Total Lot Area*

81734

Existing Open Space, Usable*

6083

Proposed Open Space, Usable*

21138

Existing Open Space, Landscaped*

75440

Proposed Open Space, Landscaped*

60564

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

0

Basement or Cellar, Proposed Gross Floor Area

0

1st Floor, Existing Gross Floor Area

0

1st Floor, Proposed Gross Floor Area

—

2nd Floor, Existing Gross Floor Area

0

2nd Floor, Proposed Gross Floor Area

0

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies, Existing
Gross Floor Area

0

All weather habitable porches and balconies,
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

0



Total Proposed Gross Floor Area

0



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



Applicant's Signature*

✓ Joshua Lee Smith, Attorney for
Applicant
Oct 8, 2025



Record No: SP-25-29

Special Use Permit Application (ZBA)

Status: Active

Submitted On: 12/4/2025

Primary Location

307 WASHINGTON ST
Arlington, MA 02474

Owner

BOSTON GAS COMPANY; DBA NATIONAL GRID;
PROPERTY TAX DEPT
170 Data Drive WALTHAM, MA

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district [?](#) for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)****

Special Permit is required for "Essential Services" uses in the R1 Zoning District pursuant to Table of Use Regulations in Section 5.4.3 of the Zoning Bylaw.

Explain why the requested use is essential or desirable to the public convenience or welfare.*

The existing Take Station is located at 305 Washington Street within a below-grade vault and telecommunications equipment within a 20' x 13' building. The Take Station has been in operation since the 1950s. A "take station" is a critical component of a natural gas distribution system. Its primary function is to serve as the point where a local gas utility receives high-pressure gas from an interstate transmission pipeline and processes it for safe delivery to consumers.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The proposed take station will continue to be unmanned and closed off to the public. The property will only be accessed by authorized personnel for upkeep and maintenance of the equipment.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The Project will not require connections or tie-ins to any public water, sewer or storm drainage systems or roadway infrastructure. Downstream properties, water courses, channels and conduits will not be affected by stormwater runoff as a result of the Project.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

Please see Statement in Support.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

Please see Statement in Support.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

Please see Statement in Support.

Dimensional and Parking Information

Present Use/Occupancy *

Essential Services

Proposed Use/Occupancy *

Essential Services

Existing Number of Dwelling Units*

0

Proposed Number of Dwelling Units*

0

Existing Gross Floor Area (Sq. Ft.)*

273

Proposed Gross Floor Area (Sq. Ft.)*

1990

Existing Lot Size (Sq. Ft.)*

82764

Proposed Lot Size (Sq. Ft.)* ?

82764

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

226

Proposed Frontage (ft.)*

226

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0

Proposed Floor Area Ratio*

0.023

Max. Floor Area Ratio required by Zoning*

0.35

Existing Lot Coverage (%)*

0.3

Proposed Lot Coverage (%)*

2

Max. Lot Coverage required by Zoning*

34

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

0

Minimum Lot Area per Dwelling Unit required by Zoning*

0

Existing Front Yard Depth (ft.)*

0

Proposed Front Yard Depth (ft.)*

116

Minimum Front Yard Depth required by Zoning*

24

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning*

0

?

Existing Left Side Yard Depth (ft.)* ?

0

Proposed Left Side Yard Depth (ft.)* ?

26

Minimum Left Side Yard Depth required by Zoning* ?

10

Existing Right Side Yard Depth (ft.)* ?

0

Proposed Right Side Yard Depth (ft.)* ?

110

Minimum Right Side Yard Depth required by Zoning* ?

10

Existing Rear Yard Depth (ft.)*

0

Proposed Rear Yard Depth (ft.)*

76

Minimum Rear Yard Depth required by Zoning*

20

Existing Height (stories)

0

Proposed Height (stories)*

1

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

0

Proposed Height (ft.)*

10

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

8200

Proposed Landscaped Open Space (Sq. Ft.)*

8200

Existing Landscaped Open Space (% of GFA)*

10

Proposed Landscaped Open Space (% of GFA)*

10

Minimum Landscaped Open Space (% of GFA) required by Zoning*

10

Existing Usable Open Space (Sq. Ft.)*

24500

Proposed Usable Open Space (Sq. Ft.)*

24500

Existing Usable Open Space (% of GFA)* ?

30

Proposed Usable Open Space (% of GFA)* ?

30

Minimum Usable Open Space required by Zoning*

32

Existing Number of Parking Spaces*

0

Proposed Number of Parking Spaces*

0

Minimum Number of Parking Spaces required by Zoning*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

0

Proposed Slope of proposed roof(s) (in. per ft.)*

0

Minimum Slope of Proposed Roof(s) required by Zoning*

0

Existing type of construction*

See plans

Proposed type of construction*

See plans

Open Space Information

Existing Total Lot Area*

82764

Proposed Total Lot Area*

82764

Existing Open Space, Usable*

24500

Proposed Open Space, Usable*

24500

Existing Open Space, Landscaped*

8200

Proposed Open Space, Landscaped*

8200

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

0

Basement or Cellar, Proposed Gross Floor Area

0

1st Floor, Existing Gross Floor Area

0

1st Floor, Proposed Gross Floor Area

—

2nd Floor, Existing Gross Floor Area

0

2nd Floor, Proposed Gross Floor Area

0

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies, Existing
Gross Floor Area

0

All weather habitable porches and balconies, Proposed
Gross Floor Area

0

Total Existing Gross Floor Area

0



Total Proposed Gross Floor Area

0



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



Applicant's Signature*

✔ Joshua Lee Smith, Attorney for
Applicant
Oct 8, 2025

nationalgrid

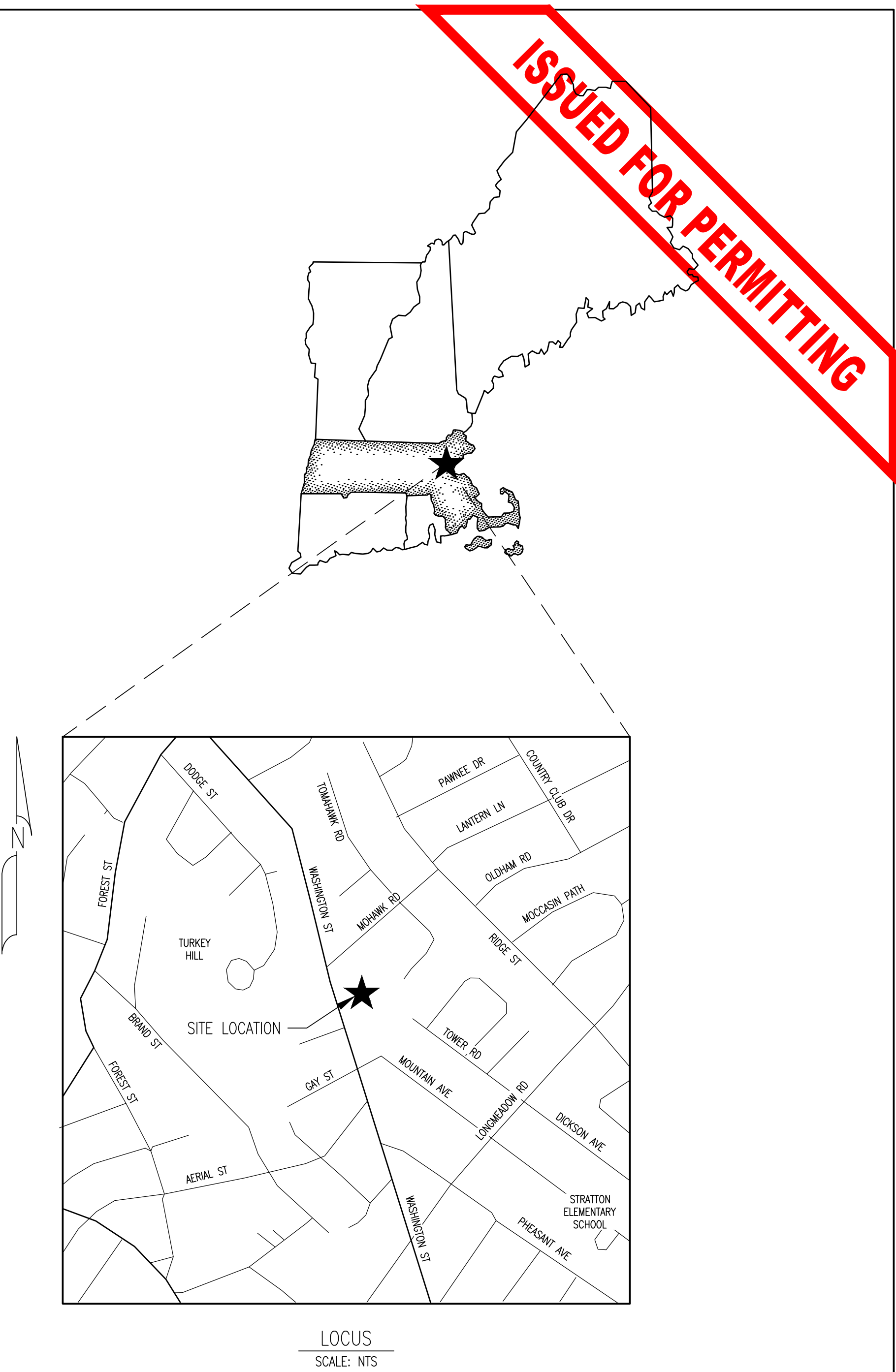
170 DATA DRIVE
WALTHAM, MA 02451

ARLINGTON TAKE STATION 730 PSIG INLET TO 200 PSIG OUTLET

STATION #900
309 WASHINGTON ST
ARLINGTON, MASSACHUSETTS 02474

W/O: # 90000232731

INDEX OF SHEETS		
SHEET	NAME	TITLE
1	T001	COVER SHEET
2	A001	OVERALL EXISTING CONDITIONS
3	A002	EXISTING CONDITIONS
4	A003	EXISTING CONDITIONS – (ENLARGED)
5	A004	TREE PLAN
6	A005	SITE PLAN
7	A006	LIGHTING PLAN
8	A007	LAND USE PLAN
9	A008	LANDSCAPING PLAN
10	P001	PIPING SECTIONS – 1 OF 2
11	P002	PIPING SECTIONS – 2 OF 2
12	C001	STANDARD DETAILS – 1 OF 5
REFERENCE DRAWINGS		
1 OF 7	CJ101	EXISTING CONDITIONS
2 OF 7	C-101	SITE PLAN
3 OF 7	C-102	SITE GRADING PLAN
4 OF 7	C-103	EROSION AND SEDIMENTATION CONTROL PLAN
5 OF 7	C-501	EROSION & SEDIMENTATION CONTROL NOTES AND DETAILS
6 OF 7	C-502	CIVIL DETAILS
7 OF 7	C-503	CIVIL SECTIONS
5	–	HUBBELL KILLARK – "UTILITY LIGHT" ORDERING INFORMATION



**PROCESS
PIPELINE
SERVICES**

4 Broad Street
Plainville, MA 02762
781.829.0524
processpipelineservices.com

ALL FIELD CHANGES
MUST BE APPROVED
BY ENGINEER OF
RECORD PRIOR TO
IMPLEMENTATION

SEAL AND SIGNATURE
Stephen M. Reade
12/03/2025

ISSUED FOR PERMITTING				
ISSUE STATUS	DATE	REVIEWED	CHECKED	APPROVED
PRELIMINARY	08/04/23			
30% SUBMISSION	02/14/25			
60% SUBMISSION	05/09/25			
75% SUBMISSION	–			
90% SUBMISSION	07/11/25			
ISSUED FOR REVIEW	08/29/25			
ISSUED FOR BID	09/30/25			
ISSUED FOR CONSTRUCTION				
AS CONSTRUCTED				
FILE NAME: 5808_T200.DWG		SIZE	NAME	REV
PLOT DATE: 11/25/2025 10:11 AM		22X34	T001	F
		SHEET 1 OF 12		

WORK ORDER: #90000232731

PARCEL 119-6-4.A
JYOTHSNA VISWESWARAAH
7 MOHAWK RD
ARLINGTON, MA 02474
M.S.R.D. 68102-416

EXISTING
PARCEL 100-1-6
0.4 Acres

EXISTING
PARCEL 100-1-6.C
1.9 Acres

LEGEND

- BOUNDARY LINE
- CONTOUR MAJOR
- CONTOUR MINOR
- DRAINAGE
- EASEMENT
- ELECTRIC
- FENCE CHAIN LINK
- FENCE POST
- FENCE STONE
- FENCE STONE/MADE
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- EDGE OF PAVEMENT
- EDGE OF WETLAND
- GAS
- GUARDRAIL
- OVER HEAD WIRES
- OVER HEAD TELEPHONE
- OVER HEAD ELECTRIC
- PROPERTY LINE
- RETAINING WALL
- RIGHT OF WAY
- SEWER
- SILT FENCE
- STONEWALL
- STREAM
- TELEPHONE
- TREELINE
- WATER

ISSUED FOR PERMITTING

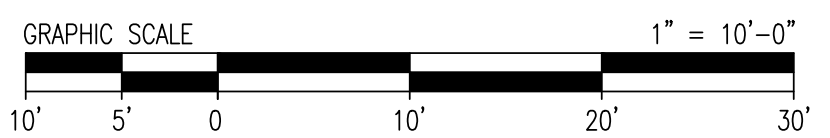
PARCEL 119-6-5
TOWN OF ARLINGTON
730 MASS AVE
ARLINGTON, MA 02476
M.S.R.D. 21947-352

WASHINGTON STREET
(PAVED, 40' WIDE PER REF. PLAN 1)



PRJ MANAGER: MARK D. WOOD
PRJ ENGINEER: STEPHEN M. READE
PRJ NAME: ARLINGTON TAKE STATION
PRJ NUMBER: 5808
PRJ MILESTONE: ISSUED FOR PERMITTING
PRJ PHASE: DESIGN
DESIGNED BY: SMR 09/30/2025
DRAFTED BY: JHM 09/30/2025
QC/M: RFG 09/30/2025
APPROVED BY: MDW 09/30/2025

CLIENT INFORMATION
nationalgrid
170 DATA DRIVE
WALTHAM, MA 02451
DESIGN MANAGER: GLYN WILLIAMS
DESIGN ENGINEER: JEREMY BUTLER
ACTIVATION ORDER:

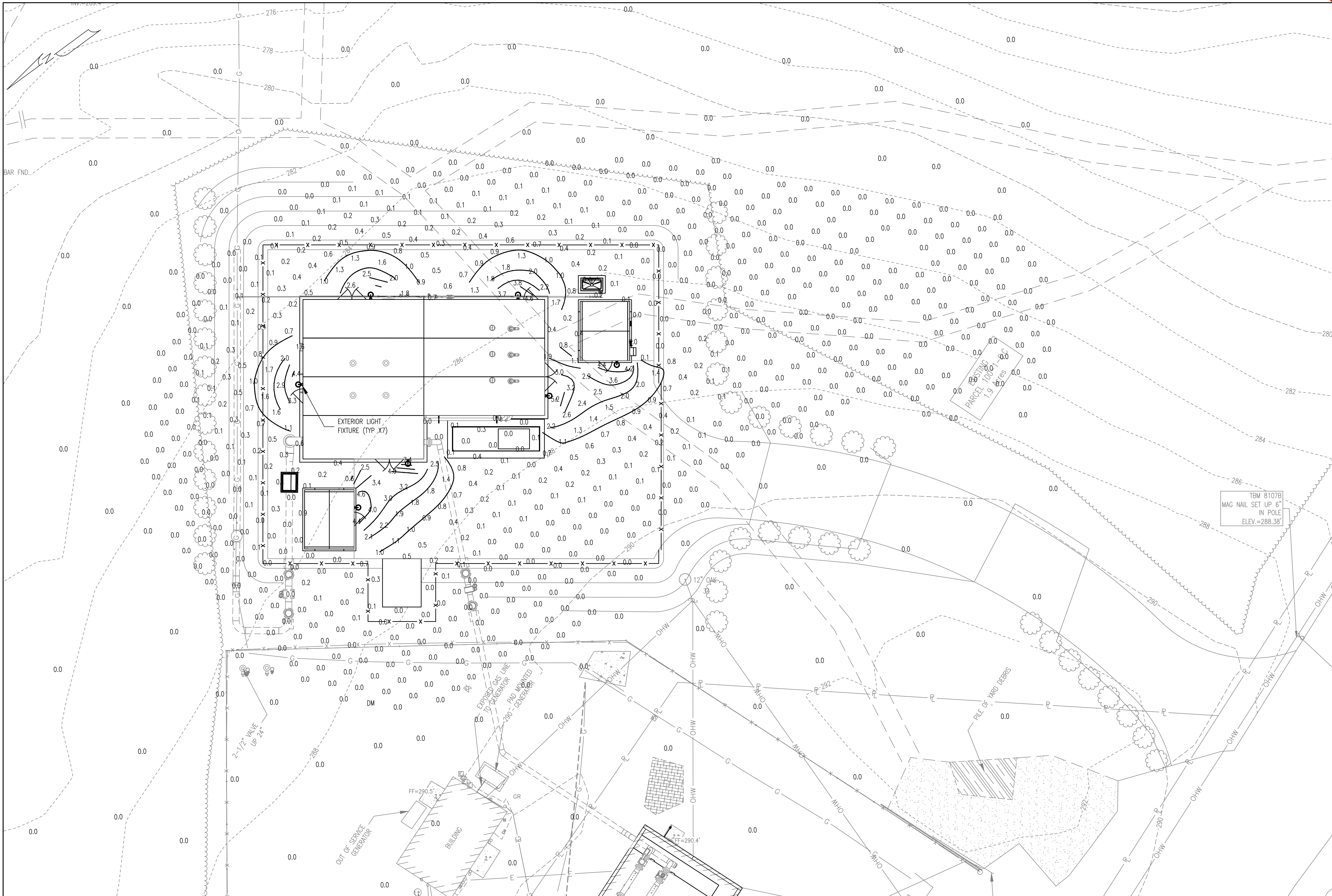


ISSUED FOR PERMITTING

SHEET TITLE
**EXISTING CONDITIONS
(ENLARGED)**
PROJECT NAME
ARLINGTON TAKE STATION
PROJECT LOCATION
309 WASHINGTON STREET, ARLINGTON, MA

PROCESS PIPELINE SERVICES
4 Broad Street
Plainville, MA 02762
781.829.0524
processpipelineservices.com
FILE NAME: 5808_A200.DWG
PLOT DATE: 11/25/2025 10:11 AM
SCALE: 1" = 10'-0"
SIZE: 22X34
NAME: A003
REV: F
SHEET 4 OF 12
WORK ORDER: #90000232731

SURVEY NOTES:
1. EXISTING CONDITIONS ARE BASED ON A PLAN TITLED: EXISTING CONDITIONS
PLAN, PREPARED FOR: PROCESS PIPELINE SERVICES, INC., OF: PARCELS
100-1-6 & 100-1-6C, WASHINGTON STREET, ARLINGTON,
MASSACHUSETTS, DATED: AUGUST 25, 2023; SCALE: 1 INCH = 20 FT;
PREPARED BY: DOUCET SURVEY LLC.



LEGEND	
EXISTING	PROPOSED
--- BOUNDARY LINE	--- XXX
--- CONTOUR MAJOR	---
--- CONTOUR MINOR	---
--- DRAINAGE	---
--- EASEMENT	---
--- ELEVATION	---
--- FENCE CHAIN LINK	--- X
--- FENCE POST	--- O
--- FENCE STOCK PILE	---
--- EDGE OF GRAVEL	---
--- EDGE OF PAVEMENT	---
--- EDGE OF RIVER	---
--- EDGE OF WETLAND	---
--- GAS	---
--- GUARDRAIL	---
--- OHW	--- OHW
--- OHT	--- OHT
--- OHE	--- OHE
--- PROPERTY LINE	---
--- RETAINING WALL	---
--- ROW	--- ROW
--- S	--- S
--- SF	--- SF
--- STONEWALL	---
--- STREAM	---
--- TELEPHONE	--- T
--- TREELINE	---
--- WATER	--- W

LIGHTING LEGEND

EXTERIOR LIGHT FIXTURE



LIGHT FIXTURES TO BE MOTION SENSING
AND WILL NOT BE ALWAYS ON.

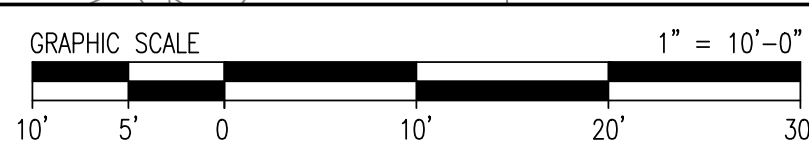
SURVEY NOTES:
1. EXISTING CONDITIONS ARE BASED ON A PLAN TITLED: EXISTING CONDITIONS
PLAN, PREPARED FOR: PROCESS PIPELINE SERVICES, INC., OF: PARCELS
100-1-6 & 100-1-6C, WASHINGTON STREET, ARLINGTON,
MASSACHUSETTS, DATED: AUGUST 25, 2023; SCALE: 1 INCH = 20 FT;
PREPARED BY: DOUCET SURVEY LLC.

REV	BY	DATE	DESCRIPTION



PRJ MANAGER: MARK D. WOOD	CLIENT INFORMATION
PRJ ENGINEER: STEPHEN M. READE	
PRJ NAME: ARLINGTON TAKE STATION	
PRJ NUMBER: 5808	
PRJ MILESTONE: ISSUED FOR PERMITTING	
PRJ PHASE: DESIGN	
DESIGNED BY: SMR	09/30/2025
DRAFTED BY: JHM	09/30/2025
QC/M: RPG	09/30/2025
APPROVED BY: MDW	09/30/2025

DESIGN MANAGER: GLYN WILLIAMS	REVIEWED BY:
DESIGN ENGINEER: JEREMY BUTLER	CHECKED BY:
ACTIVATION ORDER:	APPROVED BY:



ISSUED FOR PERMITTING

SHEET TITLE	LIGHTING PLAN
PROJECT NAME	ARLINGTON TAKE STATION
PROJECT LOCATION	309 WASHINGTON STREET, ARLINGTON, MA

FILE NAME: 5808_A200.DWG	SIZE: 22X34	NAME: A006	REV: F
PLOT DATE: 11/25/2025 10:11 AM	SHEET 7 OF 12		
SCALE: 1" = 10'-0"	WORK ORDER: #90000232731		

6" MIN 1/2"-3/4" CRUSHED STONE (TYP)

FINISH GRADE

9'-11 1/2"

10'-0"

CORRUGATED TUBE

2" HEX UNION

GENERATOR NOT SHOWN IN FULL FOR CLARITY

11'-5"

25'-0"

50'-0"

25'-0"

8'-0"

10'-6"

3'-5"

13'-11"


LEGEND

WATER GLYCOL COLD

FUEL GAS

WATER GLYCOL HOT

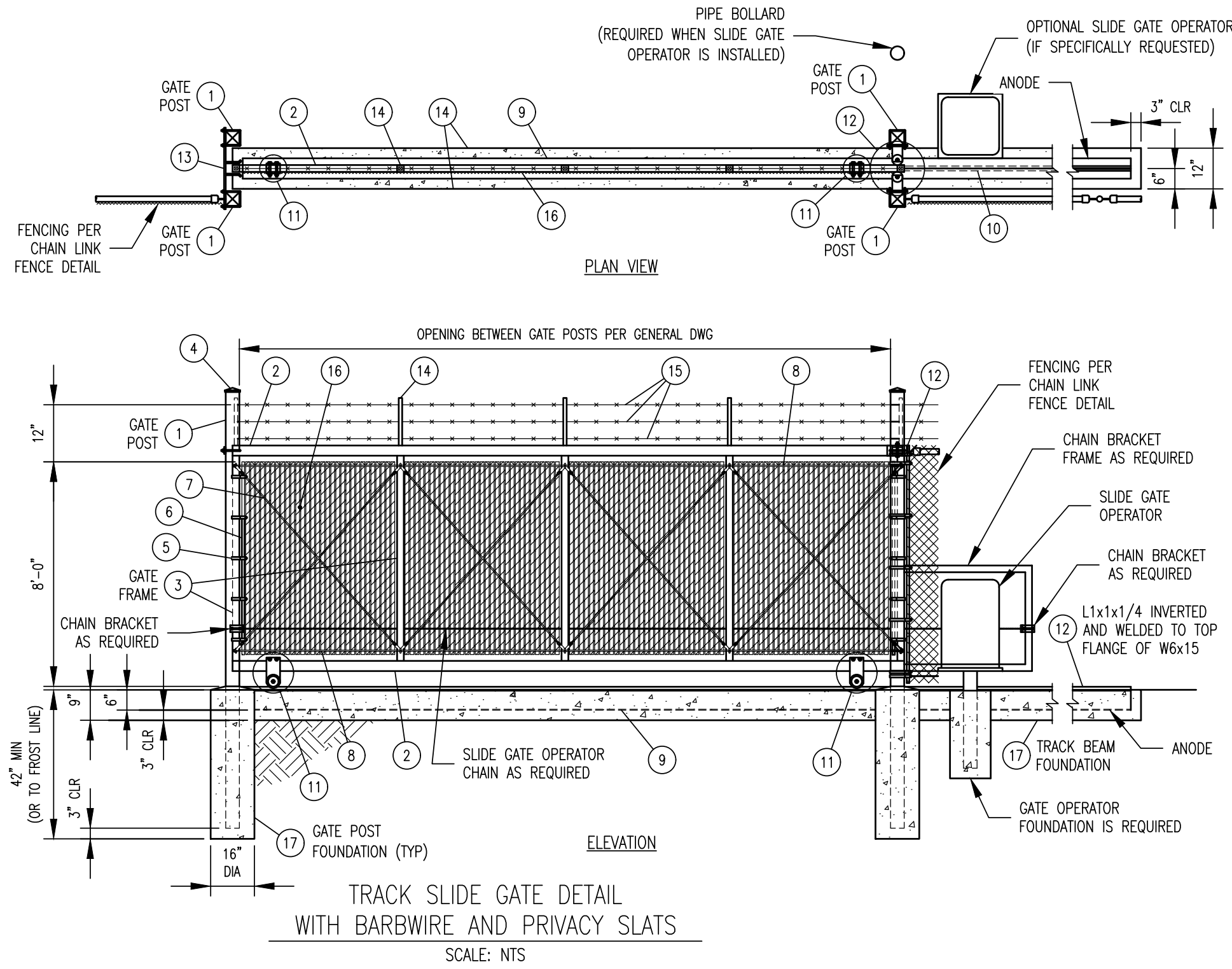
Stephen M. Reade

CLIENT INFORMATION			
			
170 DATA DRIVE WALTHAM, MA 02451			
DESIGN MANAGER: GLYN WILLIAMS	REVIEWED BY:		
DESIGN ENGINEER: JEREMY BUTLER	CHECKED BY:		
ACTIVATION ORDER:	APPROVED BY:		

ISSUED FOR PERMITTING

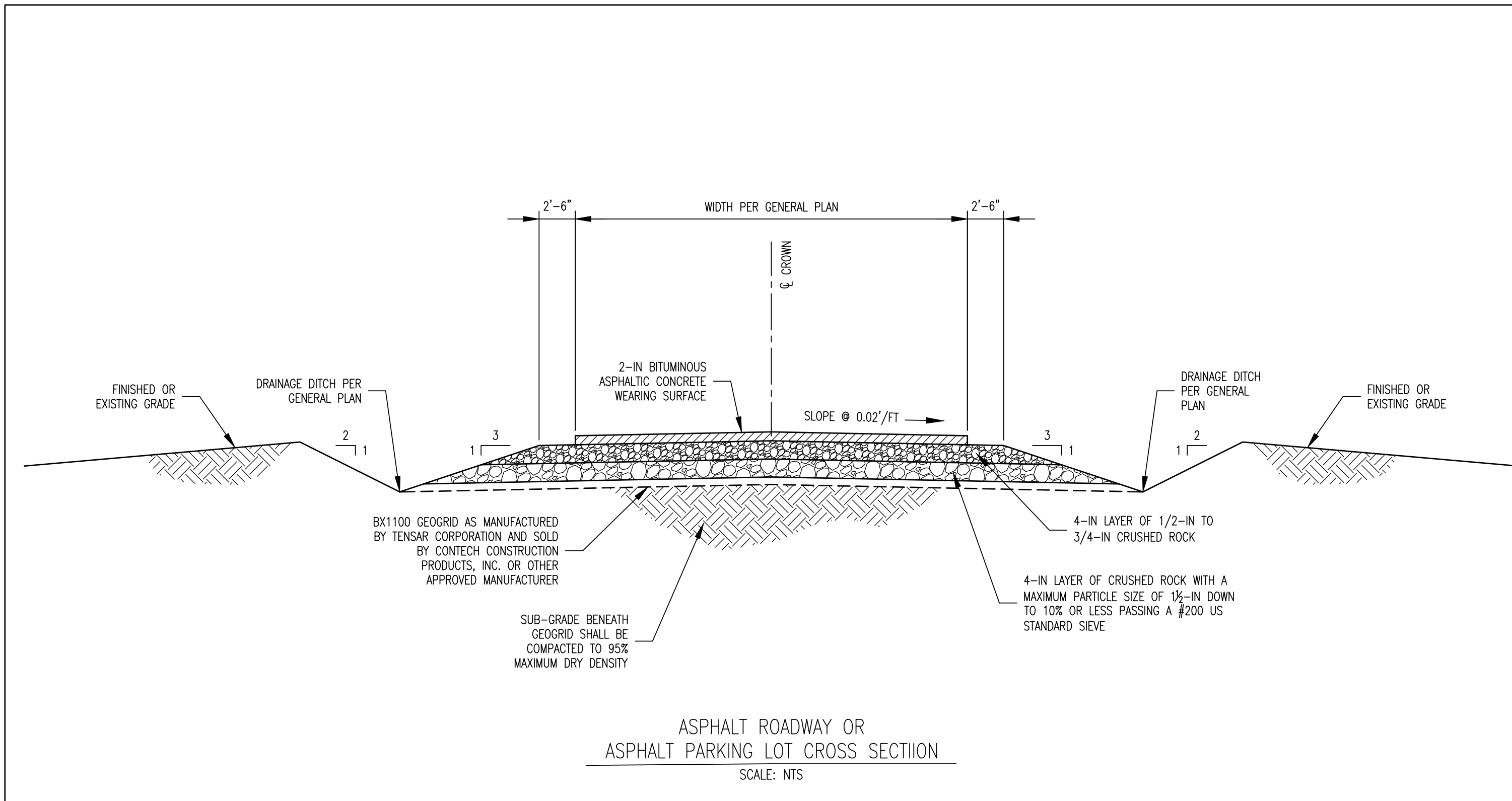
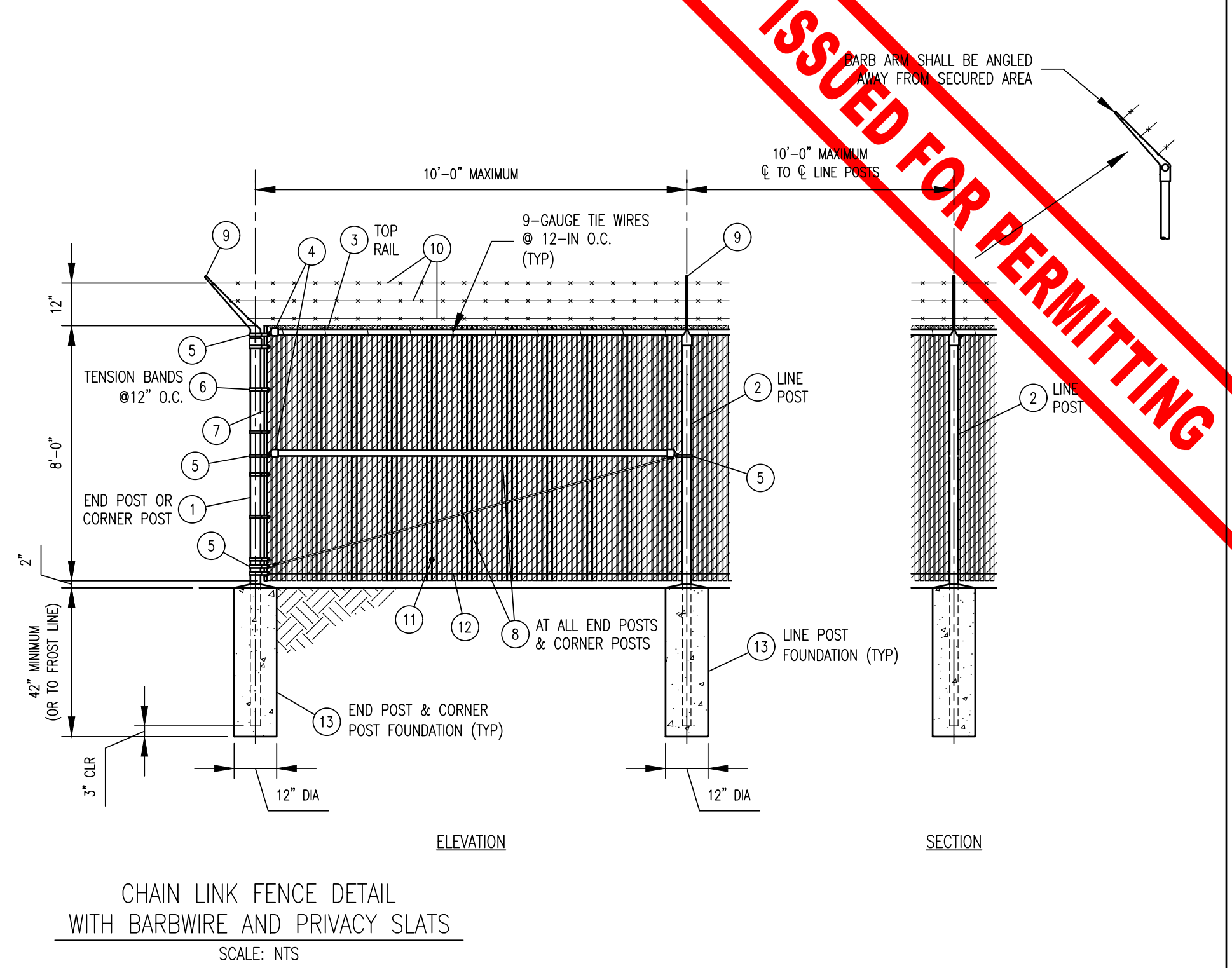
BILL OF MATERIALS	
ITEM	DESCRIPTION
1	4"x4"x.120"W GALVANIZED STEEL SQUARE TUBING OR APPROVED EQUAL
2	3"x2"x.120"W GALVANIZED STEEL RECTANGULAR TUBING OR APPROVED EQUAL
3	2"x2"x.120"W GALVANIZED STEEL SQUARE TUBING OR APPROVED EQUAL
4	GALVANIZED STEEL POST CAP OR APPROVED EQUAL
5	GALVANIZED STEEL TENSION BAND
6	GALVANIZED STEEL TENSION BAR
7	DOUBLE TRUSS ROD ASSEMBLY
	(FOUR) GALVANIZED STEEL TRUSS TIGHTENERS
	(TWO) 3/8" GALVANIZED STEEL TRUSS RODS
8	3/8" GALVANIZED STEEL TRUSS ROD
9	W6x15 GALVANIZED STEEL BEAM OR APPROVED EQUAL
10	L1x1x3/4 GALVANIZED STEEL ANGLE INVERTED AND WELDED TO THE TOP FLANGE OF THE W6 TRACK BEAM
11	TRACK WHEEL ASSEMBLY
	GALVANIZED STEEL V-GROOVE WHEEL WITH STAINLESS PRECISION ROLLER BEARINGS
12	GUIDE ROLLER ASSEMBLY
	BLACK POLY GUIDE ROLLER
	STAINLESS STEEL AND ALUMINUM COMPONENTS
13	GUIDE YOKE AND LATCH ASSEMBLY
14	1"x1"x.120"W GALVANIZED STEEL SQUARE TUBING BARB ARM OR APPROVED EQUAL
15	12-1/2-GAUGE GALVANIZED STEEL 4-POINT BARBED WIRE
16	9-GAUGE, ASTM-392, CLASS I, 2" MESH GALVANIZED CHAIN LINK FABRIC
17	ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI

- NOTES:
- CONTRACTOR SHALL SUBMIT DETAIL MATERIAL SPECIFICATIONS FOR APPROVAL.
 - DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL STEEL ANGLE, BAR, CHANNEL, FLATS, PLATE AND PIPE SHALL BE ASTM A36 HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A123 UNLESS NOTED OTHERWISE.
 - ALL WELDING SHALL CONFORM TO AWS D1.1.
 - ALL GALVANIZED SURFACES DAMAGED DURING CONSTRUCTION SHALL BE COATED WITH AN APPROVED COLD ZINC COMPOUND. REMOVE ALL SCALE & FOREIGN MATTER FROM THE SURFACE BEFORE APPLYING THE ZINC COMPOUND.
 - GATE POST FOOTING SIZES ARE THE RECOMMENDED MINIMUM AND SHOULD BE REDESIGNED FOR POOR SOIL CONDITIONS.
 - PRIVACY SLATS SHALL BE INSTALLED TO PROVIDE A TIGHT FIT IN FENCE FABRIC AND PROVIDE A 98% (APPROX) PRIVACY. THE SLATS SHALL BE PROVIDED IN FOREST GREEN COLOR. PRIVACY SLATS SHALL BE MANUFACTURED AND INSTALLED PER ASTM F3000/F3000M.
 - CONTRACTOR TO SUPPLY AND INSTALL ALL MATERIALS UNLESS NOTED OTHERWISE.



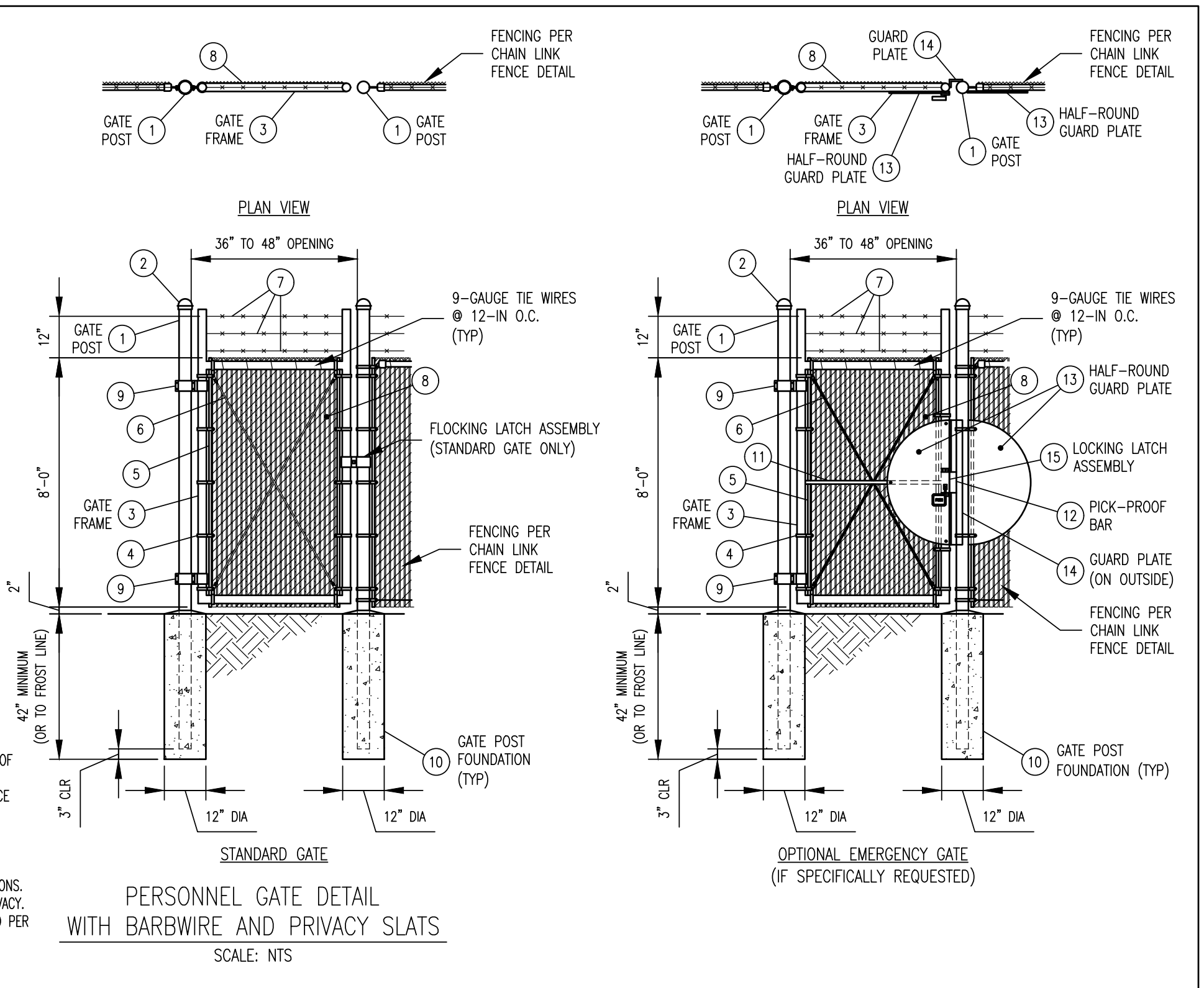
BILL OF MATERIALS	
ITEM	DESCRIPTION
1	2-1/2" SCH 40 GALVANIZED STEEL PIPE
2	2" SCH 40 GALVANIZED STEEL PIPE
3	1-1/4" SCH 40 GALVANIZED STEEL PIPE
4	1-1/4" GALVANIZED STEEL RAIL END CAP
5	GALVANIZED STEEL BRACE BAND
6	GALVANIZED STEEL TENSION BAND
7	GALVANIZED STEEL TENSION BAR
8	BRACE RAIL & TRUSS ASSEMBLY
	1-1/4" SCH 40 GALVANIZED STEEL PIPE
	GALVANIZED STEEL TRUSS TIGHTENERS
	5/16" DIA GALVANIZED STEEL TRUSS ROD
9	3-WIRE 45 GALVANIZED STEEL BARB ARM
10	12-1/2 GAUGE GALVANIZED STEEL 4-POINT BARBED WIRE
11	9-GAUGE, ASTM-392, CLASS I, 2" MESH, GALVANIZED CHAIN LINK FABRIC
12	7-GAUGE GALVANIZED STEEL TENSION WIRE
13	ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI

- NOTES:
- DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL STEEL ANGLE, BAR, CHANNEL, FLATS, PLATE AND PIPE SHALL BE ASTM A36 HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A123 UNLESS NOTED OTHERWISE.
 - ALL WELDING SHALL CONFORM TO AWS D1.1.
 - ALL GALVANIZED SURFACES DAMAGED DURING CONSTRUCTION SHALL BE COATED WITH AN APPROVED COLD ZINC COMPOUND. REMOVE ALL SCALE & FOREIGN MATTER FROM THE SURFACE BEFORE APPLYING THE ZINC COMPOUND.
 - GATE POST FOOTING SIZES ARE THE RECOMMENDED MINIMUM AND SHOULD BE REDESIGNED FOR POOR SOIL CONDITIONS.
 - PRIVACY SLATS SHALL BE INSTALLED TO PROVIDE A TIGHT FIT IN FENCE FABRIC AND PROVIDE A 98% (APPROX) PRIVACY. THE SLATS SHALL BE PROVIDED IN FOREST GREEN COLOR. PRIVACY SLATS SHALL BE MANUFACTURED AND INSTALLED PER ASTM F3000/F3000M.
 - CONTRACTOR TO SUPPLY AND INSTALL ALL MATERIALS UNLESS NOTED OTHERWISE.



BILL OF MATERIALS	
ITEM	DESCRIPTION
1	SCH 40 GALVANIZED STEEL GATE POST, OR APPROVED EQUAL
2	GALVANIZED STEEL POST CAP
3	GALVANIZED STEEL GATE FRAME
4	GALVANIZED STEEL TENSION BAND
5	GALVANIZED STEEL TENSION BAR
6	DOUBLE TRUSS ROD ASSEMBLY
	(FOUR) GALVANIZED STEEL TRUSS TIGHTENERS
	(TWO) 3/8" GALVANIZED STEEL TRUSS RODS
7	12-1/2" GAUGE GALVANIZED STEEL 4-POINT BARBED WIRE
8	9-GAUGE, ASTM-392, CLASS I, 2" MESH, GALVANIZED CHAIN LINK FABRIC
9	INDUSTRIAL HINGE ASSEMBLY
10	ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 300 PSI
BILL OF MATERIALS FOR EMERGENCY GATE ONLY	
11	GALVANIZED STEEL CENTER BRACE
12	PICK-PROOF BAR
13	1/8" THICK GALVANIZED STEEL PL WITH 18" RADIUS BOLTED TO GATE FRAME WITH 1/4" STAINLESS STEEL BUTTON HEAD ALLEN BOLTS
14	18" LONG GALVANIZED STEEL PL OR ANGLE WELDED TO THE OUTSIDE OF THE VERTICAL GATE FRAME SO THAT IT OVERLAPS THE ADJACENT GATE POST WHEN GATE IS IN THE CLOSED POSITION TO PREVENT INTRUSION OR ACCESS TO LATCH ASSEMBLY BETWEEN THE FRAME AND POST
15	LOCKING LATCH ASSEMBLY
	CAST ALUMINUM BODY
	CAST ALUMINUM PADDLE
	BRONZE AND STAINLESS INTERNALS (OR APPROVED EQUAL)

- NOTES:
- DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL STEEL ANGLE, BAR, CHANNEL, FLATS, PLATE AND PIPE SHALL BE ASTM A36 HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A123 UNLESS NOTED OTHERWISE.
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 - GATE POST FOOTING SIZES ARE THE RECOMMENDED MINIMUM AND SHOULD BE REDESIGNED FOR POOR SOIL CONDITIONS.
 - PRIVACY SLATS SHALL BE INSTALLED TO PROVIDE A TIGHT FIT IN FENCE FABRIC AND PROVIDE A 98% (APPROX) PRIVACY. THE SLATS SHALL BE PROVIDED IN FOREST GREEN COLOR. PRIVACY SLATS SHALL BE MANUFACTURED AND INSTALLED PER ASTM F3000/F3000M.
 - CONTRACTOR TO SUPPLY AND INSTALL ALL MATERIALS UNLESS NOTED OTHERWISE.



REV	BY	DATE	DESCRIPTION



PRJ MANAGER: MARK D. WOOD	PRJ ENGINEER: STEPHEN M. READE
PRJ NAME: ARLINGTON TAKE STATION	PRJ NUMBER: 5808
PRJ MILESTONE: ISSUED FOR PERMITTING	PRJ PHASE: DESIGN
DESIGNED BY: SMR	09/30/2025
DRAFTED BY: JHM	09/30/2025
QC/M: RFG	09/30/2025
APPROVED BY: MDW	09/30/2025

CLIENT INFORMATION	
nationalgrid	
170 DATA DRIVE WALTHAM, MA 02451	
DESIGN MANAGER: GLYN WILLIAMS	REVIEWED BY:
DESIGN ENGINEER: JEREMY BUTLER	CHECKED BY:
ACTIVATION ORDER:	APPROVED BY:

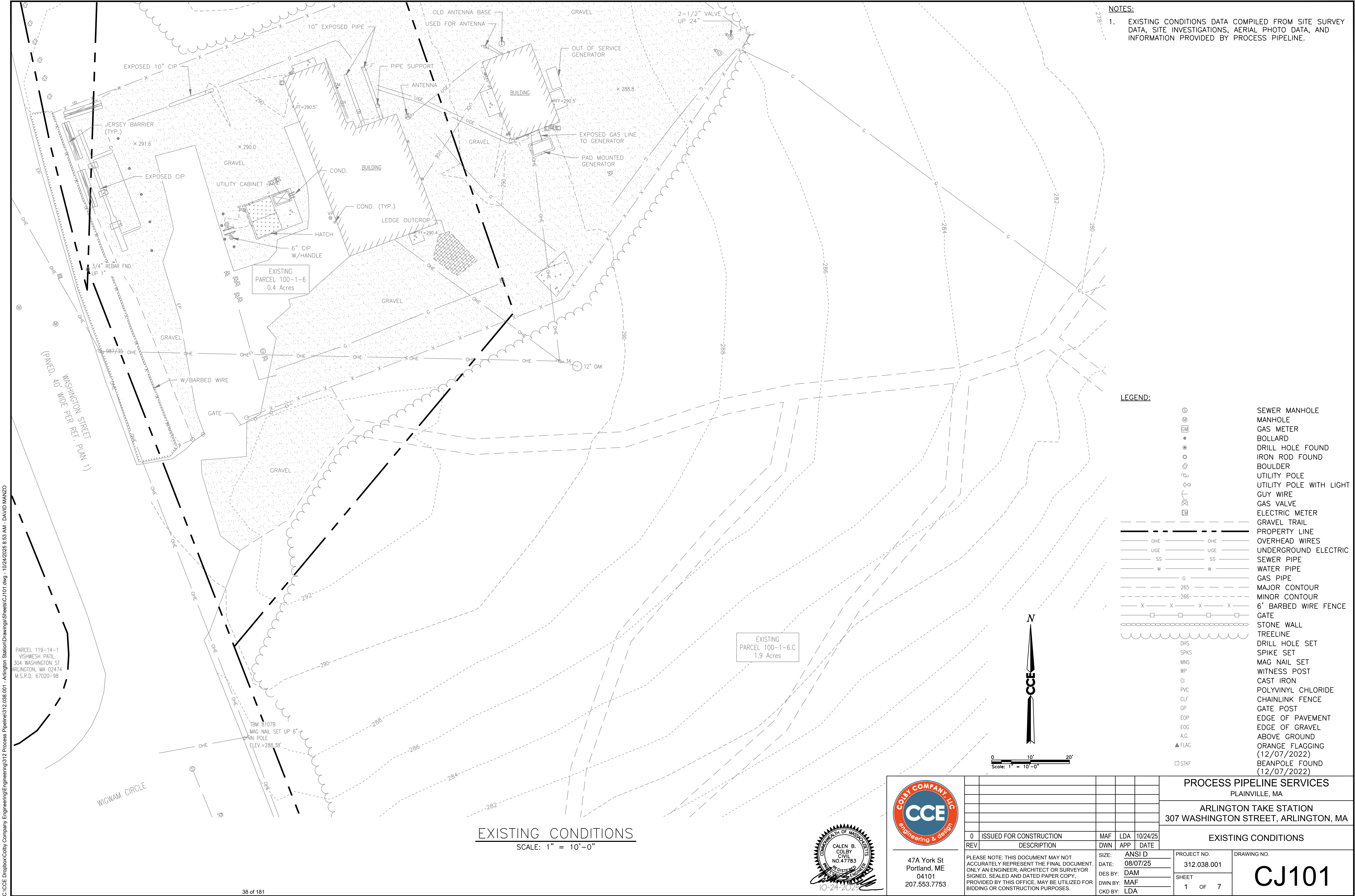
SHEET TITLE	
STANDARD DETAILS	
PROJECT NAME	ARLINGTON TAKE STATION
PROJECT LOCATION	309 WASHINGTON STREET, ARLINGTON, MA

FILE NAME: 5808_T200.DWG	
PLOT DATE: 11/25/2025 10:11 AM	SCALE: N/A

PROCESS PIPELINE SERVICES	
4 Broad Street Plymouth, MA 02762 781.829.0524 processpipeline@processpipeline.com	FILE NAME: 5808_T200.DWG
SIZE: 22X34	NAME: C001
REV: F	REVISION: 12 OF 12

WORK ORDER: #9000232731

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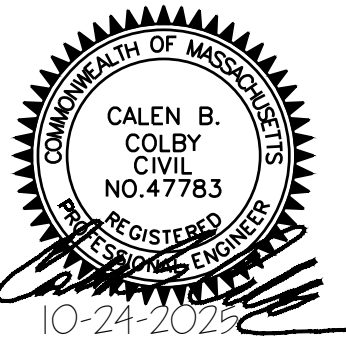
NOTES:
1. EXISTING CONDITIONS DATA COMPILED FROM SITE SURVEY DATA, SITE INVESTIGATIONS, AERIAL PHOTO DATA, AND INFORMATION PROVIDED BY PROCESS PIPELINE.

- LEGEND:
- SEWER MANHOLE
 - MANHOLE
 - GAS METER
 - BOLLARD
 - DRILL HOLE FOUND
 - IRON ROD FOUND
 - BOULDER
 - UTILITY POLE
 - UTILITY POLE WITH LIGHT
 - GUY WIRE
 - GAS VALVE
 - ELECTRIC METER
 - GRAVEL TRAIL
 - PROPERTY LINE
 - OVERHEAD WIRES
 - UNDERGROUND ELECTRIC
 - SEWER PIPE
 - WATER PIPE
 - GAS PIPE
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - 6' BARBED WIRE FENCE
 - GATE
 - STONE WALL
 - TREELINE
 - DRILL HOLE SET
 - SPIKE SET
 - MAG NAIL SET
 - WITNESS POST
 - CAST IRON
 - POLYVINYL CHLORIDE
 - CHAINLINK FENCE
 - GATE POST
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - ABOVE GROUND
 - ORANGE FLAGGING (12/07/2022)
 - BEANPOLE FOUND (12/07/2022)
- Scale: 1" = 10'-0"

EXISTING CONDITIONS
SCALE: 1" = 10'-0"



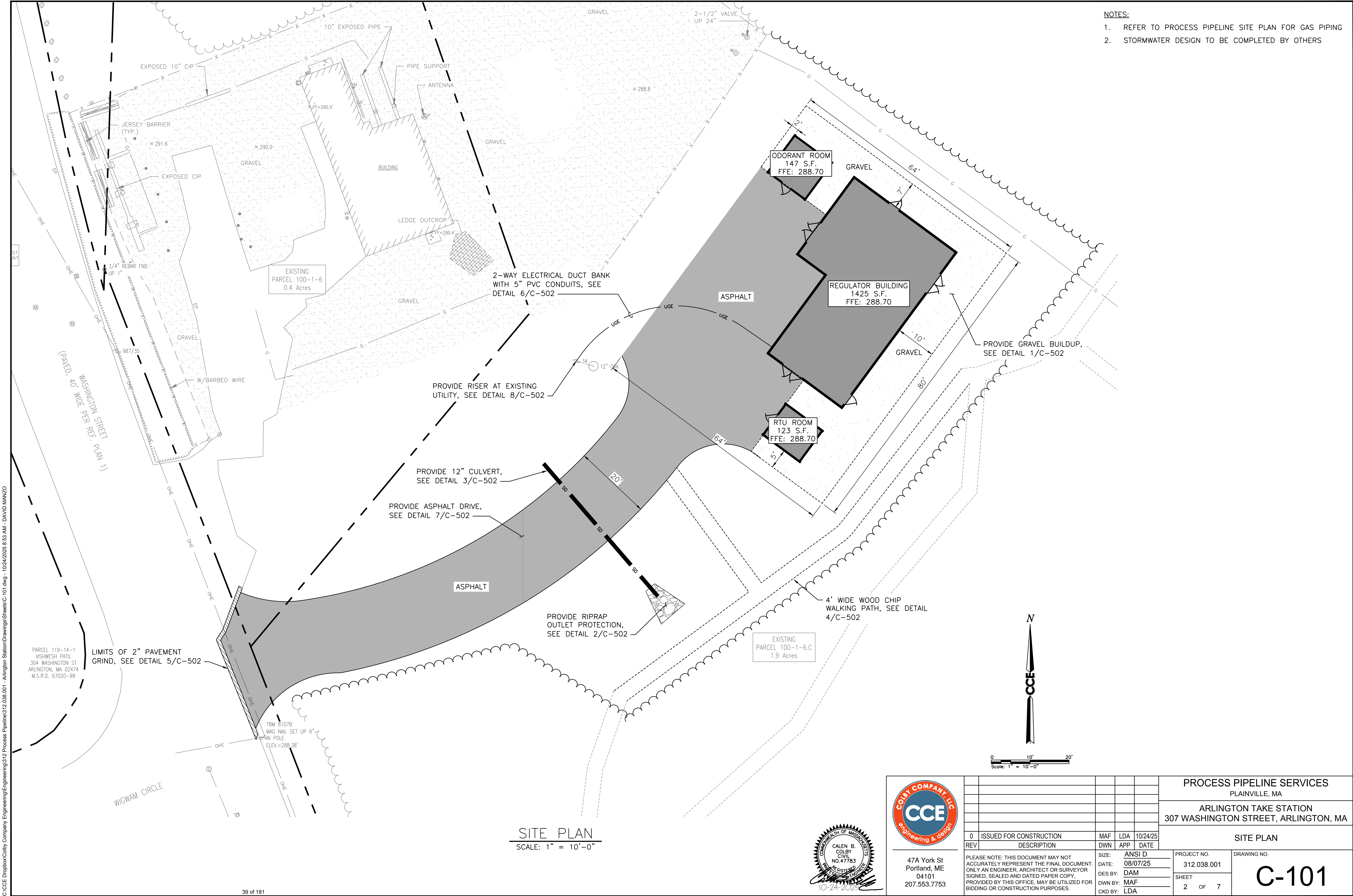
47A York St
Portland, ME
04101
207.553.7753



0	ISSUED FOR CONSTRUCTION	MAF	LDA	10/24/25
REV	DESCRIPTION	DWN	APP	DATE
SIZE: ANSI D		DATE: 08/07/25		
DES BY: DAM		DWN BY: MAF		
CKD BY: LDA				

PROCESS PIPELINE SERVICES PLAINVILLE, MA			
ARLINGTON TAKE STATION 307 WASHINGTON STREET, ARLINGTON, MA			
EXISTING CONDITIONS			
PROJECT NO. 312.038.001	DRAWING NO. CJ101		
SHEET 1 OF 7			

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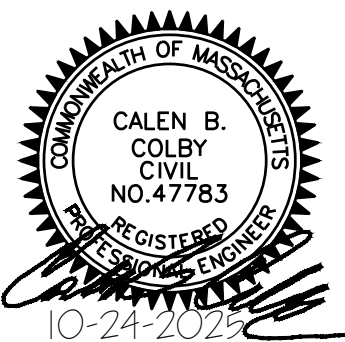


- NOTES:
- REFER TO PROCESS PIPELINE SITE PLAN FOR GAS PIPING
 - STORMWATER DESIGN TO BE COMPLETED BY OTHERS

SITE PLAN
SCALE: 1" = 10'-0"

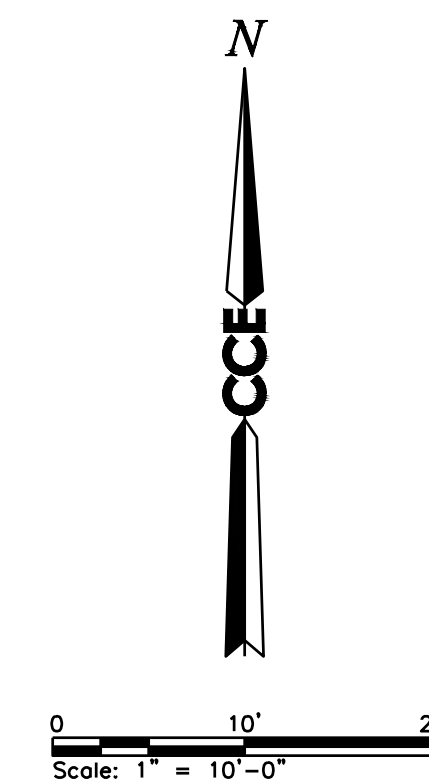


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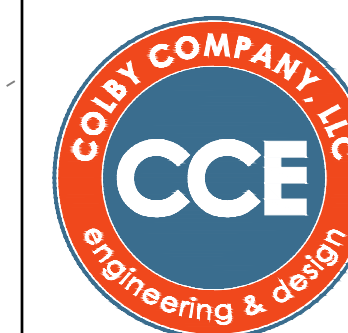
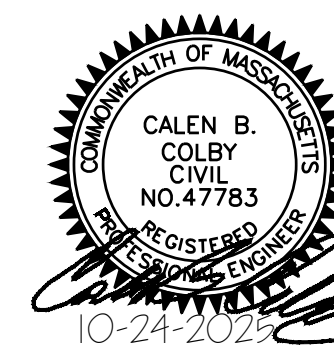


PROCESS PIPELINE SERVICES PLAINVILLE, MA				ARLINGTON TAKE STATION 307 WASHINGTON STREET, ARLINGTON, MA			
SITE PLAN				PROJECT NO. 312.038.001			
DRAWING NO. C-101				SHEET 2 OF 7			
0	ISSUED FOR CONSTRUCTION	MAF	LDA	10/24/25	SIZE: ANSI D		
REV	DESCRIPTION	DWN	APP	DATE	DATE: 08/07/25		
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					DWN BY: MAF		
					CKD BY: LDA		

1. STORMWATER DESIGN TO BE COMPLETED BY OTHERS



SCALE: 1" = 10'-0"

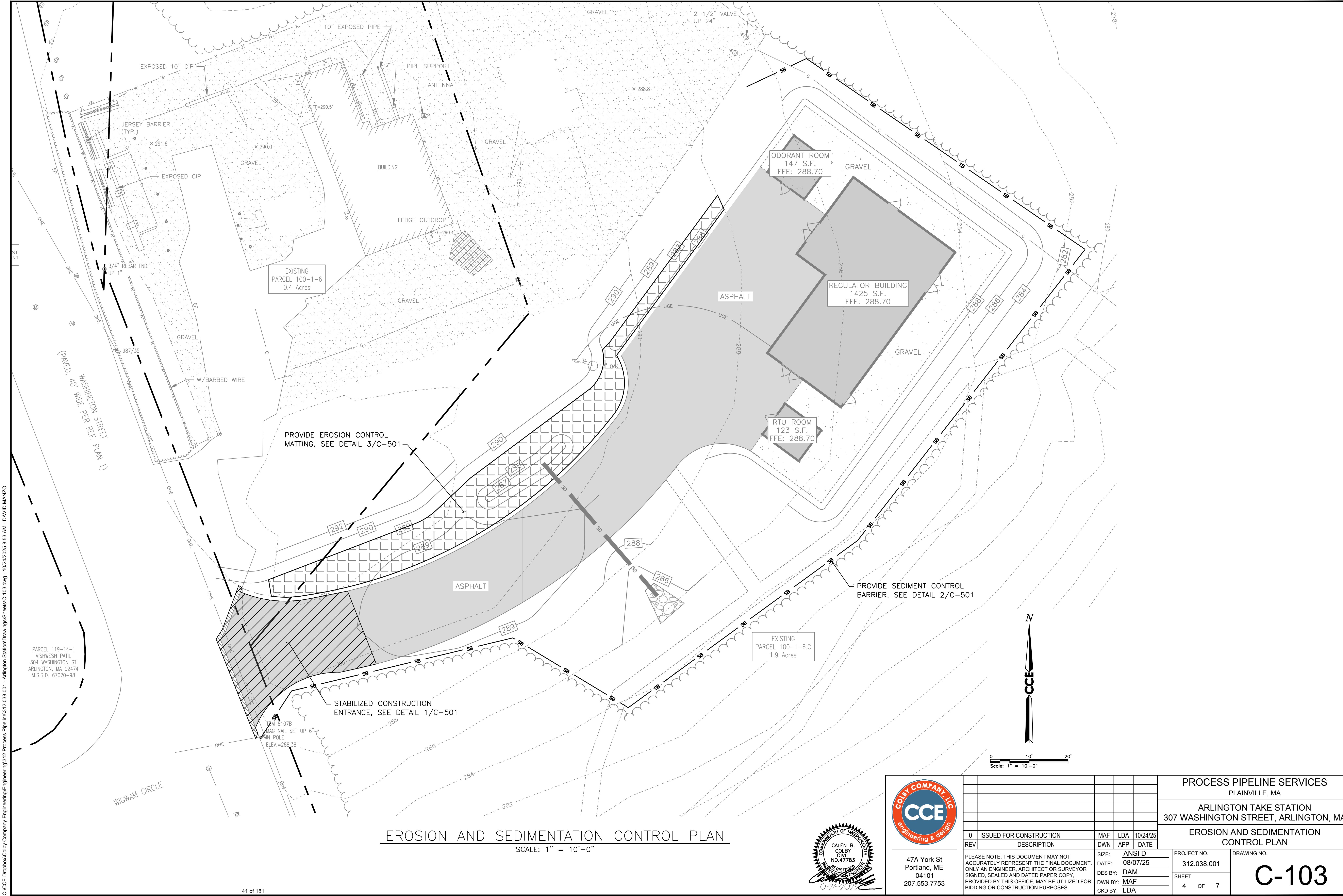


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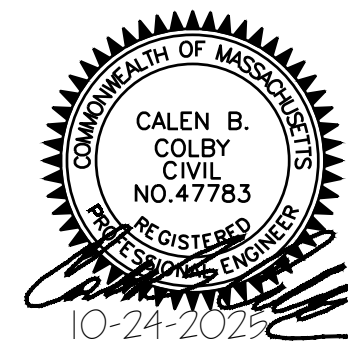
						PROCESS PIPELINE SERVICES PLAINVILLE, MA			
						ARLINGTON TAKE STATION 307 WASHINGTON STREET, ARLINGTON, MA			
						SITE GRADING PLAN			
0	ISSUED FOR CONSTRUCTION	MAF	LDA	10/24/25					
REV	DESCRIPTION	DWN	APP	DATE					
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					DATE: 08/07/25	312.038.001	C-102		
					DES BY: DAM	SHEET 3 OF 7			
					DWN BY: MAF				
					CKD BY: LDA				

C-102

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EROSION AND SEDIMENTATION CONTROL PLAN
SCALE: 1" = 10'-0"



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207.553.7753

0	ISSUED FOR CONSTRUCTION	MAF	LDA	10/24/25
REV	DESCRIPTION	DWN	APP	DATE
PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.				
SIZE:	ANSI D	DATE:	08/07/25	
DES BY:	DAM	DWN BY:	MAF	
CKD BY:	LDA			

PROCESS PIPELINE SERVICES PLAINVILLE, MA			
ARLINGTON TAKE STATION 307 WASHINGTON STREET, ARLINGTON, MA			
EROSION AND SEDIMENTATION CONTROL PLAN			
PROJECT NO.	312.038.001	DRAWING NO.	C-103
SHEET	4 OF 7		

EROSION CONTROL DEVICES OR PROCESSES:

1. SITE ENTRANCE MAT

A SITE ENTRANCE MAT WILL BE ESTABLISHED AT THE ENTRANCE OFF PAGE STREET. IT WILL CONSIST OF A 75 FOOT LONG, 6 INCH THICK LAYER OF 2"-3" CRUSHED STONE. THE CRUSHED STONE WILL BE REFRESHED AS NECESSARY.

2. SEDIMENT CONTROL BARRIER

THE SEDIMENT CONTROL BARRIER WILL CONSIST OF AN APPROVED SILT SOCK OR SILTATION FABRIC FENCING INSTALLED ON POSTS ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AND BACKED BY STAKED STRAW BALES WHERE APPROPRIATE. THE FILTER FABRIC AND STRAW BALES WILL BE PLACED IN A MANNER THAT PREVENTS THE PASSAGE OF SOIL MATERIALS UNDER, AROUND OR OVER THE FENCING. SEDIMENT WILL BE REMOVED FROM AGAINST THE BARRIER WHEN THE ACCUMULATED SEDIMENT HAS REACHED ONE THIRD OF THE ORIGINAL INSTALLED HEIGHT OF THE BARRIER.

3. HAY/STRAW BALE DIVERSION DIKE

HAY BALES WILL BE PLACED IN OTHER LOCATIONS ON THE SITE IN ORDER TO FURTHER PREVENT THE FLOW OF SEDIMENT FROM THE SITE OR REDUCE THE VELOCITY OF RUNOFF CROSSING OPEN LAND OR RUNNING OFF STOCKPILE OR FILL AREAS. HAY/STRAW BALE DIVERSION DIKES WILL ALSO BE PLACED WITHIN DEVELOPING RILLS TO REDUCE SURFACE RUNOFF VELOCITIES AND TO SHIFT THE PATH OF THE WATER FLOW. THE LOCATIONS WHERE HAY/STRAW BALE DIVERSION DIKES ARE INSTALLED WILL BE DETERMINED IN THE FIELD AT THE INSPECTOR'S DISCRETION.

4. SLOPE STABILIZATION

SLOPES OR SURFACES THAT ARE CREATED DUE TO EXCAVATION OR FILLING ALONG THE EDGE OF THE PARKING OR LOADING AREAS WILL BE STABILIZED WITH ONE OR MORE OF THE FOLLOWING:

- HAY OR STRAW MULCH WITH TACKIFIER
- SOFT WOOD AND HARD WOOD CHIPS.
- IN AREAS THAT WILL BE STEEPER THAN 2:1 AFTER CONSTRUCTION, THE SLOPE WILL BE STABILIZED BY THE PLACEMENT OF HEAVY RIPRAP OR BY THE INSTALLATION OF EROSION CONTROL MATTING SPECIFICALLY RATED BY THE MANUFACTURER FOR USE ON A 1:1 SLOPE. THE RIPRAP SLOPE TO BE PLACED WILL BE FORMED BY PLACING HEAVY STONE ON A ONE FOOT THICK LAYER OF GRAVEL. WHERE WATER FLOW FROM RUNOFF OR GROUNDWATER BREAKOUT IS A SIGNIFICANT CONCERN, AN APPROVED FILTER FABRIC WILL BE PLACED OVER THE GRAVEL LAYER.

PERMANENT STABILIZATION OF SLOPES AND SURFACES WILL EMPLOY ONE OR MORE OF THE FOLLOWING:

- LOAM AND GRASS
- SOD
- RIPRAP
- TURF REINFORCEMENT MATTING AND VEGETATION
- A COMBINATION OF GRASSES, RIPRAP AND/OR PLANTS AND SHRUBBERY

5. DIVERSION SWALE

RUNOFF DIVERSION SWALES MAYL BE PROVIDED IN ORDER TO INTERCEPT SHEET AND CONCENTRATED FLOWS ABOVE AREAS OF CUT, ABOVE ABUTTING PROPERTIES AND ABOVE RESOURCE AREAS. THE SWALES WILL DIRECT RUNOFF TO SEDIMENT SUMPS OR TEMPORARY SETTLING BASINS. THE SWALES WILL BE APPROXIMATELY 5 FEET WIDE AND ONE FOOT DEEP. HAY/STRAW BALE DIVERSION DIKES MAY BE INSTALLED ON THE DOWNHILL SIDE OF THE SWALES TO ASSIST IN CONTAINING THE WATER FLOW.

6. SEDIMENT SUMPS

SEDIMENT SUMPS ARE EXCAVATED DEPRESSIONS OF 10 FOOT DIAMETER AND 2 FOOT DEPTH. THE SUMPS WILL COLLECT RUNOFF FROM UNFINISHED DRIVES AND SLOPES AND WILL ALLOW SEDIMENT TO SETTLE OUT BEFORE FLOW CONTINUES TO A DETENTION AREA OR SILTATION CONTROL BARRIER. SEDIMENT SUMPS WILL BE CLEANED WHENEVER THE ACCUMULATED SEDIMENT HAS REACHED ONE HALF OF THE ORIGINAL DEPTH OF THE SUMP.

7. TEMPORARY SETTLING BASIN

A TEMPORARY SETTLING BASIN IS A LARGE, EXCAVATED SEDIMENT SUMP THAT HAS A STONE FACE OVERFLOW LEADING TO A SWALE OR TO A DRAINAGE INLET STRUCTURE. THE SIZE VARIES WITH THE AREA DRAINING TO IT BUT SHOULD BE 50% LARGER THAN THE DEP REQUIREMENT AND ABLE TO STORE 1.5 INCHES OF RUNOFF OVER THE AREA CONTRIBUTING FLOW TO IT. TEMPORARY SETTLING BASINS WILL BE CLEANED WHENEVER THE ACCUMULATED SEDIMENT HAS REACHED ONE HALF OF THEIR ORIGINAL DEPTH. ALL TSB'S SHALL USE FLOCCULANTS WITH ORGANIC MEDIA MATTING TO REMOVE SEDIMENTS FROM RUNOFF EXITING, AND, IF POSSIBLE, ENTERING THE TSB.

8. RIPRIP OUTLET PROTECTION

RIPRAP OUTLET PROTECTION IS A STONE APRON BEGINNING AT A DRAINAGE SYSTEM DISCHARGE POINT AND EXTENDING DOWN A SLOPE AT A SUFFICIENTLY MODERATE GRADE TO REMOVE EROSION FORCE FROM DISCHARGED RUNOFF.

9. FLOCCULANTS

AT BOTH ENTRANCE AND EXIT POINTS WHERE RUNOFF FLOWS OR IS DISCHARGED INTO TEMPORARY SETTLING BASINS, FLOCCULANT BLOCKS SHALL BE INSTALLED. IMMEDIATELY DOWNSTREAM OF THE FLOCCULANT BLOCKS, A SUITABLE ORGANIC MEDIA SUCH AS JUTE MESH MATTING SHALL BE INSTALLED OVER STONE FOR RUNOFF THAT HAS CONTACTED THE FLOCCULANT BLOCKS TO FLOW. THIS WILL ALLOW CAPTURE OF SILTS.

IN ADDITION, CRYSTAL FLOCCULANTS MAY BE USED TO REDUCE TURBIDITY OF CAPTURED RUNOFF IN BASINS. AND, IF TSB'S OR DETENTION BASINS ARE TEMPORARILY SERVING AS RETENTION BASINS, A STONE LINED JUTE MESH COVERED SWALE SHALL BE CREATED FOR COLLECTED RUNOFF TO FLOW OVER AFTER THAT RUNOFF HAS ALSO PASSED OVER AN ADDITIONAL SET OF FLOCCULANT BLOCKS.

11. EROSION CONTROL MATS

IN ORDER TO ENSURE THE STABILITY OF SLOPES ON LOT 100-1-6.C BETWEEN A 1:1 AND 3:1 GRADE, THE CONTRACTOR SHALL APPLY TENSAR NORTH AMERICAN GREEN SC150BN EROSION CONTROL MATTING OR APPROVED EQUAL.

SEQUENCE OF INSTALLATION AND CONSTRUCTION:

THE FOLLOWING IS A SEQUENCE FOR THE CONSTRUCTION OF THE PROJECT. THE ACTUAL SCHEDULE MAY VARY SOMEWHAT FROM THAT STATED IF SITE OR WEATHER CONDITION REQUIRE.

AN EXAMPLE OF A LOGICAL CHANGE TO THE SCHEDULE WOULD BE DEVIATING FROM THE SEQUENCE BELOW TO ALLOW THE LAYING OF BERMS PRIOR TO A WINTER FREEZE IN ORDER TO BETTER CONTROL THE SITE DRAINAGE.

1. THE DEVELOPER WILL HOLD A PRECONSTRUCTION MEETING WITH REPRESENTATIVES OF THE TOWN OF LYNN IN ORDER TO REVIEW PERMITS, PROCEDURES AND CONSTRUCTION METHODS.

2. THE DEVELOPER WILL HOLD A PRECONSTRUCTION MEETING WITH THE ENGINEER, CONTRACTOR'S EMPLOYEES AND THE INSPECTOR IN ORDER TO REVIEW PERMITS, PROCEDURES AND CONSTRUCTION METHODS.

3. ESTABLISH THE SITE ENTRANCE MATS AT THE ENTRANCE TO WASHINGTON STREET.

4. INSTALL THE SEDIMENT CONTROL BARRIERS BELOW WORK AREAS IN THE LOCATIONS AS SHOWN ON THE EROSION CONTROL PLAN.

5. CUT AND CHIP TREES WITH THE PROPOSED LIMIT OF WORK THEN BEGIN CLEARING AND GRUBBING.

6. STOCKPILE AND COMPACT EXCAVATED LOAM IN AN AREA SURROUNDED BY STAKED STRAW BALES OR SILTATION FENCING. PLACE THE STRAW BALES OR FENCING AT LEAST FIVE FEET FROM THE BASE OF THE LOAM PILE.

7. BEGIN EARTHWORK OPERATIONS FOR THE PROPOSED GRADING ON THE SITE.

8. CONTINUE EARTHWORK OPERATIONS ON THE SITE. INSTALL SEDIMENT SUMPS AND TEMPORARY SETTLING BASINS AS NECESSARY AS EARTHWORK OPERATIONS PROGRESS. INSTALL OTHER EROSION CONTROL MEASURES SUCH AS HAY/STRAW BALE DIVERSION DIKES BEFORE AND AS THE EARTHWORK OPERATION PROGRESSES.

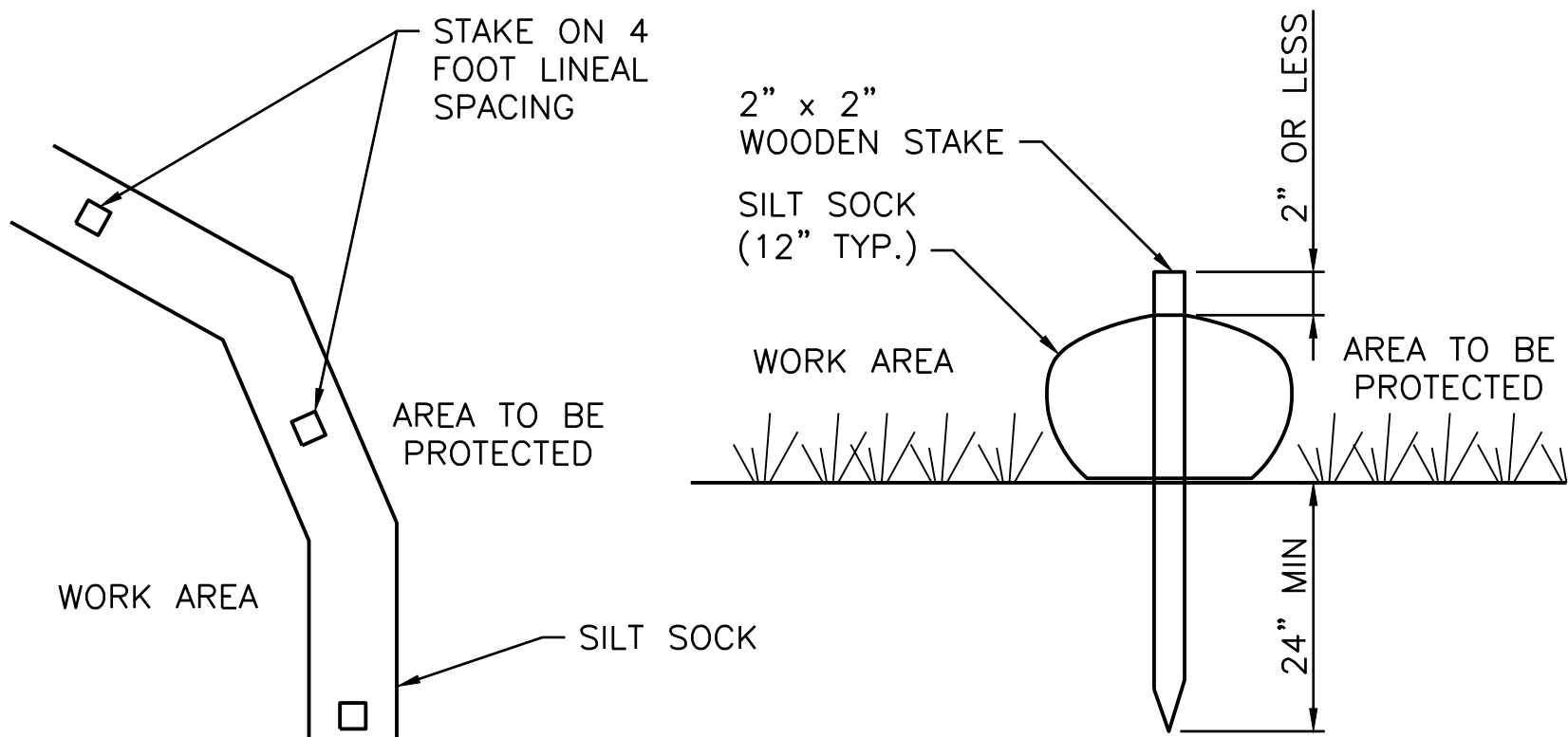
9. BRING THE SITE TO SUBGRADE AND PLACE GRAVEL HAVING THE COMPOSITION DEPTH INDICATED ON THE GRADING PLAN.

10. BEGIN CONSTRUCTION OF THE BUILDING.

12. CONTINUE BUILDING CONSTRUCTION AND EXTENTS OF GRAVEL ON THE SITE.

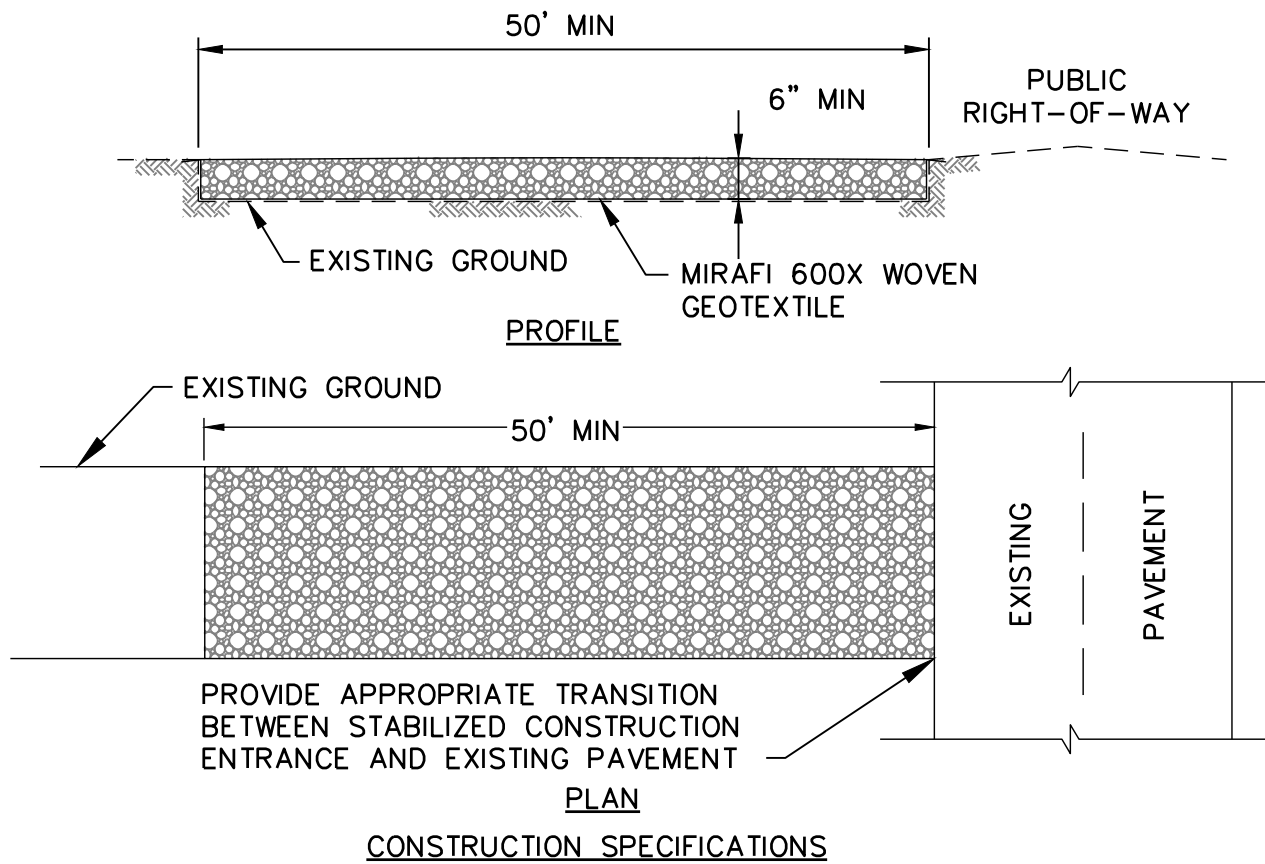
13. PERMANENTLY STABILIZE EXPOSED SLOPES AND INSTALL ADDITIONAL EROSION CONTROL DEVICES AS REQUIRED.

15. REMOVE ACCUMULATED SEDIMENT AND TEMPORARY EROSION CONTROL MEASURES AFTER ALL SLOPES HAVE BEEN PERMANENTLY STABILIZED AND THE RISK OF EROSION HAS PASSED.



NOTE:
THE USE OF WELDED PLASTIC OR 'BIODEGRADABLE PLASTIC' NETTING OR THREAD IN EROSION CONTROL MEASURES IS NOT PERMITTED.

2 SILT SOCK/SEDIMENT BARRIER
C-501 SCALE: NTS

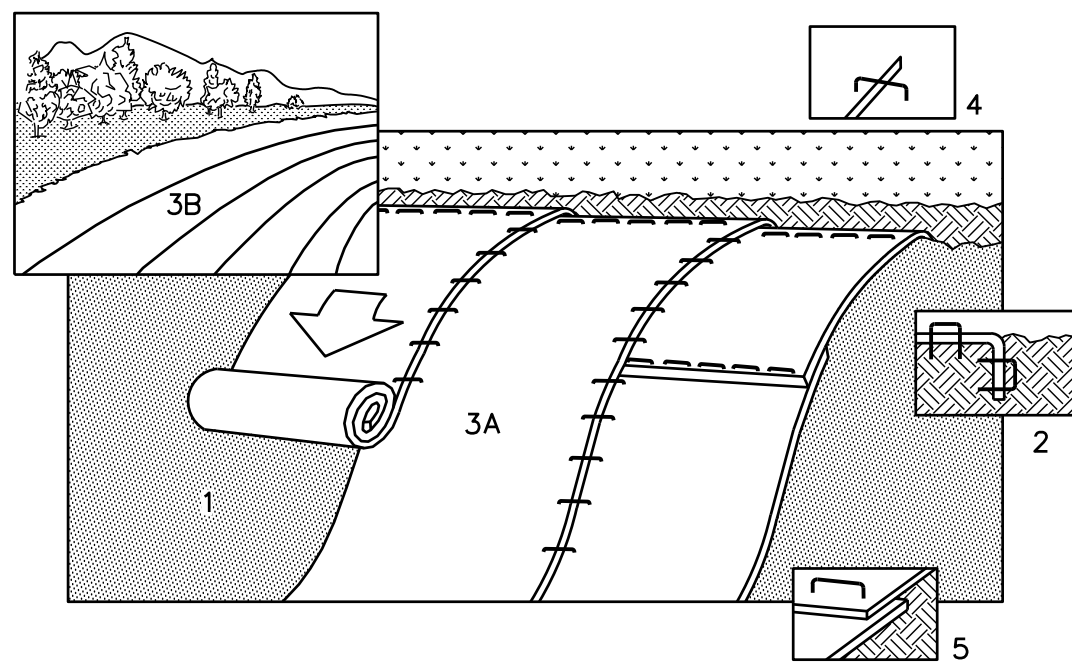


NOTES:

1. STONE SIZE - 2" TO 3" STONE OR RECLAIMED OR RECYCLED CONCRETE, OR EQUIVALENT.
2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 10 FEET MINIMUM, OR NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC REPAIR AND TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. REFER TO CONSTRUCTION NOTE 3 ON DRAWING C-100.

STABILIZED CONSTRUCTION ENTRANCE/EXIT
NTS


1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
C-501 SCALE: NTS

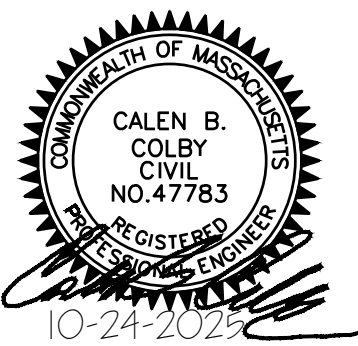


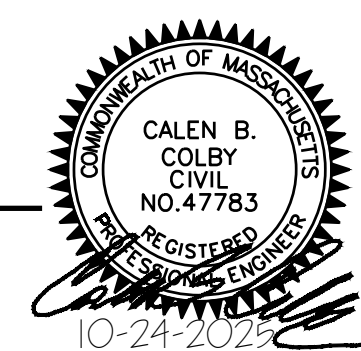
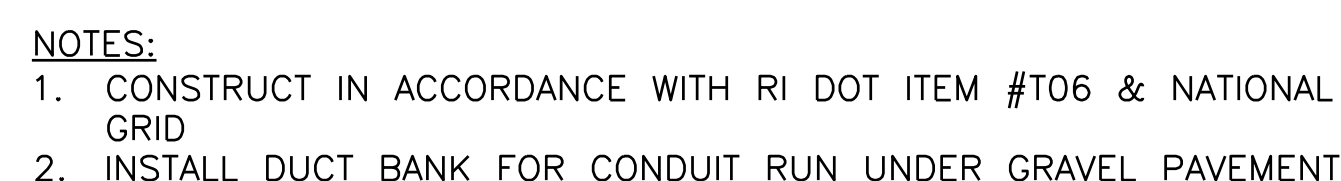
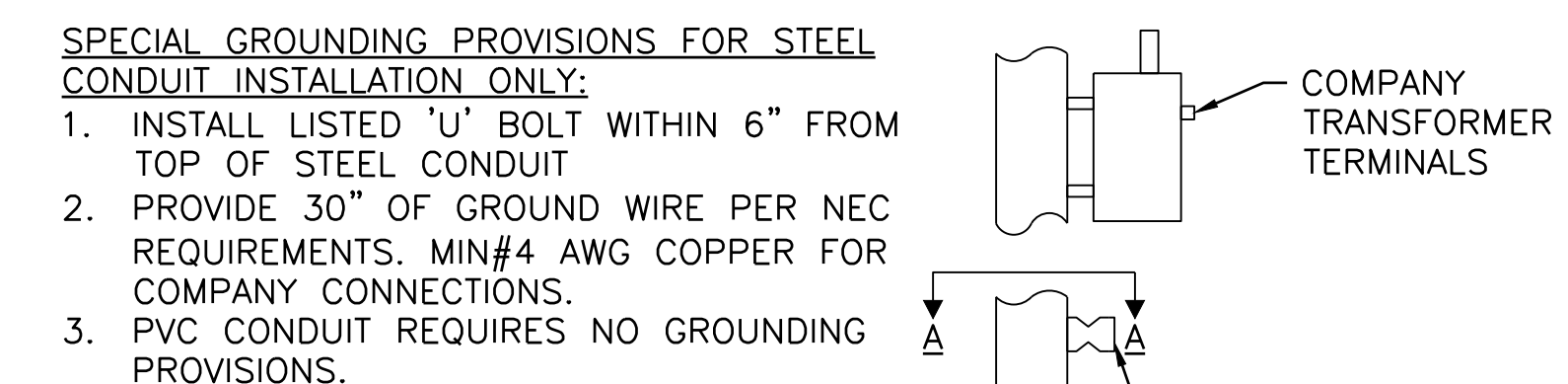
NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. BLANKETS SHALL BE NORTH AMERICAN GREEN SC150BN OR APPROVED EQUAL.

3 EROSION CONTROL JUTE MATTING DETAIL
C-501 SCALE: NTS

 47A York St Portland, ME 04101 207.553.7753							PROCESS PIPELINE SERVICES PLAINVILLE, MA	
							ARLINGTON TAKE STATION 307 WASHINGTON STREET, ARLINGTON, MA	
							EROSION & SEDIMENTATION CONTROL NOTES AND DETAILS	
	0	ISSUED FOR CONSTRUCTION	MAF	LDA	10/24/25	PROJECT NO. 312.038.001		DRAWING NO. C-501
	REV	DESCRIPTION	DWN	APP	DATE	SHEET 5 OF 7		
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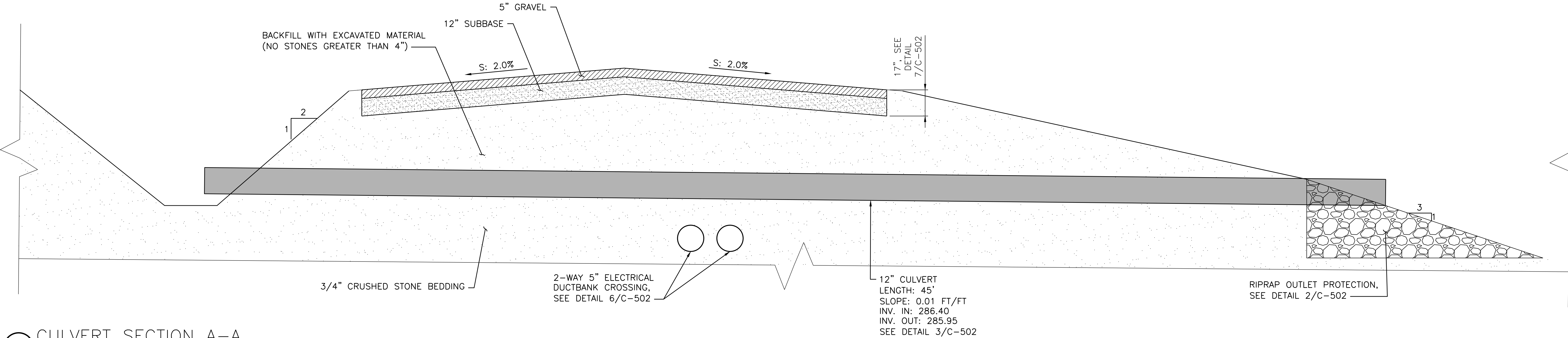


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				PROCESS PIPELINE SERVICES			
				PLAINVILLE, MA			
				ARLINGTON TAKE STATION			
				307 WASHINGTON STREET, ARLINGTON, MA			
				CIVIL DETAILS			
0	ISSUED FOR CONSTRUCTION			MAF	LDA	10/24/25	
REV	DESCRIPTION			DWN	APP	DATE	
PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.				SIZE:		ANSI D	
				DATE:		08/07/25	
				DES BY:		DAM	
				DWN BY:		MAF	
				CKD BY:		LDA	
				PROJECT NO.		312.038.001	
				SHEET		C-502	
				6 OF 7			

C-502

C:\CCE Dropbox\Colby Company Engineering\Engineering\312 Process Pipeline\312 Process Pipeline\312.038.001 - Arlington Station\Drawings\Sheets\C-502.dwg - 10/24/2025 8:54 AM - DAVID MANZO

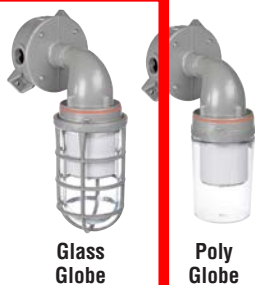




Class I, Div. 2, Groups A,B,C,D
Class I, Zone 2, Groups IIC,IIB,IIA
Class II, Div. 2, Groups F,G①
Class III
Suitable for wet locations
Enclosure Type 4①

CSF US Certified - File LR11713

ORDERING INFORMATION



Glass
Globe

Poly
Globe

WALL MOUNT WITH FEET USING VBC SPLICE BOX AND VB ELBOW 4 - HUBS						
LED	Watts	Voltage	Hub Size	Fixture w/Standard Clear Glass Globe & Guard **	Fixture w/Tempered Clear Glass Globe & Guard **	Fixture w/Clear Polycarbonate Globe **
VSL1330	13	120-277VAC	1/2"	VSL1330W1SG	VSL1330W1HG	VSL1330W1PN
			3/4"	VSL1330W2SG	VSL1330W2HG	VSL1330W2PN
VSL1630	16	120-277VAC	1/2"	VSL1630W1SG	VSL1630W1HG	VSL1630W1PN
			3/4"	VSL1630W2SG	VSL1630W2HG	VSL1630W2PN



Glass
Globe

Poly
Globe

WALL MOUNT WITH VB ELBOW TO MOUNT TO 4" OUTLET BOX 0 - HUBS①						
LED	Watts	Voltage	Neck Hub Size	Fixture w/Standard Clear Glass globe & Guard **	Fixture w/Tempered Clear Glass globe & Guard **	Fixture w/Clear Polycarbonate Globe **
VSL1330	13	120-277VAC	1/2"	VSL1330V1SG	VSL1330V1HG	VSL1330V1PN
			3/4"	VSL1330V2SG	VSL1330V2HG	VSL1330V2PN
VSL1630	16	120-277VAC	1/2"	VSL1630V1SG	VSL1630V1HG	VSL1630V1PN
			3/4"	VSL1630V2SG	VSL1630V2HG	VSL1630V2PN



Glass
Globe

Poly
Globe

WALL MOUNT-WITH VFL ELBOW FOR DIRECT MOUNT TO V SERIES SPLICE BOXES 0 - HUBS①						
LED	Watts	Voltage	Hub Size	Fixture w/Standard Clear Glass Globe & Guard **	Fixture w/Tempered Clear Glass Globe & Guard **	Fixture w/Clear Polycarbonate Globe **
VSL1330	13	120-277VAC	-	VSL1330FLSG	VSL1330FLHG	VSL1330FLPN
VSL1630	16	120-277VAC	-	VSL1630FLSG	VSL1630FLHG	VSL1630FLPN



Glass
Globe

Poly
Globe

STANCHION MOUNT FOR 1 - 1 / 4" THREADED PIPE 1 - HUB						
LED	Watts	Voltage	Hub Size	Fixture w/Standard Clear Glass Globe & Guard **	Fixture w/Tempered Clear Glass Globe & Guard **	Fixture w/Clear Polycarbonate Globe **
VSL1330	13	120-277VAC	1-1/4"	VSL1330D4SG	VSL1330D4HG	VSL1330D4PN
VSL1630	16	120-277VAC	1-1/4"	VSL1630D4SG	VSL1630D4HG	VSL1630D4PN

① When mounted (globe down) to V series boxes; not Class II, Div.2 or NEMA 4 on VBA, VFPS, VB or VFL adaptors to sheet metal boxes.
** Use tempered glass or poly globes for wet location applications. See logic page for available globe colors.

Statement in Support of Boston Gas Company’s Application to Arlington Zoning Board of Appeals for Special Permit for Take Station Re-Build Project at 307 Washington Street, Arlington, Massachusetts

Boston Gas Company (“BGC”) seeks a special permit from the Arlington Zoning Board of Appeals (the “Board”) in connection with the re-building of its existing natural gas distribution take station known as Station #900 (the “Take Station”), which is currently located at the property known as 305 Washington Street in Arlington¹ and to be relocated to and re-built at the adjoining property known as 307 Washington Street (the “Property”) as described herein.

I. Background, Existing Conditions and Project Need.

The existing Take Station is located at 305 Washington Street within a below-grade vault and telecommunications equipment within a 20’ x 13’ building. The Take Station has been in operation since the 1950s.

The adjoining Property at 307 Washington Street is owned by BGC and contains approximately 1.9 acres of land² that is mostly undeveloped. The Property is located entirely within the Residence 1 (“R1”) zoning district and no overlay districts, and is surrounded by a mix of residential properties.

The Take Station’s primary function is to serve as the point where the local gas utility receives high-pressure gas from an interstate transmission pipeline and processes it for safe delivery to customers. The existing Take Station has been in service since the 1950’s is in need of replacement, as part of BGC’s planned replacement program. Therefore, the Project is necessary for BGC to continue to provide reliable gas service to the Town.

II. Project Description.

The Project improvements primarily include the installation and/or construction of the following components at the Property (collectively, the “Project Facilities”): (a) above-grade regulator station building containing various equipment (e.g., heating, SCADA, odorant equipment, pressure monitoring and protection, regulator controls, outlet valves); (b) new fencing with new access gate and driveway; (c) tree removal shown on the tree clearing plan; (d) landscaping; (e) re-grading and other site improvements related thereto; (f) removal of existing equipment.

III. Applicability of Special Permit.

A special permit is required for “Essential Services” uses in the R1 zoning district pursuant to the Table of Use Regulations in Section 5.4.3 of the Zoning Bylaw. The Planning

¹ 305 Washington Street has a tax identification of 100-1-6 and is owned by Tennessee Gas Company (“TGC”). BGC occupies a portion of 305 Washington Street by virtue of an operation and maintenance agreement with TGC.

² The Property lot consists of a single parcel of land having a tax identification of 100-1-6.C. A small portion of the proposed access drive and site improvements will be located at 305 Washington Street.

Director has confirmed that, except for the special permit, no other zoning-related permits or approvals are required for the Project.

However, in addition to the permits and approvals being expressly sought herein, BGC seeks any and all such other relief and waivers as may be deemed necessary by the Board. All rights are reserved with respect to the applicability of the permits and approvals being sought herein.

IV. Reasons for Approval of Special Permit.

The requested special permit should be granted by the Board based on the findings set forth in Section 3.3.3 of the Zoning Bylaw as set forth below. All such findings are more specifically satisfied for the reasons stated herein:

- A. The use requested is listed as a special permit use in the use regulations for the applicable district or is so designated elsewhere in this Bylaw.

A special permit is required for “Essential Services” use in the R1 zoning district pursuant to the Table of Use Regulations in Section 5.4.3 of the Zoning Bylaw.

- B. The requested use is essential or desirable to the public convenience or welfare.

The nature and purpose of the Project use is for the public good and benefit. The Project is necessary to improve capacity and reliability of gas distribution in the Town, which will contribute to and promote the health, welfare, safety, economic growth and vitality and social welfare of the community.

- C. The requested use will not create undue traffic congestion or unduly impair pedestrian safety.

The Project will not result in a nuisance or hazard to vehicles or pedestrians within or off the Property. The Project will not create any line-of-sight hazards along streets. Because the Take Station will continue to be an unmanned facility and closed to the public, the Project will not result in increases in traffic volumes or negative impacts on adjacent streets and ways. Traffic generated by the Take Station will continue to be limited to service vehicles visiting the site to perform routine inspections, testing and equipment maintenance, as necessary, therefore, minimum parking and loading spaces are not applicable. However, unstriped parking areas for utility vehicles and trucks within the driveway will be provided.

- D. The requested use will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.

The Property will not require public water or sewer and there will be a separate standalone bathroom building utilizing a Humus/Compostable toilet in accordance with 315 CMR 15.289. Downstream properties, water courses, channels and conduits will not be affected by stormwater runoff as a result of the Project.

E. Any special regulations for the use as may be provided in this Bylaw are fulfilled.

There are no special regulations under the Zoning Bylaw that apply to the proposed use.

F. The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The Project Facilities will have no greater impact on, adversely affect or be detrimental to adjoining premises or zones or the neighborhood. The Project Facilities will be set back a significant distance from streets and abutting properties, and will be screened by privacy fence slats, existing vegetation and the proposed landscape buffers. The Project will not be detrimental to the health or welfare of the neighborhood. The Project will not result in any emission of odorous gasses or noise, and any emissions from the Take Station will be effectively confined to the premises. There will be no deleterious effect on neighboring properties as a result of the proposed lighting for the Project. The proposed lighting will not result in any increase in impacts with respect to light or glare that would be noticeable by any abutting properties. This outdoor lighting will be mounted at heights that are sufficient and adequate for security and safety purposes and will be installed and directed in a downwards angle towards the equipment and facilities, and away from neighboring properties, and, therefore, compatible, and in harmony with, the surrounding properties. All proposed new lighting will be located a significant distance from the nearest public way.

G. The requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.

The proposed use will not cause an excess of the use that could be detrimental to the character of said neighborhood. The size, type, design, color, height, materials and location of the Project Facilities are consistent with industry and company standards, designs and practices applicable to unmanned gas take station facilities, and will adequately provide for all proposed and appropriate operations of the essential services use.

H. The adverse effects of the proposed use will not outweigh its beneficial impacts to the Town or neighborhood, in view of the characteristics of the site and of the proposal in relation to that site.

Based on the location and limited, size, scope and nature of the Project, the Project Facilities will have no greater impact on, adversely affect or be detrimental to adjoining premises or zones or the neighborhood. The Property is largely undeveloped, but the abutting property has been used as a take station since 1997, and granting the requested relief will promote the highest and best use of the Property. Given that the Take Station will continue to be an unmanned facility, there will be no increase in congestion in the streets and will avoid undue concentration of population.

The Project is necessary to improve capacity and reliability of gas distribution in the Town, which will contribute to and promote the health, welfare, safety, economic growth and vitality and social welfare of the community. The nature and purpose of the Project use is for the

public good and benefit. The Project is consistent with the general purpose and intent of the Zoning Bylaw, and will not interfere with or negatively impact the resources protected thereby.

OWNER AUTHORIZATION

Re: 305 Washington Street, Arlington, Massachusetts

The undersigned property owner hereby authorizes Bowditch & Dewey, LLP (“Bowditch”) and Boston Gas Company (“BGC”) to submit land use applications to the Arlington Zoning Board of Appeals, and other Town of Arlington boards, commissions, and departments in connection with BGC’s proposed use, operation, and development of a Take Station at 307 Washington Street, insofar as such development impacts 305 Washington Street, which is owned by Tennessee Gas Pipeline Company, as successor-in interest to Northeastern Gas Transmission Company.

Tennessee Gas Pipeline Company

By: _____

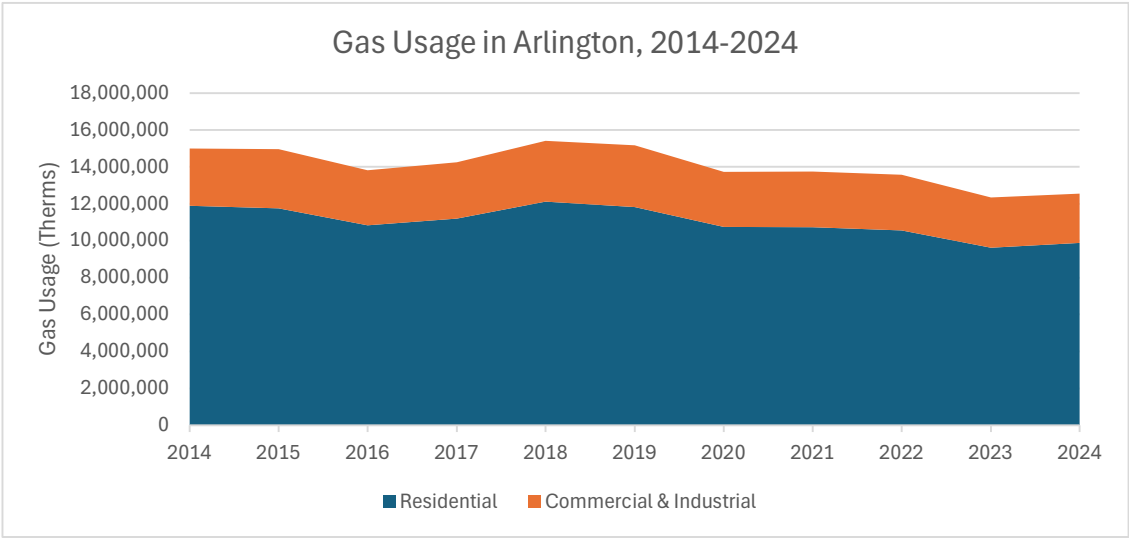
Name: _____

Title: Authorized Signatory

Arlington Gas Usage Data (therms)

Source: <https://www.masssavedata.com/Public/GeographicSavings?view=C>

	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024
Residential	11,890,127	11,752,726	10,833,738	11,203,975	12,121,516	11,834,202	10,738,986	10,727,387	10,558,797	9,616,168	9,877,253
Commercial & Industrial	3,116,389	3,220,761	2,991,453	3,041,308	3,290,223	3,333,143	2,985,845	3,020,789	3,014,529	2,731,285	2,685,998
Total	15,006,516	14,973,487	13,825,191	14,245,283	15,411,739	15,167,345	13,724,831	13,748,176	13,573,326	12,347,453	12,563,251



Docket #3880 – 307 Washington Street

From Catherine Brewster <corinnabrewster@gmail.com>

Date Sun 1/11/2026 9:22 PM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Zoning Board,

I live in East Arlington, where we financed a heat pump last summer thanks to Mass Save. As you might expect, I'm strongly opposed to the Boston Gas project at 307 Washington Street. Adding gas capacity moves Arlington away from its climate commitments and toward stranded assets whose costs will be borne by ratepayers who haven't already electrified, i.e. those who can least afford it. Given how slowly National Grid has moved on fixing methane leaks, and the climate value of the wooded site, I really hope you will deny the exemption request from Boston Gas.

Thanks,

Catherine Brewster

16 Lakehill Ave., Arlington

Gas in Arlington

From Marc-Andre Giasson <marc.giasson.1@gmail.com>

Date Mon 1/12/2026 12:29 AM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hello,

As an Arlingtonian who is working hard to get my residence more climate-friendly and our town cleaner (our family got rid of our still perfectly-good gas heating system and replaced it with a heat pump this year, even if it's going to increase our overall energy costs; our gas-powered car and oven are next on the chopping block), I urge you to not allow the construction of a new "take station" at 307 Washington St. (or anywhere else in Arlington for that matter).

As a trained forester who's now working in air quality monitoring, I can assure you there will be downsides if that facility gets built: gas leaks that may/will lead to tree mortality, reduction of tree canopy cover, etc. Plus, building bigger and newer gas facilities goes contrary to the stated goal of Arlington to become less reliant on natural gas. That's without mentioning increased air pollution caused by burning all that extra gas, the impact on climate, etc.

So please help Arlington stay a leader in creating more liveable and sustainable towns, and help stop the expansion of natural gas distribution and use in our town.

Sincerely,

Marc-André Giasson
16 Lakehill Ave.

Hearing in New Gas Take Station

From Anne Goodwin <annegoodwin@comcast.net>

Date Mon 1/12/2026 7:52 AM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear ZBA,

I writing to ask that you do not grant Boston Gas an exemption to build a new gas take station at 307 Washington St. Further investment in gas infrastructure is a step backwards from the clean renewable energy we need to be developing. Further, the potential for harmful methane emissions has not been adequately addressed by the gas company. Finally, this proposed structure would destroy open forested land that is greatly valued and enjoyed by residents.

Sincerely,
Anne Goodwin
67 Menotomy Road
Arlington

Docket #3880 comment

From Susan Keane <smkeane@gmail.com>

Date Mon 1/12/2026 7:05 AM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

I am writing regarding the proposed new gas facility at 307 Washington Street, Arlington.

I am concerned that increasing the capacity of gas distribution works against the town's Net Zero Goals. We need to be reducing reliance on natural gas, not expanding gas infrastructure.

I am also concerned that the methane emitted beyond the premises of a facility and the proposed clearing of the wooded area would be detrimental to the neighborhood.

Has Boston Gas provided sufficient justification to support the abandonment of the current facility and full rebuild? What are the alternatives to the proposal, such as renovating the existing facility at 350 Washington?

Thank you for your careful review of the Boston Gas proposal and your consideration of town residents' concerns.


Sincerely,
Susan Keane
101 Milton St.

307 Washington street hearing letter

From lobbies-respite-3p@icloud.com <lobbies-respite-3p@icloud.com>

Date Sun 1/11/2026 1:12 PM

To ZBA <ZBA@town.arlington.ma.us>

 1 attachment (165 KB)

BGC National Grid Arlington.pdf;

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear ZBA board:

Please find attached a letter of concern regarding the proposed actions at 307 Washington Str .

Thank you for your ongoing service to Arlington and residents.

Sincerely,
Brian Guzik
39 Greeley circle.

Statement of Concern

BGC/ National Grid Natural Gas Take Station Expansion

I believe the residents of the Stratton / Turkey Hill neighborhood in Arlington MA, should have more information about the proposed expansion of the National Grid natural gas “Take station” and details on potential implications and options. While the need for safe and robust energy infrastructure is appreciated, this project raises serious land use, environmental, health, and equity uncertainties that demand thorough consideration and meaningful mitigation before any approval.

1. Preservation of Community Trails and Green Space

The wooded area slated for expansion includes a critical walking path used daily by residents to traverse our neighborhood safely. Due to the unique layout of the streets in the neighborhood, these paths routinely provides safe pedestrian connectivity to schools, parks, friends, and services such as voting between the Mountain/Tower/Greeley/Tomahawk areas. Losing access to this area would fragment our neighborhood and negatively impact mobility for families- including children that routinely walk to Stratton School or to see friends.

Is BGC/ National Grid aware of the traffic pattern of the residents that it shares this neighborhood with? What community outreach or consideration was made in the design of this facility expansions?

2. Loss of Trees and Environmental Impact

The proposed expansion will entail removal of mature trees and natural vegetation. The city of Arlington traditionally prioritizes preservation of trees. In addition to improving neighborhood character, air quality, this area provides a buffer between residents and the facility, decreasing the noise and visual disruption of hosting a Utility facility in our residential neighborhoods. An increase in facility size, combined with loss of the protection effect of the trees would likely have a multiplier effect on the negative impact. The permanent loss of this natural area would undermine one of the few remaining natural spaces, and detract from our neighborhoods appearance and value.

Is the removal of this green space consistent with the values of Arlington and the Turkey Hill community? What alternatives have been considered?

3. Emissions and Health Concerns

Safety is important to the residents of Turkey Hill. This is a good opportunity for BGC/National Grid to educate our residents about any potential impacts this station may have on them. There is anecdotal evidence that Natural gas pumping and compressor facilities release air pollutants during operation and maintenance. These can include volatile organic compounds

(VOCs), nitrogen oxides (NOx), particulate matter, and other combustion byproducts that are associated with respiratory, cardiovascular, and neurological effects, particularly for sensitive populations (children, elderly, and those with pre-existing conditions). It is said that such emissions occur continuously and often in episodic peaks during maintenance “blowdowns,” even if regulated by permits. Studies have highlighted gaps in monitoring and health risk assessment, suggesting that typical permitting does not fully capture the true exposures communities face over time. This is not a scientific analysis, but a quick non-expert assessment of potential concerns. Safe and reliable energy infrastructure is important, but those living near such infrastructure, should do so fully informed.

Are such periodic emission risks relevant here? The potential for a catastrophic event, while very likely exceedingly low, should be discussed. Are all these potential risks unfounded?

We also acknowledge that improvements in the facility are likely to improve these risks, but having the resident aware of the magnitude and nature of the baseline risks and those going forward seems prudent.

4. Noise and Quality of Life Impacts

Natural gas pumping stations and compressor facilities are known to generate continuous noise from engines, equipment, and venting, which can carry into nearby residential areas. Research has documented that homes near such facilities experience higher average sound levels, potentially affecting sleep, stress levels, and overall well-being.

Are these concerns applicable in this situation? Does increased scale and proximity of the facility to residential buildings impact potential intrusion? Does removal of the trees, a natural sound barrier, enhance any potential noise exposure?

5. Aesthetics and Residential Character

The expansion of a fenced, industrial-scale natural gas facility into a residential neighborhood is a visual and experiential intrusion. Tall fences, machinery, and industrial structures will permanently alter the character and aesthetic value of this part of our community, detracting from property values and the everyday experience of those who live here.

This seems to be a significant expansion from the current footprint. Based on a non-expert review of the permitting documents appears to be a double or tripling in building footprint, with a dramatic addition of pavement and fencing. Is there an expanded essential functionality for this site, or other justification for such an increase in presence in a residential neighborhood? What effort has been made by National Grid to get residential input and buy-in on this significant modification of our neighborhood?

6. Equity and Unequal Service

It is particularly ironic that **to my knowledge, none of residents of Greeley circle are served by BGC/National Grid.** Over the past years, it is my understanding that that a number of

residents have made that inquiries into obtaining natural gas service, and they indicated that it would have cost tens-of-thousands of dollars for any resident to obtain natural gas service, with no potential cost-reduction for collective commitment by those residents. It is said that BGC/National Grid communicated that extending service to Greeley Circle was economically challenging. The need/desire for such service is illustrated by the trend of new /renovated housing on Greeley circle to have in-ground propane tanks installed, a feature that is evidently more economically viable for residents than BGC/National Grid service. At the same time, the company seeks to expand infrastructure in other parts of our neighborhood that potentially bring emissions, noise, environmental, and lifestyle disruption. This raises questions of **fairness and equity and commitment to community**:

As residents that share their community with National Grid, is it reasonable that we being asked to sacrifice positive aspect of our community, while some of the most impacted residents have not been provided reasonable access to the benefits of service?

It is reasonable for residents to have more information including:

1. **A review of alternative plans** that avoid impacts to neighborhood green space and pedestrian connectivity.
2. **Environmental and health impact assessments**, including data supporting air quality and noise monitoring in locations representative of residences.
3. **Meaningful community engagement** in planning decisions, with transparent data and responsive mitigation strategies. This significant proposal came without warning to many residents.
4. **Potential design alternatives** that minimize aesthetic impacts, including reduced footprint, vegetative buffers, architectural treatments, or relocation to less sensitive areas.

A solution that responsibly balances energy infrastructure needs with the health, safety, and quality of life of our neighborhood is the goal.

Selected References

- Environmental Health Project: Compressor Stations
 - <https://www.environmentalhealthproject.org/compressor-stations>
- Community Health Impacts from Natural Gas Pipeline Compressor Stations
 - Davis et al Geohealth 2023 Oct 31;7(11):e2023GH000874. doi: 10.1029/2023GH000874
 - <https://pmc.ncbi.nlm.nih.gov/articles/PMC10616731/>
- Natural Gas Compressor Stations May Expose Nearby Residents To Chronic Noise Pollution
 - <https://sph.umd.edu/news/natural-gas-compressor-stations-may-expose-nearby-residents-chronic-noise-pollution>
- A pilot study to assess residential noise exposure near natural gas compressor stations
 - Boyle et al; PLOS ONE 12(4): e0174310. <https://doi.org/10.1371/journal.pone.0174310>

National Grid Facility Expansion

From Francie Jones <franciehjones@gmail.com>

Date Mon 1/12/2026 12:27 AM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

To Whom It May Concern:

This email is regarding Docket #3880 - 307 Washington Street. As a resident of Arlington with young children who are already continually subjected to gas inhalation from the existing leaky infrastructure, I would like to express my strong concerns about any steps related to natural gas that would expand, rather than repair and potentially reduce, Arlington's natural gas infrastructure.

Please require National Grid to focus on health and safety first, namely repairing leaks and addressing other hazards. We can barely walk a few blocks as it is without smelling gas on the street. Our environment and our health are at stake.

Thank you,
Frances Jones
Arlington, MA

Docket #3880 – 307 Washington Street

From Julie Kahn-Schaye <jkschaye@gmail.com>

Date Sun 1/11/2026 9:36 PM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Esteemed Arlington Zoning Board -

I am writing with concern about the proposed expansion of a gas facility sought by Boston Gas.

One of the things I really value about Arlington is the townwide effort to get to netzero 2050.

At a time when the feds are doing, whatever they can to damage our climate future, Arlington should persist in making ecologically sound decisions. The Potential expansion of the gas facility would have our town going in the wrong direction.

Furthermore, there are 185 gas leaks in the town of Arlington that have not yet been addressed posing significant concerns, and we should be putting more pressure on Boston gas to fix those rather than allow them to expand in a residential only zone.

Arlington needs to standby its goals. This potential expansion of a gas facility along with the frequent decisions to allow extremely large homes on tiny lots and remove mature trees are misguided.

Sincerely,

Julie

Docket 3880

From Jennifer Quinn <jenniferquinn@fastmail.fm>

Date Sun 1/11/2026 9:36 PM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

In reference to a proposed natural gas 'take station' by Boston Gas Company on Washington St, please consider that we should reduce our reliance on these kinds of facilities, especially considering the fact there are ongoing natural gas leaks that have not been addressed. Please do not grant an exemption to the zoning.

Thank you,
Jennifer

Sent from my iPhone

Comment on Docket #3880

From Beryl Simon <berylsimon41@gmail.com>

Date Mon 1/12/2026 8:24 AM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

To the Zoning Board,

I want to echo the concerns stated by Mothers Out Front Arlington, and would like to see answers to the questions they pose.

We are a town that loves our planet and wants our children to have a safe and healthy future. Arlington is committed to the achievable and necessary goal of net zero carbon emissions by 2050. There is therefore no justification for unnecessarily expanding gas infrastructure against our will in our community.

Boston Gas should fix the 180 gas leaks currently poisoning our air, and abandon this plan to install a methane-leaking new compressor on an Arlington green space.

Sincerely,
Beryl Simon
41 Lancaster Rd

Upon review of the *Statement of Support*, Mothers Out Front Arlington takes issue with two points made in said document. In response to the requirement that the requested use is essential or desirable to the public convenience or welfare, Boston Gas states that the project is necessary “to improve capacity and reliability of gas distribution in the Town.” However, the Town is actively working to reduce reliance on natural gas and transition to a clean energy-powered electric grid, necessary to reach the Town’s goal of net zero carbon emissions by 2050. Therefore, increasing capacity of the gas distribution in the Town is neither essential nor desirable.

In response to the requirements that the requested use not be detrimental to the health and welfare of the inhabitants of the Town, Boston Gas states that the project will not be detrimental to the health and welfare of the neighborhood because the project “will not result in any emission of odorous gasses or noise, and any emissions from the Take Station will be effectively confined to the premises.” Given the fact that methane is routinely emitted from natural gas compressor stations - <https://pmc.ncbi.nlm.nih.gov/articles/PMC10616731/> - and methane released into the atmosphere is not and cannot be confined to the premises in question, this statement is false. In addition, we would argue that the proposed clearing of the wooded area frequently utilized by Town residents would be detrimental to the welfare of the neighborhood.

Moreover, Arlington has a long established and unresolved gas leak problem, with over 185 active leaks documented in 2025. In spite of continued advocacy on the part of the town (e.g., Gas Leaks Task Force) and by community-based organizations such as Mothers Out Front and HEET, as well as millions of dollars spent on pipeline replacement, the number of gas leaks in Arlington have not decreased significantly in the past 10 years. Given the Town and State’s Net Zero plans, which require the rapid, equitable transition from gas to renewable energy sources, Mothers Out Front advocates for a tactical repair of major gas leaks and the accelerated electrification of heating and cooling infrastructure. The same principles should be applied here: repair for safe gas delivery while investing in electrification infrastructure - not the expansion of gas infrastructure that will be costly to ratepayers and become stranded assets very soon.

In addition to the points above, MOF Arlington also submits the following questions for the Zoning Board of Appeals consideration, as these points were not addressed or explained in the materials published with the hearing notice.

64 of 189

Given the existence of the current take station, has the feasibility of either renovating the existing facility or rebuilding portions of the proposed facility on the site/lot of the existing facility been explored?

What will be done with the facility located at 305 Washington Street? What will be done with the lot? What would the detrimental effects on health and welfare of the neighborhood be?

No specific issues were cited with the current facility, other than that it has been in use since the 1950s. As a significant amount of the building inventory in Arlington is older than that, can Boston Gas provide more justification that would support the need for the abandonment of the current facility and full rebuild, including the cost to ratepayers for both options?

Can the Zoning Board clarify how and when a decision will be made on this special permit request?

Sent from my iPhone

Public Comments on Docket #3880, 307 Washington Street

From Jessica Sullivan <jessullivan@gmail.com>

Date Mon 1/12/2026 8:44 AM

To ZBA <ZBA@town.arlington.ma.us>

Cc Claire and Jessica Mothers Out Front Arlington <info.ma.arlington@mothersoutfront.org>; Claire Moodie <claire_moodie@hotmail.com>; anju joglekar <joglekar.anju831@gmail.com>; Ann Boland <amboland@live.com>; Alicia Russell <aliciarussell@gmail.com>

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Dear Arlington Zoning Board of Appeals, Please find below a public statement in regards to the subject docket, to be discussed by the ZBA on January 13.

Thank you,
Jessica Sullivan
45 Alpine St, Arlington, MA

Mothers Out Front Arlington, a group of Arlington residents supporting the accelerated implementation of Arlington's Net Zero Plan, submits the following questions and comments to the Arlington Zoning Board of Appeals prior to the meeting scheduled for January 13, 2026 at 7:30 PM on Docket #3880 pertaining to 307 Washington Street, Arlington.

Upon review of the *Statement of Support*, Mothers Out Front Arlington takes issue with two points made in said document. In response to the requirement that the requested use is essential or desirable to the public convenience or welfare, Boston Gas states that the project is necessary "to improve capacity and reliability of gas distribution in the Town." However, the Town is actively working to reduce reliance on natural gas and transition to a clean energy-powered electric grid, necessary to reach the Town's goal of net zero carbon emissions by 2050. Therefore, increasing capacity of the gas distribution in the Town is neither essential nor desirable.

In response to the requirements that the requested use not be detrimental to the health and welfare of the inhabitants of the Town, Boston Gas states that the project will not be detrimental to the health and welfare of the neighborhood because the project "will not result in any emission of odorous gasses or noise, and any emissions from the Take Station will be effectively confined to the premises." Given the fact that methane is routinely emitted from natural gas compressor stations - <https://pmc.ncbi.nlm.nih.gov/articles/PMC10616731/> - and methane released into the atmosphere is not and cannot be confined to the premises in question, this statement is false. In addition, we would argue that the proposed clearing of the wooded area frequently utilized by Town residents would be detrimental to the welfare of the neighborhood.

Moreover, Arlington has a long established and unresolved gas leak problem, with over 185 active leaks documented in 2025. In spite of continued advocacy on the part of the town (e.g., Gas Leaks Task Force) and by community-based organizations such as Mothers Out Front and HEET, as well as millions of dollars spent on pipeline replacement, the number of gas leaks in Arlington have not decreased significantly in the past 10 years. Given the Town and State's Net Zero plans, which require the rapid, equitable transition from gas to renewable energy sources, Mothers Out Front advocates for a tactical repair of major gas leaks and the accelerated electrification of heating and cooling infrastructure. The same principles should be applied here: repair for safe gas delivery while investing in electrification infrastructure - not the expansion of gas infrastructure that will be costly to ratepayers and become stranded assets very soon.

In addition to the points above, MOF Arlington also submits the following questions for the Zoning Board of Appeals consideration, as these points were not addressed or explained in the materials published with the hearing notice.

1. Given the existence of the current take station, has the feasibility of either renovating the existing facility or rebuilding portions of the proposed facility on the site/lot of the existing
2. What will be done with the facility located at 305 Washington Street? What will be done with the lot? What would the detrimental effects on health and welfare of the neighborhood
3. No specific issues were cited with the current facility, other than that it has been in use since the 1950s. As a significant amount of the building inventory in Arlington is older than
4. Can the Zoning Board clarify how and when a decision will be made on this special permit request?

If appropriate, responses to our questions can be submitted to info.ma.arlington@mothersoutfront.org.

Docket #3880 – 307 Washington Street

From Karen Thomas-Alyea <kthomasalyea@gmail.com>

Date Mon 1/12/2026 8:39 AM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Zoning Board of Appeals,

I am writing out of concern for Docket #3880, in which Boston Gas Company proposes to cut down trees in order to build a new, larger natural gas compression station at 307 Washington Street.

More and more residents in Arlington are transitioning away from fossil fuels by installing electricity-powered heat pumps to heat their houses. Also, new construction uses better insulation and thus requires less gas for heat. Therefore, it would be expected that natural gas consumption in Arlington will decrease in the future. What assumptions were used for Boston Gas Company's analysis that led them to believe that a larger compression station might be needed?

There is an existing natural gas compression station at 305 Washington Street. Is it necessary to cut down the many mature trees at 307 Washington Street to build a new compression station? Instead, if the existing station is in need of repairs, would it be possible to renovate the existing station at 305 Washington Street? Cutting down mature shade trees decreases the attractiveness of the street and increases the heat load on neighboring houses in the summer.

Sincerely,
Karen Thomas-Alyea
resident of Newport Street in Arlington

"No" for Washington Street Take Station

From Matt Turnbull <mturnbull78@gmail.com>

Date Sun 1/11/2026 10:29 AM

To ZBA <ZBA@town.arlington.ma.us>

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Dear Zoning Board,

I am writing to request that you **please deny the permit application** for the Boston Gas Company to expand their Washington Street take station.

The wooded area that would be destroyed is a small one, but an important one for Arlington. Once those trees are cut, they will never come back. Small wooded spaces like that parcel play a critical role in making Arlington a desirable place to live. In addition to the importance of trees to reduce heat and clean air, little pockets of woods help maintain the suburban feel of this town, which is a blessing. The momentum of construction and development will chip away at the trees until they are gone unless our community takes active steps to preserve pockets of them. You have the opportunity to do that, and the community will appreciate you doing so.

Please tell the gas company to use the space they already have to revitalize their station.

Thank you,
Matthew Turnbull & Family (4 citizens in favor of the trees!)
55 Newland Rd, Arlington

Comment re: Docket #3880 – 307 Washington Street

From Anna Bishop Rehrig <anna.m.bishop@gmail.com>

Date Mon 1/12/2026 11:27 AM

To ZBA <ZBA@town.arlington.ma.us>

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To whom it may concern,

I'm writing to express concern with the proposed expanded 'take station' at 307 Washington St. from Boston Gas Company/National Grid.

I strongly support Arlington's Net Zero 2050 goals and am concerned the planned facility would slow progress towards that goal, as well as further pollute the neighborhood (methane leaks are a very real concern) while diminishing existing green space. I'd prefer to see investment and attention go towards repairing the 185 active gas leaks in the town rather than create new fossil fuel infrastructure like this.

I greatly appreciate your care and attention to this matter and for listening to residents like me who want a cleaner, greener, healthier Arlington for our kids.

All the best,

Anna Bishop Rehrig

23 Adams St, Arlington, MA 02474

Comment re: Docket #3880 – 307 Washington Street

From Anna Bishop Rehrig <anna.m.bishop@gmail.com>

Date Mon 1/12/2026 11:27 AM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

To whom it may concern,

I'm writing to express concern with the proposed expanded 'take station' at 307 Washington St. from Boston Gas Company/National Grid.

I strongly support Arlington's Net Zero 2050 goals and am concerned the planned facility would slow progress towards that goal, as well as further pollute the neighborhood (methane leaks are a very real concern) while diminishing existing green space. I'd prefer to see investment and attention go towards repairing the 185 active gas leaks in the town rather than create new fossil fuel infrastructure like this.

I greatly appreciate your care and attention to this matter and for listening to residents like me who want a cleaner, greener, healthier Arlington for our kids.

All the best,

Anna Bishop Rehrig

23 Adams St, Arlington, MA 02474

307 Washington St

From betty trembly <edandbetty86@yahoo.com>

Date Mon 1/12/2026 11:58 AM

To ZBA <ZBA@town.arlington.ma.us>

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To Whom it may concern

- 1: Massachsetts almost ran low on Natural Gas last winter. The only thing that saved it was a warmer and shorter winter than average. That's not climate; it's weather.
- 2: I have grave doubts about Arlington's all electric future. Nobody has said where the required substation is going to go. It shouldn't be lost on anyone that the new DPW garage and wash bay is heated with natural gas. There are some things that are just too inefficient for electricity, which is generated by natural gas. Furthermore, there is constant talk about the cost of living in Arlington. Utility costs are part of it. My electric bills are in the hundreds of dollars per month. Gas is in the tens of dollars.
- 3: Take stations don't leak. They have automated controls. In the event of major equipment failure, methane detectors shut everything down. Hundred year old piping leaks, and Grid is replacing it.
- 4: Arlington residents may indeed use the property, but it is private property. Until we turn into a communist country, Grid has property rights. 1600 sq ft isn't a large area. The developers of the project near the Highland Fire Station cut an area larger than that, and the Town of Arlington cut down (I think) a similar number of trees to build the pump track. Having said that, I hope you can work with Grid to cut the absolute minimum number of trees, and plant and water as many trees as possible if the project gets approved.

National Grid wouldn't be going through the time and expense of building a new take station if it wasn't necessary. I don't think they could upgrade the existing station without taking it off line. I'm not sure they could do that without risking supply outages.

Whether we like it or not, I suspect this project is required for system reliability. Please approve this with possibly tree conditions.

Ed Trembly
76 Wright St

Re: Docket #3880 – 307 Washington Street

From Chandreyee Das <chandreyee@gmail.com>

Date Mon 1/12/2026 12:23 PM

To ZBA <ZBA@town.arlington.ma.us>

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Dear ZBA --

I'm writing to ask you to **decline the zoning exception** for the Boston Gas Company, which they are requesting at 307 Washington Street for the purposes of building a new, unnecessary take station.

Since my kids were as young as 5, they would walk or bike through the forested land at the site, and my older one recently wrote about the area as part of his college application essay -- so I know that the impact of forested land on humans is very very real to us personally.

That aside -- it's a big mistake to build new gas infrastructure when gas usage is going down.

The gas company is going to charge ratepayers millions for stranded assets, potentially releasing more toxic chemicals into the air around the station, and the cost of irreversibly losing our open space isn't worth it.

Have other options even been considered, such as repairing the existing station? What would happen to that existing site if the new one gets built? It would be better to focus on fixing the big gas leaks around town...

Chandreyee Das

53 Yerxa Rd, Arlington, MA 02474

415-902-6283

Docket #3880 – 307 Washington Street

From Stacey Sloboda <staceysloboda@gmail.com>

Date Mon 1/12/2026 12:31 PM

To ZBA <ZBA@town.arlington.ma.us>

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I am writing as an Arlington resident concerned about the Boston Gas Company's proposal to build new infrastructure at 307 Washington Street to expand gas capacity.

The Town is actively working to reduce reliance on natural gas and transition to a clean energy-powered electric grid, which is necessary to reach the Town's goal of net zero carbon emissions by 2050. Increasing capacity of the gas distribution in the Town directly contradicts that goal. Clearing forested land in a residential neighborhood for industrial use violates both our climate commitments and good zoning practices.

I ask the Zoning Board to reject this proposal because it works against the Town's established climate goals. We need to transition away from natural gas, not expand it.

Thank you for your work on this committee and for your attention,

Stacey Sloboda
38 Grafton Street #1
Arlington, MA 02474

New gas take station

From Betsy Block <betsblock@gmail.com>

Date Mon 1/12/2026 12:35 PM

To ZBA <ZBA@town.arlington.ma.us>

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Dear Board members,

I'm writing to ask you NOT to grant an exemption to Boston Gas Company to build a new facility at 307 Washington Street in Arlington.

Not only would this be built on what is presently forested land, it will encourage more use of dirty gas and discourage our necessary transition to clean energy for our homes. Methane leaks are common at gas facilities (I smell gas all the time on my regular walks!), which is harmful to neighbors and the whole community.

Please consider these points when making your decision.

Many thanks,
Betsy Block

New gas take station

From Maya P <mpp524@gmail.com>

Date Mon 1/12/2026 1:21 PM

To ZBA <ZBA@town.arlington.ma.us>

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Dear Board members,

I'm writing to ask you NOT to grant an exemption to Boston Gas Company to build a new facility at 307 Washington Street in Arlington.

Not only would this be built on what is presently forested land, it will encourage more use of dirty gas and discourage our necessary transition to clean energy for our homes. Methane leaks are common at gas facilities, which is harmful to neighbors and the whole community.

Please consider these points when making your decision.

Many thanks,
Maya Pockrose

Gas 'Take Station'

From Emily Cause <emily.cause@gmail.com>

Date Mon 1/12/2026 1:41 PM

To ZBA <ZBA@town.arlington.ma.us>

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Dear Zoning Board Members,

I recently learned that Boston Gas Company (a subsidiary of National Grid) is planning to build a new, bigger gas 'take station' at 307 Washington St. Arlington that would expand gas capacity. This facility, which receives high pressure gas and decompresses it to a safe level for distribution to homes, would be built on forested land next to the current station (305 Washington St.).

Provided that the current take station is safe, I'm writing to ask that you do not allow them an exemption for this land use.

Being that our goal in Arlington is to reduce our gas consumption, a bigger 'take station' seems counter intuitive. In addition, methane leaks are abundant throughout Arlington and one could expect a large take station would provide even more opportunities for leaks.

I believe the priority should be repairing major leaks, refurbishing the current take station, and investing in electrification—not building **new gas infrastructure that will be costly for ratepayers and quickly become stranded assets**.

Thanks so much for taking my thoughts into consideration.

Appreciatively,

Emily Cause
Kilsythe Road

Docket #3880 – 307 Washington Street

From Amy M. Antczak <amymccann@gmail.com>

Date Mon 1/12/2026 3:02 PM

To ZBA <ZBA@town.arlington.ma.us>

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Dear Arlington Zoning Board of Appeals members,

I am a resident of Arlington and my children attend Stratton School. I was very upset to learn about the plan to remove forested land at 307 Washington Street in order for National Grid to build a new and bigger gas take station. I urge you to vote against National Grid's exemption application for the following reasons:

- The project does not align with Arlington's Net Zero Action Plan, and would expand gas infrastructure at a time when Arlington is working hard to reduce reliance on natural gas. Increasing gas capacity is neither necessary nor aligned with Arlington's climate commitments.
- Methane leaks are common at gas facilities, and methane cannot be “confined to the premises.” Therefore the risk to the community is high.
- The project would also require clearing a wooded area that Arlington residents regularly use and value. My children and their friends at Stratton use this area for play. We should be trying to preserve as much green space as possible.
- Arlington already has more than 185 active gas leaks. I believe the priority should be repairing major leaks, refurbishing the current take station, and investing in electrification—not building new gas infrastructure that will be costly for ratepayers and quickly become stranded assets.

For these reasons and more, I ask that you reject the exemption application. Thank you very much for your time.

Sincerely,
Amy Antczak
6 Summer Street Place

Re Docket 3880 - 307 Washington St

From Ruth Faas <faas@rcn.com>

Date Mon 1/12/2026 10:43 PM

To ZBA <ZBA@town.arlington.ma.us>

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Dear Zoning Board of Appeals,

It's a challenging task to do what you do, I have no doubt.

There are a lot of factors to consider.

Please - before all else, prioritize meeting Arlington's climate impact goals that have been set.

My daughter was in Colorado a number of years ago and had to evacuate because of the huge fires that were happening . In the car with her were parents holding their 2 month old baby.

You can imagine how terrifying that was for all of the people who had to evacuate. You can see why my daughter feels it would not be fair to give birth to a child when natural disasters are happening more and more.

I hope she will at least adopt some children. I hope you will do all that is in your power to stop climate change to keep making things worse and worse.

Please,
Ruth Faas
15 Devereaux St.

Sent from my iPhone

Please reject the proposed new natural gas take station

From John-Gabriel Knoll <snwshark@hotmail.com>

Date Mon 1/12/2026 10:38 PM

To ZBA <ZBA@town.arlington.ma.us>

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Members of the ZBA,

My name is Gabe Knoll, and I am a town meeting member for precinct 8. I have heard from a number of constituents who have expressed dismay at the proposed plan for the new natural gas take station at 307 Washington St. It seems counter to the town's goals of reducing emissions and moving toward renewable energy sources. Many residents feel betrayed by the destruction of a wooded area in favor of expanding fossil fuel consumption. Others have expressed anger that funds would be put toward such a build out instead of fixing the (at least) 185 active leaks, which already emit significant amounts of one of the worst greenhouse gasses. A number of questions remain, including: how does this project align with the town's net-zero by 2050 plan; whether it would be possible to improve the existing facility rather than adding a new one; and whether this will increase the burden on rate-payers.

Given the breadth of concerns, and the goals of the town, please reject the requested variance and do not allow the planned natural gas expansion. I hope to be able to attend the board meeting tomorrow, but if I'm unable to, I hope that this message can speak for me.

Thank you,
Gabe Knoll


Docket #3880 307 Washington Street

From Danielle Brody <dwbrody@gmail.com>

Date Mon 1/12/2026 10:25 PM

To ZBA <ZBA@town.arlington.ma.us>

Cc Kristina Konnath <kkonnath@comcast.net>

 2 attachments (18 KB)

307_Washington_petition_2026_01_12_signers.csv; 307_Washington_petition_comments.txt;

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Dear Members of the Arlington Zoning Board of Appeals,

We are writing on behalf of a group of Arlington residents—over 160 neighbors and continuing to grow—who have signed a petition expressing serious concerns regarding the proposed development plan by Boston Gas Company at 307 Washington Street. We appreciate the opportunity to engage in a thoughtful dialogue and thank the Board for its careful consideration of this matter.

The wooded parcel and walking paths at this location are a critical and valued resource to our neighborhood. This land embodies many of the priorities Arlington residents have consistently and clearly articulated, including preservation of tree canopy, protection of natural habitats, and the promotion of walkability and accessible green space. For many residents, this area serves as an important connection point for walking, recreation, and engagement with the natural environment.

Given the significance of this parcel, we respectfully request clarification and additional information regarding several aspects of the current proposal:

1. Exploration of Alternatives to the Existing Facility

Were options to update, modernize, or expand the footprint of the existing station exhaustively explored before proposing a new facility within the wooded parcel?

2. Future of the Existing Stations

What is the long-term plan for the existing stations once they are no longer in use? Will they be decommissioned, removed, or repurposed, and on what timeline?

3. Site Placement and Impact Minimization

Were alternative placements for the proposed new facility evaluated that would be less disruptive to tree coverage, established paths, and the natural habitat? Specifically, was locating the facility closer to Washington Street or nearer to existing buildings considered in order to minimize tree removal and intrusion into the wooded area? The current proposal appears to be centered within the woods parcel, which raises significant concerns.

4. Evaluation of Non-Residential Locations

Were other locations along the pipeline evaluated as potential sites for a Take Station, particularly

locations outside of residentially zoned parcels?

Our community strongly values responsible development that balances infrastructure needs with environmental stewardship and neighborhood character. We respectfully ask that the proposal not be approved in its current form until these questions are fully addressed and less disruptive alternatives are thoroughly considered.

Attached please find a list of residents that have signed a petition opposing the current proposal for this site along with a list of comments that some residents included. Additional details, such as signer addresses can be provided if needed.

Thank you for your time, attention, and willingness to engage in a thoughtful and transparent conversation. We look forward to your responses and continued dialogue.

Sincerely,
Danielle Dean and Kristina Konnath
On behalf of concerned Arlington residents

307_Washington_petition_2026_01_12_signers

Number	Name
1	STEPHANIE Levinson
2	Frank Powers
3	Heather Leet
4	Aaron Robbins
5	Luchy Roa
6	Linda Cundiff
7	Tamara Chenoweth-Jones
8	Laure Porter
9	Blossom Pinheiro
10	Christina Chalapatras
11	James Chalapatras
12	Michael Bui
13	Mark MacDonald
14	Elizabeth Singer
15	Steven Wujciak
16	Jyothsna Visweswaraiah
17	Megan Sanchez
18	Erica Kemmerling
19	Nicole Degnan
20	Brian Degnan
21	Ruth Jacob
22	Heather Sullivan
23	Rheal Robichaud
24	Lori Schwartz
25	Colleen Olphert
26	Robin Burrage
27	Pavankumar Anne
28	Xiang Ding
29	Anastasia Magnitskaia
30	Amy Mongeau
31	Frank Minniti
32	Elaine Minniti
33	Linda Croteau
34	Laura Kiesel
35	Lynda Robichaud
36	Pam Noiles
37	Kathleen Coughlin
38	Sweta Vallejo
39	Shilpa Kaul
40	Georgia Critsley
41	Jeffrey Alexander
42	Drew Drabrk
43	Kathryn Dodgson

Number	Name
44	Jeff Sugarman
45	Michele Lee DeFilippo
46	Dorien Keusseyan
47	Adriana Rojas
48	Amy Duke
49	William Guss
50	Kim Van Winkle
51	Andrea Drufke
52	Lisa Roderick
53	Jenifer Tidwell
54	Hilary Clay
55	Liz
56	Michelle Meagher
57	Odine Bell
58	Suzanne Buell
59	Elaine McLaughlin
60	Laure Porter
61	Meg Cook
62	Deborah Richard
63	Kim Bowie Sterrett
64	Ruth Schmidt
65	Lauren Colbert
66	Jeannine McAuliffe
67	Maria Kulikiva
68	JoAnn Sequeira
69	Manuel Sequeira
70	Sasha brodsky
71	Andrea Taylor
72	Sasha Simone
73	Julie Kahn - Schaye
74	David Good
75	Cindy Floyd
76	Emily Kathan
77	Kayla Celani
78	Jen Wight
79	Jeffrey klein
80	Danny Gromfin
81	Karen Fanale
82	john baynard
83	Niels
84	Ruth Faas
85	Laureen Kessloff
86	Amelia Turner

307_Washington_petition_2026_01_12_signers

Number	Name
87	Ann Pirone
88	Marilyn Poole
89	Christina Mercado-Bradford
90	Julie Hegger
91	Sarah Norton
92	Laura Brooks
93	Lillian Brooks
94	Joanne Cullinane
95	Aaron Podesky
96	Catherine Miller
97	Meghan Powers
98	Rebecca Peterson
99	Richard A Goldberg
100	Samantha Cornebise
101	Brian Guzik
102	John Kelly
103	Jonathan Steele
104	Pia Perrone
105	Maureen murphy
106	Anya Korneyeva
107	Christine French
108	Maura Crowley
109	Cait Ni Chleirigh
110	Carlos Sanchez
111	Isabella Cameron
112	Carolyn Gannon
113	Sandra Collado
114	Kim Richard-O'Brien
115	Joyce Spadafora
116	Barrie Tysko
117	David O'Brieb
118	Sarah Iams
119	Olga Zhestkova
120	Denys Corso
121	Carol Elices
122	Rachelle Dobbs
123	Laura Ross
124	Natalie DeLaria
125	Mivhael kanarek
126	Rachel fernekees
127	Carolyn LaQuaglia
128	Laura Vivenzi
129	Michelle Rigby

Number	Name
130	Rachel Dunham
131	Kate De Lisi
132	Grace McGathey
133	Barbara Atkins
134	Asia Kepka
135	Katarzyna Olejnik
136	Carl Wagner
137	Jason Leger
138	Tana Brummer
139	Karl Magnussen
140	Ralph Beentjes
141	Lauren Tahmoush
142	Regina Tavani
143	Tamara Chenoweth-Jones
144	Claire Moodie
145	Joanne Piepol
146	Michael Pescatore
147	Stacey Sloboda
148	Barbara Baskin-Bowen
149	Michael Evans
150	Vanessa Salas-Wright
151	Amy Antczak
152	Katie Fleming
153	Janice and Fred Sophis
154	Marina Popova
155	Patricia Campbell
156	Candice Campbell
157	Jon Buck
158	Karen Thomas-Alyea
159	Jenny Cutraro
160	Nicole Holt
161	Courtney Simoni
162	Mike Simoni

Petition Comments

- There is very little green space in this area and when the spring comes the woods look beautiful. I live on Tower Road and having this green space is a huge asset to the neighborhood. Children play there collecting all kinds of little bugs, worms, they sled in the winter, we have the opportunity to see owls, and all the wildlife that a small forest offers. Besides the gas building, I have heard some want to use the space for affordable housing. My suggestion for this, is before you destroy green space in Arlington, require all the luxury apartments going up have to have 30% of the units saved for affordable housing.
- This is my petition to protect trees. Please don't cut them for any reason... we need trees!!
- Save the trees! Especially from a fossil fuel company.
- Please DO NOT allow Boston Gas to destroy the 1600 square feet of woods and paths at 307 Washington Street. If you care about Arlington, VOTE NO!
- See previous comments
- Please do not cut down the trees, we don't have much green cover and it's getting worse. We love having the wooded areas
- Please do not grant a permit to Boston Gas Company to cut trees down on its Washington Street Arlington MA property. Please protect wildlife and neighborhoods!
- Please do not grant permit to Boston Gas Company to cut trees on Washington Street Arlington MA property. Please protect town trees, wildlife, neighborhoods and people.
- We need to protect as much natural environments as possible as it has such a benefit on our well being.
- Please save our woods.
- These woods provide a beautiful space between neighborhoods, connecting the community and should be protected & preserved

- Save the trees!
- Please save the trees and nature in Arlington!
- enough with destroying our neighborhoods
- We like the woods. Kids have a lot of fun there.
- The tree area is popular for walkers and provides additional greenery. There is no current zoning for this work so not sure why we would need to give exceptions. Why not repair existing one?
- Please don't destroy this natural space in our neighborhood! Kids play here and then paths are used regularly. It would be so sad for it to disappear and be replaced with a building.
- I oppose this proposal that will eliminate natural habitat and wildlife area. This proposal is not in the best interest of our neighborhood.
- I oppose this proposal that will eliminate natural habitat and wildlife area. This proposal is not in the best interest of our neighborhood.
- We need to preserve mature trees that serve as critical wildlife habitat and bolster climate resilience.
- Save this path!
- Our town has a very limited of green space. Why would we want LESS of it for natural gas purposes? This is backwards thinking, not forwards. I oppose this.
- We walk through these woods daily whether it is walking our daughter to Stratton Elementary School or taking the dog out. The woods may be small, but they're a breath of fresh air we do not want to lose and, especially when the kids were small, a land of great adventures.

- Save the woods from development!
- Arlington needs to stop destroying wildlife habitats like it did by creating the Hills Hill mountain bike park. There is shamefully little green space left for wildlife.
- I support saving these natural woods
- Please preserve these woods. Please deny commercial use of this land. Thank you. William (Bill) Guss
- I am opposed to this request.
- Do not remove these woods! Arlington is building everywhere, and the last thing we need is this facility in my neighborhood!
- Please maintain our important habitats!
- Animals are our neighbors.
- Save the forest habitat and the wildlife it supports. I vehemently oppose National Grid wiping out the trees and compromising the ecology and continuing the assault on our planet and increasing the speed of climate change.
- Save 307 Washington St woods and path! We don't need more deforestation in Arlington.
- Do not disturb this conservation area
- Save the trees for our wildlife so they can stay away from our back yards
- Screech owls are just one of many species that rely on mature trees and their hollows for their nesting habitat. It can take years or decades for a tree to acquire the required holes and hollows to accommodate the various species that rely on them as homes. Consider that when there is a development project that takes down trees and the compromise offered is that new trees will be planted-

- that it will take quite a long time till those new trees can really replace the old trees in terms of adequate wildlife habitat.

- I request the Arlington Zoning Board of Appeals to NOT grant permission to cut the trees and eliminate this natural area.
- Please do not allow these trees to be cut down. As someone who lives in a neighborhood that has dealt with flooding because of overbuilding in our neighborhoods, the damage is irreversible and also affects the ecosystem. Thank you.
- This is a lovely wildlife area & buffer zone that I walk thru frequently with my dog. Please do not allow it to be eliminated!
- There are plenty of nature paths in the area. We need to stop destroying the homes of our wildlife. It's our job as humans to protect them and their space. Ecologically speaking this is a horrible idea. Continue hill or any of the feelaeay paths. I'm really disappointed in the ecological damage our town reps have been causing as of late.
- no more tree destruction. we need our trees and what little natural habitat this town has left. Absolutely not!!!!
- We enjoy walking through that wooded area. Let it be!!!! No more tree cutting.
- Do not take down these trees. This path is a respite for humans and habitat for wildlife which is under assault right now and they need space to exist without poison and loss of home.
- Stop cutting down trees!
- Mature woods are of crucial importance for the health of our ecosystem, which includes all of us. As one example, mature woods shelter raptors, which naturally keep the rat population in check. Aside from that, our town should not be promoting expansion of gas energies and instead focus on alternative energy sources. Please say no to Boston Gas' request for expansion.

- We should not be allowing larger commercial structures in a strictly residential neighborhood. The gas company can afford to build in an area that supports commercial zoning.
- Please do not allow the gas company to cut down any more trees in Arlington. Thank you
- Please do the right thing and protect this land from development.
- Leave nature alone and use what current infrastructure we already have in this town.
- We really hope this is not necessary. We love those woods in all seasons and enjoy the path daily.
- I oppose the expansion and cutting down more mature trees! Trees are important for wildlife, give us oxygen and provide well-being. Given the climate crisis, it is irresponsible. A wooded area near me, including a 70 ft tree, was felled for million dollar condos. I lost my green space and peace. NO to development of land that will cut down more trees in town! This is one of the last remaining habitats in Arlington. For shame!
- save the wildlife!
- This would be devastating for Arlington's goal to zero out on climate impact. Why in the world would this be a good thing for Arlington?
- I love this community and all it's inhabitants. Please preserve and not destroy. We will have nothing left.
- Please don't let the Gas Company destroy the trees and land in this area. Homes back up to this site. Bus stop in front of it. Need to know more about what would be built and its safety for the area.
- People caring about the trees and wildlife is what makes Arlington special. Thank you!

- Too many animals being poisoned and displaced already in this world. If we have a chance to spare these beautiful owls then we must!!
- We need our open spaces.
- Please don't cut these trees down. As someone who has been impacted by flooding due to tree removal in the past, mature trees are important to keep the soil intact and to prevent flooding. They also provide habitat for owls and other birds of prey that we need to control the rodent problem around town. They also mean surrounding houses have a more temperate climate. Removing the trees might seem like a short-term solution to make more money with a contracted company, but removing them can ultimately result in increased problems and higher cost for residents and the town due to these different issues.
- Protecting mature trees in Arlington should be our top priority. These trees and their many benefits cannot be replaced by replanted saplings. Please do not allow these woods to be developed.
- Please do not allow this expansion.
- I oppose this Boston Gas project. There has to be an industrial areal in town that is available for Boston Gas to build this project as opposed to cutting down a valuable mature tree habitat. We need to preserve the prescious little natural areas we have remaining in the town of Arlington.
- Please don't allow Boston Gas to cut down the 1600 SF of mature trees at 307 Washington Street. The number of mature trees that Arlington allows to be cut down continues to increase at an alarming rate. The Town claims to care about the environment, its trees and wildlife yet it continues to act with no regard for them, prioritizing development over trees and wildlife. Please act to save these precious natural resources before there's nothing left to protect.
- This is a concern. We need to better understand the need for expansion so close to residences, and the potential alternatives.
- Save Turkey Hill

- Please don't cut down mature trees at Washington St and anywhere else in town: for example, old trees were recently cut behind Robbins Library, near AHS, and in many other places, and the stump looked completely healthy. This is painful to see.
- Save the woods!!!!
- This is one of the few green spaces in this neighborhood. Children use the path through the woods as a safe shortcut on their walk to Stratton school.
- Please do not destroy this natural area!!!
- Save the woods. The community uses these paths and it helps kids walk safely from neighborhood to neighborhood without walking on Washington street.
- Join petition to prevent cutdown
- I strongly do not support granting permission to cut the trees or eliminate the nature area for expansion of the gas facilities.
- It does not make sense to grant this petition. Leave the current zoning in place.
- Protect every green area in Arlington! That's what makes it nice to live in our town!
- Leave the woods alone you will destroy the wildlife that was there first it's there home.
- I do not want this grant permitted
- Please do NOT allow Boston Gas Company to expand in the Turkey Hill area.
- Our town has given so g d mucg to the utilities so we can get slammed with increasing fees. No more of this. They're not on hard times at Boston gas and can spend some of their own absurd profits

to find a solution that doesn't disrupt our natural spaces. We should be banning gas anyway.

- Protect green space in Arlington!
- Please do not grant permission to cut trees and expand the gas facilities
- Protect Arlington's remaining wild spaces!
- I walk my dog in these woods every day. We have so little green space / wooded areas in town, it must be preserved!
- Keep the trees! Keep Arlington beautiful
- We should keep this and existing green space and tree canopy - not allow it to be developed, clear cut -- or turned into large structures! Thank you for protecting Arlington's vanishing trees and green space. We are the 2nd densest town and would be 12th densest city in MA. We need our spaces protected better.
- Leave the trees and the mini woods alone.
- Please vote NO to the proposed Boston Gas plan that will destroy one of the very few remaining natural habitats left in Arlington. There are other options for Boston Gas, but the residents of Arlington will be losing yet another natural area that cannot be replaced. Please vote NO. Thank you.
- We need to reduce our reliance on natural gas, not expand it.
- Please leave 307 Washington Str woods alone.
- We are unequivocally opposed to allowing Boston Gas to cut down this lovely wooded area in the Stratton district or to use it for their purposes. This is one of the very few remaining wooded areas in Arlington and we should preserve it for the people of this neighborhood and town and for the wildlife that calls it their home. We do not want to turn Arlington into Somerville!

- There is no future for anyone without trees, that literally save our neighborhoods, town and planet. There definitely is future without gas! Please prioritize what is a true benefit to neighbors, Arlington and humanity!
- No gas place
- I am absolutely opposed to the plan to remove 1600 square feet of mature canopy trees from this site for this project. There already is a paved area. Why not build in that space instead? Or site this differently so as to not disrupt native species. Removing these trees is directly at odds with the towns stated goals of climate resiliency and expanding the capacity of this facility is at odds with the towns goal to shift AWAY from natural gas. The applicant claims this development will have no negative effects on neighboring properties but we all know that runoff increases when you disturb soil and remove the established roots of trees that help to hold soil in. I urge you to not authorize this plan as submitted.
- This beautiful wooded area is regularly visited on our neighborhood walks in a safe way to admire nature, in an area with so little sidewalks. We frequently walk our dog through as our kids pick up sticks, admire the change of leaves, and pop into the stick compilation turned teepee. We even used this pathway with our stroller as the kids have grown, to admire the beauty and avoid the dangerous main road/steep hill! Please keep it for the neighbors to enjoy as we always have. Thank you!

Docket #3880 – 307 Washington Street.

From Jennifer Ingram <jeningram@rcn.com>

Date Mon 1/12/2026 5:58 PM

To ZBA <ZBA@town.arlington.ma.us>

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To the Arlington Zoning Board of Appeals:

As a long term Arlington resident and supporter of reducing reliance on fossil fuels, I ask that you deny the exemption requested by Boston Gas for 307 Washington Street.

It is not in the best interests of Arlington residents to diminish green spaces and to further the use of natural gas.

Sincerely yours,

Jennifer Ingram
88 Fairmont Street
Arlington MA 02474

Docket #3880 – 307 Washington Street.

From Amy Smift <amysmift@gmail.com>

Date Mon 1/12/2026 5:13 PM

To ZBA <ZBA@town.arlington.ma.us>

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Dear Zoning Board Members,

I am extremely concerned to hear about the Boston Gas Company proposal to build a new facility at 307 Washington Street and their request for an exemption to the residential zoning of that lot in order to do so. Expanding gas infrastructure is opposed to our Arlington Net Zero by 2050 goals, the energy priorities we as a town have agreed upon. Also, as a birder, I know the woods of Turkey Hill provide habitat for many species of birds, and I wonder if the existing 305 Washington facility could instead be renovated to avoid the loss of the 307 Washington pocket of woods? Thank you for your careful consideration and investigation on this matter.

Sincerely,
Amy Smift
55 Mott St, Arlington

New Gas facility

From Andrew Pockrose <andrew.pockrose@gmail.com>

Date Mon 1/12/2026 4:47 PM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Board members,

I'm writing to ask you NOT to grant an exemption to Boston Gas Company to build a new facility at 307 Washington Street in Arlington.

Not only would this be built on what is presently forested land, it will encourage more use of dirty gas and discourage our necessary transition to clean energy for our homes. I think the town and gas company need to prioritize repairing and maintaining the current system and its many leaks before and sort of expansion

Please consider these points when making your decision.

Many thanks,

Andrew Pockrose

Opposition to the new natural gas "take station"

From Carolyn Salvi <gelflinggirl@gmail.com>

Date Mon 1/12/2026 4:07 PM

To ZBA <ZBA@town.arlington.ma.us>

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Dear Members of the Zoning Board,

I'm writing to voice my opposition to the construction of a new natural gas "take station" near 305 Washington St.

First and most importantly, the town should be making every effort to move away from reliance on natural gas and towards a more sustainably powered electrified infrastructure.

Second, methane is notoriously hard to contain and we already have a high number of gas leaks around town. We need to be working to remedy those leaks, not creating opportunities for new ones.

Third, that land is forested land, enjoyed and appreciated by Arlington residents. As a local tax payer, I want it to STAY forested.

Thank you for your attention.

Sincerely, Carolyn Salvi

Homeowner, 25 Teel St

Docket #3880-307 Washington Street

From Patricia Crotty <pcrottyart@gmail.com>

Date Mon 1/12/2026 4:02 PM

To ZBA <ZBA@town.arlington.ma.us>

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As a long-term Arlington resident, I am writing to express my concern about Boston Gas Company's proposed bigger "take station" at 307 Washington St., Arlington.

This would expand gas infrastructure when we need to be transitioning to clean energy. Building this in a residential area will be detrimental to residents due to the potential for methane leaks. Building on forested land that residents regularly use will also harm residents and decrease forest land which is important in climate change harm reduction.

Arlington already has more than 185 active gas leaks, which should be repaired rather than increasing gas infrastructure.

We need to look to the future and work toward a more sustainable energy system for our town, especially in these times when federal support for environmental policy is being withdrawn.

Sincerely,

Patricia Crotty

4 Rhinecliff Street

Arlington, MA 02476

Docket #3880 – 307 Washington Street

From Caitlin M. <caitlinemonaghan@gmail.com>

Date Tue 1/13/2026 8:55 AM

To ZBA <ZBA@town.arlington.ma.us>

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Hello,

I wanted to express my concern that the proposal to place a natural gas take station at 307 Washington St. appears to be at odds with our town's goal of weaning ourselves off of fossil fuels. Furthermore, I would hate for us to bestow any additional responsibility on National Grid or any subsidiary thereof, given their abnegation of their obligation to deal with the numerous gas leaks that perfume our town.

Best regards,

Caitlin Monaghan

43 Highland Ave.

Docket #3880 – 307 Washington Street

From Rebecca Ellis <rebecca.c.ellis@gmail.com>

Date Tue 1/13/2026 11:43 AM

To ZBA <ZBA@town.arlington.ma.us>

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Hello,

My name is Rebecca Ellis, and I am an Arlington resident (135 Medford Street #2). I'm writing because I recently learned that the Zoning Board of Appeals will be considering, at its meeting tonight, a request for exemption from Boston Gas Company (a subsidiary of National Grid) to build a new, bigger gas take station at 307 Washington Street, which is currently zoned for residential use only.

I'm writing to express my opposition to this proposed project. Arlington is actively working - as it should - to reduce reliance on natural gas and transition to a clean energy-powered electric grid, necessary to reach the Town's goal of net zero carbon emissions by 2050. Increasing capacity of gas distribution in town is thus neither essential nor desirable. If Boston Gas is going to expend funds on gas infrastructure in Arlington, it should be addressing existing gas leaks, not building a new station that will, hopefully, become obsolete within a few years.

I hope the ZBA will scrutinize this project carefully and explore whether there are alternatives that will better serve Arlington residents.

Thank you for taking comments on this matter.

Best,
Rebecca Ellis

Docket #3880

From danielm@jalkut.com <danielm@jalkut.com>

Date Tue 1/13/2026 12:47 PM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear ZBA:

I am writing with respect to Boston Gas's proposed removal of ~16,000sqft of trees, including a number of trees that evidently require the ZBA's permit to remove.

If I understand the planned construction, the idea is to replace and augment the function of the existing Boston Gas structures in the adjoining lot.

I am not writing to urge either approval or disapproval of the plan, but to ask the ZBA to consider requiring that the existing buildings and the land they're on, after completion of the new facility, be replanted with trees of the highest ecological value and suitability to the property's location.

I think that making such replanting a condition of granting the permit might ease the concerns of those who are actively opposed to the plan, and hearten tree-loving residents who are either ambivalent or in favor of the plan.

Thank you,
Daniel Jalkut
17 Randolph Street
TMM, Precinct 6

Docket #3880-307 Washington Street

From Gail McCormick <gaildtm@gmail.com>

Date Tue 1/13/2026 12:20 PM

To ZBA <ZBA@town.arlington.ma.us>

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It is absolutely insane to add any more gas to Arlington, let alone increase methane emissions which are over 80 times more potent than CO2 over 20 years. Global temperatures are expected to continue at or near record levels in the next five years. This means more wildfires, heat deaths, drought, and other disasters. Check climatecrisisblog.com if you want to know how bad it is and how bad it's going to get if we increase fossil fuel emissions.

Gail McCormick

Comments re Docket #3880 - 307 Washington Street

From lise.hild@posteo.net <lise.hild@posteo.net>

Date Tue 1/13/2026 1:54 PM

To ZBA <ZBA@town.arlington.ma.us>

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Dear Zoning Board of Appeals,

I am writing to ask that you turn down the Boston Gas Company's requested exemption to zoning rules so that it can build a larger gas "take station" at 307 Washington Street. Currently, the land is zoned for residential use only.

In this time of extreme climate change, we need to consider carefully the wisdom or folly of building new and larger fossil fuel infrastructure. In keeping with all scientific and moral wisdom for addressing the climate crisis, the Town of Arlington has made a commitment to REDUCE reliance on gas and transition to electric heat in the next decades. Thus, building out NEW gas infrastructure is going in the wrong direction and will burden rate-payers and residents with the economic and environmental costs over many years.

In addition, transferring gas is always a cause for concern, and this proposed station would add to the 185 current methane leaks in Arlington. Why is the gas company not focusing its efforts to repair current infrastructure to cut down on gas waste and human health consequences?

Finally, I understand that mature trees would be cut down for this project, which will cause further degradation to the Arlington environment, reduce carbon-sequestering plant life, reduce available shade during times of heat, and reduce homes for wildlife.

Please do not listen to the voices of fossil-fuel companies over the needs of this community to move into a sustainable energy future. We have to learn to live within our energy limits, not keep expanding practices that move us towards extinction.

Sincerely yours,

(The Rev.) M Lise Hildebrandt
46 Jason Street
Arlington 02476

Comment on Docket #3880 – 307 Washington Street

From Ashley Higgs Hammell <ahiggshammell@gmail.com>

Date Tue 1/13/2026 3:41 PM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Arlington Zoning Board Members,

I am writing to comment on Docket #3880 – 307 Washington Street ahead of tonight's zoning board meeting.

Please do not grant an exception to the Boston Gas Company to build a bigger take station at 307 Washington St., currently zoned for residential use. There are many, many reasons to not expand gas infrastructure in 2026. Here are several:

1. Most importantly to me, I am a mother of two young children (1 and 3) and am very concerned about the environment I am -- and all of us are -- passing on to them. With the current federal administration doing everything in their power to ensure the world melts and has no clean air or water, it is imperative that we at the local level do everything in our power to fight back. That includes not approving any project -- no matter how seemingly small -- that further commits us to a future dependent on gas.
2. This goes against Arlington's Net Zero by 2050 climate goal. Expanding gas infrastructure is not how we need to be investing resources (specifically land, in this case). The town should remain focused on electrification and not approve projects that are not aligned with this ultimate goal. Especially projects that would cut down carbon-sinking trees.
3. Take stations commonly have methane leaks. So while Boston Gas Company may claim the project won't hurt the health of the community, this is just not true. Arlington already has more than 185 active gas leaks and we do not need more. I feel especially strongly about this in the wake of the EPA's recent announcement that it will no longer consider the human cost of pollution in regulating businesses. That is unacceptable. Lives are affected by pollution -- methane gas included -- and every little leak adds up and impacts the health of us all.

Thank you for taking my comments into consideration as you make your decision. As a group of people with the power to halt this project, I urge you to consider the weight of the health and future of Arlington's youngest residents. It may seem like a small project -- just one parcel of land -- but every little bit counts and is more important than ever at this moment in history.

Thank you,
Ashley Hammell
163 Charlton St., Arlington

Opposed the natural gas take station at 307 Washington

From Meredith DiMola <meredithdimola@gmail.com>

Date Tue 1/13/2026 2:49 PM

To ZBA <ZBA@town.arlington.ma.us>

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Dear Zoning board - I am horrified to hear about this proposed station.

307 Washington St. is completely contradictory with our town's goal of weaning ourselves off of fossil fuels. This company (boston gas) is very disrespectful in its lack of care for the environment. For years different organizations (ie Mothers Out Front) have tried to get this company to take care of gas leaks throughout town. They never fix the current gas issues so why would we willingly invite them to expand . I whole heartedly reject this proposal and will do all I can to stop it -

Meredith DiMola
47 Crosby st Arlington, Ma
617.458.1744

Docket #3880 307 Washington St

From Gwen C <gcowallis@hotmail.com>

Date Tue 1/13/2026 7:00 PM

To ZBA <ZBA@town.arlington.ma.us>

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Hello Mr. Klein:

My name is Gwen Co-Wallis and live at 1077 Massachusetts Ave Apt #2 in Arlington, MA.

Regarding Docket# 3880, I do not support the Boston Gas request for extension of their property and request that it not be granted due to the environmental impact to the wildlife.

Thank you,
Gwen Co-Wallis

307 Washington appeal

From Diana Zlatanovski <dzlatanovski@yahoo.com>

Date Tue 1/13/2026 5:47 PM

To ZBA <ZBA@town.arlington.ma.us>

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Hello

I am writing to ask the Arlington Zoning Board of Appeals to NOT grant permission to the Boston Gas expansion project in a way that allows them to remove a substantial number of trees. This action would further reduce the few remaining patches of natural areas all around Arlington. Woods like these not only make Arlington what it is—a desirable place to live, but they protect out neighborhoods from heat and floods, not to mention the importance of providing wildlife habitats. We exist within a natural ecosystem—it takes dozens or hundreds of years to recreate any of these habitats, we must be more considerate about how we allow landowners to tear them down.

Thank you,

Diana Zlatanovski

No way to cutting down old growth trees for a gas line

From coolbeanmike <coolbeanmike@gmail.com>
Date Tue 1/13/2026 5:26 PM
To ZBA <ZBA@town.arlington.ma.us>
Cc Robin Bova <familybova@gmail.com>; Ian Bova <ian.m.bova@gmail.com>

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Hi,
I live in Arlington on Park Ave and I'm very much against cutting g down old growth trees for a gas line. Animals have a hard enough time living in the area and you will just exacerbate the problem..... please don't do this

Thanks

Michael Bova
325 Park Ave
Arlington

Docket #3880 – 307 Washington Street

From Peter Bermudes <peterbermudes@gmail.com>

Date Tue 1/13/2026 4:19 PM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Greetings:

I wanted to voice my concerns regarding Boston Gas's proposal to build a new, larger take station at 307 Washington Street:

- 1) the project would expand gas infrastructure at a time when Arlington is working hard to reduce reliance on natural gas and transition to clean, electric heating in order to meet our Net Zero goals by 2050. Increasing gas capacity is not aligned with the Town's climate commitments.
- 2) Boston Gas claims the project will not harm neighborhood health or welfare, but methane leaks are common at gas facilities, and methane cannot be "confined to the premises." The project would also require clearing a wooded area that Arlington residents regularly use and value.
- 3) Arlington already has more than 185 active gas leaks, a number that has not improved over the past decade despite strong advocacy and millions of ratepayer dollars spent on pipeline replacements.

Rather than investing in a facility that will hopefully quickly become obsolete, it seems the priority should rather be on repairing major leaks, refurbishing the current take station, and investing in electrification so our net zero goals might be realized.

I urge the Board to carefully review the impacts of and alternatives to this project.

With thanks,

Peter & Deb Bermudes

19 Belknap Street

307 Washington Street

From Danielle Brody <dwbrody@gmail.com>

Date Wed 1/14/2026 12:10 PM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Members of the Arlington Zoning Board,

Thank you for the opportunity to observe and participate in last night's meeting regarding the proposal for 307 Washington Street. I appreciate the time and consideration given to this matter and would like to respectfully outline several key issues that, in my view, remain unresolved and warrant further discussion before any approval is considered.

First, while it is understood that the gas company has identified a need to upgrade certain equipment, this fact alone does not establish that the proposal meets the standard of an essential service requiring a new permit for a net new facility of this size on a new site. There is an existing, already cleared parcel of land that could be expanded to meet the upgrade needs. **Choosing to construct a new facility on a different site is a business preference rather than an essential need of the town or the service itself. National Grid can upgrade the existing site that has already had special permitting and continue to operate as they have for over 75 years.**

Second, it was stated that the company will not be out of compliance for more than ten years. Given this substantial timeframe, there appears to be ample opportunity for the Zoning Board, the gas company, and neighboring residents to continue a collaborative discussion to determine the most appropriate way to meet both the town's needs and the company's operational goals, without rushing to approve the most disruptive option.

Third, the proposed site location is the most disruptive to the site. A different approach / location on the 307 parcel could significantly minimize disruption making use of existing clearing on the 305 parcel and limiting noise closer to a busier street with neighborhood activity that might muffle or shield the facility.

Fourth, concerns regarding noise remain unresolved. This is a quiet residential neighborhood, and the introduction of ongoing industrial noise would be inconsistent with the character of the area and detrimental to residents' quality of life.

Finally, the aesthetics of the proposed structure are highly incongruent with a residential setting. A fourteen-foot-high building, combined with chain-link fencing and barbed wire, would be visually unappealing and environmentally disruptive in this neighborhood context. This plan also leaves buildings constructed originally for the same purpose almost abandoned and likely unkept.

To be clear, I am not disputing that gas service continues to play a role in our society and community at this time. However, that reality alone does not justify the specific proposal before the Board, nor does it establish that the permitting of a net new facility at this location is an essential need. I respectfully ask that the Board require additional discussion and meaningful modifications to the plan to explore how National Grid can complete necessary upgrades in a way that better serves the town, the neighborhood, and the environment. There is no essential need for an industrial facility to be built squarely in the center of a wooded parcel when a busier road with an existing clearing offers an option.

Thank you for your time, service, and consideration.

Sincerely,

Danielle Dean

55 Greeley Circle



Town of Arlington, Massachusetts

Docket #3878 190 Mystic Valley Pkwy

Summary:



OpenGov application links:

Variance: <https://arlingtonma.portal.opengov.com/records/214641>

Special Permit: <https://arlingtonma.portal.opengov.com/records/212933>

ATTACHMENTS:

Type	File Name	Description
Reference Material	3878_190Mystic_Valley_Pkwy_legal_ad.pdf	3878 190 Mystic Valley Pkwy legal ad
Reference Material	3878_190_Mystic_Valley_Pkwy_Certified_abutter_list_and_map.pdf	3878 190 Mystic Valley Pkwy Certified abutter list and map
Reference Material	3878_190_Mystic_Valley_Pkwy_SP_Application.pdf	3878 190 Mystic Valley Pkwy SP Application
Reference Material	3878_190_Mystic_Valley_pkwy_Variance_App_V-25-9.pdf	3878 190 Mystic Valley pkwy Variance App V-25-9
Reference Material	3878_190Mystic_Valley_Pkwy_Certified_plot_plan.pdf	3878 190 Mystic Valley Pkwy Certified plot plan
Reference Material	3878_190_Mystic_Valley_Pkwy_Parking_location_images.pdf	3878 190 Mystic Valley Pkwy Parking location images
Reference Material	3878_190_Mystic_Valley_Pkwy_Proposed_parking_11-3-25.pdf	3878 190 Mystic Valley Pkwy Proposed parking 11-3-25
Reference Material	IMG_7468.jpeg	190 Mystic Valley Pkwy updated drawing
Reference Material	3878_190_Mystic_Valley_Pkwy_updated_proposal_11-13-25.pdf	3878 190 Mystic Valley Pkwy updated proposal 11-13-25
Reference Material	3878_190_Mystic_Valley_Pkwy_Engineering_Note.pdf	3878 190 Mystic Valley Pkwy Engineering Note
Reference Material	3878_190_Mystic_Valley_Pkwy_Conservation_Commission_Map.pdf	3878 190 Mystic Valley Pkwy Conservation Commission Map
Reference Material	3878_190_Mystic_Valley_Pkwy_sewer_easement_email-Engineering_and_ConCom.pdf	3878 190 Mystic Valley Pkwy sewer easement email-Engineering and

<div data-bbox="152 178 186 220">  </div> <div data-bbox="194 157 389 220"> Reference Material </div>	<div data-bbox="389 178 1169 220"> 3878_190_Mystic_Valley_Pkwy_Tree_Warden_Photo.pdf </div>	<div data-bbox="1169 109 1424 220"> ConCom 3878 190 Mystic Valley Pkwy Tree Warden Photo </div>
<div data-bbox="152 273 186 315">  </div> <div data-bbox="194 252 389 315"> Reference Material </div>	<div data-bbox="389 273 1169 315"> 3878_190_Mystic_Valley_Pkwy_Tree_Warden_Note.pdf </div>	<div data-bbox="1169 220 1424 342"> 3878 190 Mystic Valley Pkwy Tree Warden Note </div>

ORDER DETAILS

Order Number: LNEO0407674
External Order #: 11839580
Order Status: Approved
Classification: Public Notices
Package: General Package
1 Affidavit: 5.00
Total payment: 201.20
Payment Type: Account Billed
User ID: L0023538
External User ID: 670931

ACCOUNT INFORMATION

Arlington Board Of Appeals
51 Grove St
Arlington, MA 02476-4602
781-316-3396
cralston@town.arlington.ma.us
Arlington Board Of Appeals
Contract ID:

TRANSACTION REPORT

Date November 13, 2025
10:26:58 AM EST
Amount: 201.20

ADDITIONAL OPTIONS

1 Affidavit

SCHEDULE FOR AD NUMBER LNEO04076740

November 20, 2025
The Advocate & Star
(Arlington -
Winchester)
November 27, 2025
The Advocate & Star
(Arlington -
Winchester)

PREVIEW FOR AD NUMBER LNEO04076740**ZBA Hearing Notice
190 Mystic Valley Pkwy
Arlington**

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by Dina and Naftali Brawer, on November 3, 2025, a petition seeking to alter their property located at 190 Mystic Valley Parkway - Block Plan 041.A-0002-0007.1. The said petition would require a Variance under Bylaw 3.2.2(D) of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", on Tuesday, December 9, 2025, at 7:30 P.M. as soon thereafter as the petitioner may be heard.

To register for the meeting and view documents related to this application go to the Town of Arlington calendar, <https://www.arlingtonma.gov/connect/calendar>, choose the date of the meeting you wish to attend, register for the Zoom meeting, and review documents relating to the application by clicking the link to the agenda. Please direct any questions to: ZBA@town.arlington.ma.us
Christian Klein, RA,
Chair, Zoning Board of Appeals
November 20, 27 2025
LNEO0407674

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[Contact Us](#)

**CERTIFIED ABUTTERS LIST**

Date: November 13, 2025

Subject Property Addresses: 190 MYSTIC VALLEY PKWY, ARLINGTON, MA

Subject Property ID: 41.A-2-7.1

Search Distance: 300 Feet - Zoning

				MAILING ADDRESS	
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Town, State, Zip
043.0-0007-0026.0	73 BEACON ST	MURRAY MARGARET H		73 BEACON ST	ARLINGTON MA, 02474
041.0-0005-0001.0	40-42 FORDHAM ST	RUCAJ ARLINDI &	BALLA EDLIRA	40 FORDHAM ST	ARLINGTON MA, 02474
041.A-0002-0126.2	126 RAWSON RD #2	WALLS SUSAN		126 RAWSON RD UNIT 2	ARLINGTON MA, 02474
041.A-0002-0067.0	65-67 PARK ST #67	STACK WENDY		67 PARK ST	ARLINGTON MA, 02474
041.A-0002-0065.0	65-67 PARK ST #65	JIANG MINGDE	LEDBETTER KATHRYN	65 PARK ST	ARLINGTON MA, 02474
041.A-0002-0114.0	114 RAWSON RD #114	BELTRAN PIERRE MICHEL JEAN	GONZALEZ CARLA FERNANDA VENDRE	114 RAWSON RD	ARLINGTON MA, 02474
041.0-0002-0013.0	122 RAWSON RD	DROHAN DUANE E--ETAL	DROHAN BERNADINE F	122 RAWSON RD	ARLINGTON MA, 02474
041.0-0002-0006.0	83 PARK ST	DUBOIS ABIGAIL		83 PARK ST	ARLINGTON MA, 02474
041.0-0006-0001.0	127-129 RAWSON RD	VALLARELLI RICHARD J JR/ TRUSTEE	JANICE M VALLARELLI IRREVOCABL	33 ALTON ST	ARLINGTON MA, 02474
041.A-0002-0124.1	124 RAWSON RD #1	CATERINO PAMELA		124 RAWSON RD UNIT 1	ARLINGTON MA, 02474
041.0-0002-0011.0	128 RAWSON RD	ALVES JOHN		108 LINE STREET	SOMERVILLE MA, 02143
041.A-0006-0031.0	31-33 FORDHAM ST #31	CARMI RAOUF & RITA		31 FORDHAM ST	ARLINGTON MA, 02474
044.A-0007-0074.1	74 PARK ST #1	DONOVAN JOHN W & MACHO MATT C		74 PARK ST UNIT 1	ARLINGTON MA, 02474
041.A-0006-0033.0	31-33 FORDHAM ST #33	COLACES THOMAS VINCENT	LANDAU STEFANIE	33 FORDHAM ST	ARLINGTON MA, 02474
041.0-0002-0014.0	118 RAWSON RD	HOUSING CORP OF ARLINGTON		252 MASS AVE	ARLINGTON MA, 02474
044.A-0007-0006.0	70 PARK ST #B	BURRELL KENNETH & KRISTEN		70 PARK ST UNIT B	ARLINGTON MA, 02474
044.0-0008-0001.0	0LOT MYSTIC VALLEY PKWY	DEPT/CONSERVATION & RECREATION	WATER SUPPLY PROTECTION DIV	STATE TRANSPORTATION BLDG; 10 PARK PLZ STE 6620	BOSTON MA, 02116
044.A-0007-0083.B	83 BEACON ST #B	FRIES PATRICIA		83 BEACON ST UNIT B	ARLINGTON MA, 02474
041.A-0002-0073.0	71 PARK ST #73	NEMESH JAMES C & ANN		73 PARK ST	ARLINGTON MA, 02474
041.0-0006-0003.0	170-172 MYSTIC VALLEY PKWY	170-172 MYSTIC VALLEY LLC		20 BROWNING RD	ARLINGTON MA, 02476
044.A-0007-0087.0	85-87 BEACON ST #87	GILBERT ALAN B ETAL/ TRS	87 BEACON STREET REALTY TRUST	87 BEACON ST	ARLINGTON MA, 02474
044.A-0007-0074.2	74 PARK ST #2	TEDESCO PHILIP E &	MCCARTY MAUREEN	74 PARK ST UNIT 2	ARLINGTON MA, 02474
041.A-0006-0005.0	168 MYSTIC VALLEY PKWY #1	BROWN RUBEN EDWARD	CAMERON BETSY SADLER	168 MYSTIC VALLEY PKWY; UNIT 1	ARLINGTON MA, 02474
041.0-0006-0021.0	37 FORDHAM ST	ROSENBUSH ANDREW		37 FORDHAM STREET	ARLINGTON MA, 02474
041.0-0006-0022.0	39-41 FORDHAM ST	MURRAY PAUL D/TRUSTEE	39-41 FORDHAM ST REALTY TRUST	19 AGAWAM RD	WINCHESTER MA, 01890
041.0-0007-0001.0	0LOT MYSTIC VALLEY PKWY	DEPT/CONSERVATION & RECREATION	WATER SUPPLY PROTECTION DIV	STATE TRANSPORTATION BLDG; 10 PARK PLZ STE 6620	BOSTON MA, 02116
041.A-0006-0004.0	166 MYSTIC VALLEY PKWY #2	RUBEN BROWN		166 MYSTIC VALLEY PKWY; UNIT 2	ARLINGTON MA, 02474
043.A-0007-0065.0	65-71 BEACON ST #65	TORRE GUGLIELMA	TRONCONE LUCA	65 BEACON ST	ARLINGTON MA, 02474
041.A-0002-0071.0	71 PARK ST #71	JACILDO MARK & JACQUELINE G/ TRS	J & M JACILDO LIVING TRUST	71 PARK ST	ARLINGTON MA, 02474
041.A-0006-0002.1	174 MYSTIC VALLEY PKWY #1	CRAWFORD JASON	NARAYAN MANJARI	174 MYSTIC VALLEY PKWY	ARLINGTON MA, 02474
041.0-0002-0004.0	75 PARK ST	BELANGER BRUCE A		75 PARK ST	ARLINGTON MA, 02474
044.0-0007-0002.A	82 PARK ST	BLODGETT ANDREA G		82 PARK ST	ARLINGTON MA, 02474
044.A-0007-0004.A	4 CORAL ST #4A	ROSS CHRISTINA M	BOULAIS WAYNE T	4 CORAL ST; UNIT 4A	ARLINGTON MA, 02474
043.A-0007-0066.0	66 PARK ST	WHEELER PIERRETTE		66 PARK STREET	ARLINGTON MA, 02474
043.A-0007-0071.0	65-71 BEACON ST #71	CHEN SHIH-HSUAN	LIN CHI HUA SARAH	71 BEACON ST	ARLINGTON MA, 02474

**CERTIFIED ABUTTERS LIST**

2

Date: November 13, 2025**Subject Property Addresses:** 190 MYSTIC VALLEY PKWY, ARLINGTON, MA**Subject Property ID:** 41.A-2-7.1**Search Distance:** 300 Feet - Zoning

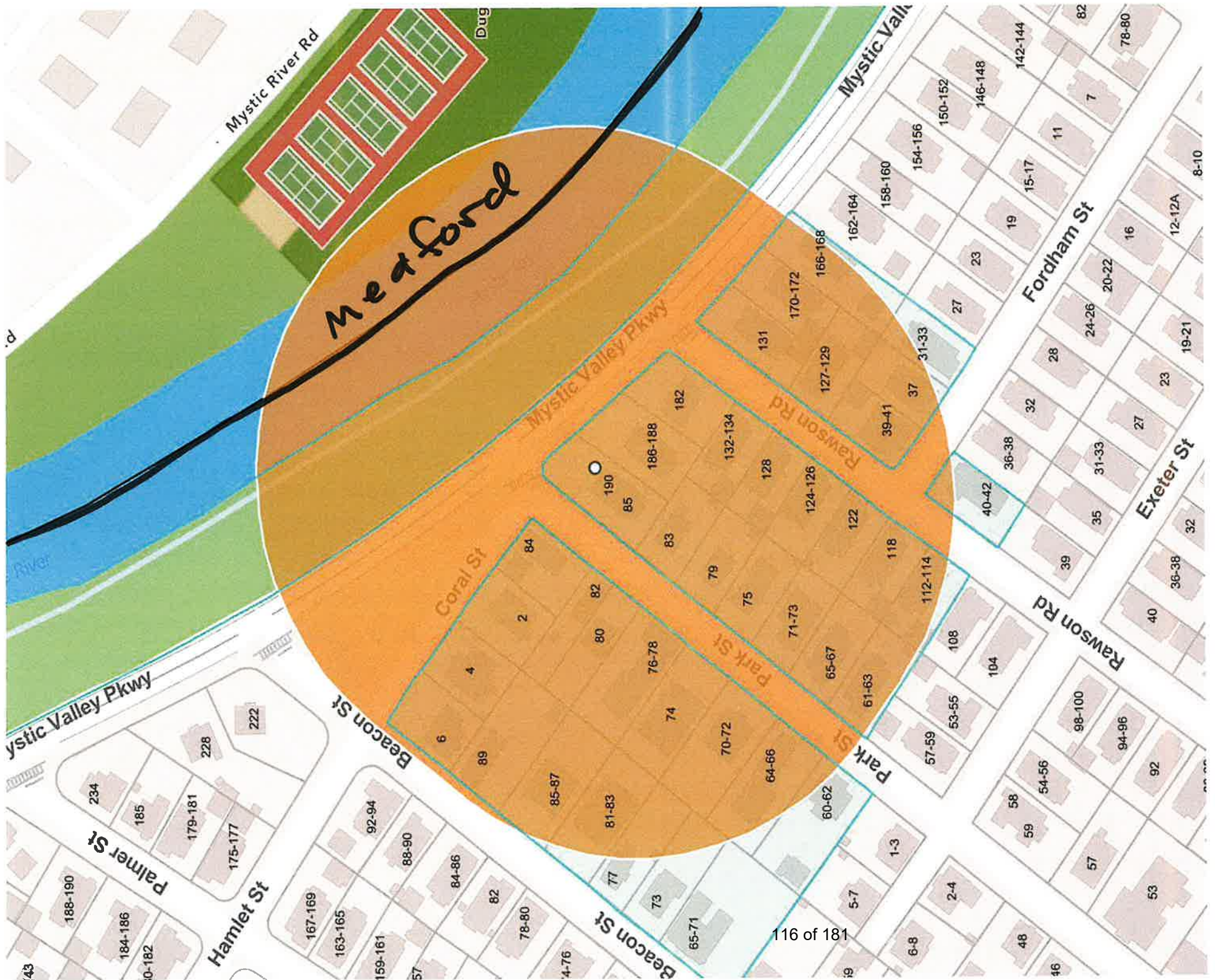
				MALING ADDRESS	
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Town, State, Zip
041.A-0006-0002.2	131 RAWSON RD #2	HULLEY KARI	NARDONE PHILIP III	131 RAWSON RD	ARLINGTON MA, 02476
044.A-0007-0078.0	76-78 PARK ST #78	DHANJAL ROHIT & ANAMARIA		78 PARK ST	ARLINGTON MA, 02474
041.A-0002-0134.0	134 RAWSON RD #134	WHITE JANINE L		934 S HOYT ST	LAKEWOOD CO, 80226
044.A-0007-0081.A	81 BEACON ST #A	81 BEACON STREET CAPITAL LLC		1 TOWER DR; UNIT 2105	PORTSMOUTH RI, 02871
043.A-0007-0064.0	64 PARK ST	REYNOLDS FRANKLIN &	WOLFSFELD LYNN	64 PARK STREET	ARLINGTON MA, 02474
043.A-0007-0069.0	65-71 BEACON ST #69	KEENAN ALYSON C		69 BEACON ST	ARLINGTON MA, 02474
044.A-0007-0085.0	85-87 BEACON ST #85	XU HONGYI	WANG MINGXIAN	85 BEACON ST	ARLINGTON MA, 02474
044.A-0007-0005.0	70 PARK ST #A	CHEN CHUNSHENG	YUAN BINGBING	132 WESTFIELD ST	DEDHAM MA, 02026
044.O-0007-0002.B	80 PARK ST	HAMILTON KENNETH G	HAMILTON KATHERINE B	80 PARK ST	ARLINGTON MA, 02474
041.A-0002-0112.0	112 RAWSON RD #112	SHERSTINIAN DAVID A ETAL/ TRS	DAVID A SHRESTINIAN & SIMONE J	112 RAWSON RD	ARLINGTON MA, 02474
041.O-0002-0008.0	186-188 MYSTIC VALLEY PKWY	SERRANO CATHERINE L/ TRUSTEE	CATHERINE L SERRANO 2019	1 REVOLUTION WAY; UNIT 303	CANTON MA, 02021
044.O-0007-0010.A	6 CORAL ST	STEVENS LORRAINE T & ALANA/ TRS	LORRAINE T STEVENS REVOCABLE	6 CORAL ST	ARLINGTON MA, 02474
044.O-0007-0006.0	77 BEACON ST	DUMOUCHEL MATTHEW & JENNIFER		94 COLONIAL RD	PROVIDENCE RI, 02906
044.A-0007-0004.0	4 CORAL ST #4	DU HAIGUANG	ZHANG LUXI	4 CORAL ST; UNIT 4	ARLINGTON MA, 02474
041.A-0002-0007.1	190 MYSTIC VALLEY PKWY #190	BRAWER NAFTALI	BRAWER NEHAMA DINA	190 MYSTIC VALLEY PKWY	ARLINGTON MA, 02474
041.O-0002-0009.0	182 MYSTIC VALLEY PKWY	GAO YIWEN		1340 4TH AVE; UNIT 5301	SEATTLE WA, 98101
043.O-0007-0002.0	60-62 PARK ST	AZAR JOY E		60 PARK STREET	ARLINGTON MA, 02474
044.O-0007-0001.B	2 CORAL ST	NEAL SHAWN E & SOL GABRIELA		29 COUNTRY CLUB DR	ARLINGTON MA, 02474
041.A-0002-0132.0	132 RAWSON RD #132	THOMPSON JANE		4067 MIRAMAR ST; UNIT 5417	LA JOLLA CA, 92092
044.A-0007-0076.0	76-78 PARK ST #76	FARRELL CATHERINE L ETAL/TRS	CATHERINE L FARRELL TRUST	76 PARK ST	ARLINGTON MA, 02474
044.O-0007-0001.A	84 PARK ST	OTIS CRAIG L	BOUTA ECHOE M	84 PARK ST	ARLINGTON MA, 02474
044.O-0007-0009.0	89 BEACON ST	BIANCHI MICHAEL GEORGE & AYA T		89 BEACON STREET	ARLINGTON MA, 02474
041.O-0002-0001.0	61-63 PARK ST	CARR DEBORAH A		61 PARK ST	ARLINGTON MA, 02474
041.A-0002-0007.2	85 PARK ST #85	GREAU MAXIME & STEPHANIE		85 PARK ST	ARLINGTON MA, 02474
041.O-0002-0005.0	79 PARK ST	HOFFMAN EMILY		79 PARK ST	ARLINGTON MA, 02474
043.A-0007-0067.0	65-71 BEACON ST #67	KELSEY LINDA & TIMOTHY W		67 BEACON ST	ARLINGTON MA, 02474



The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.

NOTE: Results do not include properties within 300 feet from other towns/cities. (See enclosed Map)

Town of Arlington
Office of the Board of Assessors
730 Massachusetts Ave • Arlington, MA 02476
P: 781-316-3050 E: assessors@town.arlington.ma.us





SP-25-28

Special Use Permit

Application (ZBA)

Status: Active

Submitted On: 11/3/2025





Primary Location

190 MYSTIC VALLEY PKWY
Arlington, MA 02474


Owner

BRAWER NAFTALI; BRAWER
NEHAMA DINA
MYSTIC VALLEY PKWY 190
ARLINGTON, MA 02474

Applicant

 Dina Brawer
 917-691-9119
 @ dinabrawer@hotmail.com
 190, mystic valley parkway
Arlington, MA 02474

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district  for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)***

The request is for a second driveway pursuant to Arlington Zoning Bylaw Section 6.1.10.A Location of Parking Spaces. It does not exceed the 20 foot allocation and the total space will be under 350 ft sq..

Explain why the requested use is essential or desirable to the public convenience or welfare.*

The two side by side condos are located at the corner of Park Street and Mystic Valley Parkway.

We currently share a parking space situated in front of our neighbors' entrance on 85 Park street.

The current arrangement:

- a)** Limits our neighbors' privacy, in that we have to walk up to their front door and under their windows anytime we park our car, access it to load/unload, and particularly at night or during early morning departures.
- b)** Pedestrians' access to the 190 MVP condo is via Park street and, particularly if setting down elderly passengers, unloading packages, or visiting after dark, we and/or visitors park on the street in front of the walkway. This can at times reduce visibility for other drivers or cyclists approaching the stop sign at the end of Park street, and when cars are parked on the opposite side of the street, this creates some congestion.

We therefore suggest a dedicated parking space adjacent to the walkway and entrance to 190 MVP that would ease congestion and visibility close to the intersection.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

We considered driveway access from Mystic Valley Parkway toward the rear of the house, but believe that this will be hazardous to public safety due to reduced sightlines on MVP, the proximity to the corner with Park street and Coral street, and in particular to drivers turning into MVP. As explained above our proposal should improve traffic flow and visibility for pedestrians and cyclists. Access to the parking will be at least 33 feet away from the stop sign.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

There is a storm drain nearby, and we are considering a combination of pervious paving to keep water on site and minimize drainage. The majority of the property is landscaped and we have refrained from fencing it in order to enable our neighbors at 194 MVP to have visibility from their own driveway.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

Any special regulations for the use as may be provided in this Bylaw are fulfilled. We believe the proposal complies with applicable special regulations in 6.1.10.A, and the parking size complies with 6.1.11.A. the space overall size will exceed the allotted 350 ft sq.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The proposed parking space is in line with the existing driveways on Park street and would maintain the street's character integrity. The majority of our frontage is landscaped and deliberately left open without fencing to complement the neighborhood aesthetic and the open spaces on Coral street and across MVP.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

This addition will ease traffic - we currently park on the street in front of the house to unload or set down passengers and then have to drive back into the shared parking space adjacent to 85 Park street. It will also mean that our neighbors at 85 Park street will be able to park side by side and not in tandem, and be relieved of moving the car in front to let out the car in the back, (especially helpful with a new teenage driver) and again this will be easing overall congestion on Park street and increasing safety for the many parents and children cycling or walking to school.

Dimensional and Parking Information

Present Use/Occupancy *

two family condo

Proposed Use/Occupancy *

two family condo

Existing Number of Dwelling Units*

2

Proposed Number of Dwelling Units*

2

Existing Gross Floor Area (Sq. Ft.)*

4683

Proposed Gross Floor Area (Sq. Ft.)*

4683

Existing Lot Size (Sq. Ft.)*

6985.1

Proposed Lot Size (Sq. Ft.)* ?

6985.1

Minimum Lot Size required by Zoning*

5998

Existing Frontage (ft.)*

114

Proposed Frontage (ft.)*

114

Minimum Frontage required by Zoning*

59

Existing Floor Area Ratio*

0

Proposed Floor Area Ratio*

0

Max. Floor Area Ratio required by Zoning*

0.1

Existing Lot Coverage (%)*

20.6

Proposed Lot Coverage (%)*

20.6

Max. Lot Coverage required by Zoning*

32

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

0

Minimum Lot Area per Dwelling Unit required by Zoning*

3000

Existing Front Yard Depth (ft.)*

22

Proposed Front Yard Depth (ft.)*

22

Minimum Front Yard Depth required by Zoning*

18

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning*

0

?

Existing Left Side Yard Depth (ft.)* ?

15

Proposed Left Side Yard Depth (ft.)* ?

15

Minimum Left Side Yard Depth required by Zoning* ?

8

Existing Right Side Yard Depth (ft.)* ?

0

Proposed Right Side Yard Depth (ft.)* ?

0

Minimum Right Side Yard Depth required by Zoning* ?

-2

Existing Rear Yard Depth (ft.)*

15

Proposed Rear Yard Depth (ft.)*

15

Minimum Rear Yard Depth required by Zoning*

7

Existing Height (stories)

2.51

Proposed Height (stories)*

0.5

Maximum Height (stories) required by Zoning*

2.51

Existing Height (ft.)*

34.2

Proposed Height (ft.)*

34.2

Maximum Height (ft.) required by Zoning*

33

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

1200

Proposed Landscaped Open Space (Sq. Ft.)*

1000

Existing Landscaped Open Space (% of GFA)*

10

Proposed Landscaped Open Space (% of GFA)*

10

Minimum Landscaped Open Space (% of GFA) required by Zoning*

0

Existing Usable Open Space (Sq. Ft.)*

1469

Proposed Usable Open Space (Sq. Ft.)*

1469

Existing Usable Open Space (% of GFA)* ?

30

Proposed Usable Open Space (% of GFA)* ?

0

Minimum Usable Open Space required by Zoning*

8

Existing Number of Parking Spaces*

2.1

Proposed Number of Parking Spaces*

3

Minimum Number of Parking Spaces required by Zoning*

2.1

Existing Parking area setbacks

0

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by Zoning*

18

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

-1

Proposed Slope of proposed roof(s) (in. per ft.)*

0.1

Minimum Slope of Proposed Roof(s) required by Zoning*

-3

Existing type of construction*

Impervious

Proposed type of construction*

Pervious

Open Space Information

Existing Total Lot Area*

6985.1

Proposed Total Lot Area*

6983

Existing Open Space, Usable*

1469

Proposed Open Space, Usable*

1469

Existing Open Space, Landscaped*

1200

Proposed Open Space, Landscaped*

1200

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

40.1

Accessory Building, Proposed Gross Floor Area

38

Basement or Cellar, Existing Gross Floor Area ?

1276

Basement or Cellar, Proposed Gross Floor Area

1276

1st Floor, Existing Gross Floor Area

1335

1st Floor, Proposed Gross Floor Area

1335

2nd Floor, Existing Gross Floor Area

1381

2nd Floor, Proposed Gross Floor Area

1381

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

651

Attic, Proposed Gross Floor Area

651

Parking Garages, Existing Gross Floor Area ?

0.1

Parking Garages, Proposed Gross Floor Area

-2

All weather habitable porches and balconies, Existing
Gross Floor Area

0

All weather habitable porches and balconies, Proposed
Gross Floor Area

0

Total Existing Gross Floor Area

4683.2



Total Proposed Gross Floor Area

4679



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



Applicant's Signature*



Nehama Dina Brawer

Nov 3, 2025



Record No: V-25-9

Variance Permit
Application (ZBA)

Status: Active

Submitted On: 11/13/2025





Primary Location

190 MYSTIC VALLEY PKWY
Arlington, MA 02474

Owner

BRAWER NAFTALI; BRAWER
NEHAMA DINA
190 MYSTIC VALLEY PKWY
ARLINGTON, MA 02474

Applicant

 Dina Brawer
 917-691-9119
 @ dinabrawer@hotmail.com
 190, mystic valley parkway
Arlington, MA 02474

Variance Permit Criteria

Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.*

A 10 foot sewer easement runs across the property and in order to conform to bylaws, the driveway would have to sit right above the easement which doesn't seem ideal.

In addition, cars accessing the driveway from Park street would drive over the manhole. Finally, a beautiful mature tree on Park street would need to be removed.

Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.*

Due to the above constraints – we have considered a driveway accessed from Mystic Valley Parkway. This however would incur substantial hardship due to restricted sightlines on MVP and would cause the petitioner excessive stress such as that the new driveway would have no useful benefit.

Describe how desirable relief may be granted without substantial detriment to the public good. *

The proposed project fits well within the established development pattern and will not impose additional burdens on municipal services, parking, or circulation. The design respects neighborhood scale, preserves privacy and sightlines, and does not create overshadowing or drainage issues. Because the relief does not introduce hazards or nuisances, and maintains the visual and functional integrity of the area, there is no substantial detriment to the public good.

Describe how desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.*

The requested relief enables a reasonable and functional use of the property without altering the essential nature of the zoning district or creating detriment to nearby properties. The improvement enhances livability while respecting the bylaw's goals, including maintaining open space, limiting bulk, and ensuring harmonious neighborhood development. Because the project aligns with these purposes and introduces no adverse effects, granting the relief would not substantially derogate from the intent of the Zoning Bylaw.

State Law (MGL Chapter 40a, Section 10) requires that the Zoning Board of Appeals must find that all four (4) criteria are met in order to be authorized to grant a Variance. If any one of the standards is not met, the Board must deny the Variance.

Dimensional and Parking Information

Present Use/Occupancy *

2 family

Proposed Use/Occupancy *

2 family

Existing Number of Dwelling Units*

2

Proposed Number of Dwelling Units*

2

Existing Gross Floor Area (Sq. Ft.)*

4683

Proposed Gross Floor Area (Sq. Ft.)*

4683

Existing Lot Size (Sq. Ft.)*

6985

Proposed Lot Size (Sq. Ft.)* ?

6985

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

114

Proposed Frontage (ft.)*

114

Minimum Frontage required by Zoning*

58

Existing Floor Area Ratio*

0

Proposed Floor Area Ratio*

0

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

20.6

Proposed Lot Coverage (%)*

20.6

Max. Lot Coverage required by Zoning*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

0

Minimum Lot Area per Dwelling Unit required by Zoning*

3000

Existing Front Yard Depth (ft.)*

22

Proposed Front Yard Depth (ft.)*

22

Minimum Front Yard Depth required by Zoning*

20

Existing Left Side Yard Depth (ft.)*

15

Proposed Left Side Yard Depth (ft.)*

15

Minimum Left Side Yard Depth required by Zoning*

10

Existing Right Side Yard Depth (ft.)*

0

Proposed Right Side Yard Depth (ft.)*

0

Minimum Right Side Yard Depth required by Zoning*

0

Existing Rear Yard Depth (ft.)*

15

Proposed Rear Yard Depth (ft.)*

15

Minimum Rear Yard Depth required by Zoning*

10

Existing Height (stories)

2.5

Proposed Height (stories)*

2.5

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

34.2

Proposed Height (ft.)*

34.2

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

1200

Proposed Landscaped Open Space (Sq. Ft.)*

1000

Existing Landscaped Open Space (% of GFA)*

10

Proposed Landscaped Open Space (% of GFA)*

10

Minimum Landscaped Open Space (% of GFA) required by Zoning*

0

Existing Usable Open Space (Sq. Ft.)*

1469

Proposed Usable Open Space (Sq. Ft.)*

1466

Existing Usable Open Space (% of GFA)*

30

Proposed Usable Open Space (% of GFA)*

0

Minimum Usable Open Space required by Zoning*

0

Existing Number of Parking Spaces*

2

Proposed Number of Parking Spaces*

3

Minimum Number of Parking Spaces required by Zoning*

2

Existing Parking area setbacks

0

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

0

Proposed Slope of proposed roof(s) (in. per ft.)*

0

Minimum Slope of Proposed Roof(s) required by Zoning*

0

Existing type of construction*

5

Proposed type of construction*

5

Open Space Information

Existing Total Lot Area*

6985

Proposed Total Lot Area*

6985

Existing Open Space, Usable*

1469

Proposed Open Space, Usable*

1469

Existing Open Space, Landscaped*

1200

Proposed Open Space, Landscaped*

1200

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

40

Accessory Building, Proposed Gross Floor Area

40

Basement or Cellar, Existing Gross Floor Area 

1276

Basement or Cellar, Proposed Gross Floor Area

1276

1st Floor, Existing Gross Floor Area

1335

1st Floor, Proposed Gross Floor Area

1335

2nd Floor, Existing Gross Floor Area

1381

2nd Floor, Proposed Gross Floor Area

1381

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area 

648

Attic, Proposed Gross Floor Area

651

Parking Garages, Existing Gross Floor Area 

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies, Existing
Gross Floor Area

0

All weather habitable porches and balconies, Proposed
Gross Floor Area

0

Total Existing Gross Floor Area

4680



Total Proposed Gross Floor Area

4683



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



Applicant's Signature*



Nehama Dina Brawer

Nov 13, 2025

MYSTIC VALLEY PARKWAY

OWNER OF RECORD

NPO PROPERTIES LLC

BOOK 75015 PAGE 334 M.S.R.D

PLAN REFERENCES

PLAN BOOK 233 PLAN 34

CORAL STREET

UTILITY
POLE

TREE

SB/DH

PARK STREET
GRANITE CURB

LOT 34
A=6,985 S.F.

$R=2108.38'$
 $L=32.17'$

$R=20.00'$
 $L=36.63'$

46.6'

10' SEWER EASEMENT

18.9'

104.98'

TREE

TREE

TREE

12.6'

12.1'

60.3'

52.8'

14.2'

14.6'

12.9'

24.7'

13.1'

20.7'

60.50'

PROPOSED LOT COVERAGE=20%

I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN
ACTUAL INSTRUMENT SURVEY.

[Signature]
EDWARD J. FARRELL, P.L.S.

3-25-21
DATE

PLOT PLAN
190-192 MYSTIC VALLEY PARKWAY
ARLINGTON, MASS.

SCALE: 1" = 20' MARCH 21, 2021

Prepared By

EDWARD J. FARRELL

PROFESSIONAL LAND SURVEYOR

110 WINN STREET ~ SUITE 203 ~ WOBURN, MA.

(781)-933-9012

MYSTIC VALLEY PARKWAY

TREET

UTILITY
POLE

$R=20.00'$
 $L=36.63'$

$R=2108.38'$
 $L=32.17'$

LOT 34
 $A=6,985$ S.F.

SB/DH

TREE

10' SEWER EASEMENT

GRANITE CURB
PARK STREET

104.98'

TREE

TREE

TREE

190-192
PROPOSED
ADDITION

114.31'

14.6'

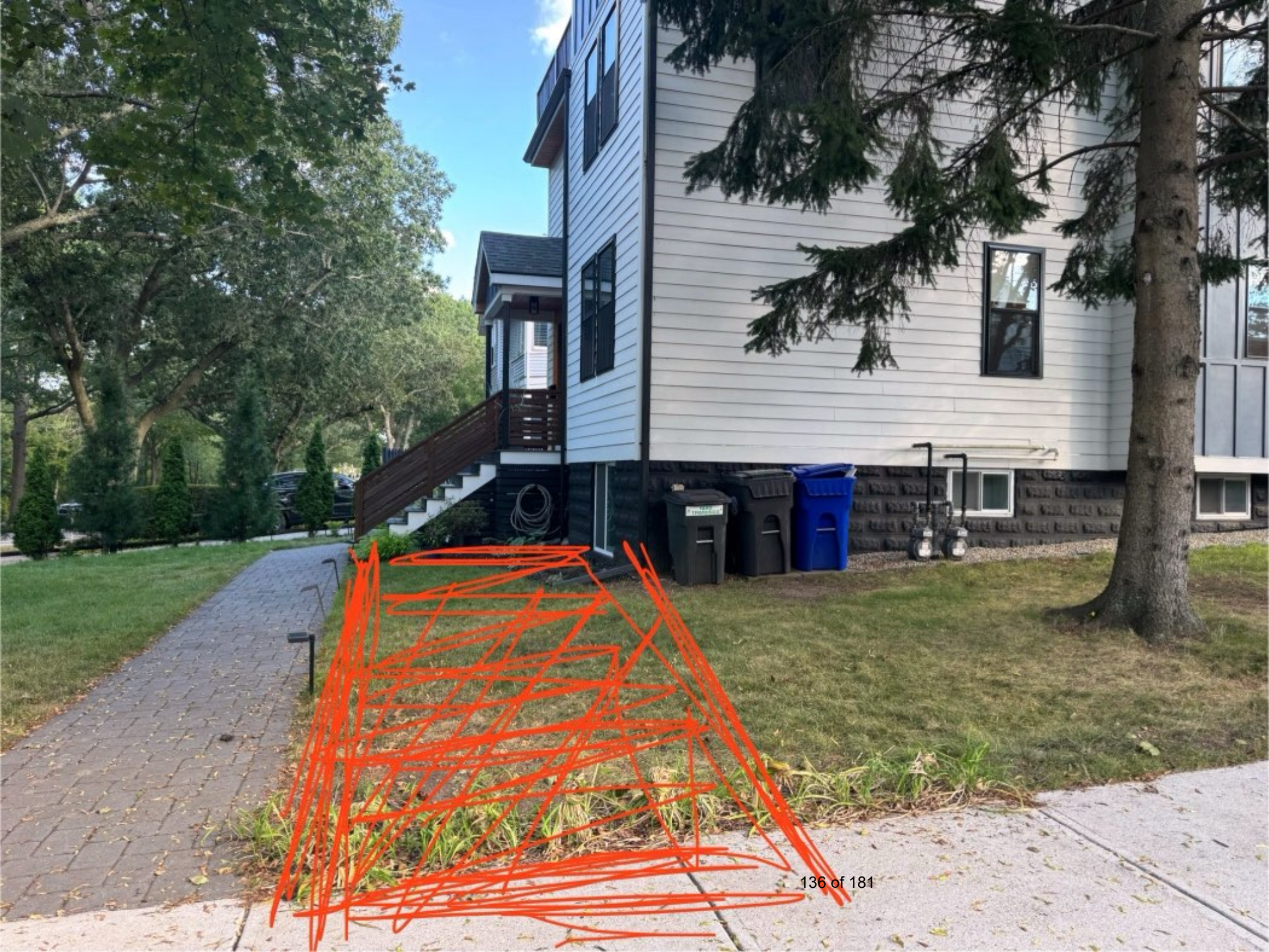
12.9'

60.50'

PROPOSED LOT COVERAGE=20%

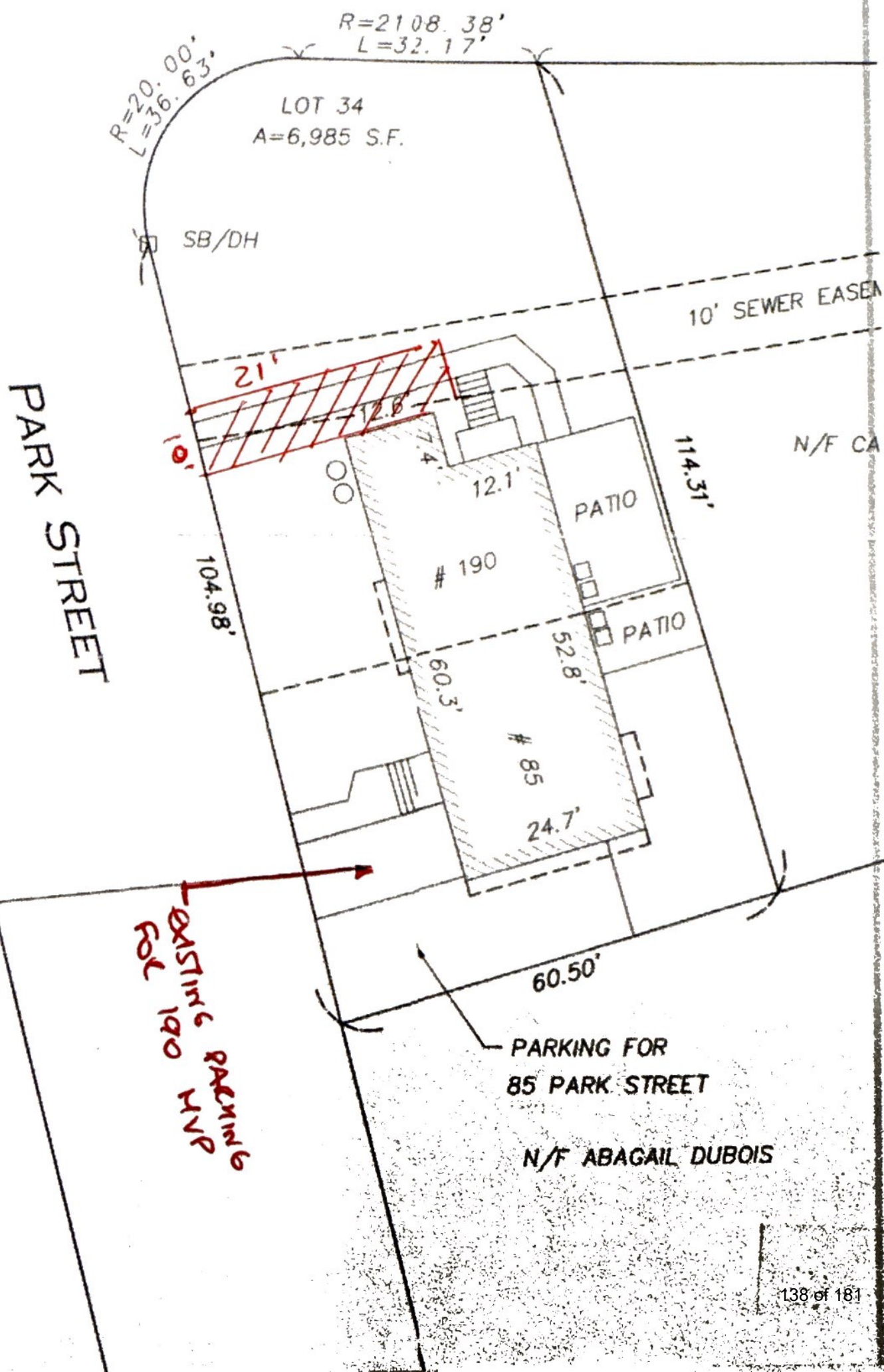








MYSTIC VALLEY PARKWAY



MYSTIC VALLEY PARKWAY

OWNER OF RECORD

NPO PROPERTIES LLC

BOOK 75015 PAGE 334 M.S.R.D

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PLAN BOOK 233 PLAN 34

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PARK STREET
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A=6,985 S.F.

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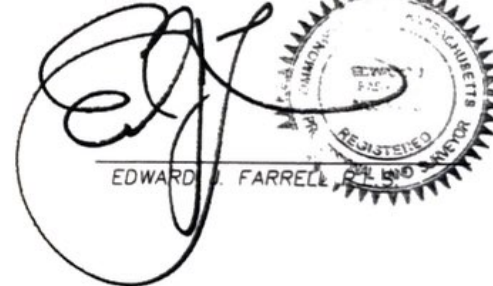
13.1'

20.7'

60.50'

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EDWARD J. FARRELL

3-25-21

DATE

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190-192 MYSTIC VALLEY PARKWAY
ARLINGTON, MASS.

SCALE: 1" = 20' MARCH 21, 2021

Prepared By

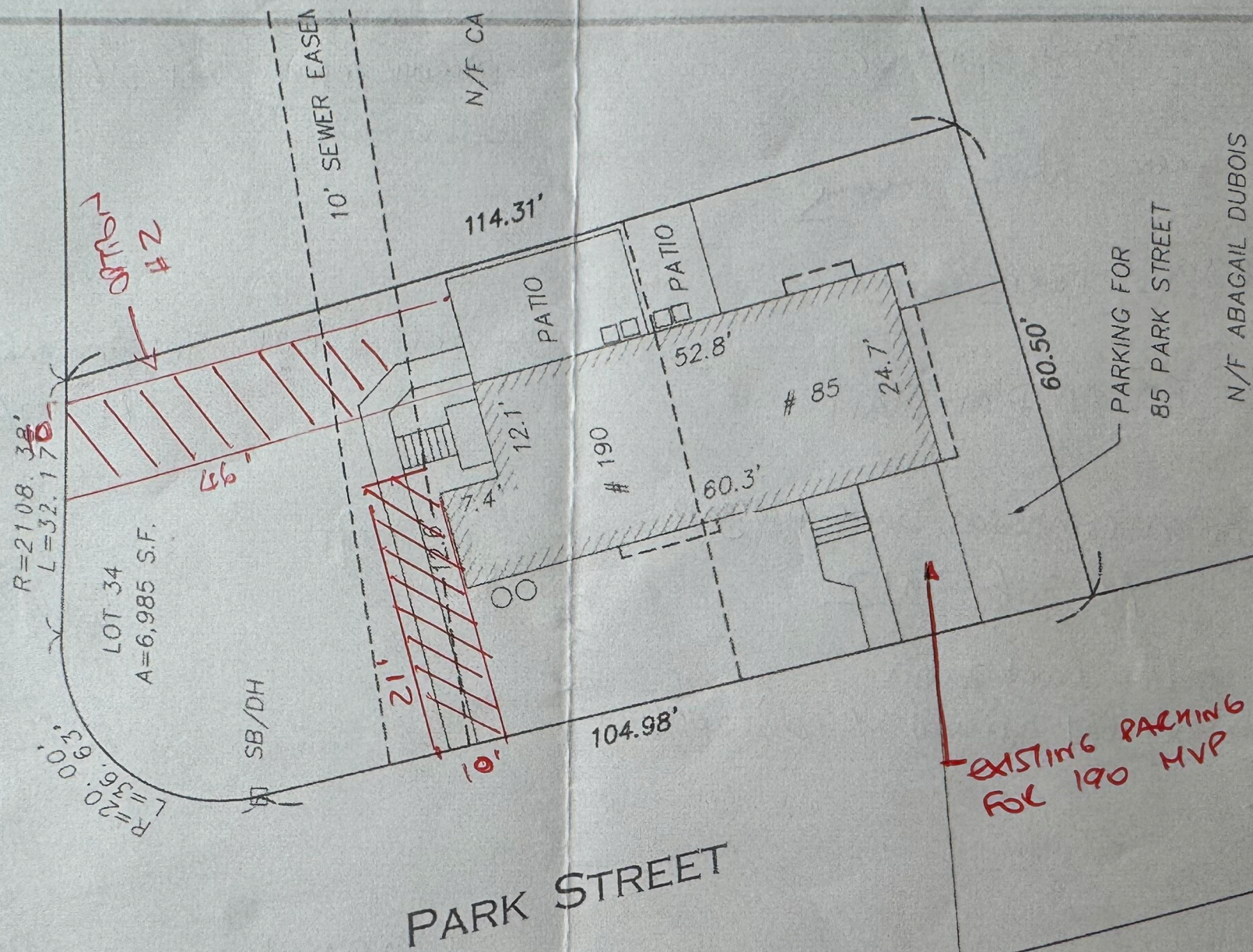
EDWARD J. FARRELL

PROFESSIONAL LAND SURVEYOR

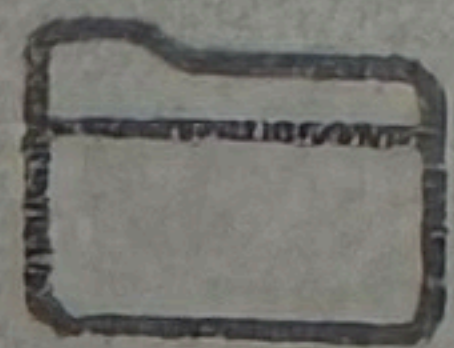
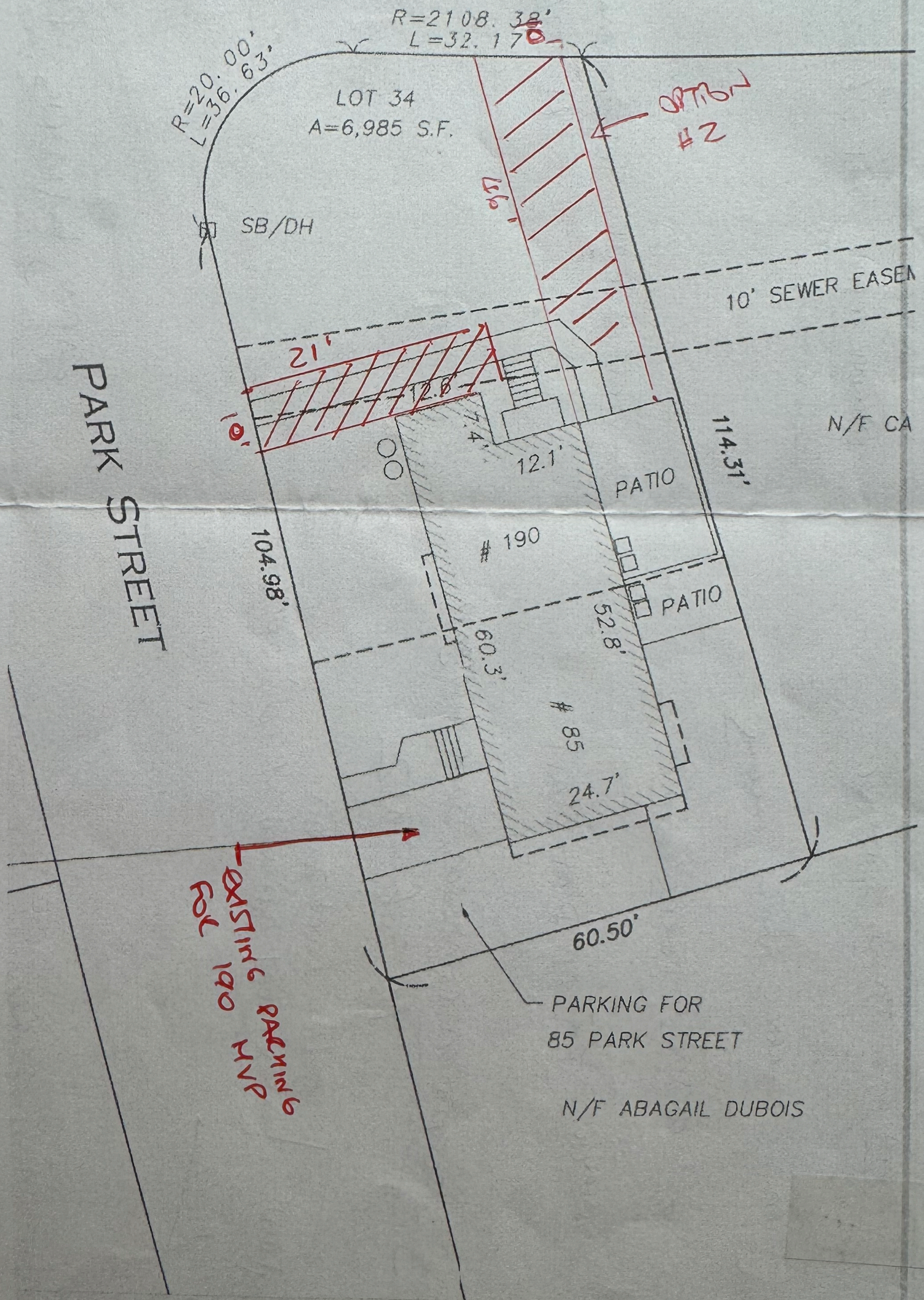
110 WINN STREET ~ SUITE 203 ~ WOBURN, MA.

(781)-933-9012

MYSTIC VALLEY PARKWAY



MYSTIC VALLEY PARKWAY



RE: sewage easement on property

From: William Copithorne <wcopithorne@town.arlington.ma.us>
Sent: Wednesday, January 7, 2026 1:37 PM
To: Dina Brawer <dinabrawer@hotmail.com>
Cc: ZBA <ZBA@town.arlington.ma.us>; David Morgan <dmorgan@town.arlington.ma.us>
Subject: Re: sewage easement on property

Good afternoon Dina,

Having reviewed your property's location, I believe there would be multiple steps required to determine if a driveway would be feasible/allowed.

First, the sewer easement in front of your property appears to be related to an MWRA (Massachusetts Water Resources Authority) sewer main. As such, the MWRA has jurisdiction related to this easement, not the Town. I would recommend reaching out to the MWRA [Sewer 8\(M\) permit](#) coordinator to determine if such work is allowed and if a permit would be required from the MWRA.

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Please note that it is possible that another order of events may be acceptable and that some steps may be possible to occur in tandem. Ultimately via this email I was just hoping to convey all the groups that I believe would be involved in the decision process. I hope this all helps.

-Bill

William C. Copithorne, P.E.
Town Engineer

Town of Arlington Department of Public Works
Engineering Division
51 Grove Street Arlington, MA 02476
781.316.3322

From: Dina Brawer <dinabrawer@hotmail.com>
Sent: Wednesday, January 7, 2026 11:46 AM
To: William Copithorne <wcopithorne@town.arlington.ma.us>
Cc: ZBA <ZBA@town.arlington.ma.us>
Subject: Re: sewage easement on property

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hello and Happy 2026.

I am wonedring if you are able to provide any information on my query below?
I can also be reached at 917 691 9119

Thanks in advance

Dina

From: Dina Brawer <dinabrawer@hotmail.com>
Sent: 30 December 2025 10:24
To: wcopithorne@town.arlington.ma.us <wcopithorne@town.arlington.ma.us>
Cc: ZBA <zba@town.arlington.ma.us>
Subject: sewage easement on property

Hello

I hope this finds you well.

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I am at 190 mystic valley parkway in Arlington.

Thanks in advance for any detailed information you can provide,

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RE: sewage easement on property

From David Morgan <dmorgan@town.arlington.ma.us>

Date Thu 1/8/2026 9:10 AM

To Dina Brawer <dinabrawer@hotmail.com>

Cc William Copithorne <wcopithorne@town.arlington.ma.us>; ZBA <ZBA@town.arlington.ma.us>

Hi Dina,
Sure, the hatched area below is called Riverfront Area and is jurisdictional to the Conservation Commission, [requiring permitting](#) for activity there.



Cheers,
David

From: Dina Brawer <dinabrawer@hotmail.com>
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Are you able to provide a map that clearly shows where the conservation area boundary is within our property?

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On Jan 7, 2026, at 2:03 PM, David Morgan <dmorgan@town.arlington.ma.us> wrote:

Hi Dina,
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David Morgan | Environmental Planner + Conservation Agent | Department of Planning and Community Development | 781.316.3012
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From David Morgan <dmorgan@town.arlington.ma.us>

Date Thu 1/8/2026 7:43 PM

To Dina Brawer <dinabrawer@hotmail.com>

Cc William Copithorne <wcopithorne@town.arlington.ma.us>; ZBA <ZBA@town.arlington.ma.us>

Hi Dina,

The riverfront area is the area subject to conservation permitting; it's not a conservation area in the sense that it's protected land, but private property that is regulated.

There are two definitions of activity and they overlap. Here's the one from the Wetlands Protection Act, the state law.

Activity means any form of draining, dumping, dredging, damming, discharging, excavating, filling or grading; the erection, reconstruction or expansion of any buildings or structures; the driving of pilings; the construction or improvement of roads and other ways; the changing of run-off characteristics; the intercepting or diverging of ground or surface water; the installation of drainage, sewage and water systems; the discharging of pollutants; the destruction of plant life; and any other changing of the physical characteristics of land.

Here's the one from our local bylaw.

ACTIVITY – on or in any area subject to protection by the Bylaw and its regulations: any form of draining, dumping, dredging, damming, discharging, excavating, filling or grading; the erection, reconstruction or expansion of any buildings or structures; the driving of pilings; the construction or improvement of roads and other ways; the changing of runoff characteristics; the intercepting or diverging of groundwater or surface water; the installation of drainage, sewage and water systems; the discharging of pollutants; the destruction of plant life; the cutting or removal of 20% or more of the growth or limbs of trees or vegetation; and any other changing of the physical characteristics of land or the physical or chemical characteristics of water; and alterations that impact the ability of the resource area to adapt to / be resilient to climate change impacts.

Cheers,
David

David Morgan | Environmental Planner + Conservation Agent | Department of Planning and Community Development | 781.316.3012

Arlington values equity, diversity, and inclusion. We are committed to building a community where everyone is heard, respected, and protected.

From: Dina Brawer <dinabrawer@hotmail.com>

Sent: Thursday, January 8, 2026 2:05 PM

To: David Morgan <dmorgan@town.arlington.ma.us>

Cc: William Copithorne <wcopithorne@town.arlington.ma.us>; ZBA <ZBA@town.arlington.ma.us>

Subject: Re: sewage easement on property

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Thank you for this map David. It appears the entirety of the frontage as well as the side on Park street is wishing the riverfront but I am nt clear if that is the same as being in the conservation area?

And as the property is on this area presumably a permit was obtained originally, (and I note the driveway at 194 MVP is in the same category) do you know what is the definition of 'activity' that requires a permit?

Thanks again
Dina

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<dmorgan@town.arlington.ma.us> wrote:

Hi Dina,
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<image001.png>

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Town Engineer

Town of Arlington Department of Public Works
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51 Grove Street Arlington, MA 02476
781.316.3322

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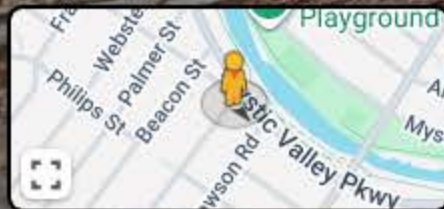


Search Google Maps

99 Park St
Arlington, Massachusetts

Google Street View

Mar 2022 [See more dates](#)



Re: tree consultation

From Tim Lecuire <tlecuivre@town.arlington.ma.us>

Date Thu 1/8/2026 2:31 PM

To Dina Brawer <dinabrawer@hotmail.com>

Cc ZBA <ZBA@town.arlington.ma.us>

Hello Dina,

This is the formula digging around trees.

Measure Diameter at Breast Hight (DBH). Measure 4.5 feet from ground, at this height measure the circumference and divide by Pi 3.14 This gives (DBH)

For every (DBH) inch a tree needs 10 inches of root. Multiply (DBH) by 10, then divide by 2, this gives the root ball. Divide by 12 this will provide feet.

Example

24 (DBH) inch tree,

$24 \times 10 = 240$

$240 \text{ divide by } 2 = 120$

$120 \text{ divide by } 12 = 10$

Therefore a 24 (DBH) inch tree, must stay away 10 feet from the root flare/trunk.

I hope this information is helpful.

Best,

Timothy A. Lecuire MCA, MQTW
Arlington Tree Warden
Department of Public Works
51 Grove Street
Arlington, MA 02476
TLecuire@town.arlington.ma.us

From: Dina Brawer <dinabrawer@hotmail.com>

Sent: Thursday, January 8, 2026 2:06 PM

To: Tim Lecuire <tlecuivre@town.arlington.ma.us>

Cc: ZBA <ZBA@town.arlington.ma.us>

Subject: Re: tree consultation

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Hi Tim,



Town of Arlington, Massachusetts

Docket #3884 26 Reed St

Summary:

OpenGov application link:

<https://arlingtonma.portal.opengov.com/records/215509>

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	3884_26_Reed_St_Legal_Notice_1-27-26.pdf	3884 26 Reed St Legal Notice 1-27-26
▢ Reference Material	3884_26_Reed_St_abutter_list_and_map_Arl.pdf	3884 26 Reed St abutter list and map Arl
▢ Reference Material	3884_26_Reed_St_abutter_list_and_map_Lex.pdf	3884 26 Reed St abutter list and map Lex
▢ Reference Material	3884_26_Reed_St_Plot_Plan_rev2.pdf	3884 26 Reed St Plot Plan rev2
▢ Reference Material	3884_26_Reed_St_FrontPorch_Plan.pdf	3884 26 Reed St FrontPorch Plan
▢ Reference Material	3884_26_Reed_St-BuildingPlan.pdf	3884 26 Reed St-BuildingPlan
▢ Reference Material	3884_26_Reed_St_Issued_OOC-recorded.pdf	3884 26 Reed St Issued OOC-recorded

ORDER DETAILS

Order Number: LNEO0431401
External Order #: 11954315
Order Status: Approved
Classification: Public Notices
Package: General Package
1 Affidavit: 5.00
Total payment: 196.84
Payment Type: Account Billed
User ID: L0023538
External User ID: 670931

ACCOUNT INFORMATION

Arlington Board Of Appeals
51 Grove St
Arlington, MA 02476-4602
781-316-3396
cralston@town.arlington.ma.us
Arlington Board Of Appeals
Contract ID:

TRANSACTION REPORT

Date December 29, 2025
11:33:05 AM EST
Amount: 196.84

ADDITIONAL OPTIONS

1 Affidavit

SCHEDULE FOR AD NUMBER LNEO04314010

January 8, 2026
The Advocate & Star
(Arlington -
Winchester)
January 15, 2026
The Advocate & Star
(Arlington -
Winchester)

PREVIEW FOR AD NUMBER LNEO04314010**Legal Notice
Zoning Board of Appeals
26 Reed St, ARL**

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by Bosina, LLC, December 25, 2025, a petition seeking to alter their property located at 26 Reed St - Block Plan 109.0-0001-0004.0. The said petition would require a Special Permit under Bylaw 5.4.3.D of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", on Tuesday, January 27, 2026 at 7:30 P.M. as soon thereafter as the petitioner may be heard. To register for the meeting and view documents related to this application go to the Town of Arlington calendar at <https://www.arlingtonma.gov/connect/calendar>, choose the date of the meeting you wish to attend, register for the Zoom meeting, and review documents relating to the application by clicking the link to the agenda.

Please direct any questions to: ZBA@town.arlington.ma.us

Christian Klein, RA, Chair,
Zoning Board of Appeals
January 8, 15 2026
LNEO0431401

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[Contact Us](#)

**CERTIFIED ABUTTERS LIST**

1

Date: December 29, 2025**Subject Property Addresses:** 26 REED ST, ARLINGTON, MA**Subject Property ID:** 109-1-4**Search Distance:** 300 Feet - Zoning

Parcel ID:	Property Location	Owner 1	Owner 2	MAILING ADDRESS	
				Mailing Address 1	Town, State, Zip
112.0-0003-0018.0	46 REED ST	SASSLER EDWARD Z		46 REED STREET	ARLINGTON MA, 02474
109.0-0003-0001.0	5 REED ST	THOMAS SYLVAIN & LUCIE		5 REED ST	ARLINGTON MA, 02474
109.0-0001-0007.B	14 REED ST	WAGH ADITI	WADHAVKAR SALIL	14 REED ST	ARLINGTON MA, 02474
109.0-0001-0004.0	26 REED ST	BOSINA LLC		17 COLONY RD	LEXINGTON MA, 02420
109.A-0002-0017.1	17 REED ST #1	KOLEV VIHREN N	KOLEVA ROSITSA I	17 REED ST UNIT 2	ARLINGTON MA, 02474
109.0-0001-0008.A	OLOT REED ST	TOWN OF ARLINGTON		730 MASS AVE	ARLINGTON MA, 02476
112.0-0003-0017.0	50 REED ST	DOHERTY JAMES F/TRUSTEE	50 REED ST REALTY TRUST	1122 MASS AVE	ARLINGTON MA, 02476
109.0-0001-0001.0	40 REED ST	FEYNMAN PAULA		40 REED ST	ARLINGTON MA, 02474
109.0-0002-0013.0	11 REED ST	CORSO NICHOLAS P--ETAL	CORSO MAUREEN P	11 REED STREET	ARLINGTON MA, 02474
109.0-0002-0009.0	25 REED ST	GANTIER RENE & FERNANDA		25 REED ST	ARLINGTON MA, 02474
109.0-0001-0010.0	OLOT REED ST	DENAPOLI JOHN W		1 ARCHSTONE CIR #306	READING MA, 01867
112.0-0003-0015.0	10 THESDA ST	HARMAN EDWARD	MILLER CHERYL	10 THESDA STREET	ARLINGTON MA, 02474
112.0-0005-0020.0	OLOT REED ST	TOWN OF ARLINGTON		730 MASS AVE	ARLINGTON MA, 02476
109.0-0002-0015.0	9 REED ST	GUPTA ABHISHEK & AASHIMA/ TRS	ABHISHEK GUPTA REVOCABLE LIVIN	9 REED ST	ARLINGTON MA, 02474
112.0-0005-0017.0	15 THESDA ST	DWYER PATRICK F	DWYER JENNIFER E	15 THESDA ST	ARLINGTON MA, 02474
109.0-0001-0007.0	18 REED ST	PHAM TRI G		18 REED STREET	ARLINGTON MA, 02474
109.0-0001-0006.0	22 REED ST	MERBERG ADAM B	MEYER ANNA	22 REED ST	ARLINGTON MA, 02474
109.0-0001-0003.0	34 REED ST	SUBRAMANIAN LAURA SITA &	KLOSTERMANN DOUGLAS JOHN	34 REED STREET	ARLINGTON MA, 02474
112.0-0003-0016.0	6 THESDA ST	MESSURI VICTORIA HELENA ANTONIA	SKIRLO SCOTT ALEXANDER	6 THESDA ST	ARLINGTON MA, 02474
109.0-0004-0001.0	6 REED ST	ALICANDRO JOSEPH & PATRICIA	TRS/ ALICANDRO TRUST	6 REED ST	ARLINGTON MA, 02474
109.A-0002-0017.2	17 REED ST #2	KOLEVA ROSITSA I & VIHREN N		17 REED ST UNIT 2	ARLINGTON MA, 02474
109.0-0002-0014.0	OLOT SUMMER ST	TOWN OF ARLINGTON		730 MASS AVE	ARLINGTON MA, 02476
112.0-0005-0019.A	39 REED ST	LEODAS KATINA		39 REED ST	ARLINGTON MA, 02474
112.0-0005-0018.A	11 THESDA ST	TROISI DYAN		11 THESDA ST	ARLINGTON MA, 02474

NOTE: Results do not include properties within 300 feet from other towns/cities. (See enclosed Map)**The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.**

Town of Arlington
Office of the Board of Assessors
730 Massachusetts Ave • Arlington, MA 02476
P: 781-316-3050 E: assessors@town.arlington.ma.us



LEXINGTON

Whipple
1123-1C
1123-1B

Summer St

Evergreen Ln



Town of Lexington, MA Abutters Report

**300ft. Abutters of Property 28-44
at 2 PATRICIA TER**

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements. Property data updated on a daily basis.

Abutter	Street Address	Account No.	Tax Bill Address
28-43 NYBERG JONATHAN M &	36 SUMMER ST	3153	NYBERG JONATHAN M & PO BOX ARLINGTON, MA 02476
28-47A ZMUIDZINAS PETER V &	3 PATRICIA TER	3205	ZMUIDZINAS PETER V & 3 PATRICIA TER LEXINGTON, MA 02420
28-68C PAN XUELEI &	38 SUMMER ST	3214	PAN XUELEI & 38 SUMMER ST LEXINGTON, MA 02420
28-45 TOTH WILLIAM S	4 PATRICIA TER	3155	TOTH WILLIAM S 4 PATRICIA TER LEXINGTON, MA 02420
28-47B DIBACCO RALPH M & RANDY W &	5 PATRICIA TER	3206	DIBACCO RALPH M & RANDY W & 5 PATRICIA TER LEXINGTON, MA 02420
28-48B SASSLER EDWARD Z	PATRICIA TER	3208	SASSLER EDWARD Z 46 REED ST ARLINGTON, MA 02474
28-68A ALICANDRO JOSEPH &	JEFFERSON AVE	3213	ALICANDRO JOSEPH & 6 REED ST ARLINGTON, MA 02474
28-46 BESKIND SUSAN JOY &	9 PATRICIA TER	3156	BESKIND SUSAN JOY & 9 PATRICIA TER BOX H LEXINGTON, MA 02420



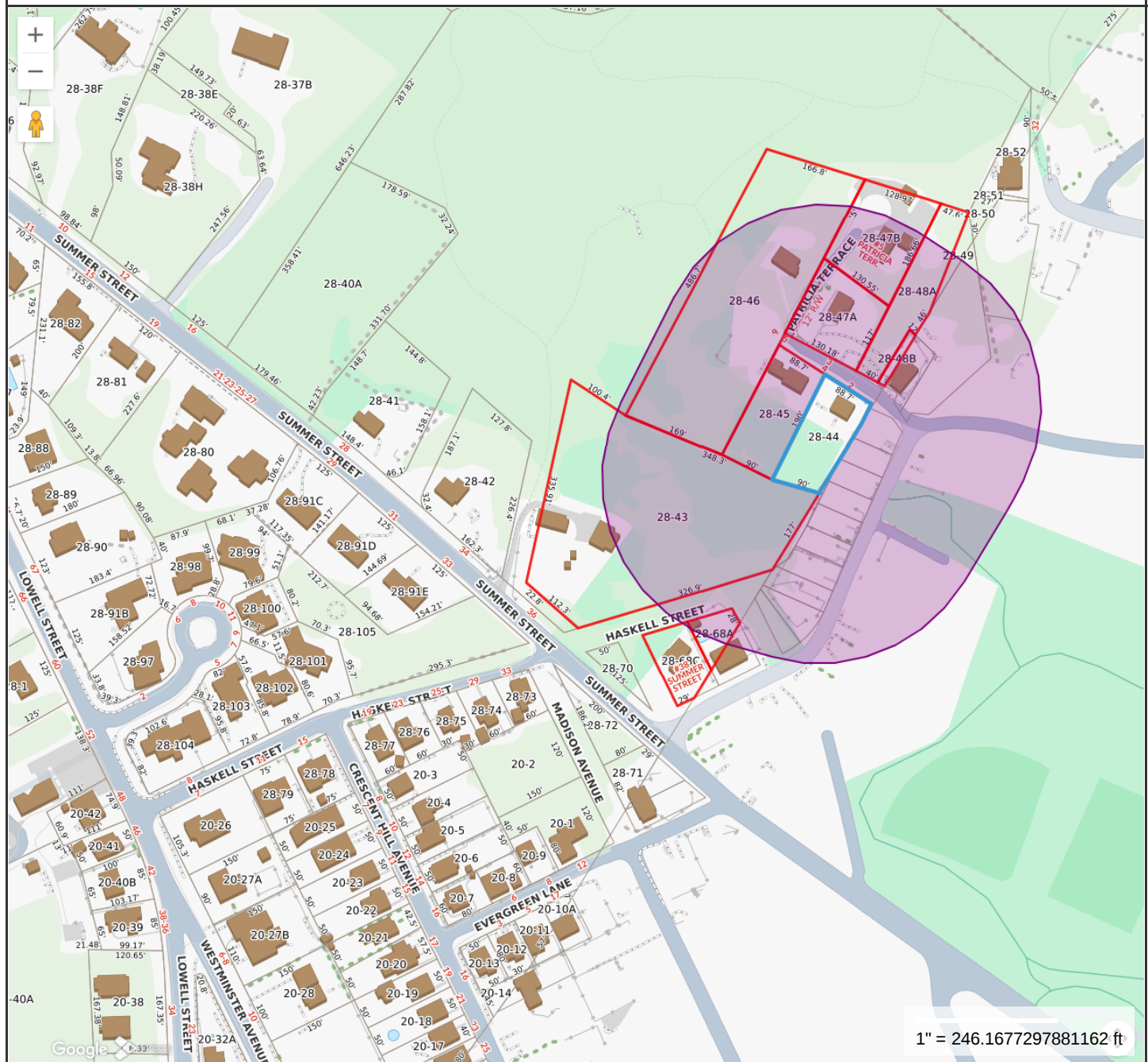
Town of Lexington, MA Abutters Report

300ft. Abutters of Property 28-44
at 2 PATRICIA TER

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements. Property data updated on a daily basis.

28-48A DOHERTY JAMES F TRUSTEE	PATRICIA TER	3207	DOHERTY JAMES F TRUSTEE 50 REED ST ARLINGTON, MA 02474
28-44 HUANG KENLIN	2 PATRICIA TER	3154	HUANG KENLIN 5 OSSIPEE RD BILLERICA, MA 01821

26 REED ST, ARLINGTON -300'



Property Information

Property ID 28-44
 Location 2 PATRICIA TER
 Owner HUANG KENLIN



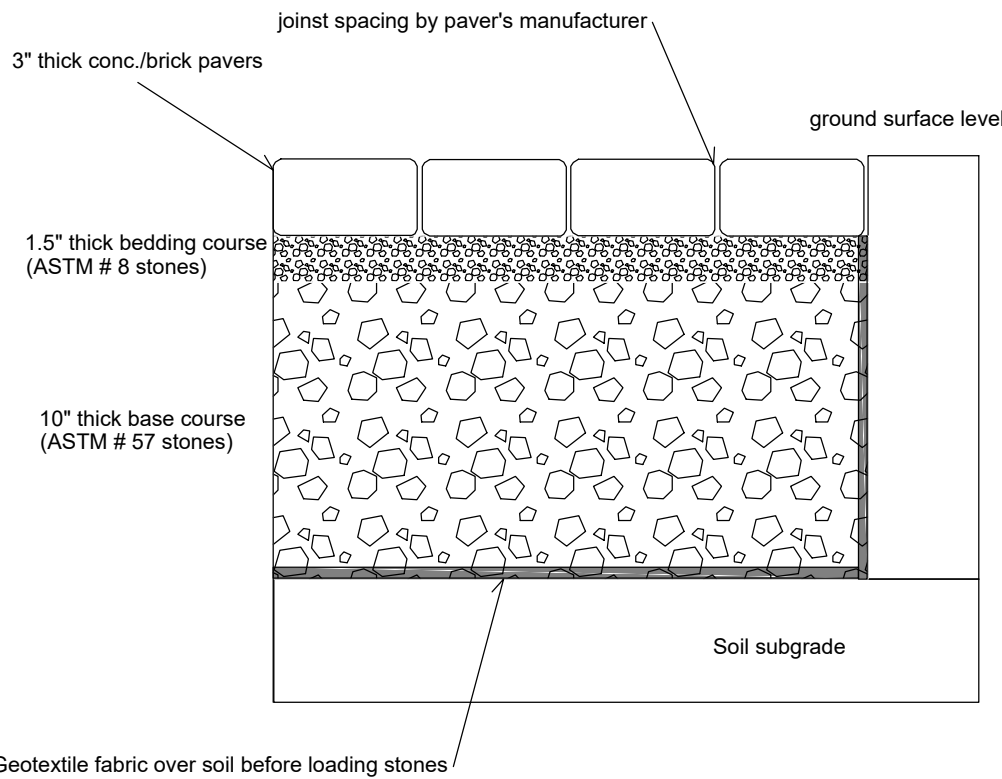
MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

Town of Lexington, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

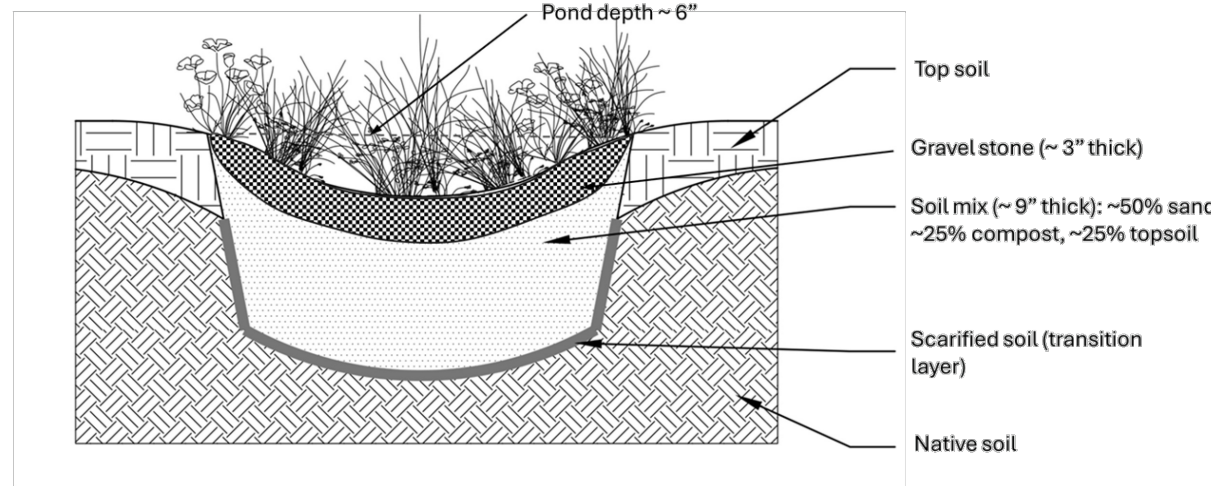
Geometry updated on a daily basis
 Data updated on a daily basis

Print map scale is approximate.
 Critical layout or measurement activities should not be done using this resource.

Permeable paver driveway layer structure:

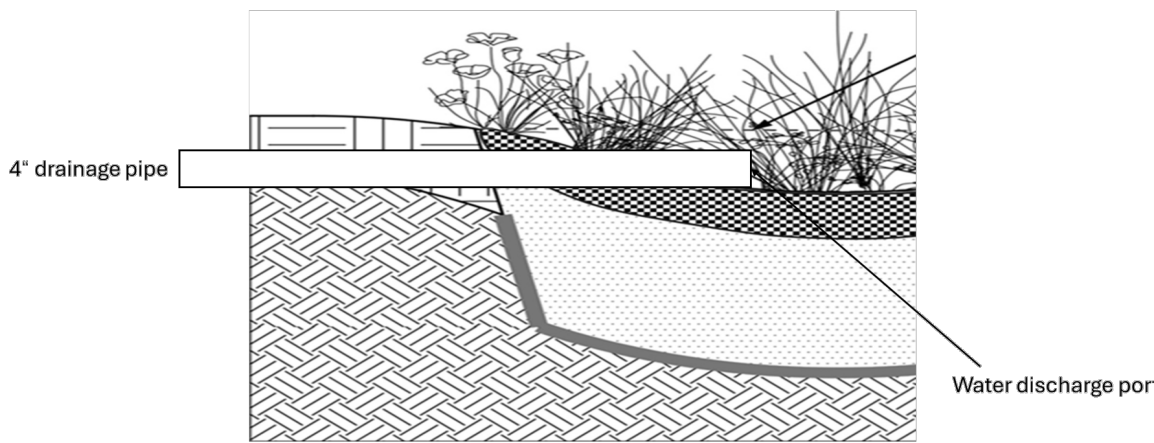


Cross-section view of rain garden with layers and depth
Total basin depth is ~ 18"

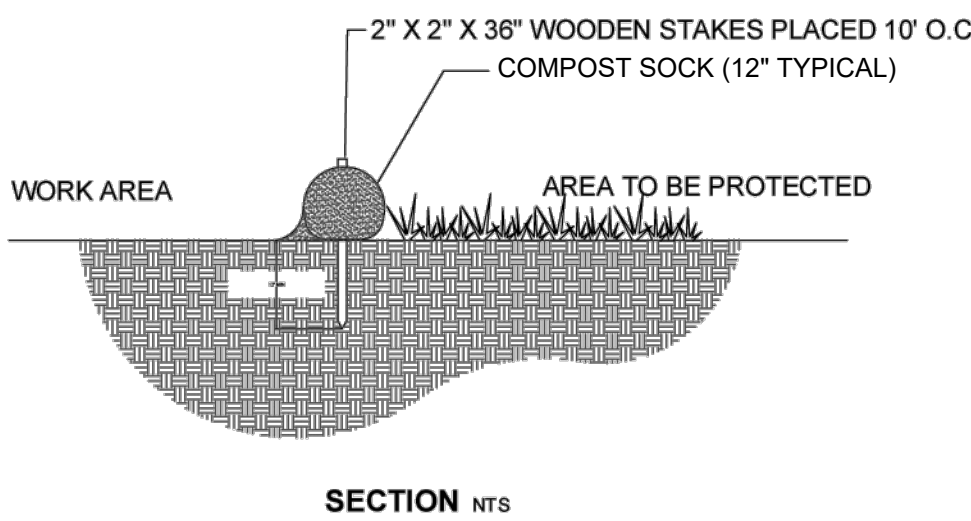


Drainage pipe discharge port:

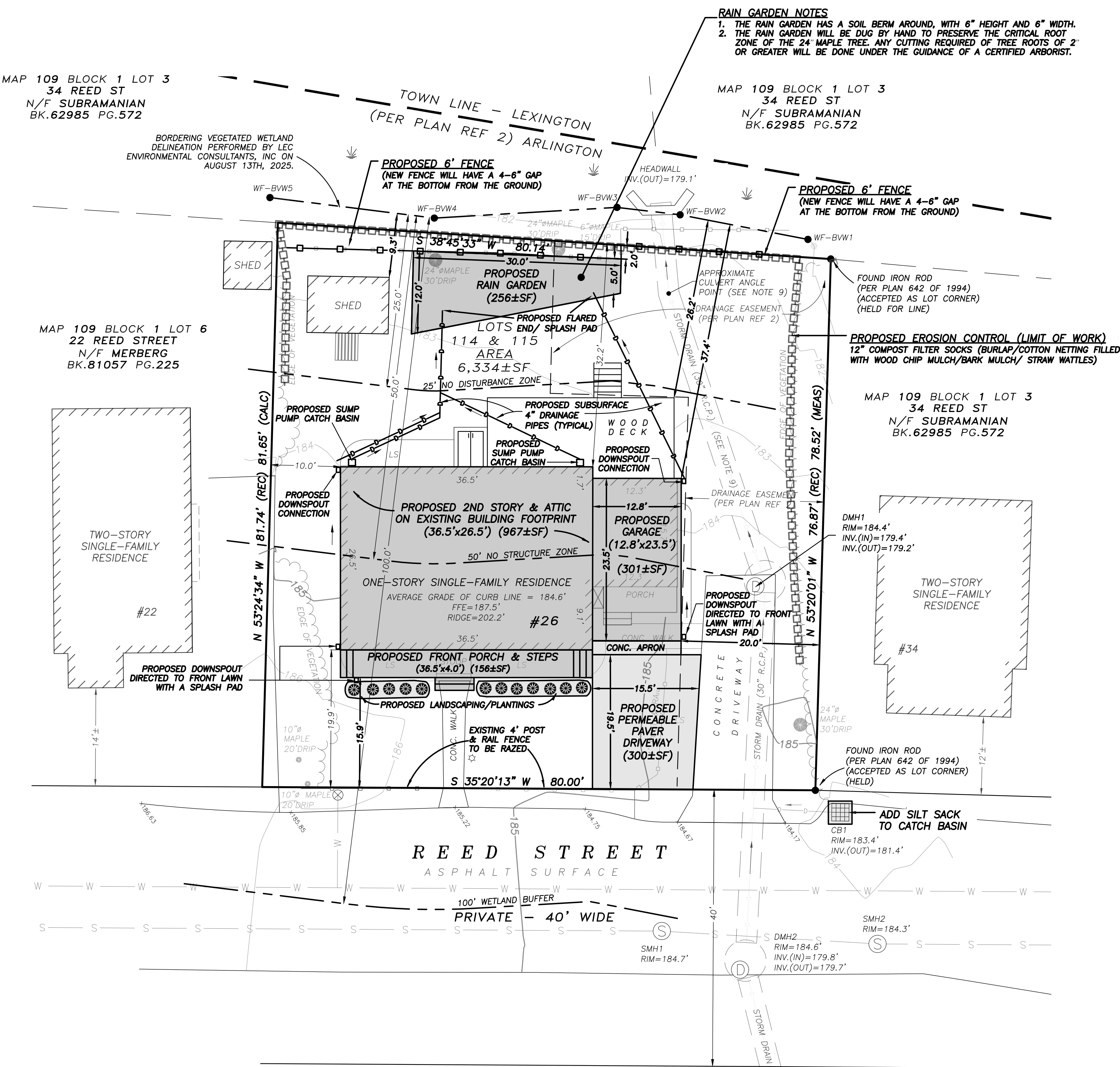
drainage pipe goes through gravel stone layer with discharge port sticking out of the gravel stone layer



COMPOST SOCK TYP.



SECTION nts



LEGEND:

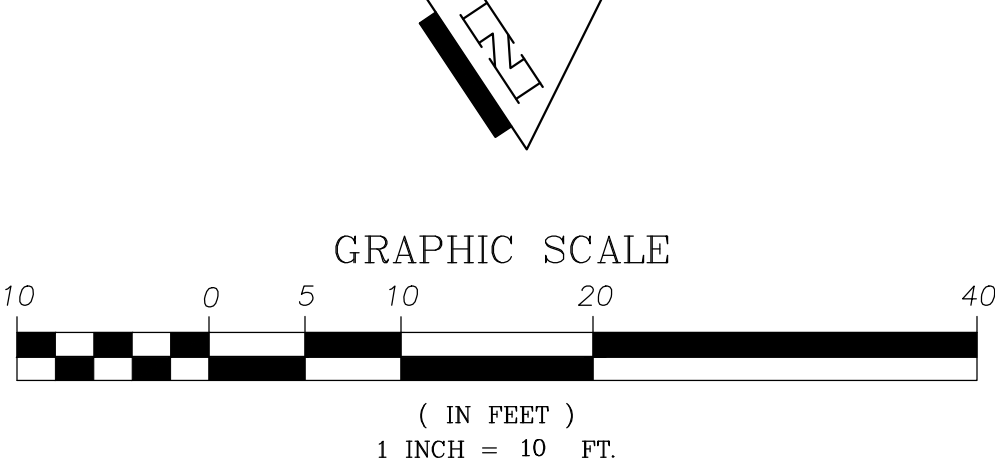
- ⊗ INDICATES GATE VALVE
- ☆ INDICATES LIGHT POLE
- SMH INDICATES SEWER MANHOLE
- DMH INDICATES DRAIN MANHOLE
- FFE INDICATES FINISH FLOOR ELEVATION
- INDICATES RECORD LOT LINE
- — — INDICATES RECORD EASEMENT LOCATION
- o — o — INDICATES WOOD FENCE
- + — INDICATES OVERHEAD POWERLINE
- W — INDICATES WATER LINE
- S — INDICATES SEWER LINE
- D — INDICATES DRAIN LINE
- LS — INDICATES LANDSCAPE AREA

PLAN REFERENCES

- PLAN ENTITLED "SUBDIVISION PLAN OF LAND LOCATED IN ARLINGTON, MA" PREPARED BY P.J.F. & ASSOCIATES, DATED JUNE 20TH, 1994, RECORDED W/ THE MIDDLESEX SOUTH REGISTRY OF DEEDS PLAN NO. 642 OF 1994.
- PLAN ENTITLED "EASEMENT PLAN, REED'S BROOK, ARLINGTON, MA" PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC. DATED JANUARY 29TH, 1998, RECORDED W/ THE MIDDLESEX SOUTH REGISTRY OF DEEDS PLAN NO. 903 OF 2002.



MICHAEL T. ADAMS, P.L.S. 57492



PROPERTY INFO:

ADDRESS: 26 REED STREET
OWNER: BOSINA LLC
ASSESSORS: MAP 109 BLOCK 1 LOT 4
DEED: MIDDLESEX SOUTH BK. 84459 PG. 370

ZONING DISTRICT - [R1]

	REQUIRED	EXISTING	PROPOSED
LOT AREA	6,000 SF	6,334±SF	6,334±SF
FRONTAGE	75'	80.00'	80.00'
FRONT YARD	25'	19.9'	15.9'
SIDE YARD	10'	10.0'	10.0'
REAR YARD	15.37'	32.2'	32.2'
BLDG HEIGHT	35'(MAX)	17.6'	TBD*
LOT COVERAGE	35%(MAX)	18.8%	20.0%
OPEN SPACE	30%	66.9%	64.7%

* INDICATES TO BE DETERMINED BY ARCHITECT

IMPERVIOUS AREAS

EXISTING		PROPOSED	
<u>STRUCTURES</u>		<u>STRUCTURES</u>	
BUILDING	1,190±SF	BUILDING	1,267±SF
SHED	96±SF	SHED	96±SF
WOOD DECK	310±SF	WOOD DECK	310±SF
PORCH	46±SF	PORCH	156±SF
STOOP	22±SF		
<u>HARDSCAPE</u>		<u>HARDSCAPE</u>	
WALKWAYS	100±SF	WALKWAY	45±SF
DRIVEWAY	334±SF	DRIVEWAY	334±SF
		GARAGE APRON	25±SF
<u>TOTAL</u>		<u>TOTAL</u>	
	2,098±SF		2,233±SF
LOT AREA	6,334±SF	LOT AREA	6,334±SF
OPEN SPACE	4,236±SF	OPEN SPACE	4,101±SF

PROPERTY NOTES:

- FLOOD PLAIN NOTE: NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS INDICATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 25017C0416F, WITH A DATE OF IDENTIFICATION OF JULY 8TH, 2025, FOR COMMUNITY NO. 250177, IN THE TOWN OF ARLINGTON, COUNTY OF SOUTHERN MIDDLESEX, STATE OF MASSACHUSETTS, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE.
- THIS PLAN WAS PREPARED FROM AN ACTUAL ON THE GROUND FIELD SURVEY CONDUCTED BY M.T. ADAMS & ASSOCIATES, IN AUGUST & SEPTEMBER OF 2025.
- VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). ELEVATIONS ESTABLISHED BY RTK GPS SURVEY PROCEDURE USING NETWORK ROVER OBSERVATIONS ON CONTROL POINTS.
- UTILITIES SHOWN FROM SURFACE LOCATIONS AND RECORDED UTILITY PLANS. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- M.T. ADAMS & ASSOCIATES, PLLC ARE NOT ZONING EXPERTS. ZONING TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT AND/OR ENGINEER TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
- BASIS OF BEARINGS IS PLAN REF 2.
- CULVERT ALIGNMENT BASED ON MANHOLE INVERT SHOTS, SURFACE OBSERVATIONS, AND HANDHELD METAL DETECTION. INTERMEDIATE BEND IS BURIED AND WAS NOT VERIFIED BY CCTV OR TEST PIT. USE CAUTION AND VERIFY IN THE FIELD PRIOR TO EXCAVATION.

NOTICE OF INTENT PLAN

For the exclusive use of:
TING YANG
26 REED STREET
ARLINGTON, MASSACHUSETTS 02474

M.T. ADAMS & ASSOCIATES
PRECISION SURVEY & MAPPING

163 Highland Ave, No. 1106, Needham, Massachusetts 02494
Phone: (978) 641-1727 www.masurveying.net

Date: 09-23-2025	Revised: 10-19-2025	Revised:
Scale: 1"=10'	Drawn by: M.T.A.	Sheet 1 of 1 Sheet
Drawing: Reed St 26 EC.dwg		A.P.N. 109-1-4

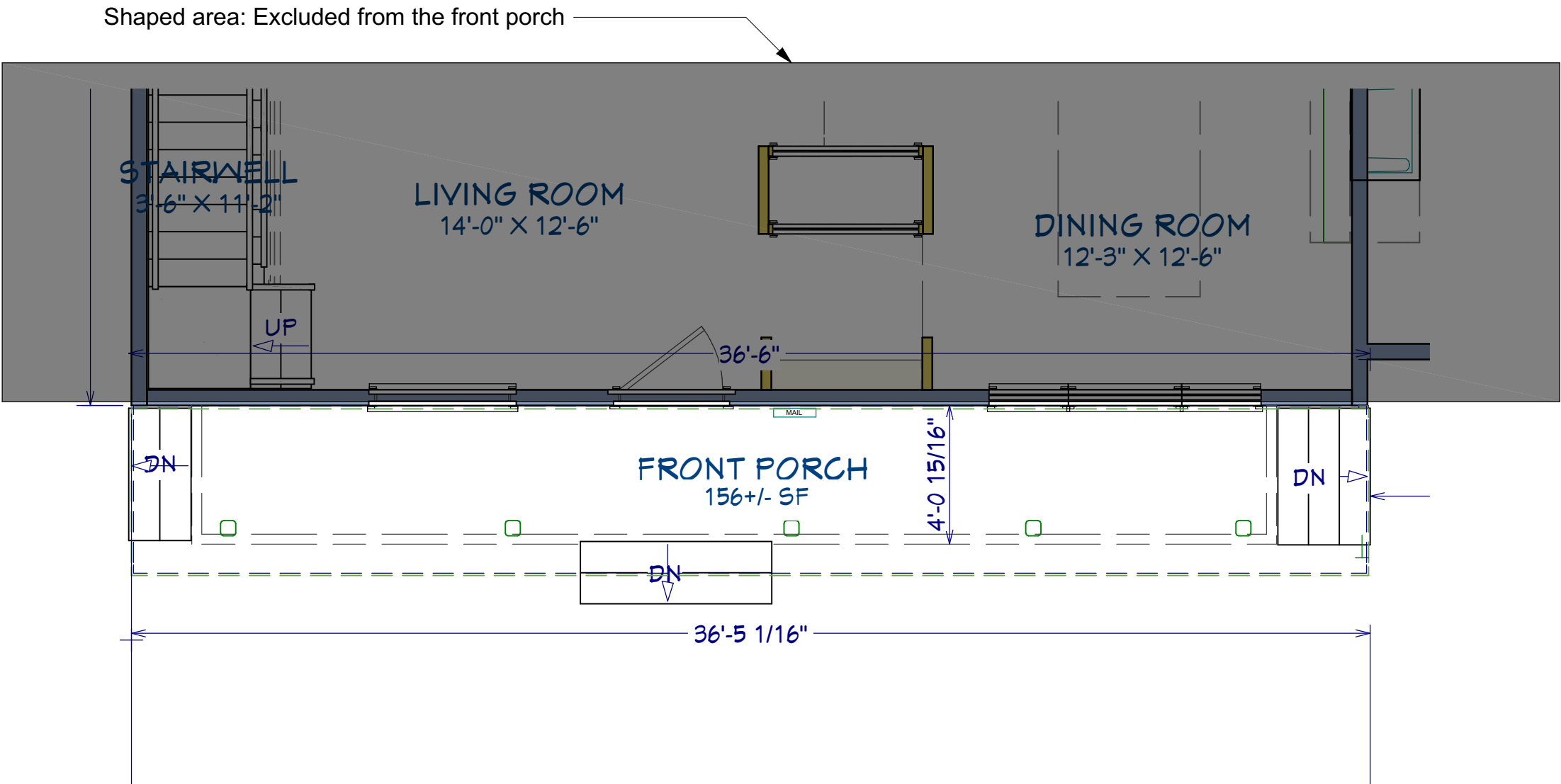


3D VIEW OF PROPOSED FRONT PORCH

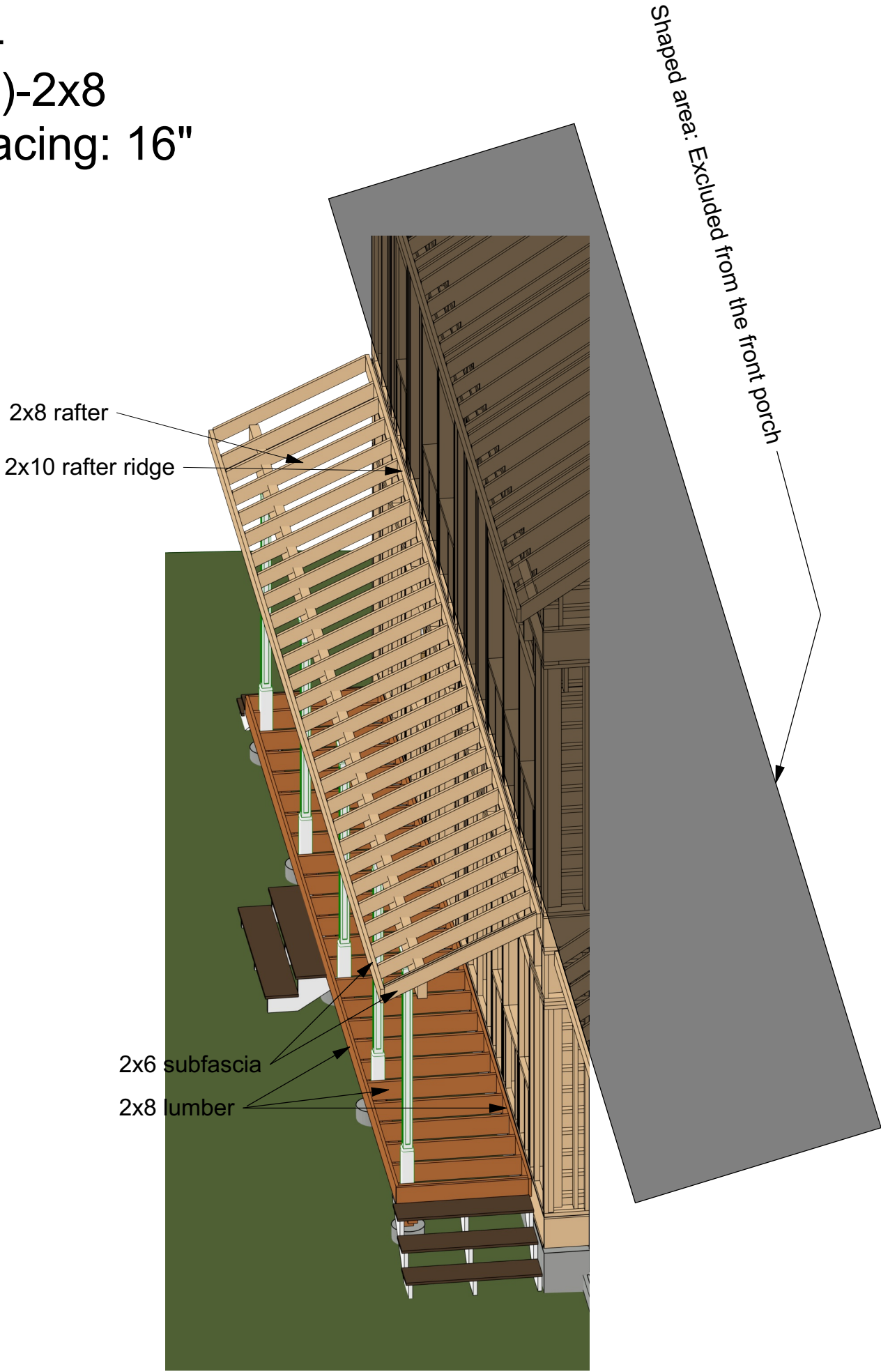
This special permit application is for the front porch only. The building permit has been issued for the other renovation part.

Note about the front porch:

- The total GFA for the front porch is about 156 SF.
- Front porch depth: 4 ft
- Deck post footing spacing: 8'
- Deck post: 4x4
- Deck beam: (2)-2x8
- Deck joist: 2x8, with spacing 16"
- Porch cover post: 4x4
- Porch cover beam: (2)-2x8
- Porch cover rafter spacing: 16"



FLOOR PLAN OF THE FRONT PORCH



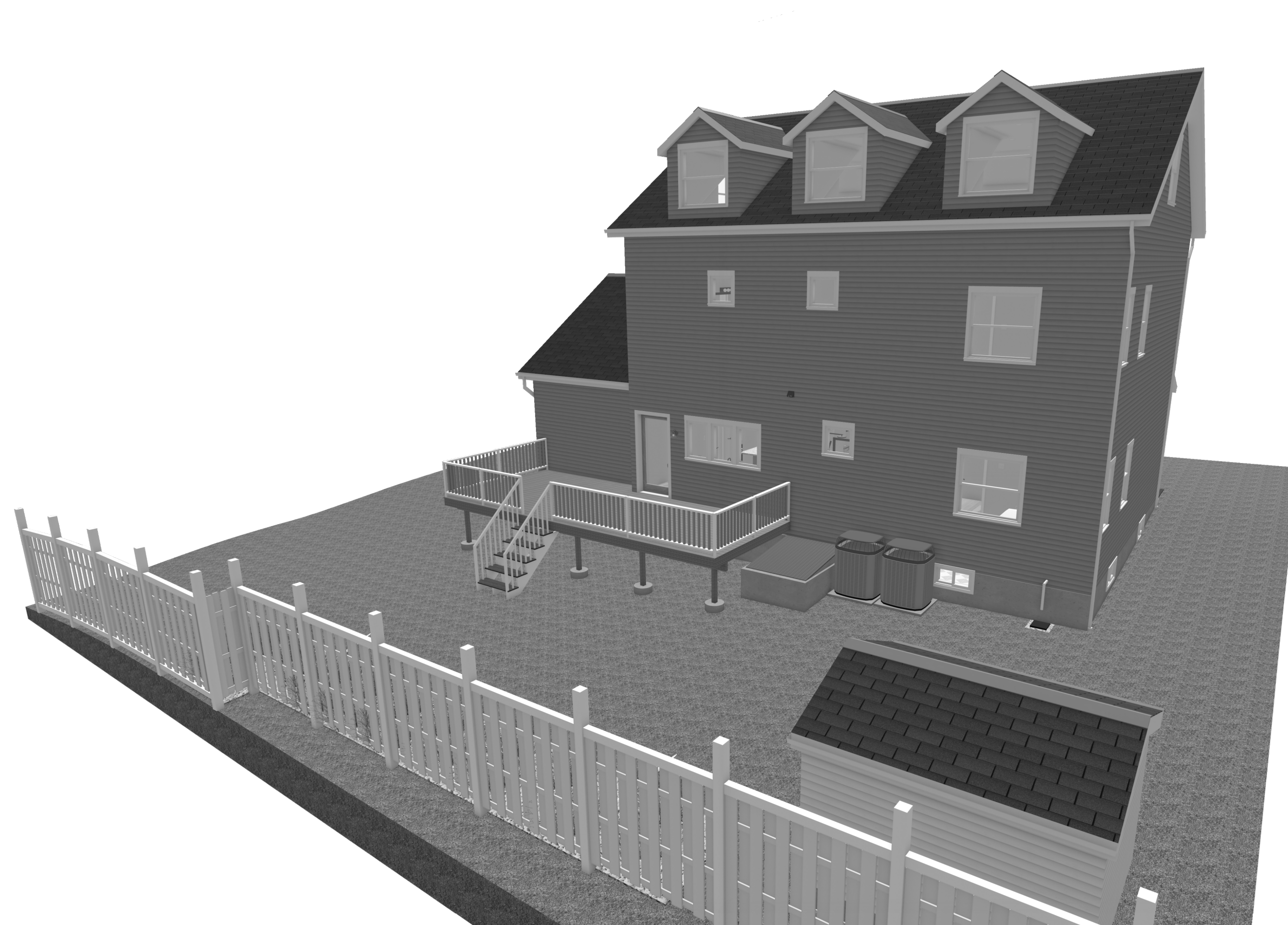
FRAMING OVERVIEW OF THE FRONT PORCH

NO.	DESCRIPTION	BY	DATE
SHEET TITLE: FRONT PORCH FOR 26 REED ST, ARLINGTON			
PROJECT DESCRIPTION: COVERED FRONT PORCH AT 1ST FLOOR			
DRAWINGS PROVIDED BY: JQ Xi			
DATE: 12/23/2025			
SCALE: 1/4" = 1'			
SHEET: A-1			

26 REED ST
ARLINGTON



BOSINA LLC



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

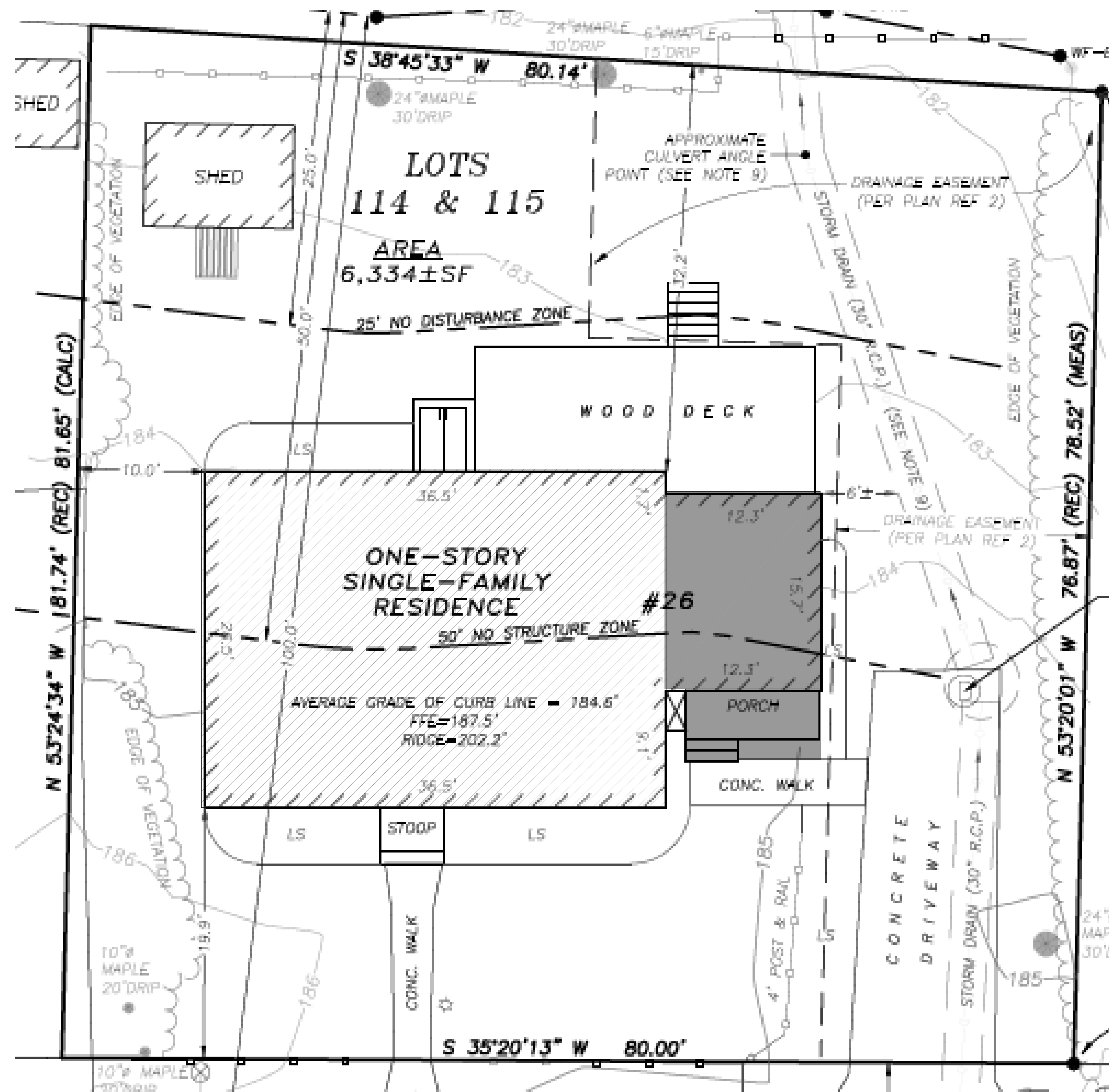
PROJECT DESCRIPTION:

DRAWINGS PROVIDED BY: JQ

DATE:
9/25/2025

SCALE:

SHEET:



FROM REFERENCE DOCUMENT "EXISTING CONDITIONS PLAN" PREPARED BY
M.T. ADAMS & ASSOCIATES PRECISION SURVEY & MAPPING

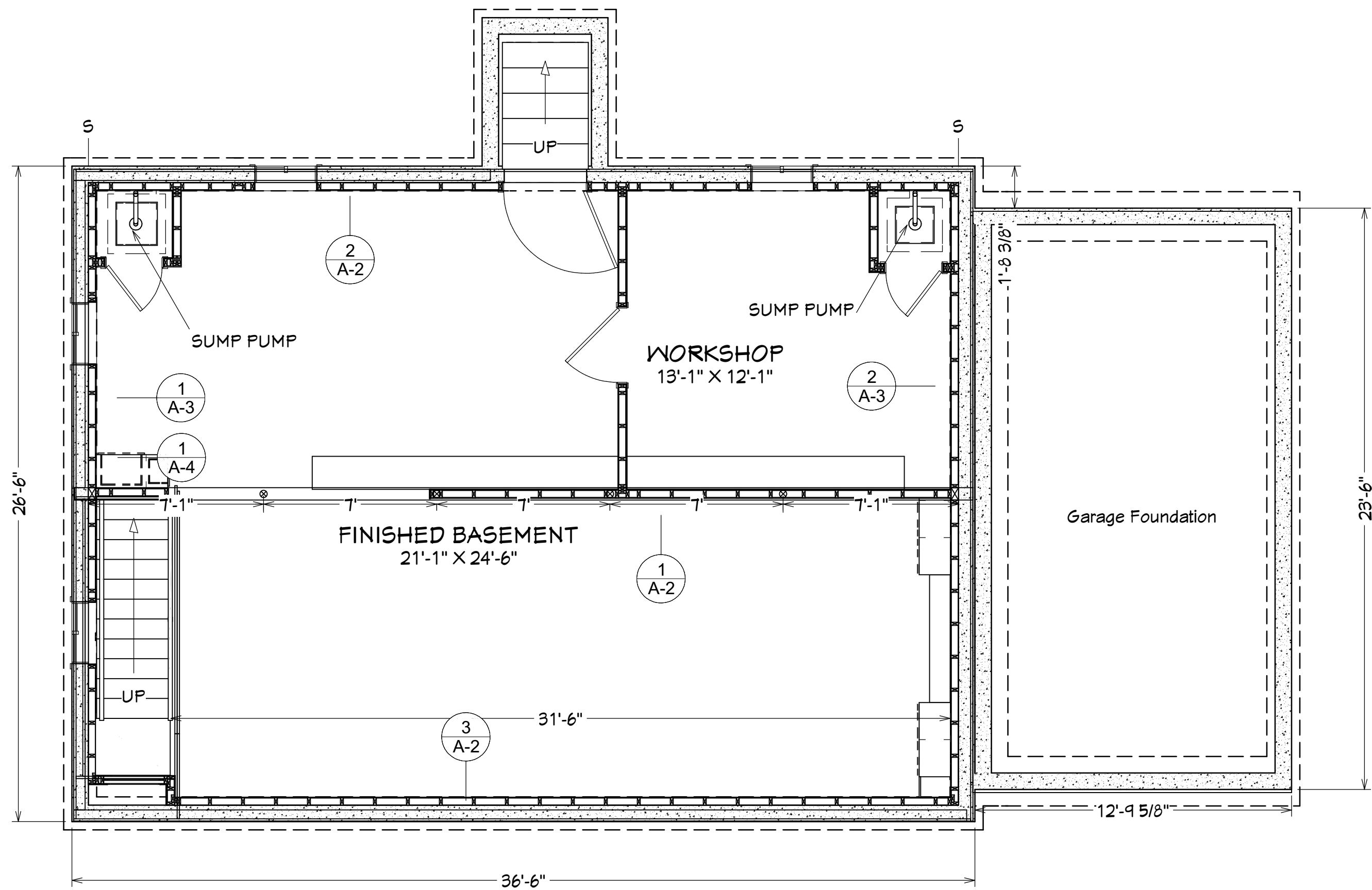
DEMOLITION NOTES



AREA TO BE COMPLETELY DEMOLISHED

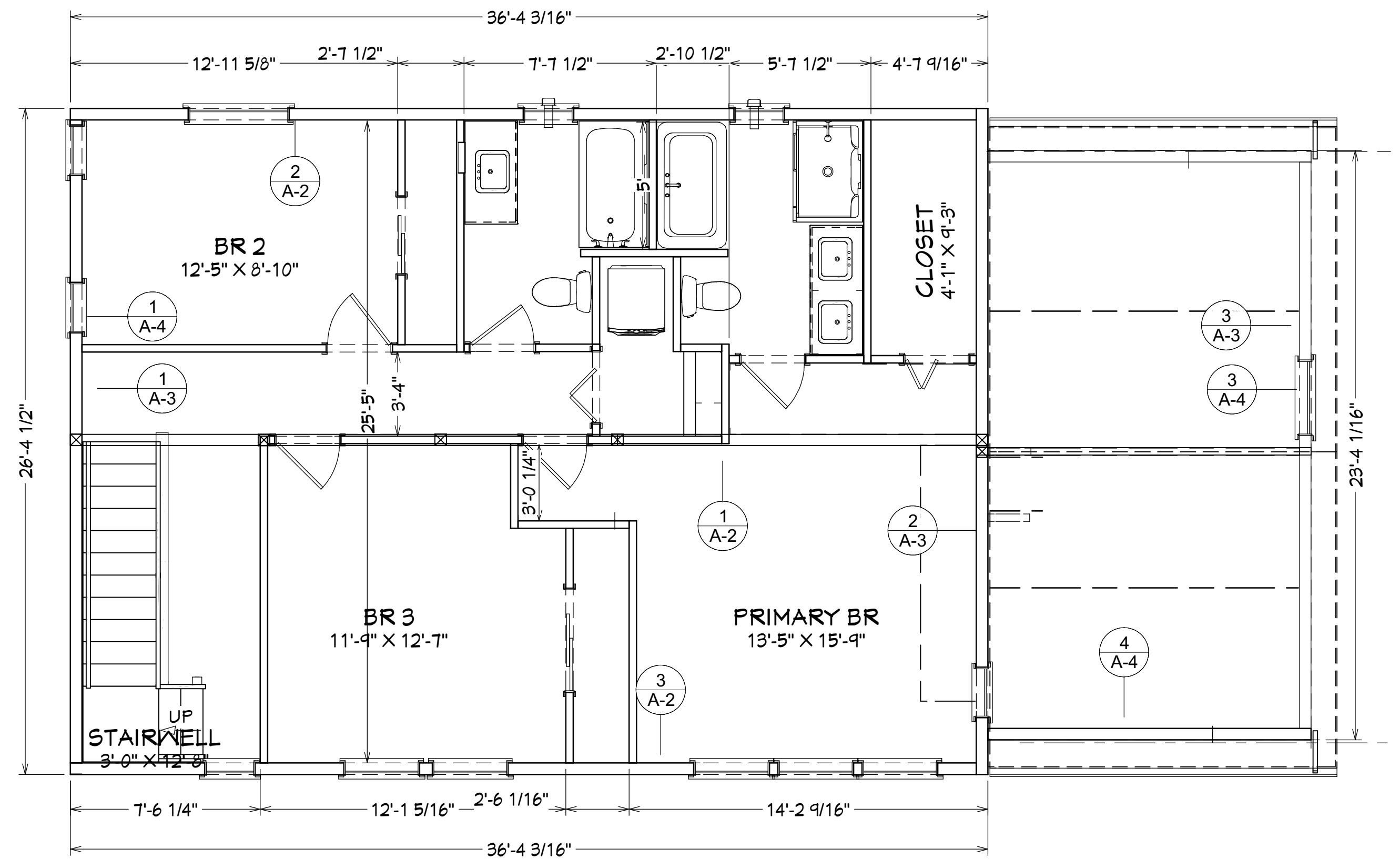


AREA TO BE GUTTED TO EXTERIOR WALL FRAMES ONLY
- ROOF AND ATTIC TO BE REMOVED
- FIRST FLOOR GUTTED TO EXTERIOR WALL FRAMES
- BASEMENT GUTTED TO FOUNDATION
- KEEP FLOOR AND CEILING BETWEEN BASEMENT AND FIRST FLOOR

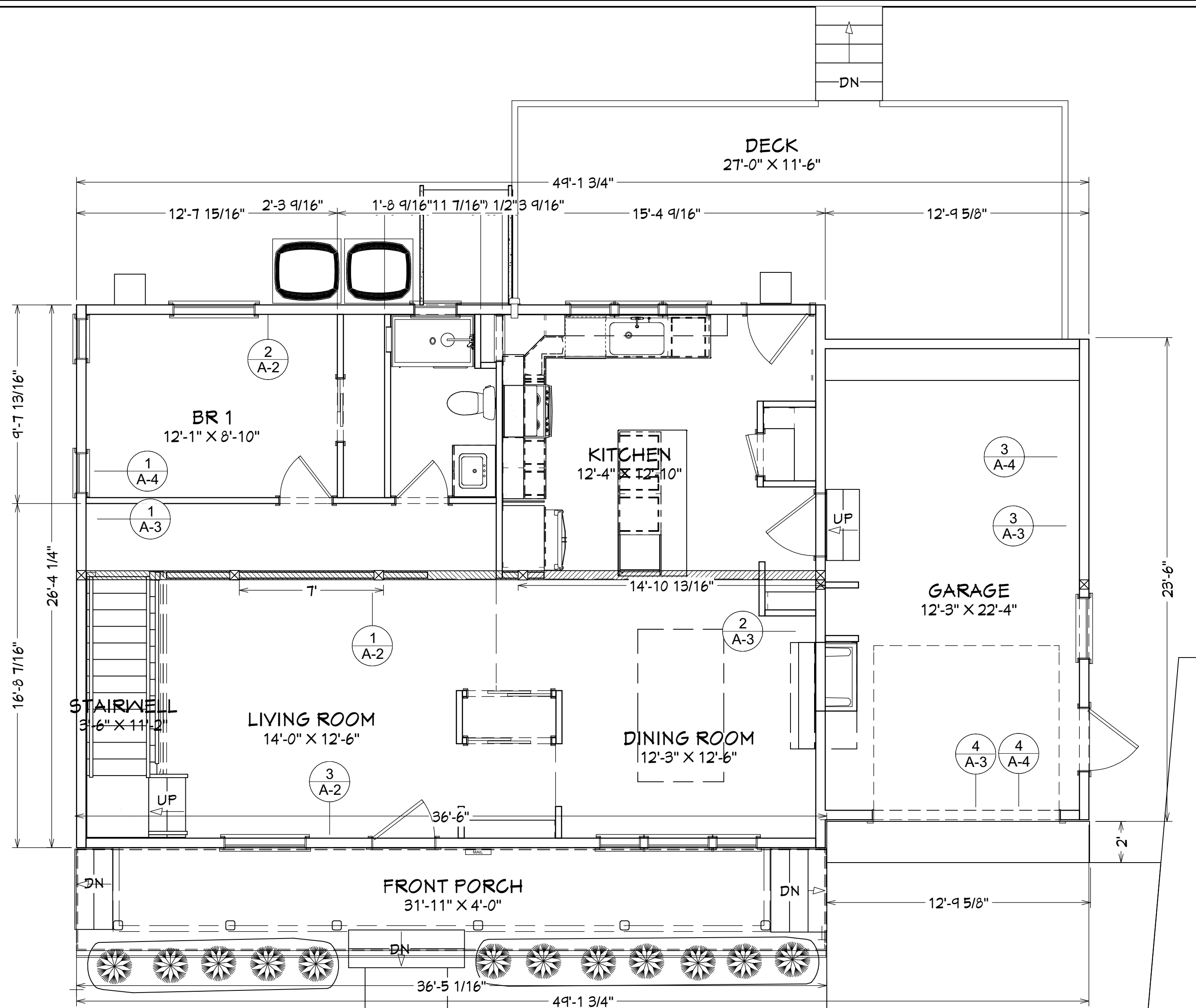


- BASEMENT PLAN:**
SCALE: 1/4" = 1'-0"
- BASEMENT DEMOLITION NOTES:**
1. GUT TO THE EXISTING FOUNDATION
 2. NO CHANGE ON CEILING
 3. EXISTING FOUNDATION
 4. EXISTING BEAM WITH POSTS
- BASEMENT CONSTRUCTION NOTES:**
1. ADD INTERIOR WALLS
 2. ADD TWO SUMP PUMPS, WITH BATTERY BACKUP, AT THE BACK CORNERS
 3. ADD INTERIOR FRENCH DRAINS ALONG THE FOUNDATION WALLS
 4. NO CHANGE ON CEILING, 7' HIGH
 5. ADD GARAGE FOUNDATION

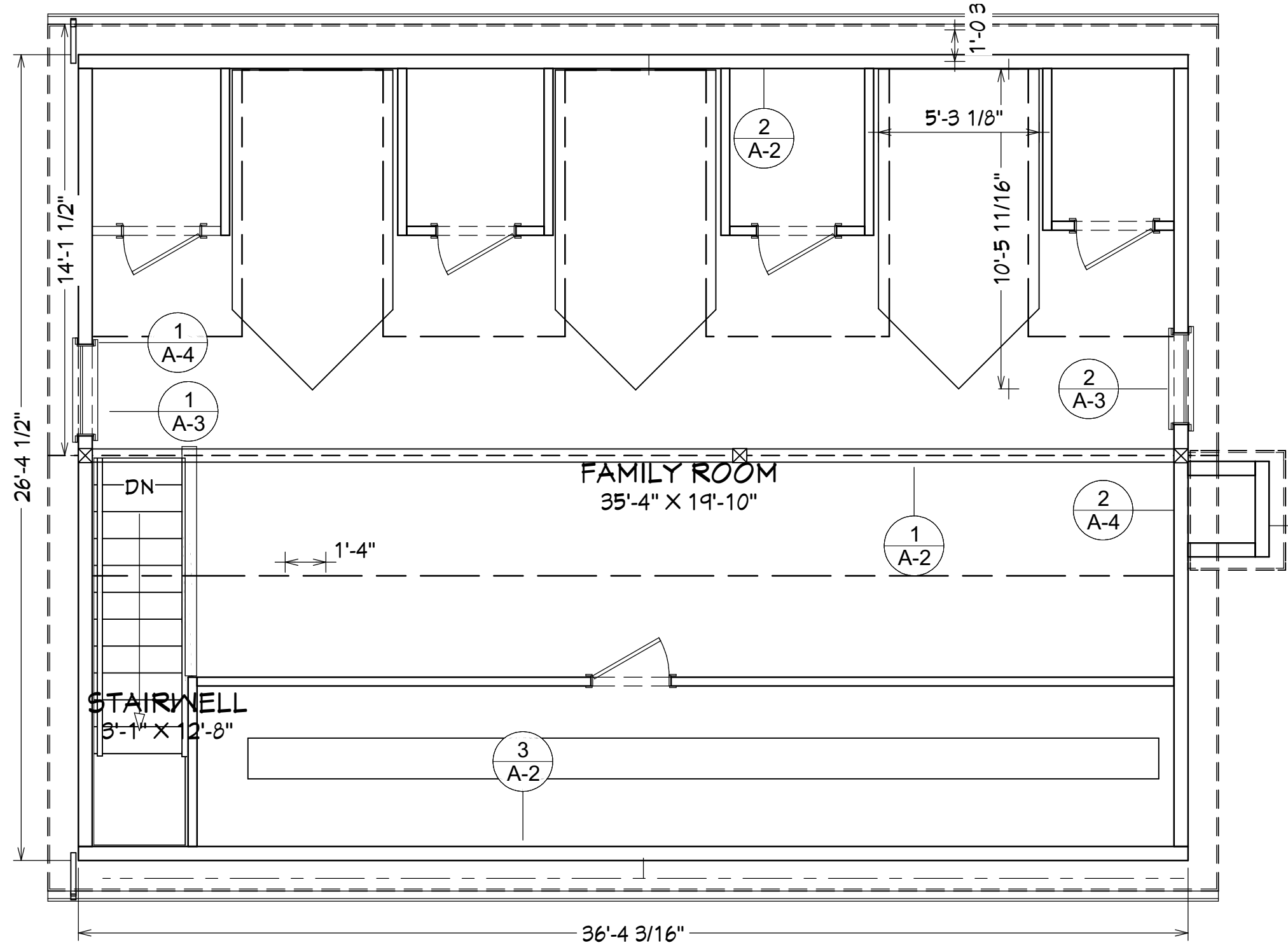
- INSULATION NOTES:**
- ABOVE GRADE WALLS: R-32, SPRAY FOAM PREFERRED
 - ROOF: VAULTED ROOF, R-49, SPRAY FOAM PREFERRED
 - FOUNDATION WALLS: R-23



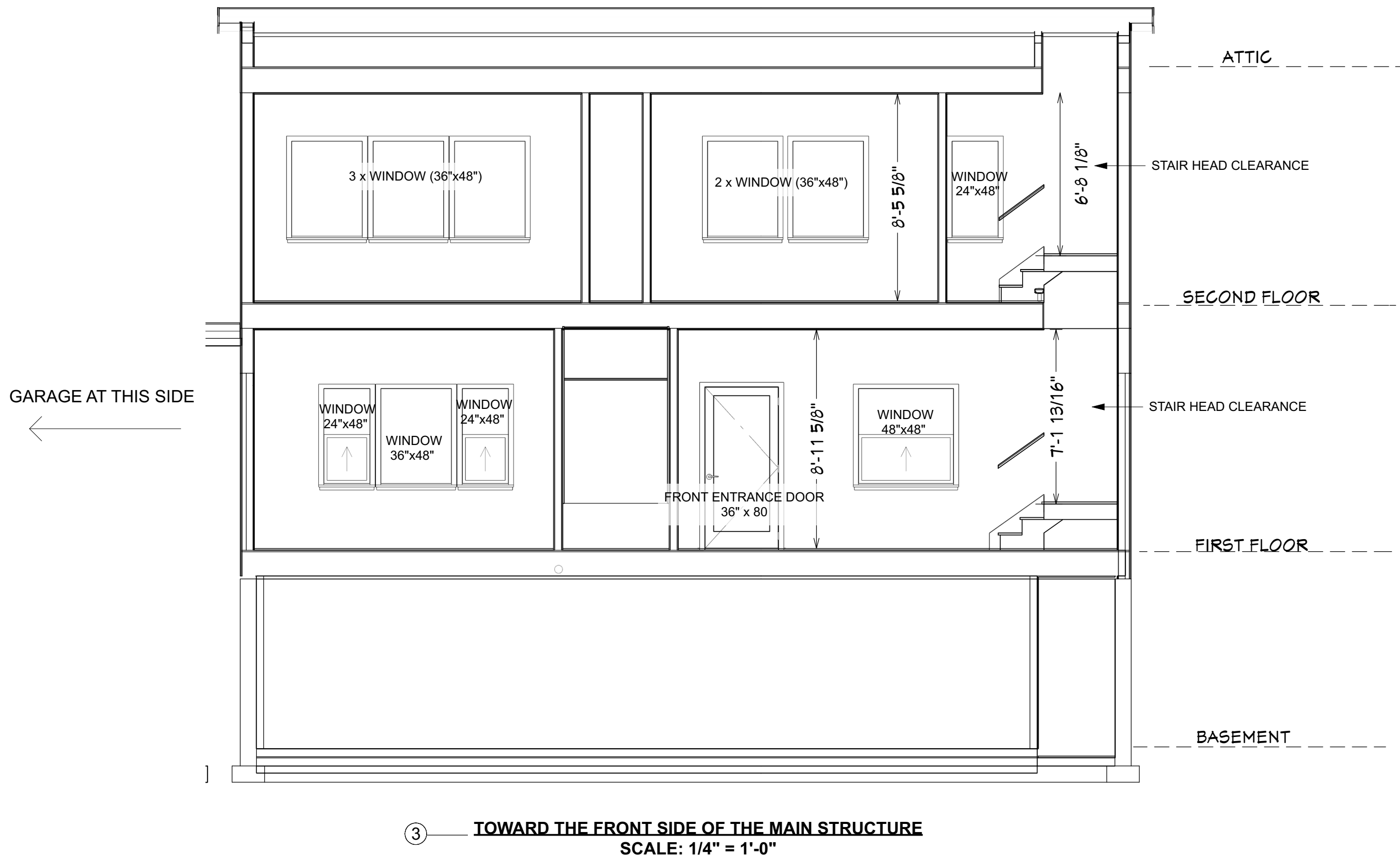
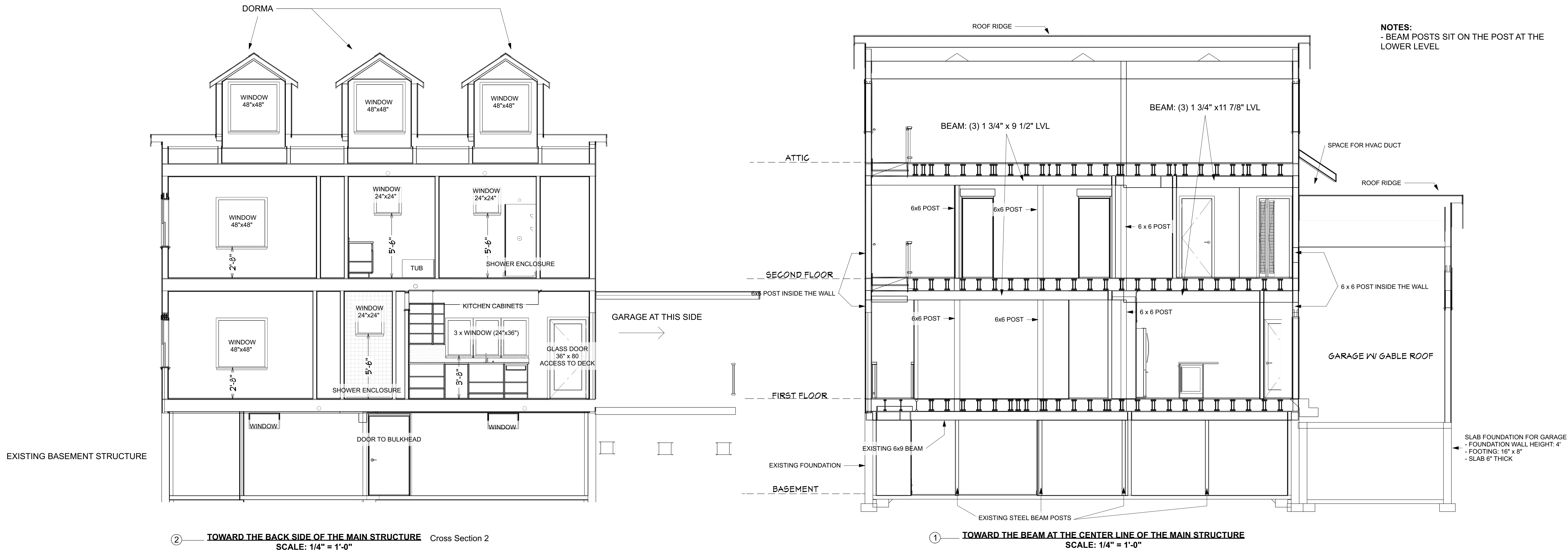
- SECOND FLOOR PLAN:**
SCALE: 1/4" = 1'-0"
- SECON FLOOR CONSTRUCTION NOTES:**
1. NEW CONSTRUCTION
 2. CEILING HEIGHT: 8.5'
 3. GABLE ROOF ON GARAGE

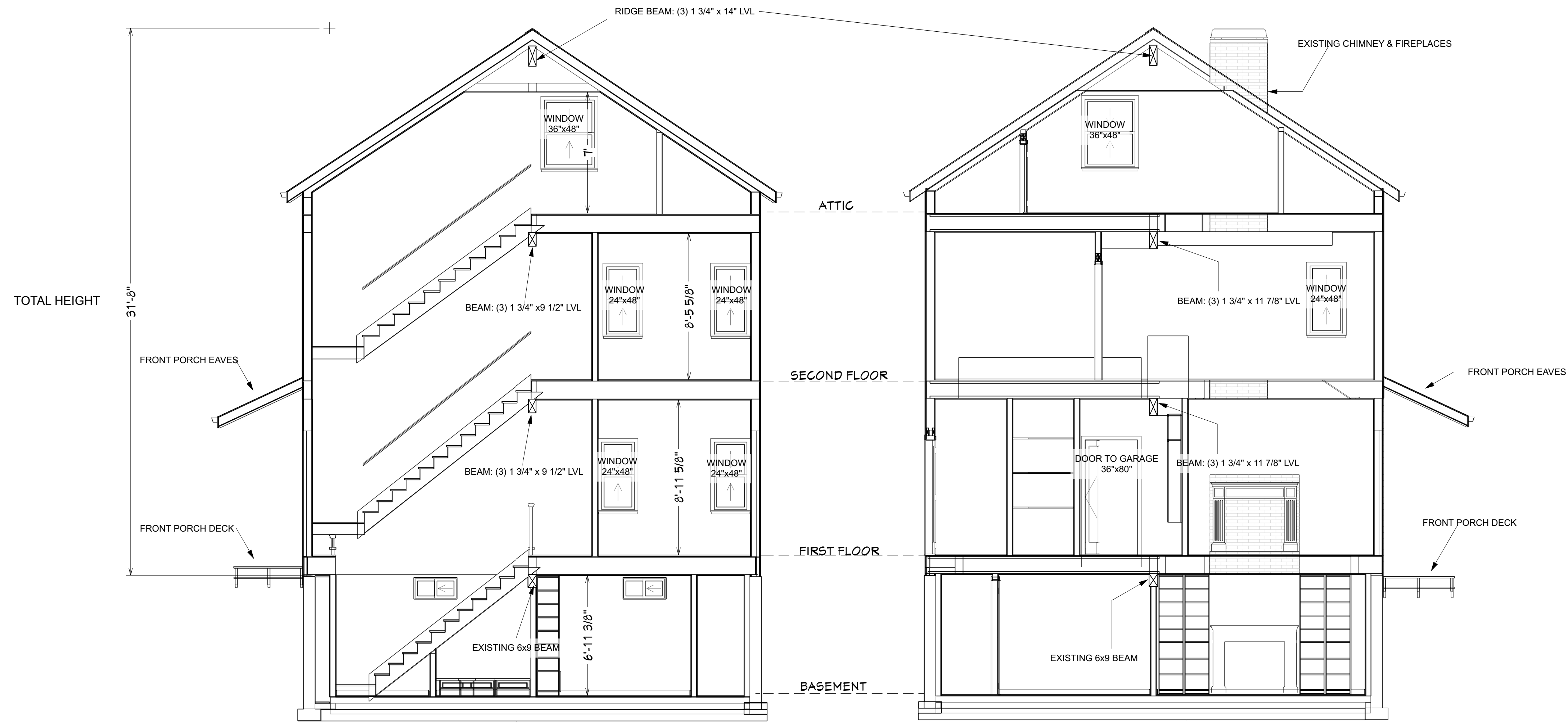


- FIRST FLOOR PLAN:**
SCALE: 1/4" = 1'-0"
- FIRST FLOOR DEMOLITION NOTES:**
1. REMOVE EXISTING CEILING AND ATTIC STRUCTURES
 2. GUT TO THE FRAMES BY DEMOLISHING ALL INTERIOR STRUCTURES
 3. COMPLETELY DEMOLISH ATTACHED STRUCTURE AT THE RIGHT SIDE (TO BE CONVERTED TO GARAGE)
 4. NO CHANGE ON DECK AT THE BACK
 5. NO CHANGE ON BULKHEAD AT THE BACK
- FIRST FLOOR CONSTRUCTION NOTES:**
1. RAISE CEILING HEIGHT TO 9'
 2. ADD LVL BEAM WITH POSTS SITTING ON THE EXISTING POSTS IN BASEMENT
 3. ADD STAIR TO THE SECONF FLOOR
 4. BUILD AN ATTACHED GARAGE



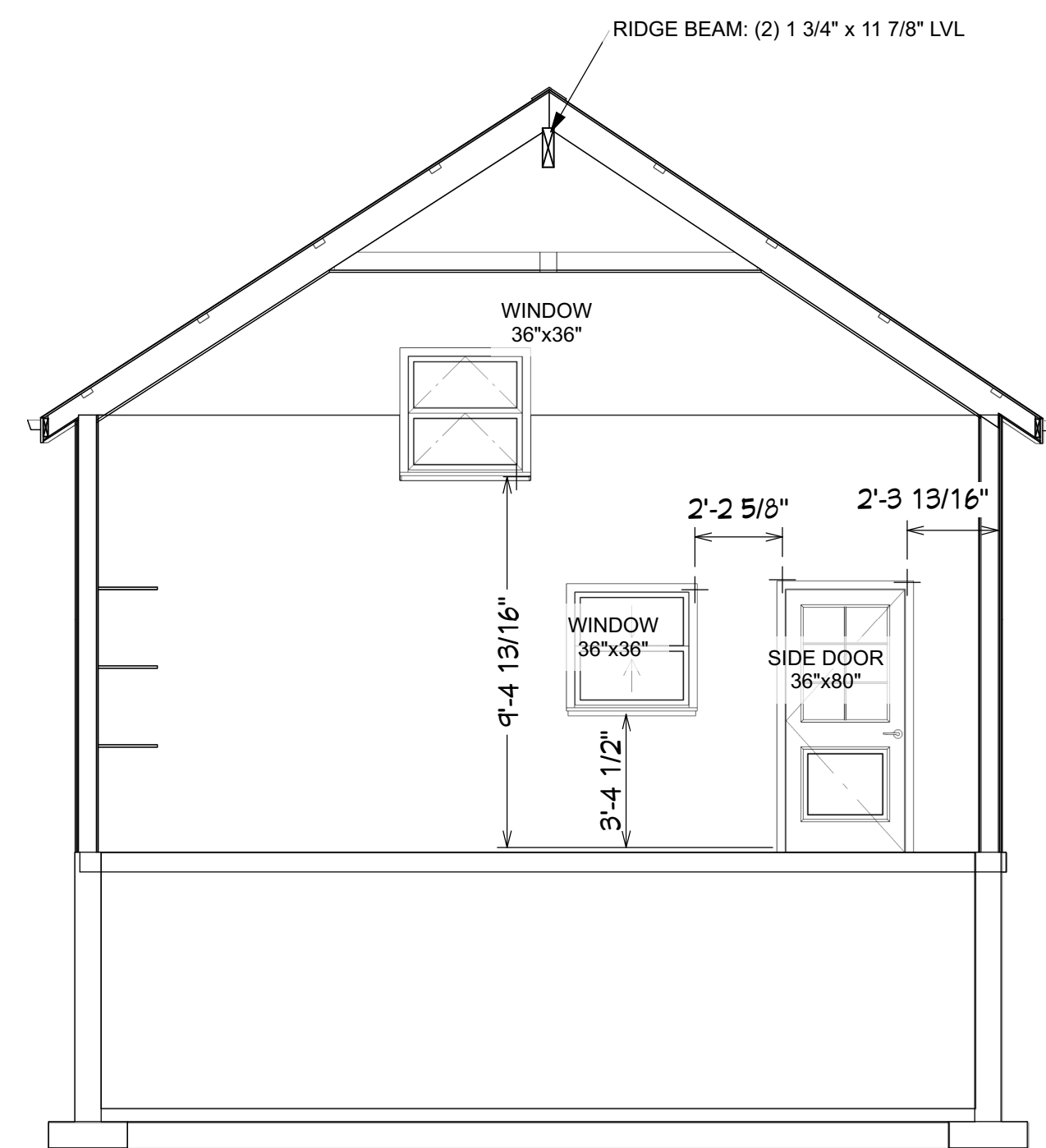
- ATTIC PLAN:**
SCALE: 1/4" = 1'-0"
- ATTIC CONSTRUCTION NOTES:**
1. NEW CONSTRUCTION
 2. CEILING HEIGHT: 7'
 3. KNEE WALL HEIGHT: 4'
 4. GABLE ROOF WITH 3 DORMAS



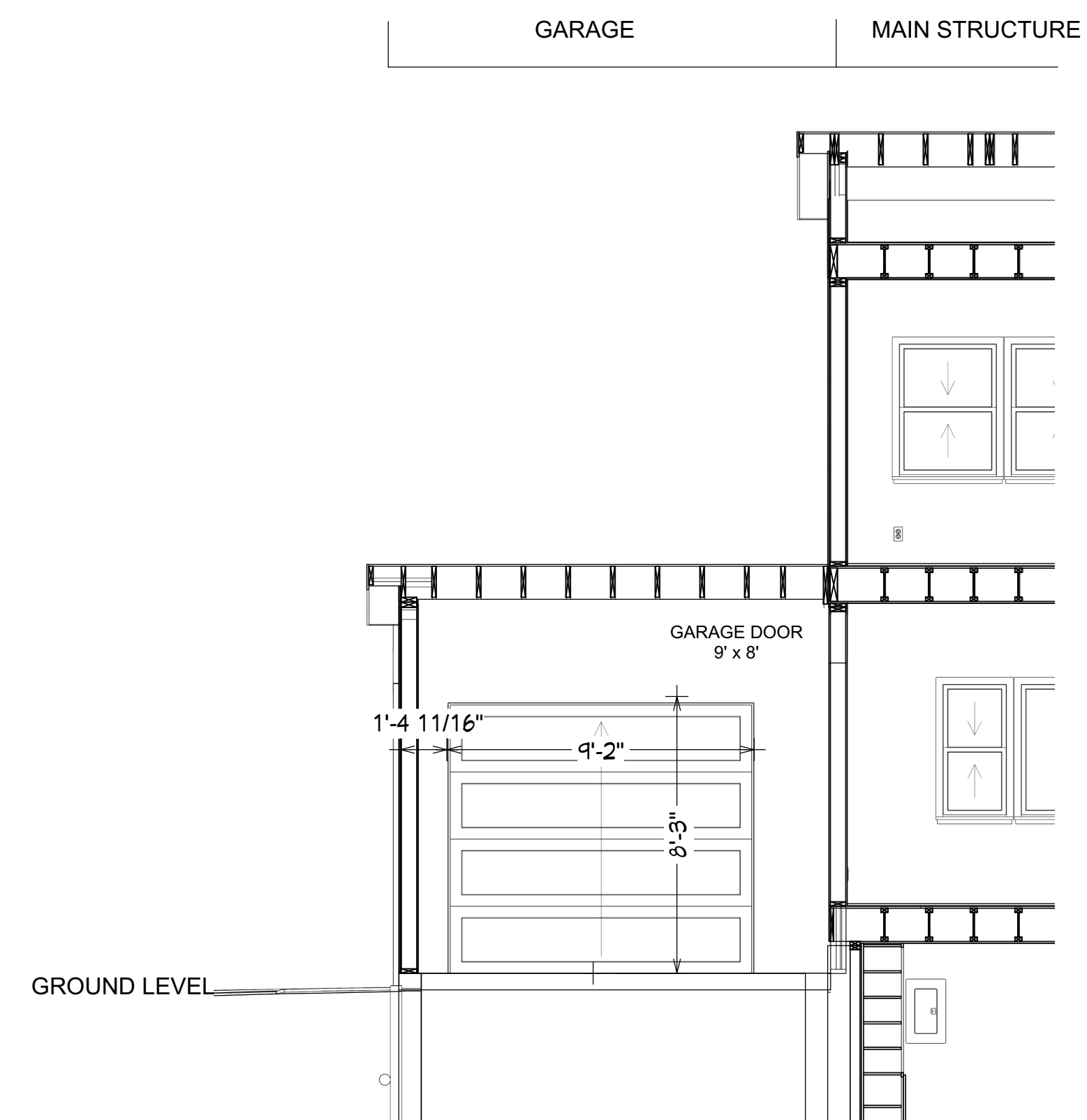


① — TOWARD LEFT SIDE WALL OF THE MAIN STRUCTURE
SCALE: 1/4" = 1'-0"

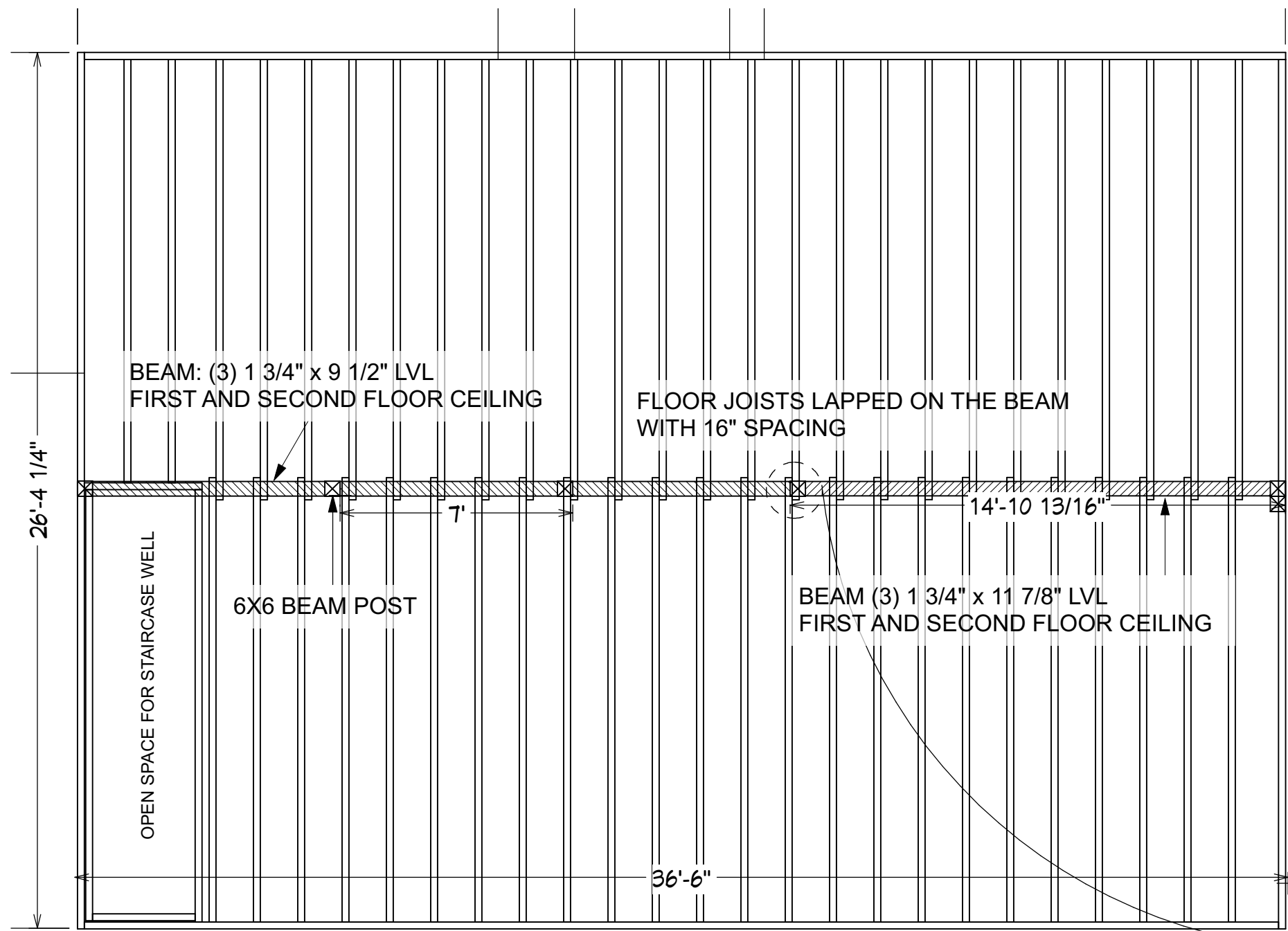
② — TOWARD RIGHT SIDE WALL OF THE MAIN STRUCTURE
SCALE: 1/4" = 1'-0"



③ — TOWARD RIGHT SIDE WALL OF THE GARAGE
SCALE: 1/4" = 1'-0"



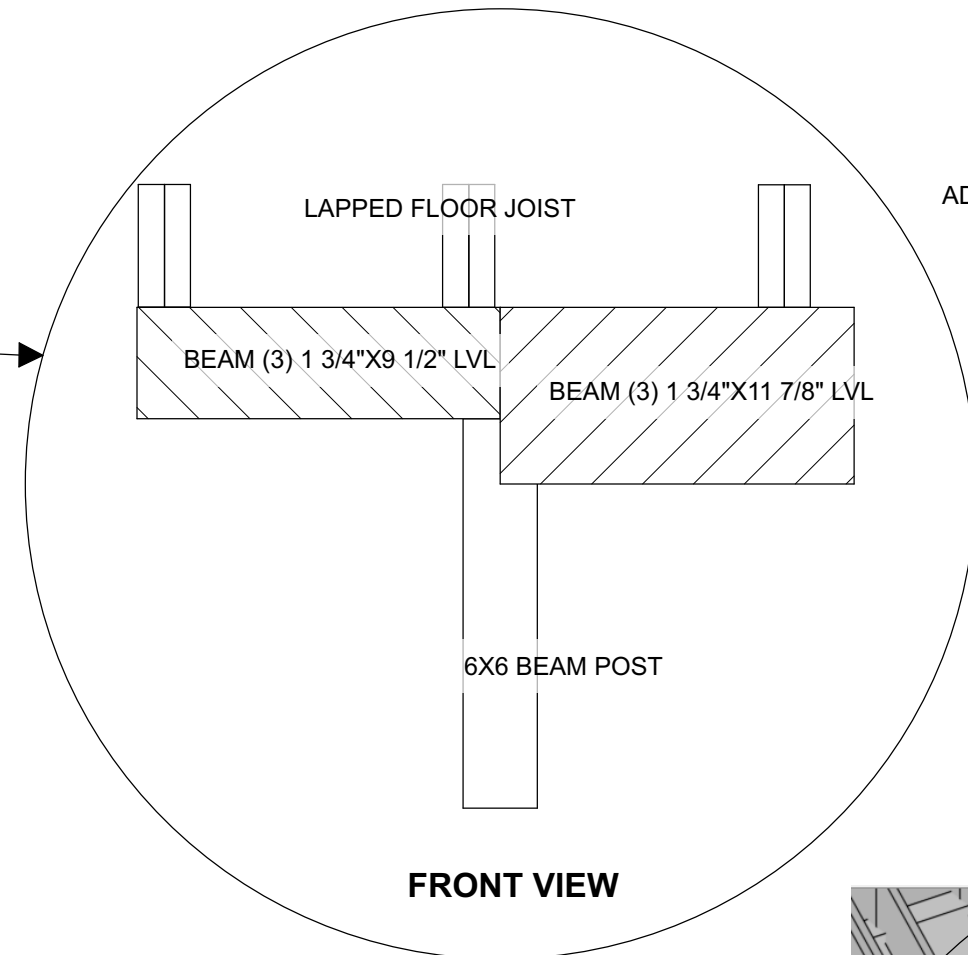
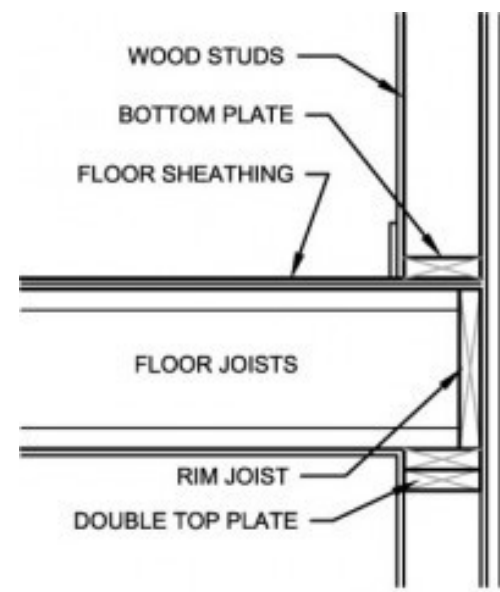
④ — TOWARD FRONT SIDE WALL OF THE GARAGE
SCALE: 1/4" = 1'-0"



FLOOR FRAMING
SCALE: 1/4" = 1'-0"

FLOOR FRAMING NOTES:

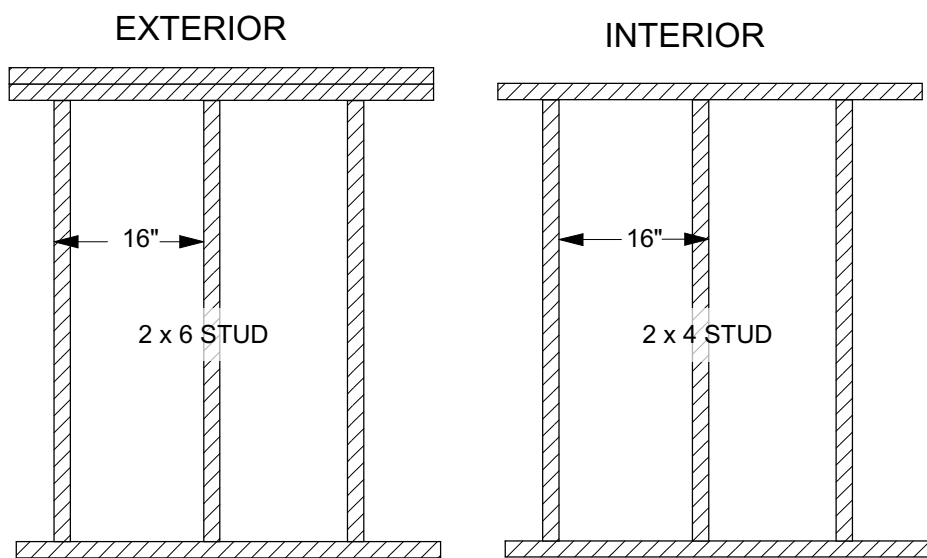
1. FLOOR JOIST: 3 x 12, JOIST SPACING 16"
2. RIM JOIST: 2 x 12
3. FLOOR JOISTS LAPPED ON BEAM
4. FLOOR JOISTS CONNECT WITH EXTERIOR WALL:
STANDARD PLATFORM FRAMING AS SHOWN IN THE
PICTURE BELOW



FRONT VIEW

WALL FRAMING NOTES (APPLIED TO NEW FRAMING ONLY):

1. EXTERIOR WALL STUD: 2 x 6, STUD SPACING: 16"
2. INTERIOR WALL STUD: 2 x 4, STUD SPACING: 16"
3. BASEMENT WALL STUD: 2 x 4, STUD SPACING: 16"



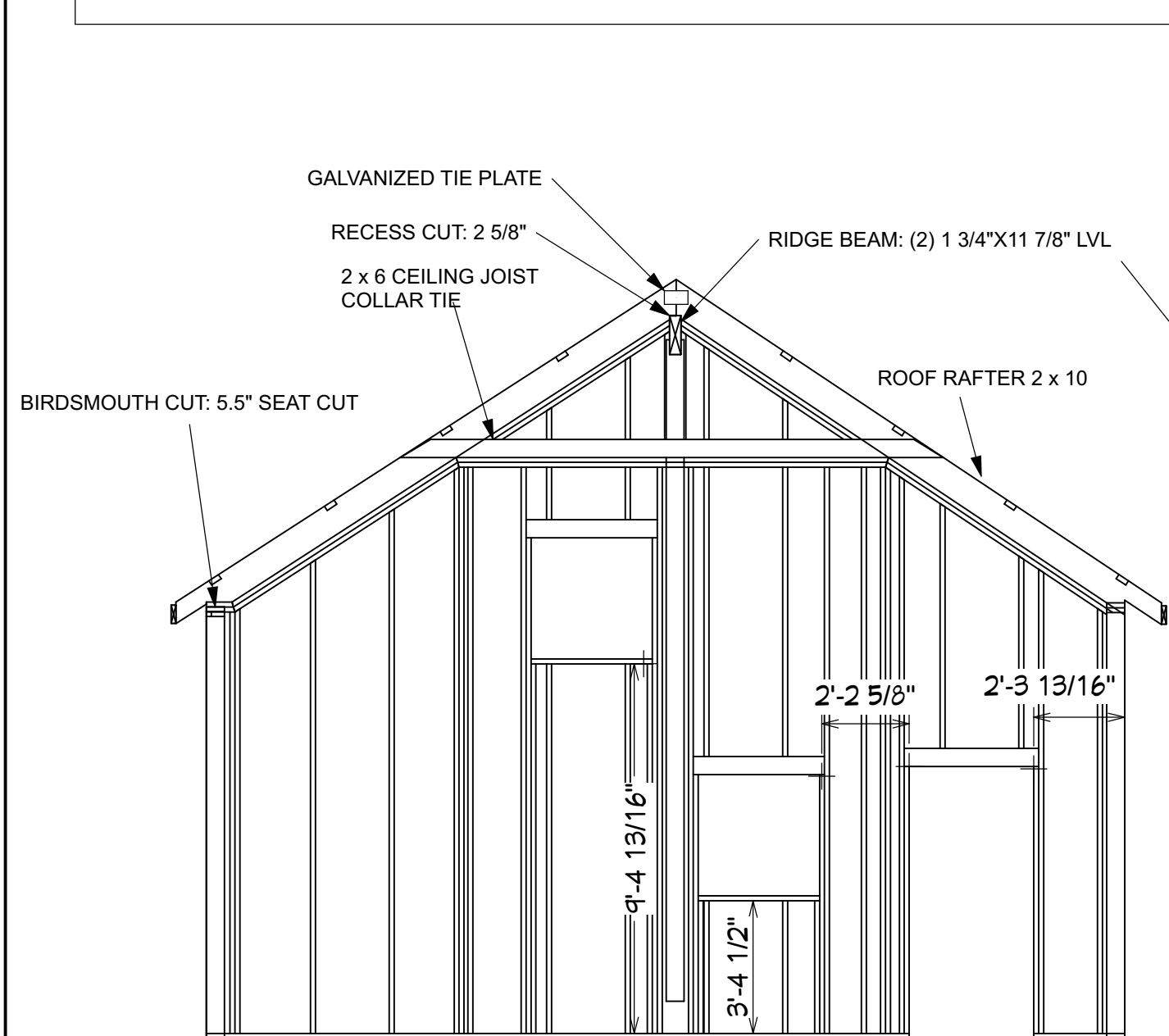
WINDOW AND DOOR HEADER SELECTION GUIDELINES:

2 PCS OF LUMBER HEADERS USED FOR EACH WINDOW OR DOOR

FOR WINDOW/DOOR WIDTH 24" OR 36":
HEADER SIZE: 2 x 6

FOR WINDOW/DOOR WIDTH 48":
HEADER SIZE: 2 x 8

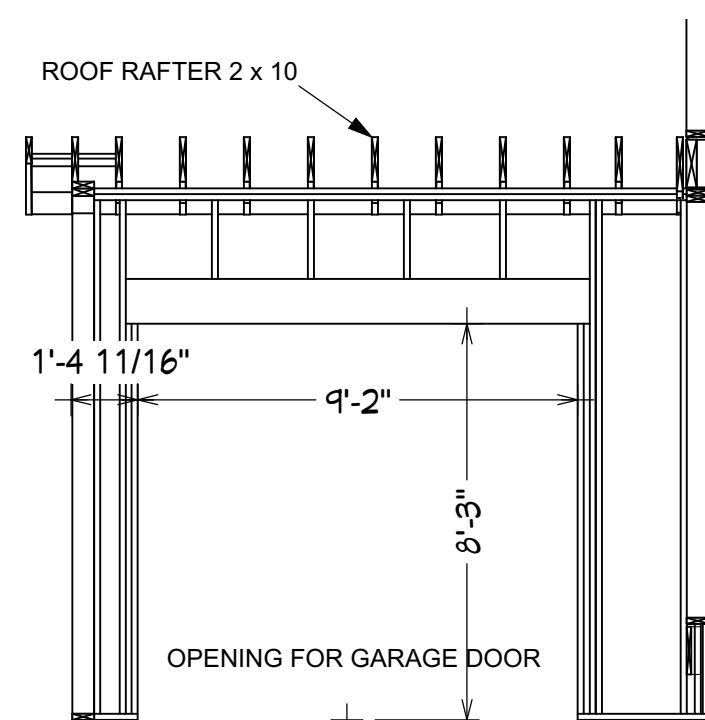
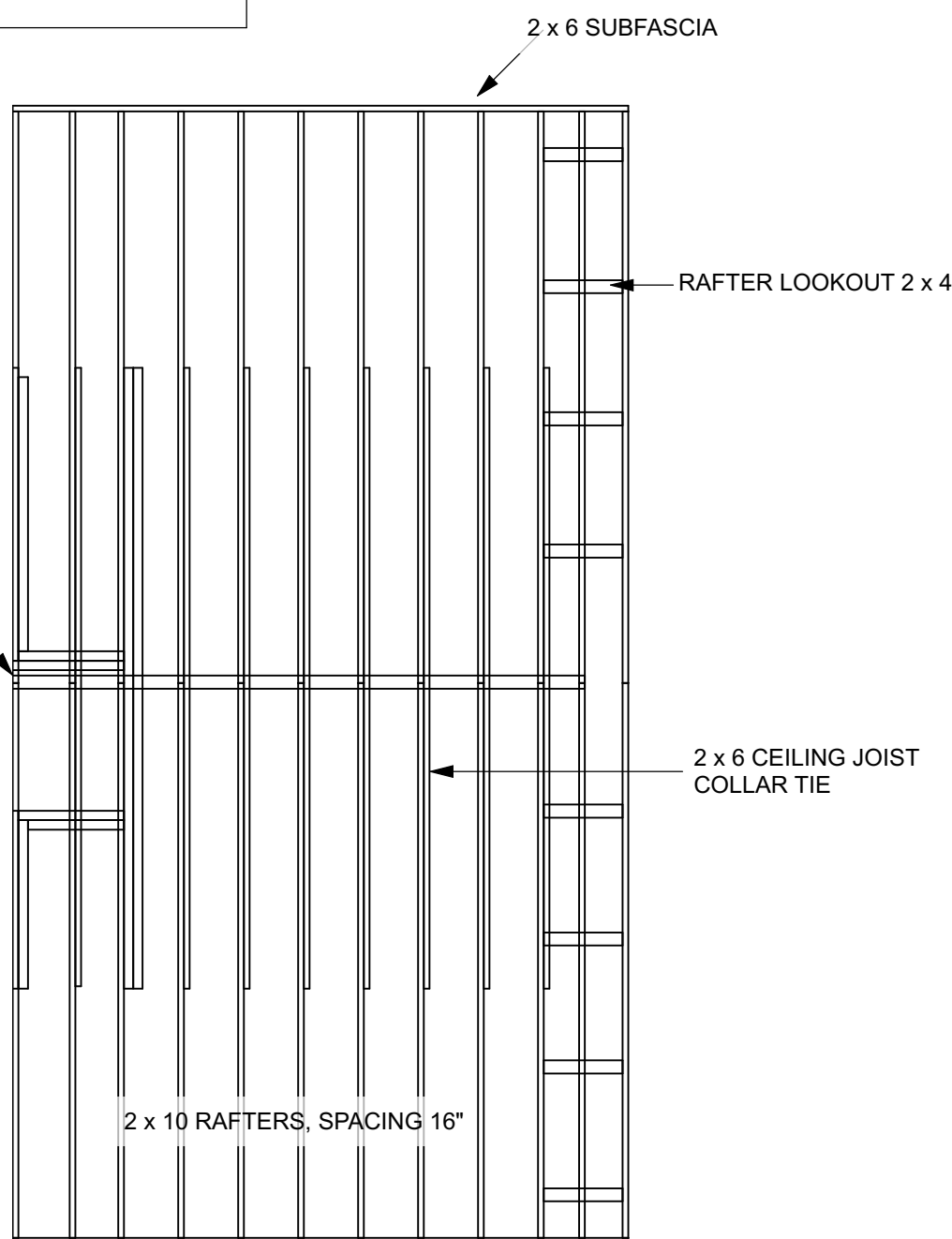
FOR GARAGE DOOR:
HEADER SIZE: 2 x 12



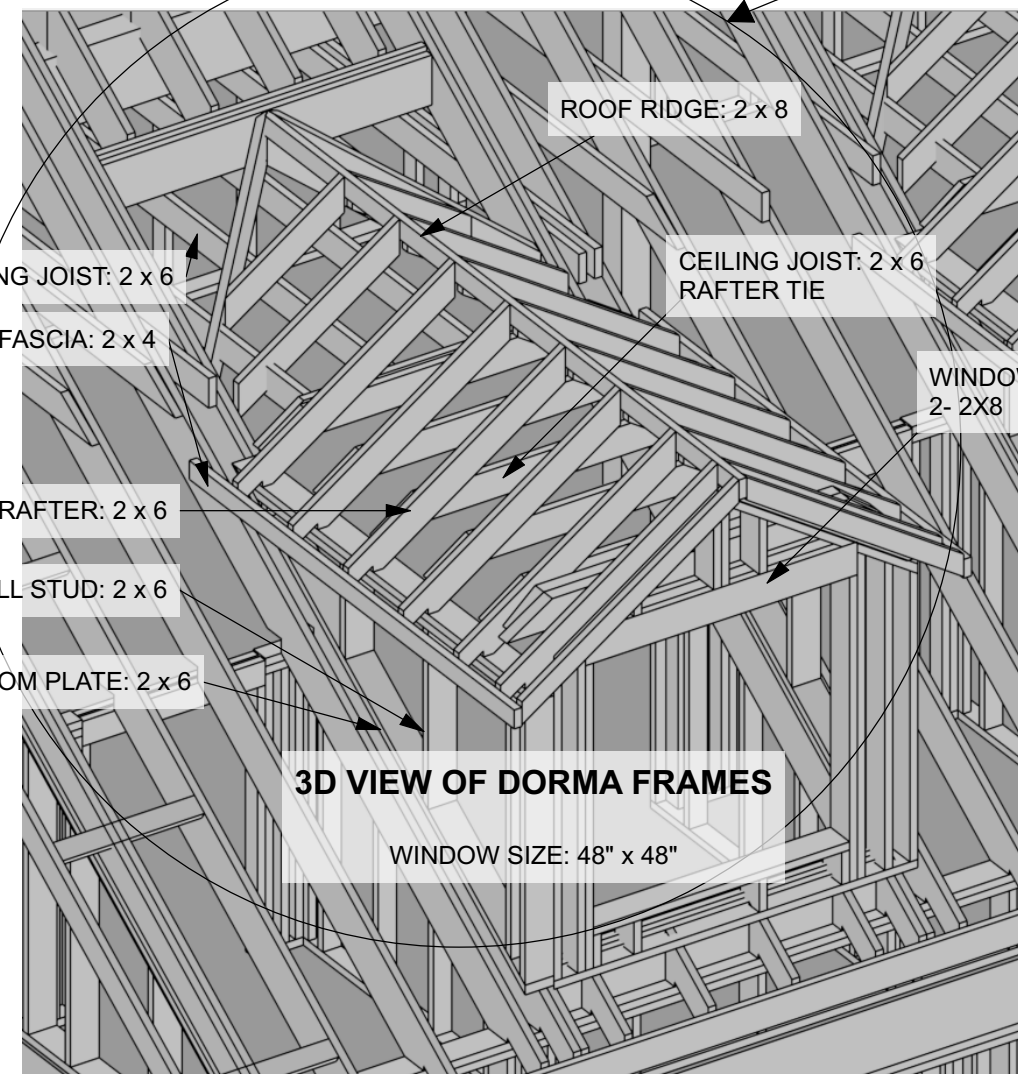
3 GARAGE SIDE WALL FRAMING (W/ GABLE ROOF)
SCALE: 1/4" = 1'-0"

ROOF PITCH 8/12; ROOF OVERHAND 1'

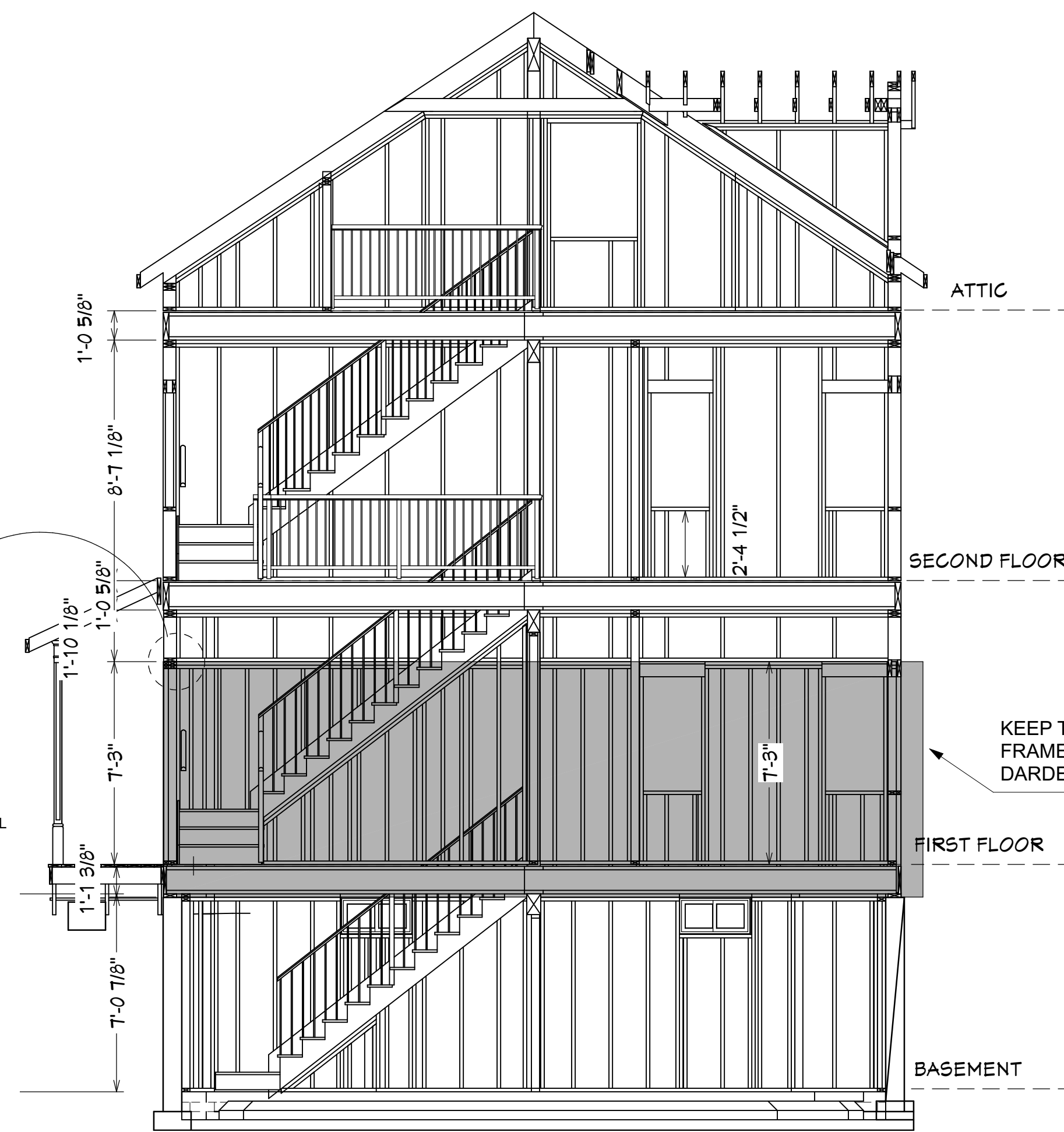
TOP VIEW OF GABLE ROOF FRAME AT GARAGE
SCALE: 1/4" = 1'-0"



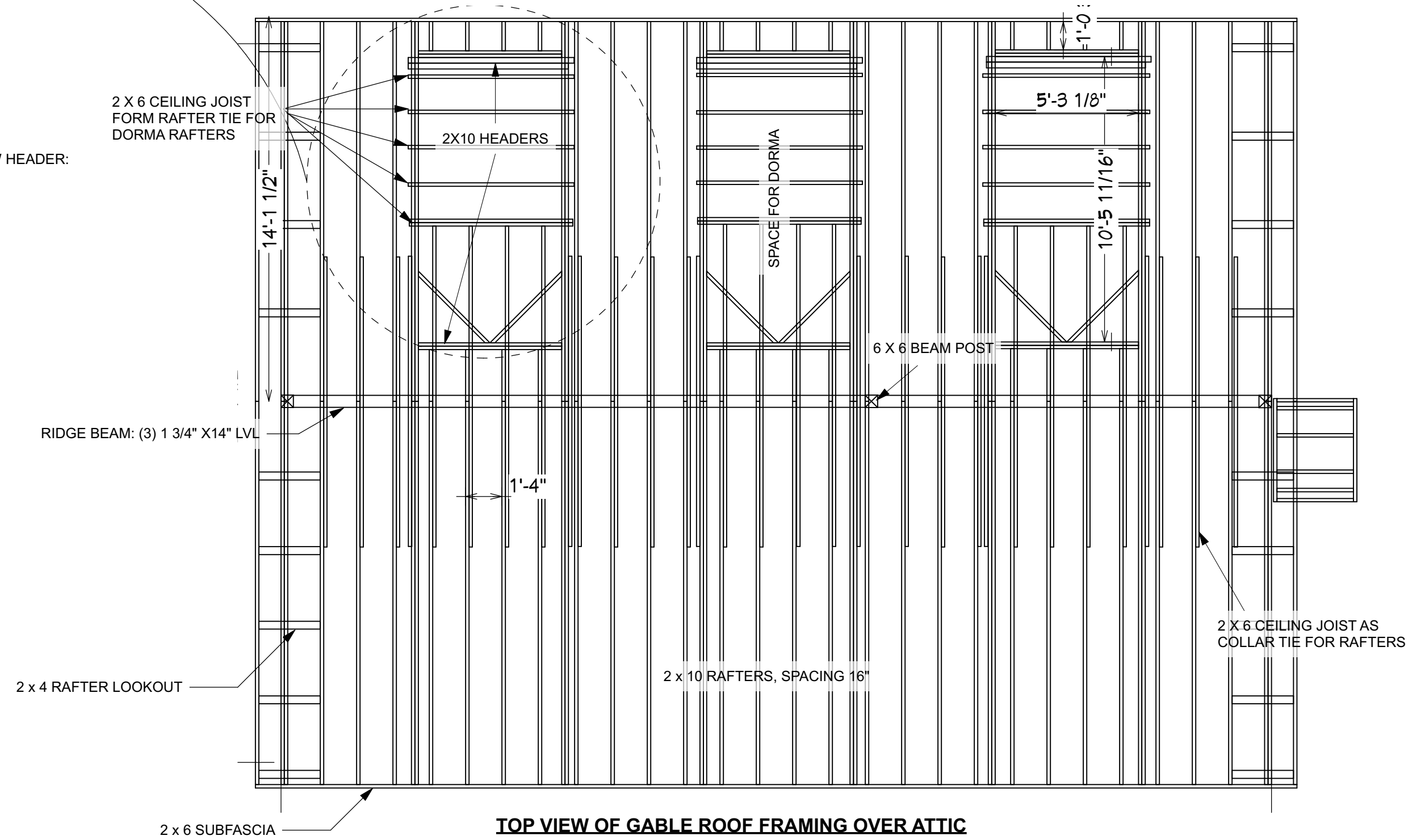
4 GARAGE FRONT WALL FRAMING
SCALE: 1/4" = 1'-0"



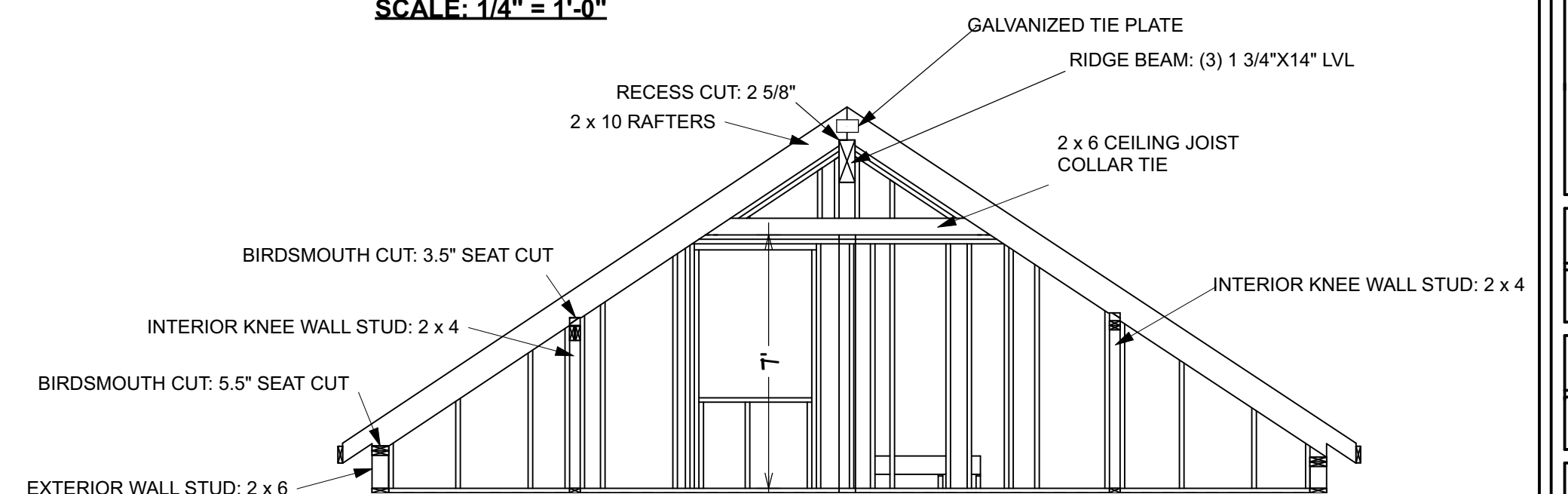
3D VIEW OF DORMA FRAMES



1 TOWARD LEFT SIDE OF THE MAIN STRUCTURE
SCALE: 1/4" = 1'-0"

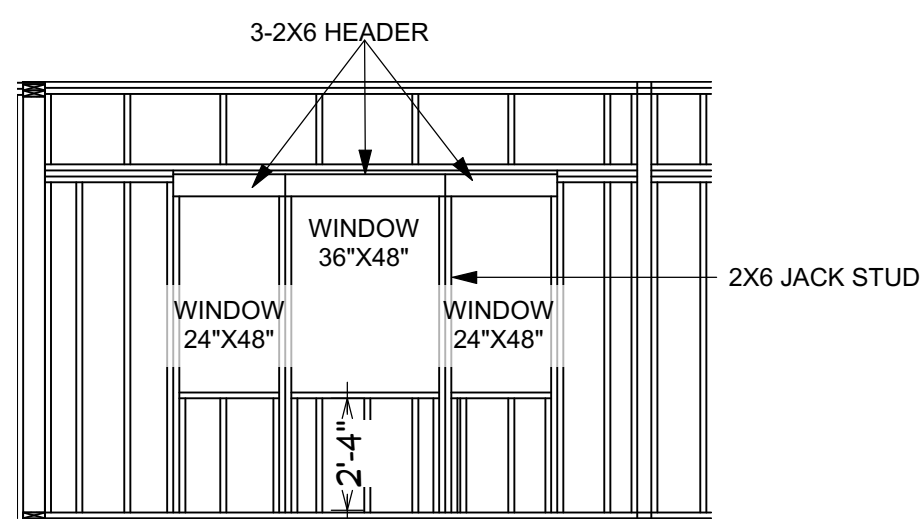


TOP VIEW OF GABLE ROOF FRAMING OVER ATTIC
SCALE: 1/4" = 1'-0"

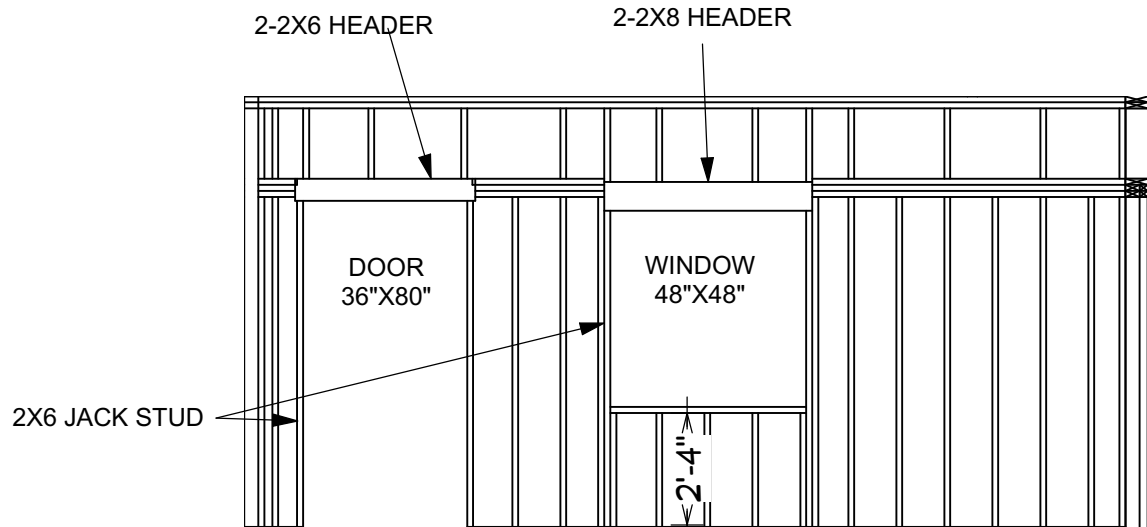


2 CROSS-SECTION OF GABLE ROOF FRAME AT THE ATTIC
ROOF PITCH 8/12; ROOF OVERHAND 1'

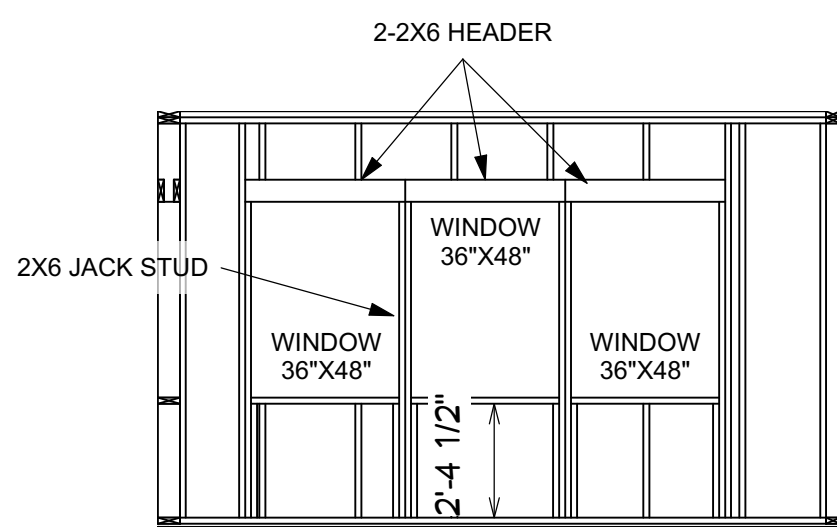
FRAMING FOR EXTERIOR WINDOWS AND DOORS



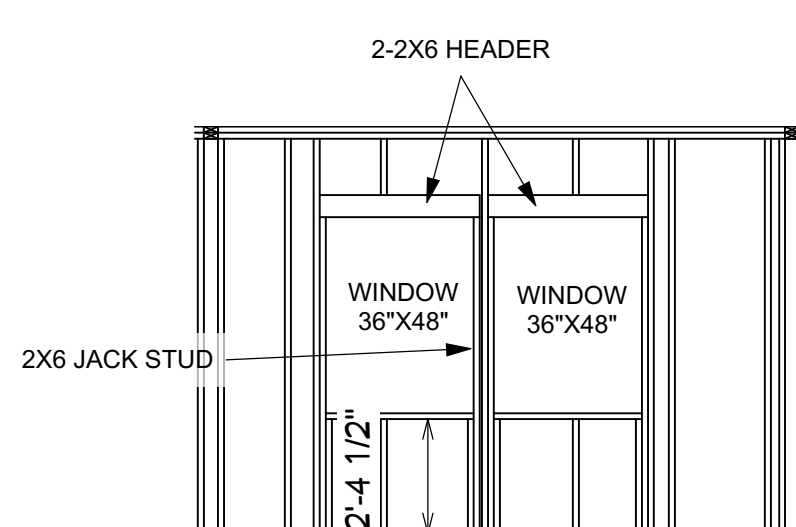
FRONT WINDOW IN DINNING ROOM - FIRST FLOOR
SCALE 1/4" = 1'-0"



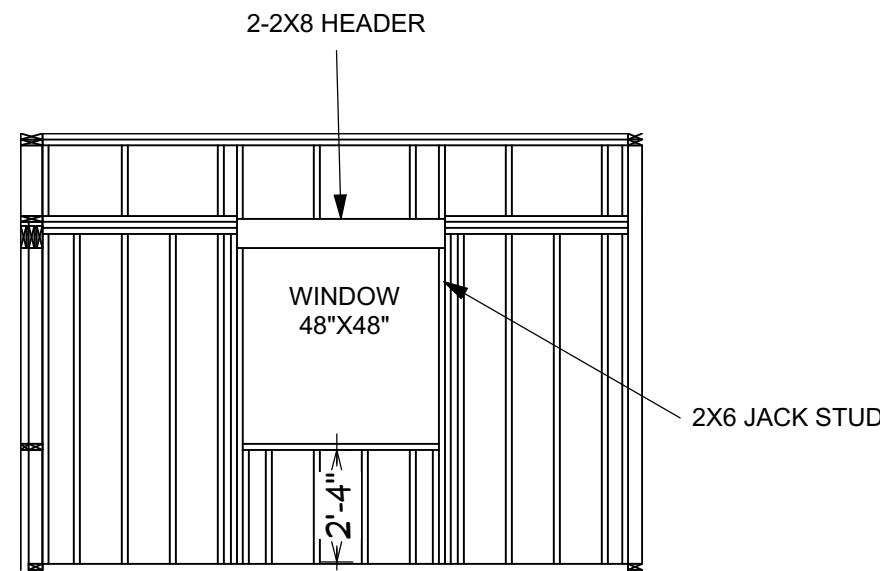
FRONT DOOR & WINDOW IN LIVING ROOM - FIRST FLOOR
SCALE 1/4" = 1'-0"



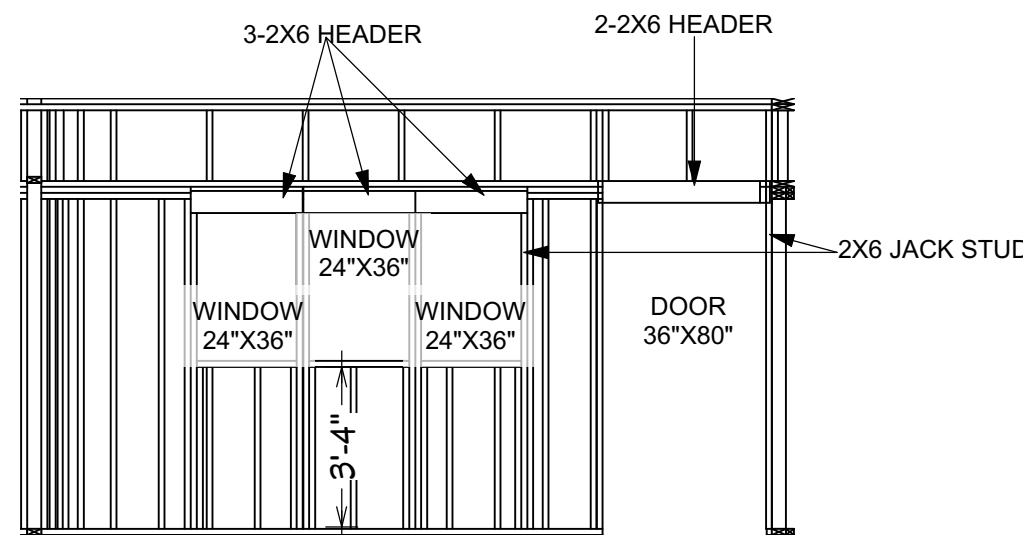
FRONT WINDOW IN PRIMARY BR - SECOND FLOOR
SCALE 1/4" = 1'-0"



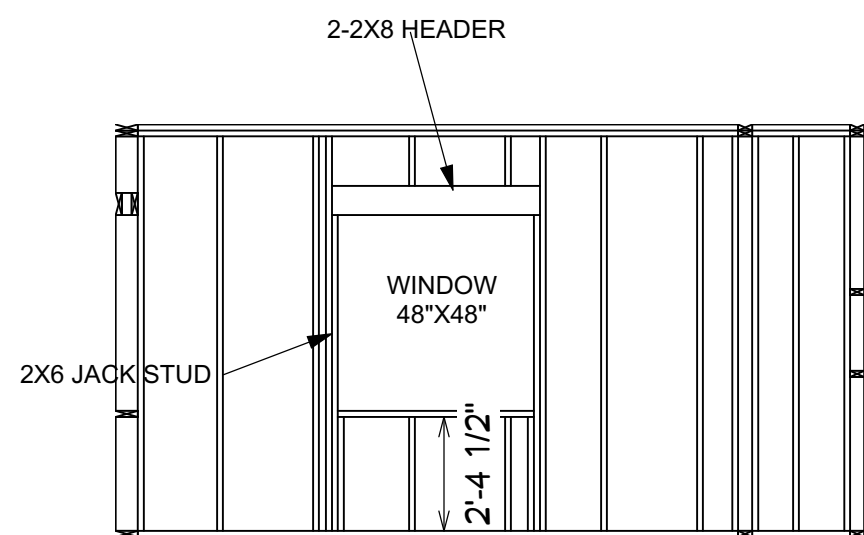
FRONT WINDOW IN BR 3 - SECOND FLOOR
SCALE 1/4" = 1'-0"



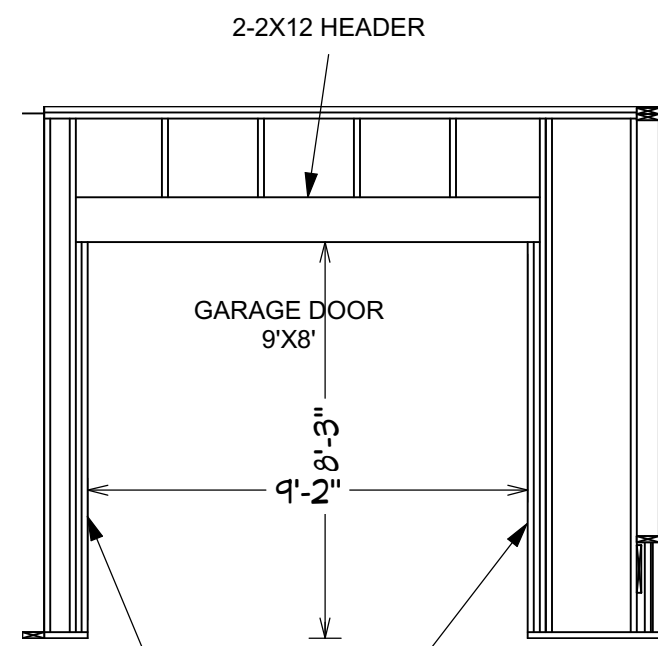
BACK WINDOW IN BR 1 - FIRST FLOOR
SCALE 1/4" = 1'-0"



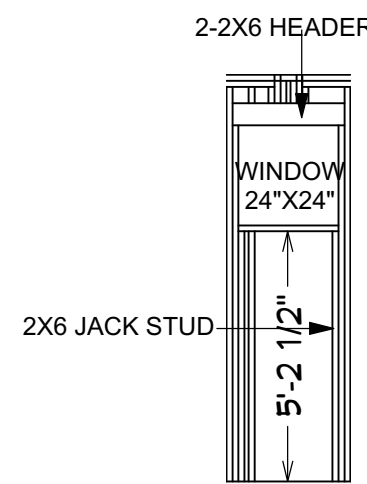
BACK DOOR & WINDOW IN KITCHEN - FIRST FLOOR
SCALE 1/4" = 1'-0"



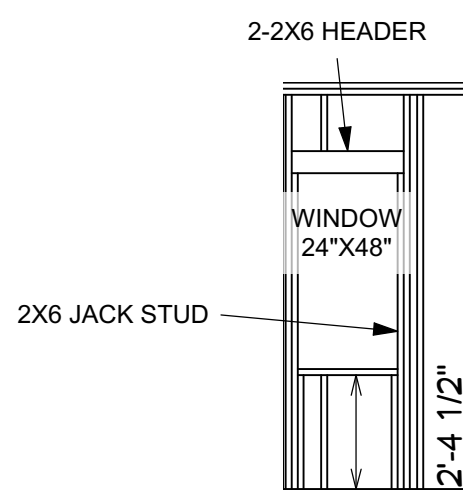
BACK WINDOW IN BR 2 - SECOND FLOOR
SCALE 1/4" = 1'-0"



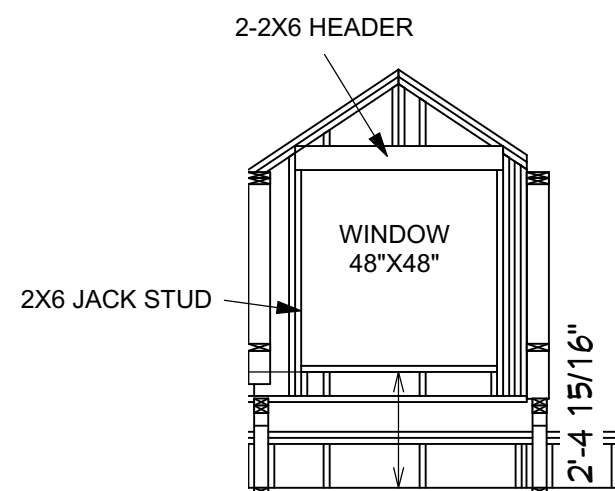
GARAGE DOOR AT FRONT
SCALE 1/4" = 1'-0"



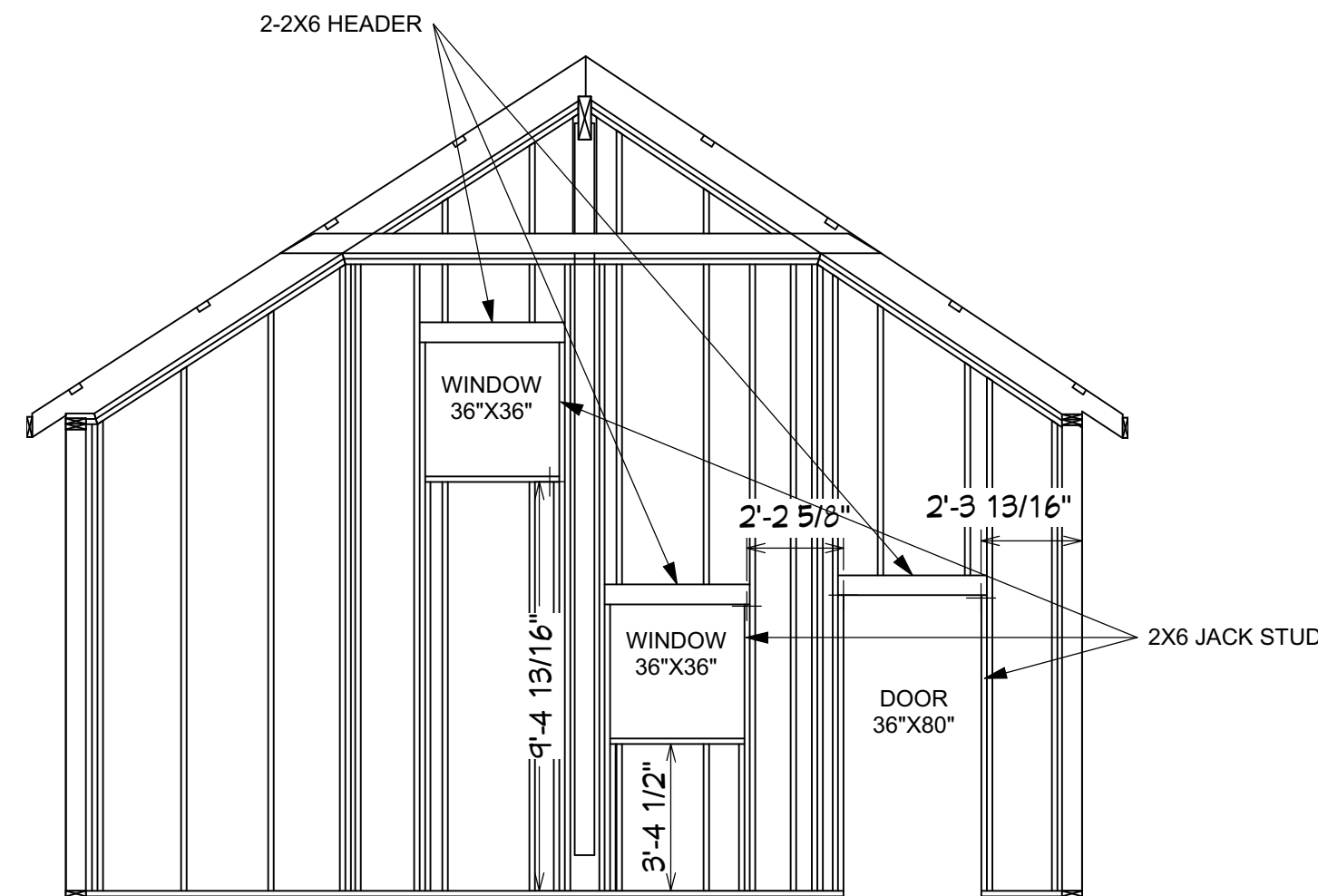
SINGLE 24"X24" WINDOW IN BATHROOMS
SCALE 1/4" = 1'-0"



SINGLE 24"X48" WINDOW IN ALL ROOMS
SCALE 1/4" = 1'-0"



DORMA WINDOW IN ATTIC
SCALE 1/4" = 1'-0"



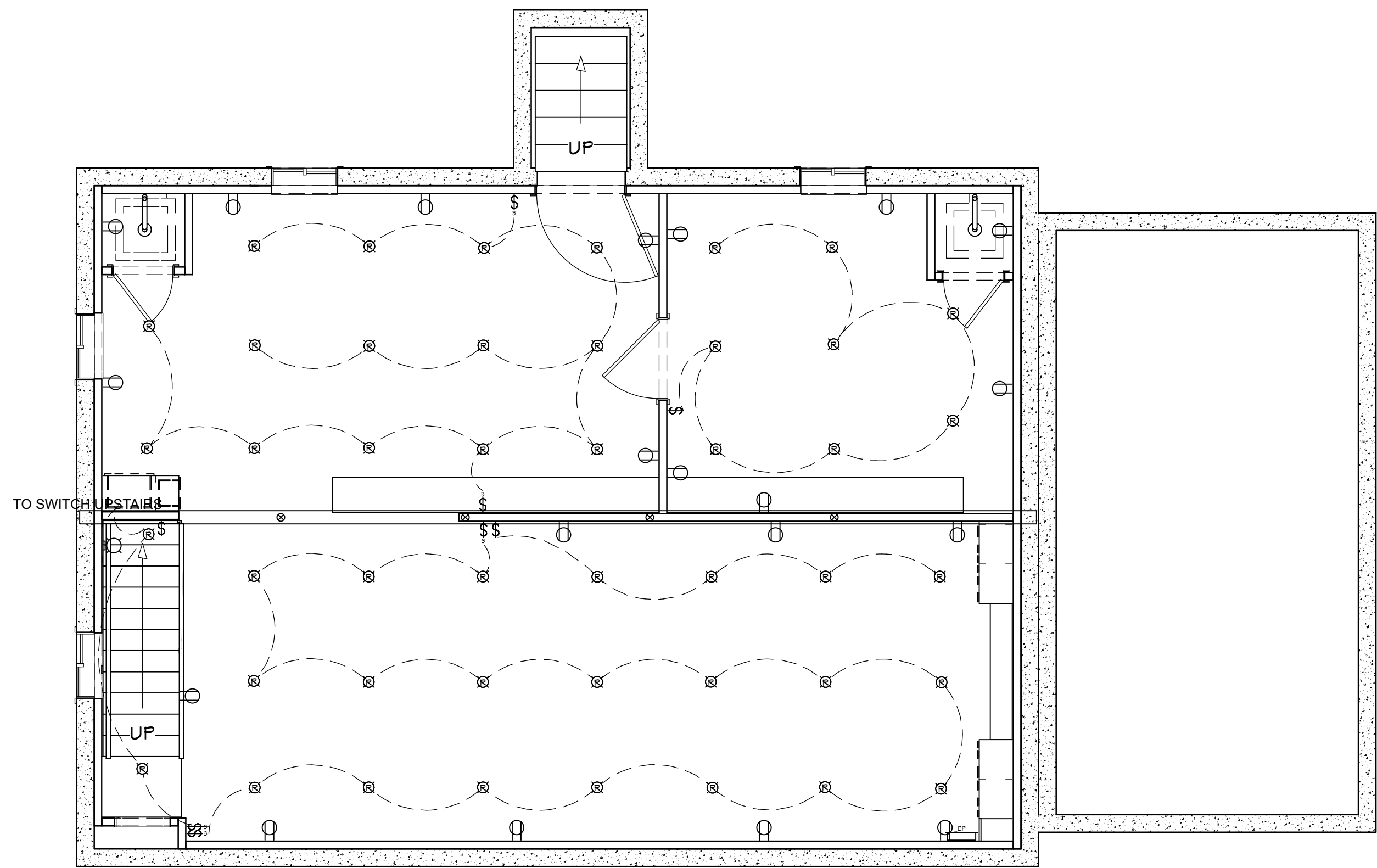
WINDOWS AND DOOR IN GARAGE
SCALE 1/4" = 1'-0"

FRAMING FOR INTERIOR DOORS

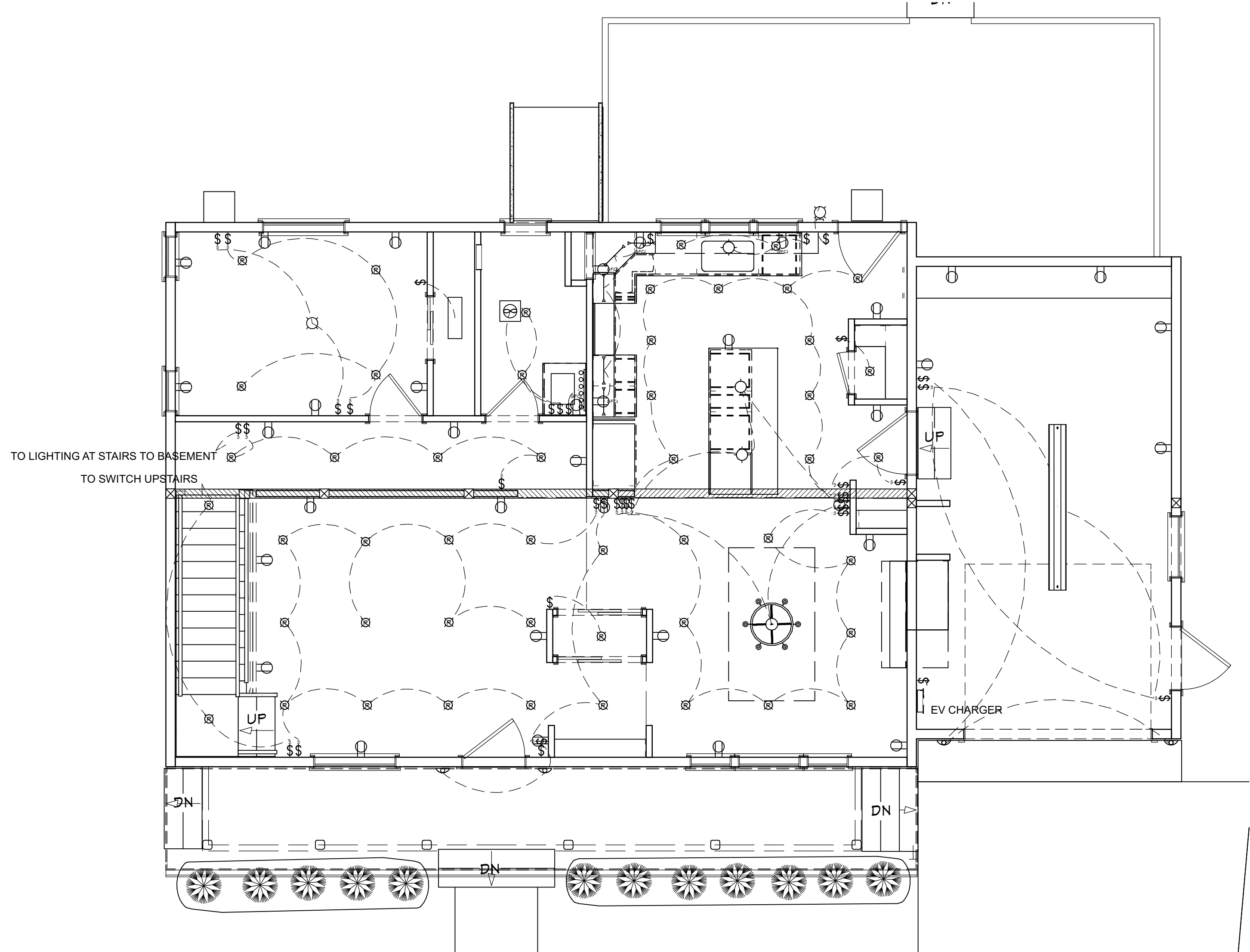
DOOR WIDTH 36" AND LESS:
- HEADER: 2-2X6
- JACK STUD NUMBER: 1

DOOR WIDTH 48":
- HEADER 2-2X8
- JACK STUD NUMBER: 1

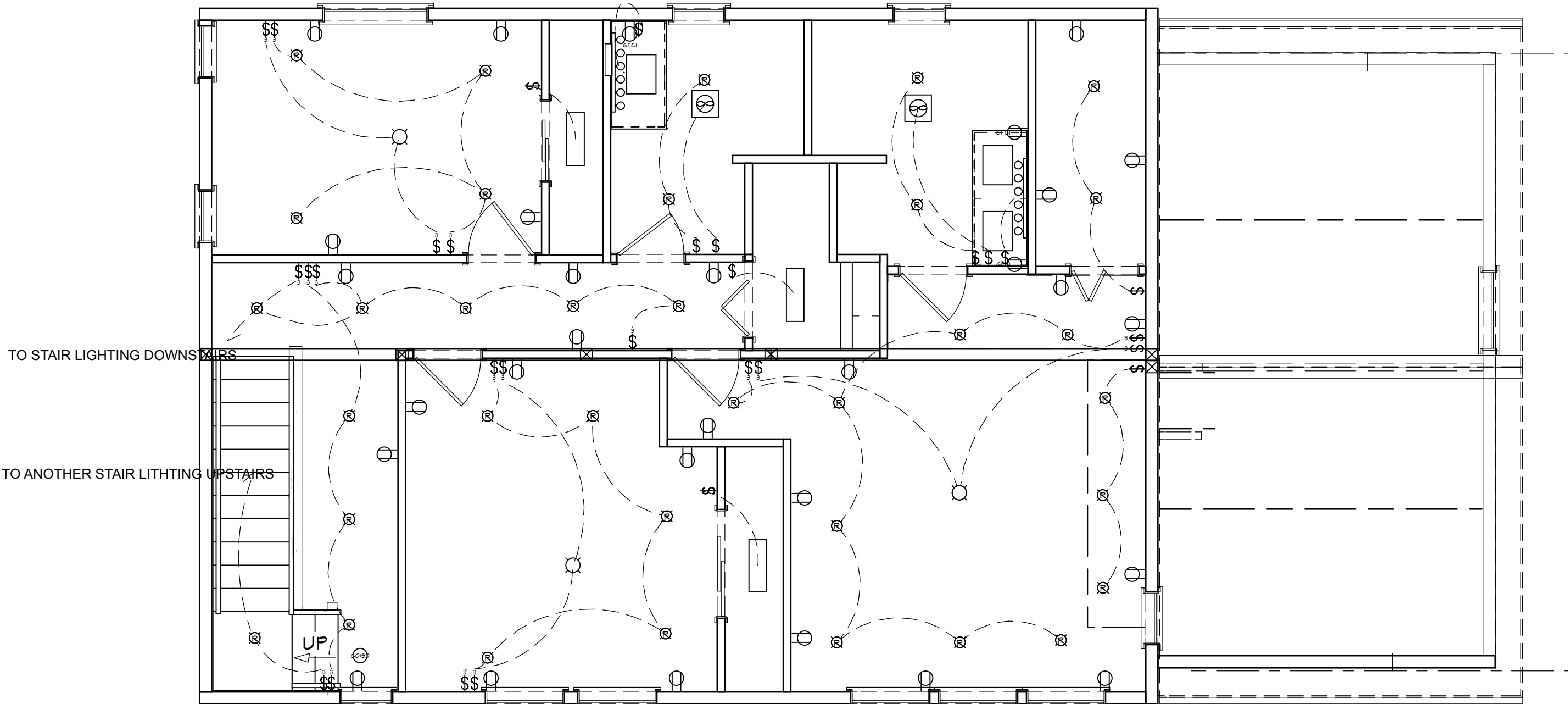
BOSINA LLC	
NO. V1	DATE 08/28/2025
BY JQ	
DESCRIPTION INITIAL PLAN	
SHEET TITLE: FRAMING PLAN - DOORS AND WINDOWS	
PROJECT DESCRIPTION: 26 REED ST, ARLINGTON	
DRAWINGS PROVIDED BY: JQ	
DATE: 09/28/2025	
SCALE: 1/4" = 1'-0"	
SHEET: A-5	



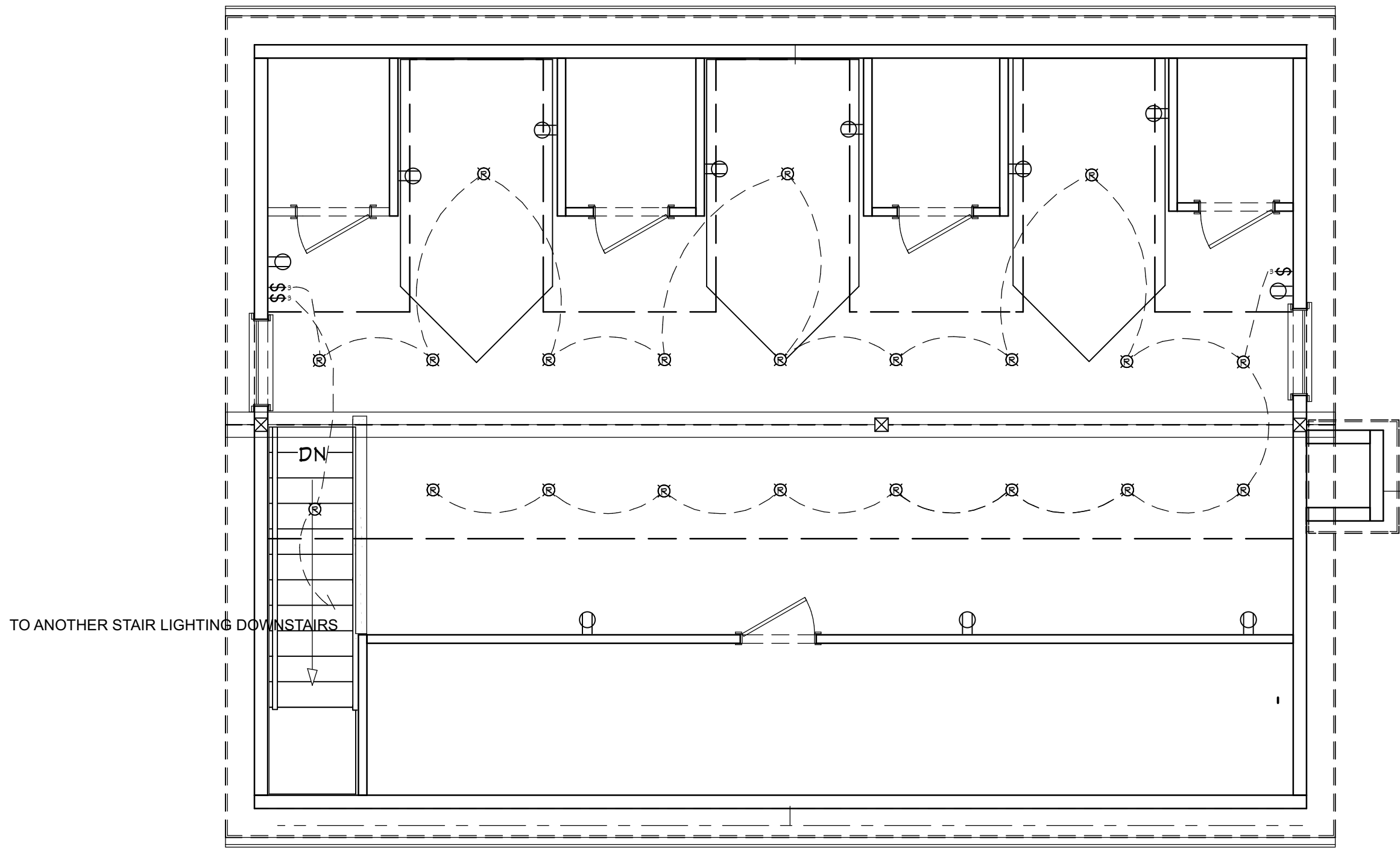
BASEMENT POWER PLAN



FIRST FLOOR POWER PLAN



SECOND FLOOR POWER PLAN



ATTIC POWER PLAN

NO.	DESCRIPTION	BY	DATE
V1	INITIAL PLAN	JQ	09/28/2025

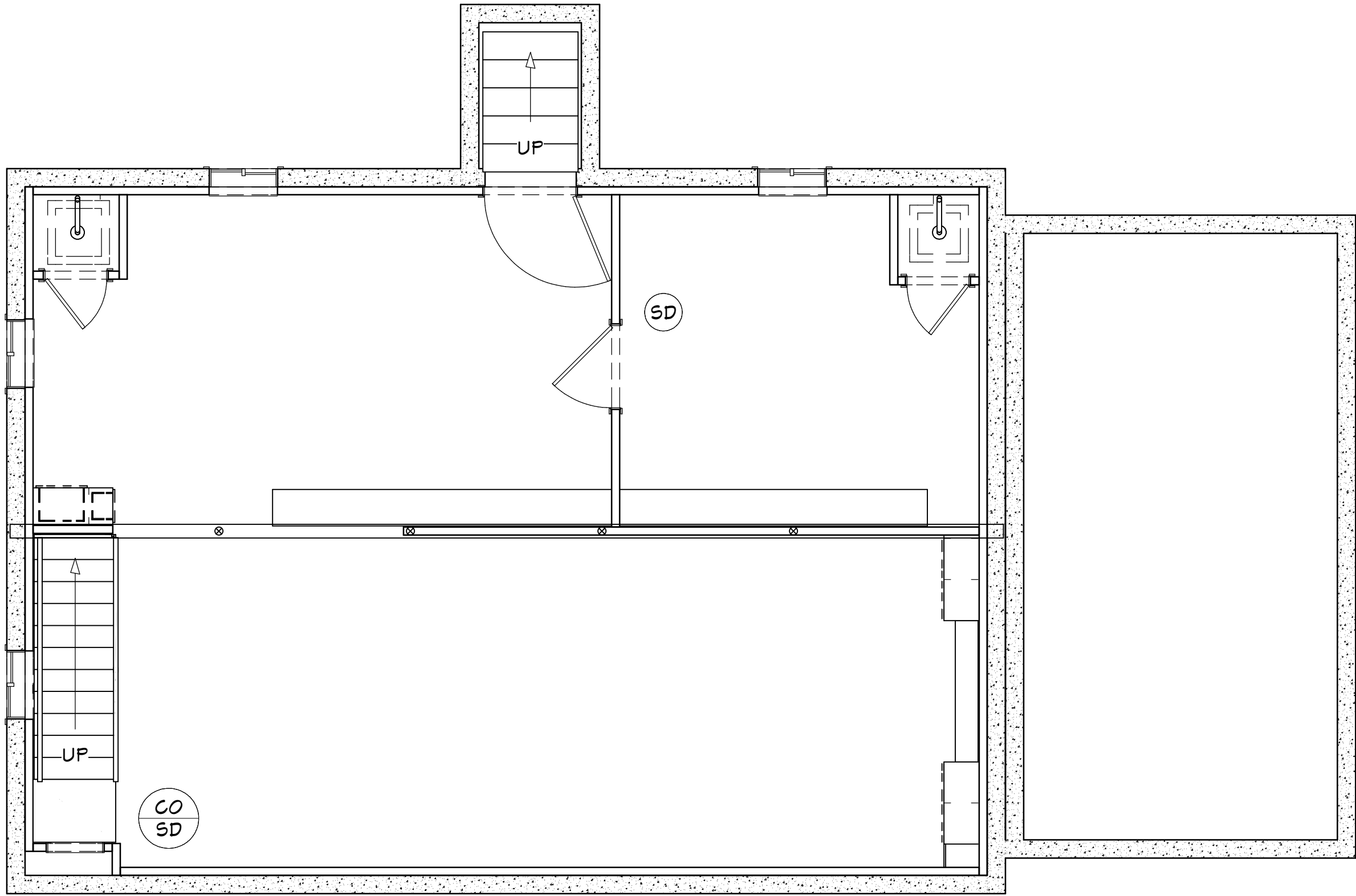
SHEET TITLE:
POWER PLAN

PROJECT DESCRIPTION:
26 REED ST, ARLINGTON



DRAWINGS PROVIDED BY:
JQ

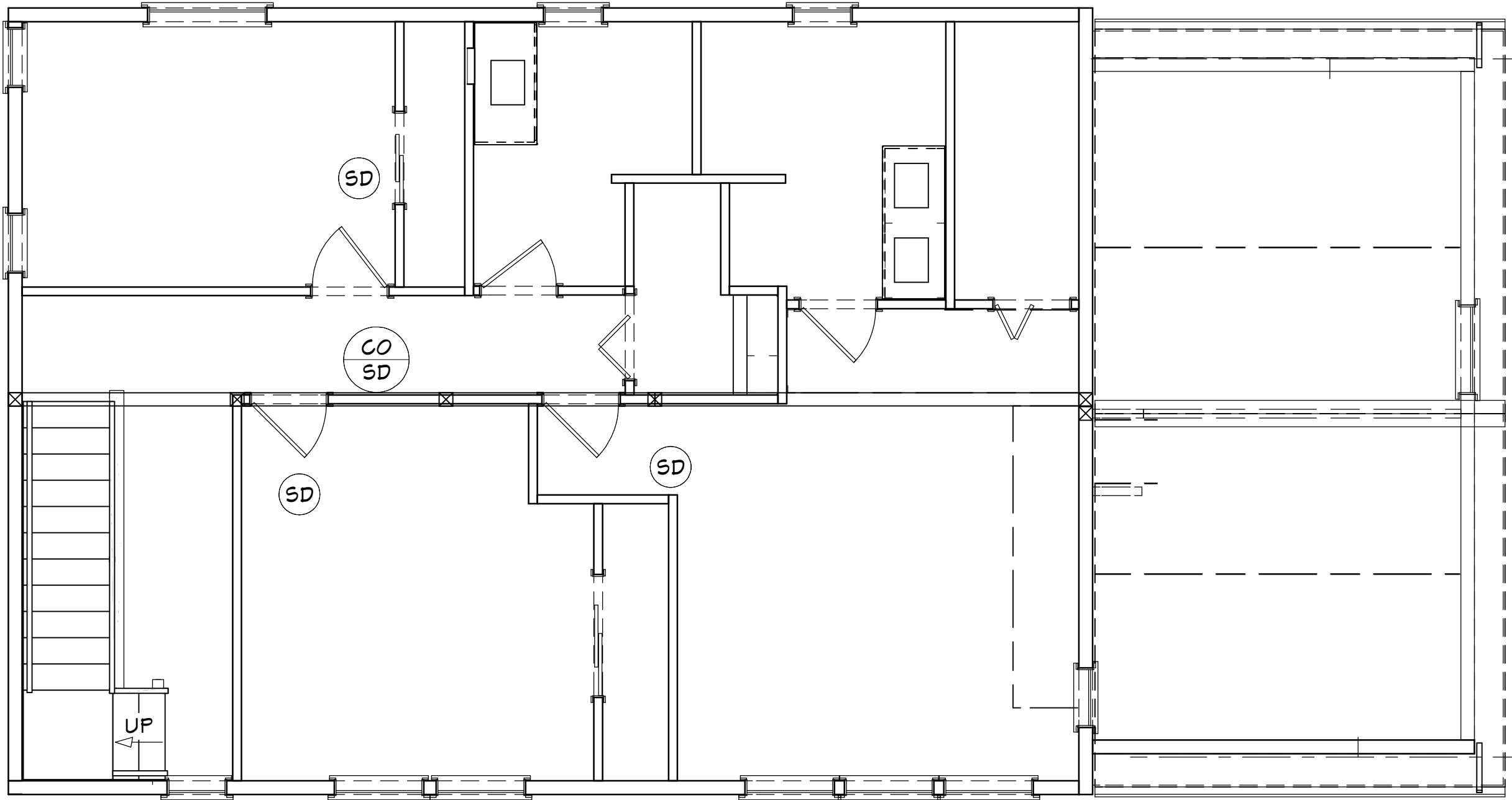
DATE:
9/28/2025
SCALE:
1/4" = 1'-0"
SHEET:
A-6

BOSINALLC

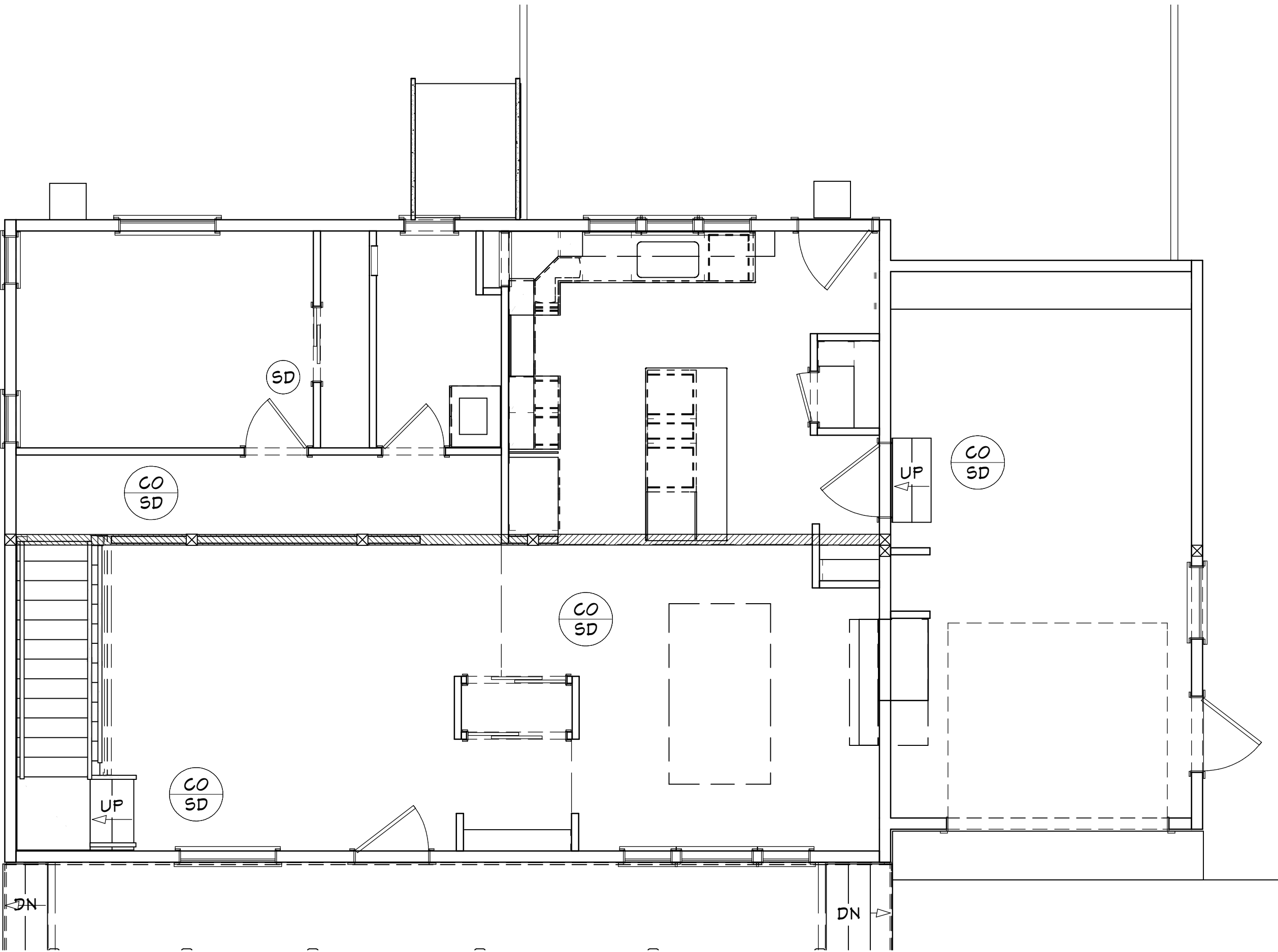


BASEMENT

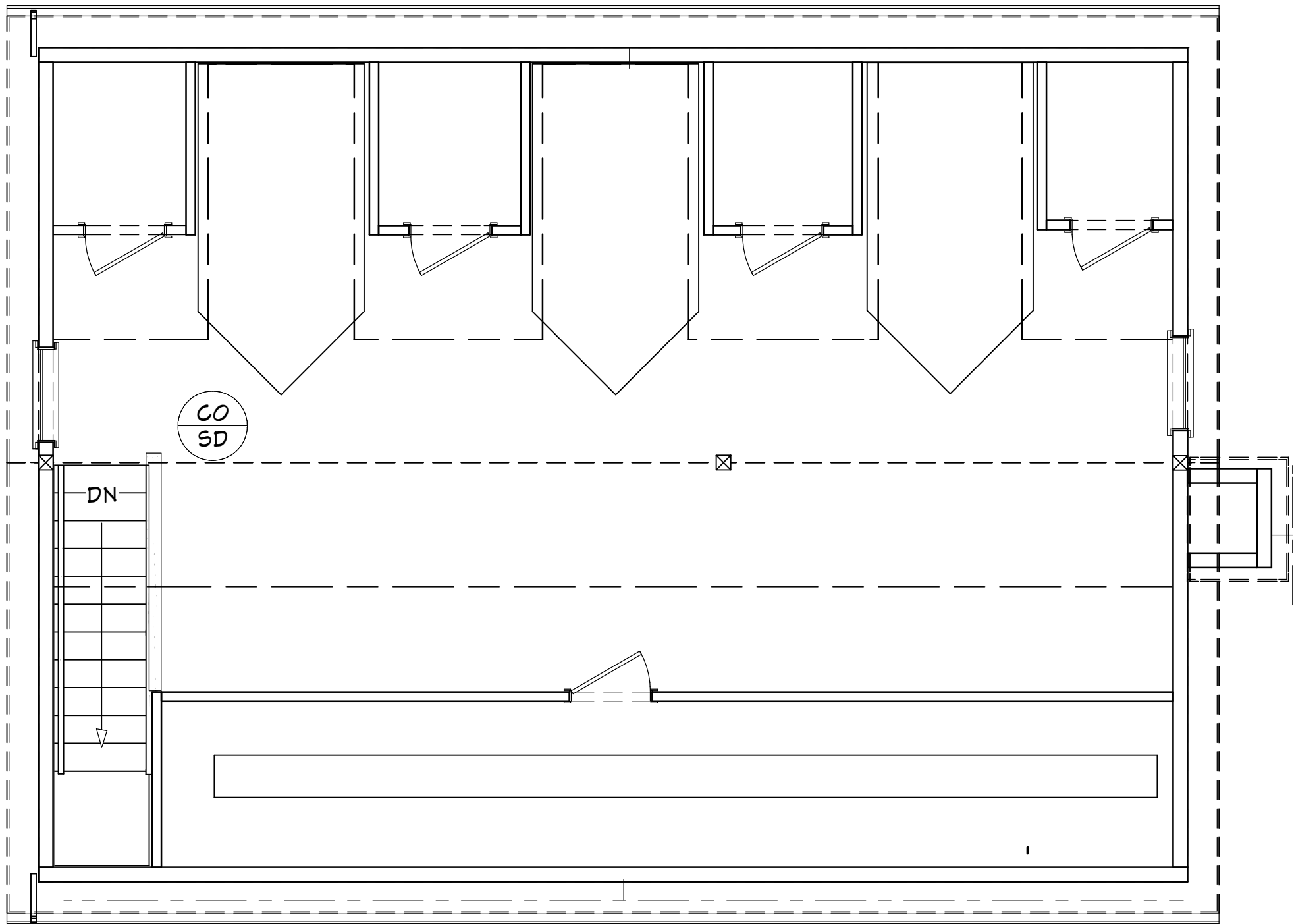
-  COMBINATION PHOTOELECTRIC CO2 AND SMOKE DETECTOR
-  SMOKE DETECTOR



SECOND FLOOR



FIRST FLOOR



ATTIC

NO.	DESCRIPTION	BY	DATE
V1	INITIAL PLAN	JQ	09/28/2025

SHEET TITLE:
SMOKE/CO DETECTOR PLAN

PROJECT DESCRIPTION:
26 REED ST, ARLINGTON

DRAWINGS PROVIDED BY:
JQ

DATE:
09/28/2025

SCALE:
1/4" = 1'-0"

SHEET:

A-6

BOSINA LLC



2025 00138295

Bk: 84865 Pg: 3 Doc: ORD

Page: 1 of 10 11/12/2025 11:46 AM



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 - Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:091-0373
eDEP Transaction
#:1951090
City/Town:ARLINGTON

A. General Information

1. Conservation Commission

ARLINGTON

2. Issuance

a. ☒ OOCb. ☐ Amended OOC**3. Applicant Details**

a. First Name TING

b. Last Name YANG

c. Organization

d. Mailing Address 26 REED STREET

e. City/Town ARLINGTON

f. State MA

g. Zip Code 02474

4. Property Owner

a. First Name TING

b. Last Name YANG

c. Organization

d. Mailing Address 26 REED STREET

e. City/Town ARLINGTON

f. State MA

g. Zip Code 02474

5. Project Location

a. Street Address 26 REED STREET

b. City/Town ARLINGTON

c. Zip Code 02474

d. Assessors

109

e. Parcel/Lot# 1-4

Map/Plat#

f. Latitude 42.43431N

g. Longitude 71.18373W

6. Property recorded at the Registry of Deed for:

a. County

b. Certificate

c. Book

d. Page

SOUTHERN MIDDLESEX

48267

268

7. Dates

a. Date NOI Filed : 9/25/2025

b. Date Public Hearing
Closed:

10/23/2025

c. Date Of
Issuance:

10/24/2025

8. Final Approved Plans and Other Documents

a. Plan Title:

b. Plan Prepared by:

c. Plan Signed/Stamped by:

d. Revised Final Date: e. Scale:

NOTICE OF
INTENT PLANM.T. ADAMS &
ASSOCIATES
PRECISION SURVEY
& MAPPINGMICHAEL THOMAS
ADAMS, REGISTERED
PROFESSIONAL LAND
SURVEYOR NO. 57492

10/19/25

1" = 10'

MITIGATION
PLANTING PLANLEC
ENVIRONMENTAL
CONSULTANTS

10/20/25

1" = 10'

B. Findings**1. Findings pursuant to the Massachusetts Wetlands Protection Act**

Following the review of the the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act.



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:091-0373
eDEP Transaction #:1951090
City/Town:ARLINGTON

Check all that apply:

a. <input checked="" type="checkbox"/> Public Water Supply	b. <input type="checkbox"/> Land Containing Shellfish	c. <input checked="" type="checkbox"/> Prevention of Pollution
d. <input checked="" type="checkbox"/> Private Water Supply	e. <input checked="" type="checkbox"/> Fisheries	f. <input checked="" type="checkbox"/> Protection of Wildlife Habitat
g. <input checked="" type="checkbox"/> Ground Water Supply	h. <input type="checkbox"/> Storm Damage Prevention	i. <input checked="" type="checkbox"/> Flood Control

2. Commission hereby finds the project, as proposed, is:

Approved subject to:

- a. ☒ The following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.

Denied because:

- b. ☐ The proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c. ☐ The information submitted by the applicant is not sufficient to describe the site, the work or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**

3. ☒ Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310CMR10.02(1)(a).

2
a. linear feet

Inland Resource Area Impacts:(For Approvals Only):

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	<u> </u> a. linear feet	<u> </u> b. linear feet	<u> </u> c. linear feet	<u> </u> d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
6. <input type="checkbox"/> Land under Waterbodies and Waterways	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
	<u> </u> e. c/y dredged	<u> </u> f. c/y dredged		
7. <input type="checkbox"/> Bordering Land Subject to Flooding	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
Cubic Feet Flood Storage	<u> </u>	<u> </u>	<u> </u>	<u> </u>



**Massachusetts Department of Environmental
Protection**

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File #:091-0373

eDEP Transaction #:1951090

City/Town:ARLINGTON

8. <input type="checkbox"/> Isolated Land Subject to Flooding	e. cubic feet	f. cubic feet	g. cubic feet	h. cubic feet
Cubic Feet Flood Storage	a. square feet	b. square feet		
	c. cubic feet	d. cubic feet	e. cubic feet	f. cubic feet
9. <input type="checkbox"/> Riverfront Area	a. total sq. feet	b. total sq. feet		
Sq ft within 100 ft	c. square feet	d. square feet	e. square feet	f. square feet
Sq ft between 100-200 ft	g. square feet	h. square feet	i. square feet	j. square feet

Coastal Resource Area Impacts:

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input type="checkbox"/> Land Under the Ocean	a. square feet	b. square feet		
	c. c/y dredged	d. c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	a. square feet	b. square feet	c. c/y nourishment	d. c/y nourishment
14. <input type="checkbox"/> Coastal Dunes	a. square feet	b. square feet	c. c/y nourishment	d. c/y nourishment
15. <input type="checkbox"/> Coastal Banks	a. linear feet	b. linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	a. square feet	b. square feet		
17. <input type="checkbox"/> Salt Marshes	a. square feet	b. square feet	c. square feet	d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	a. square feet	b. square feet		
	c. c/y dredged	d. c/y dredged		
19. <input type="checkbox"/> Land Containing Shellfish	a. square feet	b. square feet	c. square feet	d. square feet
20. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File #:091-0373

eDEP Transaction #:1951090

City/Town:ARLINGTON

21. ☐ Land Subject to Coastal Storm Flowage

	c. c/y dredged	d. c/y dredged
	a. square feet	b. square feet

22.

☐ Restoration/Enhancement (For Approvals Only)

If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c & d or B.17.c & d above, please entered the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

23.

☐ Streams Crossing(s)

If the project involves Stream Crossings, please enter the number of new stream crossings/number of replacement stream crossings.

a. number of new stream crossings

b. number of replacement stream crossings

C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
 - a. the work is a maintenance dredging project as provided for in the Act; or
 - b. the time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order.
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not exceed the issuance date of the original Final Order of Conditions.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.
8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File #:091-0373

eDEP Transaction #:1951090

City/Town:ARLINGTON

land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work..

10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

" Massachusetts Department of Environmental Protection"

[or "MassDEP"]

File Number : "091-0373"

11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before Mass DEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.
17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.

NOTICE OF STORMWATER CONTROL AND MAINTENANCE REQUIREMENTS

19. The work associated with this Order(the "Project") is (1) ☐ is not (2) ☒ subject to the Massachusetts Stormwater Standards. If the work is subject to Stormwater Standards, then the project is subject to the following conditions;
 - a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollutant Discharge Elimination System Construction General Permit as required by Stormwater Standard 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
 - b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that: *i.* all construction period BMPs have been



**Massachusetts Department of Environmental
Protection**

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:091-0373
eDEP Transaction #:1951090
City/Town:ARLINGTON

removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures; *ii.* as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized; *iii.* any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10; *iv.* all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition; *v.* any vegetation associated with post-construction BMPs is suitably established to withstand erosion.

- c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 19(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following: *i.*) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and *ii.*) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.
- d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollutant Discharge Elimination System Multi-Sector General Permit.
- e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 19(f) through 19(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 19(f) through 19(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.
- f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.
- g) The responsible party shall:
 - 1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 - 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
 - 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.



**Massachusetts Department of Environmental
Protection**

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File #:091-0373

eDEP Transaction #:1951090

City/Town:ARLINGTON

- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions:

*SEE ATTACHED FINDINGS AND SPECIAL CONDITIONS



**Massachusetts Department of Environmental
Protection**

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:091-0373
eDEP Transaction #:1951090
City/Town:ARLINGTON

D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? ☒ Yes ☐ No

2. The Conservation Commission hereby (check one that applies):

a. ☐ DENIES the proposed work which cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw specifically:

1. Municipal Ordinance or Bylaw _____

2. Citation _____

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order or Conditions is issued. Which are necessary to comply with a municipal ordinance or bylaw:

b. ☒ APPROVES the proposed work, subject to the following additional conditions.

1. Municipal Ordinance or Bylaw ARLINGTON
WETLANDS
PROTECTION
BYLAW

2. Citation TITLE V, ARTICLE 8

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows:

*SEE ATTACHED FINDINGS AND SPECIAL CONDITIONS



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E. Signatures

This Order is valid for three years from the date of issuance, unless otherwise specified pursuant to General Condition #4. If this is an Amended Order of Conditions, the Amended Order expires on the same date as the original Order of Conditions.

10/24/2025

1. Date of Original Order

Please indicate the number of members who will sign this form. This Order must be signed by a majority of the Conservation Commission.

6

2. Number of Signers

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signatures:

/Chuck Tirone/

/Nathaniel Stevens/

/David White/

/Mike Gildesgame/

/David Kaplan/

/Susan Chapnick/

☐ by hand delivery on

☒ by certified mail, return receipt requested, on

Date

Date 10/24/25

Signed electronically by roll call vote at the 10/23/2025 Arlington Conservation Commission meeting held via Zoom videoconference. The electronic signatures above are made in accordance with M.G.L. c.110G and pursuant to the Commission's electronic signature authorization vote recorded on 6/20/2025 in BOOK 84254 and PAGE 165 at the Southern Middlesex Registry of Deeds.

F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.

G. Recording Information

This Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

ARLINGTON



**Massachusetts Department of Environmental
Protection**

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File #:091-0373

eDEP Transaction #:1951090

City/Town:ARLINGTON

Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:

ARLINGTON

Conservation Commission

Please be advised that the Order of Conditions for the Project at:

26 REED STREET

Project Location

091-0373

MassDEP File Number

Has been recorded at the Registry of Deeds of:

County

Book

Page

for:

Property Owner TING YANG

and has been noted in the chain of title of the affected property in:

Book

Page

In accordance with the Order of Conditions issued on:

Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant

Rev. 4/1/2010