



## **Arlington Zoning Board of Appeals**

**Date:** Tuesday, February 10, 2026  
**Time:** 7:30 PM  
**Location:** Conducted by Remote Participation  
**Additional Details:**

### **Agenda Items**

#### **Administrative Items**

1. **Conducted by Remote Participation**

Register in advance for this meeting: <https://town-arlington-ma-us.zoom.us/meeting/register/6Whm0nqzSJ0ggfwPejdD7w> After registering, you will receive a confirmation email containing information about joining the meeting.

Per Board Rules and Regulations, public comments will be accepted during the public comment period during each public hearing. Written comments should be sent by email to [ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us) prior to the start of the meeting.

\*Notice to the Public on meeting privacy\* In the interests of preventing abuse of video conferencing technology, all participants, including members of the public, wishing to engage via the Zoom App must register for each meeting and will need to follow multi-step authentication protocols. Please allow additional time to join the meeting. Further, members of the public who wish to participate without providing their name may still do so by telephone using the dial-in information provided above.

#### **Hearings**

2. **#3886 53 Hodge Rd**

Link to OpenGov application: <https://arlingtonma.portal.opengov.com/records/215686>

3. **#3887 71 Mystic St**

Link to OpenGov application: <https://arlingtonma.portal.opengov.com/records/215640>

4. **#3873 125 Broadway**

Link to OpenGov application: <https://arlingtonma.portal.opengov.com/records/215732>

#### **Meeting Adjourn**



## **Town of Arlington, Massachusetts**

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### **Conducted by Remote Participation**

#### **Summary:**

Register in advance for this meeting: <https://town-arlington-ma-us.zoom.us/join/6Whm0nqzSJ0ggfwPejdD7w> After registering, you will receive a confirmation email containing information about joining the meeting.

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## Town of Arlington, Massachusetts

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### #3886 53 Hodge Rd

#### Summary:

Link to OpenGov application: <https://arlingtonma.portal.opengov.com/records/215686>

#### ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	3886_53_Hodge_Rd_Legal_Ad.pdf	3886 53 Hodge Rd Legal Ad
▢ Reference Material	3886_53_Hodge_Rd_PC_Plot_Plan.pdf	3886 53 Hodge Rd PC Plot Plan
▢ Reference Material	3886_53_Hodge_Rd_Final_Plans_12-12-25.pdf	3886 53 Hodge Rd Final Plans 12-12-25
▢ Reference Material	3886_53_Hodge_Rd_abutter_list_and_map.pdf	3886 53 Hodge Rd abutter list and map

## THANK YOU for your submission!

Your notice has been submitted for publication. Below is a confirmation of your order. You will also receive an email confirmation.

### ORDER DETAILS

**Order Number:** LNEO0436895  
**Order Status:** Submitted  
**Classification:** Public Notices  
**Package:** General Package  
**1 Affidavit:** 5.00  
**Total payment:** 192.48  
**Payment Type:** Account Billed  
**User ID:** L0023538  
**External User ID:** 670931

### ACCOUNT INFORMATION

Arlington Board Of Appeals  
51 Grove St  
Arlington, MA 02476-4602  
781-316-3396  
cralston@town.arlington.ma.us  
Arlington Board Of Appeals  
Contract ID:

### TRANSACTION REPORT

**Date** January 8, 2026  
9:27:17 AM EST  
**Amount:** 192.48

### ADDITIONAL OPTIONS

1 Affidavit

### SCHEDULE FOR AD NUMBER LNEO04368950

January 22, 2026  
**The Advocate & Star**  
(Arlington -  
Winchester)  
January 29, 2026  
**The Advocate & Star**  
(Arlington -  
Winchester)

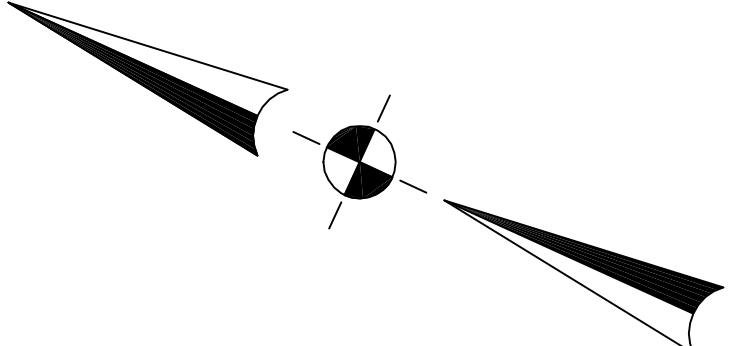
### PREVIEW FOR AD NUMBER LNEO04368950

## **ZBA Hearing Notice 53 Hodge Rd Arlington**

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by 53 Hodge Road LLC, on January 8, 2026, a petition seeking to alter their property located at 53 Hodge Rd - Block Plan 098.0-0003-0009.0. The said petition would require a Special Permit under Bylaw 5.4.2.B(6) of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", on Tuesday, February 10, 2026, at 7:30 P.M. as soon thereafter as the petitioner may be heard.

To register for the meeting and view documents related to this application go to the Town of Arlington calendar at <https://www.arlingtonma.gov/connect/calendar>, choose the date of the meeting you wish to attend, register for the Zoom meeting, and review documents relating to the application by clicking the link to the agenda. Please direct any questions to: ZBA@town.arlington.ma.us  
Christian Klein, RA, Chair,  
Zoning Board of Appeals  
January 22, 29 2026  
LNEO0436895



N/F  
EDMUND J. TAGLIERI, JR. &  
CATHERINE A. TAGLIERI,  
TRUSTEES OF THE 15-5 CONCORD AVE. TRUST  
BOOK 65345 PAGE 263  
LOT 4 - PLAN NO. 790 OF 1928

NO. 22 BRADLEY ROAD

N/F  
KENNETH WILLIAM RICHARDSON &  
SUSAN RICHARDSON  
BOOK 84736 PAGE 545  
LOT 20 - PLAN NO. 790 OF 1928

NO. 57 HODGE ROAD

N/F  
YOUSSEF A. SALEH &  
CATHERINE C. SALEH  
BOOK 30546 PAGE 576  
LOT 18 - PLAN NO. 790 OF 1928

NO. 49 HODGE ROAD

NOTES:

- 1.) THIS PLAN WAS PREPARED FROM AN INSTRUMENT SURVEY
- 2.) RECORD OWNER: 53 HODGE ROAD LLC
- 3.) DEED REFERENCE: BOOK 84924 PAGE 363
- 4.) PLAN REFERENCE: LOT 19 - PLAN NO. 790 OF 1928
- 5.) ZONING DISTRICT: R1
- 6.) 98.75 TC DENOTES TOP OF CURB GRADE TO DETERMINE AVERAGE GRADE FOR HEIGHT(96.45)
- 7.) 95x6 DENOTES GRADE 6' OFF HOUSE CORNER TO DETERMINE AVERAGE GRADE TO CONFIRM LOWEST LEVEL IS NOT A STORY. AVG GRADE = 96.12
- 8.) THE LOT SLOPES LESS THAN 5% ( $1.77 + 6.36/2 = 4.06\%$ )
- 9.) LOT COVERAGE: 1700 SF/7841.7 SF = 21.67 %
- 10.) ALL TREES GREATER THAN 6" DIAMETER ARE SHOWN ON THIS PLAN AND NONE OF THEM WILL BE REMOVED
- 11.) OPEN SPACE: REQUIRED: 1013 SF PROPOSED: 1678 SF
- 12.) LOWEST LEVEL CEILING GRADE (100.25) IS 4.13 FT ABOVE THE AVERAGE FINISHED GRADE (96.12) SO THIS LEVEL IS A CELLAR AND NOT A STORY
- 13.) PROPOSED HEIGHT: PEAK(130.97) - CURB AVG. GRADE(96.45) = 34.5 FT

EXISTING IMPERVIOUS AREA:

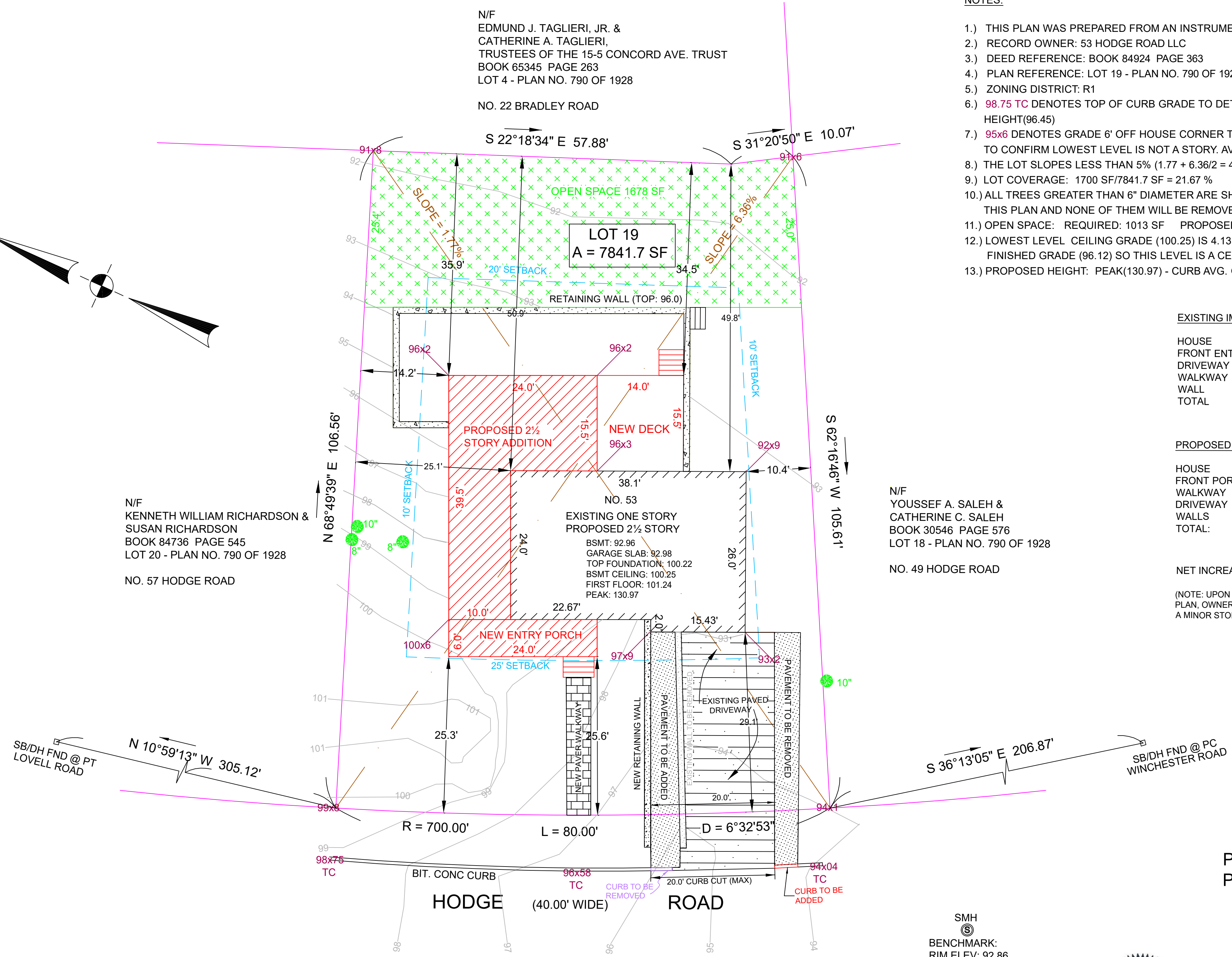
HOUSE	944 SF
FRONT ENT	42 SF
DRIVEWAY	546 SF
WALKWAY	96 SF
WALL	29 SF
TOTAL	1657 SF

PROPOSED IMPERVIOUS AREA:

HOUSE	1555 SF
FRONT PORCH	144 SF
WALKWAY	88 SF
DRIVEWAY	585 SF
WALLS	132
TOTAL:	2504 SF

NET INCREASE: 847 SF

(NOTE: UPON APPROVAL OF THIS PLAN, OWNER SHALL APPLY FOR A MINOR STORMWATER PERMIT)



SMH  
BENCHMARK:  
RIM ELEV: 92.86



PLOT PLAN SHOWING  
PROPOSED ADDITION  
IN  
ARLINGTON, MA  
53 HODGE ROAD

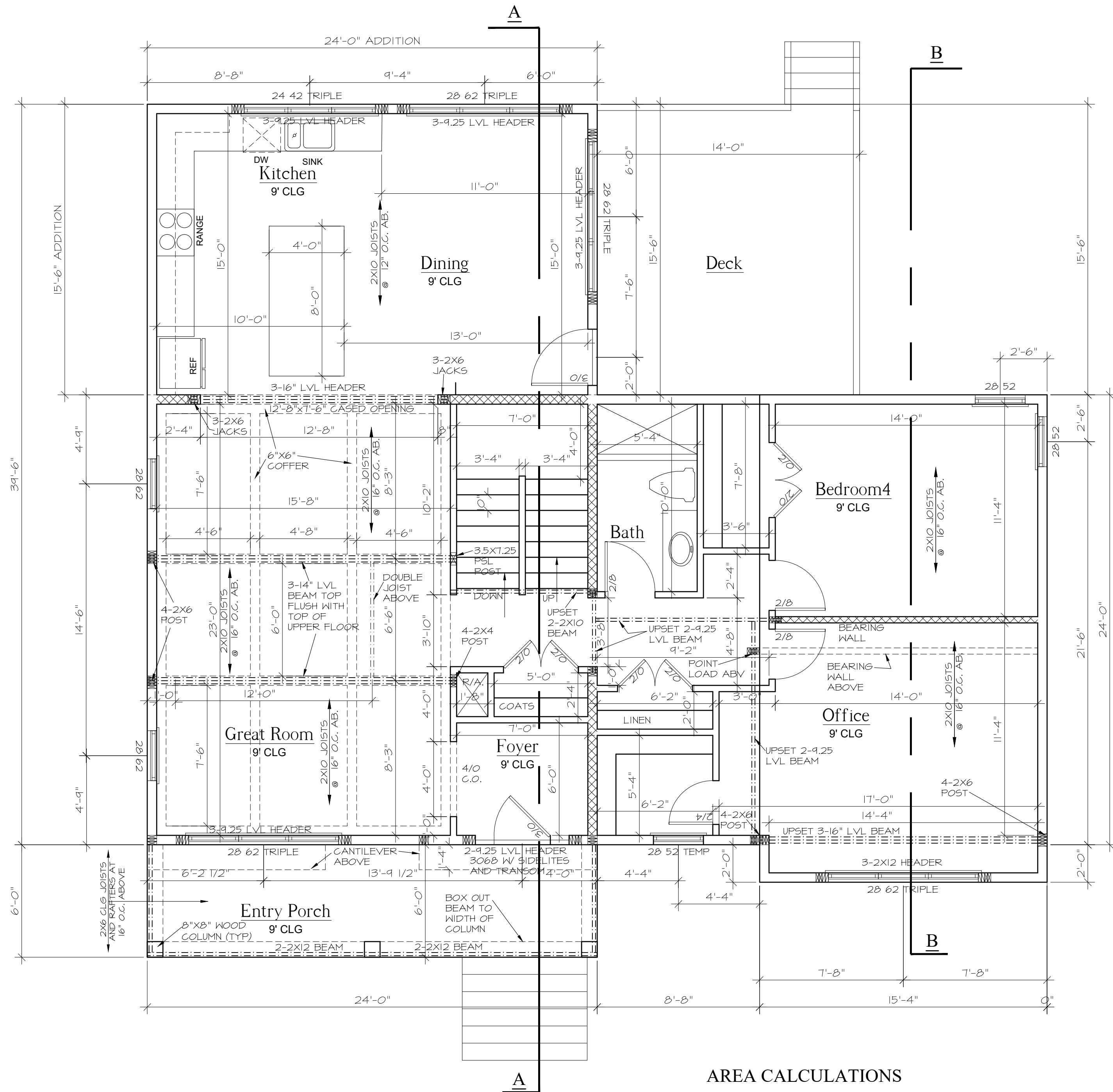


SCALE: 1" = 10'-0"  
DECEMBER 9, 2025  
D & A SURVEY ASSOCIATES, INC.  
P.O. BOX 80 READING, MA 01867  
(781) 324 - 9566



## 6 of 126





FIRST FLOOR PLAN

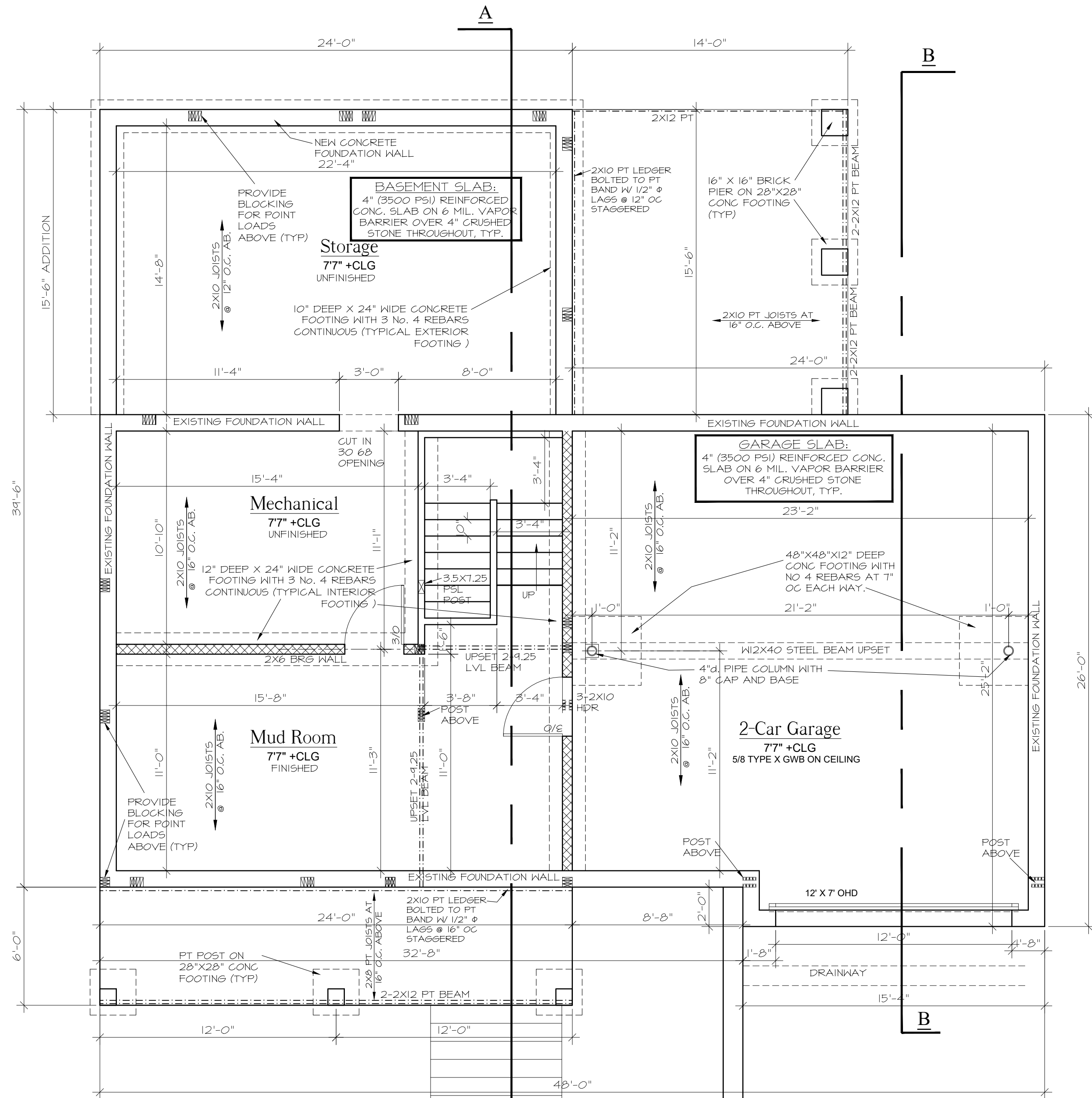
SCALE: 1/4" = 1'-0"

- NOTES:
1. ALL HEADERS 2-2X8 IN 2X4 WALLS, 3-2X8 IN 2X6 WALLS UNLESS NOTED OTHERWISE (UNO)
  2. ALL EXTERIOR WALLS 2X6 AT 16" O.C., ALL INTERIOR WALLS 2X4 AT 16" O.C. (UNO)
  3. ALL WALLS ARE DRAWN AT 4" OR 6" NOMINAL DIMENSIONS. LOCATE BEARINGS & OTHER CRITICAL WALLS PER PLAN & ADJUST AS NEEDED TO ACTUAL DIMENSIONS.
  4. ALL STRUCTURAL WOOD MEMBERS (I.E. JOISTS, RAFTERS, BEAMS, ETC.) TO BE SYP #2 (UNO)
  5. ALL ELEVATION REFERENCES ARE RELATIVE TO INTERIOR FINISHED FLOOR.
  6. ALL STRUCTURAL COLUMNS MUST EXTEND CONTINUOUS TO FOUNDATION.
  7. BUILDER TO VERIFY ALL WINDOWS MEET EGRESS REQUIREMENTS PER MANUFACTURERS SPECS PRIOR TO ORDERING OR PLACING WINDOWS.

AREA CALCULATIONS

FIRST FL. LIVING:	1555 SF
SECOND FL. LIVING:	1537 SF
FINISHED ATTIC AREA:	284 SF
TOTAL COND. AREA:	3376 SF

EXISTING GROSS LIVING AREA:	944 SF
NEW GROSS LIVING AREA:	3376 SF
NET INCREASE IN LIVING AREA:	2432 SF



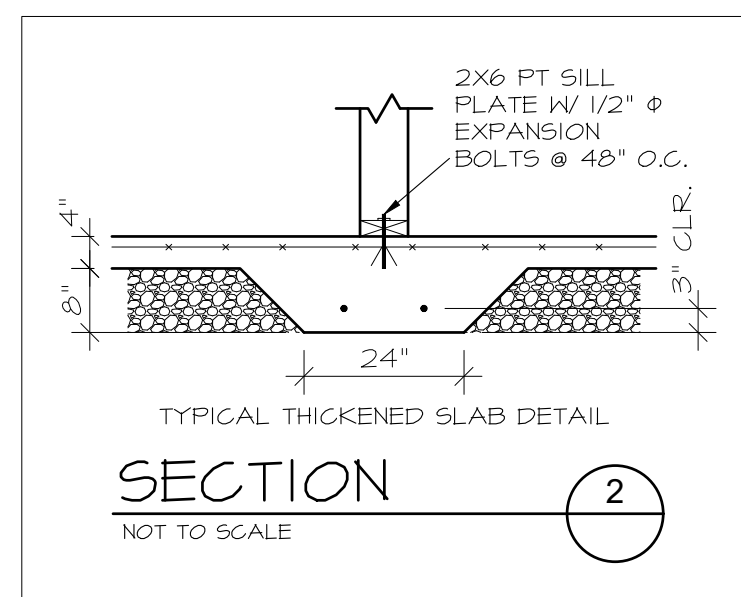
FOUNDATION & BASEMENT PLAN

SCALE: 1/4" = 1'-0"

NOTE: VERIFY FOOTING SIZE AND FOUNDATION REINFORCEMENT WITH SOILS ANALYSIS, UNBALANCED FILL DEPTH, AND HEIGHT OF CONCRETE PER CODES.

- NOTES:
1. ALL HEADERS 2-2X8 IN 2X4 WALLS, 3-2X8 IN 2X6 WALLS UNLESS NOTED OTHERWISE (UNO)
  2. ALL EXTERIOR WALLS 2X6 AT 16" O.C., ALL INTERIOR WALLS 2X4 AT 16" O.C. (UNO)
  3. ALL WALLS ARE DRAWN AT 4" OR 6" NOMINAL DIMENSIONS. LOCATE BEARING & OTHER CRITICAL WALLS PER PLAN & ADJUST AS NEEDED TO ACTUAL DIMENSIONS.
  4. ALL STRUCTURAL WOOD MEMBERS (I.E. JOISTS, RAFTERS, BEAMS, ETC.) TO BE SYP #2 (UNO)
  5. ALL ELEVATION REFERENCES ARE RELATIVE TO INTERIOR FINISHED FLOOR.
  6. ALL STRUCTURAL COLUMNS MUST EXTEND CONTINUOUS TO FOUNDATION.
  7. BUILDER TO VERIFY ALL WINDOWS MEET EGRESS REQUIREMENTS PER MANUFACTURERS SPECS PRIOR TO ORDERING OR PLACING WINDOWS.

FIELD VERIFY ADEQUACY OF EXISTING FOOTINGS AND FOUNDATION WALLS FOR LOADS IMPOSED WITH ENGINEER.

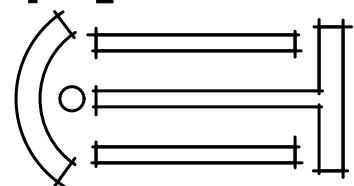


REVISIONS BY	
PRELIM	TV
CHD	TV
REVIEW	TV
DRAWN BY: MARTY	
DATE: 2-12-24	
FILE NO: N-24000	

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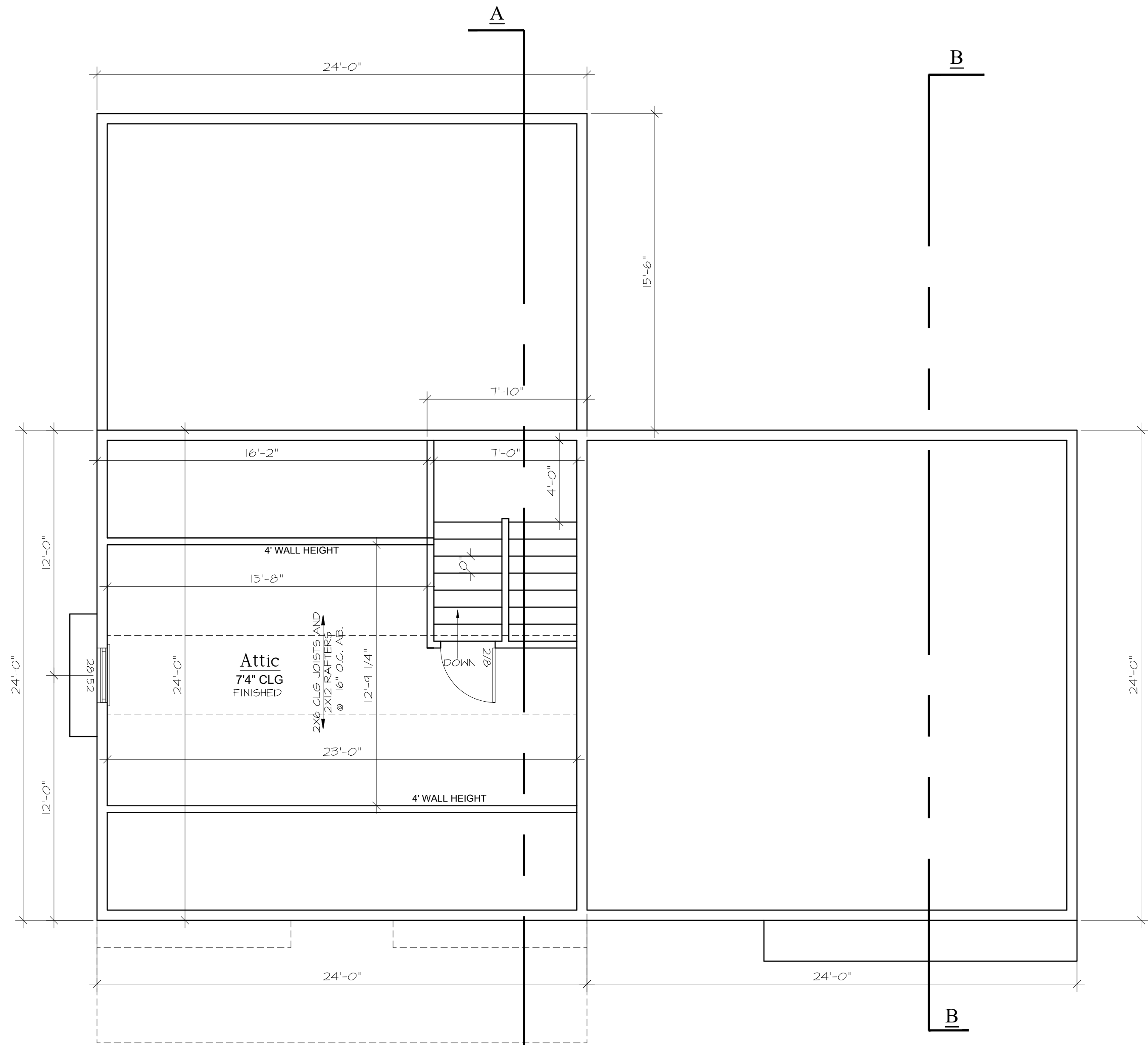
53 HODGE ROAD, LLC  
53 HODGE ROAD, ARLINGTON, MASSACHUSETTS  
FOUNDATION AND FIRST FLOOR PLAN

TM VAVRA  
& ASSOCIATES, P.C.  
PO BOX 2624  
CHESTERFIELD, VA. 23832  
tm@tmvavra.com



SHEET NO.

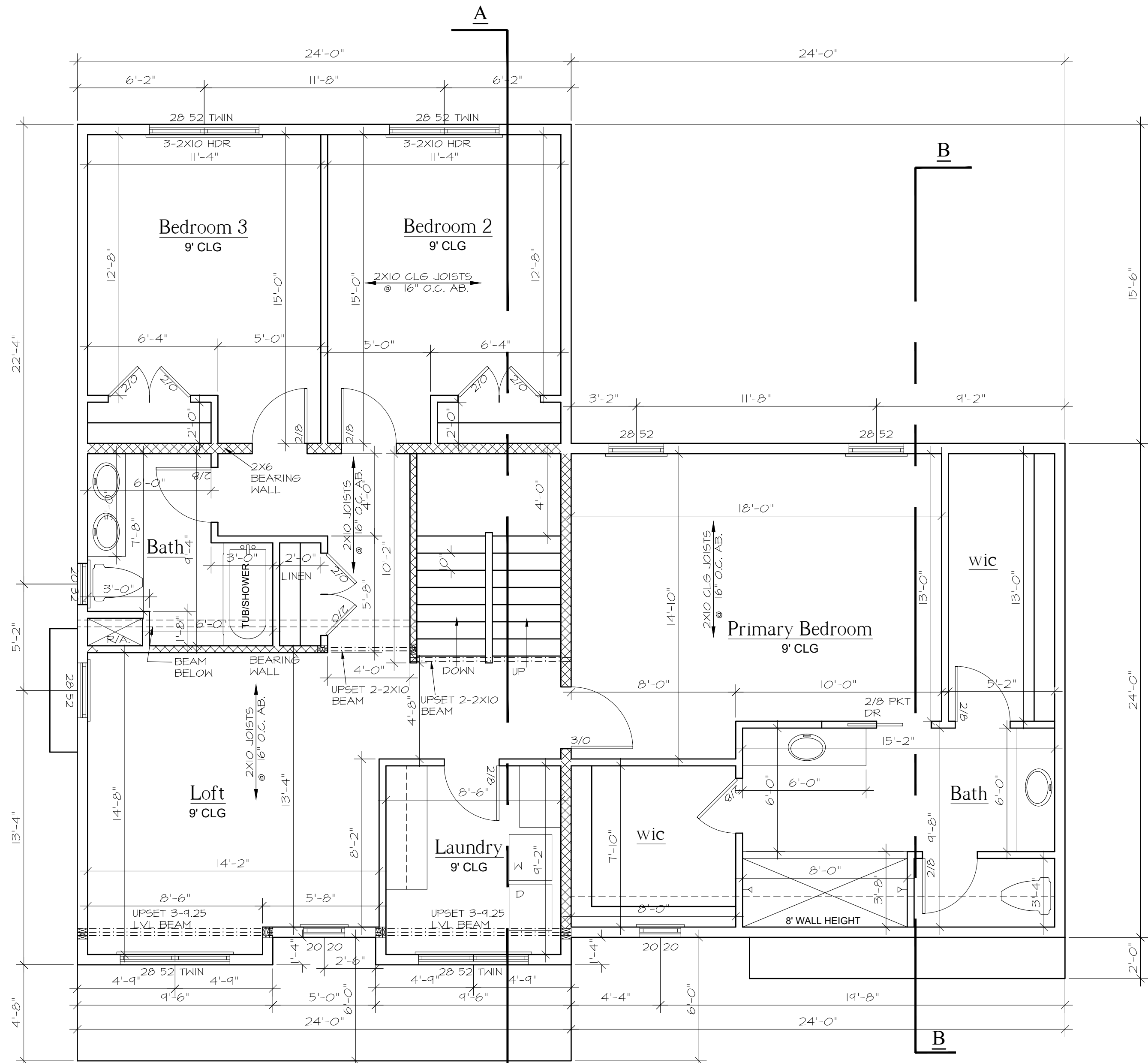
1



ATTIC FLOOR PLAN

SCALE: 1/4" = 1'-0"

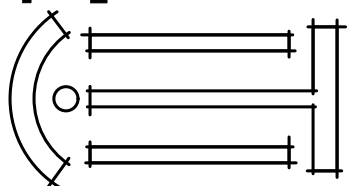
- NOTES:
1. ALL HEADERS 2-2X8 IN 2X4 WALLS, 3-2X8 IN 2X6 WALLS UNLESS NOTED OTHERWISE (UNO)
  2. ALL EXTERIOR WALLS 2X6 AT 16" O.C., ALL INTERIOR WALLS 2X4 AT 16" O.C. (UNO)
  3. ALL WALLS ARE DRAWN AT 4" OR 6" NOMINAL DIMENSIONS, LOCATE BEARING & OTHER CRITICAL WALLS PER PLAN & ADJUST AS NEEDED TO ACTUAL DIMENSIONS.
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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

- NOTES:
1. ALL HEADERS 2-2X8 IN 2X4 WALLS, 3-2X8 IN 2X6 WALLS UNLESS NOTED OTHERWISE (UNO)
  2. ALL EXTERIOR WALLS 2X6 AT 16" O.C., ALL INTERIOR WALLS 2X4 AT 16" O.C. (UNO)
  3. ALL WALLS ARE DRAWN AT 4" OR 6" NOMINAL DIMENSIONS, LOCATE BEARING & OTHER CRITICAL WALLS PER PLAN & ADJUST AS NEEDED TO ACTUAL DIMENSIONS.
  4. ALL STRUCTURAL WOOD MEMBERS (I.E. JOISTS, RAFTERS, BEAMS, ETC.) TO BE SYP #2 (UNO)
  5. ALL ELEVATION REFERENCES ARE RELATIVE TO INTERIOR FINISHED FLOOR.
  6. ALL STRUCTURAL COLUMNS MUST EXTEND CONTINUOUS TO FOUNDATION.
  7. BUILDER TO VERIFY ALL WINDOWS MEET EGRESS REQUIREMENTS PER MANUFACTURERS SPECS PRIOR TO ORDERING OR PLACING WINDOWS.



**TM VAVRA  
+ ASSOCIATES, P.C.**  
PO BOX 2624  
CHESTERFIELD, VA 23832  
ton@tmvavra.com

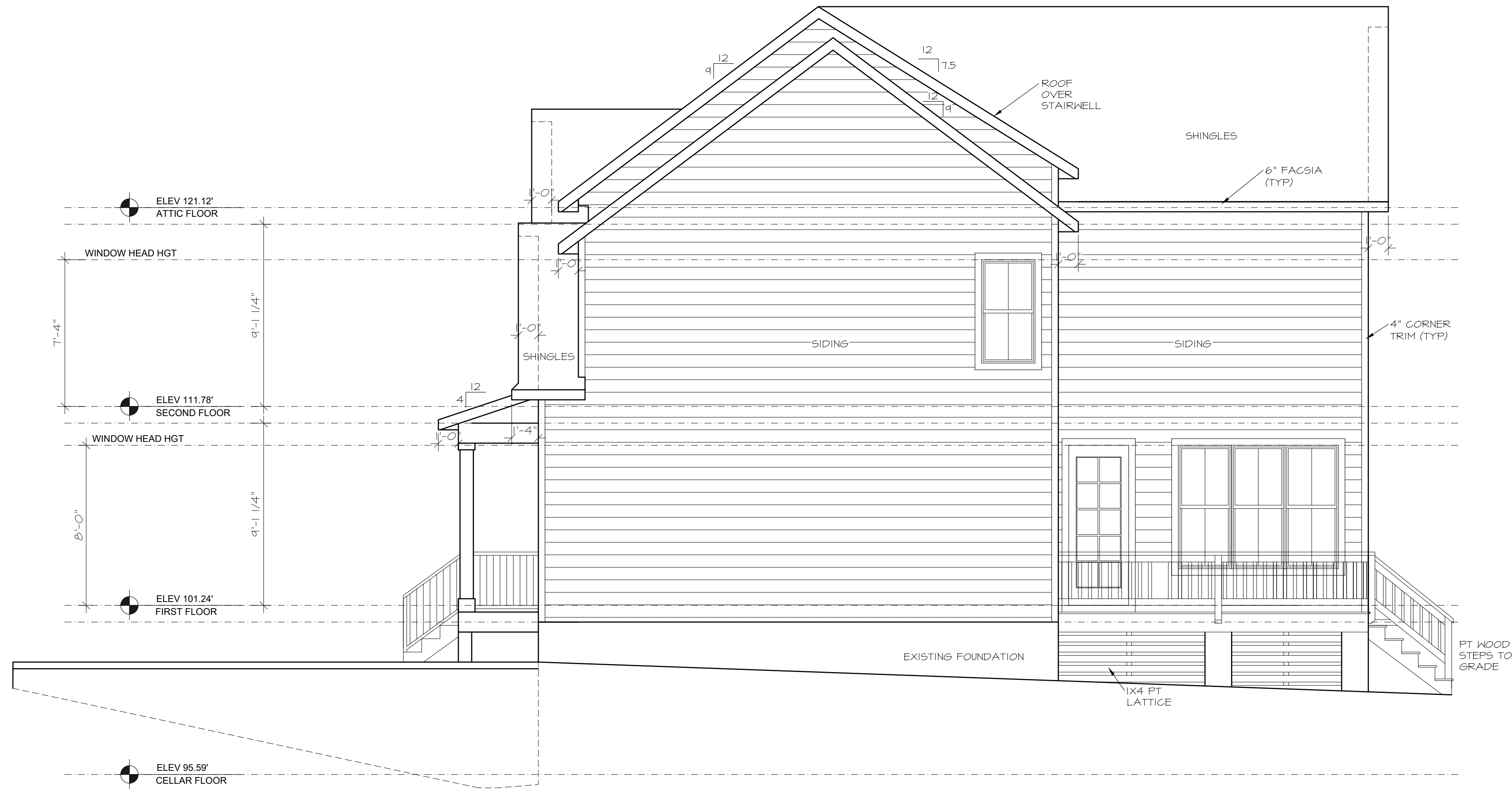
**53 HODGE ROAD, LLC  
53 HODGE ROAD, ARLINGTON, MASSACHUSETTS  
SECOND FLOOR AND ATTIC PLAN**

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REVISIONS BY		
PRELIM	TV	12-8-25
CHD	TV	12-4-25
REVEN	TV	12-12-25
DRAWN BY: MARTY		
DATE: 2-12-24		
FILE NO: M-24000		

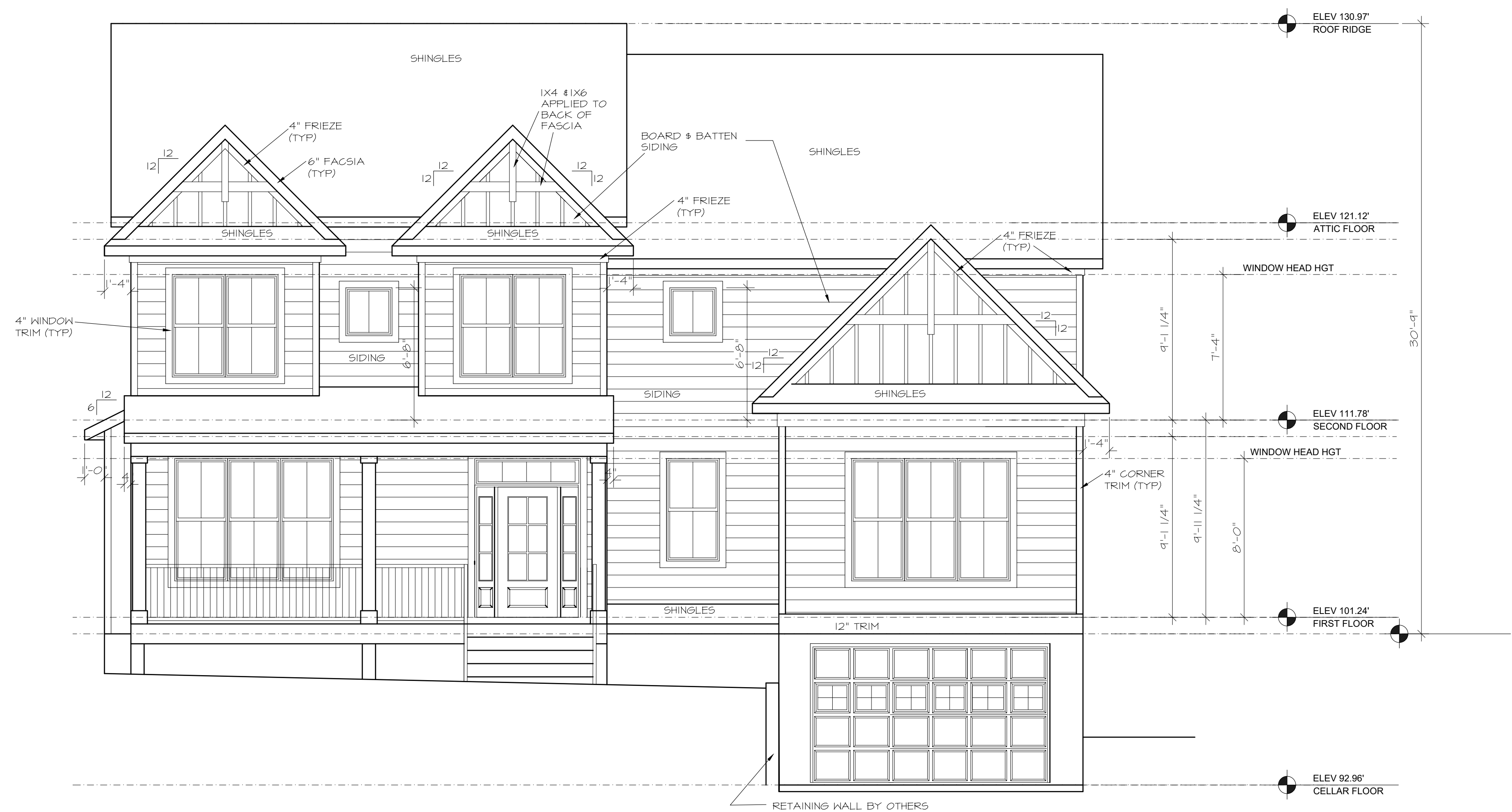
SHEET NO.

**2**



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

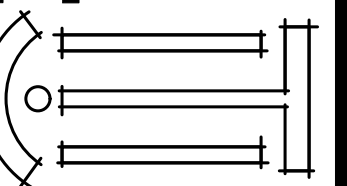
SCALE: 1/4" = 1'-0"

REVISIONS BY		
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2	CHD	TV 12-9-25
3	REVIEW	TV 12-12-25
DRAWN BY: MARTY		
DATE: 2-12-24		
FILE NO: N-24000		

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53 HODGE ROAD, LLC  
53 HODGE ROAD, ARLINGTON, MASSACHUSETTS  
ELEVATIONS

TM VAVRA  
+ ASSOCIATES, P.C.  
PO BOX 2624  
CHESTERFIELD, VA 23832  
tom@tmvavra.com



SHEET NO.

3.1



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

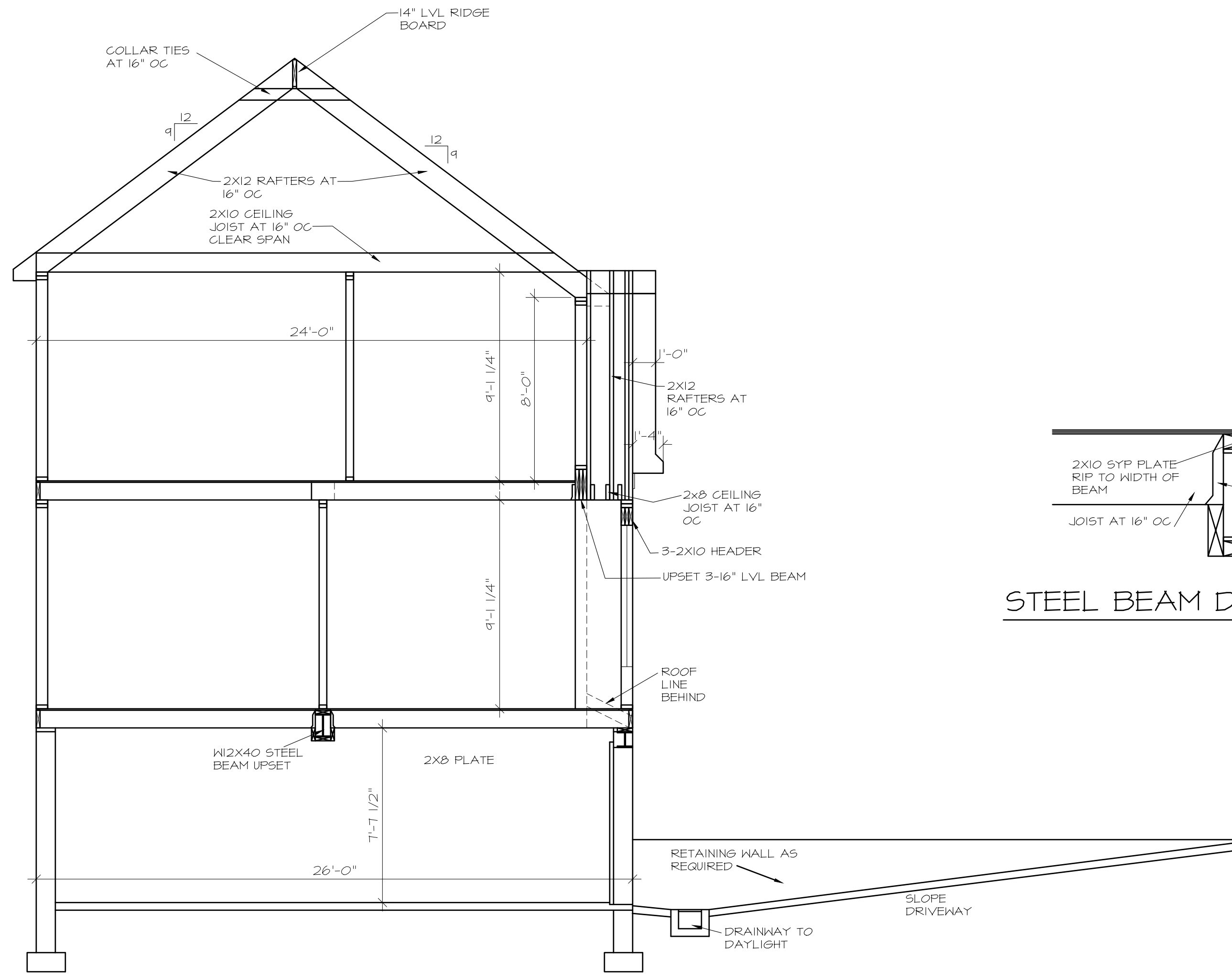


REAR ELEVATION

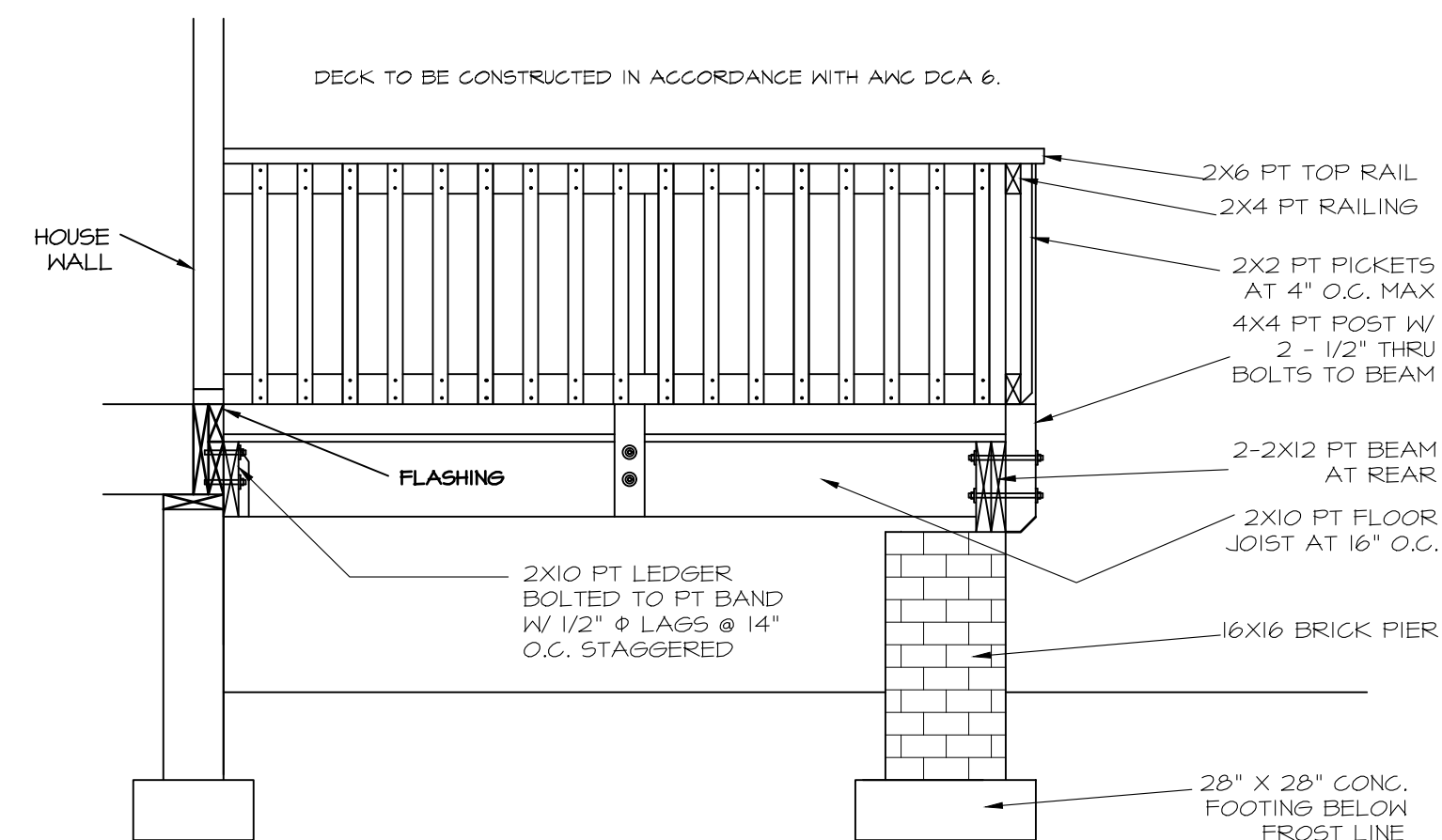
SCALE: 1/4" = 1'-0"

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346	REVEN	TV

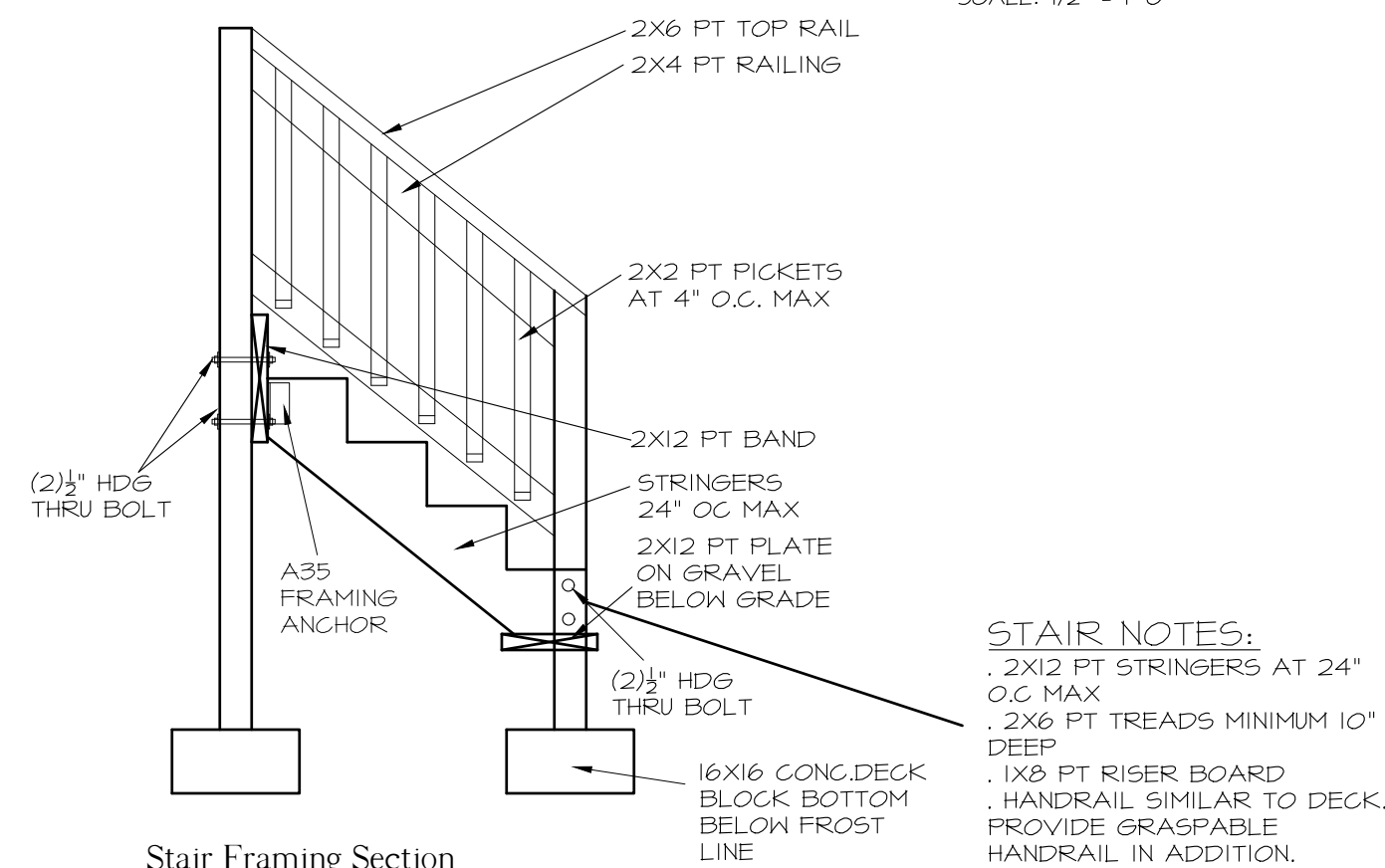




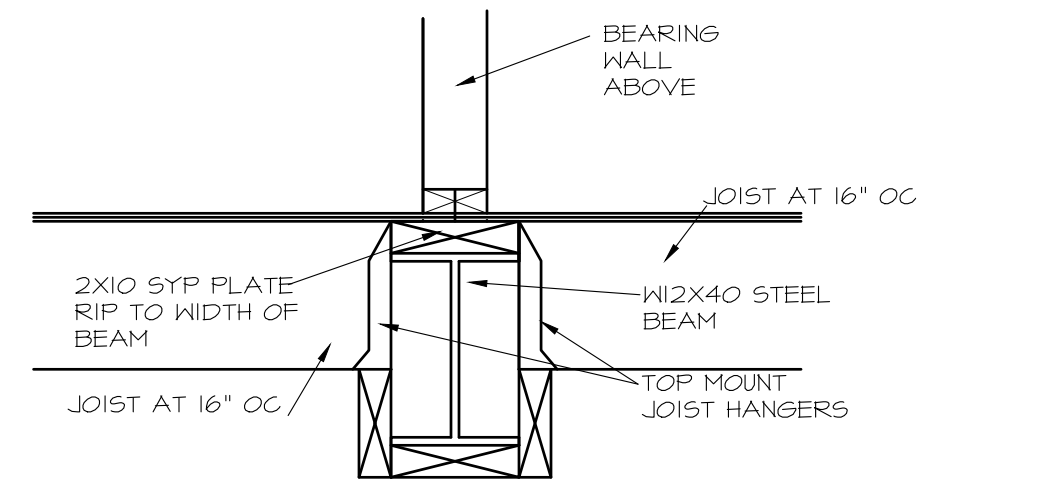
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B-B  
SCALE: 1/4" = 1'-0"



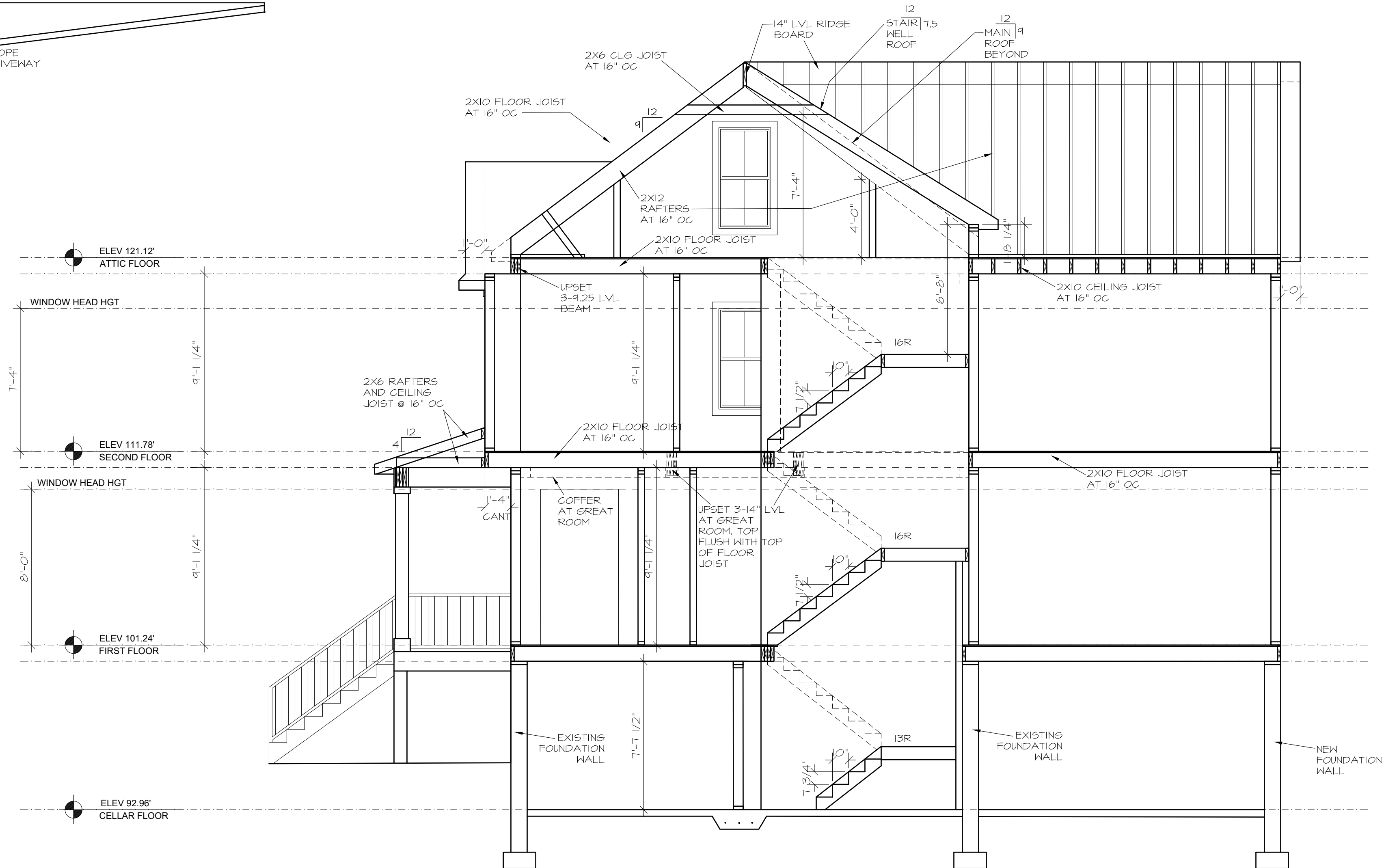
DECK SECTION  
SCALE: 1/2" = 1'-0"



11 of 126 SCALE: 1/2" = 1'-0"



STEEL BEAM DETAIL  
SCALE: 1" = 1'-0"



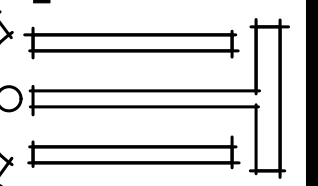
BUILDING SECTION  
A-A  
SCALE: 1/4" = 1'-0"

REVISIONS BY		
1	PRELIM	TV 12-8-25
2	CHD	TV 12-4-25
3	REVEN	TV 12-12-25
DRAWN BY: MARTY		
DATE: 2-12-24		
FILE NO: N-24000		

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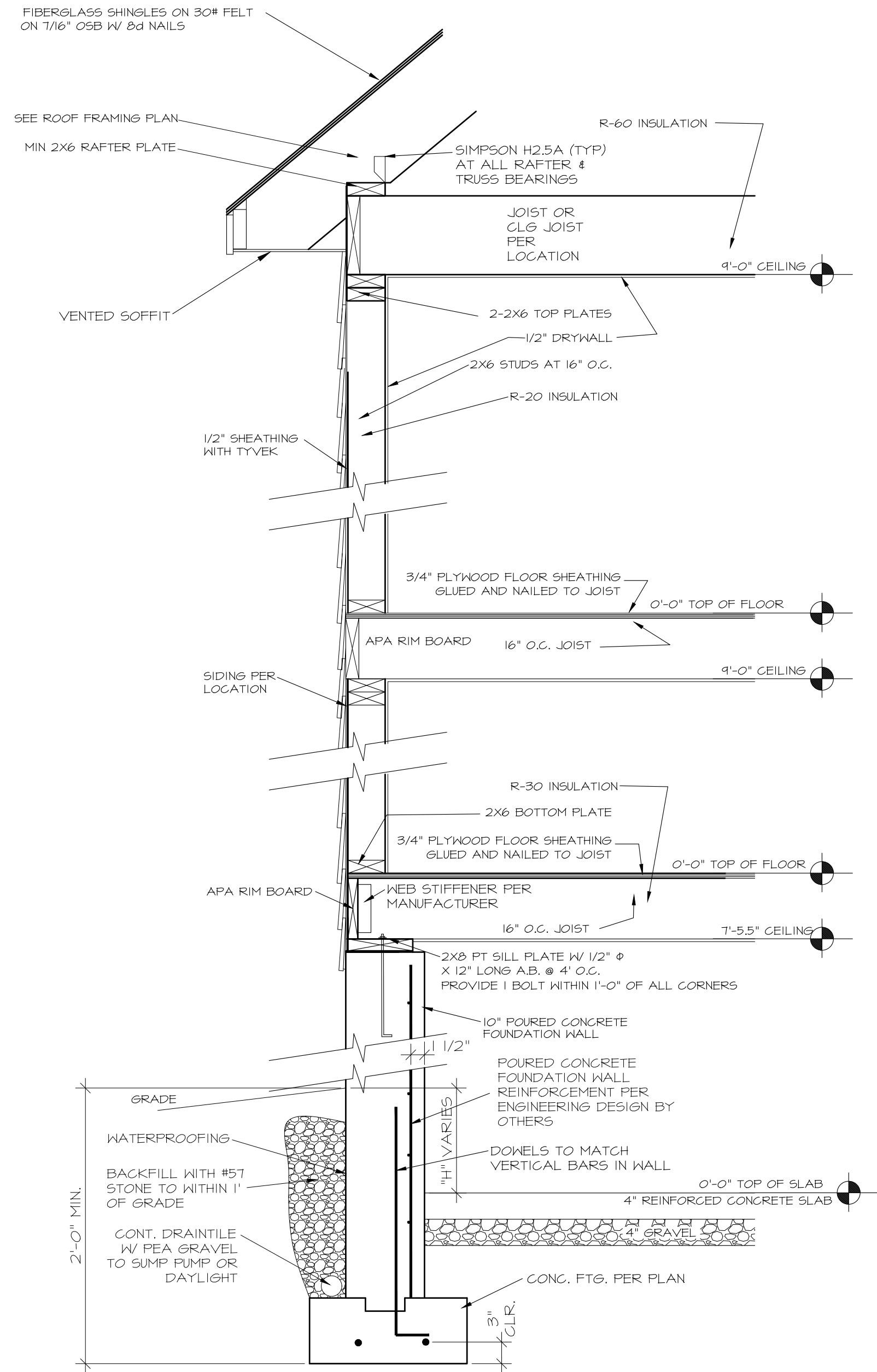
53 HODGE ROAD, LLC  
53 HODGE ROAD, ARLINGTON, MASSACHUSETTS  
SECTIONS

TM VAVRA  
+ ASSOCIATES, P.C.  
PO BOX 2624  
CHESTERFIELD, VA 23832  
tom@tmvavra.com



SHEET NO.

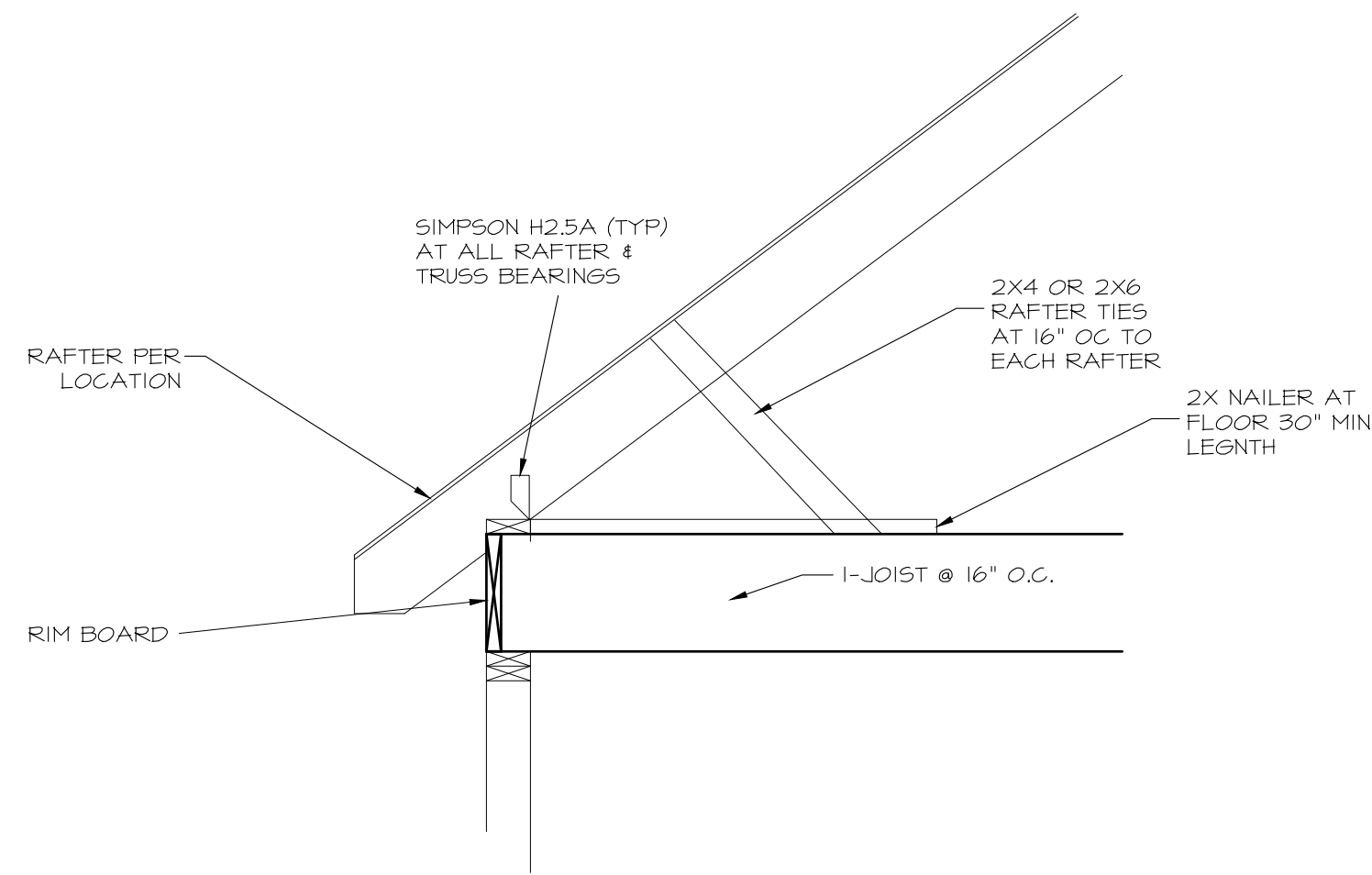
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TYPICAL WALL SECTION

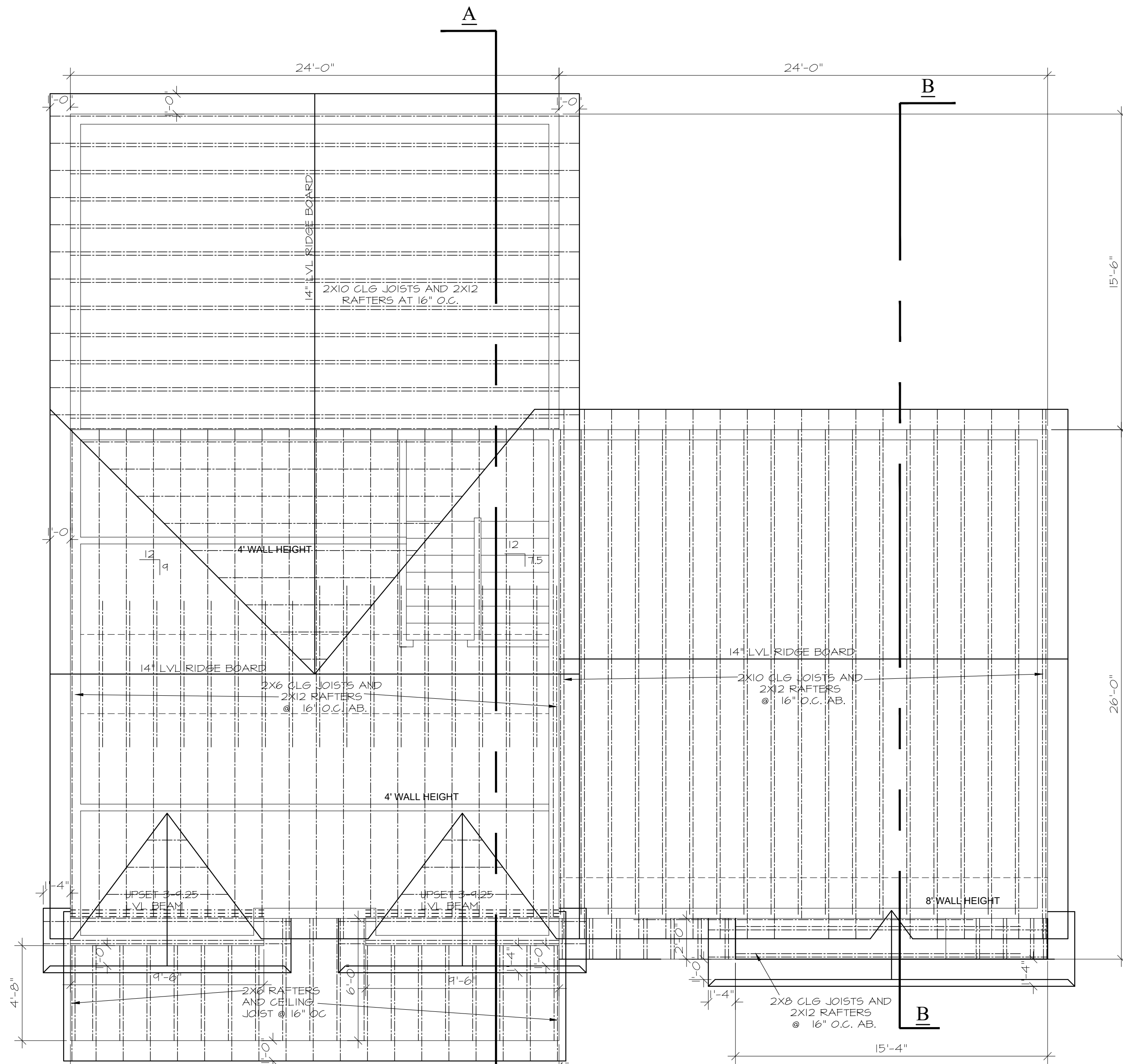
SCALE: 3/4" = 1'-0"

3



FRAMING DETAIL: RAFTER TIES

SCALE: 1/2" = 1'-0"



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

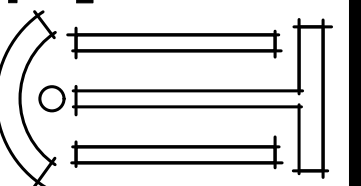
- NOTES ON ROOF FRAMING:
1. SEE ELEVATION DRAWINGS FOR PITCH LOCATIONS.
  2. ALL RAFTERS 2X 12 SYP OR BETTER AT 16" O.C. UNLESS NOTED.
  3. ALL LVL BEAMS ARE 1.9E MICROLAM LVL OR EQUAL.

REVISIONS BY	
1	PRELIM TV 12-8-25
2	CHD TV 12-4-25
3	REVIEW TV 12-12-25
DRAWN BY: MARTY	
DATE: 2-12-24	
FILE NO: N-24000	

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53 HODGE ROAD, LLC  
53 HODGE ROAD, ARLINGTON, MASSACHUSETTS  
ROOF FRAMING

TM VAVRA  
+ ASSOCIATES, P.C.  
PO BOX 2624  
CHESTERFIELD, VA 23832  
tom@tmvavra.com



SHEET NO.

5



# **CERTIFIED ABUTTERS LIST**

**Date:** January 8, 2026

**Subject Property Addresses:** 53 HODGE RD, ARLINGTON, MA

**Subject Property ID:** 98-3-9

**Search Distance:** 300 Feet - Zoning

				MALING ADDRESS	
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Town, State, Zip
098.0-0003-0003.0	22 BRADLEY RD	TAGLIERI EDMUND J JR/TRUSTEE &	TAGLIERI CATHERINE A/TR OF THE	22 BRADLEY ROAD	ARLINGTON MA, 02474
098.0-0003-0007.0	45 HODGE RD	ST GEORGE DAVID/TRUSTEE	THE DAVID ST GEORGE TRUST	17 GLENWOOD ST	NATICK MA, 01760
096.0-0006-0003.0	39 HODGE RD	SHAPIRO RICHARD A		39 HODGE RD	ARLINGTON MA, 02474
098.0-0004-0001.0	7 LOVELL RD	TERKLA DAVID G & DAWN G /TRS	TERKLA REVOCABLE TRUST	7 LOVELL RD	ARLINGTON MA, 02474
098.0-0005-0009.0	31 BRADLEY RD	CHETTY VEERAPPA/ANBUKILI/ETAL		31 BRADLEY ROAD	ARLINGTON MA, 02474
099.0-0003-0006.0	35 MELVIN RD	LEE ANDREW H & MICHAEL H/ TRS	HERMAN G LEE & FAY H LEE FMLY	35 MELVIN RD	ARLINGTON MA, 02474
098.0-0003-0010.0	57 HODGE RD	RICHARDSON KENNETH WILLIAM	RICHARDSON SUSAN	57 HODGE RD	ARLINGTON MA, 02474
098.0-0005-0006.0	63 WINCHESTER RD	AUDIN MARSHALL K & LINDA I/TRS	MARSHALL & LINDA AUDIN REV TR	63 WINCHESTER RD	ARLINGTON MA, 02474
098.0-0003-0005.0	75 WINCHESTER RD	BERMAN GREGORY A	BERMAN SAKINABAI A	75 WINCHESTER RD	ARLINGTON MA, 02474
098.0-0005-0009.B	27 BRADLEY RD	CAPELLINI TERENCE D ETAL/ TRS	NADINE ELOWE & TERENCE CAPELLI	27 BRADLEY RD	ARLINGTON MA, 02474
098.0-0005-0005.A	61 WINCHESTER RD	LANDAU MATTHEW J & AMY E		61 WINCHESTER RD	ARLINGTON MA, 02474
099.0-0005-0008.0	24 MELVIN RD	O'CONNELL FREDERICK T ETAL/ TR	O'CONNELL FAMILY REVOCABLE TR	24 MELVIN RD	ARLINGTON MA, 02474
099.0-0005-0003.0	48 HODGE RD	PAN DAVIS		48 HODGE RD	ARLINGTON MA, 02474
099.0-0005-0005.0	95 WINCHESTER RD	TERRIZZI SHELLEY	SAGE ANDREW	95 WINCHESTER RD	ARLINGTON MA, 02474
098.0-0003-0006.0	81 WINCHESTER RD	ALESSE STEPHEN/KATHRYN		81 WINCHESTER ROAD	ARLINGTON MA, 02474
098.0-0003-0011.0	61 HODGE RD	PETERS CHRISTOPHER WJ	PETERS DIANNE B	61 HODGE RD	ARLINGTON MA, 02474
096.0-0006-0002.0	1 HARTFORD RD	KAMADA ROY OSAMU JR	NORONHA GLORIA RUTH	1 HARTFORD RD	ARLINGTON MA, 02474
099.0-0003-0004.0	27 MELVIN RD	MELTZER LESLIE A/TRUSTEE	PETERSON IRIS D/TRUSTEE	27 MELVIN RD	ARLINGTON MA, 02474
098.0-0005-0002.A	34 FROST ST	PRIVITERA FRANCIS D/TRUSTEE	34 FROST ST REALTY TRUST	59 UNION SQUARE	SOMERVILLE MA, 02143
098.0-0005-0007.0	23 BRADLEY RD	PILIBOSIAN AUDREY J		23 BRADLEY ROAD	ARLINGTON MA, 02474
099.0-0006-0002.0	42 MELVIN RD	EGAN LAURA H		42 MELVIN RD	ARLINGTON MA, 02474
098.0-0003-0008.0	49 HODGE RD	SALEH YOUSSEF & CATHERINE		49 HODGE RD	ARLINGTON MA, 02474
098.0-0001-0001.0	20 MELVIN RD	BARKER FREDERICK/ETAL	BARKER MARILYN	20 MELVIN ROAD	ARLINGTON MA, 02474
099.0-0003-0005.0	31 MELVIN RD	KELDER BRIAN F & ELIZABETH S		31 MELVIN RD	ARLINGTON MA, 02474
099.0-0005-0001.A	56 HODGE RD	BROWN JEFFREY L	HAWKER WHITNEY J D	56 HODGE RD	ARLINGTON MA, 02474
098.0-0001-0003.0	60 HODGE RD	MCCORMICK MELISSA A		60 HODGE RD	ARLINGTON MA, 02474
098.0-0001-0002.0	64 HODGE RD	ZADEL ALEXANDRA	DEROSA MELISSA	64 HODGE RD	ARLINGTON MA, 02474
<b>098.0-0003-0009.0</b>	<b>53 HODGE RD</b>	<b>53 HODGE ROAD LLC</b>		<b>98 RICHFIELD RD</b>	<b>ARLINGTON MA, 02474</b>
098.0-0003-0004.0	18 BRADLEY RD	PREVOST LUCAS J		18 BRADLEY RD	ARLINGTON MA, 02474
099.0-0003-0003.0	23 MELVIN RD	OLDHAM JEREMY A & DENISE D/ TRS	JEREMY A OLDHAM REVOCABLE TRUS	23 MELVIN RD	ARLINGTON MA, 02474





# **CERTIFIED ABUTTERS LIST**

**Date:** January 8, 2026

**Subject Property Addresses:** 53 HODGE RD, ARLINGTON, MA

**Subject Property ID:** 98-3-9

**Search Distance:** 300 Feet - Zoning

				MALING ADDRESS	
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Town, State, Zip
098.0-0004-0002.0	34 BRADLEY RD	DRUY MARK A/TRUSTEE &	ROTHMAN JOHANNA/TRUSTEE	34 BRADLEY RD	ARLINGTON MA, 02474
098.0-0008-0001.0	7 BRADLEY RD	PRIVITERA FRANK D JR/TRUSTEE	7 BRADLEY ROAD REALTY TRUST	PO BOX 148	SOMERVILLE MA, 02143
099.0-0006-0003.0	96 WINCHESTER RD	WANG XIAOXU	YANG XINYU	96 WINCHESTER RD	ARLINGTON MA, 02474
099.0-0005-0007.0	28 MELVIN RD	LA ROSE MARY F/LIFE ESTATE		28 MELVIN RD	ARLINGTON MA, 02474
098.0-0003-0012.0	6 LOVELL RD	SINKS MICHAEL & SHUXIAN/ TRSQ	SINKS FAMILY LIVING TRUST	6 LOVELL RD	ARLINGTON MA, 02474
098.0-0005-0004.A	59 WINCHESTER RD	PRIVITERA PHILIP J		59 WINCHESTER RD	ARLINGTON MA, 02474
099.0-0005-0002.A	52 HODGE RD	LOMBARD MARK/COLLEEN E		52 HODGE RD	ARLINGTON MA, 02474
099.0-0005-0006.0	32 MELVIN RD	CROSSEN JACLYN		32 MELVIN RD	ARLINGTON MA, 02474
098.0-0008-0002.0	64 WINCHESTER RD	MALATESTA GREGG J	GOODWIN JENNIFER A	64 WINCHESTER ROAD	ARLINGTON MA, 02474
099.0-0006-0004.0	92 WINCHESTER RD	POKHAREL PRAAGYAN & BARSHA		92 WINCHESTER RD	ARLINGTON MA, 02474
098.0-0007-0001.0	12 BRADLEY RD	HOGAN BARRY E & CELESTE P		12 BRADLEY ROAD	ARLINGTON MA, 02474
098.0-0003-0002.0	26 BRADLEY RD	LERNER RACHEL E	LACOMBE PETER	26 BRADLEY RD	ARLINGTON MA, 02474
099.0-0005-0004.0	91 WINCHESTER RD	KOSLOWSKI THOMAS E & JEAN A		91 WINCHESTER RD	ARLINGTON MA, 02474
098.0-0002-0003.0	11 LOVELL RD	SAVERESE MATTHEW J	HILL DANIELLE M	11 LOVELL RD	ARLINGTON MA, 02474
098.0-0003-0001.0	30 BRADLEY RD	REISZ-HANSON LISA K	REISZ-HANSON MARK CHRISTIAN	30 BRADLEY RD	ARLINGTON MA, 02474



**The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.**

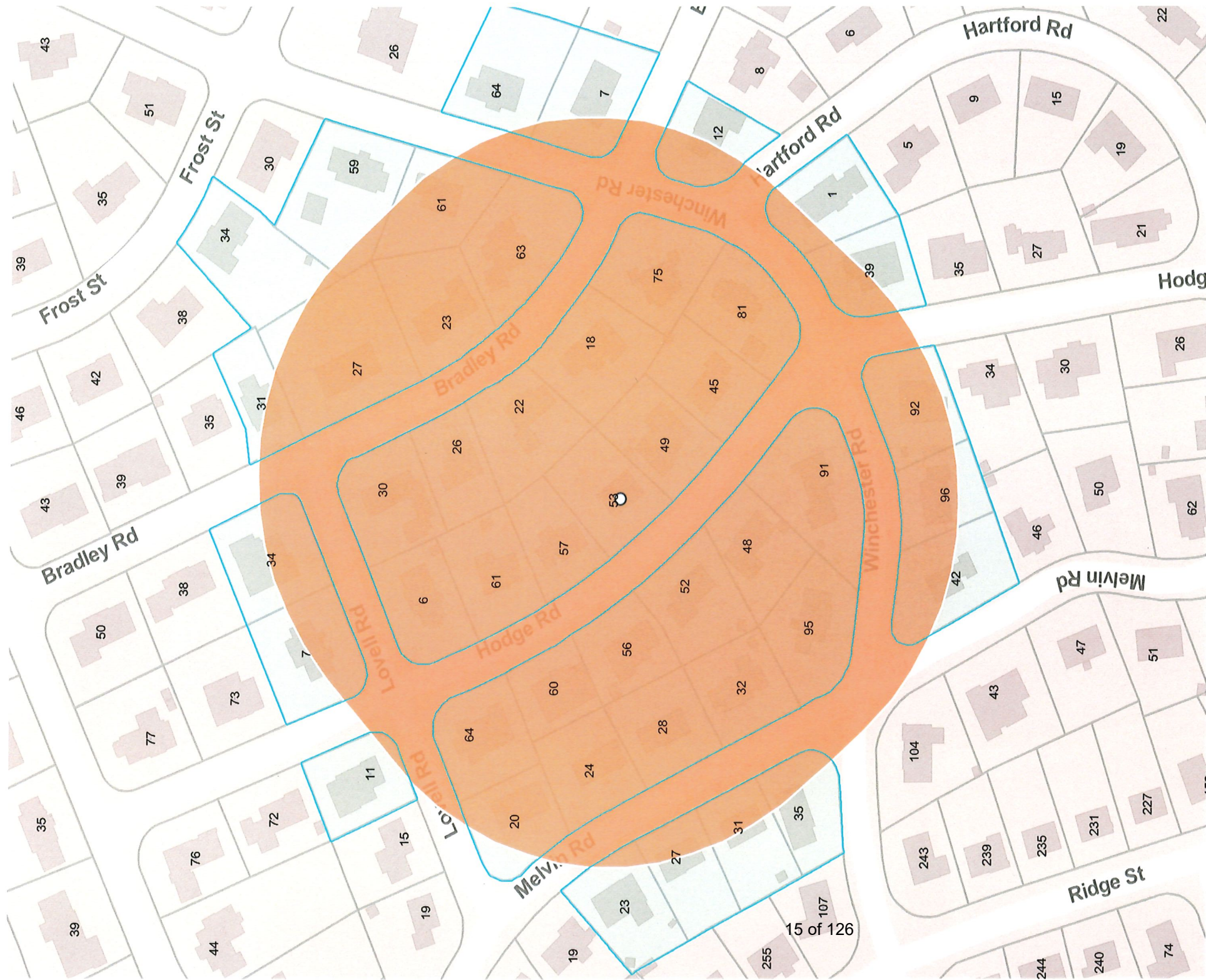
Town of Arlington

Office of the Board of Assessors

730 Massachusetts Ave • Arlington, MA 02476

P: 781-316-3050 E: [assessors@town.arlington.ma.us](mailto:assessors@town.arlington.ma.us)







## Town of Arlington, Massachusetts

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### #3887 71 Mystic St

#### Summary:

Link to OpenGov application: <https://arlingtonma.portal.opengov.com/records/215640>

#### ATTACHMENTS:

Type	File Name	Description
Reference Material	3887_71_Mystic_St_legal_ad.pdf	3887 71 Mystic St legal ad
Reference Material	3887_71_Mystic_St_Application_for_Appeal.pdf	3887 71 Mystic St Application for Appeal
Reference Material	3887_71_Mystic_St_Plot_Plan.pdf	3887 71 Mystic St Plot Plan
Reference Material	3887_71_Mystic_St_ISD_letter_of_denial_for_fence.pdf	3887 71 Mystic St ISD letter of denial for fence
Reference Material	3887_71_Mystic_Fence_Diagram.pdf	3887 71 Mystic Fence Diagram
Reference Material	3887_71_Mystic_Fence_Photo.pdf	3887 71 Mystic Fence Photo
Reference Material	3887_71_Mystic_St_Stamped_application.pdf	3887 71 Mystic St Stamped application
Reference Material	3887_71_Mystic_St_abutter_list_and_map.pdf	3887 71 Mystic St abutter list and map



**Order Number:** LNEO0438948  
**External Order #:** 11995007  
**Order Status:** Approved  
**Classification:** Public Notices  
**Package:** General Package  
**1 Affidavit:** 5.00  
**Total payment:** 196.84  
**Payment Type:** Account Billed  
**User ID:** L0023538  
**External User ID:** 670931

## ACCOUNT INFORMATION

Arlington Board Of Appeals  
 51 Grove St  
 Arlington, MA 02476-4602  
 781-316-3396  
 cralston@town.arlington.ma.us  
 Arlington Board Of Appeals  
 Contract ID:

## TRANSACTION REPORT

<b>Date</b>	January 12, 2026 10:27:10 AM EST
<b>Amount:</b>	201.20
<b>Date</b>	January 12, 2026 10:29:41 AM EST
<b>Amount:</b>	(4.36)

## ADDITIONAL OPTIONS

1 Affidavit

## SCHEDULE FOR AD NUMBER LNEO04389480

January 22, 2026  
**The Advocate & Star**  
 (Arlington -  
 Winchester)  
 January 29, 2026  
**The Advocate & Star**  
 (Arlington -  
 Winchester)

## ZBA Hearing Notice 71 Mystic St., Arlington

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by 71 Mystic Street LLC, on January 9, 2026, a petition seeking to alter their property located at 71 Mystic St - Block Plan 049.0-0002-0019.A. The said petition is an Appeal of the Building Inspector under Bylaw 3.1.3 of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", on Tuesday, February 10, 2026, at 7:30 P.M. as soon thereafter as the petitioner may be heard.

To register for the meeting and view documents related to this application go to the Town of Arlington calendar at <https://www.arlingtonma.gov/connect/calendar>, choose the date of the meeting you wish to attend, register for the Zoom meeting, and review documents relating to the application by clicking the link to the agenda.

Please direct any questions to: ZBA@town.arlington.ma.us

Christian Klein, RA, Chair,  
 Zoning Board of Appeals  
 January 22, 29 2026  
 LNEO0438948



## Record No: APPL-26-1

Appeal from Decision of Building  
Inspector

Status: Active

Submitted On: 1/9/2026

## Primary Location

71 MYSTIC ST  
Arlington, MA 02474

## Owner

71 MYSTIC STREET LLC  
12 DICKSON AVE ARLINGTON, MA 02474

---

## Appeal from Decision of Building Inspector

Any person desiring to obtain permission of the Board for any purpose for which such permission is required under the provisions of the Zoning Bylaw shall make application in writing therefor within thirty (30) days from the date of the order or decision which is being appealed by filing a notice of appeal, specifying the grounds thereof, with the Town Clerk. The Town Clerk shall forthwith transmit copies thereof to such officer or board whose order of decision is being appealed, and to the members of the Board. Such officer or board shall forthwith transmit to the Board all documents and papers constituting the record of the case in which the appeal is being taken.

All correspondence will be sent to the contact information listed on Step 1 of your application.

If you wish to change this, please select the "Back" button.

If additional parties wish to be notified, as well, please add them as a "guest" after you submit your application.

The Board shall fix a reasonable time for the hearing of any appeal or other matter referred to it and any petition for a variance. At the hearing, any party, whether entitled to notice thereof or not, may appear in person, or by agent, or by attorney.

---



# Appeal Form

Building Permit Number\* ?

B-25-1879

Appeal Location\* ?

71 Mystic Street

Reason for Appeal\* ?

I am applying for a special permit under Section 3.3 of the by laws, for adding to allowable height of rear yard fence. The fence is intended to provide a buffer between the industrial area abutting my rear yard.

Permit Issuance Date\*

11/14/2025

Supporting Documentation\* ?

See Attachments

Applicant's Signature\*

✓ William Mahoney  
Jan 6, 2026

Applicant Name(s)\*

William Mahoney

Applicant Address\*

12 Dickson Ave Arlington, Ma 02474



# Town of Arlington

## APPEAL FROM DECISION OF BUILDING INSPECTOR



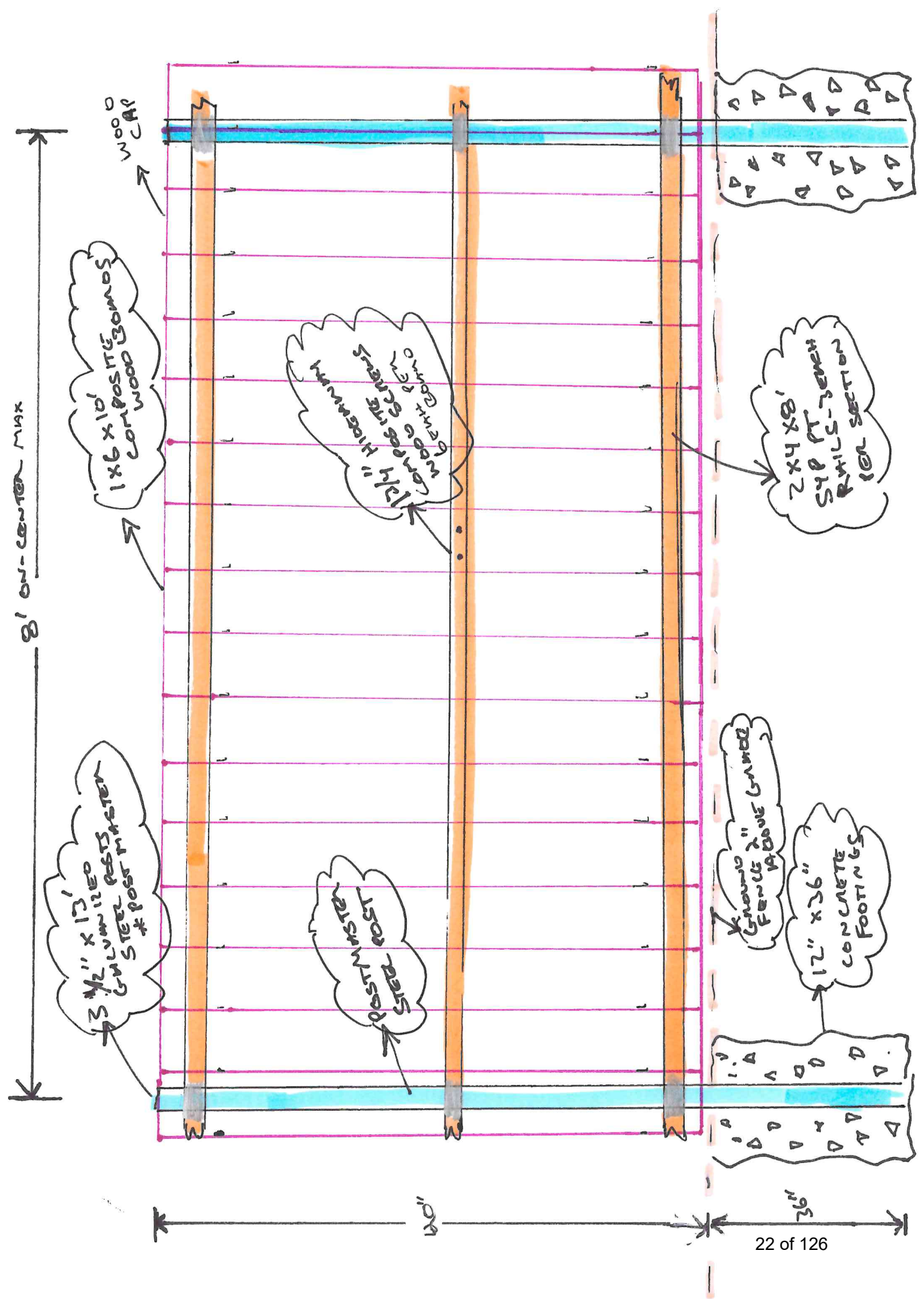
In the Matter of the Appeal of **B-25-1879** at **71 Mystic Street**

To the Zoning Board of Appeals for the Town of Arlington **William Mahoney** respectfully represents **71 MYSTIC STREET LLC** of Arlington, that they are the owner(s) of certain land in Arlington, location at **71 MYSTIC ST , Arlington** that they made application of the Inspector of Buildings for a decision with respect thereto, to wit: **I am applying for a special permit under Section 3.3 of the by laws, for adding to allowable height of rear yard fence. The fence is intended to provide a buffer between the industrial area abutting my rear yard.** that they has/have been aggrieved by the decision of the Inspector of Buildings on **November 14, 2025**, on the grounds of noncompliance with the Zoning Bylaw; that no unfavorable action has been taken by the Zoning Board of Appeals upon similar appeal regarding this property within the two (2) years next immediately prior to filing hereof. Wherefore appeal is claimed from the decision of the Inspector of Buildings in accordance with the provisions of Section 10.10 (e.) of the Zoning Bylaw for the Town of Arlington and as grounds therefore, your appellant states as follows: **See Attachments.**

Signed by: William Mahoney

Address: 71 MYSTIC ST , Arlington  
Telephone #: 781-953-3956

# 11 MYSTIC HVE - HUNTINGTON, 1-11-14 \* 10' HIGH COMPOSITE WOOD FENCE SYSTEM







A Tradition of Fencing Solutions

# PostMaster<sup>®</sup> Steel Posts





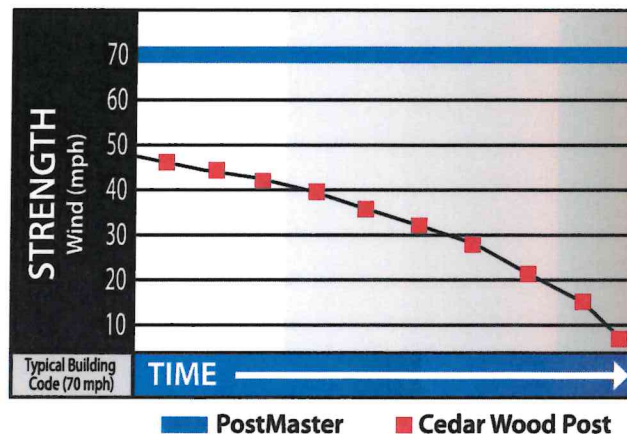
## PostMaster® Delivers...

Master Halco's patented PostMaster steel post for wood fencing is engineered to provide you with the strength of steel without sacrificing the natural beauty of wood. Constructed of structural steel with a heavy galvanized coating, PostMaster can withstand high winds and heavy rain and will never rot or warp. Master Halco guarantees it - every PostMaster steel post is backed by a 15-year limited warranty.\* PostMaster provides longevity and performance in a wood fence system which results in uncompromised value.



## Why use a steel post when I could use wood?

Wood posts rot over time and can warp or twist due to rain, wind or extreme temperatures. The integrity and appearance of a wood fence is lost after the wood posts begin to rot from exposure or termite infestation. This deterioration weakens the post, sometimes to the point where it can no longer hold the fence up. PostMaster gives an ordinary wood fence the strength of steel.



A Tradition of Fencing Solutions

MasterHalco.com | 888-MH-Fence

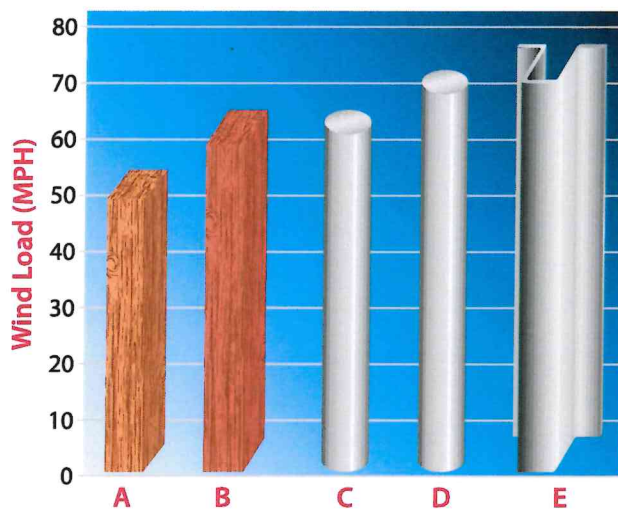
24 of 126  
\*See actual warranty for details



# The Strength of Steel and the Beauty of Wood

## Will steel posts withstand high winds?

Yes, if properly engineered. Steel posts are available in a wide range of weights (gauges) and strengths. PostMaster® posts are designed to withstand a 70-mph wind load (6' Privacy fence with posts spaced every 8') determined in accordance with the requirements of the 1994 Uniform Building Code for exposure "B". This is the requirement for building departments in many cities. Be sure to check your local requirements and space your posts accordingly.



- A - Cedar (4 x 4) / **49 MPH**
- B - Redwood (4 x 4) / **59 MPH**
- C - Tube (2-3/8 x .065) / **61 MPH**
- D - Pipe (2-3/8, Sch 40) / **68 MPH**
- E - **PostMaster** / **70 MPH**

## Will PostMaster rust?

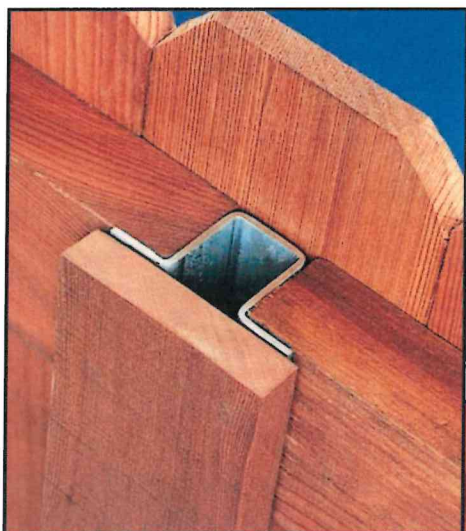
PostMaster's open design keeps moisture from collecting and the heavy galvanized (zinc) coating helps prevent premature rusting. PostMaster is manufactured using a steel base material conforming to the requirements of ASTM A 653, coating designation G90 galvanized (zinc) coating.

.....

## Is PostMaster more expensive than wood posts?

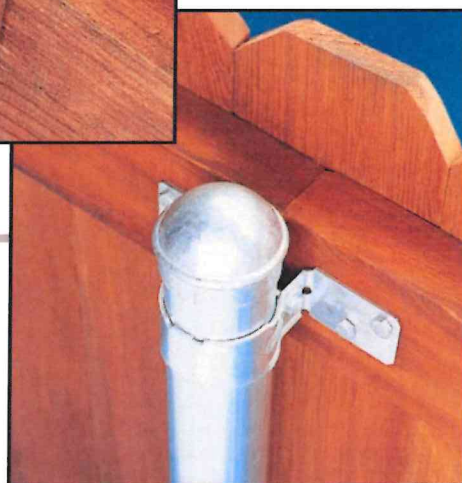
Only slightly. Good quality materials, like good workmanship, always cost a little more. While the initial cost of PostMaster may be slightly more than a wood post, and often less expensive than heavy pipe posts with brackets, the cost of future maintenance outweighs the benefits of a lower initial price.





## Do I have to sacrifice the look of wood?

No. PostMaster's in-line design can be easily covered or concealed with matching wood, retaining the esthetics of a wood fence. It can be finished with both sides identical - a true good neighbor fence.

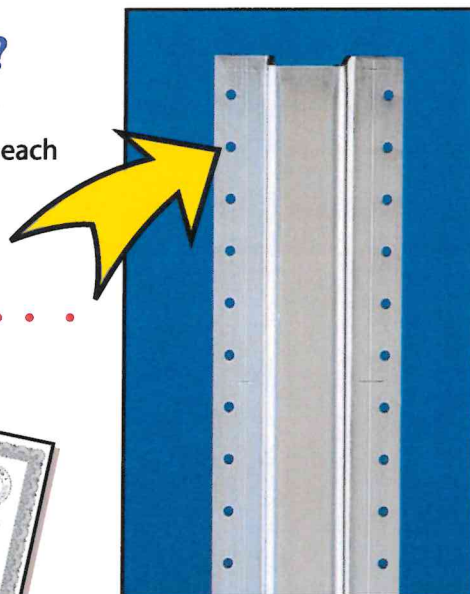


*Wood fences built with steel pipe posts and brackets are unsightly because they protrude from the line of fence.*

**Patented**

## Is PostMaster hard to install?

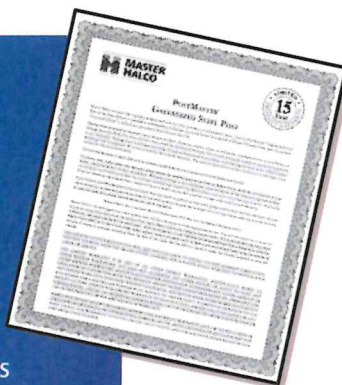
No. Unlike most other steel posts which require brackets and/or fittings, PostMaster has pre-punched holes on each flange for attaching rails, eliminating the need for expensive brackets for most designs.



## Are all product warranties the same?

A warranty is only as good as the company that stands behind it. You should understand the reputation of the company behind the warranty.

PostMaster's 15-year limited warranty is as strong as the company that stands behind it.



A Tradition of Fencing Solutions

MasterHalco.com | 888-MH-Fence

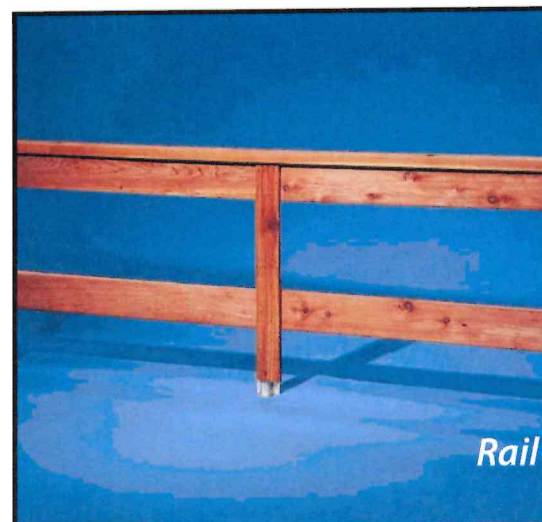
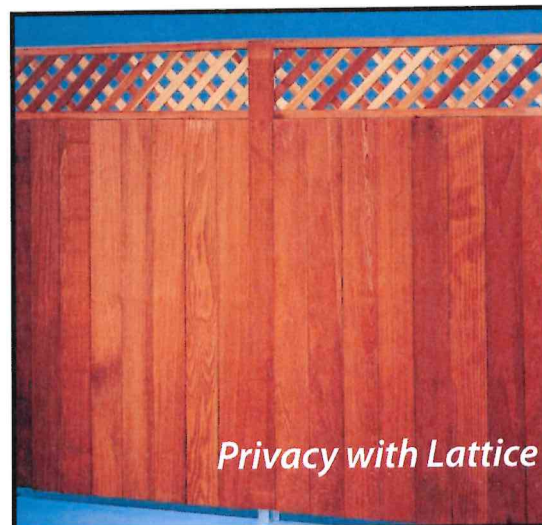
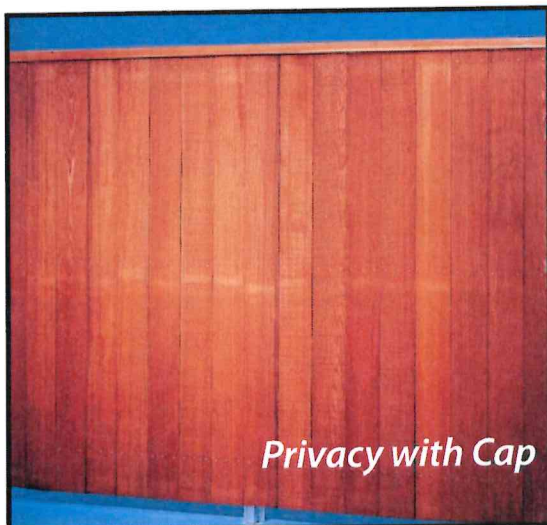
26 of 126



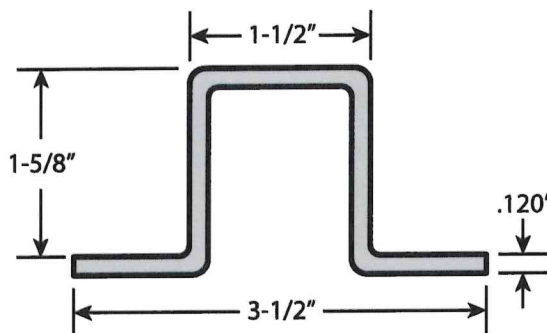
# PostMaster® Works With Most Styles

## Will PostMaster limit my design options?

No. You are only limited by your imagination. PostMaster can be incorporated with most wood fence styles, adding natural beauty and warmth that only a wood fence can provide. Your professional fence contractor can help you with a design that is right for you and can assure proper installation practices for your local conditions.



# Technical Information



<b>Dimensions:</b>	3-1/2" x 1-3/4"	88.90mm x 44.45mm
<b>Dimensions (hole):</b>	Dia. .200" @ 1" O.C.	Dia. 5.08mm @ 25.40mm O.C.
<b>Thickness:</b>	.120"	3.05mm
<b>Weight:</b>	2.64 lbs/ft	3.93 kg/m
<b>Material:</b>	Galvanized (Zinc) Coated Steel	
<b>Coating Designation:</b>	G90	

US Patents 6,173,945 and 6,530,561

## For all your fencing needs, you can trust **MASTER HALCO.**

As North America's leading manufacturer and wholesale distributor of perimeter security and fencing, we are the provider of choice for thousands of professional fence and security contractors and quality building material retailers. Since 1961, we have been the industries' premier fencing provider.

We offer a complete line of high quality fence systems in both traditional and unique styles. Our full line of products include vinyl, wood, ornamental, and chain-link fences and automated gates for residential, commercial, industrial, and high security applications.

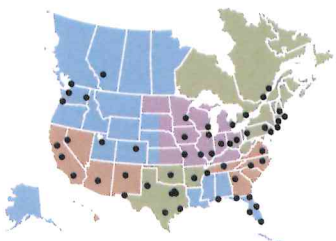


A Tradition of Fencing Solutions

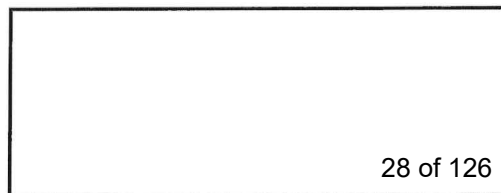
**MasterHalco.com | 888-MH-Fence**

Branch service centers are located throughout North America.

MH 046145 © 07/09



Available from:











**Record No: APPL-26-1**

Appeal from Decision of Building  
Inspector

Status: Active

Submitted On: 1/9/2026

**Primary Location**

71 MYSTIC ST  
Arlington, MA 02474

**Owner**

71 MYSTIC STREET LLC  
12 DICKSON AVE ARLINGTON, MA 02474

2026 JAN 12 PM 2:40  
TOWN OF ARLINGTON  
ARLINGTON, MA 02474

---

**Appeal from Decision of Building Inspector**

Any person desiring to obtain permission of the Board for any purpose for which such permission is required under the provisions of the Zoning Bylaw shall make application in writing therefor within thirty (30) days from the date of the order or decision which is being appealed by filing a notice of appeal, specifying the grounds thereof, with the Town Clerk. The Town Clerk shall forthwith transmit copies thereof to such officer or board whose order of decision is being appealed, and to the members of the Board. Such officer or board shall forthwith transmit to the Board all documents and papers constituting the record of the case in which the appeal is being taken.

All correspondence will be sent to the contact information listed on Step 1 of your application.

If you wish to change this, please select the "Back" button.

If additional parties wish to be notified, as well, please add them as a "guest" after you submit your application.

The Board shall fix a reasonable time for the hearing of any appeal or other matter referred to it and any petition for a variance. At the hearing, any party, whether entitled to notice thereof or not, may appear in person, or by agent, or by attorney.

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# Appeal Form

Building Permit Number\* ?

B-25-1879

Appeal Location\* ?

71 Mystic Street

Reason for Appeal\* ?

I am applying for a special permit under Section 3.3 of the by laws, for adding to allowable height of rear yard fence. The fence is intended to provide a buffer between the industrial area abutting my rear yard.

Permit Issuance Date\*

11/14/2025

Supporting Documentation\* ?

See Attachments

Applicant's Signature\*

☒ William Mahoney  
Jan 6, 2026

Applicant Name(s)\*

William Mahoney

Applicant Address\*

12 Dickson Ave Arlington, Ma 02474

TOWN CLERK  
ARLINGTON, MA 02476  
2026 JAN 12 PM 2:30

**CERTIFIED ABUTTERS LIST****Date:** January 12, 2026**Subject Property Addresses:** 71 MYSTIC ST, ARLINGTON, MA**Subject Property ID:** 49-2-19.A**Search Distance:** 300 Feet - Zoning

1

				MALING ADDRESS	
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Town, State, Zip
063.A-0005-0004.O	26 PRESCOTT ST #1	KORNACHUK ANDREA/ TTEE	ANDREA KORNACHUK REVOCABLE TR	26 PRESCOTT ST; UNIT 1	ARLINGTON MA, 02474
049.A-0002-0001.B	47 MYSTIC ST #1B	TOPLYN BLOOM JOANNE	TOPLYN MICHAEL R	47 MYSTIC STREET #1B	ARLINGTON MA, 02474
049.A-0002-0002.D	47 MYSTIC ST #2D	PANDYA ABHIPSA		47 MYSTIC ST #2D	ARLINGTON MA, 02474
063.O-0004-0006.A	0LOT MYSTIC ST	BOSTON EDISON CO	PROPERTY TAX DEPT	P.O. BOX 270	HARTFORD CT, 06141
045.O-0002-0004.O	5 CHESTNUT ST	TDK HOLDINGS LLC	CDK HOLDINGS LLC	2175 MASS AVENUE	CAMBRIDGE MA, 02140
049.C-0002-0002.O	56 MYSTIC ST #2	HODER JAMES P	HODER FRANCESCA BURGOS	58 MYSTIC ST; UNIT 2	ARLINGTON MA, 02474
050.O-0004-0009.O	11 PRESCOTT ST	11 PRESCOTT STREET LLC		11 PRESCOTT ST	ARLINGTON MA, 02474
049.A-0002-0001.C	47 MYSTIC ST #1C	KAUR KULJIT & SINGH RATTAN	SINGH JATINDER	47 MYSTIC ST 1C	ARLINGTON MA, 02474
045.O-0002-0003.O	9 CHESTNUT ST	ARCHAMBAULT N RICHARD TR	ARCH REALTY TRUST	9 CHESTNUT ST	ARLINGTON MA, 02474
049.C-0003-0004.O	58 MYSTIC ST #4	VISCIONE PAUL E JR	VISCIONE PAUL E SR	58 MYSTIC ST; UNIT 4	ARLINGTON MA, 02474
063.A-0006-0002.C	21-23 PRESCOTT ST #1	SCHARF BETTY M		23 PRESCOTT ST	ARLINGTON MA, 02474
063.A-0006-0002.G	13-15 PRESCOTT ST #2	REZAEI MEDHI	ABBASPOUR SARA	13 PRESCOTT ST	ARLINGTON MA, 02474
049.O-0002-0021.O	61-R MYSTIC ST	HATZIKOSTANTIS NICHOLAS G	HATZIKOSTANTIS PAULINE	61R MYSTIC STREET	ARLINGTON MA, 02474
049.O-0001-0015.A	87 MYSTIC ST	87 MYSTIC STREET LLC	ARMSTRONG AMBULANCE	87 MYSTIC ST	ARLINGTON MA, 02474
049.A-0002-0006.C	47 MYSTIC ST #6C	DESAI JAGRUTI		47 MYSTIC STREET #6C	ARLINGTON MA, 02474
049.A-0002-0005.C	47 MYSTIC ST #5C	SENCURY LLC		41 B CUSHING ST	CAMBRIDGE MA, 02138
049.O-0001-0001.O	30 GARDEN ST	LAWSON J & HUTCHINSON R	TRS/GARDEN ST REALTY TRUST	7 BUTTONWOOD ROAD	STONEHAM MA, 02180
045.A-0002-0015.O	13-15 CHESTNUT ST #15	TREUL ELENA VIKTOROVNA		15 CHESTNUT ST	ARLINGTON MA, 02474
<b>049.O-0002-0019.A</b>	<b>71 MYSTIC ST</b>	<b>71 MYSTIC STREET LLC</b>		<b>12 DICKSON AVE</b>	<b>ARLINGTON MA, 02474</b>
063.A-0006-0002.I	19 PRESCOTT ST #1	WEI YILIN		101 TROWBRIDGE ST; APT 1	CAMBRIDGE MA, 02138
049.O-0001-0016.A	91 MYSTIC ST	MYSTIC STREET 91 LLC	C/O ROBERT BOWES	1010 MASS AVE	ARLINGTON MA, 02474
049.A-0002-0002.F	47 MYSTIC ST #2F	PADILLA ALMA J		47 MYSTIC ST #2F	ARLINGTON MA, 02474
049.O-0003-0003.A	66 MYSTIC ST	HILL ROBERT F JR		19 WARBLER SPRINGS RD	LINCOLN MA, 01773
049.A-0002-0008.C	47 MYSTIC ST #8C	SCHLICHTMAN PAUL F		47 MYSTIC STREET #8C	ARLINGTON MA, 02474
049.A-0002-0006.B	47 MYSTIC ST #6B	ANNE PAVANKUMAR		263 RIDGE ST	ARLINGTON MA, 02474
049.O-0002-0003.A	0LOT GARDEN ST	NCH HOLDINGS LLC		18 BURNHAM RD	NORTH BILLERICA MA, 01862
063.A-0005-0005.O	16 RUSSELL ST #2	MCCARTHY MONIKA E & THOMAS C		16 RUSSELL ST; UNIT 2	ARLINGTON MA, 02474
049.A-0002-0003.D	47 MYSTIC ST #3D	MAN SIMPSON & KRISTINA		101 SPRING ST	LEXINGTON MA, 02421
049.A-0002-0005.A	47 MYSTIC ST #5A	SENCURY LLC		41 B CUSHING ST	CAMBRIDGE MA, 02138
049.O-0003-0004.A	62-64 MYSTIC ST	CARNEY JOHN A		32 ORCHFIELD RD	ARLINGTON MA, 02474





# **CERTIFIED ABUTTERS LIST**

2

**Date:** January 12, 2026

**Subject Property Addresses:** 71 MYSTIC ST, ARLINGTON, MA

**Subject Property ID:** 49-2-19.A

**Search Distance:** 300 Feet - Zoning

				MALING ADDRESS	
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Town, State, Zip
049.A-0002-0003.B	47 MYSTIC ST #3B	JORDAN MARLENE		47 MYSTIC STREET #3B	ARLINGTON MA, 02474
049.A-0002-0003.E	47 MYSTIC ST #3E	GILBERT JOHN M		47 MYSTIC ST #3C	ARLINGTON MA, 02474
063.A-0005-0008.0	24-A PRESCOTT ST #5	BARBADORO JOHN J	TAREILA MOLLY	24 PRESCOTT ST; UNIT 5	ARLINGTON MA, 02474
049.A-0002-0006.F	47 MYSTIC ST #6F	JOHNSON BENJAMIN DANIEL	JOHNSON ANA PAULA DA SILVA REZ	47 MYSTIC ST #6F	ARLINGTON MA, 02474
050.0-0004-0001.A	0LOT MYSTIC ST	MIRAK ROBERT/CHARLES/EDWARD	TRUSTEES/THIRTY MYSTIC TR	438 MASS AVENUE SUITE 127	ARLINGTON MA, 02474
063.A-0006-0002.D	25-27 PRESCOTT ST #2	HORTON ERIN C & JOSHUA B		25 PRESCOTT ST	ARLINGTON MA, 02474
049.A-0002-0002.E	47 MYSTIC ST #2E	NGUYEN EDDIE DUC	ALMONTE RITA A	47 MYSTIC ST UNIT 2E	ARLINGTON MA, 02474
049.A-0002-0008.D	47 MYSTIC ST #8D	CHOY SHIRLEY	LEE JEFFREY	47 MYSTIC ST UNIT 8D	ARLINGTON MA, 02474
049.A-0002-0001.A	47 MYSTIC ST #1A	SHARMA PRIYANKA	MANOHAR VINEET	244 PLEASANT ST	ARLINGTON MA, 02476
049.A-0002-0007.D	47 MYSTIC ST #7D	GOK BALCA KORKUT	GOK JASON ONUR	1009 MAIN ST	READING MA, 01867
049.0-0002-0025.A	55-55A MYSTIC ST	PIGOTT CHARLES A TRS--ETAL	CAHILL MARY ANN	47 DUDLEY ST	ARLINGTON MA, 02474
049.0-0002-0020.A	67 MYSTIC ST	PIGOTT CHARLES A TRS-ETAL	CAHILL MARY ANN	47 DUDLEY STREET	ARLINGTON MA, 02474
063.0-0004-0007.A	82 MYSTIC ST	CAHILL MARY ANN TRS--ETAL	PIGOTT CHARLES A	47 DUDLEY ST	ARLINGTON MA, 02476
049.A-0002-0004.E	47 MYSTIC ST #4E	MANIYEDATH RANJITH	DABI KAPIL	4640 HEDGCOXE RD APT 822	PLANO TX, 75024
049.0-0002-0022.A	63 MYSTIC ST	PIGOTT CHARLES A--TRS/ETAL	CAHILL MARY ANN/PIGOTT TR	47 DUDLEY STREET	ARLINGTON MA, 02474
049.A-0002-0001.E	47 MYSTIC ST #1E	WEIR DAVID A & BONNIE		18 MIDLAND AVE	BRONXVILLE NY, 10708
045.A-0002-0013.0	13-15 CHESTNUT ST #13	SPARROW BENJAMIN JOSEPH	BANASIK MARGARET SYLWIA	13 CHESTNUT ST	ARLINGTON MA, 02474
049.C-0003-0005.0	58 MYSTIC ST #5	BURGOS PABLO & CARMEN		1248 S ALHAMBRA CIR	CORAL GABLES FL, 33146
049.A-0002-0005.E	47 MYSTIC ST #5E	STEVENS EMILY JOAN		47 MYSTIC ST UNIT #5E	ARLINGTON MA, 02474
049.A-0002-0004.F	47 MYSTIC ST #4F	CHANG TONG		5 TENNYSON RD	NEWTON MA, 02465
063.0-0004-0008.C	9-11 RUSSELL ST	KELLY JOSEPH F & JEANNE T		11 RUSSELL STREET	ARLINGTON MA, 02474
063.0-0004-0009.0	15 RUSSELL ST	CANTAGALLO LISA M	ADAMS KENNETH J III	15 RUSSELL STREET	ARLINGTON MA, 02474
049.A-0002-0008.A	47 MYSTIC ST #8A	SIGAL BORIS/FAINA		47 MYSTIC ST #8A	ARLINGTON MA, 02474
049.0-0002-0023.0	57-59 MYSTIC ST	PIGOTT CHARLES A ETAL/ TRS	PIGOTT NOMINEE REALTY TRUST	C/O PIGOTT ELECTRIC CO INC; 47 DUDLEY ST	ARLINGTON MA, 02474
049.A-0002-0003.F	47 MYSTIC ST #3F	RUEDA JUAN C CAICEDO		501 S MIDVALE BLVD; APT 105	MADISON WI, 53711
049.A-0002-0004.B	47 MYSTIC ST #4B	DOWNS GILMAN SUZANNE		445 PEACHTREE BATTLE AVE NW	ATLANTA GA, 30305
063.A-0006-0002.E	25-27 PRESCOTT ST #1	AGUIRRE LAUREN		27 PRESCOTT ST	ARLINGTON MA, 02474
049.A-0002-0007.F	47 MYSTIC ST #7F	SHARMA MITHILESH		47 MYSTIC ST #7F	ARLINGTON MA, 02474



**CERTIFIED ABUTTERS LIST**

3

**Date:** January 12, 2026**Subject Property Addresses:** 71 MYSTIC ST, ARLINGTON, MA**Subject Property ID:** 49-2-19.A**Search Distance:** 300 Feet - Zoning

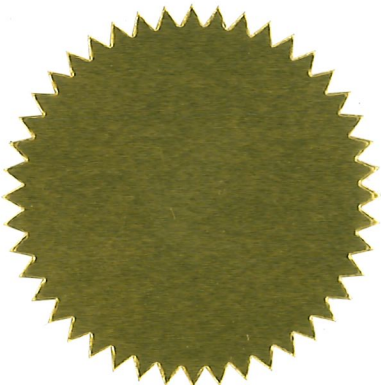
				MALING ADDRESS	
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Town, State, Zip
049.A-0002-0006.A	47 MYSTIC ST #6A	CHEN SAMUEL J & MARGARET H	TRS/CHEN FAMILY TRUST	18 FOX RUN LANE	LEXINGTON MA, 02420
063.A-0006-0002.B	21-23 PRESCOTT ST #2	YAVUZ OZGE &	YAVUZ PINAR GUVENC	21 PRESCOTT STREET #2	ARLINGTON MA, 02474
049.A-0002-0006.E	47 MYSTIC ST #6E	CHEN YUHCHYAU		2 TIMBERFIELD WAY	PITTSFORD NY, 14534
049.C-0003-0007.0	60 MYSTIC ST #7	BURGOS PABLO X & CARMEN L/ TRS	BURGOS FAMILY TRUST	1248 S ALHAMBRA CIR	CORAL GABLES FL, 33146
049.0-0002-0018.A	75 MYSTIC ST	75 MYSTIC STREET REALTY LLC		479 MAIN ST	WATERTOWN MA, 02472
049.A-0002-0005.B	47 MYSTIC ST #5B	CARVAJAL LUIS		47 MUSTIC ST UNIT 5B	ARLINGTON MA, 02474
049.A-0002-0008.F	47 MYSTIC ST #8F	SHUI XUE		103 THORNBERRY RD	WINCHESTER MA, 01890
049.0-0003-0002.A	68-70 MYSTIC ST	WFPIGOTT REALTY 2010 LLC		10 MAYFLOWER RD	WINCHESTER MA, 01890
049.0-0002-0001.0	19 GARDEN ST	NCH HOLDINGS LLC		18 BURNHAM RD	NORTH BILLERICA MA, 01862
049.A-0002-0007.B	47 MYSTIC ST #7B	HUMMEL STEVEN T		47 MYSTIC STREET #7B	ARLINGTON MA, 02474
049.0-0001-0006.0	26 GARDEN ST	JLS REAL ESTATE LLC		2 GARDEN ST	ARLINGTON MA, 02474
063.0-0004-0005.C	88 MYSTIC ST	BOSTON EDISON CO	PROPERTY TAX DEPT	PO BOX 270	HARTFORD CT, 06141
049.C-0002-0003.0	56 MYSTIC ST #3	BRODERICK LINDSAY	KLIGERMAN SHANE PHILIP	5 DAMON ST	READING MA, 01864
049.C-0001-0001.0	54 MYSTIC ST #1	MLG MERCHANTS ROW LLC		16 FOREST STREET	LEXINGTON MA, 02421
063.0-0006-0001.0	10 RUSSELL ST	CARNEY JOHN A		98 RICHFIELD RD	ARLINGTON MA, 02474
049.A-0002-0004.C	47 MYSTIC ST #4C	LAZAROV YULIAN &	PETROVA-LAZAROVA SNEZHANA	67 COLLEGE AVE	ARLINGTON MA, 02474
049.A-0002-0003.A	47 MYSTIC ST #3A	SOLLIDAY MARY LOU		47 MYSTIC ST UNIT 3A	ARLINGTON MA, 02474
045.0-0002-0001.0	17 CHESTNUT ST	FISCHER DAVID P		17 CHESTNUT ST	ARLINGTON MA, 02474
063.0-0004-0008.0	0LOT RUSSELL ST	BOSTON EDISON CO	PROPERTY TAX DEPT	P.O. BOX 270	HARTFORD CT, 06141
049.A-0002-0005.F	47 MYSTIC ST #5F	AN HONG		47 MYSTIC ST 5F	ARLINGTON MA, 02474
046.0-0001-0015.0	54 MEDFORD ST	ARLINGTON HOUSING AUTHORITY	CHESTNUT MANOR	4 WINSLOW ST	ARLINGTON MA, 02474
049.A-0002-0005.D	47 MYSTIC ST #5D	CHAMPOUX KAREN M		47 MYSTIC STREET #5D	ARLINGTON MA, 02474
049.0-0002-0017.A	77-79 MYSTIC ST	77-79 MYSTIC STREET REALTY LLC		479 MAIN ST	WATERTOWN MA, 02472
049.A-0002-0004.D	47 MYSTIC ST #4D	DIMITROV STANKO P & SVETLA		500 WESTOVER DR	SANFORD NC, 27330
049.A-0002-0002.C	47 MYSTIC ST #2C	LINDA J LYSTER LIVING TRUST		47 MYSTIC STREET #2C	ARLINGTON MA, 02474
049.A-0002-0006.D	47 MYSTIC ST #6D	SWORDS BETH		47 MYSTIC STREET #6D	ARLINGTON MA, 02474
049.A-0002-0007.E	47 MYSTIC ST #7E	KANG LIH H		28 CONANT RD	CHESTNUT HILL MA, 02467
063.A-0005-0006.0	14 RUSSELL ST #3	CAMPBELL ROBERT H & MARY K	CAMPBELL MARSHA A/ TRUSTEE	14 RUSSELL ST #3	ARLINGTON MA, 02474
049.A-0002-0003.C	47 MYSTIC ST #3C	BORCHEK JOHN A--ETAL	GILBERT JOHN M	47 MYSTIC ST UNIT 3C	ARLINGTON MA, 02474
049.A-0002-0008.B	47 MYSTIC ST #8B	PIKARSKY GISELA TR	47 MYSTIC ST REALTY TRUST	47 MYSTIC STREET #8B	ARLINGTON MA, 02474



**CERTIFIED ABUTTERS LIST****Date:** January 12, 2026**Subject Property Addresses:** 71 MYSTIC ST, ARLINGTON, MA**Subject Property ID:** 49-2-19.A**Search Distance:** 300 Feet - Zoning

4

				MALING ADDRESS	
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Town, State, Zip
049.A-0002-0007.A	47 MYSTIC ST #7A	FLENTJE ANN MARY STANISKI/TRS	ANN MARY STANISKI FLENTJE 2002	47 MYSTIC STREET #7A	ARLINGTON MA, 02474
049.A-0002-0002.B	47 MYSTIC ST #2B	BUCKWALTER CORRY C/ TRUSTEE	CORRY C BUCKWALTER TRUST	47 MYSTIC ST UNIT 2B	ARLINGTON MA, 02474
049.O-0003-0001.A	74 MYSTIC ST	CARNEY CHRISTINE C		98 RICHFIELD ROAD	ARLINGTON MA, 02474
049.A-0002-0002.A	47 MYSTIC ST #2A	CASCAP-METSTATE HOUSING LLC		810 MEMORIAL DR; STE 107	CAMBRIDGE MA, 02139
049.A-0002-0004.A	47 MYSTIC ST #4A	FRANCO-ALVARADO NICOLE C		47 MYSTIC ST UNIT 4A	ARLINGTON MA, 02474
049.O-0001-0017.A	0LOT MYSTIC ST	TOWN OF ARLINGTON CEMETERY		730 MASS AVE	ARLINGTON MA, 02476
050.O-0004-0002.O	0LOT MYSTIC ST	MIRAK ROBERT/CHARLES/EDWARD	TRUSTEES/THIRTY MYSTIC TR	438 MASS AVENUE	ARLINGTON MA, 02474
049.A-0002-0008.E	47 MYSTIC ST #8E	BERMAN CHARLES H/ TRUSTEE	CHARLES H BERMAN REVOCABLE	47 MYSTIC ST; APT 8-E	ARLINGTON MA, 02474
049.C-0003-0006.O	60 MYSTIC ST #6	RANDALL EMILY P		60 MYSTIC ST #6	ARLINGTON MA, 02474
049.A-0002-0001.F	47 MYSTIC ST #1F	IBRAHIM SHARIFAH DEBORAH S	JOHNSTON ROSS	47 MYSTIC ST; UNIT 1F	ARLINGTON MA, 02474
063.A-0006-0002.H	17 PRESCOTT ST #2	DANILOVIC MILISAV	ANGULO OXANA M BRENES	17 PRESCOTT ST #2	ARLINGTON MA, 02474
046.O-0001-0012.O	0LOT MEDFORD ST	TOWN OF ARLINGTON CEMETERY		730 MASS AVE	ARLINGTON MA, 02476
063.A-0006-0002.F	13-15 PRESCOTT ST #1	KELLERT KEVIN L/LIFE ESTATE	KELLERT DANA SHIELDS/ LIFE EST	15 PRESCOTT ST	ARLINGTON MA, 02474
063.A-0005-0007.O	24 PRESCOTT ST #4	BOUJOULIAN JOHN M		24 PRESCOTT ST #4	ARLINGTON MA, 02474
049.O-0002-0011.O	2 GARDEN ST	2 GARDEN STREET LLC		2 GARDEN ST	ARLINGTON MA, 02474
049.A-0002-0007.C	47 MYSTIC ST #7C	SARKISIAN GEORGE D--ETAL	PARSEKIAN SATINEG	47 MYSTIC STREET #7C	ARLINGTON MA, 02474



**The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.**

Town of Arlington  
Office of the Board of Assessors  
730 Massachusetts Ave • Arlington, MA 02476  
P: 781-316-3050 E: assessors@town.arlington.ma.us









## Town of Arlington, Massachusetts

---

### #3873 125 Broadway

#### Summary:

Link to OpenGov application: <https://arlingtonma.portal.opengov.com/records/215732>

#### ATTACHMENTS:

Type	File Name	Description
Reference Material	3873_125_Broadway_abutter_list_and_map.pdf	3873 125 Broadway abutter list and map
Reference Material	3873_125_Broadway_legal_ad.pdf	3873 125 Broadway legal ad
Reference Material	3873_125_Broadway_Variance_Application_V-26-1.pdf	3873 125 Broadway Variance Application V-26-1
Reference Material	3873_125_BROADWAY_SITE_PLAN_125_BROADWAY__7_14_25.pdf	3873 125 BROADWAY SITE PLAN 125 BROADWAY 7 14 25
Reference Material	3873_125_BROADWAY_IMPACT_STATEMENT_for_Variance.pdf	3873 125 BROADWAY IMPACT STATEMENT for Variance
Reference Material	3873_125_BROADWAY_01-14_-_SCHEMATIC_DESIGN_ARLINGTON.pdf	3873 125 BROADWAY 01-14 - SCHEMATIC DESIGN ARLINGTON
Reference Material	3873_125_BROADWAY_Eli_s_Arlington_MA_Exterior__signage.pdf	3873 125 BROADWAY Eli's Arlington MA Exterior signage
Reference Material	3873_125_BROADWAY_06-11-2025_-_LEED_CHECKLIST_-_125_BROADWAY_-_ARLINGTON.pdf	3873 125 BROADWAY 06-11-2025 - LEED CHECKLIST - ARLINGTON
Reference Material	3873_125_BROADWAY_01-28_-_rev1-06.11.2025_-_PERMIT_SET_-_STAMPED__ARLINGTON.pdf	3873 125 BROADWAY 01-28 - rev1-06.11.2025 - PERMIT SET - STAMPED ARLINGTON
Reference Material	3873_125_BROADWAY_Docket2903_11191993.pdf	3873 125 BROADWAY Docket2903_11191993
Reference	3873_125_BROADWAY_Docket1178_05181972.pdf	3873 125 BROADWAY

Material

Docket1178\_05181972

- ▢ Reference 3873\_125\_BROADWAY\_Docket2257\_01311979.pdf
- ▢ Material

3873 125

BROADWAY

Docket2257\_01311979

- ▢ Reference 3873\_125\_BROADWAY\_Docket951\_06271967.pdf
- ▢ Material

3873 125

BROADWAY

Docket951\_06271967





# **CERTIFIED ABUTTERS LIST**

**Date:** January 8, 2026

**Subject Property Addresses:** 125 BROADWAY, ARLINGTON, MA

**Subject Property ID:** 38-1-1

**Search Distance:** 300 Feet - Zoning

				MALING ADDRESS	
Parcel ID:	Property Location	Owner 1	Owner 2	Mailing Address 1	Town, State, Zip
030.0-0002-0002.0	134-136 BROADWAY	SOFRONAS JEAN D		54 TUFTS STREET	ARLINGTON MA, 02474
027.0-0001-0024.0	93-95 EVERETT ST	MANNING MARY TRUSTEE	93-95 EVERETT ST TRUST	95 EVERETT ST	ARLINGTON MA, 02474
030.A-0003-0005.1	98-100 EVERETT ST #1	WEBB CHRISTIAN	CARDOSO RENATA	100 EVERETT ST UNIT 1	ARLINGTON MA, 02474
038.0-0002-0005.A	48 NORTH UNION ST	TOWN OF ARLINGTON-PARK		730 MASS AVE	ARLINGTON MA, 02476
027.A-0001-0106.1	106 GRAFTON ST #1	HOGLUND DAVID ERIC	HOGLUND SUSANNA TARAS	106 GRAFTON ST UNIT 1	ARLINGTON MA, 02474
027.0-0001-0007.0	96-98 GRAFTON ST	KNISELL CAROL A/LIFE ESTATE	REMAINDER DEBORAH KNISELL	96 GRAFTON ST	ARLINGTON MA, 02474
030.A-0003-0001.0	90 EVERETT ST #1	STARKEY JULIA &	MULLIGAN KELLY E	90 EVERETT STREET UNIT 1	ARLINGTON MA, 02474
030.0-0002-0025.0	148 BROADWAY	CARRIG ROBERT & NANCY JANE	MURPHY REAL ESTATE HOLDINGS LL	C/O RENZI BULGER GROUP LLC; PO BOX 750057	ARLINGTON MA, 02475
027.0-0001-0006.0	100-102 GRAFTON ST	LOMBARDI REBECCA L		227 NORTHERN BLVD	NEWBURYPORT MA, 01950
038.0-0002-0009.0	117 BROADWAY	DSBI LLC		536 GRANITE ST	BRAINTREE MA, 02184
038.0-0003-0001.0	OLOT BROADWAY	TOWN OF ARLINGTON SELECTMEN		730 MASS AVE	ARLINGTON MA, 02476
030.0-0002-0004.0	98 HARLOW ST	PITINGOLO JOHN R	PITINGOLO STEVEN F/ TRUSTEE	98 HARLOW ST	ARLINGTON MA, 02474
030.0-0003-0001.0	132 BROADWAY	BEALS DEXTER FITZGEOFFREYS &	BEALS Yael	132 BROADWAY	ARLINGTON MA, 02474
027.0-0001-0001.0	105 EVERETT ST	NARGISO JESSICA ELLEN	HAAS JASON MATTHEW	105 EVERETT ST	ARLINGTON MA, 02474
027.A-0001-0120.0	120 BROADWAY #120	WANG ZI JUN	LEHR JORGE	120 BROADWAY	ARLINGTON MA, 02474
027.A-0001-0118.0	118 BROADWAY #118	SHAIK MD MUNAN	KHATON MST MONIRA	118 BROADWAY	ARLINGTON MA, 02474
030.0-0003-0022.0	91 HARLOW ST	ALTON SEAN P & ANGELA A		91 HARLOW ST	ARLINGTON MA, 02474
027.0-0002-0001.0	106-108 BROADWAY	106-108 BROADWAY ARLINGTON LLC		1 KITSON PARK DRIVE	LEXINGTON MA, 02421
030.A-0003-0002.2	130 BROADWAY #2	SCOTT SARA & LAUREN		130 BROADWAY UNIT 2	ARLINGTON MA, 02474
027.A-0001-0025.0	97 EVERETT ST #1	QUINLAN JO-ELLEN		97 EVERETT STREET #1	ARLINGTON MA, 02474
030.0-0002-0001.0	142-144 BROADWAY	SAINI SARBJIT S &	SINGH BHOPINDER	144 BROADWAY	ARLINGTON MA, 02474
038.0-0001-0002.0	127-133 BROADWAY	CONSERVATION FOOD & HEALTH	FOUNDATION INC	466B TRAPELO ROAD	BELMONT MA, 02478
030.0-0003-0003.0	128 BROADWAY	BARTLETT RITA F/ LIFE ESTATE		128 BROADWAY	ARLINGTON MA, 02474
030.A-0003-0001.1	130 BROADWAY #1	WILLIAMS CHRISTOPHER	POUNDS-WILLIAMS TIFFANY	130 BROADWAY UNIT 1	ARLINGTON MA, 02474
027.A-0001-0026.0	97 EVERETT ST #2	HEATH-STOUT ALLEGRA ETAL	TRS/ HEATH-STOUT JOINT LIVING	643 NATOMA ST	SAN FRANCISCO CA, 94103
030.0-0002-0003.0	100-102 HARLOW ST	GUPTA SWETA K	KUMAR RITESH	102 HARLOW ST	ARLINGTON MA, 02474
027.A-0001-0106.2	106 GRAFTON ST #2	PETITPAS GEORGES & JENNY	PETITPAS STEVEN & SUSAN	106 GRAFTON ST; UNIT 2	ARLINGTON MA, 02474



**CERTIFIED ABUTTERS LIST****Date:** January 8, 2026**Subject Property Addresses:** 125 BROADWAY, ARLINGTON, MA**Subject Property ID:** 38-1-1**Search Distance:** 300 Feet - Zoning

Parcel ID:	Property Location	Owner 1	Owner 2	MAILING ADDRESS	
				Mailing Address 1	Town, State, Zip
038.0-0001-0001.0	125 BROADWAY	ELKHAOULI ELIAS/LILLIAN	TRS/125 BOADWAY TRUST	6 JAFFREY STREET	SAUGUS MA, 01906
030.A-0003-0005.2	98-100 EVERETT ST #2	ABASKHAROUN NAZMY ETAL/ TRS	100 EVERETT STREET NOMINEE TR	100 EVERETT ST; UNIT 2	ARLINGTON MA, 02474
027.0-0001-0003.0	114-116 BROADWAY	COMMUNITY ALTERNATIVE RES ENV		291 MYSTIC AVE	MEDFORD MA, 02155
030.0-0003-0004.0	126 BROADWAY	126 BROADWAY LLC		77 OAK ST; UNIT B3	NEWTON MA, 02464
030.0-0003-0006.0	94-96 EVERETT ST	KOENIG JAMES PHILIP--ETAL	KOENIG MARY LOUISE	94 EVERETT STREET	ARLINGTON MA, 02474
030.0-0002-0005.0	94 HARLOW ST	NANOPOULOS ALEXANDROS	ANDRONIKOS NICHOLAS	94 HARLOW ST	ARLINGTON MA, 02474
038.0-0002-0005.C	OLOT BROADWAY	EAST CAMBRIDGE SAVINGS BANK		292 CAMBRIDGE ST	CAMBRIDGE MA, 02141
030.0-0003-0023.0	95 HARLOW ST	D ANGELO JOSEPH S & MARGARET M	TRS/P&J 95 HARLOW STREET TRUST	6 THERESA RD	STONEHAM MA, 02180
030.A-0003-0002.0	90 EVERETT ST #2	MAZZOLA JEAN M		90 EVERETT STREET UNIT 2	ARLINGTON MA, 02474
027.0-0001-0023.0	89-91 EVERETT ST	SINGH HARDEEP & RAMANJIT		89 EVERETT ST	ARLINGTON MA, 02474
027.0-0001-0004.0	110-112 BROADWAY	BROADWAL INC.		291 MYSTIC AVE	MEDFORD MA, 02155
027.0-0001-0026.0	103 EVERETT ST	ELIOPOULOS EVANGELIA/TRS	EVANGEKIA ELIOPOULOS TRUST	103 EVERETT ST	ARLINGTON MA, 02474
038.0-0002-0007.0	105 BROADWAY	EAST CAMBRIDGE SAVINGS BANK		292 CAMBRIDGE ST	CAMBRIDGE MA, 02141
030.0-0003-0024.A	99 HARLOW ST #1	STONE BETTY		99 HARLOW STREET #1	ARLINGTON MA, 02474
030.0-0003-0024.B	99 HARLOW ST #2	LEE ALEXANDRA/ TRUSTEE	ALEXANDRA LEE REVOCABLE TRUST	99 HARLOW ST #2	ARLINGTON MA, 02474
038.0-0002-0008.A	111 BROADWAY	LYONS FUEL INC		P.O. BOX 384	ARLINGTON MA, 02476



**The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to a single parcel within 300 feet.**

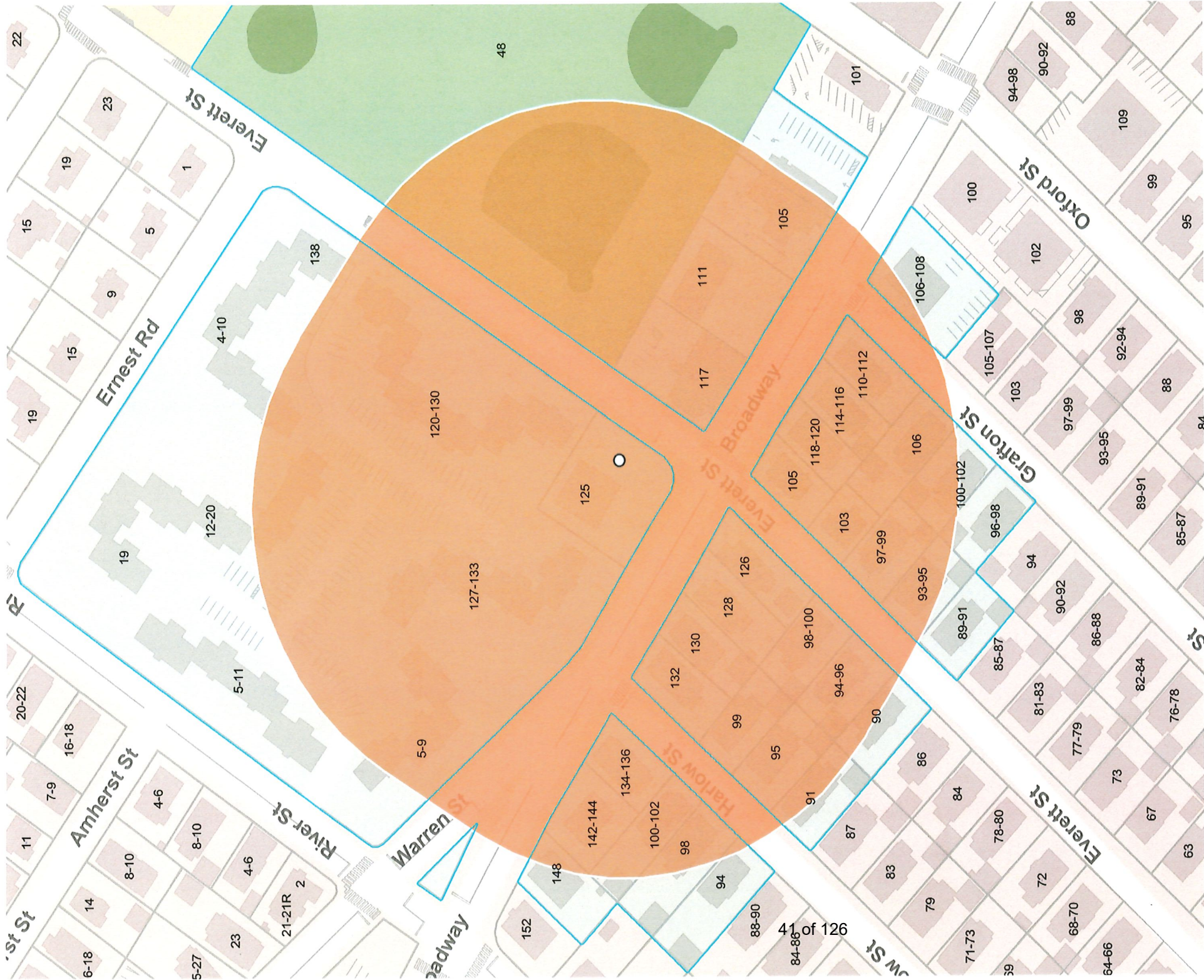
Town of Arlington

Office of the Board of Assessors

730 Massachusetts Ave • Arlington, MA 02476

P: 781-316-3050 E: assessors@town.arlington.ma.us







**Order Number:** LNEO0439039  
**External Order #:** 11995419  
**Order Status:** Approved  
**Classification:** Public Notices  
**Package:** General Package  
**1 Affidavit:** 5.00  
**Total payment:** 192.48  
**Payment Type:** Account Billed  
**User ID:** L0023538  
**External User ID:** 670931

**ACCOUNT INFORMATION**

Arlington Board Of Appeals  
51 Grove St  
Arlington, MA 02476-4602  
781-316-3396  
cralston@town.arlington.ma.us  
Arlington Board Of Appeals  
Contract ID:

**TRANSACTION REPORT**

**Date** January 12, 2026  
11:32:09 AM EST  
**Amount:** 192.48

**ADDITIONAL OPTIONS**

1 Affidavit

**SCHEDULE FOR AD NUMBER LNEO04390390**

January 22, 2026  
**The Advocate & Star**  
(Arlington -  
Winchester)  
January 29, 2026  
**The Advocate & Star**  
(Arlington -  
Winchester)

**ZBA Hearing Notice**  
**125 Broadway, Arlington**

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by Elias and Lillian Elkhaouli, 125 Broadway Trust, on January 9, 2026, a petition seeking to alter their property located at 125 Broadway - Block Plan 038.0-0001-0001.0.

The said petition is for a Variance under Bylaw 3.2.2 of the Zoning Bylaw for the Town of Arlington.

A hearing regarding the petition will be conducted remotely via "Zoom", on Tuesday, February 10, 2026, at 7:30 P.M. as soon thereafter as the petitioner may be heard.

To register for the meeting and view documents related to this application go to the Town of Arlington calendar at <https://www.arlingtonma.gov/connect/calendar>, choose the date of the meeting you wish to attend, register for the Zoom meeting, and review documents relating to the application by clicking the link to the agenda. Please direct any questions to: ZBA@town.arlington.ma.us  
Christian Klein, RA, Chair,  
Zoning Board of Appeals  
January 22, 29 2026  
LNEO0439039





## Record No: V-26-1

Variance Permit Application (ZBA)

Status: Active

Submitted On: 1/9/2026

## Primary Location

125 BROADWAY  
Arlington, MA 02474

## Owner

ELKHAOULI ELIAS/LILLIAN; TRS/125 BOADWAY  
TRUST  
6 JAFFREY STREET 637 Massachusetts  
Avenue SAUGUS, MA 01906

---

## Variance Permit Criteria

Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.\*

The property is currently being used as a gasoline station with two repairs bays, there is no proposed change in use, the requested use will be the same with the exception that there will be three repair bays and a larger waiting area. The existing structure will be renovated and slightly expanded; the current roof will remain. The use is allowed under the Zoning Bylaws as provided for by the four (4) previous Zoning Board of Appeals decisions on this property: Appeal 951 in June, 1967; Appeal No. 1178 in May, 1972; Appeal No.: 2257 in January, 1979; and Appeal 2903 of 1993, all of which provided for the current Auto Repair Shop and Auto Service Station use and structure and signage. The side and rear setbacks will remain as existing.

**Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.\***

Eli has undertaken a redesign of his existing structure and canopy at 125 Broadway to allow for a modern self-serve station with an additional repair bay and with upgrades to the island, canopy, point of sale and fire suppression systems. All as allowed under the Zoning Bylaws. A contrary enforcement of the Zoning Bylaws would cause financial hardship to the public as well as the applicant as the renovation and upgrade of the property would not go forward and the business model may well become financially unviable.

**Describe how desirable relief may be granted without substantial detriment to the public good. \***

As always Eli's will continue to serve the elderly and disabled as he currently does with the option for attendant service, in accordance with our Zoning Bylaws and in compliance with the Americans with Disabilities Act (ADA) and Massachusetts Gas Station Law G.L. c. 94, 295CC, which require self-serve gas stations to provide equal access to their customers with disabilities. Arlington has a decreasing number of gasoline service stations and automotive repair shops; the preservation of locally owned businesses is essential and desirable. the addition repair bay will service the public's need for automotive repair in a timely and cost effective manner.

**Describe how desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.\***

The requested use as an existing building with a 500 square foot addition will be unchanged and will continue to rest harmoniously with the terrain and in use, scale, and architecture of existing buildings in the vicinity. As the existing use and requested use are the same there will be no nullification or derogation of the Zoning Bylaws or harm to the neighborhood.



State Law (MGL Chapter 40a, Section 10) requires that the Zoning Board of Appeals must find that all four (4) criteria are met in order to be authorized to grant a Variance. If any one of the standards is not met, the Board must deny the Variance.

---

## Dimensional and Parking Information

### Present Use/Occupancy \*

Auto Repair Shop and Auto Service  
Station, Zoning Bylaw section 2.1

### Proposed Use/Occupancy \*

Auto Repair Shop and Auto Service  
Station, Zoning Bylaw section 2.1

### Existing Number of Dwelling Units\*

0

### Proposed Number of Dwelling Units\*

0

### Existing Gross Floor Area (Sq. Ft.)\*

2100

### Proposed Gross Floor Area (Sq. Ft.)\*

2508.43

### Existing Lot Size (Sq. Ft.)\*

9888.12

### Proposed Lot Size (Sq. Ft.)\*

9888.12

### Minimum Lot Size required by Zoning\*

0

### Existing Frontage (ft.)\*

100

### Proposed Frontage (ft.)\*

114.27

### Minimum Frontage required by Zoning\*

50

### Existing Floor Area Ratio\*

0

### Proposed Floor Area Ratio\*

0

**Max. Floor Area Ratio required by Zoning\***

1

**Existing Lot Coverage (%)\***

0

**Proposed Lot Coverage (%)\***

0

**Max. Lot Coverage required by Zoning\***

0

**Existing Lot Area per Dwelling Unit (Sq. Ft.)\***

0

**Proposed Lot Area per Dwelling Unit (Sq. Ft.)\***

0

**Minimum Lot Area per Dwelling Unit required by Zoning\***

0

**Existing Front Yard Depth (ft.)\***

50

**Proposed Front Yard Depth (ft.)\***

50

**Minimum Front Yard Depth required by Zoning\***

0

**Existing Left Side Yard Depth (ft.)\***

13

**Proposed Left Side Yard Depth (ft.)\***

13

**Minimum Left Side Yard Depth required by Zoning\***

0

**Existing Right Side Yard Depth (ft.)\***

40

**Proposed Right Side Yard Depth (ft.)\***

40

**Minimum Right Side Yard Depth required by Zoning\***

0

**Existing Rear Yard Depth (ft.)\***

3

**Proposed Rear Yard Depth (ft.)\***

3



**Minimum Rear Yard Depth required by Zoning\***

20

**Existing Height (stories)**

1

**Proposed Height (stories)\***

1

**Maximum Height (stories) required by Zoning\***

3

**Existing Height (ft.)\***

13

**Proposed Height (ft.)\***

13

**Maximum Height (ft.) required by Zoning\***

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

**Existing Landscaped Open Space (Sq. Ft.)\***

0

**Proposed Landscaped Open Space (Sq. Ft.)\***

0

**Existing Landscaped Open Space (% of GFA)\***

0

**Proposed Landscaped Open Space (% of GFA)\***

0

**Minimum Landscaped Open Space (% of GFA)  
required by Zoning\***

0

**Existing Usable Open Space (Sq. Ft.)\***

0

**Proposed Usable Open Space (Sq. Ft.)\***

0

**Existing Usable Open Space (% of GFA)\***

0

**Proposed Usable Open Space (% of GFA)\***

0

**Minimum Usable Open Space required by Zoning\***

0

**Existing Number of Parking Spaces\***

6

**Proposed Number of Parking Spaces\***

6

**Minimum Number of Parking Spaces required by Zoning\***

2.5

**Existing Parking area setbacks**

0

**Proposed Parking area setbacks \***

0

**Minimum Parking Area Setbacks required by Zoning\***

0

**Existing Number of Loading Spaces**

1

**Proposed Number of Loading Spaces\***

1

**Minimum Number of Loading Spaces required by Zoning\***

1

**Existing Slope of proposed roof(s) (in. per ft.)\***

1.13

**Proposed Slope of proposed roof(s) (in. per ft.)\***

1.13

**Minimum Slope of Proposed Roof(s) required by Zoning\***

0

**Existing type of construction\***

block and wood frame

**Proposed type of construction\***

block and wood frame



## Open Space Information

Existing Total Lot Area\*

9882

Proposed Total Lot Area\*

9882

Existing Open Space, Usable\*

0

Proposed Open Space, Usable\*

0

Existing Open Space, Landscaped\*

0

Proposed Open Space, Landscaped\*

0

---

## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

0

Basement or Cellar, Proposed Gross Floor Area

0

1st Floor, Existing Gross Floor Area

2100

1st Floor, Proposed Gross Floor Area

2508.43

2nd Floor, Existing Gross Floor Area

0

2nd Floor, Proposed Gross Floor Area

0

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies, Existing  
Gross Floor Area

0

All weather habitable porches and balconies,  
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

2100



Total Proposed Gross Floor Area

2508.43



## APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.\*

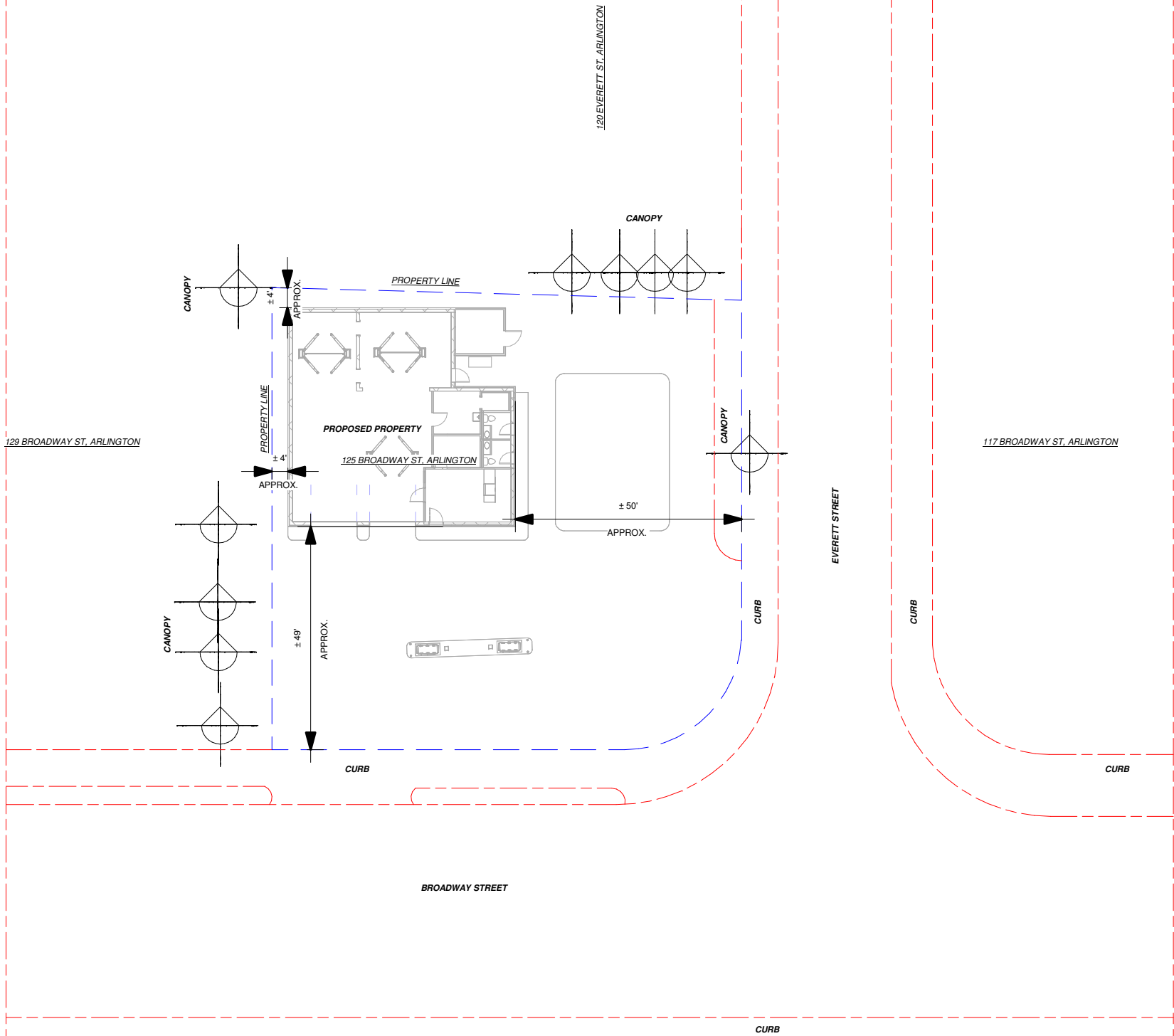


Applicant's Signature\*

✓ John D. Leone, Esq.  
Jan 9, 2026



**LOT INFORMATION SHOWN IS BASED ON SCHEMATIC DATA  
AND IS FOR REFERENCE ONLY. ACCURACY IS NOT GUARANTEED  
AND SHOULD BE VERIFIED BY A LICENSED SURVEYOR.**



1 SITE PLAN  
1" = 30'-0"



(978) 759-7799  
contact@solveplus.com  
www.solveplus.com

125 BROADWAY  
ARLINGTON, MA 02474  
ELI'S GAS STATION

SITE PLAN

Drawn by:

Date: 06/12/2025

SCHEMATIC  
DRAWING

DESCRIPTION

#

Projec125B\_ARL\_2025

Scale 1" = 30'-0"

P0.01

**INTRODUCTION and IMPACT STATEMENT**  
**For a Variance**  
**125 Broadway, Arlington, MA. 02474**  
**Eli's Service Station**

This Variance application was originally submitted to the Arlington Redevelopment Board who deferred to the Zoning Board of Appeals due to the four (4) previous ZBA Appeals on this matter: Appeal 951 in June, 1967; Appeal No. 1178 in May, 1972; Appeal No.: 2257 in January, 1979; and Appeal 2903 of 1993, all of which provided for the current gasoline station use and structure and signage.

During the 2023 Annual Town Meeting Eli Elkhaouli was the proponent of Article 6 which successfully brought self service gasoline filling stations to Arlington.

Since that time a few stations have allowed self-serve. Eli has undertaken a redesign of his existing station at 125 Broadway to allow for a modern self-serve station with an additional repair bay and expanded office/waiting area and a small convenience store area. There will be upgrades to the island, canopy, point of sale and fire suppression systems.

As always Eli's will continue to serve the elderly and disabled as he currently does with the option for attendant service, in accordance with our By-laws and in compliance with the Americans with Disabilities Act (ADA) and Massachusetts Gas Station Law G.L. c. 94, 295CC, which require self-serve gas stations to provide equal access to their customers with disabilities.

**Special Permit Criteria of the ARB**

1. The use requested is listed as a Special Permit in the use regulations for the applicable district or is so designated elsewhere in this Bylaw.

The property is currently being used as a gasoline station with two repairs bays, there is no proposed change in use, the requested use will be the same with the exception that there will be three repair bays, a large waiting area and a small convenience store area. The existing structure will be renovated and slightly expanded; the current roof will remain.

2. The requested use is essential or desirable to the public convenience or welfare.

Arlington has a decreasing number of gasoline service stations and automotive repair shops; the preservation of locally owned businesses is essential and desirable.

3. The requested use will not create undue traffic congestion or unduly impair pedestrian safety.

The existing business will remain with the continued use of the existing curb cuts which will not create any additional traffic congestion nor will it impair pedestrian safety.

4. The requested use will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.

The proposed addition of approximately 500 square feet and an additional repair bay will not cause any overload of the public water, drainage or sewer system or any other municipal system.

5. Any special regulations for the use as may be provided in this Bylaw are fulfilled.

The existing and requested use are specifically allowed by the Bylaws.

6. The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals, or welfare.

The existing use and requested use are the same. The size of the front elevation will remain the same from Broadway. The proposed new repair bay will be on the Everett St. side of the building with a small extension of the building and roof line towards Everett St. As such the integrity or character of the district will be unaffected.

7. The requested use will not, by its addition to a neighborhood, cause an excess of the particular use that could be detrimental to the character of said neighborhood.

As the existing use and requested use are the same there will be no increase of the particular use in the neighborhood and as such will not be detrimental to the character of said neighborhood.

### ENVIRONMENTAL DESIGN REVIEW CRITERIA

1. **Preservation of Landscape.** The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.

The landscape, which is currently impermeable asphalt, will be unchanged.

2. **Relation of Buildings to Environment.** Proposed development shall be related harmoniously to the terrain and to the use, scale, and architecture of existing buildings in the vicinity that have functional or visual relationship to the proposed buildings.

The requested use as in an existing building with a 500 square foot addition the landscape will be unchanged and will continue to rest harmoniously with the terrain and in use, scale, and architecture of existing buildings in the vicinity.

3. **Open Space.** All open space (landscaped and usable) shall be so designed as to add to the visual amenities of the vicinity by maximizing its visibility for persons passing the site or overlooking it from nearby properties. The location and configuration of usable open space shall be so designed as to encourage social interaction, maximize its utility, and facilitate maintenance.

There is no change in the landscaped and useable open space.

4. **Circulation.** With respect to vehicular, pedestrian and bicycle circulation, including entrances, ramps, walkways, drives, and parking, special attention shall be given to location and number of access points to the public streets (especially in relation to existing traffic controls and mass transit facilities), width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, access to community facilities, and arrangement of vehicle parking and bicycle parking areas, including bicycle parking spaces required by Section 8.13 that are safe and convenient and, insofar as practicable, do not detract from the use and enjoyment of proposed buildings and structures and the neighboring properties.



The existing driveways in their current configuration will remain unchanged.

5. **Surface Water Drainage.** Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Available Best Management Practices for the site should be employed, and include site planning to minimize impervious surface and reduce clearing and re-grading. Best Management Practices may include erosion control and storm water treatment by means of swales, filters, plantings, roof gardens, native vegetation, and leaching catch basins. Storm water should be treated at least minimally on the development site; that which cannot be handled on site shall be removed from all roofs, canopies, paved and pooling areas and carried away in an underground drainage system. Surface water in all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, and will not create puddles in the paved areas.

Surface water continues to be handled as presently.

6. **Storm Water Facilities.** In accordance with Section 3.3.4, the Board may require from any applicant, after consultation with the Director of Public Works, security satisfactory to the Board to insure the maintenance of all **storm water facilities** such as catch basins, leaching catch basins, detention basins, swales, etc. within the site. The Board may use funds provided by such security to conduct maintenance that the applicant fails to do. The Board may adjust in its sole discretion the amount and type of financial security such that it is satisfied that the amount is sufficient to provide for the future maintenance needs.

Surface water will be handled as it is presently. As this is essentially an existing structure with a small minimal increase in its footprint, Section 3.3.4, the storm water by-law should not apply.

7. **Utility Service.** Electric, telephone, cable TV and other such lines and equipment shall be underground. The proposed method of sanitary sewage disposal and solid waste disposal from all buildings shall be indicated.

The requested use is already connected to the public fresh water as well as the sanitary sewage system. It currently has an electrical connection as well as telecommunication cables it is not anticipated that new service is required.

8. **Advertising Features.** The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures or features shall not detract from the use and enjoyment of proposed buildings and structures and the surrounding properties. Advertising features are subject to the provisions of Section 6.2 of the Zoning Bylaw.

These currently exists several permitted signs, such as bracket signs, freestanding signs and service island canopies. It is proposed that the freestanding sign be moved from its current location in the middle of the Broadway frontage to the west side of the Broadway frontage at the property line. The rational for the relocation is that at its the current location customers have collided with the sign stanchion on several occasion as it impedes vehicular circulation. The final design and location of the bracket and service island canopy sign has not been determined as the final contracts with possible fuel wholesale companies have not yet been completed.

9. **Special Features.** Exposed storage areas, exposed machinery installations, service areas, truck loading areas, utility buildings and structures, and similar accessory areas and structures shall be subject to such setbacks, screen plantings or other screening methods as shall reasonably be required to prevent their being incongruous with the existing or contemplated environment and the surrounding properties.

The existing and requested use remain the same, as do the storage areas, exposed machinery installations, service areas, truck loading areas and structures, and similar accessory areas.

10. **Safety.** With respect to personal safety, all open and enclosed spaces shall be designed to facilitate building evacuation and maximize accessibility by fire, police, and other emergency personnel and equipment. Insofar as practicable, all exterior spaces and interior public and semi-public spaces shall be so designed as to minimize the fear and probability of personal harm or injury by increasing the potential surveillance by neighboring residents and passersby of any accident or attempted criminal act.

The existing and requested use remain the same. The proposed requested use of the expanded waiting area and convenience store will have large double glass doorway with side light windows which will aid in the potential surveillance by neighboring residents and passersby.

11. **Heritage.** With respect to Arlington's heritage, removal or disruption of historic, traditional or significant uses, structures, or architectural elements shall be minimized insofar as practicable, whether these exist on the site or on adjacent properties.

No historic or other building will be removed.

12. **Microclimate.** With respect to the localized climatic characteristics of a given area, any development which proposes new structures, new hard-surface ground coverage, or the installation of machinery which emits heat, vapor, or fumes, shall endeavor to minimize, insofar as practicable, any adverse impact on light, air, and water resources, or on noise and temperature levels of the immediate environment.

There are no proposed new structures or new hard-surface ground coverage nor the installation of machinery which emits heat, vapor, or fumes. All efforts to do so will be taken to minimize environmental impact.

13. **Sustainable Building and Site Design.** Projects are encouraged to incorporate best practices related to sustainable sites, water efficiency, energy and atmosphere, materials and resources, and indoor environmental quality. Applicants must submit a current Green Building Council Leadership in Energy and Environmental Design (LEED) checklist, appropriate to the type of development, annotated with narrative description that indicates how the LEED performance objectives will be incorporated into the project.

If requested the applicants will submit a current Green Building Council (LEED) checklist.

125 BROADWAY



EXTERIOR VIEW

LINK EXPIRES AT 02/07/2025

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ELI'S GAS STATION

125 BROADWAY  
ARLINGTON, MA 02474

3D VIEWS

125B\_ARL\_2025

01/13/2025

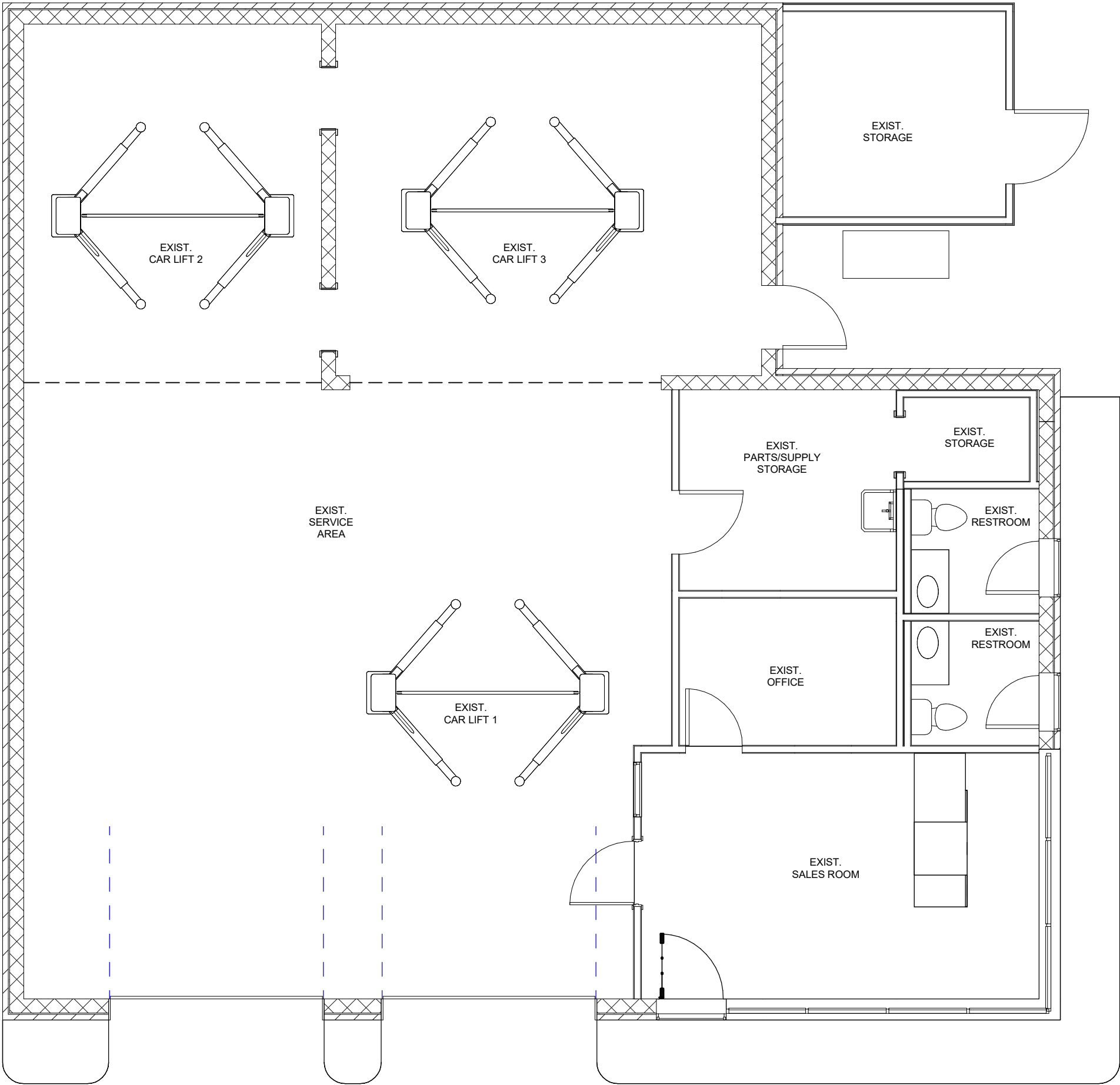
SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS  
NOT FOR  
CONSTRUCTION

A0.00

Scale:





1 EXISTING 1ST FLOOR PLAN  
3/16" = 1'-0"



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ELI'S GAS STATION  
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EXISTING FLOOR  
PLAN

125B\_ARL\_2025

01/13/2025

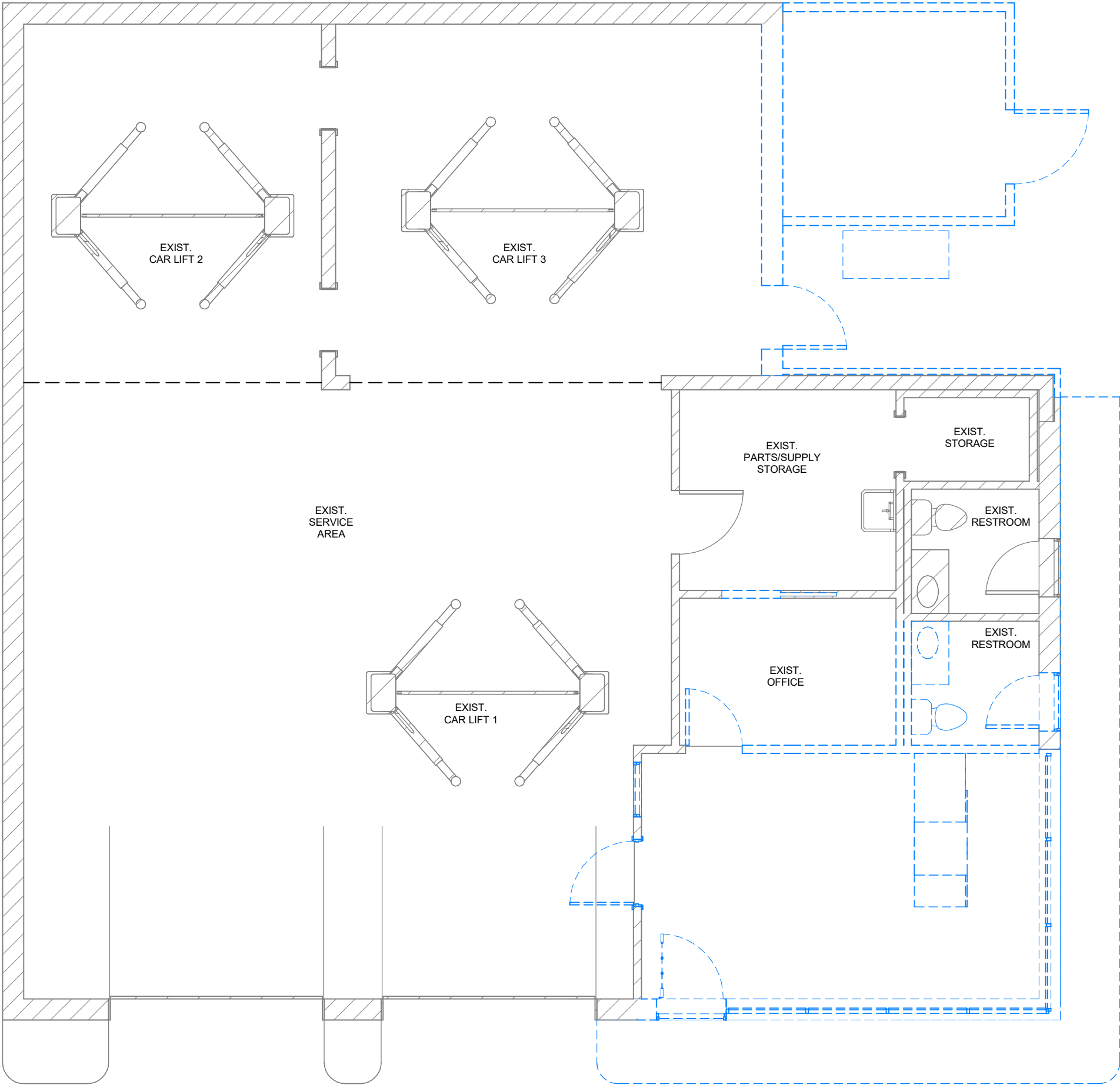
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PHASE

WORK IN PROGRESS  
**NOT FOR  
CONSTRUCTION**

A1.00

Scale:

3/16" = 1'-0"



1 PROPOSED 1ST FLOOR DEMO PLAN  
3/16" = 1'-0"



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ELI'S GAS STATION  
  
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ARLINGTON, MA 02474

PROPOSED 1ST  
FLOOR  
DEMOLITION  
PLAN

125B\_ARL\_2025

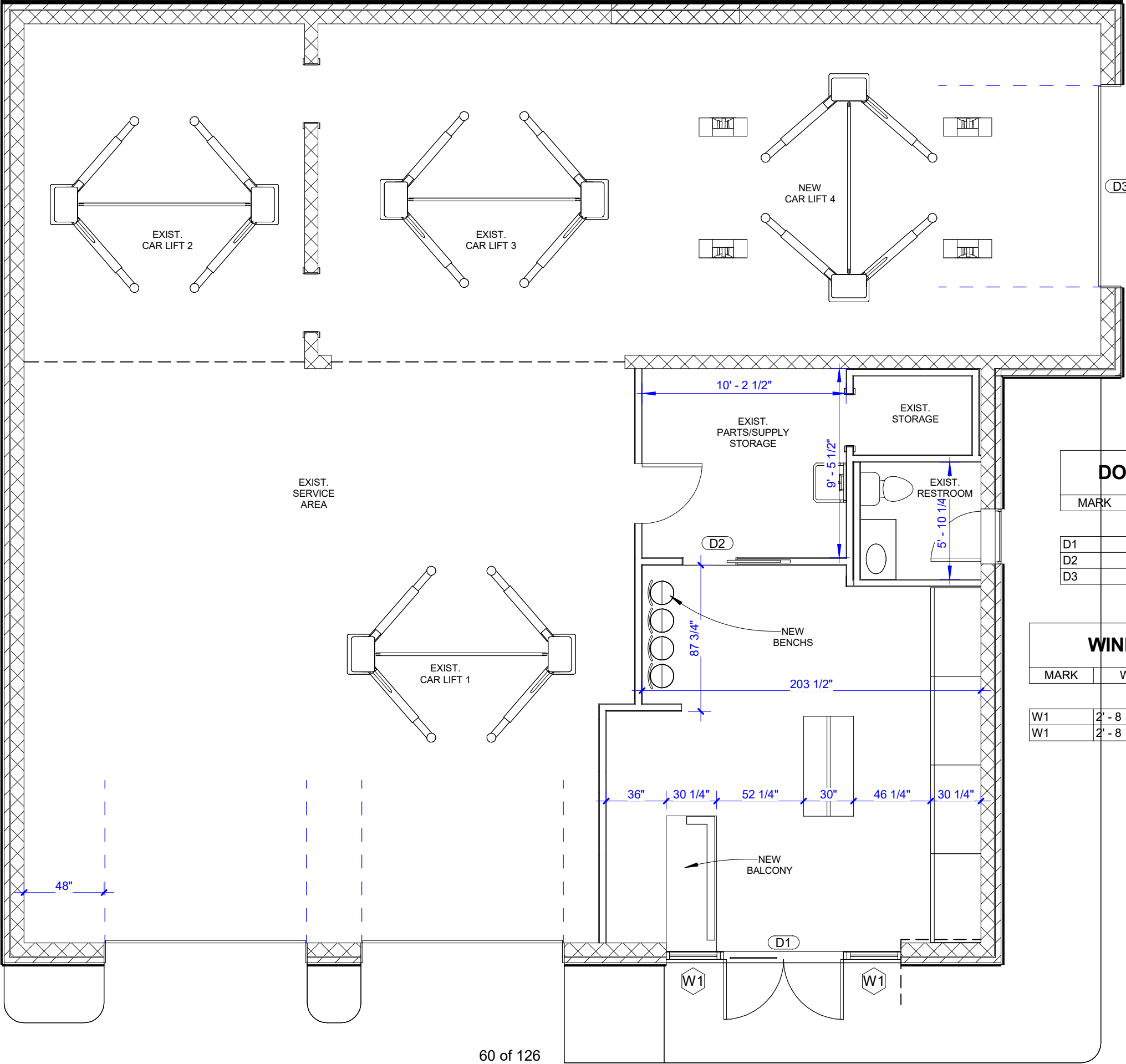
01/13/2025

SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS  
  
NOT FOR  
CONSTRUCTION

A1.00A

Scale:  
  
3/16" = 1'-0"



DOOR SCHEDULE		
MARK	WIDTH	HEIGHT
D1	3' - 0"	7' - 0"
D2	2' - 8"	6' - 8"
D3	10' - 0"	9' - 6"

D1	3' - 0"	7' - 0"
D2	2' - 8"	6' - 8"
D3	10' - 0"	9' - 6"

WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	SILL HEIGHT
W1	2' - 8 1/2"	8' - 8 3/4"	0' - 0"
W1	2' - 8 1/2"	8' - 8 3/4"	0' - 0"

W1	2' - 8 1/2"	8' - 8 3/4"	0' - 0"
W1	2' - 8 1/2"	8' - 8 3/4"	0' - 0"



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ELI'S GAS STATION

125 BROADWAY  
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PROPOSED 1ST  
FLOOR

125B\_ARL\_2025

01/13/2025

SCHEMATIC DESIGN  
PHASE

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CONSTRUCTION**

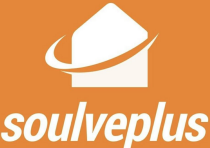
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Scale:  
**3/16" = 1'-0"**





1 EXISTING STORE FRONT ELEVATION  
3/16" = 1'-0"



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ELI'S GAS STATION

125 BROADWAY  
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EXISTING STORE  
FRONT  
ELEVATION

125B\_ARL\_2025

01/13/2025

SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS

NOT FOR  
CONSTRUCTION

A1.02

Scale:

3/16" = 1'-0"

ELI'S GAS STATION  
125 BROADWAY  
ARLINGTON, MA 02474

PROPOSED  
STORE FRONT  
ELEVATION

125B\_ARL\_2025

01/13/2025

SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS  
**NOT FOR  
CONSTRUCTION**

A1.03

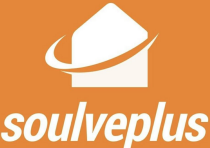
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① PROPOSED STORE FRONT ELEVATION  
3/16" = 1'-0"



① EXISTING STORE REAR ELEVATION  
3/16" = 1'-0"



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ELI'S GAS STATION  
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EXISTING STORE  
REAR ELEVATION

125B\_ARL\_2025

01/13/2025

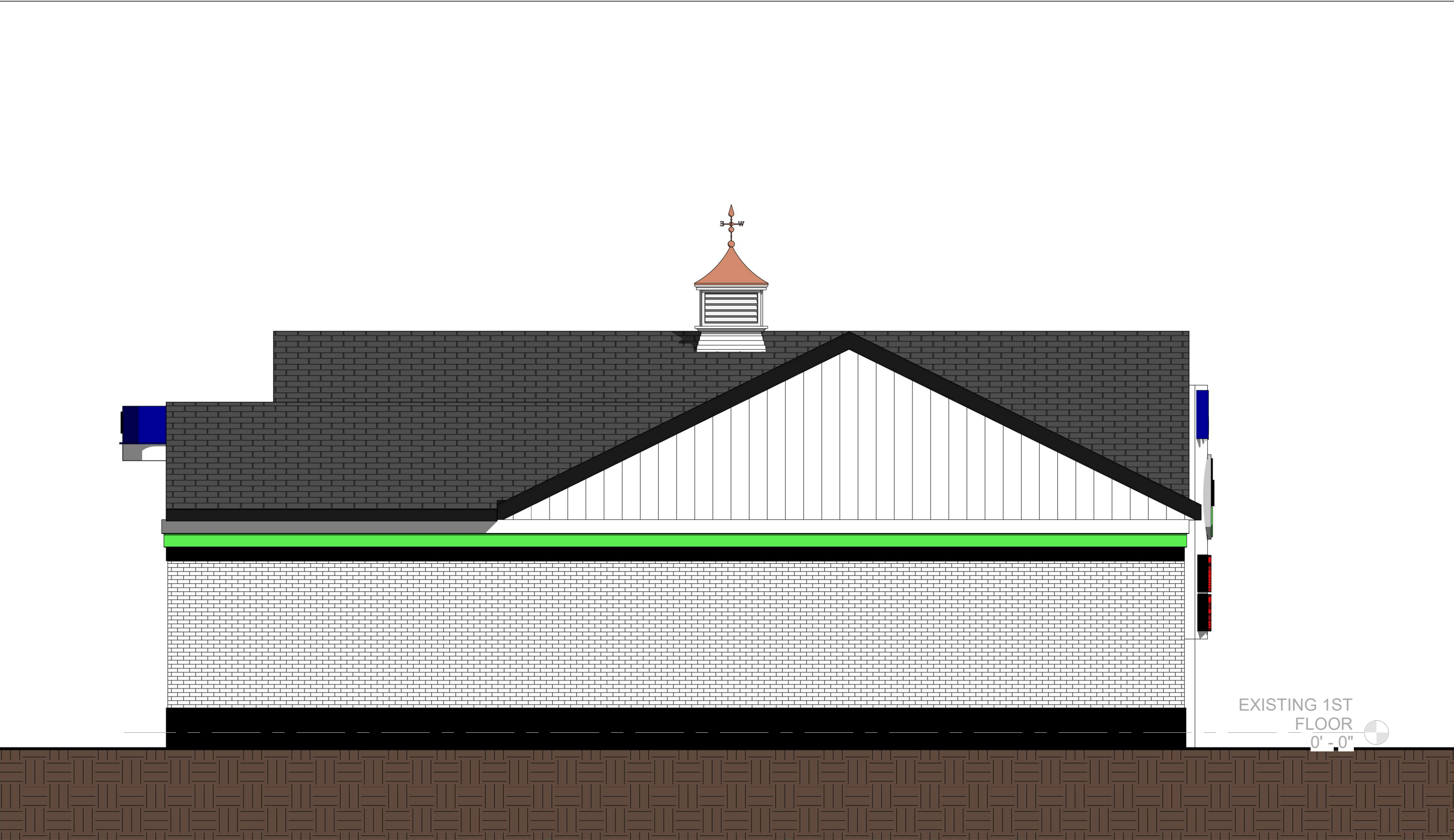
SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS  
**NOT FOR  
CONSTRUCTION**

A1.04

Scale:  
  
3/16" = 1'-0"





1

PROPOSED STORE REAR ELEVATION  
3/16" = 1'-0"



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ELI'S GAS STATION

125 BROADWAY  
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PROPOSED  
STORE REAR  
ELEVATION

125B\_ARL\_2025

01/13/2025

SCHEMATIC DESIGN  
PHASE

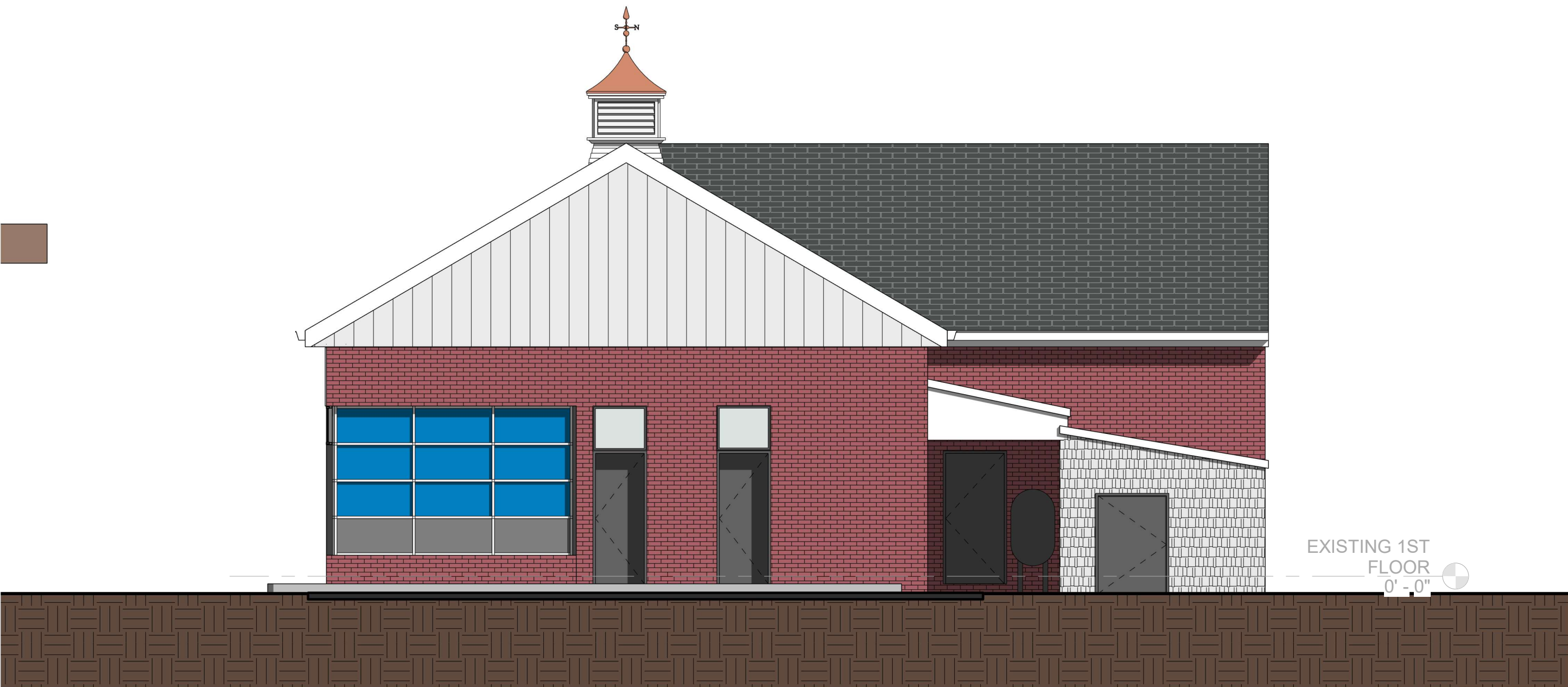
WORK IN PROGRESS

NOT FOR  
CONSTRUCTION

A1.05

Scale:

3/16" = 1'-0"



1 EXISTING STORE RIGHT SIDE ELEVATION  
3/16" = 1'-0"

ELI'S GAS STATION  
125 BROADWAY  
ARLINGTON, MA 02474

EXISTING STORE  
RIGHT SIDE  
ELEVATION

125B\_ARL\_2025

01/13/2025

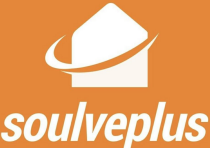
SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS  
**NOT FOR  
CONSTRUCTION**

A1.06

Scale:

3/16" = 1'-0"



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ELI'S GAS STATION

125 BROADWAY  
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PROPOSED  
STORE RIGHT  
SIDE ELEVATION

125B\_ARL\_2025

01/13/2025

SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS

NOT FOR  
CONSTRUCTION

A1.07

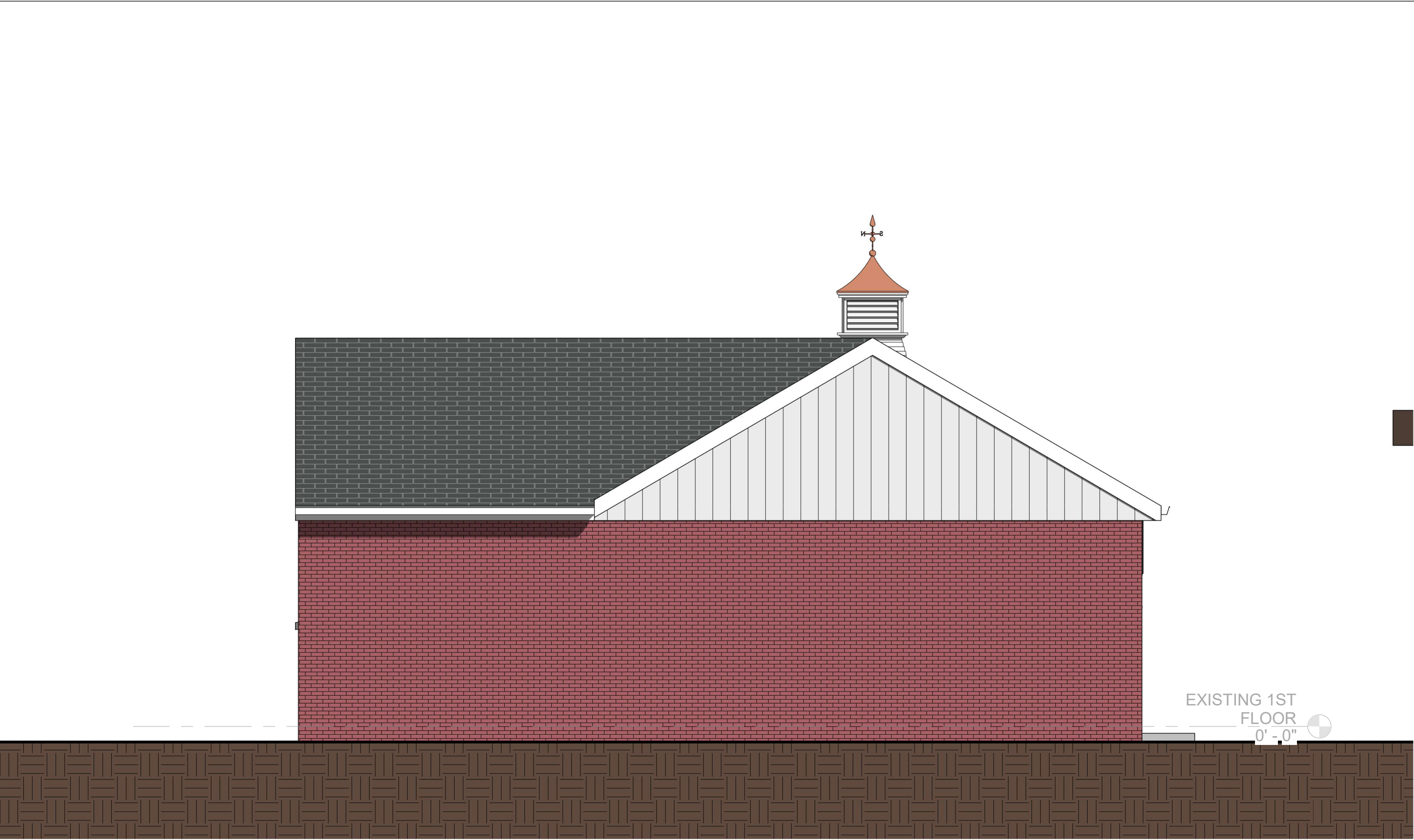
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1 PROPOSED STORE RIGHT SIDE ELEVATION  
3/16" = 1'-0"





1

EXISTING STORE LEFT SIDE ELEVATION  
3/16" = 1'-0"

ELI'S GAS STATION

125 BROADWAY  
ARLINGTON, MA 02474

EXISTING STORE  
LEFT SIDE  
ELEVATION

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01/13/2025

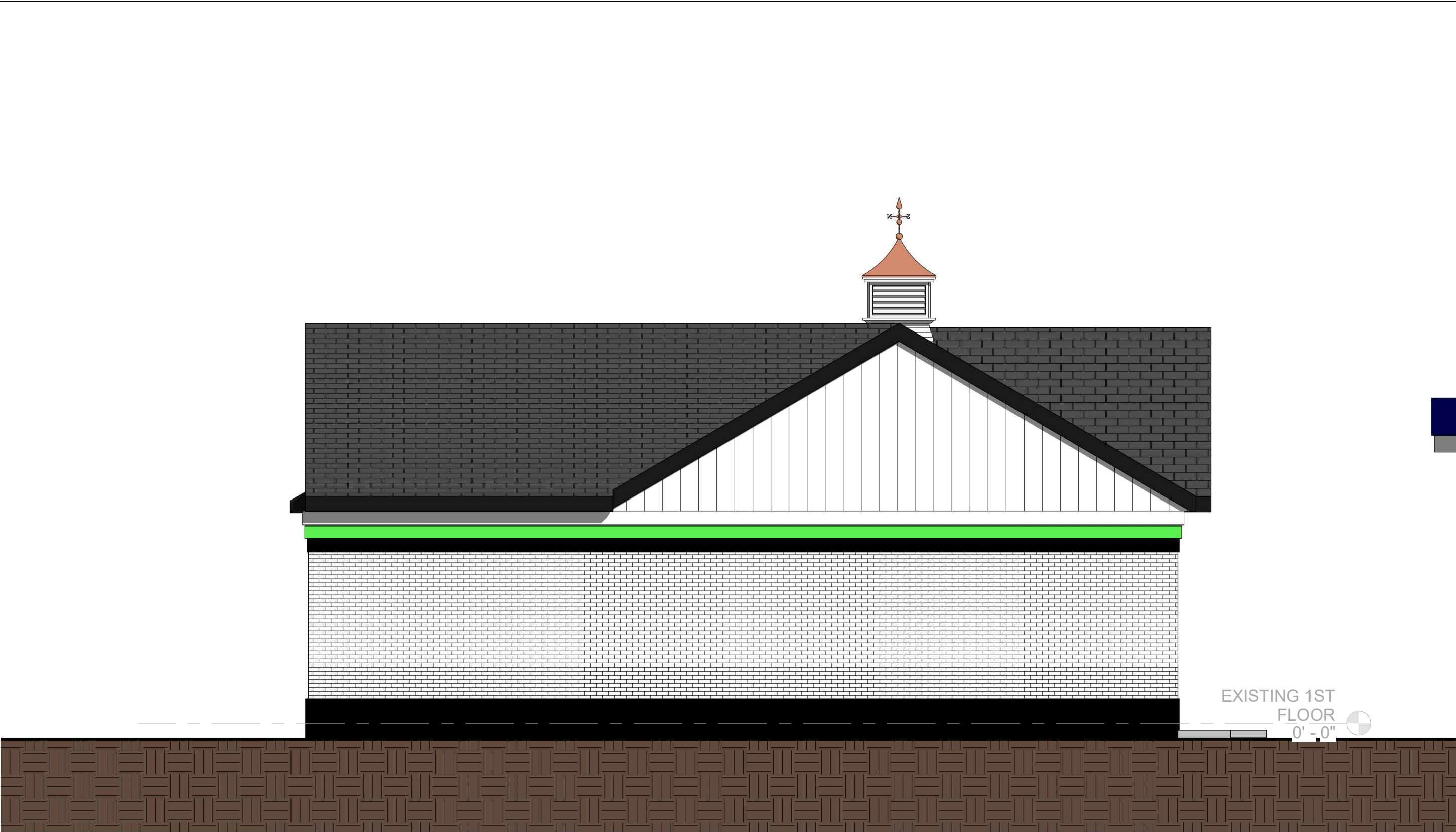
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PHASE

WORK IN PROGRESS  
**NOT FOR  
CONSTRUCTION**

A1.08


Scale:

3/16" = 1'-0"



1

PROPOSED STORE LEFT SIDE ELEVATION  
3/16" = 1'-0"



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ELI'S GAS STATION

125 BROADWAY  
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PROPOSED  
STORE LEFT SIDE  
ELEVATION

125B\_ARL\_2025

01/13/2025

SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS

NOT FOR  
CONSTRUCTION

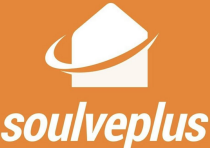
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Scale:

3/16" = 1'-0"



① EXISTING FRONT ELEVATION  
3/16" = 1'-0"



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ELI'S GAS STATION

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EXISTING FRONT  
ELEVATION

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01/13/2025

SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS

NOT FOR  
CONSTRUCTION

A2.00

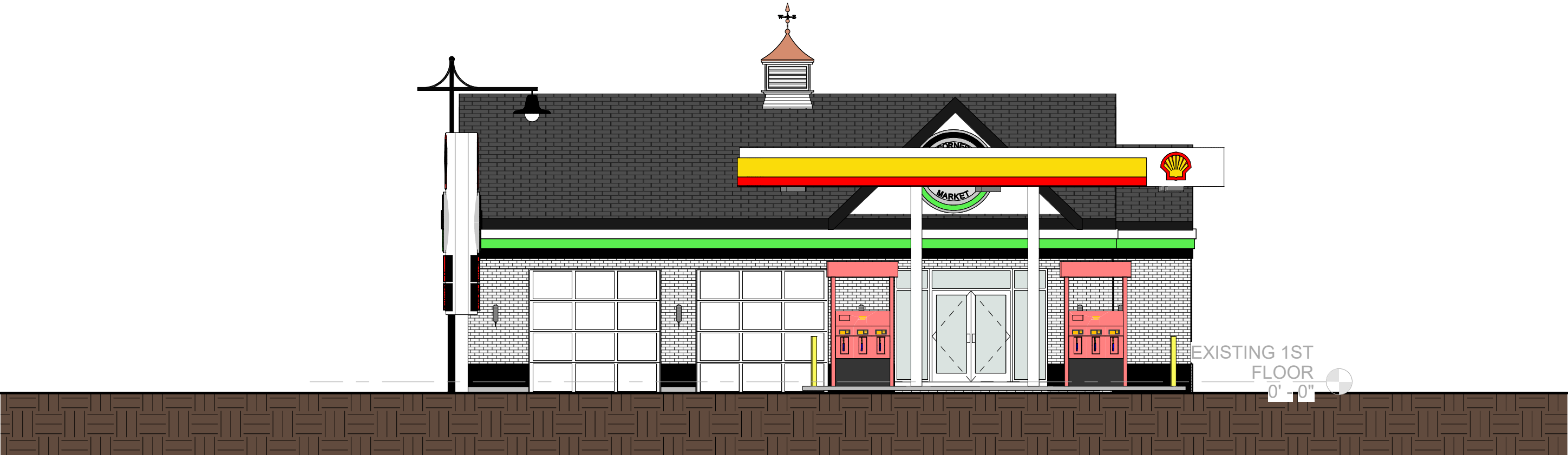
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3/16" = 1'-0"






1 PROPOSED MOBIL FRONT ELEVATION  
1/8" = 1'-0"



2 PROPOSED SHELL FRONT ELEVATION  
1/8" = 1'-0"



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ELI'S GAS STATION

125 BROADWAY  
ARLINGTON, MA 02474

PROPOSED  
FRONT  
ELEVATION

125B\_ARL\_2025

01/13/2025

SCHEMATIC DESIGN  
PHASE

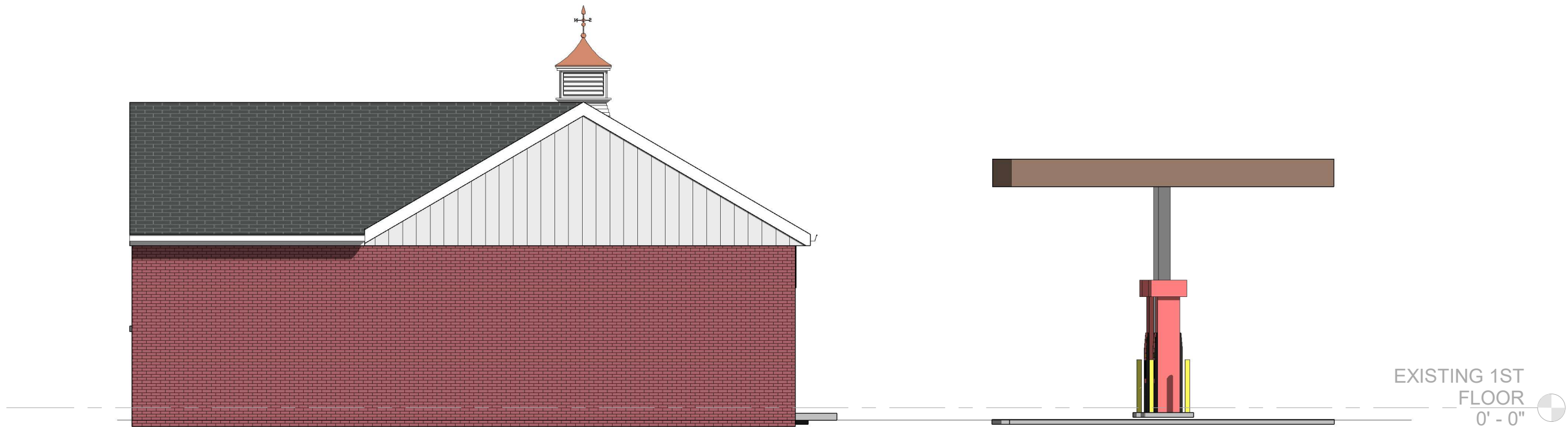
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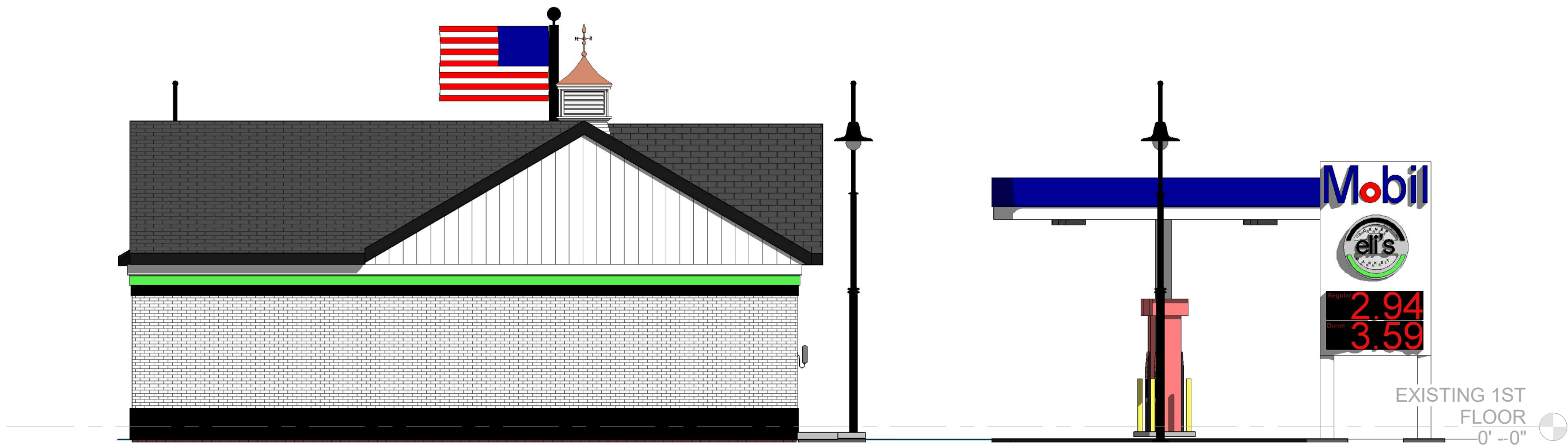
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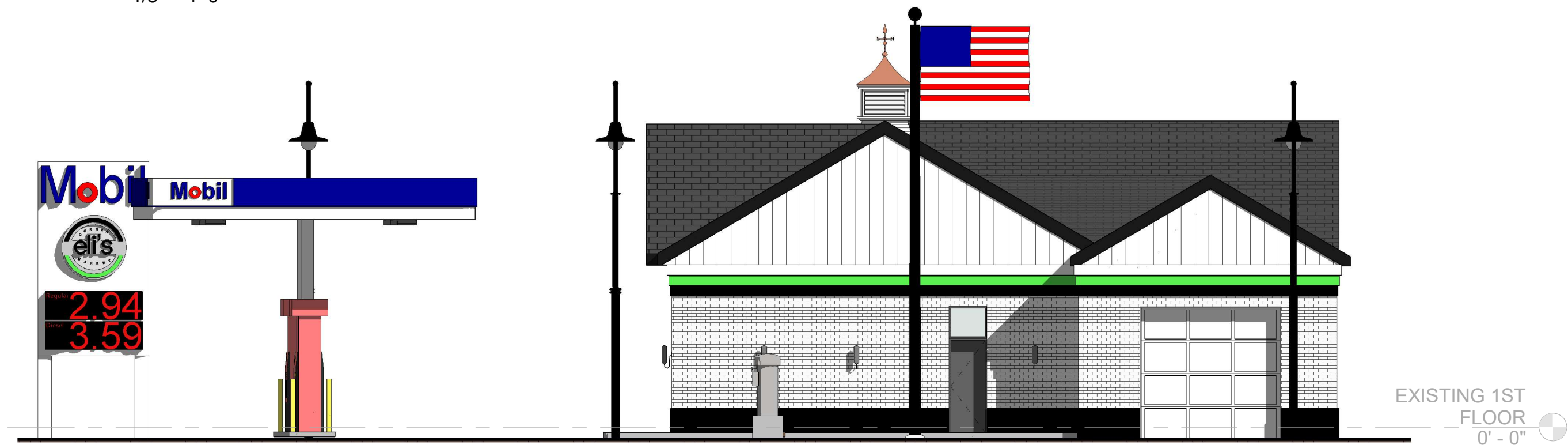
① EXISTING LEFT SIDE ELEVATION  
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② EXISTING RIGHT SIDE ELEVATION  
1/8" = 1'-0"

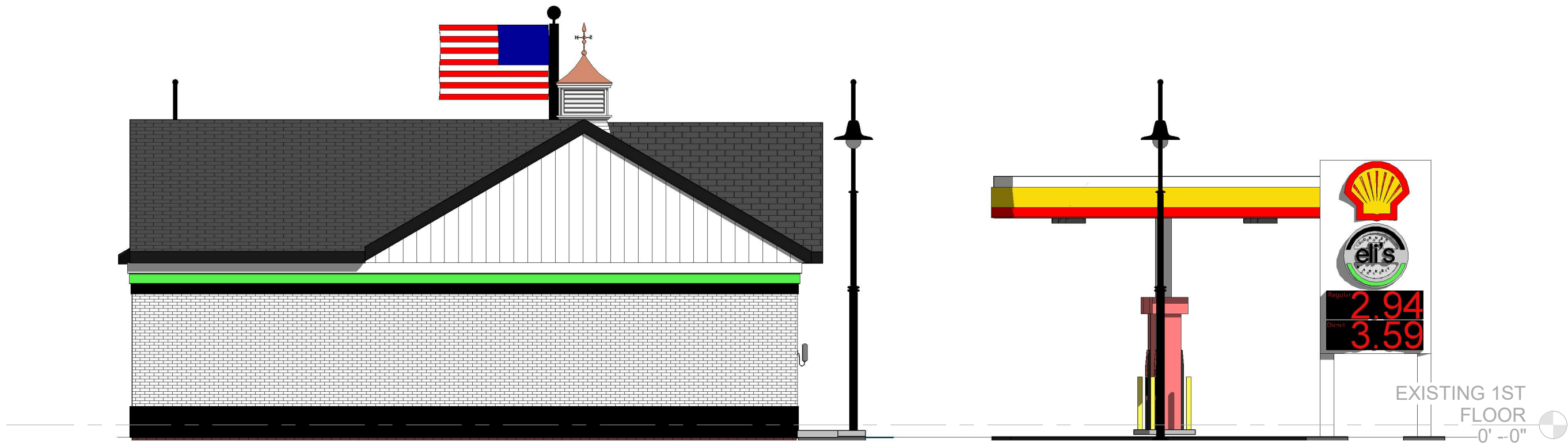


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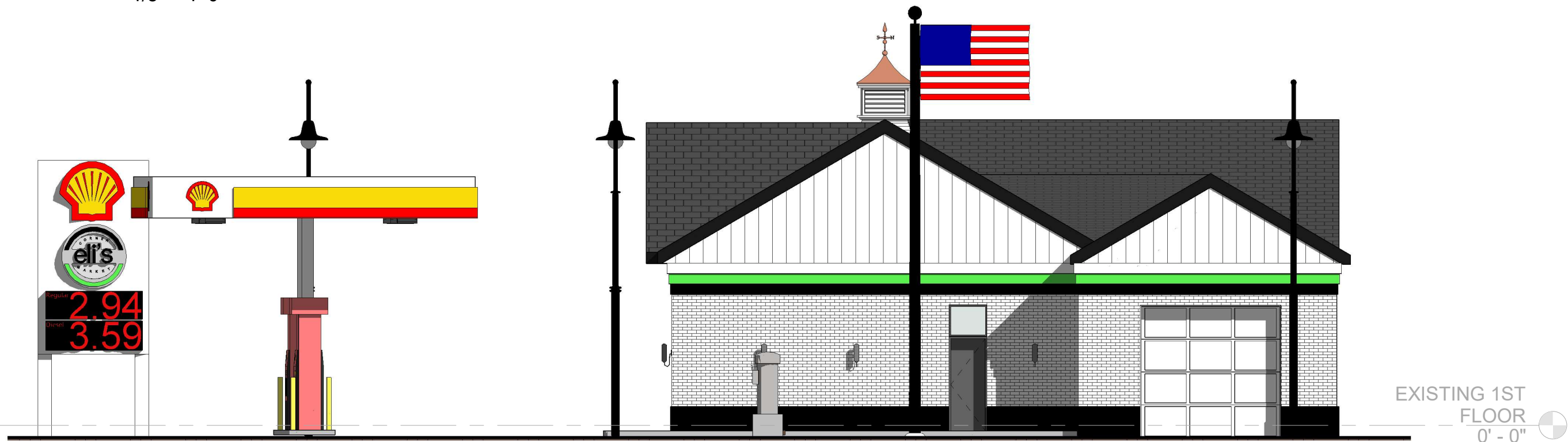


2 PROPOSED MOBIL RIGHT SIDE ELEVATION  
1/8" = 1'-0"





1 PROPOSED SHELL LEFT SIDE ELEVATION  
1/8" = 1'-0"



2 PROPOSED SHELL RIGHT SIDE ELEVATION  
1/8" = 1'-0"



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ELI'S GAS STATION  
125 BROADWAY  
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EXISTING 3D

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SCHEMATIC DESIGN  
PHASE

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**NOT FOR  
CONSTRUCTION**

A3.00

Scale:





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ELI'S GAS STATION

125 BROADWAY  
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PROPOSED 3D - 1

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01/13/2025

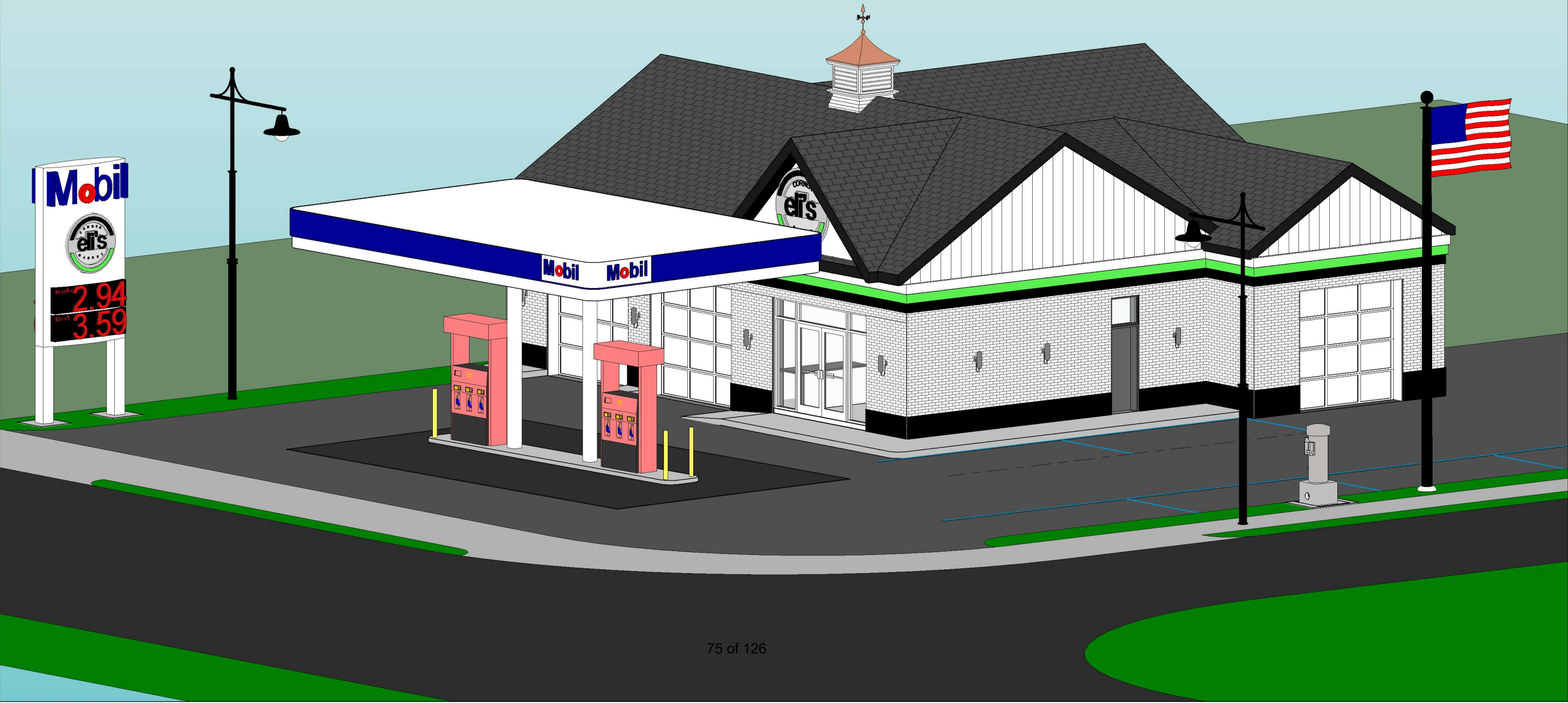
SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS


NOT FOR  
CONSTRUCTION

A3.01

Scale:







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ELI'S GAS STATION

125 BROADWAY  
ARLINGTON, MA 02474

PROPOSED 3D - 2

125B\_ARL\_2025

01/13/2025

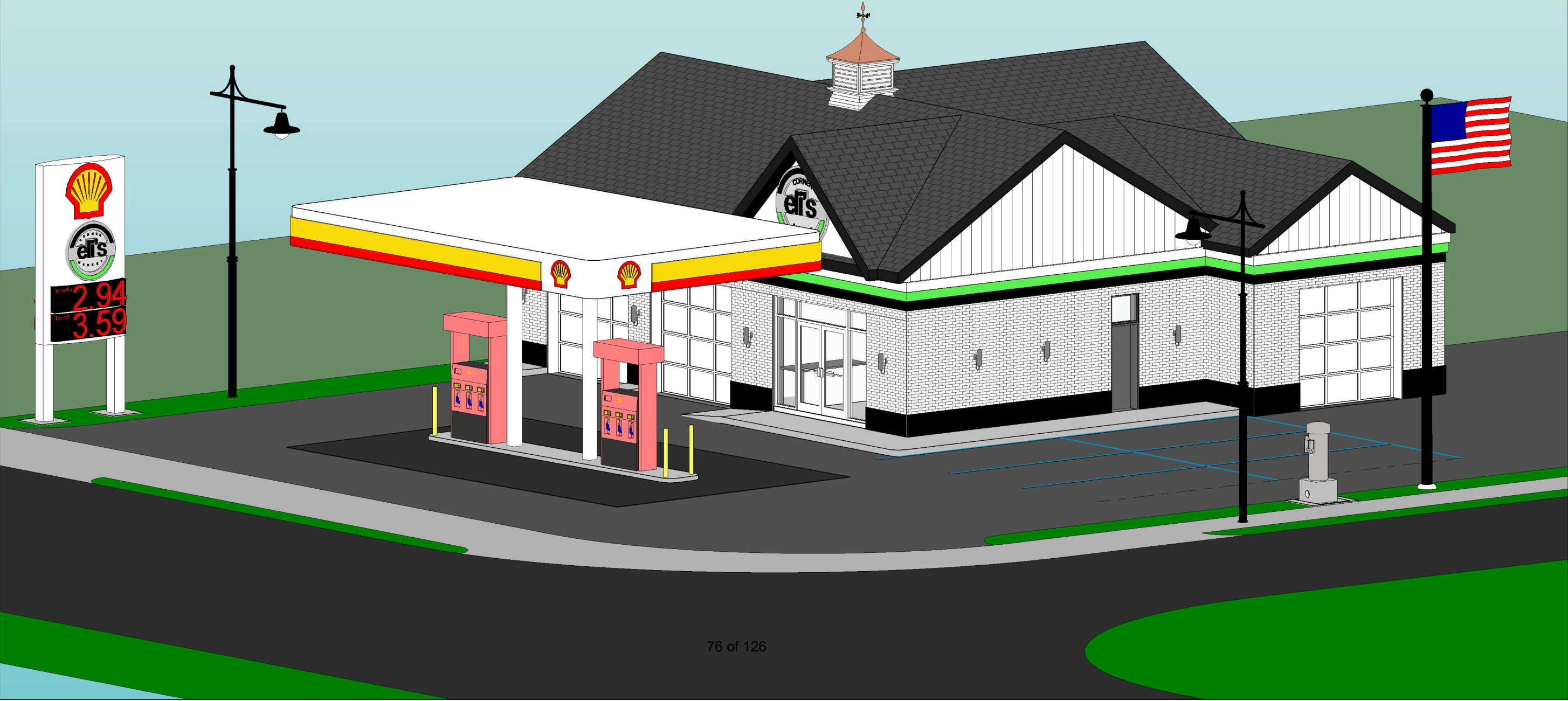
SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS

NOT FOR  
CONSTRUCTION

A3.02

Scale:









1 INTERIOR VIEW - 2

ELI'S GAS STATION  
125 BROADWAY  
ARLINGTON, MA 02474

PROPOSED 3D -  
INTERIOR VIEW 2

125B\_ARL\_2025

01/13/2025

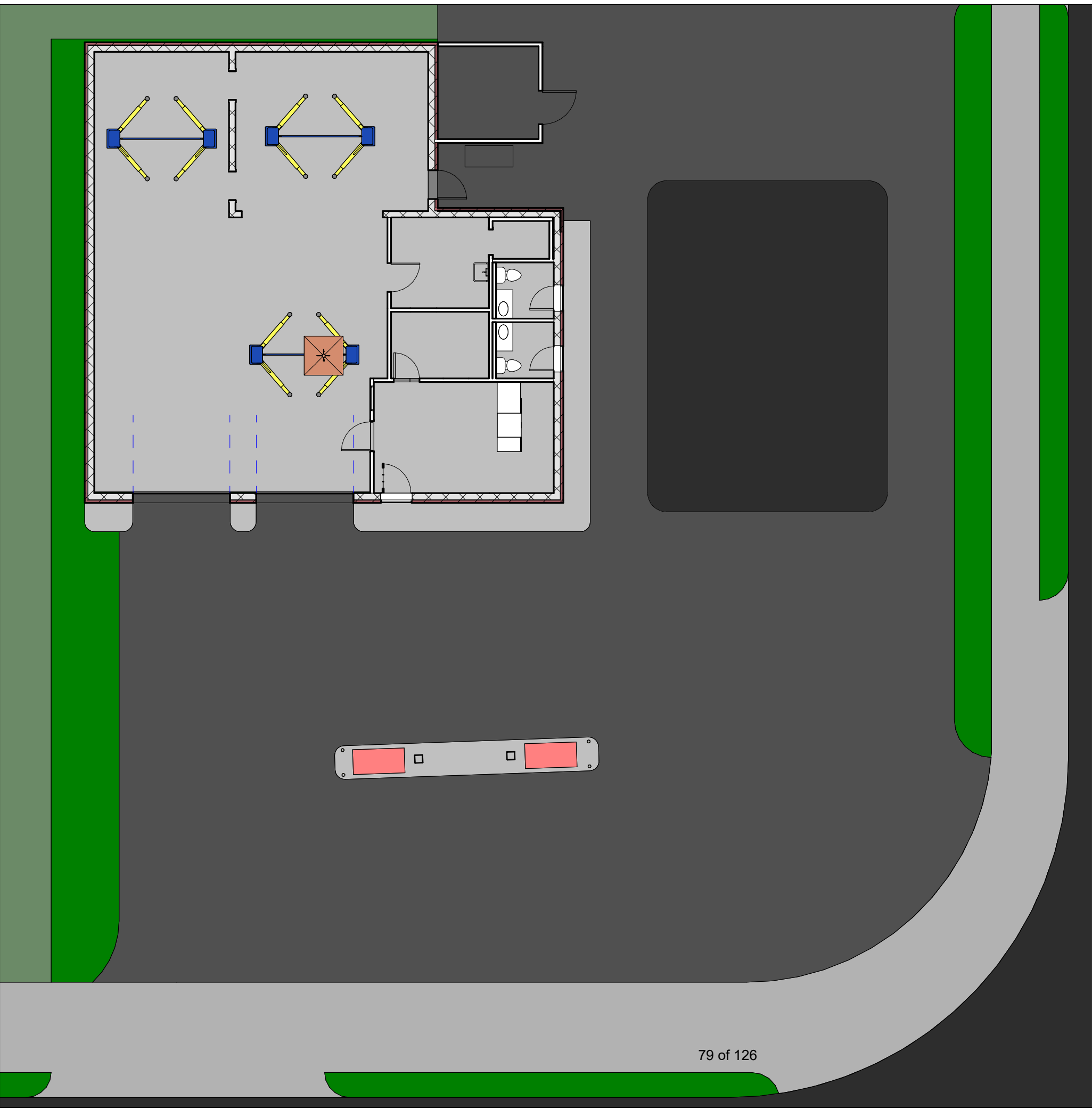
SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS  
**NOT FOR  
CONSTRUCTION**

A3.04

Scale:







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ELI'S GAS STATION

125 BROADWAY  
ARLINGTON, MA 02474

EXISTING  
SCHEMATIC SITE  
PLAN

125B\_ARL\_2025

01/13/2025

SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS

NOT FOR  
CONSTRUCTION

A4.00

Scale:

3/32" = 1'-0"





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ELI'S GAS STATION

125 BROADWAY  
ARLINGTON, MA 02474

PROPOSED  
SCHEMATIC SITE  
PLAN - 01

125B\_ARL\_2025

01/13/2025

SCHEMATIC DESIGN  
PHASE

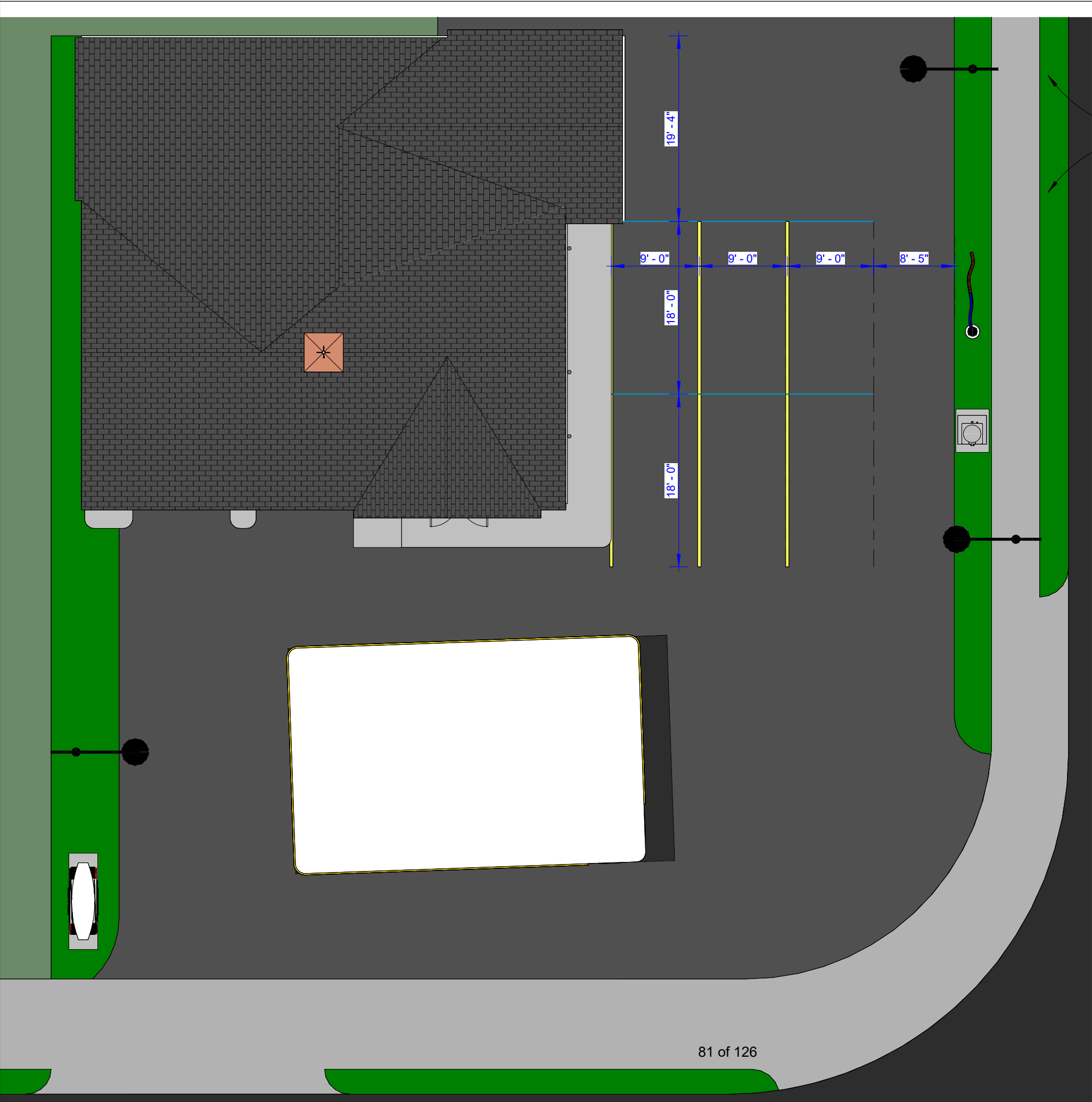
WORK IN PROGRESS


NOT FOR  
CONSTRUCTION

A4.01

Scale:

3/32" = 1'-0"





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ELI'S GAS STATION

125 BROADWAY  
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PROPOSED  
SCHEMATIC SITE  
PLAN - 02

125B\_ARL\_2025

01/13/2025

SCHEMATIC DESIGN  
PHASE

WORK IN PROGRESS

NOT FOR  
CONSTRUCTION

A4.02

Scale:

3/32" = 1'-0"



SIGN PACKAGE  
EXTERIOR SIGNAGE



125 BROADWAY  
ARLINGTON, MA 02474



66 Gold Ledge Avenue,  
Auburn, NH 03032

**603.437.1200**  
FAX 603.437.1222  
[www.nhsigns.com](http://www.nhsigns.com)

- DESIGN
- MANUFACTURE
- INSTALL
- SERVICE



CLIENT:

ELI'S CORNER  
MARKET

LOCATION:

125 BROADWAY  
ARLINGTON, MA 02474

DATE:

03/25/2025

ACCT. REP:

GM

DESIGNER:

ASHLEY L

Rev#	Date:
0	00/00/00

FILE NAME LOC:

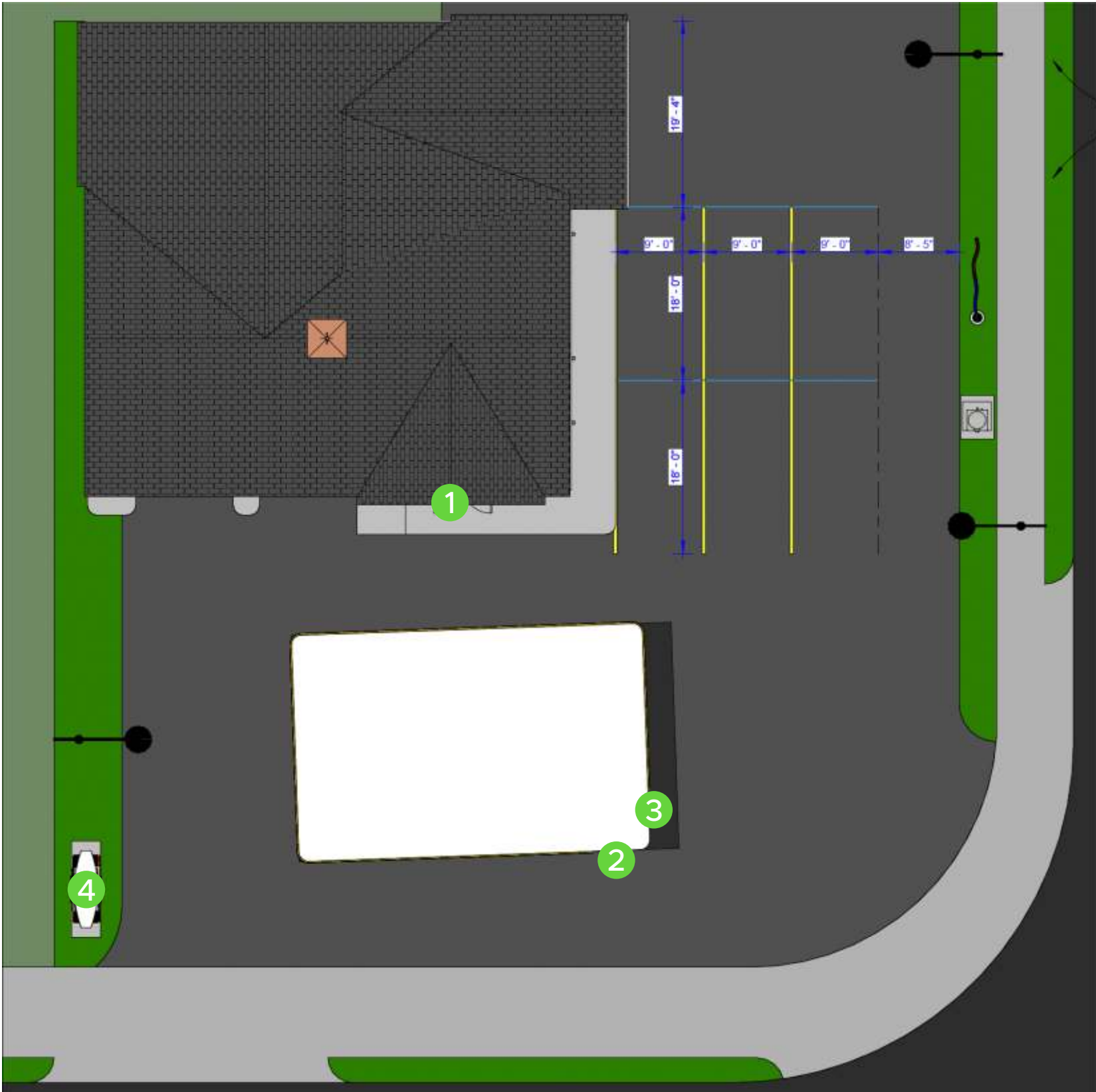
ELI'S ARLINGTON, MA  
- EXTERIOR\_v1

Please Note: it is the customers responsibility to  
provide primary electrical service (including ground wiring)  
directly from panel box, to within six ft. of sign(s).  
Installation to comply with N.E.C.600

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# SITE PLAN

- 1 Wall Channel Letter - Face & Halo Lit
- 2 Canopy Channel Letter - Face & Halo Lit
- 3 Canopy Channel Letter - Face & Halo Lit
- 4 Pylon Sign Rebranding



66 Gold Ledge Avenue,  
Auburn, NH 03032

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FAX 603.437.1222  
[www.nhsigns.com](http://www.nhsigns.com)

- DESIGN
- MANUFACTURE
- INSTALL
- SERVICE

## CLIENT:

**ELI'S CORNER  
MARKET**

## LOCATION:

**125 BROADWAY  
ARLINGTON, MA 02474**

## DATE:

**03/25/2025**

## ACCT. REP:

**GM**

## DESIGNER:

**ASHLEY L**

## Rev# Date:

**0 00/00/00**

## FILE NAME LOC:

**ELI'S ARLINGTON, MA  
- EXTERIOR\_v1**

Please Note: it is the customers responsibility to  
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directly from panel box, to within six ft. of sign(s).  
Installation to comply with N.E.C.600

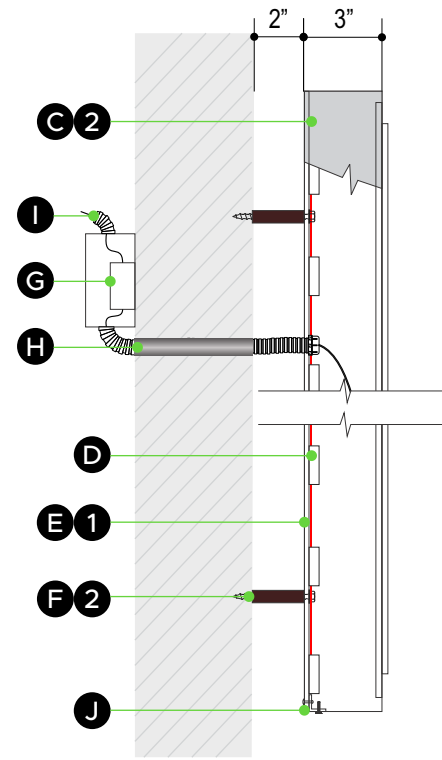
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**PAGE: 2**

# SIGN SPECIFICATIONS

## 1 Wall Channel Letter - Face & Halo Lit

- A** .090 Routed aluminum face
- B** 1/2" Thick clear acrylic - 1/4" proud face with vinyl applied first and second surface
- C** .063" Aluminum returns, 3" deep, fastened with counter-sunk screws painted to match
- D** White LEDs
- E** Clear acrylic backer with 3M 3630-20 white vinyl diffuser, fastened with rivets
- F** 3/8" Lag bolts with 2" PVC spacers
- G** LED power supply inside power supply box
- H** Conduit through wall with 20' whip
- I** Primary electric (by others)
- J** Weep hole



SECTION VIEW  
Scale: NTS



FRONT VIEW  
Scale: 3/4" = 1'-0"  
Square Feet: 36

1

VINYL  
3M WHITE 3630-20

2

PAINT  
GRAY TBD

3

VINYL  
GREEN TBD

4

VINYL  
BLACK



FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

SERVING NEW ENGLAND  
SINCE 1992

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Auburn, NH 03032

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DESIGN

MANUFACTURE

INSTALL

SERVICE

**CLIENT:**  
**ELI'S CORNER  
MARKET**

**LOCATION:**  
125 BROADWAY  
ARLINGTON, MA 02474

**DATE:**  
03/25/2025

**ACCT. REP:**  
GM

**DESIGNER:**  
ASHLEY L

Rev#	Date:
0	00/00/00

**FILE NAME LOC:**  
**ELI'S ARLINGTON, MA  
- EXTERIOR\_v1**

Please Note: it is the customers responsibility to provide primary electrical service (including ground wiring) directly from panel box, to within six ft. of sign(s). Installation to comply with N.E.C.600

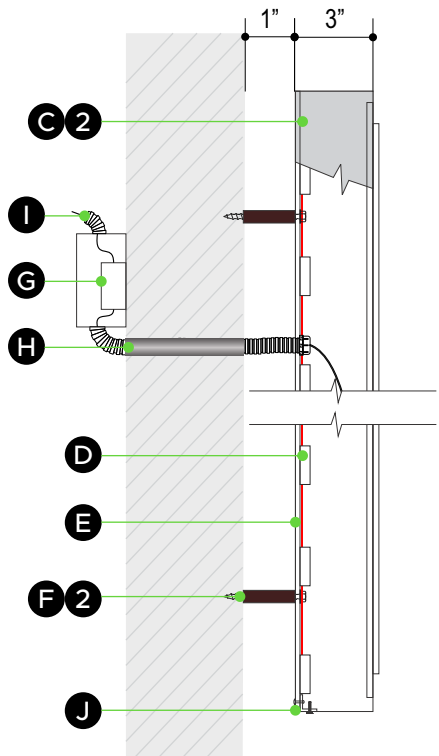
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SIGN SPECIFICATIONS

2 Canopy Channel Letter - Face & Halo Lit

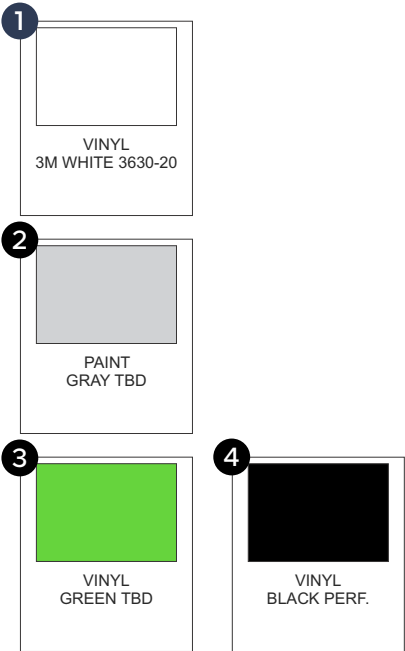
- A .090 Routed aluminum face
- B 1/2" Thick clear acrylic - 1/4" proud face with vinyl applied first and second surface
- C .063" Aluminum returns, 3" deep, fastened with counter-sunk screws painted to match
- D White LEDs
- E Clear acrylic backer with 3M 3630-20 white vinyl diffuser, fastened with rivets
- F 3/8" Lag bolts with 1" PVC spacers
- G LED power supply inside power supply box
- H Conduit through wall with 20' whip
- I Primary electric (by others)
- J Weep hole



SECTION VIEW  
Scale: NTS



FRONT VIEW  
Scale: 1 1/2" = 1'-0"  
Square Feet: 9



FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



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- DESIGN
- MANUFACTURE
- INSTALL
- SERVICE

**CLIENT:**  
ELI'S CORNER  
MARKET

**LOCATION:**  
125 BROADWAY  
ARLINGTON, MA 02474

**DATE:**  
03/25/2025

**ACCT. REP:**  
GM

**DESIGNER:**  
ASHLEY L

Rev#	Date:
0	00/00/00

**FILE NAME LOC:**  
ELI'S ARLINGTON, MA  
- EXTERIOR\_v1

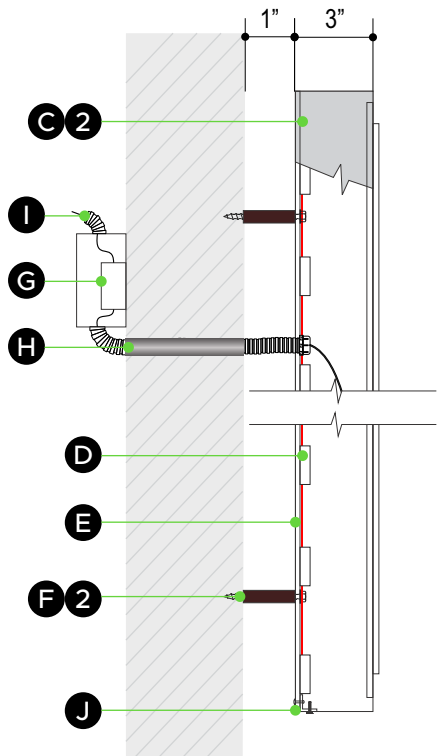
Please Note: it is the customers responsibility to provide primary electrical service (including ground wiring) directly from panel box, to within six ft. of sign(s). Installation to comply with N.E.C.600

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SIGN SPECIFICATIONS

3 Canopy Channel Letter - Face & Halo Lit

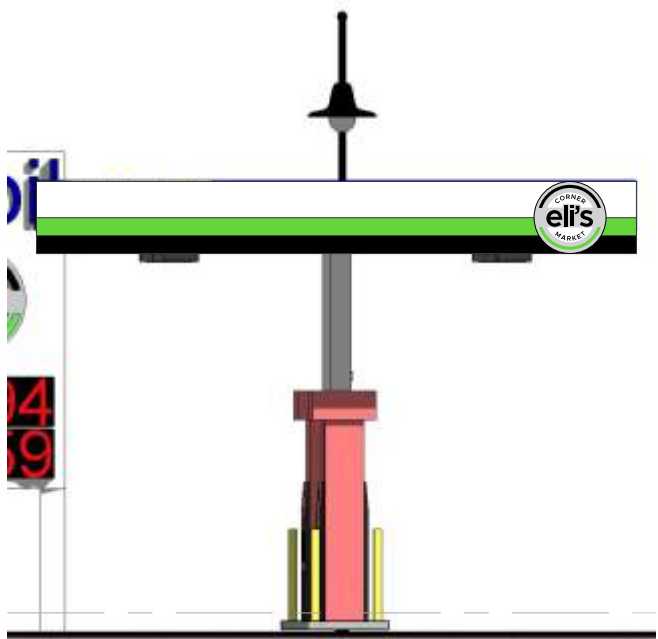
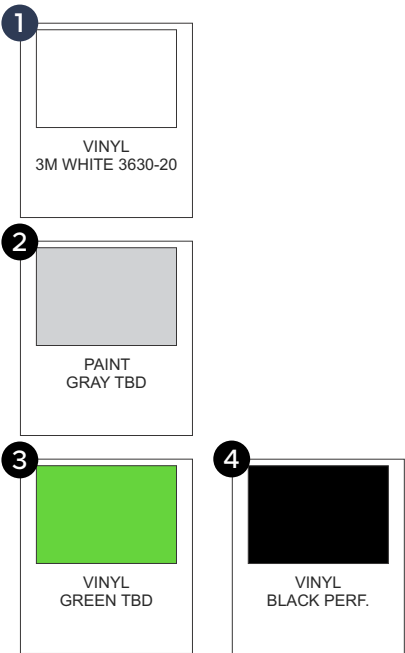
- A .090 Routed aluminum face
- B 1/2" Thick clear acrylic - 1/4" proud face with vinyl applied first and second surface
- C .063" Aluminum returns, 3" deep, fastened with counter-sunk screws painted to match
- D White LEDs
- E Clear acrylic backer with 3M 3630-20 white vinyl diffuser, fastened with rivets
- F 3/8" Lag bolts with 1" PVC spacers
- G LED power supply inside power supply box
- H Conduit through wall with 20' whip
- I Primary electric (by others)
- J Weep hole



SECTION VIEW  
Scale: NTS



FRONT VIEW  
Scale: 1 1/2" = 1'-0"  
Square Feet: 9



FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



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- DESIGN
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**CLIENT:**  
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**DATE:**  
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GM

**DESIGNER:**  
ASHLEY L

Rev#	Date:
0	00/00/00

**FILE NAME LOC:**  
ELI'S ARLINGTON, MA  
- EXTERIOR\_v1

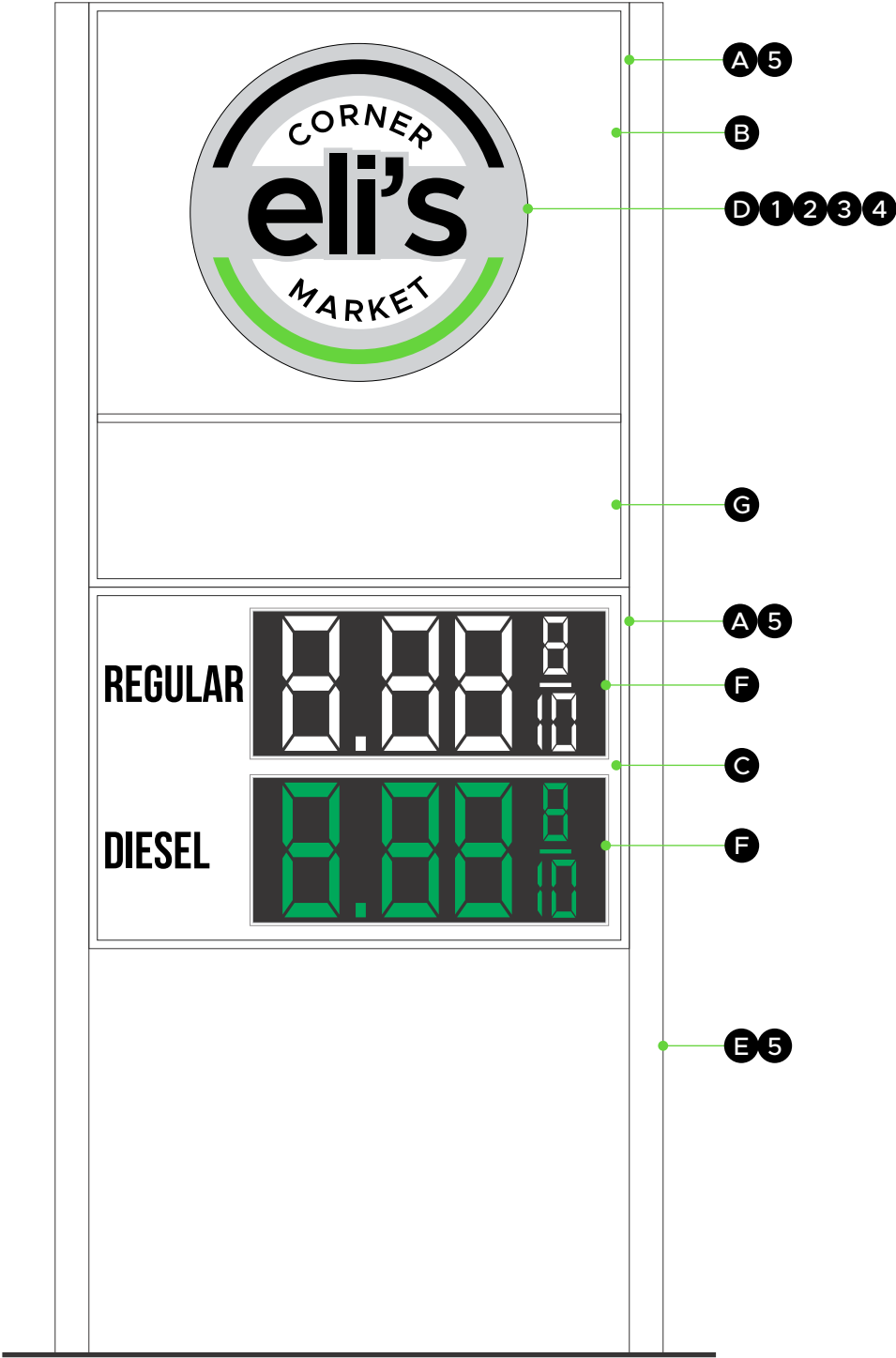
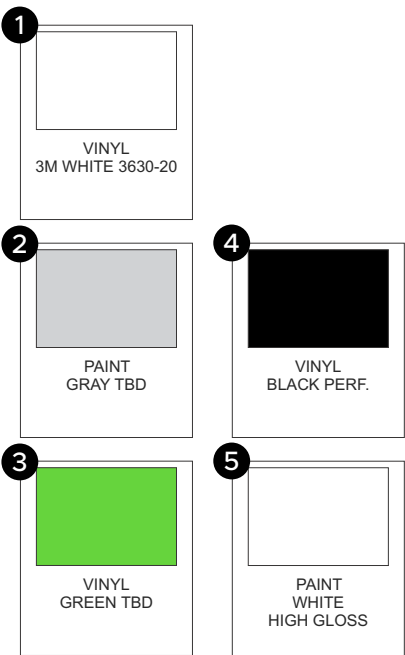
Please Note: it is the customers responsibility to provide primary electrical service (including ground wiring) directly from panel box, to within six ft. of sign(s). Installation to comply with N.E.C.600

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# SIGN SPECIFICATIONS

## 4 Pylon Sign Rebranding

- A** Extruded aluminum hinged cabinet with 1-1/2" retainers
- B** 3mm white ACM face
- C** Clear lexan face with opaque background and translucent vinyl
- D** 60" Channel letter logo: .090 Routed aluminum face, 1/2" Thick clear acrylic - 1/4" proud face with vinyl applied first and second surface, .063" Aluminum returns, 3" deep, fastened with counter-sunk screws painted to match, White LEDs, Clear acrylic backer with 3M 3630-20 white vinyl diffuser, fastened with rivets 3/8" Lag bolts with 1" PVC spacers, power supply box mounted inside cabinet, flush mounted
- E** 6" x 6" Steel posts
- F** 24" Able digit - 25.8" x 62.7" window
- G** White lexan face with translucent vinyl graphics



FRONT VIEW

Scale: 3/8" = 1'-0"

Square Feet: 112



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Auburn, NH 03032

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FAX 603.437.1222

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- DESIGN
- MANUFACTURE
- INSTALL
- SERVICE

### CLIENT:

**ELI'S CORNER  
MARKET**

### LOCATION:

**125 BROADWAY  
ARLINGTON, MA 02474**

### DATE:

**03/25/2025**

### ACCT. REP:

**GM**

### DESIGNER:

**ASHLEY L**

### Rev#

**0**

### Date:

**00/00/00**

### FILE NAME LOC:

**ELI'S ARLINGTON, MA  
- EXTERIOR\_v1**

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**PAGE: 6**





# LEED v4 for BD+C: New Construction and Major Renovation

## Project Checklist

Project Name: Arlington – 125 Broadway St

Date: 06/11/25

Y ? N

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Credit	Integrative Process	1
-------------------------------------	--------------------------	--------------------------	--------	---------------------	---

4	0	0	Location and Transportation		16
			Credit	LEED for Neighborhood Development Location	16
1			Credit	Sensitive Land Protection	1
			Credit	High Priority Site	2
			Credit	Surrounding Density and Diverse Uses	5
			Credit	Access to Quality Transit	5
1			Credit	Bicycle Facilities	1
1			Credit	Reduced Parking Footprint	1
1			Credit	Green Vehicles	1

5	0	0	Sustainable Sites		10
Y			Prereq	Construction Activity Pollution Prevention	Required
1			Credit	Site Assessment	1
			Credit	Site Development - Protect or Restore Habitat	2
1			Credit	Open Space	1
3			Credit	Rainwater Management	3
			Credit	Heat Island Reduction	2
			Credit	Light Pollution Reduction	1

9	0	0	Water Efficiency		11
Y			Prereq	Outdoor Water Use Reduction	Required
Y			Prereq	Indoor Water Use Reduction	Required
Y			Prereq	Building-Level Water Metering	Required
2			Credit	Outdoor Water Use Reduction	2
6			Credit	Indoor Water Use Reduction	6
			Credit	Cooling Tower Water Use	2
1			Credit	Water Metering	1

6	0	0	Energy and Atmosphere	33
Y			Prereq Fundamental Commissioning and Verification	Required
Y			Prereq Minimum Energy Performance	Required
Y			Prereq Building-Level Energy Metering	Required
Y			Prereq Fundamental Refrigerant Management	Required
			Credit Enhanced Commissioning	6
			Credit Optimize Energy Performance	18
1			Credit Advanced Energy Metering	1
			Credit Demand Response	2
3			Credit Renewable Energy Production	3
			Credit Enhanced Refrigerant Management	1
2			Credit Green Power and Carbon Offsets	2

6	0	0	Materials and Resources		13
Y			Prereq	Storage and Collection of Recyclables	Required
Y			Prereq	Construction and Demolition Waste Management Planning	Required
			Credit	Building Life-Cycle Impact Reduction	5
			Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
2			Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
2			Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit	Construction and Demolition Waste Management	2

16	0	0	Indoor Environmental Quality		16
Y			Prereq	Minimum Indoor Air Quality Performance	Required
Y			Prereq	Environmental Tobacco Smoke Control	Required
2			Credit	Enhanced Indoor Air Quality Strategies	2
3			Credit	Low-Emitting Materials	3
1			Credit	Construction Indoor Air Quality Management Plan	1
2			Credit	Indoor Air Quality Assessment	2
1			Credit	Thermal Comfort	1
2			Credit	Interior Lighting	2
3			Credit	Daylight	3
1			Credit	Quality Views	1
1			Credit	Acoustic Performance	1

0	0	0	Innovation		6
			Credit	Innovation	5
			Credit	LEED Accredited Professional	1

0	0	0	Regional Priority		4
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1

46	0	0	TOTALS	Possible Points: 110
Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110				

125 BROADWAY, ARLINGTON, MA 02474

PERMIT SET - JANUARY 28th, 2025 - rev1 06.11.2025



PROJECT SCOPE: 1.0 INTERIOR REMODELING

PROJECT NARRATIVE:

This project involves alterations **LEVEL 2** to an existing building. Existing Gas Station to remain. The alterations will be made on the Car Workshop and the Store located into the building. Existing building is Business Group (B) and there will be **NO CHANGE OF USE**.  
Construction Type V. The unit is located on the 1st floor of a 1-story building that will remain as a Truck Workshop. Work includes repair interior partitions with Life Safety devices to accommodate the new design.  
Proposed Occupancy limit **9**.

THE FOLLOWING PLANS WERE PREPARED IN ACCORDANCE WITH THE FOLLOWING APPLICABLE CODES:

BUILDING CODE: 2015 INTERNATIONAL EXISTING BUILDING CODE with MASSACHUSETTS AMENDMENTS- 9TH EDITION.  
PLUMBING CODE: 248CMR10.00: UNIFORM STATE PLUMBING CODE.  
MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE with MASSACHUSETTS AMENDMENTS - 9TH EDITION AND 780CMR  
ELECTRICAL CODE: 2023NFPA70 (527CMR12.00 STATE ELECTRICAL CODE.  
ENERGY CODE: 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).  
ACCESSIBILITY CODE: 521CMR- THE RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD.

CONSTRUCTION SCOPE OF WORK:

- EGRESS AND EXITING THRU EXISTING EXIT POINTS NEW EMERGENCY LIGHTING AS REQUIRED TO LIGHT EXIT PATHWAY.
- NO CHANGE OF USE**, INTERIOR RENOVATION. THE TOTAL BUILDING IS **2,508,43 Sq. Ft.**
- BUILDING IS TYPE III AND MAXIMUM EXIT TRAVEL DISTANCE IS **200'** PER TABLE 1017.2

ZONING: B4

KEY NOTES

THE DRAWING REPRESENT CONSTRUCTION IN SCALE BUT DO NOT "SCALE" DRAWINGS TO OBTAIN MISSING INFORMATION OR TO INTERPRET ANY INFORMATION NOT SPECIFICALLY DIMENSIONED FOR EXACT DETAILING, FABRICATION OR CONSTRUCTION PURPOSES. CONTACT THE DESIGN ENGINEER FOR ANY REQUIRED MISSING DIMENSIONS.  
THE CONTRACTOR SHALL OBTAIN ALL PERMITS FROM THE BUILDING DEPARTMENT PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK. VERIFY AND CONFIRM ALL DIMENSIONS, ELEVATIONS AND LOCATIONS OF EXISTING BUILDINGS AND OTHER STRUCTURES PRIOR COMMENCING THE WORK. DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY, BEFORE PROCEEDING.  
THE CONTRACTOR ARE RESPONSIBLE FOR ACCURATE COORDINATION OF ALL RELATED PROJECT DRAWINGS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, CIVIL AND UTILITIES DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DETAILS, DIMENSIONS AND SYSTEMS PRIOR WORK OR ORDERING ANY ITEM AND COORDINATE WITH THE ARCHITECT OR THE RELATED ENGINEER. DO NOT COMMENCE WORK UNTIL CONDITION IS RESOLVED AND MODIFICATION IF NEEDED IS APPROVED. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES THAT MAY EXIST PRIOR TO COMMENCING THE WORK.  
THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING AND BRACING REQUIRED FOR PLUMPNESS, STRUCTURAL STABILITY AND SAFETY WHENEVER REQUIRED TO SUPPORT LOADS AS MAY BE IMPOSED UPON THE STRUCTURE AND ITS COMPONENTS DURING CONSTRUCTION.  
THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE SAFETY OF ADJACENT STRUCTURES, PROPERTY, HIS WORKMEN, AND THE PUBLIC, AS AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.  
THESE DRAWINGS ARE INTENDED TO BE USED ONLY BY EXPERIENCED CONTRACTOR WITH KNOWLEDGE ON THIS TYPE OF WORK. SOULVE PLUS PERSONNEL ARE AVAILABLE TO ANSWER QUESTIONS AND ASSIST THE CONTRACTOR BY EXPLAINING THE DESIGN INTENT.  
CONTRACTOR SHALL UNDERSTAND THE COMPLEXITIES OF THE PROJECT AND THE CONSTRUCTION SEQUENCE .THE CONTRACTOR ASSUMES TOTAL RESPONSIBILITY FOR ANY CONSEQUENCE OF THAT ACTION.

PROJECT LOCATION:

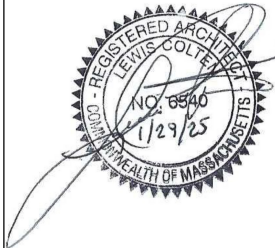


SHEET LIST

SHEET NO.	SHEET NAME
1.0	COVER SHEET
1.1	OUTLINE SPECIFICATIONS
1.2	EXISTING 1ST FLOOR
1.3	PROPOSED DEMOLITION PLAN
1.4	PROPOSED 1ST FLOOR
1.5	EXISTING ROOF
1.6	PROPOSED ROOF DEMOLITION
1.7	PROPOSED ROOF
1.7.1	SOLAR READY ROOF
1.8	FRONT ELEVATION
1.9	RIGHT SIDE ELEVATION
1.10	REAR SIDE ELEVATION
1.11	LEFT SIDE ELEVATION
1.12	SECTIONS
1.13	SECTION

(978) 759-7799  
contact@solveplus.com  
www.solveplus.com

125 BROADWAY ARLINGTON, MA 02474 ELI'S GAS STATION	COVER SHEET	Drawn by:
		Date: 01/28/2025



**Lewis Colten AIA**  
ARCHITECT  
9 Vernon Street, Framingham,  
MA 01701  
Phone: 508-596-7220  
E-Mail:  
Lewcoltenaia@gmail.com

DESCRIPTION
#
Projec125B_ARL_2025
Scale 12" = 1'-0"
1.0



IBC CODE INFORMATION

Section 404 ALTERATION—LEVEL 2  
404.1 Scope

Level 2 alterations include the reconfiguration of space, the addition or elimination of any door, the reconfiguration or extension of any system, or the installation of any additional equipment.

707.6 VOLUNTARY LATERAL-FORCE-RESISTING SYSTEM ALTERATIONS

Alterations of existing structural elements and additions of new structural elements that are initiated for the purpose of increasing the lateral-force-resisting strength or stiffness of an existing structure and that are not required by other sections of this code shall not be required to be designed for forces conforming to the International Building Code, provided that an engineering analysis is submitted to show that:

- 1. The capacity of existing structural elements required to resist forces is not reduced;
- 2. The lateral loading to existing structural elements is not increased either beyond their capacity or more than 10 percent;
- 3. New structural elements are detailed and connected to the existing structural elements as required by the International Building Code;
- 4. New or relocated nonstructural elements are detailed and connected to existing or new structural elements as required by the International Building Code; and
- 5. A dangerous condition as defined in this code is not created. Voluntary alterations to lateral-force-resisting systems conducted in accordance with Appendix A and the referenced standards of this code shall be permitted.

Section 709 Mechanical

709.2 ALTERED EXISTING SYSTEMS

In mechanically ventilated spaces, existing mechanical ventilation systems that are altered, reconfigured, or extended shall provide not less than 5 cubic feet per minute (cfm) (0.0024 m3/s) per person of outdoor air and not less than 15 cfm (0.0071 m3/s) of ventilation air per person; or not less than the amount of ventilation air determined by the Indoor Air Quality Procedure of ASHRAE 62.

Section 711 Energy Conservation

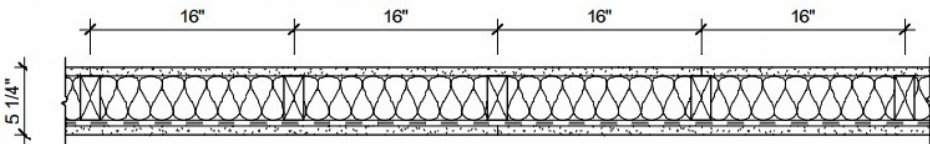
711.1 MINIMUM REQUIREMENTS

Level 2 alterations to existing buildings or structures are permitted without requiring the entire building or structure to comply with the energy requirements of the International Energy Conservation Code or International Residential Code. The alterations shall conform to the energy requirements of the International Energy Conservation Code or International Residential Code as they relate to new construction only.

WALL TYPE 1  
DESIGN NO. UL U407

TYPE I ASSEMBLY  
CLASS A FINISHED MATERIALS  
ASTM E.84 - NFPA 101

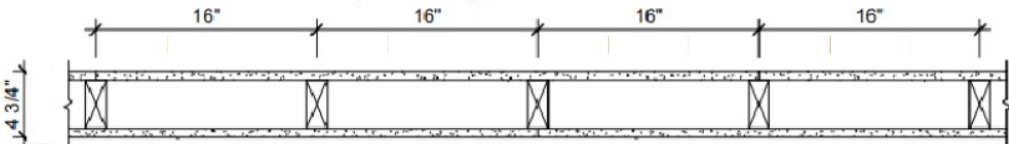
FIRE RATING: 0.5 HOURS  
STC RATING: 45  
SOUND TEST: RAL-TL11-085  
SYSTEM THICKNESS: 5-1/4"  
LOCATION: INTERIOR  
FRAMING TYPE: WOOD STUD (LOAD-BEARING)



ASSEMBLY REQUIREMENTS:  
GYPSUM PANELS: ONE LAYER 5/8" SHEETROCK®ECOSMART FIRECODE 30® GYPSUM PANEL (UL TYPE FC30)  
WOOD STUDS: 2" X 4" WOOD STUDS, 16" O.C.  
INSULATION: 3-1/2" FIBERGLASS INSULATION  
RESILIENT CHANNEL: 1/2" RESILIENT CHANNEL, 25 GA., 24" O.C.  
GYPSUM PANELS: ONE LAYER 5/8" SHEETROCK®ECOSMART FIRECODE 30® GYPSUM PANEL (UL TYPE FC30)

WALL TYPE 2  
DESIGN NO. UL U305

FIRE RATING: 1 HOUR  
STC RATING: 33  
SOUND TEST: USG-151234  
SYSTEM THICKNESS: 4-3/4"  
LOCATION: INTERIOR  
FRAMING TYPE: WOOD STUD (LOAD-BEARING)



ASSEMBLY REQUIREMENTS:  
GYPSUM PANELS: ONE LAYER 5/8" SHEETROCK®ECOSMART GYPSUM PANEL (UL TYPE ULIX™)  
WOOD STUDS: 2" X 4" WOOD STUDS, 16" O.C.  
GYPSUM PANELS: ONE LAYER 5/8" SHEETROCK®ECOSMART GYPSUM PANEL (UL TYPE ULIX™)

ENERGY CODE

EXISTING BUILDING MEETS CURRENT ENERGY CODE AND WILL REMAIN THE SAME

PARTITION NOTES

- 1. Some partition types shown may be unreferenced/unused on this project.
- 2. Listed UL assemblies are incorporated in this scope by reference. Follow all directions such as sizes, clearances, installation methods that are required to comply with the listed UL Assemblies.
- 3. At corridor wall locations, all penetrations are to be sealed to resist the passage of smoke.
- 4. Moisture Resistant (MR) GWB to be used at all wet locations.
- 5. 1/2" Cement Board to be used at all Ceramic Wall Tile locations.

CONSTRUCTION TYPE: 602.3 TYPE V

LEVEL OF ALTERATION: CHAPTER 8 ALTERATIONS - LEVEL 02

FIRE PROTECTION: EXISTING FIRE ALARM AND DETECTION SYSTEM PROVIDED.

OCCUPANCY: GROUP B

CONSTRUCTION SCOPE OF WORK:

- EGRESS AND EXITING THRU EXISTING EXIT POINTS NEW EMERGENCY LIGHTING AS REQUIRED TO LIGHT EXIT PATHWAY.
- NO CHANGE OF USE, INTERIOR REMODELING.
- THE TOTAL BUILDING IS 2,508,43 Sq. Ft.
- BUILDING IS TYPE III EXIT TRAVEL DISTANCE IS 200' PER TABLE 1017.2

RESTROOM PLUMBING FIXTURES				FROM 248 MASS. REG. 10.10 TABLE 1			
TENANT SPACE CALCULATIONS: FOR ENTIRE FLOOR				BUILDING USE GROUP: E			
MAXIMUM OCCUPANTS: 09							
REQUIRED RESTROOM PLUMBING FIXTURES				PROVIDED			
	MEN (1/20)	WOMEN (1/20)	OTHER		MEN (1/20)	WOMEN (1/20)	OTHER
W.C.	01	01	---	W.C.	---	---	01
URINAL (50%)	NA			URINAL (50%)	NA		
LAVATORY (1/20) PER SEX	01	01	---	LAVATORY (1/25) PER SEX	---	---	01
DRINKING FOUNTAIN	---	---		DRINKING FOUNTAIN			01
SERVICE SINK	---	---	01	SERVICE SINK			01

WALL LEGEND

	NEW 2X4 TYP INTERIOR TYPE 1 WALL
	EXISTING INTERIOR AND EXTERIOR TYPE 2 WALLS

NOTE:  
NEW WALLS ARE FULL LENGHT: FROM FLOOR TO CEILING



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contact@solveplus.com  
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125 BROADWAY  
ARLINGTON, MA 02474  
ELI'S GAS STATION

OUTLINE SPECIFICATIONS

Drawn by:

Date: 01/28/2025



Lewis Colten AIA  
ARCHITECT

9 Vernon Street, Framingham,  
MA 01701

Phone: 508-596-7220

E-Mail:  
Lewcoltenaia@gmail.com

DESCRIPTION

#












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Scale As indicated











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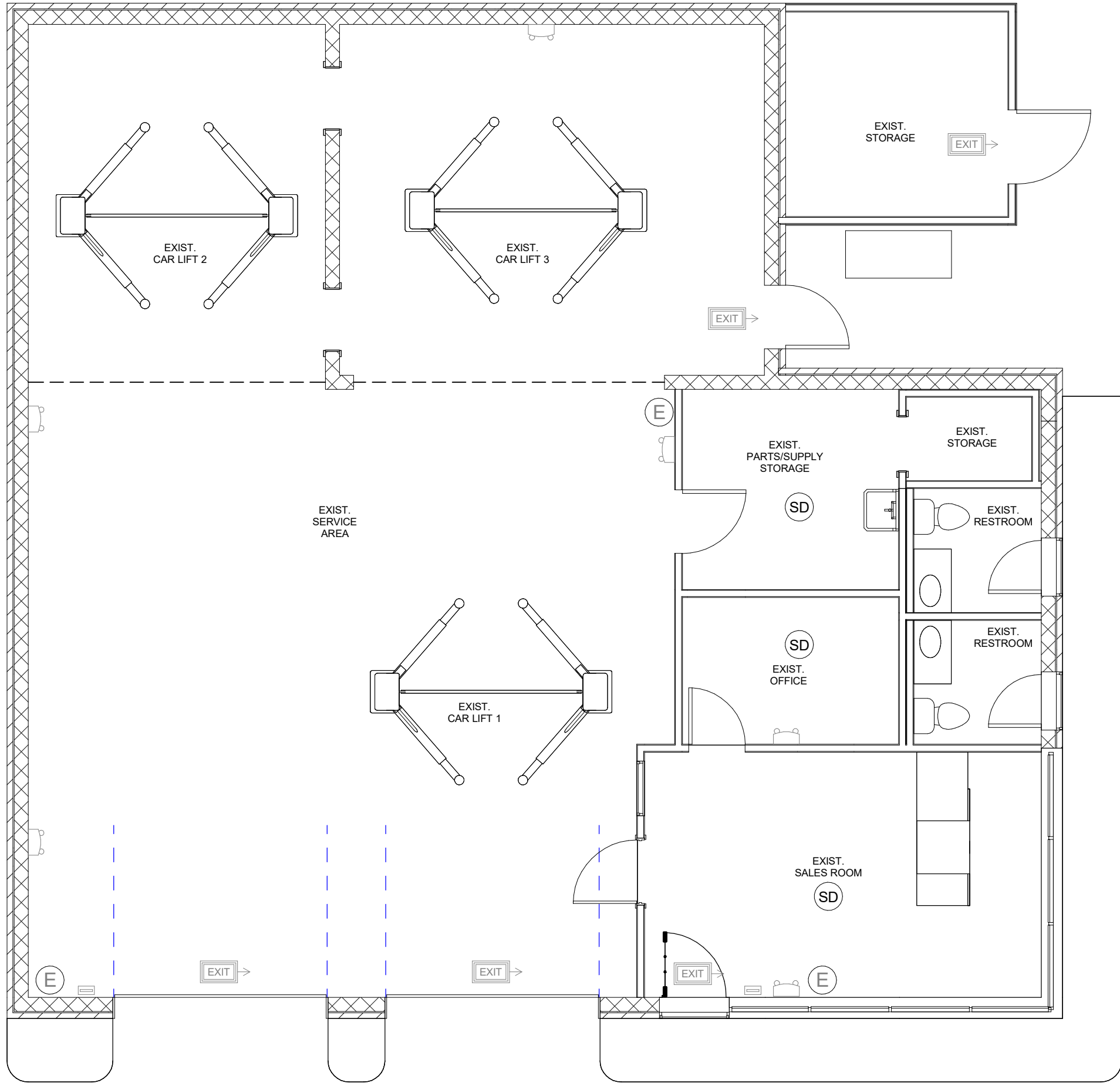
EXISTING LIGHTING AND  
FIRE PROTECTION

-  EXISTING WALL EXIT SIGN
-  EXISTING CEILING EXIT SIGN
-  EXISTING DOUBLE HEAD EMERGENCY LIGHT
-  EXISTING SMOKE DETECTOR
-  EXISTING FLUSH MOUNT CEILING LIGHT
-  EXISTING SINGLE HEAD EMERGENCY LIGHT
-  EXISTING FIRE ALARM PULL STATION
-  EXISTING HORN & STROBE WALL MOUNTED 7' A.F.F.
-  EXISTING ELECTRICAL PANEL
-  EXISTING EXTINGUISHER
-  EXISTING HEAT DETECTOR

PROPOSED LIGHTING AND  
FIRE PROTECTION

-  NEW WALL EXIT SIGN
-  NEW SMOKE DETECTOR
-  NEW HORN & STROBE WALL MOUNTED 7' A.F.F.
-  NEW FIRE EXTINGUISHER
-  NEW EGRESS PATH
-  NEW DOUBLE HEAD EMERGENCY LIGHT
-  NEW FLUSH MOUNT CEILING LIGHT
-  NEW FIRE ALARM PULL STATION
-  NEW ELECTRICAL PANEL
-  EXISTING HEAT DETECTOR

1 EXISTING 1ST FLOOR PLAN  
3/16" = 1'-0"



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125 BROADWAY  
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EXISTING 1ST FLOOR

Drawn by:

Date: 01/28/2025



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Phone: 508-596-7220

E-Mail:  
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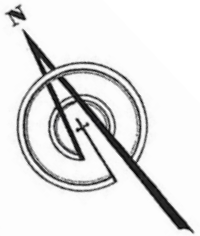
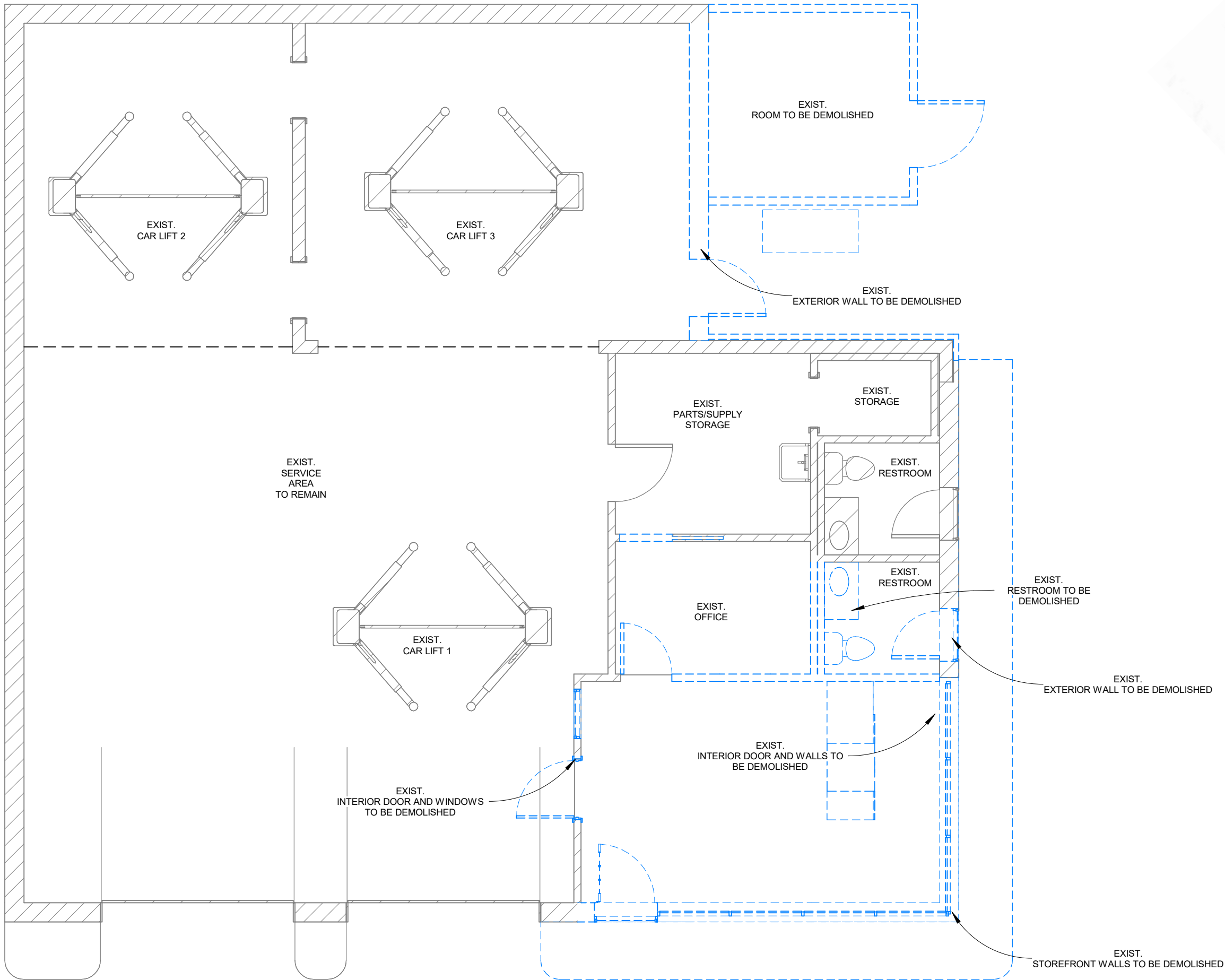
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Projec125B\_ARL\_2025

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1.2



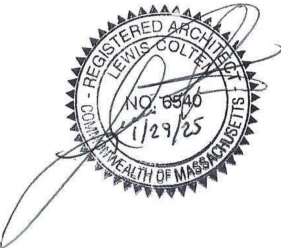
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125 BROADWAY  
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ELI'S GAS STATION

PROPOSED DEMOLITION PLAN

Drawn by:

Date: 01/28/2025



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MA 01701

Phone: 508-596-7220

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DESCRIPTION

#

Projec125B\_ARL\_2025

Scale 3/16" = 1'-0"

1.3

1 PROPOSED 1ST FLOOR DEMO PLAN  
3/16" = 1'-0"

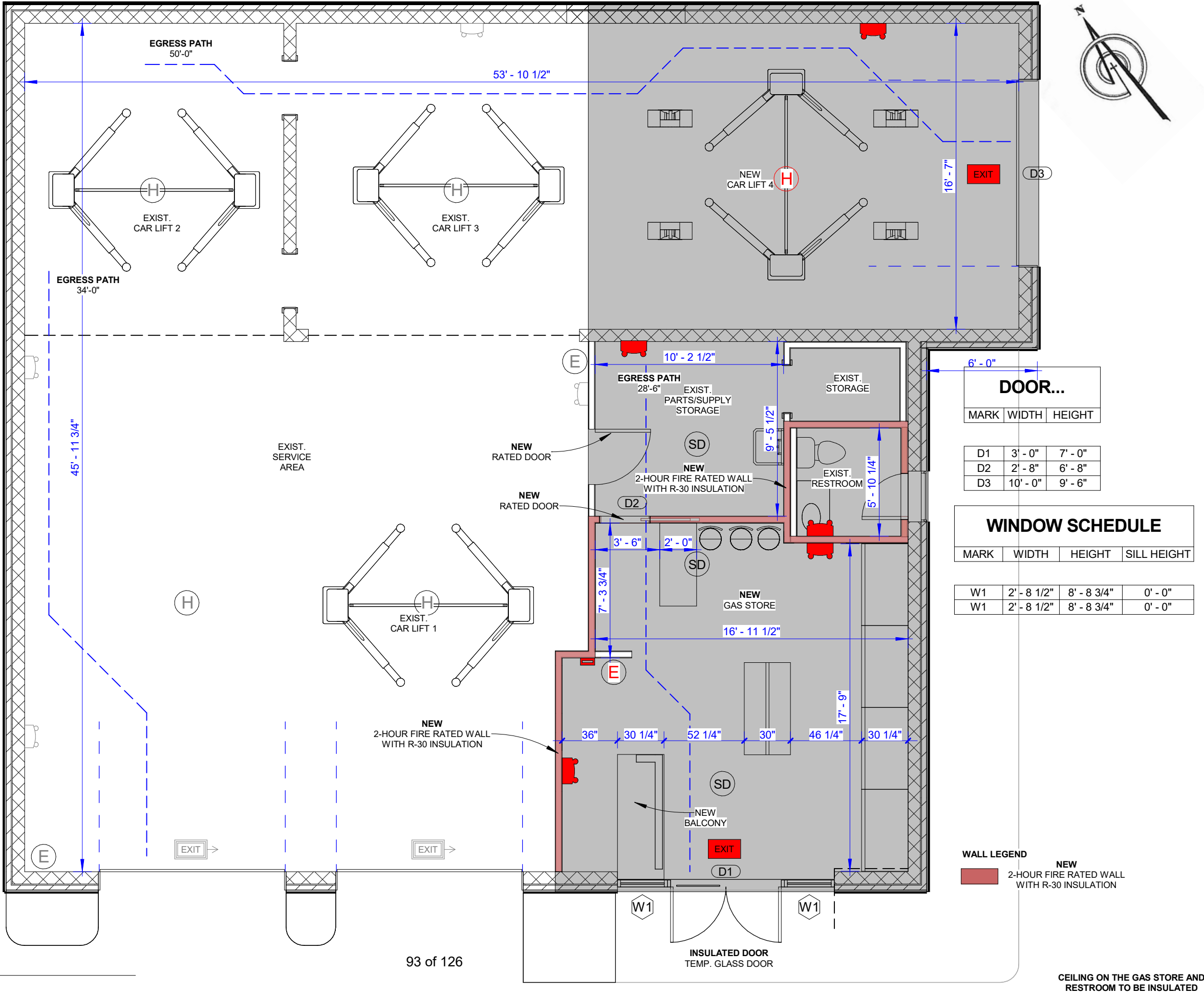
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- EXIT → EXISTING CEILING EXIT SIGN
- EXISTING DOUBLE HEAD EMERGENCY LIGHT
- SD EXISTING SMOKE DETECTOR
- EXISTING FLUSH MOUNT CEILING LIGHT
- EXISTING SINGLE HEAD EMERGENCY LIGHT
- EXISTING FIRE ALARM PULL STATION
- EXISTING HORN & STROBE WALL MOUNTED 7' A.F.F.
- EP EXISTING ELECTRICAL PANEL
- E EXISTING EXTINGUISHER
- H EXISTING HEAT DETECTOR

PROPOSED LIGHTING AND FIRE PROTECTION

- EXIT NEW WALL EXIT SIGN
- SD NEW SMOKE DETECTOR
- NEW HORN & STROBE WALL MOUNTED 7' A.F.F.
- E NEW FIRE EXTINGUISHER
- NEW EGRESS PATH
- NEW DOUBLE HEAD EMERGENCY LIGHT
- NEW FLUSH MOUNT CEILING LIGHT
- NEW FIRE ALARM PULL STATION
- EP NEW ELECTRICAL PANEL
- H EXISTING HEAT DETECTOR

1 PROPOSED 1ST FLOOR  
3/16" = 1'-0"



DOOR...

MARK	WIDTH	HEIGHT
D1	3' - 0"	7' - 0"
D2	2' - 8"	6' - 8"
D3	10' - 0"	9' - 6"

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	SILL HEIGHT
W1	2' - 8 1/2"	8' - 8 3/4"	0' - 0"
W1	2' - 8 1/2"	8' - 8 3/4"	0' - 0"

WALL LEGEND

NEW  
2-HOUR FIRE RATED WALL  
WITH R-30 INSULATION

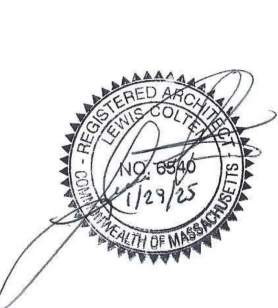
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125 BROADWAY  
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ELI'S GAS STATION

PROPOSED 1ST FLOOR

Drawn by:

Date: 01/28/2025



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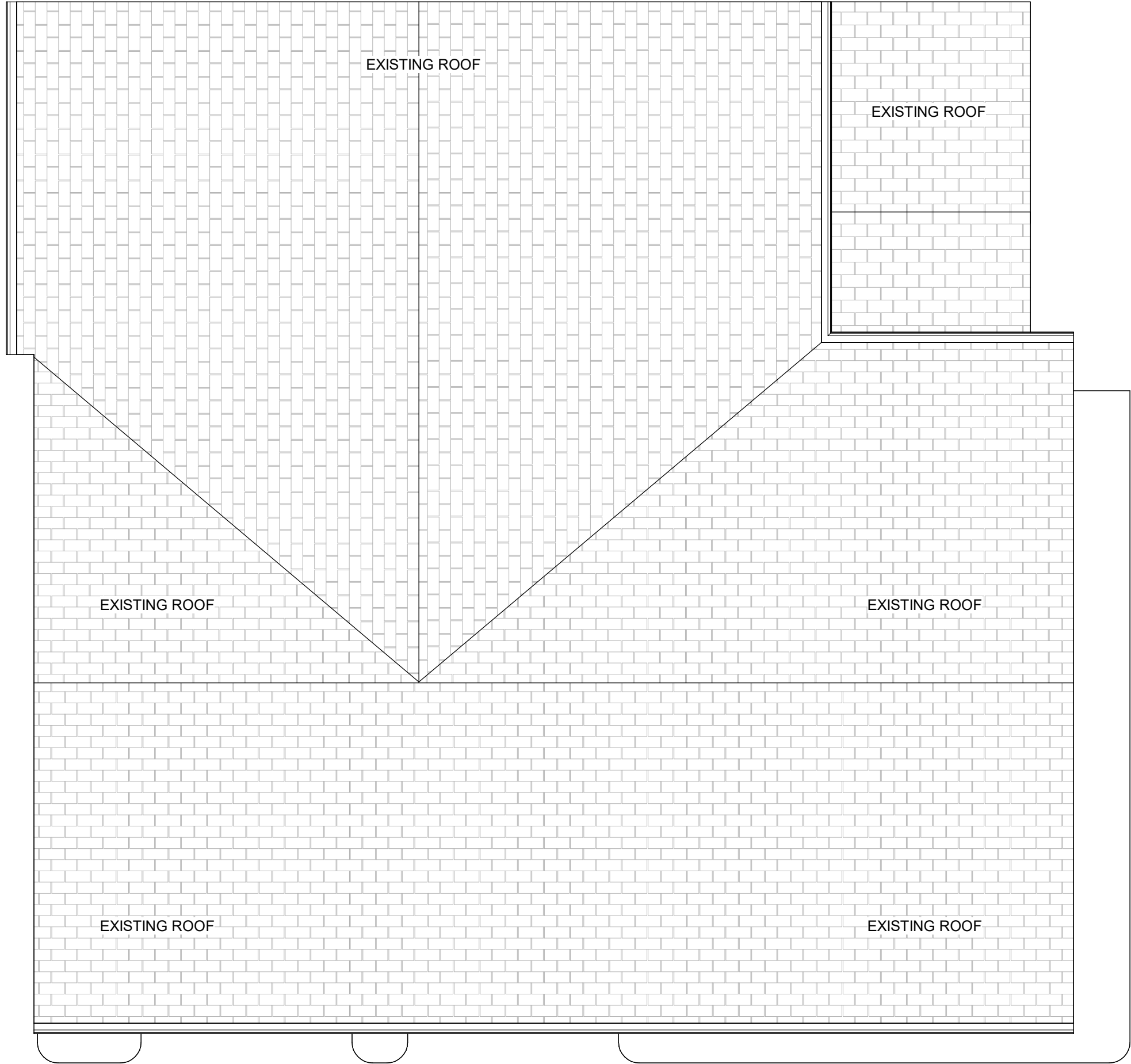
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Scale 3/16" = 1'-0"

1.4





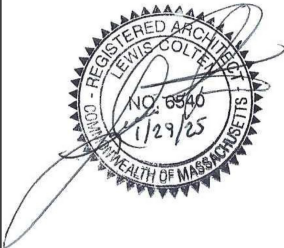
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125 BROADWAY  
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ELI'S GAS STATION

EXISTING ROOF

Drawn by:

Date: 01/28/2025



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DESCRIPTION

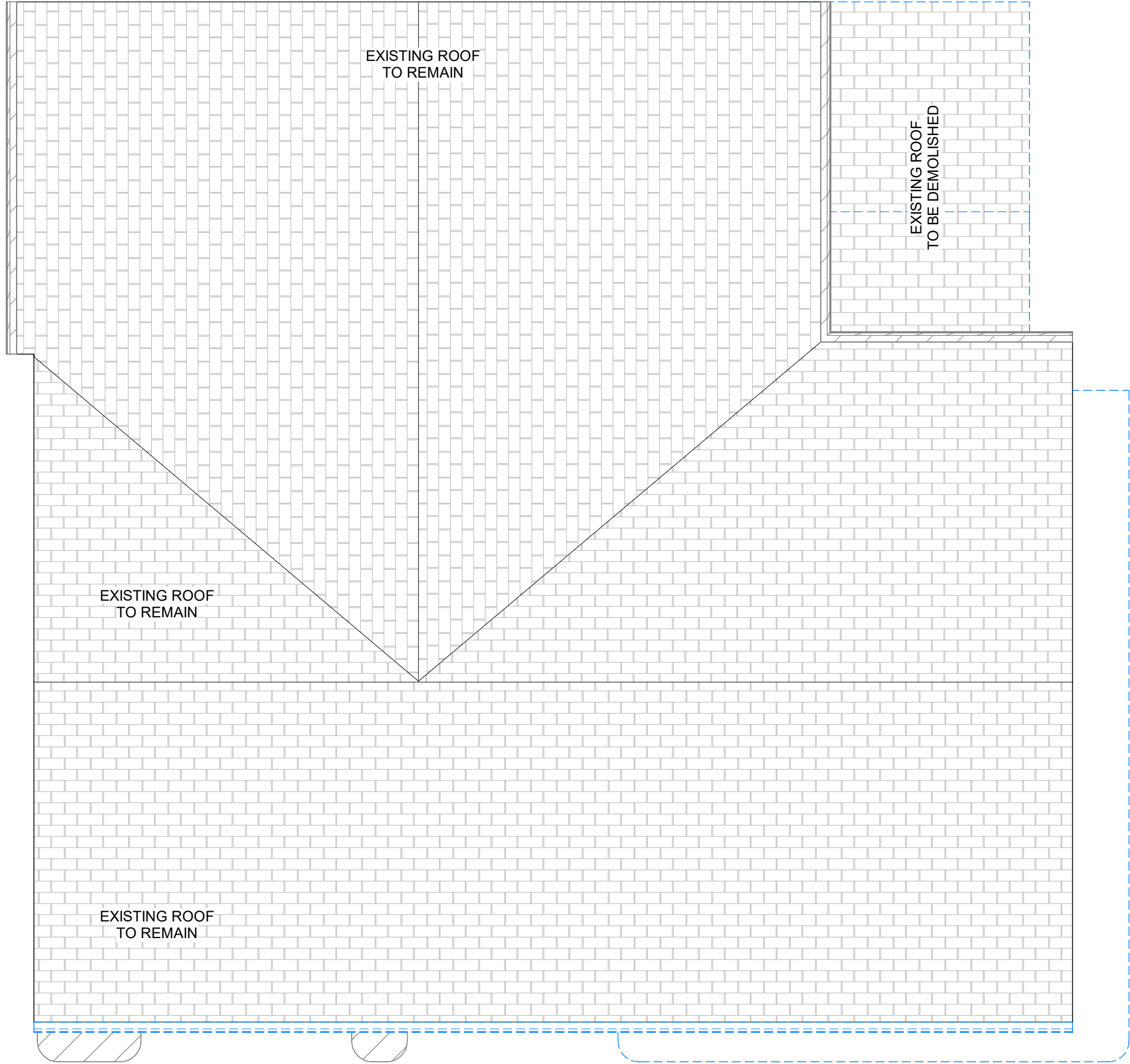
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Projec125B\_ARL\_2025

Scale 3/16" = 1'-0"


1.5

1 EXISTING ROOF PLAN  
3/16" = 1'-0"



1 PROPOSED ROOF PLAN DEMO PLAN  
3/16" = 1'-0"






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125 BROADWAY  
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ELI'S GAS STATION

PROPOSED ROOF DEMOLITION

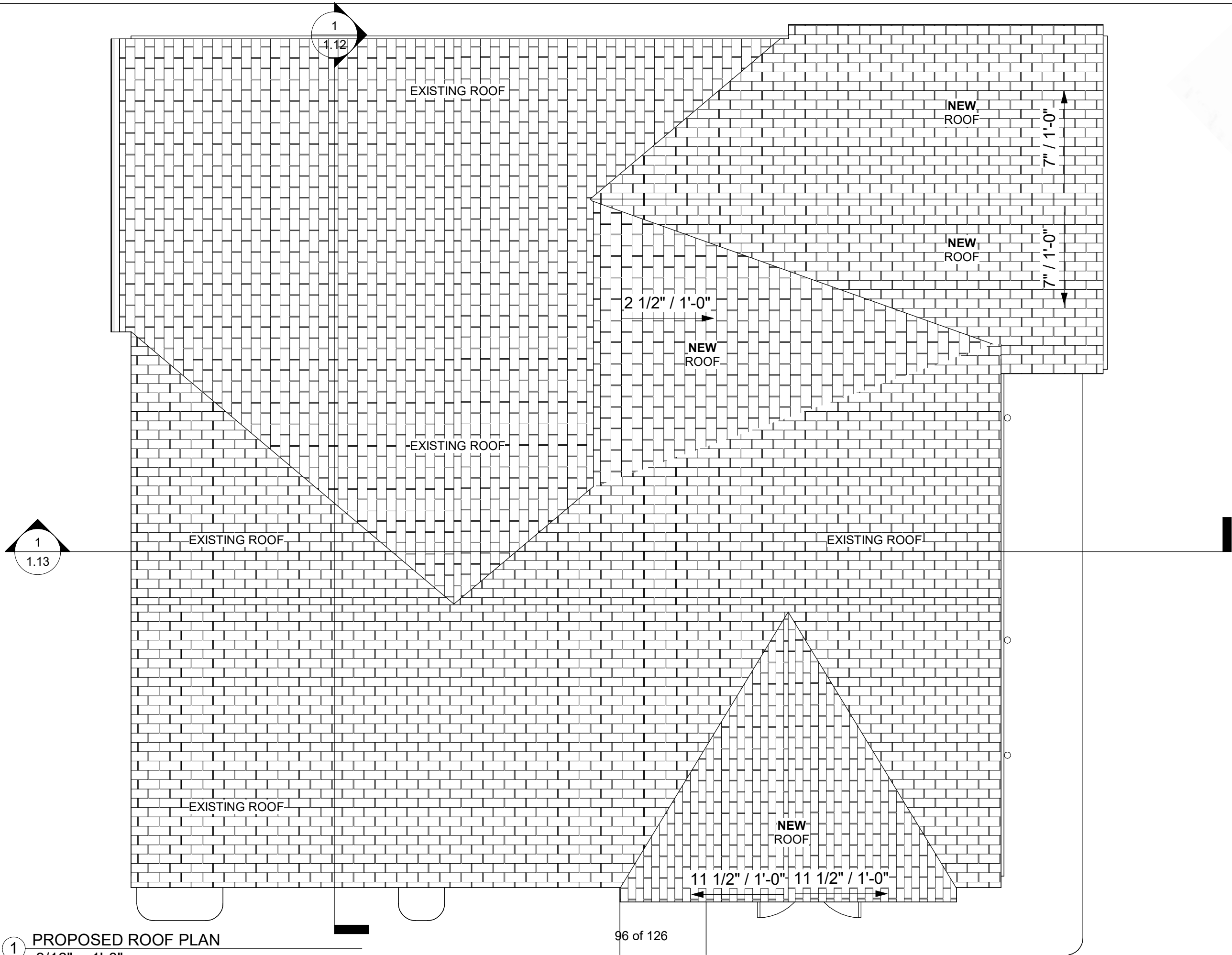
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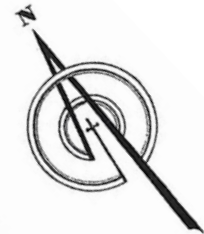
Lewis Colten AIA  
ARCHITECT

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MA 01701  
Phone: 508-596-7220  
E-Mail:  
Lewcoltenaia@gmail.com

DESCRIPTION				
#				
Projec125B_ARL_2025				
Scale	3/16" = 1'-0"			
1.6				



**1 PROPOSED ROOF PLAN**  
 $3/16'' = 1'-0''$

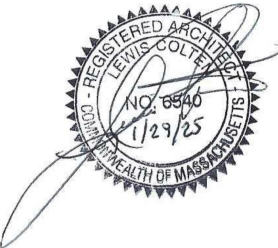


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125 BROADWAY  
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**PROPOSED ROOF**

Date: 01/28/2025 Drawn by:



**Lewis Colten AIA**  
ARCHITECT

9 Vernon Street, Framingham,  
MA 01701

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E-Mail:

Lewcoltenaia@gmail.com

**DESCRIPTION**

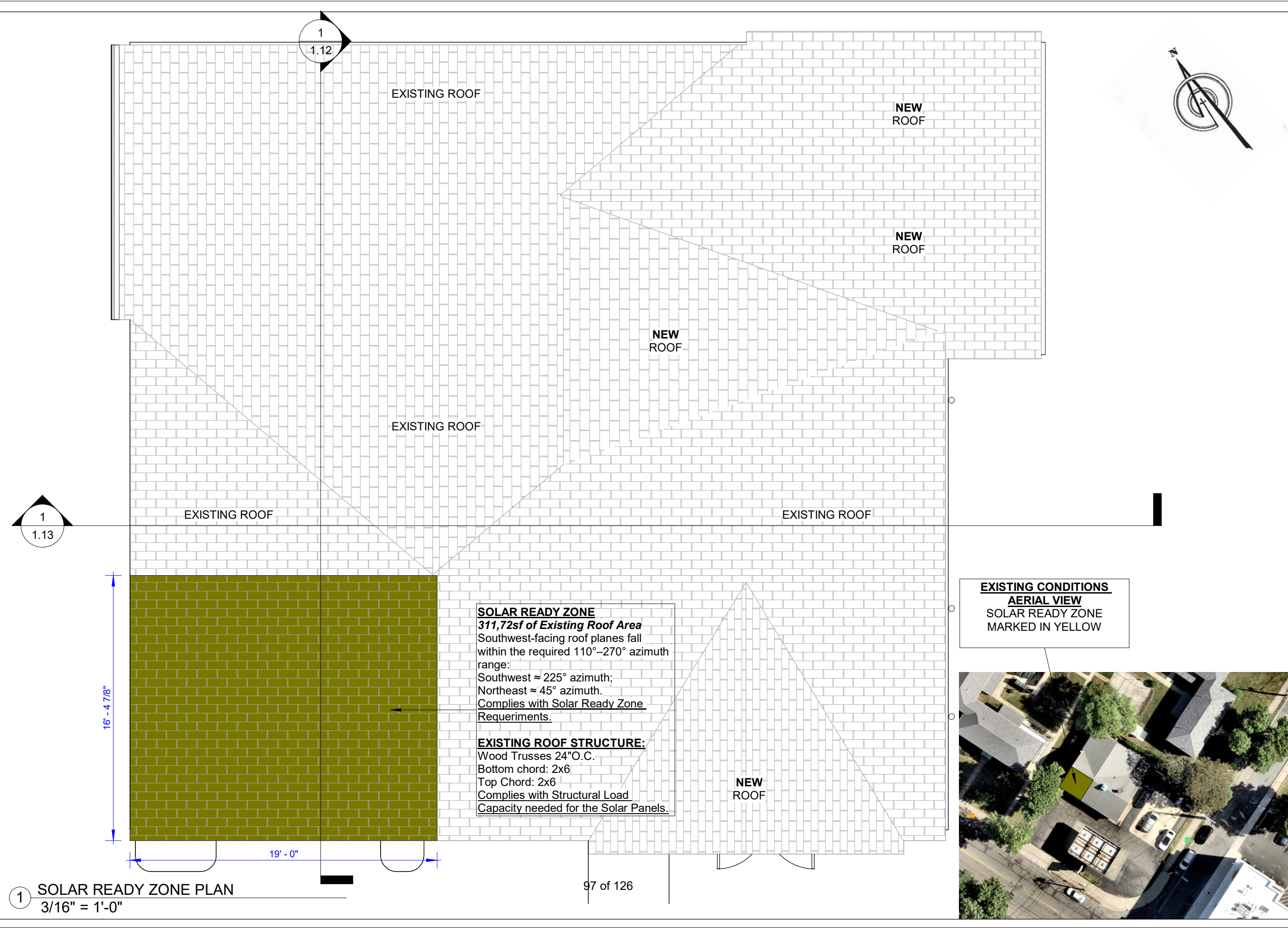
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Projec125B\_ARL\_2025

Scale  $3/16'' = 1'-0''$

**1.7**







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125 BROADWAY  
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SOLAR READY ROOF

Date: 01/28/2025

Drawn by:

rev1. Solar Ready Zone  
06.11.2025



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E-Mail:  
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DESCRIPTION				
#				
Projec125B_ARL_2025				
Scale		3/16" = 1'-0"		
1.7.1				



1 EXISTING STOREFRONT ELEVATION  
3/16" = 1'-0"



2 PROPOSED STORE FRONT ELEVATION  
3/16" = 1'-0"



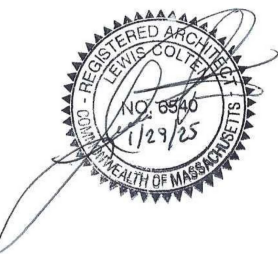
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125 BROADWAY  
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ELI'S GAS STATION

FRONT ELEVATION

Date: 01/28/2025

Drawn by:



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DESCRIPTION				
#				
Projec125B_ARL_2025				
Scale	3/16" = 1'-0"			
1.8				






1 EXISTING STORE RIGHT SIDE ELEVATION  
3/16" = 1'-0"



2 PROPOSED STORE RIGHT SIDE ELEVATION  
3/16" = 1'-0"

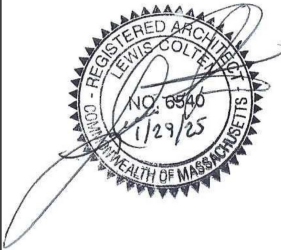


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125 BROADWAY  
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ELI'S GAS STATION

RIGHT SIDE ELEVATION

Date: 01/28/2025  
Drawn by:



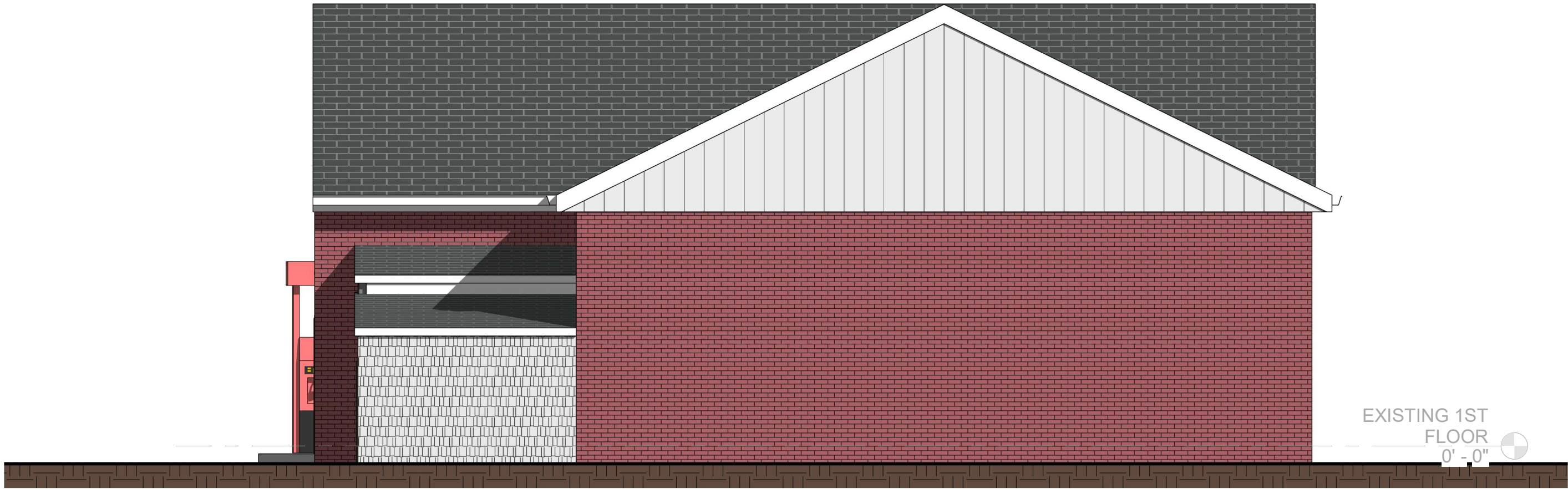
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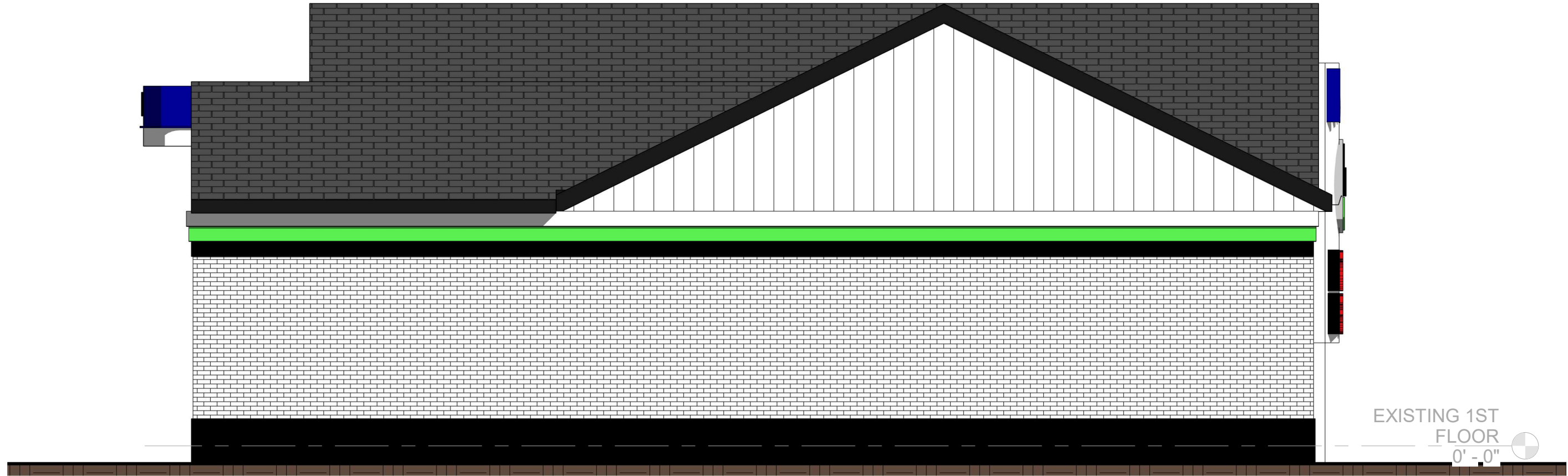
Phone: 508-596-7220  
E-Mail:  
Lewcoltenaia@gmail.com

DESCRIPTION				
#				
Projec125B_ARL_2025				
Scale	3/16" = 1'-0"			
1.9				






1 EXISTING STORE REAR ELEVATION  
3/16" = 1'-0"



2 PROPOSED STORE REAR ELEVATION  
3/16" = 1'-0"




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125 BROADWAY  
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ELI'S GAS STATION

REAR SIDE ELEVATION

Date: 01/28/2025

Drawn by:



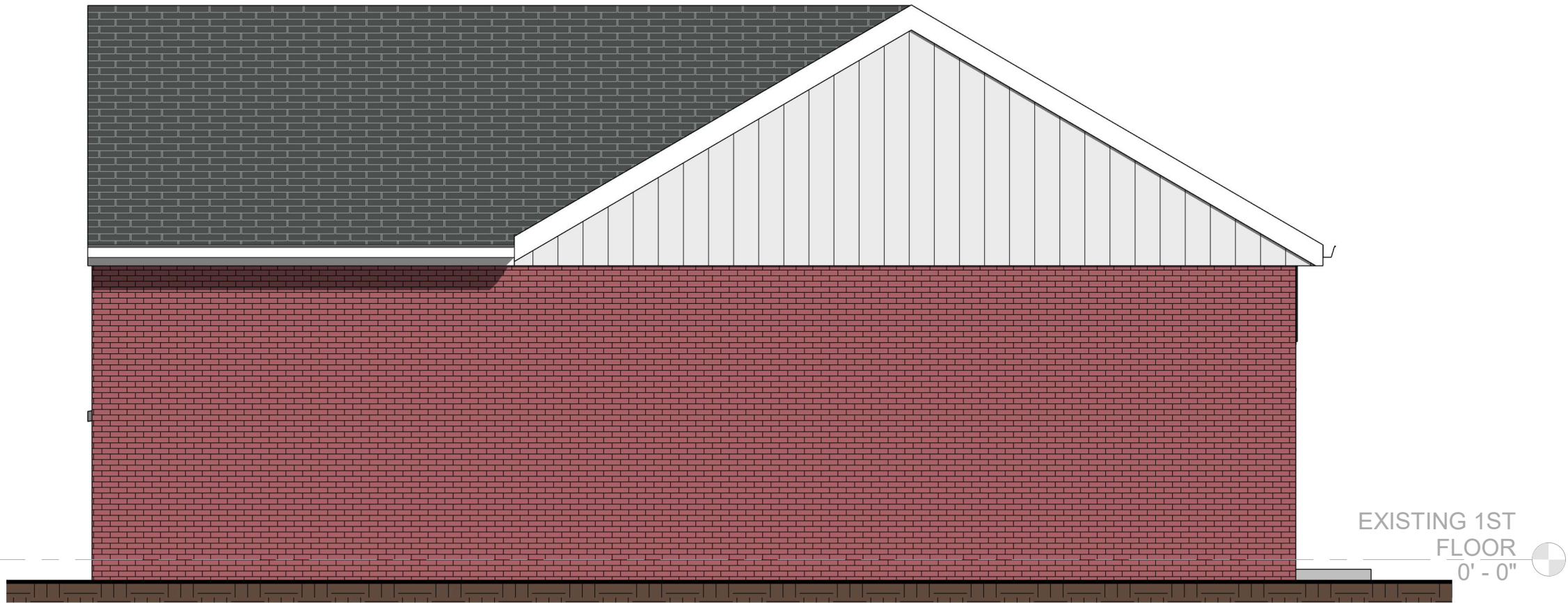
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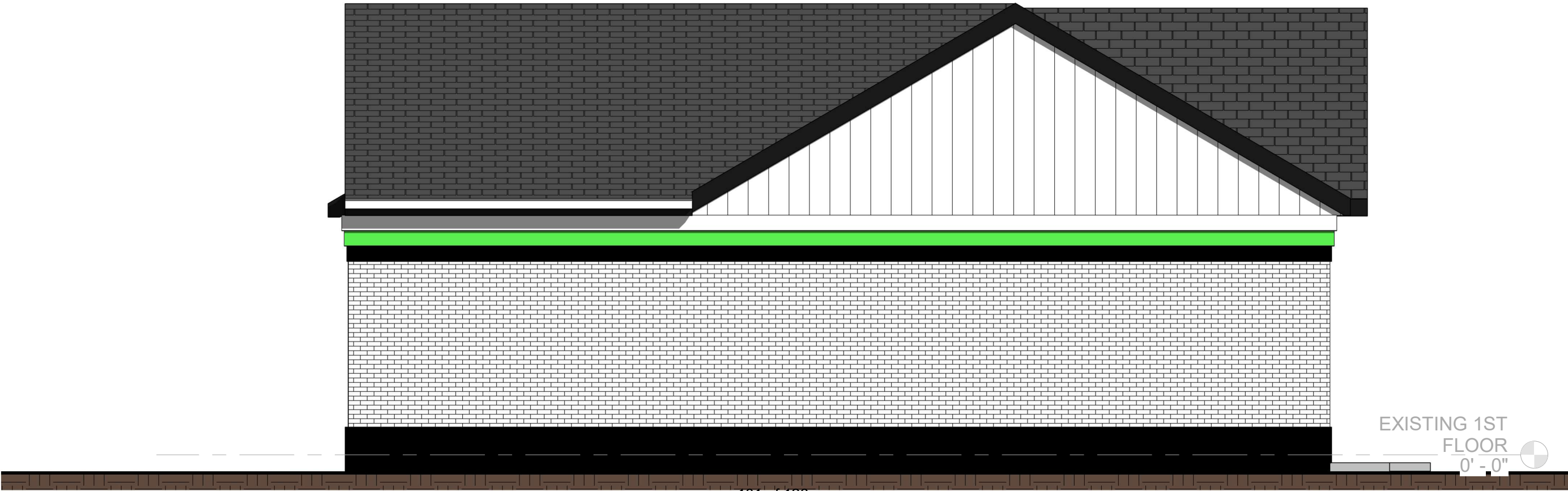
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E-Mail:  
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DESCRIPTION				
#				
Projec125B_ARL_2025				
Scale	3/16" = 1'-0"			
1.10				






1 EXISTING STORE LEFT SIDE ELEVATION  
3/16" = 1'-0"



2 PROPOSED STORE LEFT SIDE ELEVATION  
3/16" = 1'-0"




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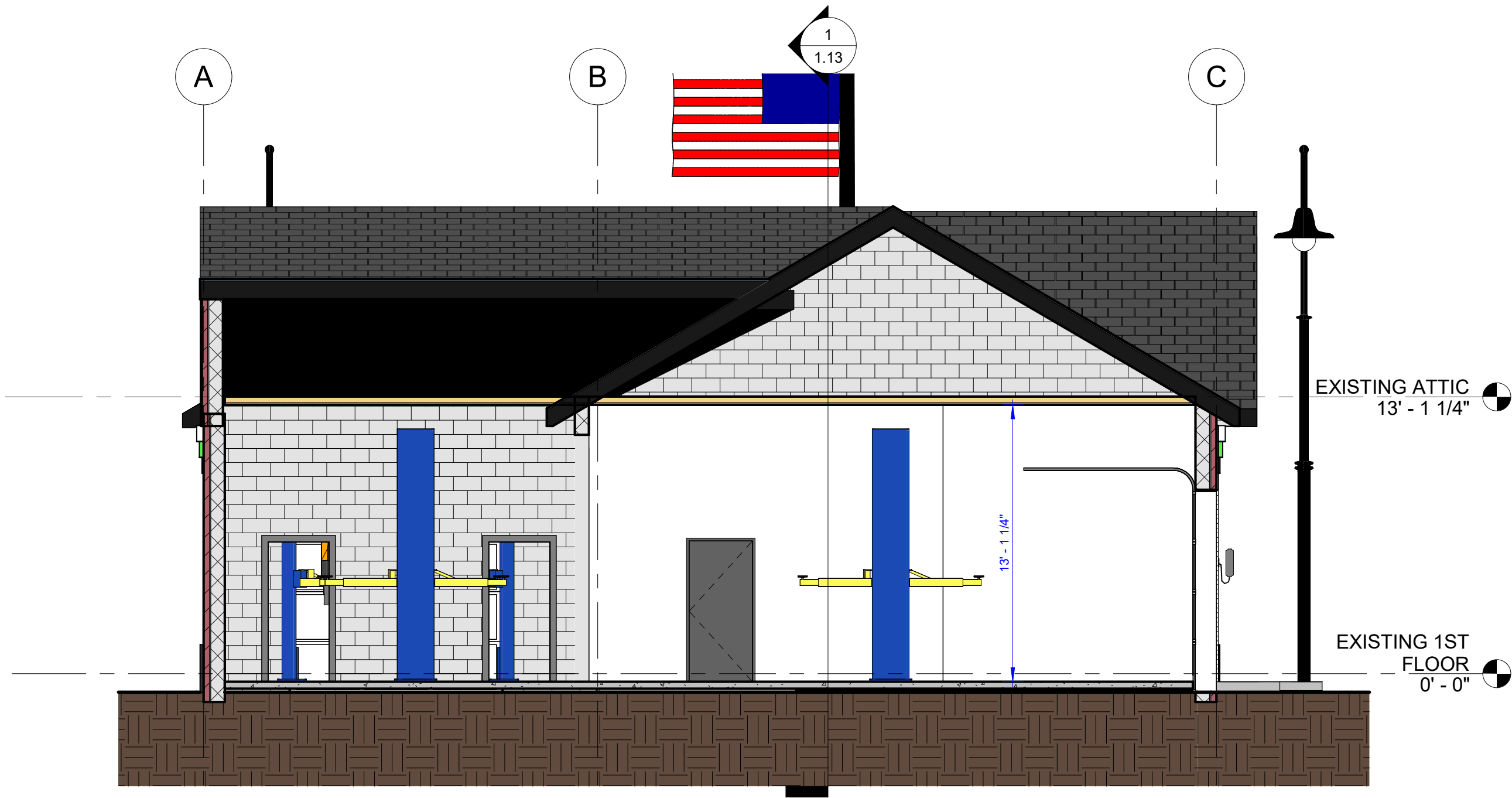
LEFT SIDE ELEVATION

Date: 01/28/2025  
Drawn by:



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E-Mail:  
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DESCRIPTION				
#				
Projec125B_ARL_2025				
Scale	3/16" = 1'-0"			
1.11				



1 Section 18  
3/16" = 1'-0"



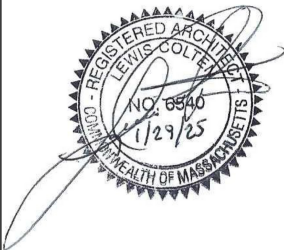
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125 BROADWAY  
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SECTIONS

Drawn by:

Date: 01/28/2025



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DESCRIPTION

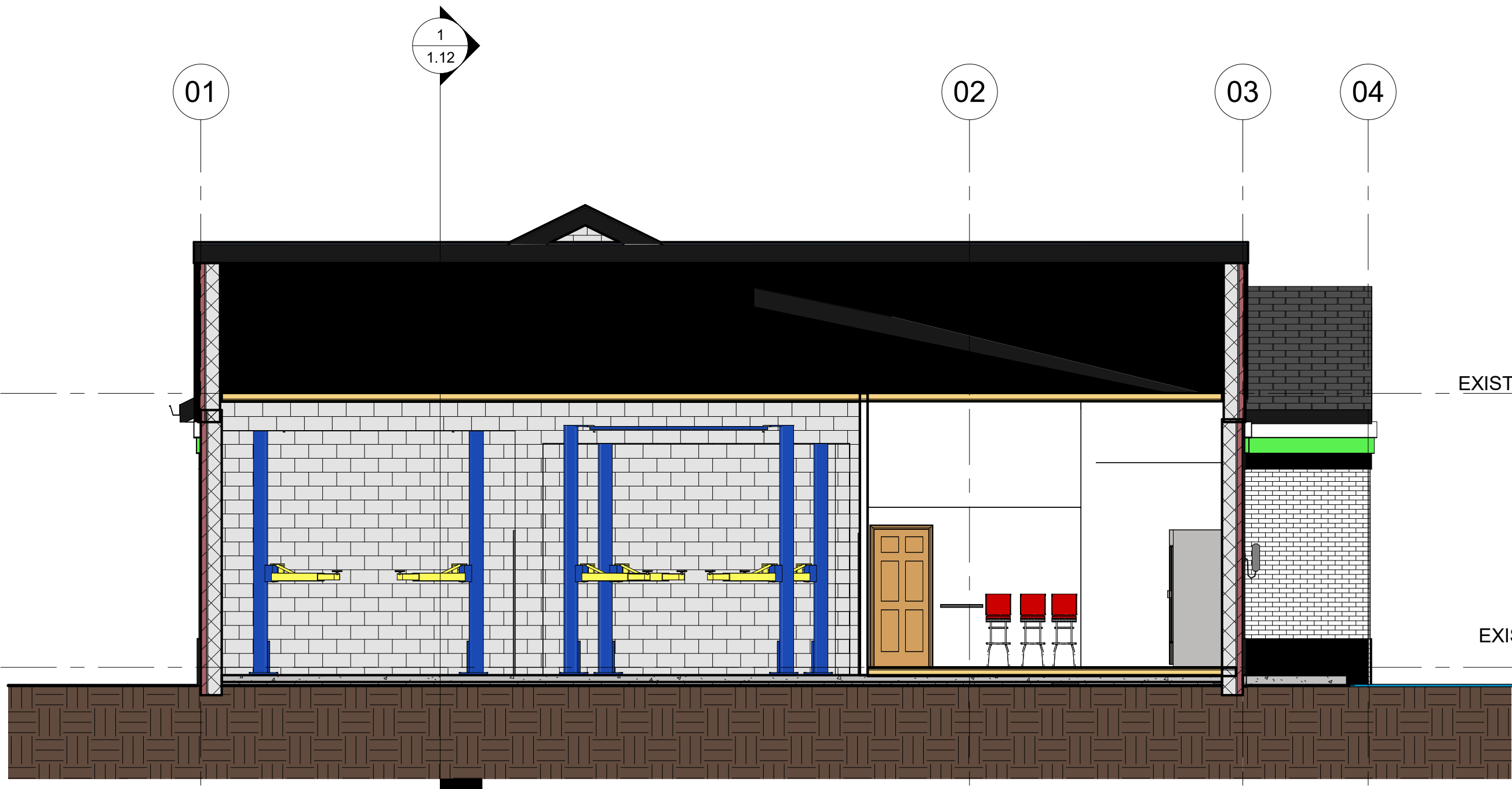
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Projec125B\_ARL\_2025

Scale 3/16" = 1'-0"

1.12





1 Section 19  
3/16" = 1'-0"



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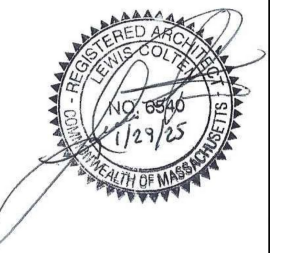
SECTION

Drawn by:

Date: 01/28/2025

EXISTING ATTIC  
13' - 1 1/4"

EXISTING 1ST  
FLOOR  
0' - 0"



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DESCRIPTION

#

Projec125B\_ARL\_2025

Scale 3/16" = 1'-0"

1.13

Nov 12 3 04 PM '93

TOWN CLERK'S OFFICE  
ARLINGTON, MA. 02174

PLANNING & COMMUNITY DEVELOPMENT  
COMMONWEALTH OF MASSACHUSETTS

ZONING BOARD OF APPEALS  
ARLINGTON, MASSACHUSETTS

Application for Variance  
filed by THOMAS PORTER,  
and real estate located at  
125 Broadway, Arlington, MA

Applicant

Docket No. 2903

## APPLICATION FOR VARIANCE

Hearing: Tuesday, October 12, 1993

Decision: Friday, November 19, 1993

## DECISION OF THE BOARD

Members Present:

Mary Winstanley O'Connor  
Marshall K. Audin  
Teresa Walsh Habib

TOWN OF ARLINGTON

RECEIVED

NOV 19

Nov 19 3 30 PM '93

Docket No. 2903  
Page 2 of 11 Pages

PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

TOWN CLERK'S OFFICE  
ARLINGTON, MA. 02174

STATEMENT OF PROCEEDINGS

A hearing was held in the Hearing Room at Arlington Town Hall on Tuesday, October 12, 1993 in connection with an Application for Variance filed by Thomas Porter, relating to real estate at 125 Broadway, Arlington, Massachusetts.

Applicant sought a Variance to modify a condition of a previous Variance issued by the Zoning Board (Docket No. 1178) which was granted in 1972.

At the time the Variance was granted (Docket No. 1178 of 1972) the predecessor owner of the real estate was granted a Variance to replace the then existing building with a larger and new building which did not then conform to the set-back regulations then applicable in the Zoning Bylaw.

The Zoning Board of Appeals granted the Variance on the condition that heavy automotive repairs would cease, that no additional structures would be constructed, and that there would be no overnight parking at the site.

The purpose of the present Application for Variance is to remove the overnight parking restriction contained within the substance of the Zoning Board of Appeals' Decision identified as Docket No. 1178 of 1972.



Nov 19 3 30 PM '93

Docket No. 2903  
Page 3 of 11 Pages

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DEVELOPMENT DEPARTMENT TOWN CLERK'S OFFICE  
ARLINGTON, MA. 02174

Robert J. Annese appeared before the Board in behalf of the Petitioner.

FINDINGS OF FACT

Thomas Porter is the owner and operator of the existing Citgo Gasoline Service Station located at 125 Broadway and Applicant has operated a gasoline filling station at the 125 Broadway location for approximately 35 years.

Applicant purchased the 125 Broadway real estate from Chelsea Terminal, Inc. approximately 15 years ago and has consistently utilized the subject real estate as a gasoline service station both during that time and during prior years during which he leased the subject real estate from Chelsea Terminal, Inc.

Applicant has spent substantial monies in improving the exterior appearance of the subject real estate within the past ten years and has upgraded the gasoline pumps at the site in order to satisfy vapor recovery requirements and at the same time he also installed foundations for a new canopy. The purpose of the new canopy is to provide protection from the elements for employees and customers and to provide illumination with respect to the operation of the gasoline pumps during evening hours.

The subject real estate contains two bays and two gasoline pumps. The gas station business utilizes one employee in addition to the proprietor/owner, Mr. Porter. Mr. Porter is

Nov 19 3 30 PM '93

Docket No. 2903  
Page 4 of 11 Pages

PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

TOWN CLERK'S OFFICE  
ARLINGTON, MA. 02174

physically located on the property site conducting business during most business hours.

The subject real estate is located in the business (B4) zoning district and exists in that district by way of Special Permit.

The size of the locus lot is 9,869 square feet and there is 114.27 feet of frontage.

The front yard depth is 50 feet. The left side yard is 13 feet and right side yard is 40 feet.

The rear yard is 3 feet.

The building is of block construction and the distance to the nearest principal building is 30 feet.

The purpose of this Application for Variance is to modify the terms of the Decision of this Board entered on May 18, 1972 in part as follows:

"That there be no over-night parking on the premises. It is the intent of this contingency to forthwith eliminate any over-night parking on the premises, and it is up to the owners and operators of these premises to insure that all over-night parking, whether for hire or not, cease."

A Special Permit request is currently pending before the Arlington Redevelopment Board in accordance with Section 11.06 (Environmental Design Review), Section 5.04 (Table of Use Regulations), Section 6.05 (Gasoline Filling Stations) of the Zoning Bylaw for the purpose of constructing a canopy at the

Nov 18 3 30 PM '93

Docket No. 2903  
Page 5 of 11 Pages

PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

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site, and for the purpose of requesting modified signage at the site.

There have been three prior Zoning Board of Appeals Decisions in connection with the locus, i.e. Appeal No. 951 in June, 1967; Appeal No. 1178 in May, 1972; and Appeal No. 2257 in January, 1979.

The only Zoning Board of Appeals Decision at issue is the Decision identified as Docket 1178, May 18, 1972, as aforementioned.

Applicant does have vehicles located on the site over-night, which vehicles in the main are customer vehicles.

In additon, applicant rents U-Haul vehicles to customers and others.

Applicant makes every effort to insure that the vehicles being repaired and/or otherwise worked on are finished with respect to the required work within one day; however, occasionally a vehicle must remain at applicant's premises over-night for additional work to be performed on the following morning.

In addition, Applicant makes every effort to store those vehicles within the interior of his two-bay gasoline station structure; however, there are occasions when there is not sufficient room in either of the two bays to store a vehicle over-night and on those occasions Applicant will store the vehicle off to the right hand side of the building located on



TOWN OF ARLINGTON

Nov 19 3 30 PM '93

Docket No. 2903  
Page 6 of 11 Pages

PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

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his lot approximately 50 to 60 feet from Broadway.

U-Haul vehicles are also kept to the right of the building at the site approximately 50-60 feet back from Broadway.

The Applicant, Thomas Porter, was not the owner of the 125 Broadway real estate on May 18, 1972 at the time the predecessor owner, Chelsea Terminal, Inc., filed an Application with the zoning Board for the purpose of constructing a 50 ft. x 48 ft. building at the property site.

At the time the Application for Variance was filed in 1972 an existing building was located at the site which had been constructed in 1920 and which was used for gasoline/service station purposes. That existing building had been modified in 1945. Since the Decision of the Zoning Board in Docket No. 1178 on May 28, 1972, the Applicant, Thomas Porter, has spent extensive funds remodeling and modifying the existing gas station building and has enhanced the esthetics of the site by such actions. The exterior of the building has been totally remodeled by Mr. Porter.

The only automotive repair work performed by Mr. Porter at the gas station site is that normally associated with gasoline filling stations, i.e. repair work of a minor nature. No heavy body work and/or repair work is performed on motor vehicles by Mr. Porter at the site.

The nature of the gasoline service business has been in transition during the last 20 years and while the work performed

## TOWN OF ARLINGTON

Nov 19 3 30 PM '93

Docket No. 2903  
Page 7 of 11 Pages

PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

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by Applicant with respect to motor vehicle repair work is still minor in nature, occasionally the work on customer vehicles of necessity cannot be completed before closing time, and it is for that reason that Applicant requests permission to park vehicles over-night off to the right hand side of the existing building approximately 50-60 feet back from Broadway.

In addition, in order to be economically competitive, Mr. Porter has been compelled to rent U-Haul vehicles to the public and when all of the vehicles have not been rented during the course of the day, he might find the need to store a couple of the U-Haul vehicles at the property site over-night. Once again, those U-Haul vehicles would be parked to the right hand side of the existing building, approximately 50-60 feet from Broadway.

Mr. Porter has found that the income he receives from the renting of U-Haul vehicles is important to his business profits given the low profit margin with respect to the sale of gasoline.

The 125 Broadway real estate currently exists as a permitted use in accordance with the provisions of 6.05 of Section 5.04 of the Table of Use Regulations of the Arlington Zoning Bylaw.

That Section provides that a gasoline filling station site can be used (with permission of the Zoning Board of Appeals) "for the retail sale of gasoline, oil, and auto accessories and

TOWN OF ARLINGTON

Nov 19 3 30 PM '93

Docket No. 2903  
Page 8 of 11 Pages

PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

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minor automotive repairs and servicing such as lubricating, tune-ups, adjusting and repairing brakes, tire service, radiator cleaning and flushing, washing and polishing, minor servicing and repairing of carburetors, fuel pumps and wiring, and minor motor adjustments not involving the removal of the head or crank case."

OPINION OF THE BOARD

MGLC. 40A and Section 10.12 of the Zoning Bylaw relating to the granting of Variances allows favorable action by the Zoning Board upon the following findings of fact being made by the Board:

1. That owing to the conditions especially affecting this land but not affecting generally the district in which it is located, a literal enforcement of the provisions of the Bylaw as to the locus in question would involve substantial hardship to the Applicant, and that desirable relief may be granted without substantially derogating from the intent and purpose of the Bylaw.

2. That the requested Variance will be in harmony with the general purposes and intent of the Zoning Bylaw of the Town of Arlington.

3. There will be no detriment to the public good if the requested Variance is granted, and the public convenience and welfare will be substantially served by the granting of the Variance requested.



TOWN OF ARLINGTON

Docket No. 2903  
Page 9 of 11 Pages

PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

Nov 19 3 30 PM '93

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Applicant's property site, i.e. the 125 Broadway real estate is located on a main thoroughfare within the Town of Arlington with commercial properties, including other automotive business operations being located in the same neighborhood.

The Applicant currently has a Petition for Special Permit for Design Environmental Use pending before the Arlington Redevelopment Board for the purpose of constructing a canopy over the gas station pumps and to allow additional signage.

It is clear that many factual conditions, including economic conditions, have changed significantly since 1972, the date when the Zoning Board inserted a condition in its Decision in Docket No. 1178, that there be no over-night parking at the property site. Applicant was not the owner of the property site at the time that condition was imposed by the Arlington Zoning Board of Appeals, and it is clear that he has enhanced the appearance of the building at the site since he acquired ownership of it.

Of necessity, there will be occasions when over-night parking of customer vehicles at the 125 Broadway site will need to occur such as when Applicant is working on repairs to a motor vehicle and is unable to complete those repairs by the close of business on any specific day.

In the view of the Board a literal enforcement of the provisions of the 1972 Variance Petition imposing a condition of no over-night parking would involve substantial hardship to the

TOWN OF ARLINGTON

Nov 19 3 40 PM '93

Docket No. 2903  
Page 10 of 11 Pages

PLANNING & COMMUNITY  
DEVELOPMENT DEPARTMENT

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Applicant, and in the opinion of the Board desirable relief may be granted without substantially derogating from the intent and purpose of the Bylaw.

In light of the pending Petition for Design Environmental Review before the Redevelopment Board, it is the view of this Board that any determination with respect to the number of vehicles to be parked at Applicant's site and under what conditions be determined by the Redevelopment Board as a part of the Design Environmental Review process.

There will be no detriment to the public good if the requested relief is granted, i.e. eliminating the no over-night parking condition, and the requested relief will be in harmony with the general purpose and intent of the Zoning Bylaw for the Town of Arlington in light of the fact that the relief, if granted, will not result in introduction of a new use to the site, but rather will simply enable Applicant to be competitive with other gas station businesses located within the Town of Arlington.

In summary, the Board concludes that the condition contained in Docket No. 1178 in the Zoning Board of Appeals' Decision of 1972 with respect to "no over-night parking" be removed and that the method and manner of parking at the 125 Broadway site be referred to the Arlington Redevelopment Board for determination.

Accordingly, the Board voted unanimously at the Hearing on

TOWN OF ARLINGTON

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Docket No. 2903  
Page 11 of 11 Pages

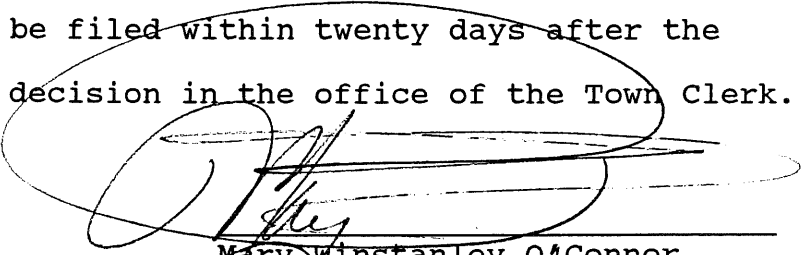
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ARLINGTON, MA. 02174

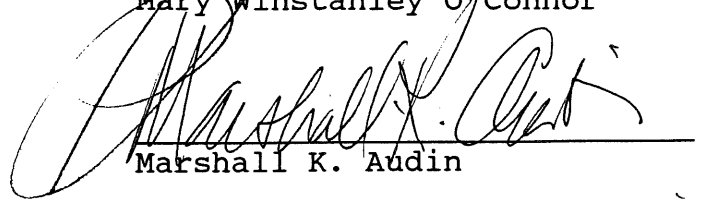
October 12, 1993 to allow the Applicant a Variance for the purpose of eliminating the aforementioned "no parking" requirement.

The Board hereby makes a detailed record of all its proceedings relative to this appeal; sets forth the reasons for its decision and findings; directs that this record be filed in the office of the Redevelopment Board and in the office of the Town Clerk and that such record be a public record; and further directs that notice of this decision be made forthwith to each party in interest.


Appeals of this decision, if any, shall be made pursuant to Section 17 of the Zoning Act, (Massachusetts General Laws, Chapter 40A) and shall be filed within twenty days after the date of filing of such decision in the office of the Town Clerk.



Mary Winstanley O'Connor



Marshall K. Audin



Teresa Walsh Habib



5/18/72

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

ZONING BOARD OF APPEALS  
ARLINGTON, MASSACHUSETTS

In the Matter of	)	
	)	
Chelsea Terminal, Inc.	)	Docket # 1178
	)	
Petitioner	)	
	)	
	)	
	)	
	)	

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REQUEST FOR VARIANCE

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Hearing : October 12, 1971

Decision: May 18, 1972

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OPINION OF THE BOARD

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Members Present:

Richard Keshian, Chairman  
John R. Kenny, Secretary  
Francis J. DeRoche

THE OPINION WAS DELIVERED BY MR. KESHIAN

## OPINION OF THE BOARD

This is a proceeding of the Zoning Board of Appeals of the Town of Arlington, Massachusetts, acting under the Zoning By-Law of the Town of Arlington, and General Laws, Chapter 40A, as amended, in which the owners of land and building seek to establish a variance in order to reconstruct a gasoline station on the existing lot at 125 Broadway, Arlington, Massachusetts.

Following the giving of notice as required by law, a hearing was held by the Zoning Board of Appeals (hereinafter called, "Board") at the hearing room, Robbins Town Hall, on October 12, 1971.

Mr. Peter Borowiec, Mr. Frank Harvey and Mr. Robert Davis all representing the owners of the land and the service station appeared at the hearing.

Basically, the petitioners want to construct on this site a 50' by 48' building which would be of red brick and colonial design. At present, there is a gasoline service station building located on the premises which was originally built in 1920 and upon which an addition was constructed in 1945.

The lot roughly consists of 10,000 square feet of land. The petitioner states that the ideal lot size for the efficient operation of a service station is 150 feet by 150 feet. The present location is only 100 feet by 100 feet.

The existing service station building is set back about 61 feet and about four feet from the left property line and 10 feet from the rear property line. It has roughly about 1466 square feet of floor area.

The building that is contemplated will consist of approximately 2,079 square feet of floor area. The petitioners seek to build so that it will be situated three feet from the rear lot line and three feet from the side yard line on one corner of the property. We are faced with interpreting another strange provision of our By-Law. Section 16B of the By-Law states in essence that height and area regulations in the Business A Districts require no setback. However, if a setback is required it must be a minimum setback of 10 feet. So, this petitioner is required to either build on the property line or at least 10 feet away from the property line. The petitioner seeks to construct its building three feet from the property line. We note that the petitioner here is merely asking for a change which would modify the legal consequences applicable to its own property. There is no contemplated change which would bring about a danger to the public safety or which will change the character of the neighborhood. We do not think that the granting of relief requested will derogate from the intent of the By-Law because neither the market value nor the character of the particular area would change. Neither would the requested relief detract from the intent of the By-Law.

At the close of the hearing, the Board met in private session and gave consideration to the subject of the petition and voted unanimously in favor of the following findings:

1. That in its judgement, the public convenience and welfare will be substantially served by the granting of the variances requested.
2. That the variances requested will not tend to impair the status of the neighborhood.
3. That the variances requested will be in harmony with the general purposes and intent of the Zoning By-Law of the Town of Arlington.
4. That owing to conditions especially affecting this land but not affecting generally the district in which it is located, a literal enforcement of the provisions of the By-Law as to the locus in question would involve substantial hardship to the petitioner and that desirable relief may be granted without substantially derogating from the intent and purpose of the By-Law.

Pursuant to the foregoing findings, the Board hereby unanimously decides that the application of the By-Law is hereby varied so far as may be necessary to permit:

The construction of a 50' by 48' building, red brick and colonial in design all as indicated in plans submitted at the hearing (which plans are hereby incorporated by reference and made a part hereof.)

Said buildings may be constructed so that it may have a three foot rear yard and side yard setback, all in accordance with said plan.

Construction of said building on these premises, to be in strict conformity with those plans referred to.

The variances granted are subject and contingent upon the following:

1. That the owners and operators of the station and premises and all of their successors in title cease and desist from so called <sup>heavy or major</sup> motor vehicle repair work and to perform only that type of repair work normally associated with gasoline filling stations, namely those of a strictly minor nature. It is meant by this restriction and contingency to eliminate heavy body work on motor vehicles and major overhauling of vehicles on these premises.



2. That no additional structures temporary or permanent or vehicles be situated, constructed or affixed to the premises which would be utilized for the storage or sales of any equipment whatsoever.
3. That there be no overnight parking on the premises. It is the intent of this contingency to forthwith eliminate any overnight parking on the premises and it is up to the owners and operators of these premises to insure that all overnight parking whether for hire or not, cease.
4. The variances granted are subject and contingent upon approval of plans by the Building Inspector and the Town Engineer as they may relate to curb cuts and to insure adequate protection in compliance with this opinion.

The Town Engineer is hereby authorized the discretion for the approval or rejection of curb cuts and any incidental grade variations.

The inspector of buildings is authorized to issue the necessary permits in accordance with this decision and other pertinent laws, regulations and rules.

The petitioner is directed to comply with the requirements of Chapter 40A, Section 18 of the Massachusetts General Laws, and to provide this Board with evidence of such compliance in 30 days from the date of this opinion.

The Board hereby makes a detailed record of all its proceedings relative to this petition; sets forth its reason for its decision and its findings; directs that this record be filed in the office of the Town Clerk and shall be a public record; and that notice of this decision be made forthwith to each party in interest.

ATTEST



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1/31/79

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TOWN OF ARLINGTON  
ARLINGTON, MA. 02174

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

ZONING BOARD OF APPEALS

ARLINGTON, MASSACHUSETTS

In the Matter of

Thomas Porter, Jr.

Petitioner

Docket No. 2257

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REQUEST FOR PERMIT

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Hearing : January 9, 1979

Decision: JAN 31 1979

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OPINION OF THE BOARD

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Members Present:

Robert J. Muldoon, Jr.  
Harold C. Knight  
John R. Kenny

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ARLINGTON, MA 02174

OPINION OF THE BOARD

This is an application by Thomas Porter, Jr., for a special permit under Section 7.09 of the by-law for a larger wall sign and a larger and higher standing sign than permitted by the by-law. After notice, a hearing was held January 9, 1979. The applicant was represented by Robert Annese, Esquire, 99 Massachusetts Avenue, Arlington, Massachusetts. No one appeared in opposition to the request. The Department of Planning and Community Development recommended issuance of the special permit with conditions.

FINDINGS OF FACT

1. The applicant owns the property at 125 Broadway, which contains 9,869 square feet and is in the B4, auto-oriented district.
2. The applicant's principal business at the site has been the sale of Citgo gasoline and the maintenance of a gasoline service station.
3. The applicant has also been engaged in selling Firestone tires and related Firestone products, a business he seeks to increase.
4. At present, a standing sign with the legend "Citgo" is on the site pursuant to a special permit or variance previously given.
5. The applicant proposes to main the standing sign at its present height, but wishes to substitute for "Citgo" the words "Firestone" and "Tom Porter", separated by the Firestone mark--a large "F" in a triangular shield.
6. In addition he wishes to attach to the front of the service station the words "Firestone Tire Center" and "Citgo".
7. The service station building is set back about 50 feet from Broadway. The location of the building with respect to the street warrants an adjustment in the sign size requirement.
8. In addition, the nature of the use now being made of the site--the sale of tires as well as of gasoline--justifies additional signage, although not as much on the face of the building as the applicant requests.

DECISION

Accordingly, the Board unanimously votes to grant the requested permit as follows:

- 1) The standing sign may be changed as requested, provided it stays the size it is as present and is illuminated only during business hours.

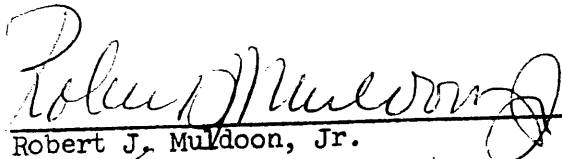
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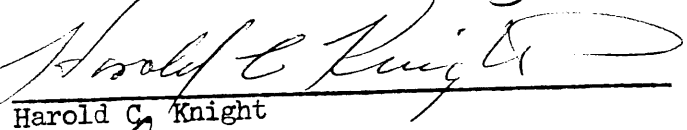
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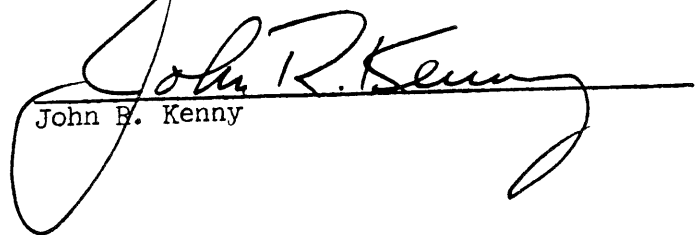
-2- TOWN OF ARLINGTON, MA. Docket #2257  
ARLINGTON, MA. 02174

2) The word "Citgo" may be attached to the front of the building. The word "Firestone" or the words "Tire Center" may be likewise attached.

The Board hereby makes a detailed record of all its proceedings relative to this Petition; sets forth the reasons for its decisions and its findings; directs that this record be filed in the office of the Town Clerk and shall be a public record; and that notice of this decision be made forthwith to each party in interest.

  
Robert J. Muldoon, Jr.

  
Harold C. Knight

  
John B. Kenny



TOWN OF ARLINGTON

In the Matter of the Petition of Thomas Porter

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TOWN OF ARLINGTON  
ARLINGTON, MA. 02174

To the Zoning Board of Appeals for the Town of Arlington:  
Application is herewith made, in accordance with the provisions  
of Section 7.09 Paragraph of the Zoning By-Law for the  
Town of Arlington, as follows: To construct a standing sign and  
locate a building sign at the premises at 125 Broadway, Arlington, Massachusetts.

Your petitioner states that he is the owner - the occupant of  
the land in Arlington, located at 125 Broadway, Arlington, Massachusetts  
with respect to which such relief is sought; that no unfavorable  
action has been taken by the Zoning Board of Appeals or its pred-  
ecessors upon a similar petition regarding this property within  
the two (2) years next immediately prior to the filing hereof.  
Your petitioner expressly agrees to full compliance with any  
and all conditions and qualifications imposed upon this permis-  
sion, either by the Zoning By-Law or by the Zoning Board of  
Appeals, should the same be granted. Your petitioner represents  
that the grounds for the relief sought are as follows:

1. The use requested can be granted by way of a special permit in accordance with the Arlington Zoning By-Laws.
2. The requested use is essential or desirable to the convenience or welfare.
3. The requested use will not create undue traffic congestion or duly impair pedestrian safety.
4. The requested use has no bearing on any public water drainage or sewerage system or any other municipal system to such an extent that any area of the Town will be subjected to hazards effecting health safety of the general welfare.
5. The special regulations set forth in Article 11 will be fulfilled.

See Addendum

Arlington, Massachusetts

Filed

Signed

Address

*Robert J. Flannery*

99 Massachusetts Avenue

Arlington, Ma. 02174

ADDENDUM

6. The requested use will not impair the integrity or character of the district or adjoining districts nor be detrimental to the health, morals or welfare.
7. The requested use will not cause an excess of such sign use in the neighborhood of 125 Broadway, which could be detrimental to character of said neighborhood.

With respect to such relief as sought, that no unfavorable action has been taken by the zoning Board of Appeals or its predecessor upon a similar petition regarding this property within two (2) years next immediately prior to the filing thereof. That petitioner expressly agrees to full compliance with all and all conditions and qualifications imposed upon this petition and directed by the zoning By-Law or by the zoning Board of Appeals, should the same be required. The petitioner represents

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CITY OF BOSTON

be supported use of the public water drainage or sewerage system or any other underground system to such an extent that any area of the town will be subjected to hazard or effect to the safety of the general public.

The appeal provisions are hereby waived and the appeal is withdrawn.

Very Respectfully,

STARCHBERRY  
BOSTON, MA.

COPY

125 Broadway 6/17/67

TOWN OF ARLINGTON

ZONING

BOARD OF APPEALS

APPEAL NO. 951

OF Jenney Manufacturing Company

Statement of Facts.

The Zoning Board of Appeals, hereinafter called the "Board" conducted a public hearing on the appeal of the Jenney Manufacturing Co. of Newton, Massachusetts from the refusal, on May 31, 1967 of the Inspector of Buildings to issue a permit to replace the existing Jenney sign located at 125 Broadway with a Citgo sign.

The action of the Inspector of Buildings was automatic since the proposed sign would be at variance with Section 25-F of the Zoning By-Law.

The appeal was filed in the office of the Inspector of Buildings on May 31, 1967. The hearing was held at the Town Hall on Tuesday evening, June 27, 1967 after due notice had been given by publication in the Arlington Advocate on June 8 and 15, 1967, and by mail, postage prepaid, to owners of real estate to and abutting on the property in question, and to other parties in interest, whose names and addresses are recorded on a separate list which forms a part of the official record of these proceedings, and by posting the property

The members of the Board present were

John R. Kenny, Acting Chairman  
Alfred C. Bridgens, Secretary  
Robert Welch

The appellant was represented at the Hearing by Thomas Quinn, an engineer in the employ of the Jenney Mfg. Company. No persons appeared at the Hearing to oppose the request.

The property involved in this appeal is shown on Block plan #38 numbered 125 Broadway.

Section 25-F states that a standing sign shall not exceed 6' from the ground to its highest point, and that standing signs over 3' in overall height shall not be more than two ft. six inches in length. The proposed Citgo sign would measure 19' in overall height; 12' represented by the pole on which the sign will set, and 7' represented by the sign itself.

The proposed sign would be placed at the approximate center of the front lot line of the property. The Appellant proposes to remove a Jenney sign of approximately the same height, presently also located at the approximate center of the property line.

The Appellant states that the request is being made because the Citgo company has assumed ownership or direction of the premises, and desires to display a Citgo sign, as has been its practice throughout this area. The Appellant states that requests for permits for similar signs have been issued throughout Massachusetts, and signs have been or will be constructed on all Jenney stations. The Board has since inquired, and found this to be true in all communities surrounding Arlington.

The Appellant further states that it is of extreme importance in its business that a uniformity and consistency in signs constructed be maintained not merely for purposes of identification, but for ease of maintenance, repair and replacement, and that a change of size or type in this instance would create a hardship to the Appellant.

The Planning Board of Arlington, represented at the Hearing by its Chairman, David Leone, was recorded in agreement that certain consideration be allowed in the instance of standing signs at filling stations, but is opposed to granting the variance as requested, due to the larger square foot area specified as necessary by the Appellant.

The Board recognizes that gasoline filling stations, in the interest of safety as well as advertising, need be more visible to the motorist than might normally be necessary for other merchants. With this in mind, the Board has seen fit to grant similar requests relating to heights of signs by filling stations, stating in such instances that such requests were within the intent and purpose of the Zoning By-Law, and were in the public interest. In so doing, the Board has restricted the square footage of such signs to approximately twenty to twenty-two sq. ft., in compliance with proposals submitted by said appellants, and being of the opinion that such size was appropriately visible, but not degrading to the neighborhood.

In this instance, the sign requested by the Appellant would measure 7' x 7', or 49 sq. ft. in area. The Appellant states that such size is necessary, due to the company's triangular trademark, and so that the single word "Citgo" can be placed below the trademark. Any smaller sign, the Appellant states, would not permit consistency in design.

Having examined the plan for the proposed sign, and examined identical "Citgo" signs presently in existence, the Board is of the opinion that a particular hardship would exist if this Appellant were required to diminish the size of the proposed sign.

Therefore, it is the decision of the Board that the variance requested herein be granted, since granting of the variance would be in harmony with the intent and purpose of the Zoning By-Law, would not derogate from the neighborhood, and would be in the public interest, and the Building Inspector is hereby requested to issue the necessary permit, provided that:



1. The existing standing Jenney sign(s) indicated on the accompanying plan be removed concurrently with construction of the proposed sign.
2. The proposed sign does not extend at any point over the sidewalk or beyond the appellants' property line.
3. The proposed sign in no way hinders the visibility of the sign(s) of neighboring properties, if any.

*John R. Ken*

Acting Chairman

*Alfred P. Bragg*

*Robert F. Hall*