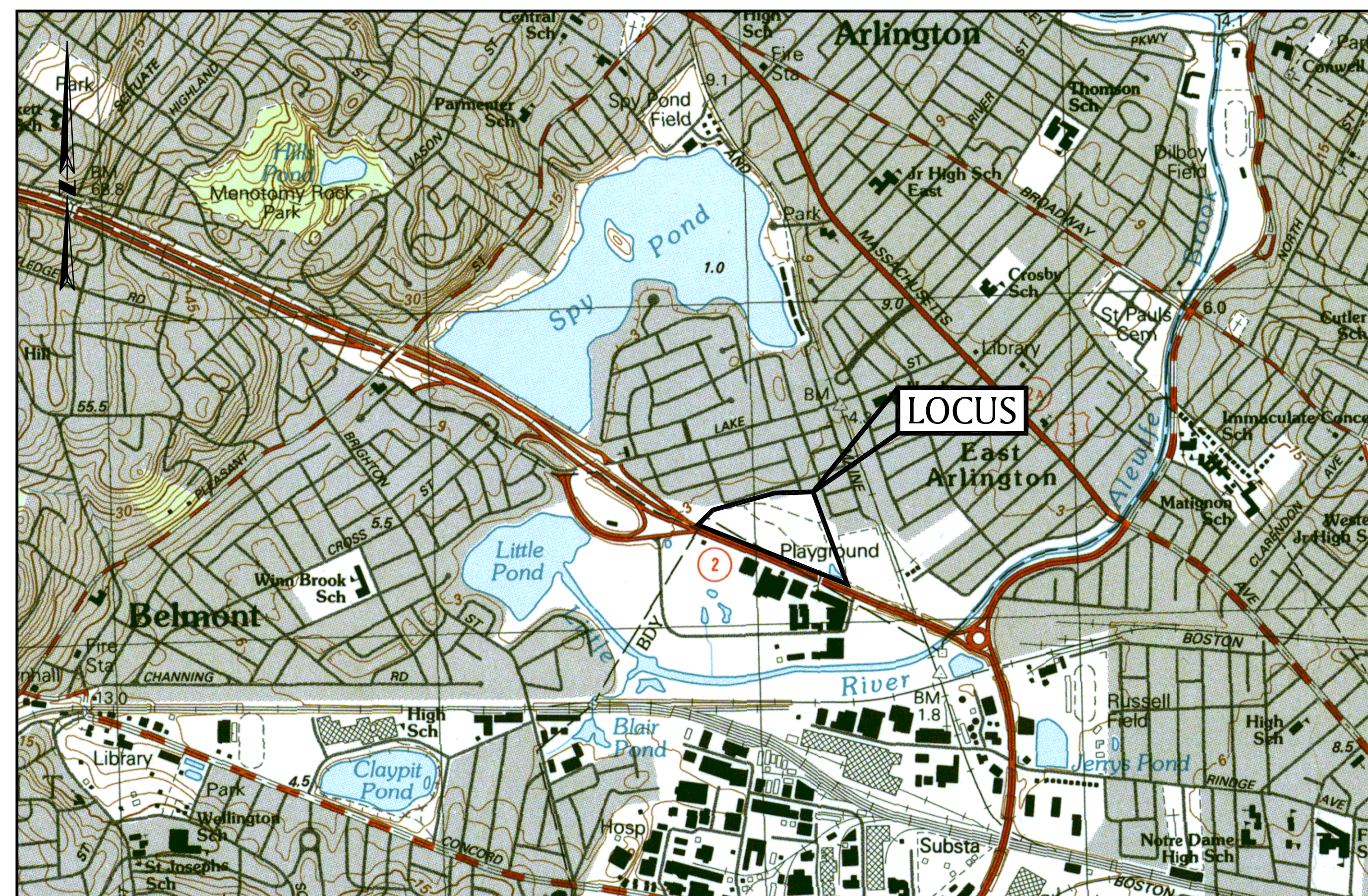


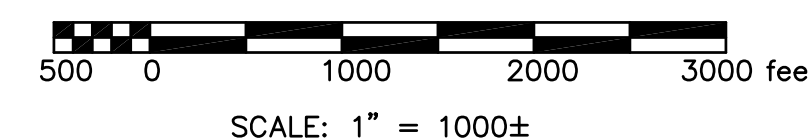
THORNDIKE PLACE COMPREHENSIVE PERMIT DOROTHY ROAD ARLINGTON, MASSACHUSETTS

MARCH 13, 2020

REVISED: NOVEMBER 3, 2020



LOCUS MAP



PREPARED FOR:

ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

PREPARED BY:



BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

INDEX OF DRAWINGS

- G-100 TITLE SHEET
- G-101 GENERAL NOTES & LEGEND
- V-100 EXISTING CONDITIONS PLAN
- C-100 EXISTING ENVIRONMENTAL
RESOURCE PLAN
- C-101 SITE PREPARATION PLAN
- C-102 OVERALL SITE PLAN
- C-103 LAYOUT & MATERIALS PLAN
- C-104 GARAGE LEVEL PLAN
- C-105 GRADING & DRAINAGE PLAN
- C-106 UTILITY PLAN
- L-100 PLANTING PLAN
- C-200-203 CIVIL & LANDSCAPE DETAILS

1. EXISTING CONDITIONS SURVEY INFORMATION WAS PREPARED BY BSC GROUP, INC. SURVEY IS BASED ON AN ON-THE-GROUND SURVEY CONDUCTED BY BSC GROUP IN DECEMBER 2019-FEBRUARY 2020.
2. REVIEW ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
3. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
4. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE CONTRACTOR/ENGINEER FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.

1. AREAS DESIGNATED FOR CLEARING SHALL BE CLEARED ONLY.
2. THE SUBCONTRACTOR(S) IS/ARE RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO SUBCONTRACTOR(S) OPERATIONS.
3. ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE SUBCONTRACTOR(S).
4. THE SUBCONTRACTOR(S) SHALL BE RESPONSIBLE FOR COORDINATING THEIR EFFORTS WITH ALL TRADES.
5. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
6. THE SUBCONTRACTOR(S) SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MAN HOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE CONTRACTOR/ENGINEER.
7. TEMPORARY CONSTRUCTION HAUL ROADS (IF REQUIRED) SHALL BE EXCAVATED AND THE SUB-BASE COMPACTED TO 95% SPMD. THE USE OF SEPARATION FABRICS MAY BE USED TO FACILITATE FUTURE REMOVAL AND RECOVERY OF GRANULAR MATERIALS. HAUL ROAD SHALL HAVE AT LEAST 9" OF 6-INCH MINUS STONE AND SHALL BE MAINTAINED DURING CONSTRUCTION.

1. EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE SEQUENCE OF STAGED CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED EROSION CONTROL PLAN INCLUDING SCHEDULE FOR APPROVAL BY THE TOWN OF ARLINGTON. A COPY OF THE APPROVED NPDES – EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE.
2. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR DISTURBANCE AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
3. SEDIMENT TRAPS SHALL BE INSTALLED AT DRAINAGE STRUCTURES IN PUBLIC STREET IN THE PROJECT AREA. STRAW BALE BARRIERS AND SILTATION FENCES ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE BEEN STABILIZED.
4. SEDIMENT BARRIERS SHALL BE INSPECTED AND APPROVED BY THE TOWN OF ARLINGTON BEFORE CONSTRUCTION CAN START.
5. STRAW BALES AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE OF NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY WHEN INSTALLED.
6. THE UNDERSIDE OF STRAW BALES SHOULD BE KEPT IN CLOSE CONTACT (TRENCHED IN 3-INCHES MINIMUM) WITH THE EARTH AND RESET AS NECESSARY.
7. DISTURBED AREAS SHALL BE BLANKETED OR SEEDED AND MULCHED AS SOON AS PRACTICAL AFTER CONSTRUCTION ACTIVITIES IN THAT AREA HAVE CONCLUDED. ALL ERODABLE/BARE AREAS SHALL BE BLANKETED OR SEEDED AND MULCHED WITHIN 7 DAYS WITH TEMPORARY EROSION CONTROL SEEDING.
8. STABILIZE SLOPES GREATER THAN 3:1 (HORIZONTAL:VERTICAL) WITH SEED, SECURED GEOTEXTILE FABRIC, SPRAYED COMPOST BLANKET, OR RIP-RAP AS REQUIRED TO PREVENT EROSION DURING CONSTRUCTION.
9. SEDIMENT BARRIERS SHALL BE CONSTRUCTED AROUND ALL SOIL STOCKPILE AREAS.
10. CLEAN OUT DRAINAGE FEATURES AND STRUCTURES AFTER COMPLETION OF CONSTRUCTION.
11. SEDIMENT COLLECTED DURING CONSTRUCTION BY THE VARIOUS TEMPORARY EROSION CONTROL SYSTEMS SHALL BE DISPOSED OF ON THE SITE ON A REGULAR BASIS. SEDIMENT SHALL BE REMOVED FROM EROSION CONTROL SYSTEMS WHEN THE HEIGHT OF THE SEDIMENT EXCEEDS ONE-HALF OF THE HEIGHT OF THE SEDIMENT CONTROL MEASURE.
12. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE SUBCONTRACTOR(S) SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AT THE CONTRACTOR/ENGINEER DIRECTION.
13. AFTER THE REMOVAL OF TEMPORARY EROSION CONTROL MEASURES, THE SUBCONTRACTOR(S) SHALL GRADE AND SEED AREA OF TEMPORARY EROSION CONTROL MEASURE.
14. DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION OR AS DIRECTED BY THE CONTRACTOR/ENGINEER.
15. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR DAILY INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES. THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES EVERY SEVEN (7) CALENDAR DAYS OR ONCE EVERY FOURTEEN (14) DAYS AND WITHIN 24 HOURS OF ANY STORM EXCEEDING 1/2 INCH PRECIPITATION. DAMAGED AND INEFFECTIVE EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS.
16. PIPE OUTLETS (IF ANY) SHALL BE STABILIZED WITH STONE.
17. TEMPORARY SEEDING SHALL BE AT A RATE OF 45 LBS PER ACRE. ERODABLE AREAS OUTSIDE AND DOWN SLOPE FROM THE CONSTRUCTION LIMITS SHALL BE SIMILARLY SEEDED.
18. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED. DEWATERING PLAN SHALL BE SUBMITTED FOR APPROVAL BY THE ENGINEER.
19. WHEN TEMPORARY DRAINAGE IS ESTABLISHED, EROSION/SEDIMENTATION CONTROL MEASURES MAY BE REQUIRED BY CONTRACTOR/ENGINEER.
20. GRAVEL CONSTRUCTION ROADS AND CONSTRUCTION PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASH DOWN FACILITIES, SHALL BE PROVIDED TO PREVENT SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY AND AS NEEDED.
21. NECESSARY MEASURES SHALL BE TAKEN TO CONTAIN ANY FUEL OR POLLUTION RUNOFF. LEAKING EQUIPMENT OR SUPPLIES SHALL BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE.
22. THE COST OF REPAIRING OR REMOVING SEDIMENT FROM EROSION CONTROL SYSTEMS SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE APPLICABLE EROSION CONTROL ITEM.
23. ALL EROSION CONTROL MEASURES SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL. CONTRACTOR SHALL PROVIDE TO THE CONSERVATION COMMISSION MEASURES (EROSION AND SEDIMENTATION CONTROL) FOR WORK DURING WINTER CONDITIONS.
24. CONTRACTOR SHALL SPRAY WATER FROM A WATER TRUCK ON DRY AND WINDY DAYS TO PREVENT DUST FROM FORMING.
25. EROSION CONTROL MEASURES AS SHOWN ON THESE DRAWINGS IS INTENDED TO CONVEY MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS NECESSARY TO PREVENT SOIL EROSION AND TO COMPLY WITH THE PROJECT'S STORMWATER POLLUTION PREVENTION PLAN.
26. SOILS ON SLOPES THAT ARE 3:1 OR STEEPER SHOULD BE ROUGHENED PER THE EPA'S NPDES SOIL ROUGHENING FACT SHEET IF THEY ARE TO BE SEEDED WITHIN 2 WEEKS OF DISTURBANCE. IF NOT, EROSION

1. THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 - a. ALL LIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
 - b. DISTANCES AND DIMENSIONS ARE IN DECIMAL FEET.
2. SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED. AMBIGUITIES IN THE PLANS SHALL BE CLARIFIED BY THE ENGINEER OR SITE SUPERINTENDENT.

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE APPLICANT. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
2. THE PROJECT APPLICANT SHALL OBTAIN ALL NECESSARY STREET-OPENING PERMITS, WATER AND SEWER CONNECTION PERMITS AND PAY REQUIRED FEES PRIOR TO COMMENCING WORK ON THESE UTILITIES.
3. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY COORDINATION WITH THE TOWN OF ARLINGTON.
4. ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES SHALL BE MADE BY THE PROJECT APPLICANT.
5. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
6. WHERE PROPOSED GRADES MEET EXISTING GRADES, SUBCONTRACTOR(S) SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
7. POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL STRUCTURES.
8. SUBCONTRACTOR(S) SHALL VERIFY EXISTING GRADES AND NOTIFY THE CONTRACTOR/ENGINEER OF ANY DISCREPANCIES.
9. PRIOR TO ANY WORK OVER EXISTING TOWN-OWNED UTILITIES, CONTRACTOR TO EVALUATE CONDITION OF SUBSURFACE UTILITIES PRIOR TO CONSTRUCTION. A POST-CONSTRUCTION EVALUATION SHALL ALSO BE PERFORMED TO IDENTIFY ANY DAMAGE CAUSED DURING CONSTRUCTION.
10. ANY INSTALLATION OF UTILITY POLES OR UNDERGROUND CONDUIT WITHIN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A GRANT OF LOCATION FROM THE BOARD OF SELECTION.

1. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
2. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
3. MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
4. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE PLANTINGS SHOWN ON THE DRAWINGS.
5. MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
6. PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
7. PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
8. AREAS PLANTED WITH EVERGREEN TREES SHALL BE COVERED WITH A MINIMUM 3" OF MULCH. MULCH FOR PLANTED AREAS TO BE ACED PINE BARK; PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
9. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
10. PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
11. PLANT SPECIES AS INDICATED IN THE PLANT LIST ARE SUGGESTIONS ONLY. FINAL SELECTION OF SPECIES SHALL OCCUR AT THE TIME OF PLANT PURCHASE, DEPENDING ON AVAILABILITY. PLANT SIZE AND QUANTITY SHALL NOT CHANGE WITHOUT APPROVAL OF CONTRACTOR/LANDSCAPE ARCHITECT.

BC	BOTTOM OF CURB
BIT CONC	BITUMINIOUS CONCRETE
BWV	BORDERING VEGETATED WETLANDS
CB	CATCH BASIN
CB/DH	CONC. BOUND/DRILL HOLE
CLF	CHAIN LINK FENCE
DIP	DUCTILE IRON PIPE
DMH	DRAIN MANHOLE
ECB	EROSION CONTROL BARRIER
FES	FLARED END SECTION
FH	FIRE HYDRANT
FOC	FACE OF CURB
FD	FOUND
GG	GAS GATE
HW	HEADWALL
ILSF	ISOLATED LAND SUBJECT TO FLOODING
IP	IRON PIPE
ISW	ISOLATED WETLANDS
LA	LANDSCAPED AREA
LOW	LIMIT OF WORK
N/F	NOW OR FORMERLY
NTS	NOT TO SCALE
OCS	OUTLET CONTROL STRUCTURE
PCC	PRECAST CONCRETE CURB
RW	RETAINING WALL
RCP	REINFORCED CONCRETE PIPE
SLC	STREET LIGHT CIRCUIT
SMH	SEWER MANHOLE
TC	TOP OF CURB
TEL	TELEPHONE CABLE
VGC	VERTICAL GRANITE CURB
WG	WATER GATE

	STONE BOUND W/DRILL HOLE		WATER VALVE
	STONE BOUND W/ESCUTCHEON PIN		CATCH BASIN
	CONCRETE BOUND		FIRE HYDRANT
	SEWER MANHOLE		TREE FILTER
	DRAIN MANHOLE		# OF PARKING SPACES
	WATER MANHOLE		SEWER MANHOLE
	ELECTRIC MANHOLE		
	TELEPHONE MANHOLE		
	CABLE MANHOLE		
	MANHOLE		
	CATCH BASIN		
	HYDRANT		
	WATER GATE		FENCE LINE
	GAS GATE		PROPERTY LINE
	UTILITY POLE		WETLAND LINE/FLAG
	UTILITY POLE W/LIGHT		
	UTILITY POLE W/TRANSFORMER		(E) MAJOR CONTOUR
	LIGHT POLE		(E) MINOR CONTOUR
	ELECTRIC HANDHOLE		PROPOSED MAJOR CONTOUR
	HANDHOLE		PROPOSED MINOR CONTOUR
	SIGN		100' WETLAND BUFFER ZONE
	WETLANDS FLAG		
	BIT		25' NO DISTURB ZONE
	CONC		
	EP		WATER QUALITY UNIT/INLET
	GC		WATER QUALITY UNIT
	WC		
	INVERT		
	RECORD INFORMATION		
	SEWER LINE		
	DRAIN LINE		
	WATER LINE		
	GAS LINE		
	OVERHEAD WIRE		
	CHAIN LINK FENCE		
	STOCKADE FENCE		
	STEEL GUARDRAIL		
	TREELINE		
	BRUSHLINE		
	SURVEYED BUILDING LOCATION		
	GIS BUILDING LOCATION		



ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



DATE _____

PROFESSIONAL ENGINEER _____

THORNDIKE PLACE

DOROTHY ROAD

IN

ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

GENERAL NOTES AND LEGEND

MARCH 13, 2020

NO.	DATE	DESC.
1	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140



803 Summer Street
Boston, Massachusetts
02127

617 896 4300

© 2020 BSC Group, Inc.

SCALE: NONE

FILE: 2340700\C\D\2340700-LN

DWG.:	SHEET G-101
JOB. NO: 23407.00	

PLAN REFERENCES

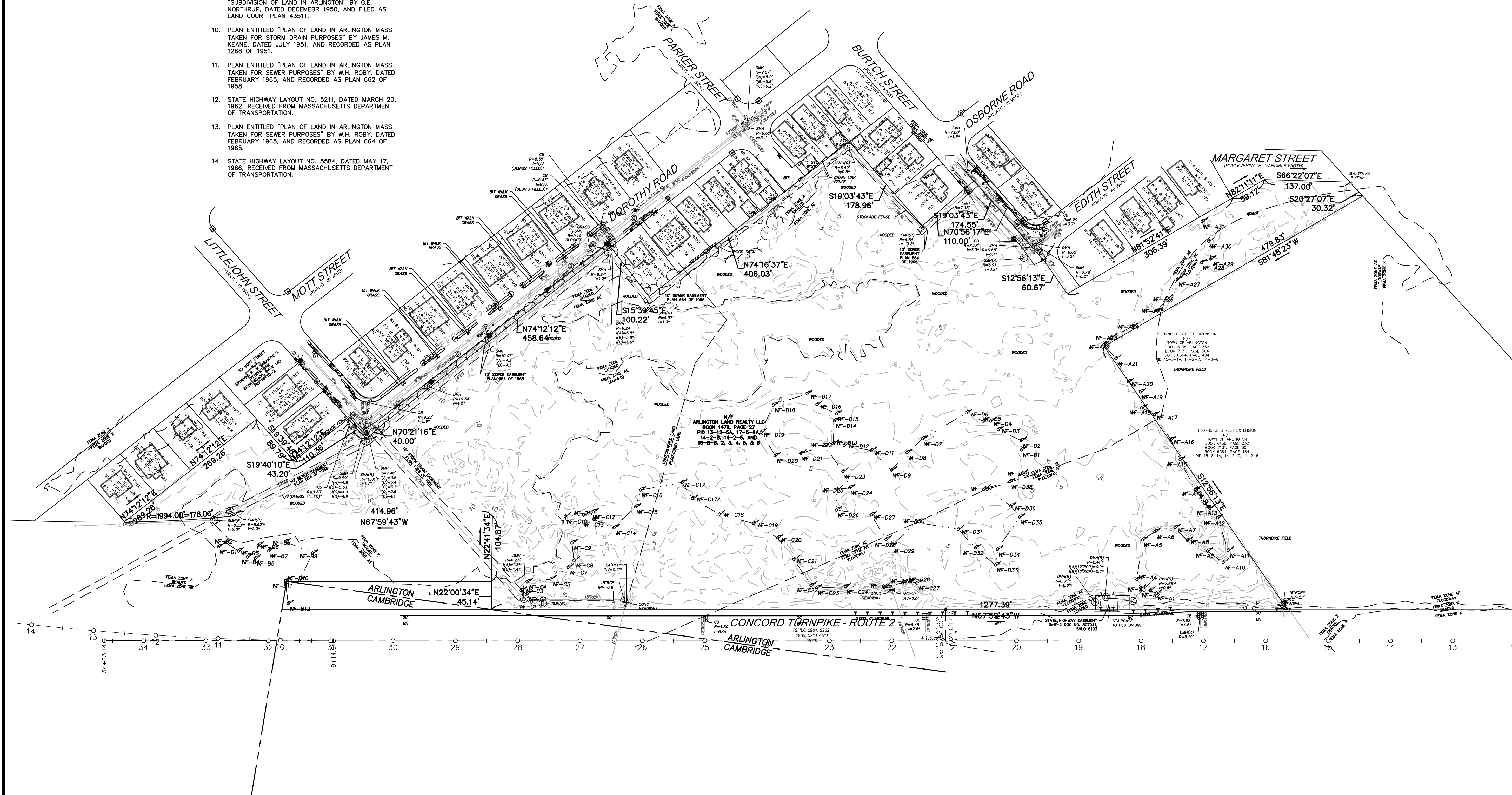
1. PLAN ENTITLED "PLAN AND PROFILE OF LITTLEJOHN STREET" BY FRANK AND DANIEL WYMAN, DATED DECEMBER 1926, AND RECEIVED FROM THE TOWN OF ARLINGTON.
2. PLAN ENTITLED "SUBDIVISION OF LAND IN ARLINGTON" BY BREMER W. POND, DATED APRIL 28, 1927, AND FILED AS LAND COURT PLAN 4351C.
3. PLAN ENTITLED "SUBDIVISION OF LAND SHOWN ON PLAN 4351A" BY J.M. KEANE, DATED OCTOBER 20, 1930, AND FILED AS LAND COURT PLAN 4351G.
4. PLAN ENTITLED "SUBDIVISION OF LAND SHOWN ON PLAN 4351A" BY J.M. KEANE, DATED APRIL 14, 1931, AND FILED AS LAND COURT PLAN 4351H.
5. STATE HIGHWAY LAYOUT NO. 2981, DATED JANUARY 17, 1933, RECEIVED FROM MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
6. STATE HIGHWAY LAYOUT NO. 2983, DATED JANUARY 17, 1933, RECEIVED FROM MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
7. PLAN ENTITLED "PLAN OF LAND IN ARLINGTON, MASS" BY C. H. GANNETT CO. CIVIL ENGINEERS, DATED APRIL 30, 1941, AND FILED AS LAND COURT PLAN 18030A.
8. PLAN ENTITLED "SUBDIVISION OF LAND IN ARLINGTON MASS" BY G.E. NORTHRUP, DATED DECEMBER 1948, AND RECORDED AS PLAN 1784 OF 1948.
9. PLAN ENTITLED "SUBDIVISION OF LAND IN ARLINGTON" BY G.E. NORTHRUP, DATED DECEMBER 1950, AND FILED AS LAND COURT PLAN 4351T. PLAN ENTITLED "SUBDIVISION OF LAND IN ARLINGTON" BY G.E. NORTHRUP, DATED DECEMBER 1950, AND FILED AS LAND COURT PLAN 4351T.
10. PLAN ENTITLED "PLAN OF LAND IN ARLINGTON MASS TAKEN FOR STORM DRAIN PURPOSES" BY JAMES M. KEANE, DATED JULY 1951, AND RECORDED AS PLAN 1268 OF 1951.
11. PLAN ENTITLED "PLAN OF LAND IN ARLINGTON MASS TAKEN FOR SEWER PURPOSES" BY W.H. ROBY, DATED FEBRUARY 1965, AND RECORDED AS PLAN 662 OF 1965.
12. STATE HIGHWAY LAYOUT NO. 5211, DATED MARCH 20, 1962, RECEIVED FROM MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
13. PLAN ENTITLED "PLAN OF LAND IN ARLINGTON MASS TAKEN FOR SEWER PURPOSES" BY W.H. ROBY, DATED FEBRUARY 1965, AND RECORDED AS PLAN 664 OF 1965.
14. STATE HIGHWAY LAYOUT NO. 5584, DATED MAY 17, 1966, RECEIVED FROM MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.

GENERAL NOTES

1. THIS PLAN IS BASED UPON AN ON-THE-GROUND SURVEY PERFORMED BY BSC GROUP, INC. IN DECEMBER, 2019 AND JANUARY, 2020.
2. HORIZONTAL DATUM IS BASED UPON NAD '83 (12B) AS DERIVED VIA GPS OBSERVATIONS PERFORMED BY BSC GROUP, INC. IN DECEMBER 2019.
3. VERTICAL DATUM IS BASED UPON NAVD '88 AS DERIVED VIA GPS OBSERVATIONS PERFORMED BY BSC GROUP, INC. IN DECEMBER, 2019.
TBM 18-1 ELEV=9.13'
DESC: BACK LEFT BOLT ON HYDRANT ON OSBORNE
TBM 18-2 ELEV=11.61'
DESC: FRONT BOLT ON HYDRANT ACROSS FROM UTILITY POLE # 8
TBM 18-3 ELEV=11.71'
DESC: BACK LEFT BOLT ON HYDRANT BETWEEN UNITS
4. LOCUS IS LOCATED WITHIN ZONES ZONES AE, AE FLOODWAY, X AND X SHADED AS GRAPHICALLY DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010.
5. WETLAND RESOURCE AREAS SHOWN HEREON WERE DELINEATED BY BSC GROUP, INC. IN JANUARY AND OCTOBER 2020.
6. UTILITY RECORDS HEREON DENOTED WITH "*" ARE FROM EXISTING CONDITIONS SURVEY PREPARED BY PRECISION LAND SURVEYING OF SOUTHBOROUGH, MA IN 2009.
7. CONTOURS SHOWN WITHIN WOODED AREAS ARE BASED UPON AERIAL LIDAR COLLECTED UNDER USGS CONTRACT DURING 2013-2014. DATA MEETS OR EXCEEDS Q12 USGS SPECIFICATIONS. BSC GROUP FOUND A MEAN ERROR OF 0.20(OBSERVED) & 0.16(UNOBSERVED) ACROSS 15 LOCATIONS SAMPLED DURING THE ON-THE-GROUND SURVEY IN DECEMBER 2019.
8. TOWN LINE LOCATIONS ESTABLISHED FROM MASSACHUSETTS STATE HIGHWAY LAYOUTS 2981, 2982, 2983, 5211 AND 5579.
9. ABUTTING BOUNDARY LINES ARE APPROXIMATE.
10. RECORD UTILITY INFORMATION WAS NOT RECEIVED FROM VERIZON, TENNESSEE GAS AND MCI.

UTILITY NOTE

EXISTING UTILITIES, WHERE SHOWN HEREON, ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE COMMONWEALTH OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40, AT 1-888-344-7233. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERTS OR UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.



THORNDIKE PLACE

DOROTHY ROAD

IN

ARLINGTON

MASSACHUSETTS

(MIDDLESEX COUNTY)

EXISTING

CONDITIONS

MARCH 13, 2020

REVISIONS:

NO.	DATE	DESC.
1	10/22/20	WETLAND DELINEATION

PREPARED FOR:

ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140



803 Summer Street
Boston, Massachusetts
02127

617 896 4300

© 2020 BSC Group, Inc.

SCALE: 1" = 80'

0 40 80 160 FEET

FILE: \Civil\Drawings\2340700-EC-COPY

DWG: SHEET V-100

JOB. NO: 23407.00



- LEGEND
- BSC GROUP OCTOBER 2020 WETLAND DELINEATION
 - 25' NO DISTURB ZONE
 - 100' BUFFER/AURA
 - FLOODPLAIN - ZONE AE (EL. 6.8)

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



PROFESSIONAL ENGINEER DATE

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

EXISTING
ENVIRONMENTAL
RESOURCES PLAN
MARCH 13, 2020

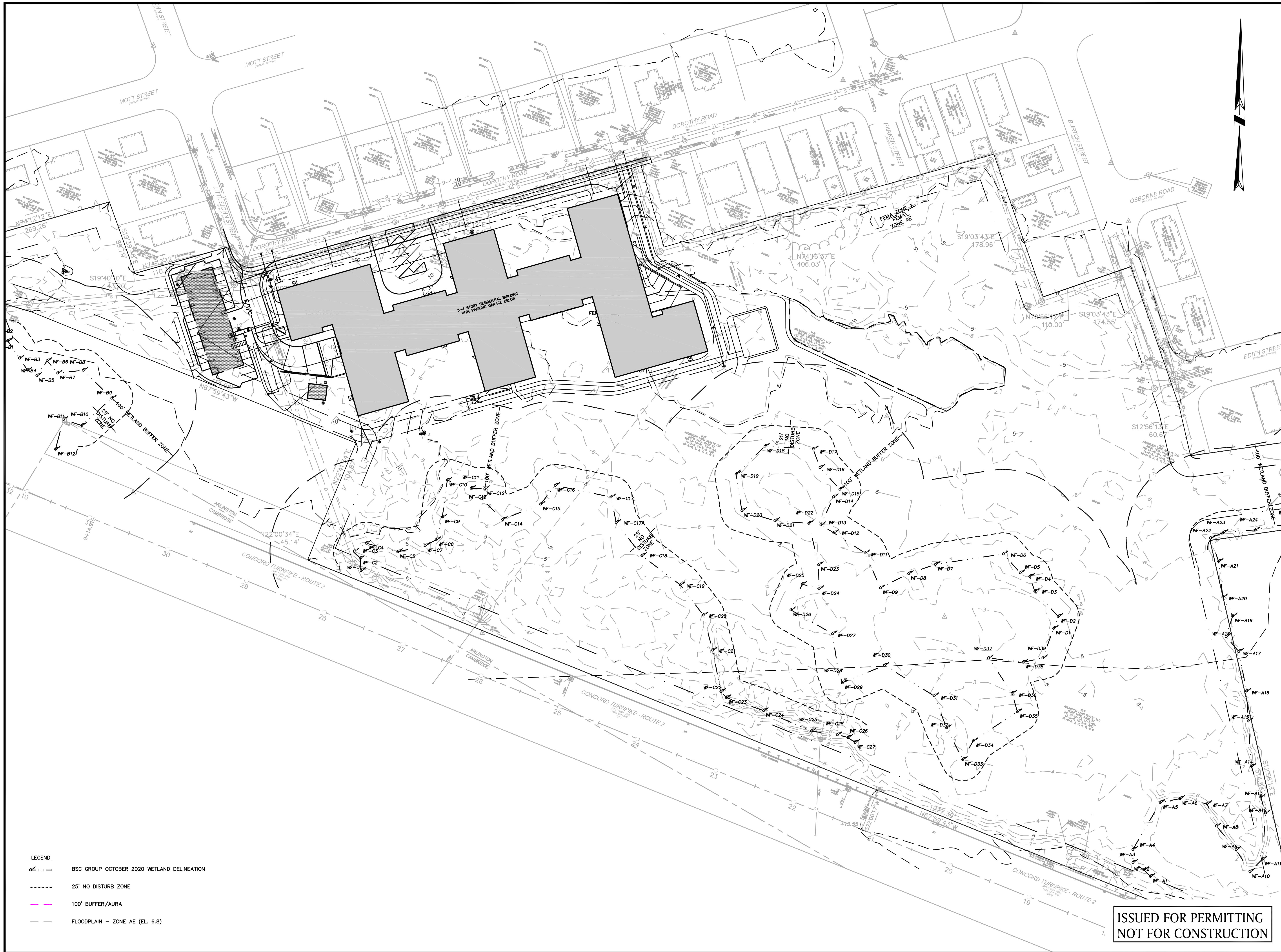
REVISIONS:		
NO.	DATE	DESC.
1	10/22/20	WETLAND DELINEATION

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 50'
0 25 50 100 FEET
FILE: \Civil\Drawgs\2340700-CONSTRAINTS
DWG.:
JOB. NO: 23407.00 SHEET C-100

SHEET C 101



DATE
PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

OVERALL SITE PLAN

MARCH 13, 2020

REVISIONS:		
NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	10/22/20	WETLAND DELINEATION
3	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

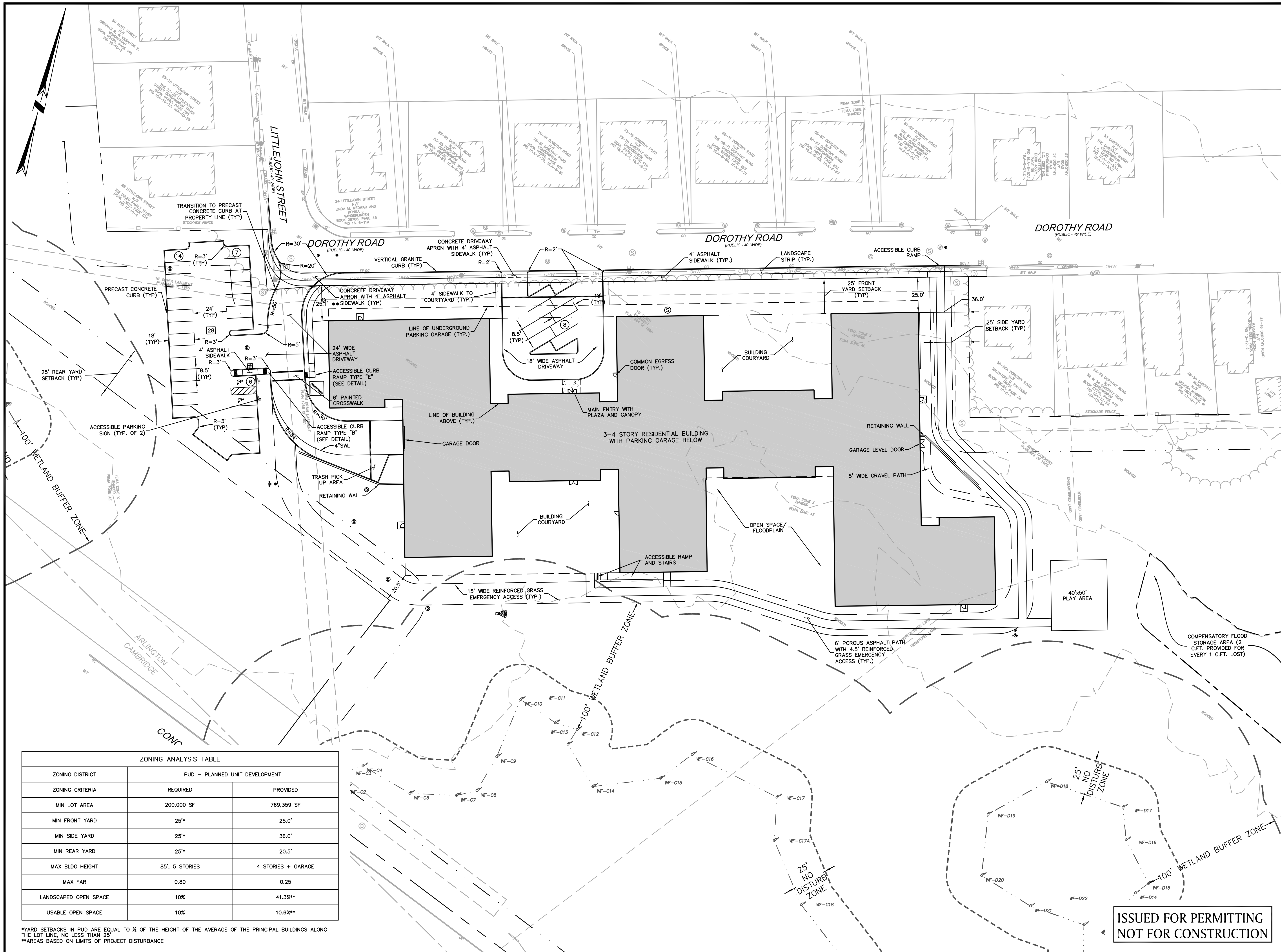
BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 50'
0 25 50 100 FEET

FILE: 2340700\C\2340700-SP
DWG.:
JOB. NO: 23407.00 SHEET C-102

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

- LEGEND
- BSC GROUP OCTOBER 2020 WETLAND DELINEATION
 - 25' NO DISTURB ZONE
 - 100' BUFFER/AURA
 - FLOODPLAIN - ZONE AE (EL. 6.8)



ZONING ANALYSIS TABLE		
ZONING DISTRICT	PUD - PLANNED UNIT DEVELOPMENT	
ZONING CRITERIA	REQUIRED	PROVIDED
MIN LOT AREA	200,000 SF	769,359 SF
MIN FRONT YARD	25'	25.0'
MIN SIDE YARD	25'	36.0'
MIN REAR YARD	25'	20.5'
MAX BLDG HEIGHT	85', 5 STORIES	4 STORIES + GARAGE
MAX FAR	0.80	0.25
LANDSCAPED OPEN SPACE	10%	41.3%**
USABLE OPEN SPACE	10%	10.6%**

*YARD SETBACKS IN PUD ARE EQUAL TO 1/4 OF THE HEIGHT OF THE AVERAGE OF THE PRINCIPAL BUILDINGS ALONG THE LOT LINE, NO LESS THAN 25'

**AREAS BASED ON LIMITS OF PROJECT DISTURBANCE



DATE
PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

LAYOUT & MATERIALS
PLAN

MARCH 13, 2020

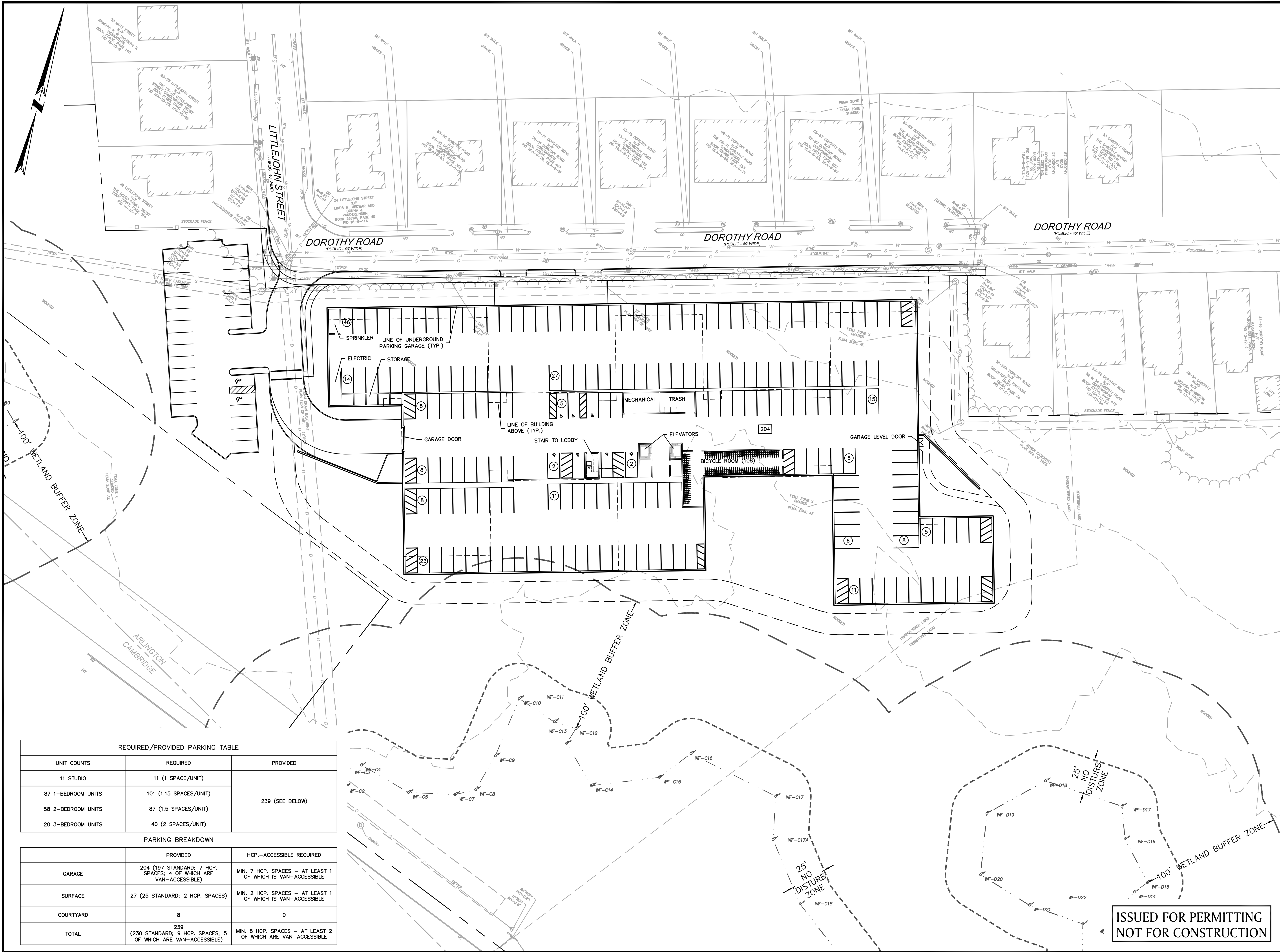
REVISIONS:		
NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	10/22/20	WETLAND DELINEATION
3	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 30'
0 15 30 60 FEET
FILE: \Civil\Drawings\2340700-LM
DWG.:
JOB. NO: 23407.00 SHEET C-103

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



REQUIRED/PROVIDED PARKING TABLE		
UNIT COUNTS	REQUIRED	PROVIDED
11 STUDIO	11 (1 SPACE/UNIT)	239 (SEE BELOW)
87 1-BEDROOM UNITS	101 (1.15 SPACES/UNIT)	
58 2-BEDROOM UNITS	87 (1.5 SPACES/UNIT)	
20 3-BEDROOM UNITS	40 (2 SPACES/UNIT)	

PARKING BREAKDOWN		
	PROVIDED	HCP.--ACCESSIBLE REQUIRED
GARAGE	204 (197 STANDARD; 7 HCP. SPACES; 4 OF WHICH ARE VAN-ACCESSIBLE)	MIN. 7 HCP. SPACES -- AT LEAST 1 OF WHICH IS VAN-ACCESSIBLE
SURFACE	27 (25 STANDARD; 2 HCP. SPACES)	MIN. 2 HCP. SPACES -- AT LEAST 1 OF WHICH IS VAN-ACCESSIBLE
COURTYARD	8	0
TOTAL	239 (230 STANDARD; 9 HCP. SPACES; 5 OF WHICH ARE VAN-ACCESSIBLE)	MIN. 8 HCP. SPACES -- AT LEAST 2 OF WHICH ARE VAN-ACCESSIBLE



PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

GARAGE LEVEL PLAN

MARCH 13, 2020

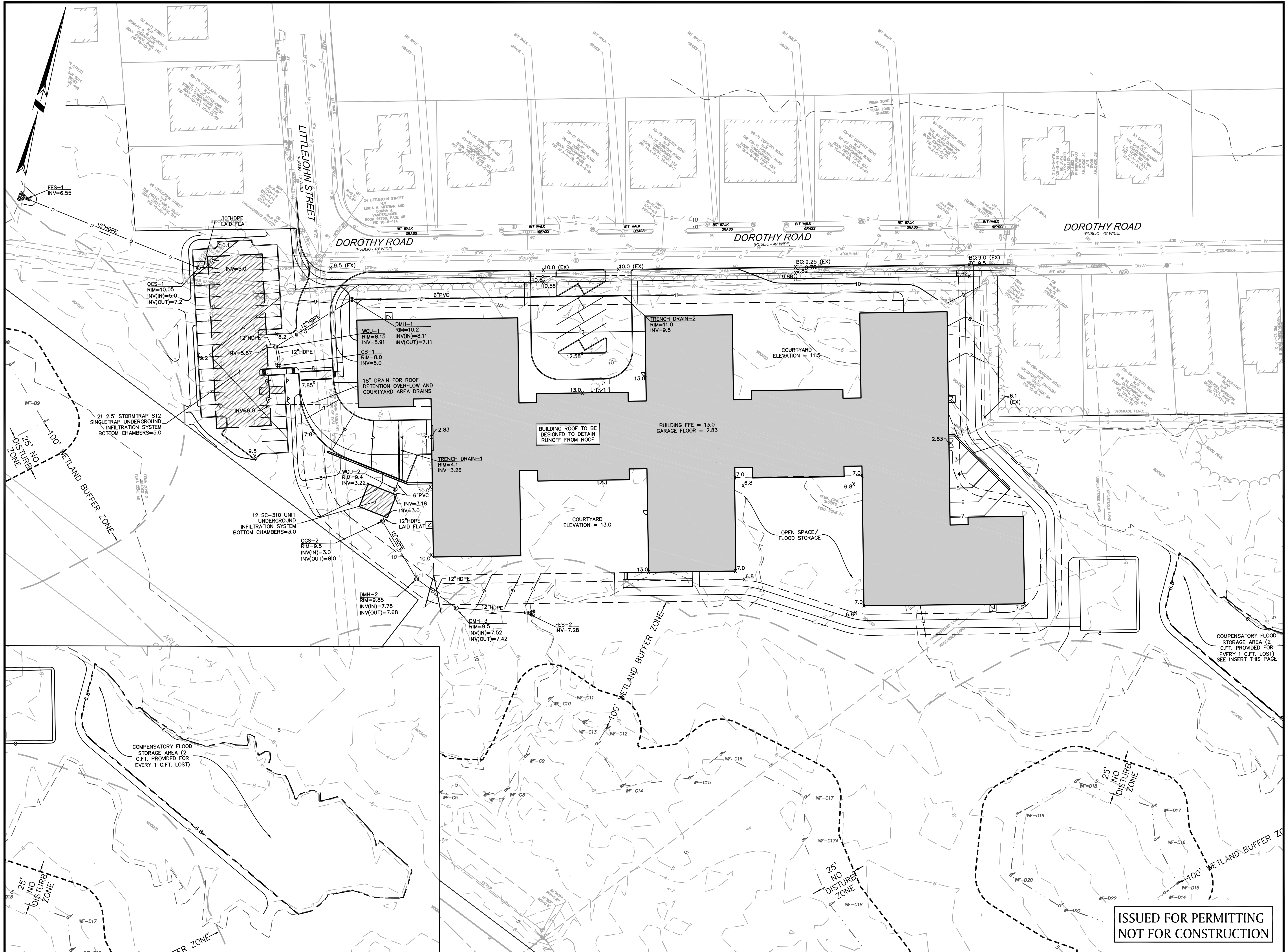
REVISIONS:		
NO.	DATE	DESC.
1	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 30'
0 15 30 60 FEET
FILE: \\Civil\\Drawings\\2340700--GARAGE
DWG.:
JOB. NO: 23407.00 SHEET C-104

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



DATE
PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

GRADING &
DRAINAGE PLAN

MARCH 13, 2020

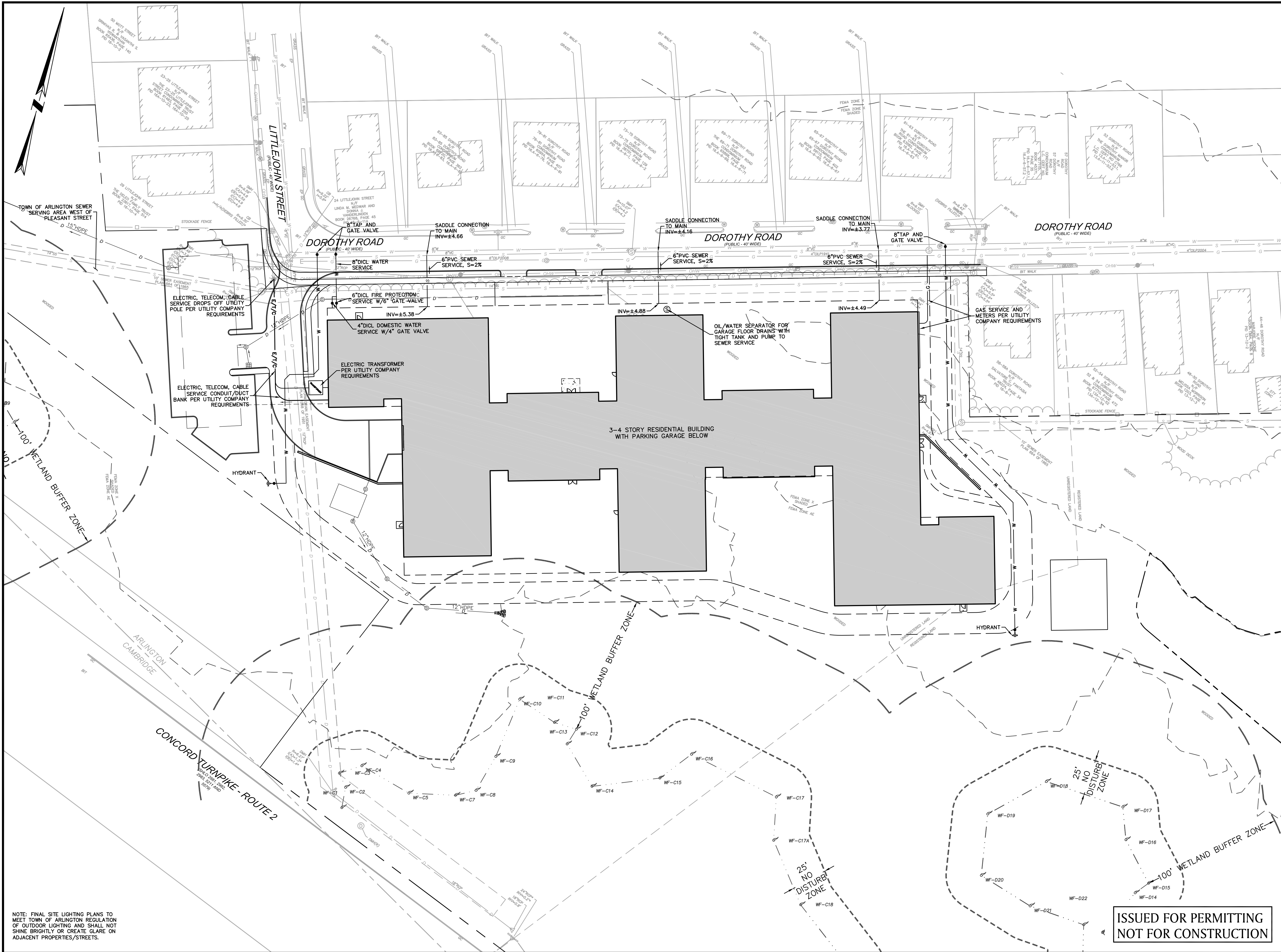
REVISIONS:		
NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	10/22/20	WETLAND DELINEATION
3	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 30'
0 15 30 60 FEET
FILE: \\Civil\\Drawings\\2340700-GR
DWG.:
JOB. NO: 23407.00 SHEET C-105

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



NOTE: FINAL SITE LIGHTING PLANS TO MEET TOWN OF ARLINGTON REGULATION OF OUTDOOR LIGHTING AND SHALL NOT SHINE BRIGHTLY OR CREATE GLARE ON ADJACENT PROPERTIES/STREETS.



DATE
PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

UTILITY PLAN

MARCH 13, 2020

REVISIONS:		
NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	10/22/20	WETLAND DELINEATION
3	11/03/20	REVISED BUILDING

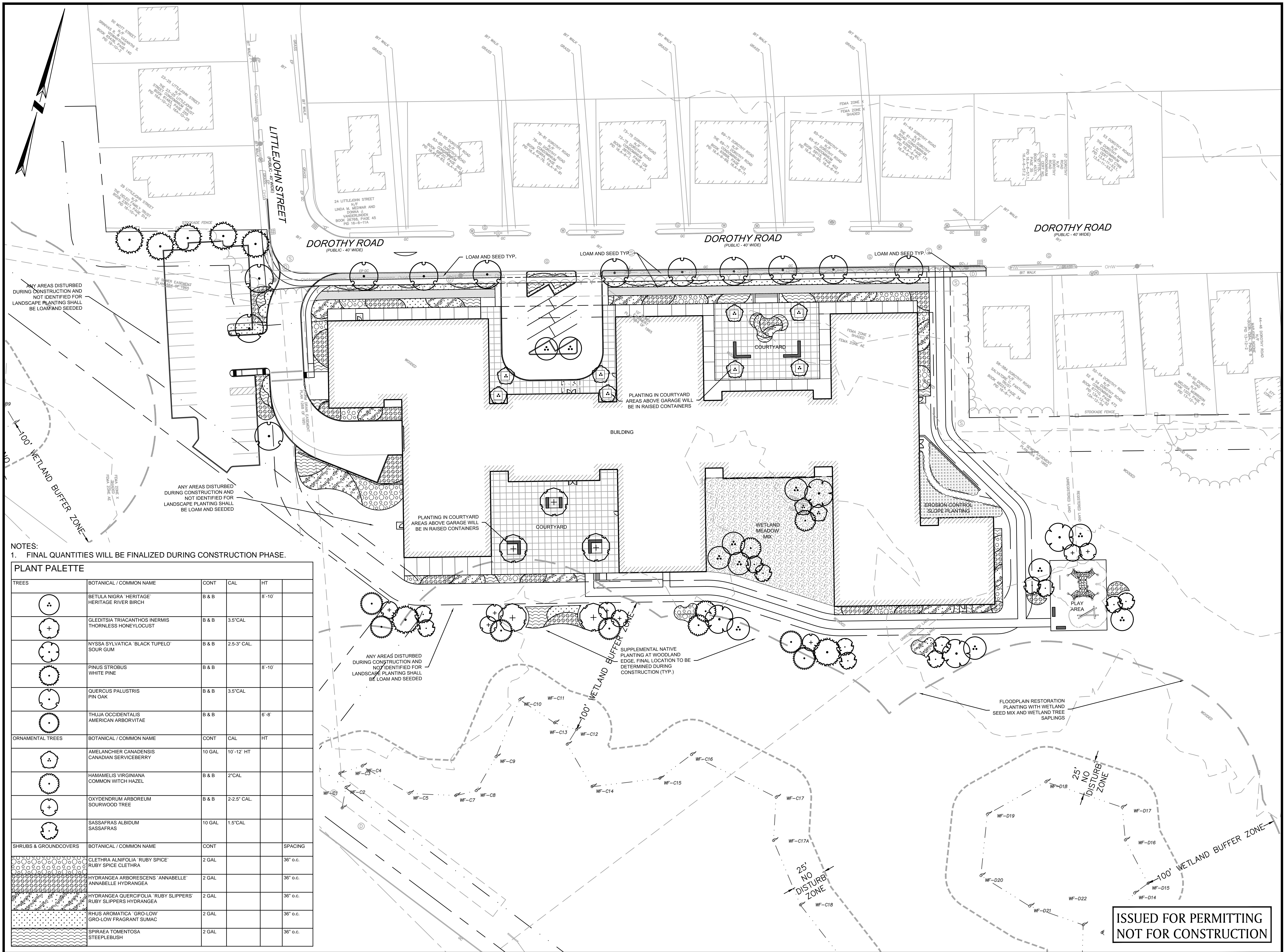
PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 30'
0 15 30 60 FEET

FILE: \Civil\Drawings\2340700-UT
DWG: C104
JOB: NO: 23407.00
SHEET C-106

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



NOTES:
1. FINAL QUANTITIES WILL BE FINALIZED DURING CONSTRUCTION PHASE.

PLANT PALETTE				
TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT
	BETULA NIGRA 'HERITAGE' HERITAGE RIVER BIRCH	B & B		8'-10'
	GLEITSIA TRIACANTHOS INERMIS THORNLESS HONEYLOCUST	B & B	3.5" CAL	
	NYSSA SYLVATICA 'BLACK TUPELO' SOUR GUM	B & B	2.5-3" CAL	
	PINUS STROBUS WHITE PINE	B & B		8'-10'
	QUERCUS PALUSTRIS PIN OAK	B & B	3.5" CAL	
	THUJA OCCIDENTALIS AMERICAN ARBORVITAE	B & B		6'-8'
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT
	AMELANCHIER CANADENSIS CANADIAN SERVICEBERRY	10 GAL	10'-12' HT	
	HAMAMELIS VIRGINIANA COMMON WITCH HAZEL	B & B	2" CAL	
	OXYDENDRUM ARBOREUM SOURWOOD TREE	B & B	2-2.5" CAL	
	SASSAFRAS ALBIDUM SASSAFRAS	10 GAL	1.5" CAL	
SHRUBS & GROUNDCOVERS	BOTANICAL / COMMON NAME	CONT		SPACING
	CLETHRA ALNIFOLIA 'RUBY SPICE' RUBY SPICE CLETHRA	2 GAL		36" o.c.
	HYDRANGEA ARBORESCENS 'ANNABELLE' ANNABELLE HYDRANGEA	2 GAL		36" o.c.
	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS' RUBY SLIPPERS HYDRANGEA	2 GAL		36" o.c.
	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	2 GAL		36" o.c.
	SPIRAEA TOMENTOSA STEEPLEBUSH	2 GAL		36" o.c.

MASSACHUSETTS

REGISTERED LANDSCAPE ARCHITECT

NO. 1248

BRAD R. AUSTIN

REGISTERED LANDSCAPE ARCHITECT

DATE 2020/11/03

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

PLANTING PLAN

MARCH 13, 2020

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:

ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP

803 Summer Street
Boston, Massachusetts
02127

617 896 4300

© 2020 BSC Group, Inc.

SCALE: 1" = 30'

0

15

30

60

FEET

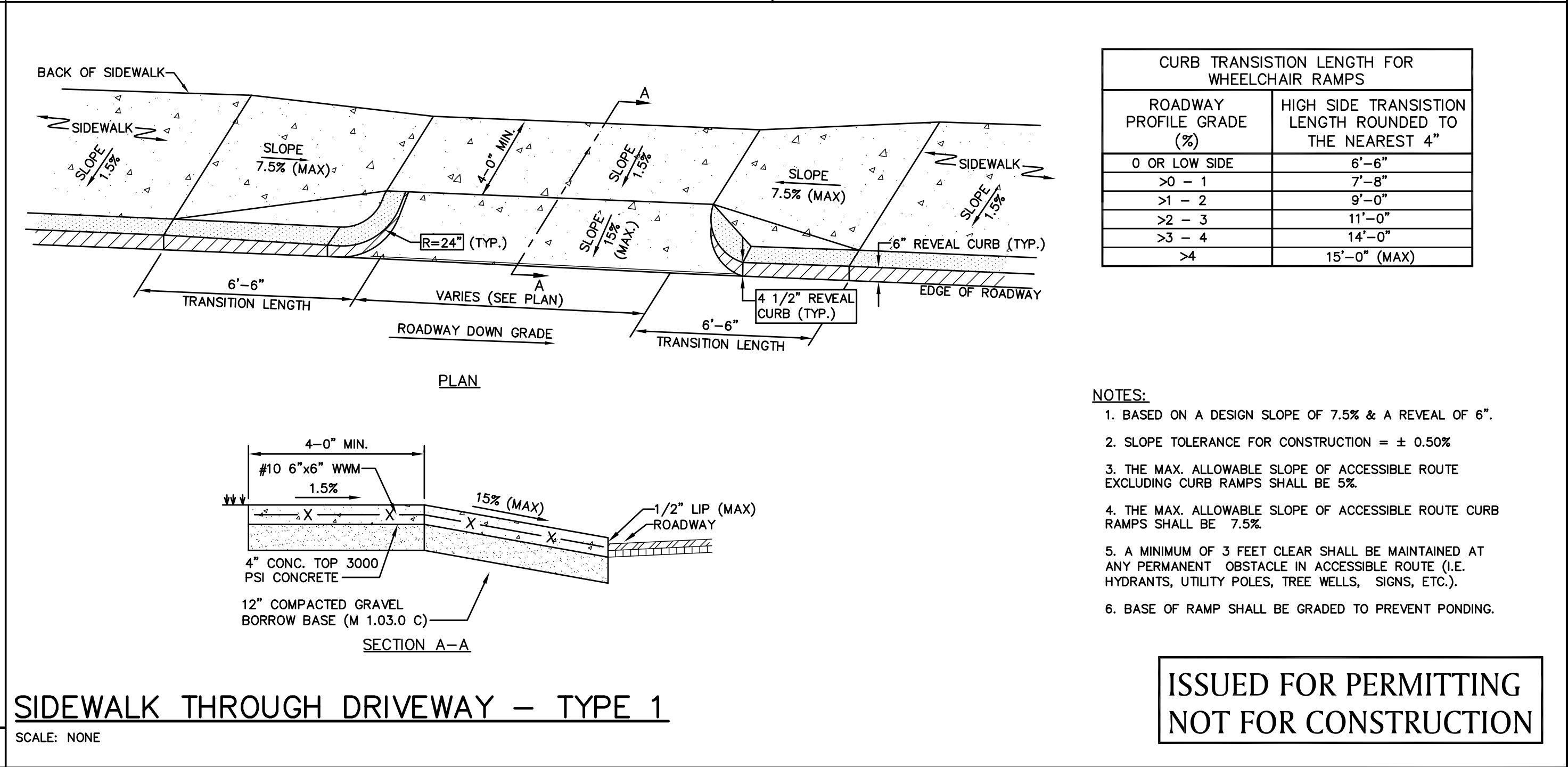
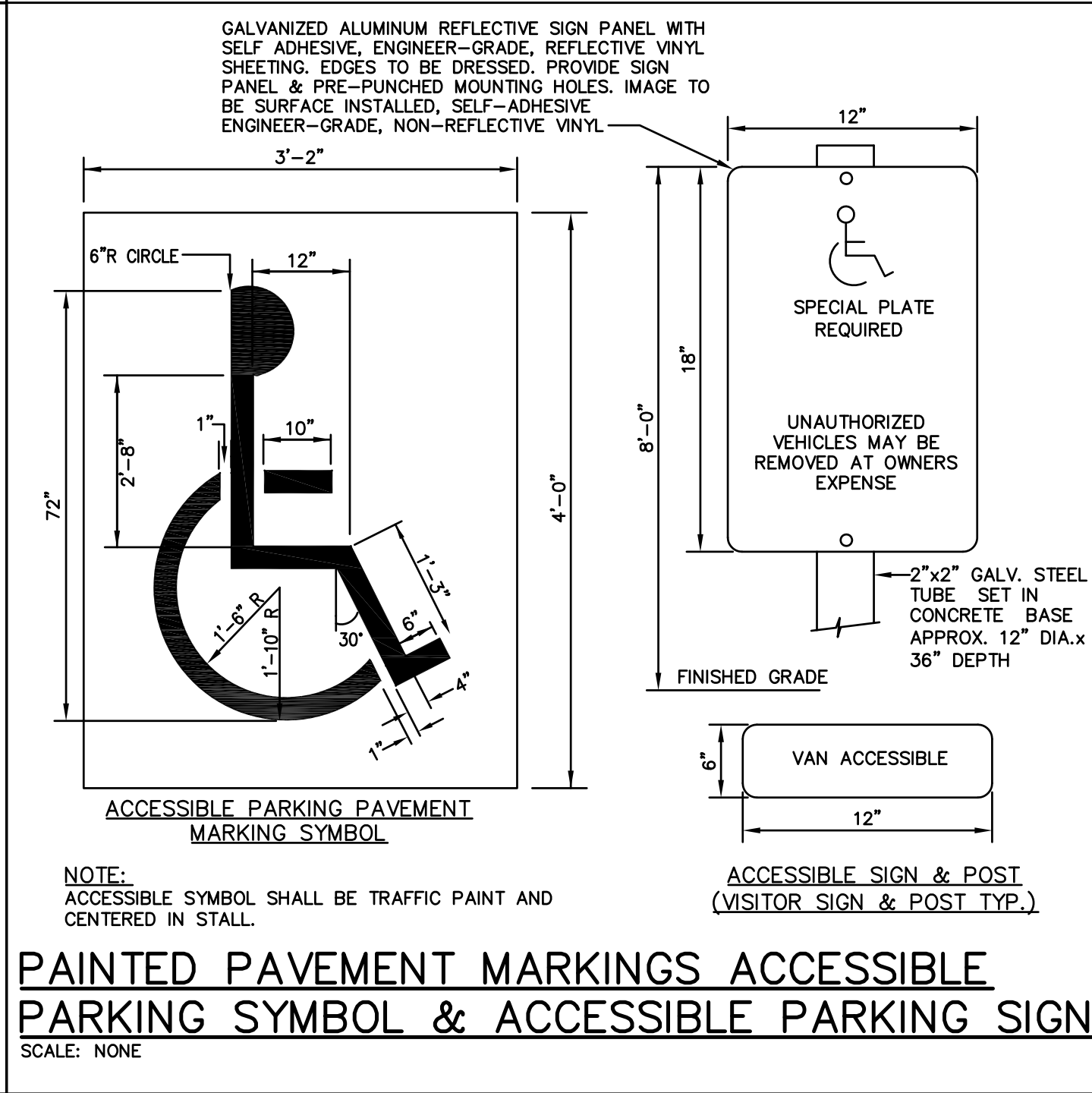
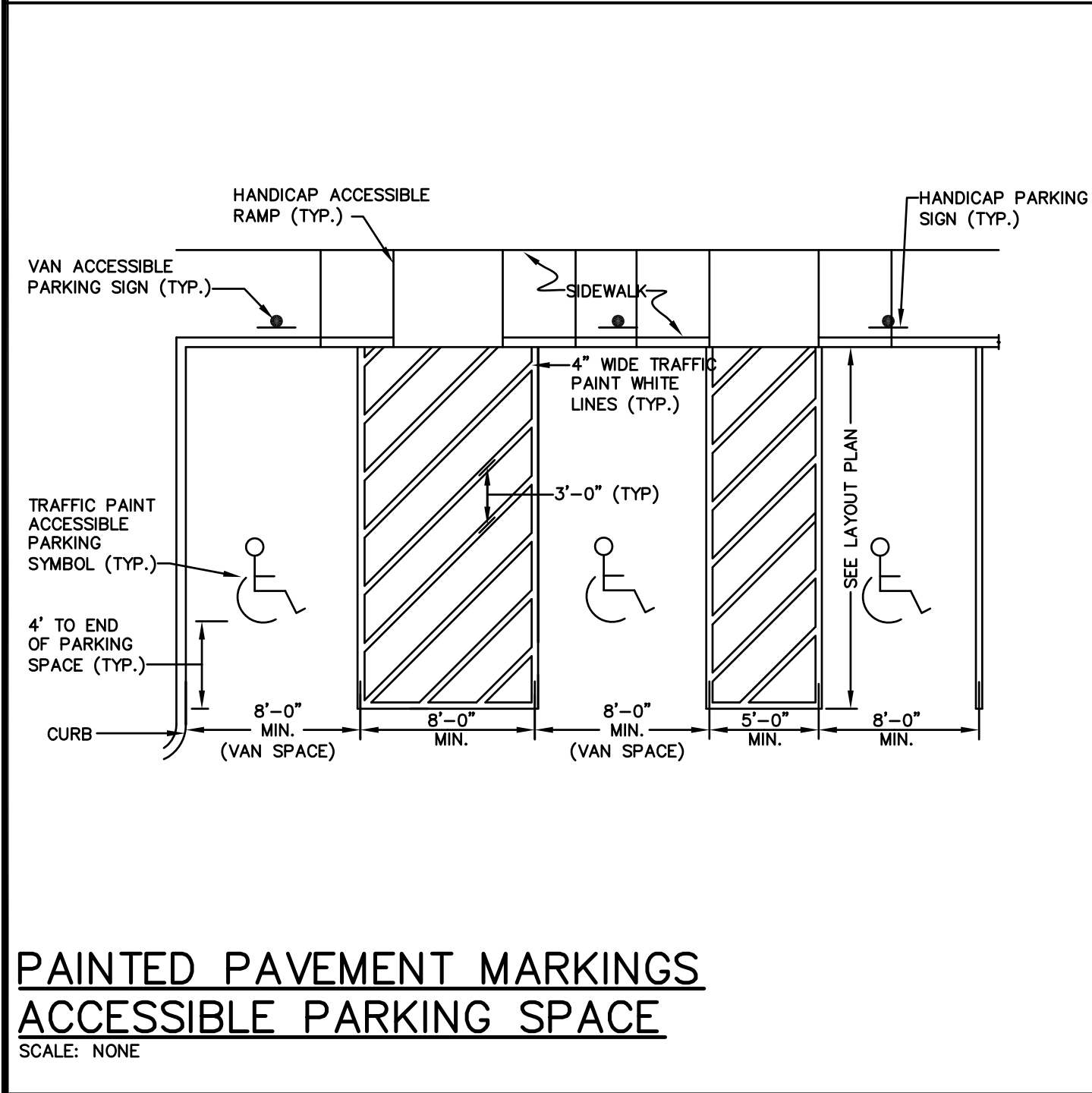
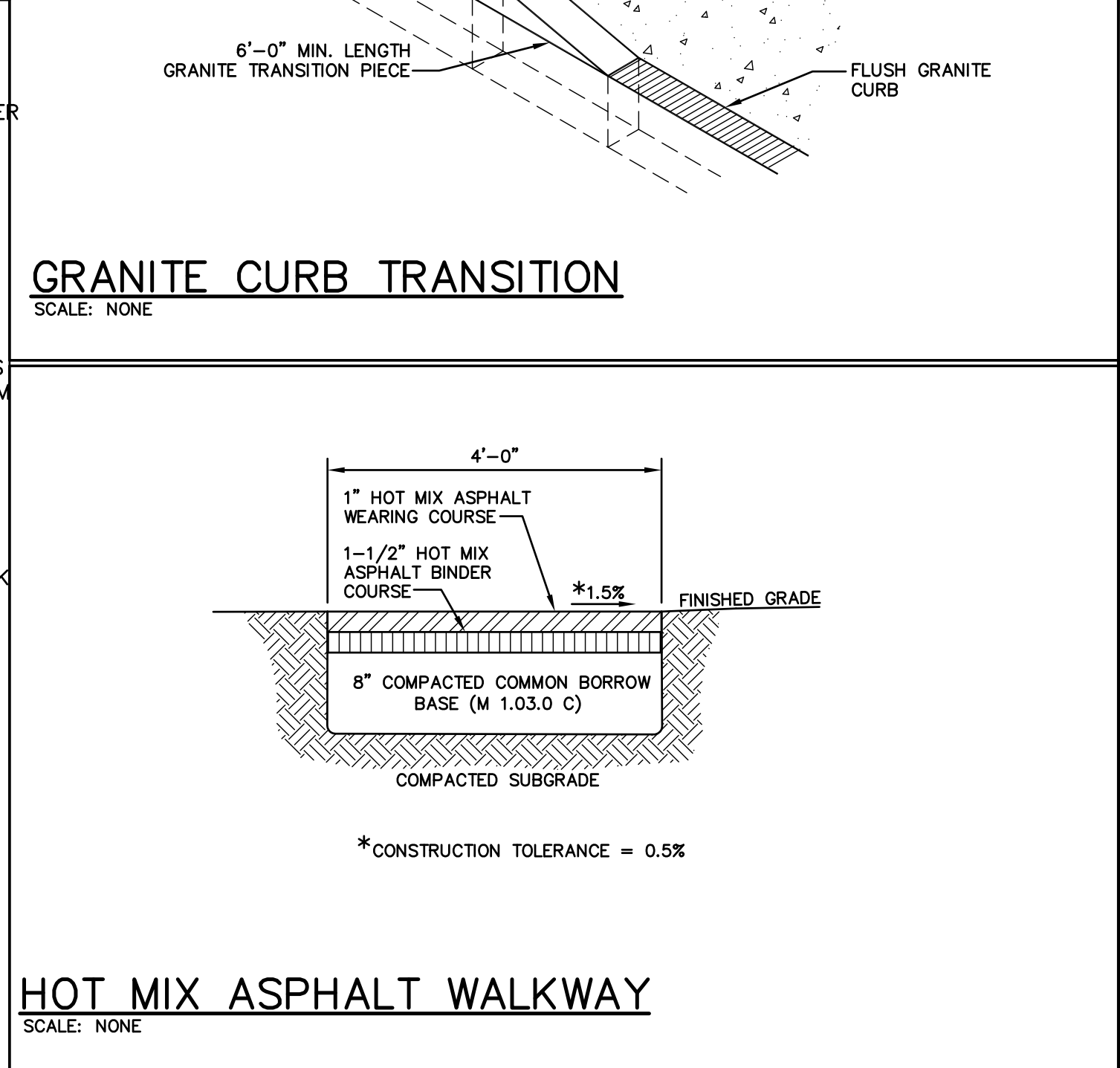
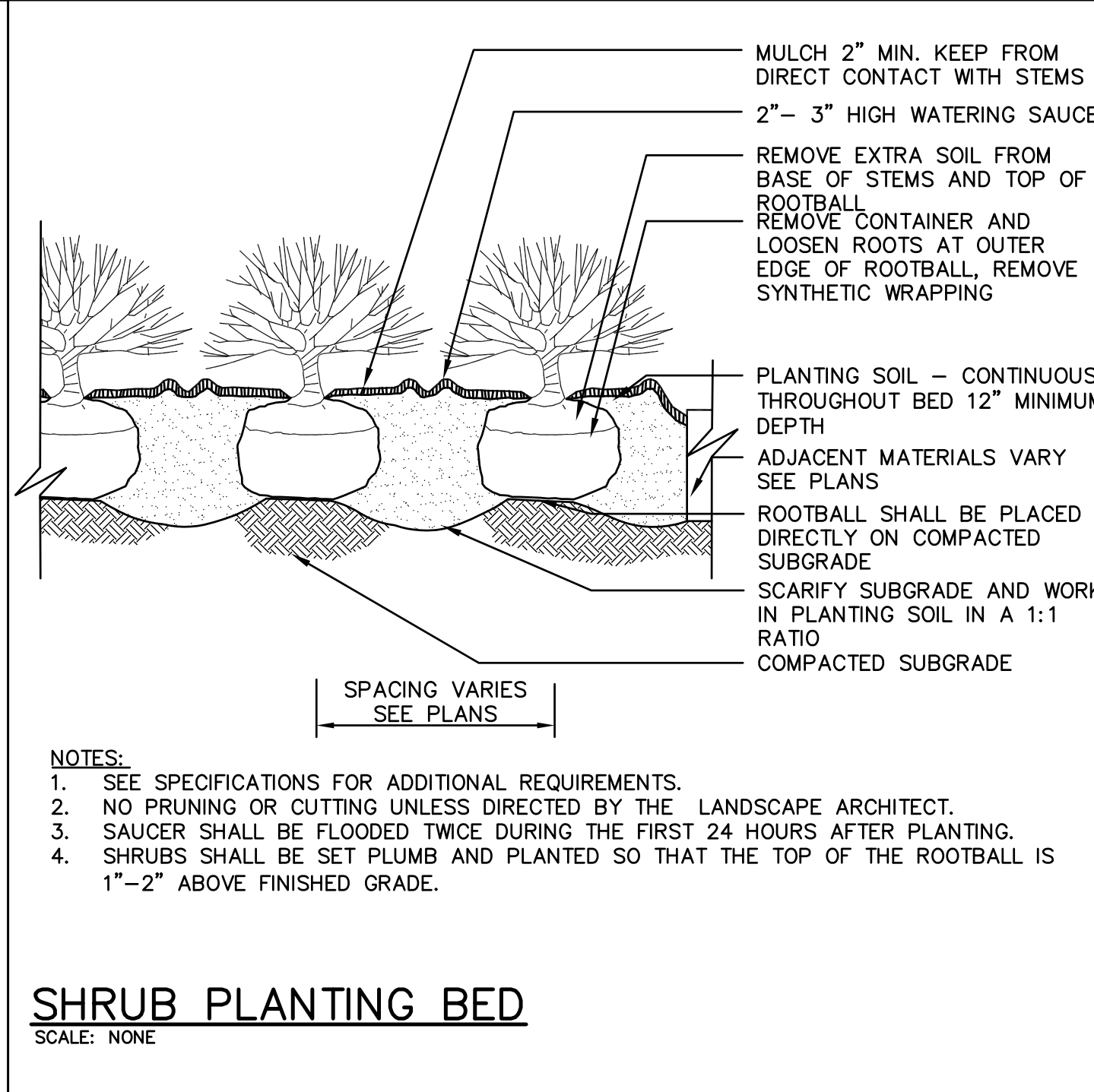
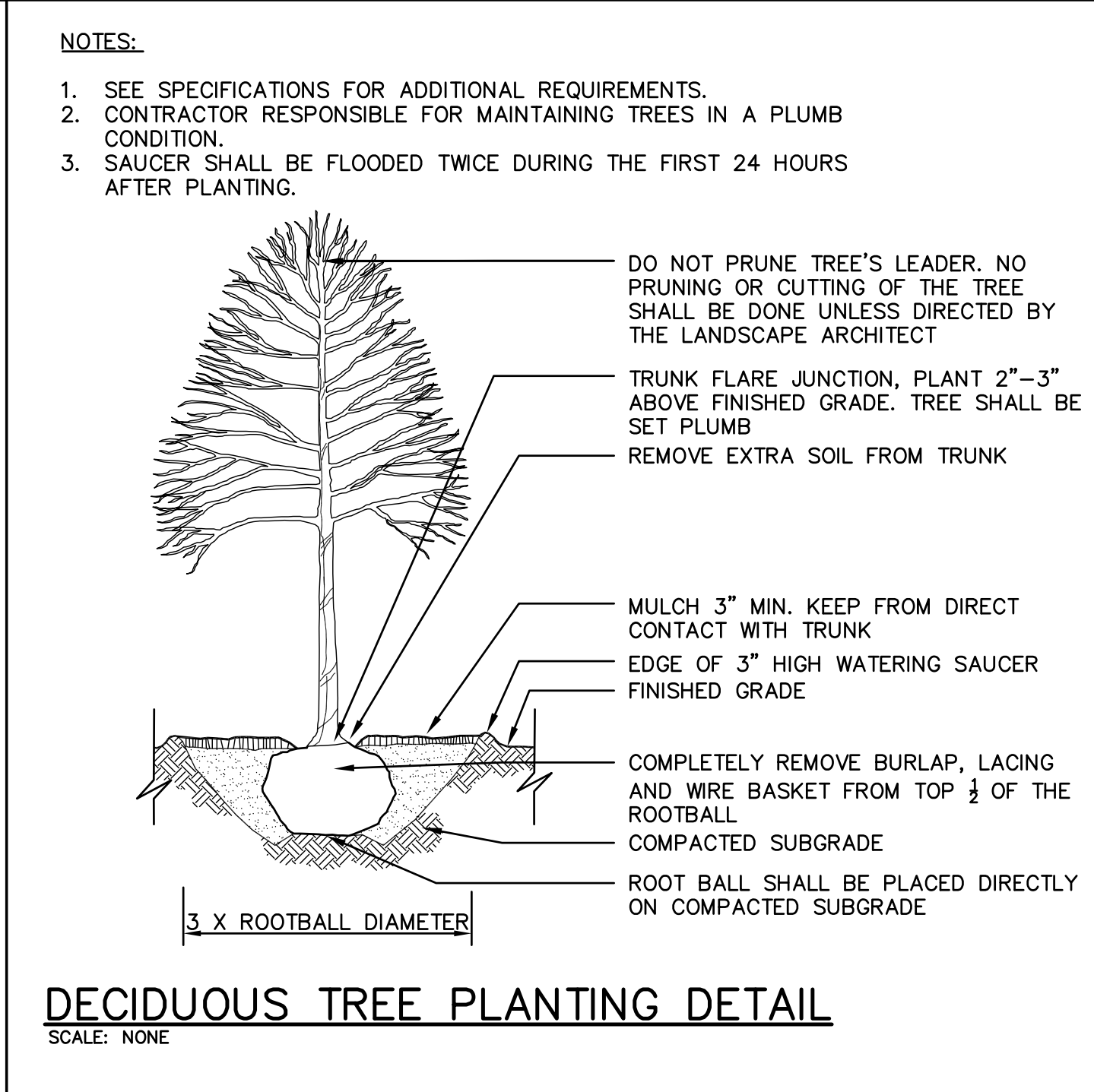
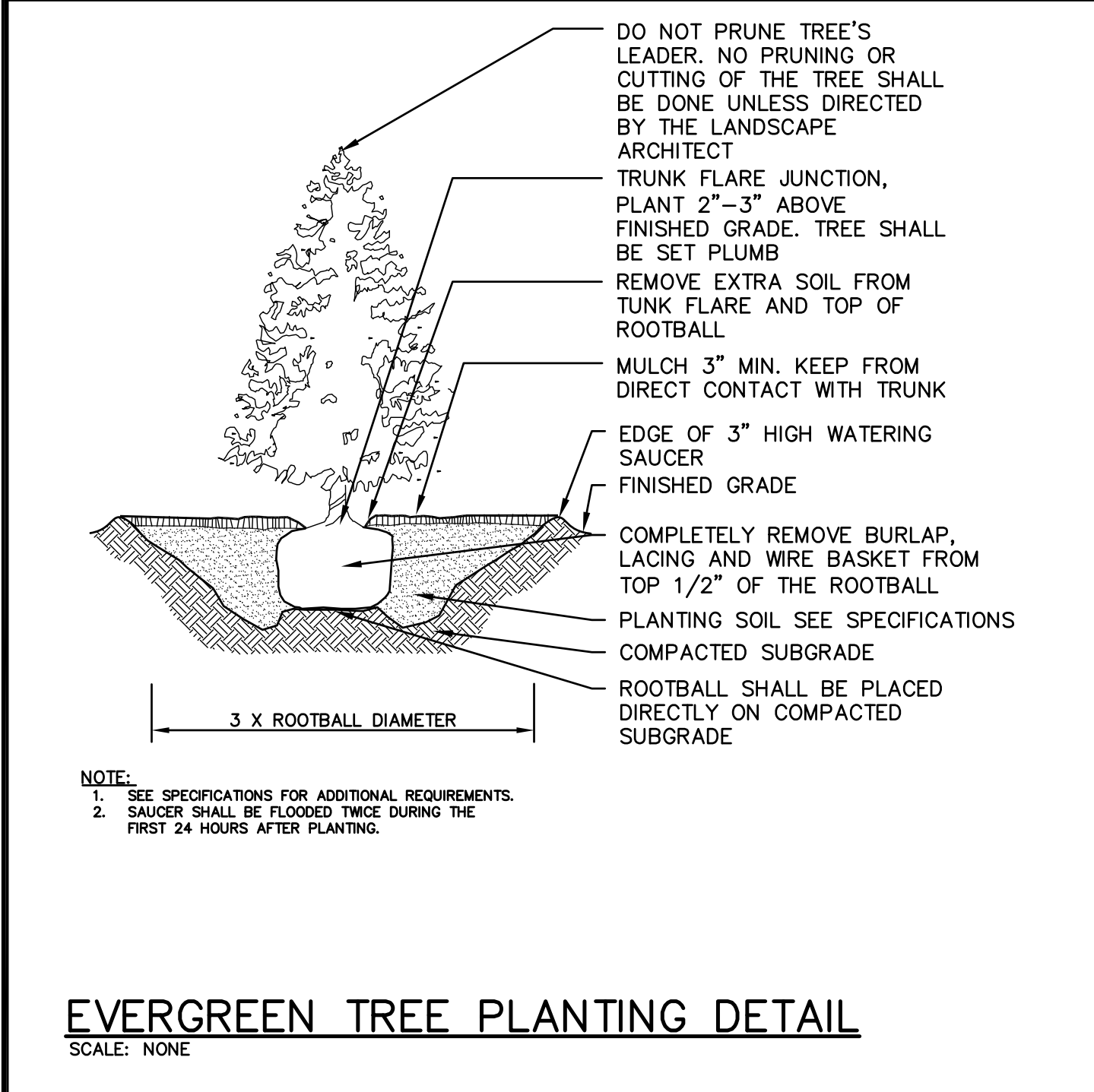
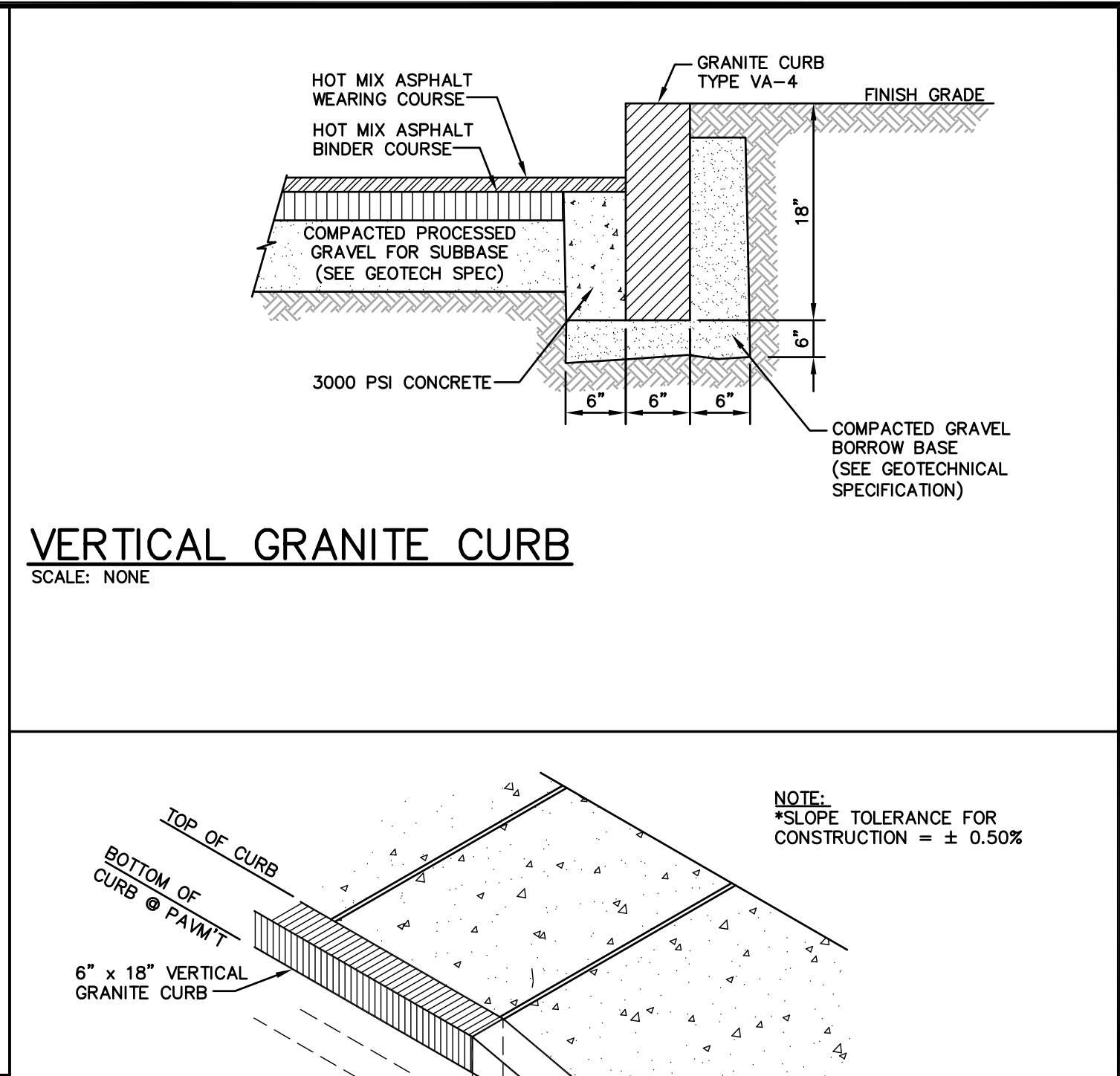
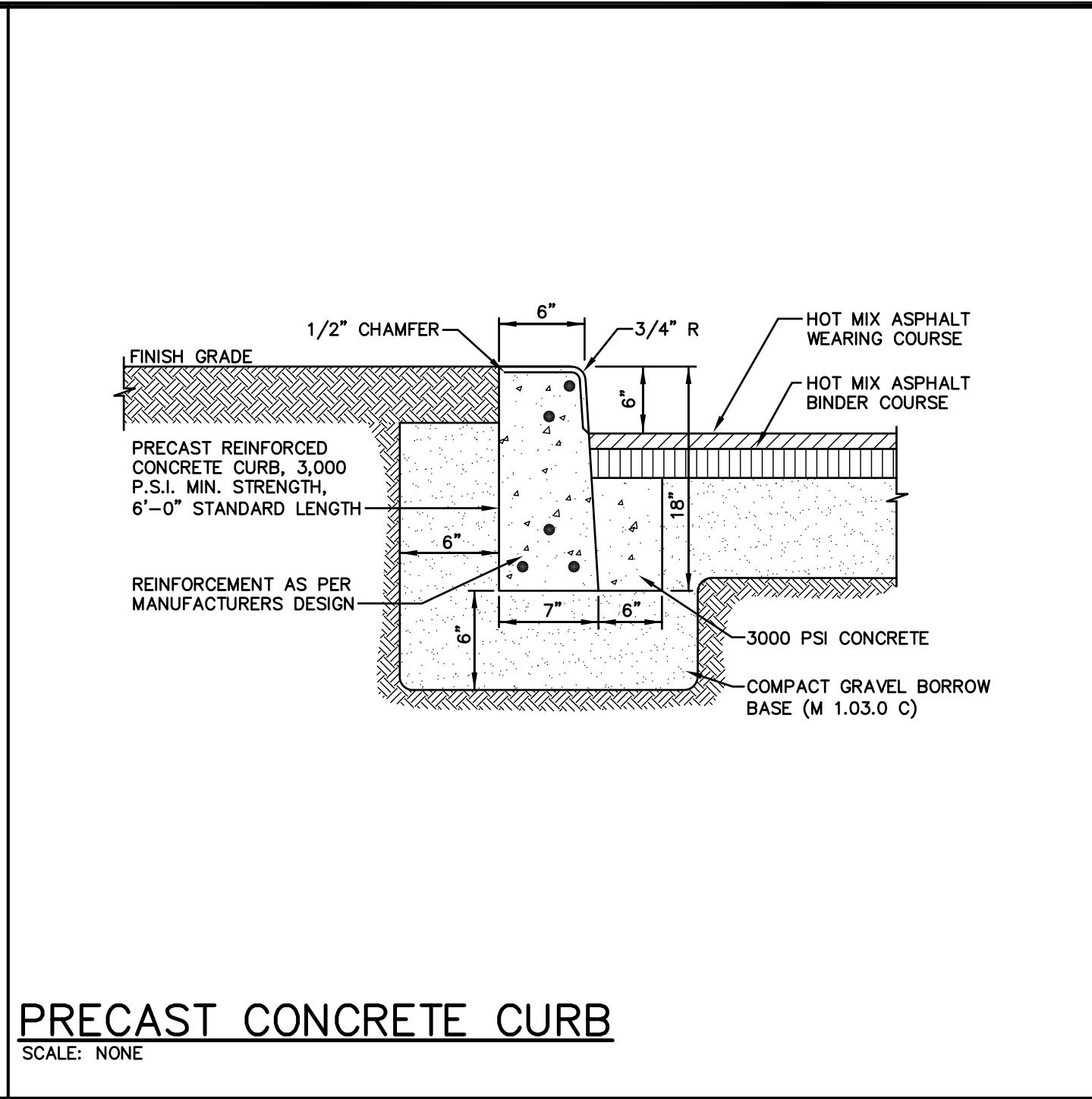
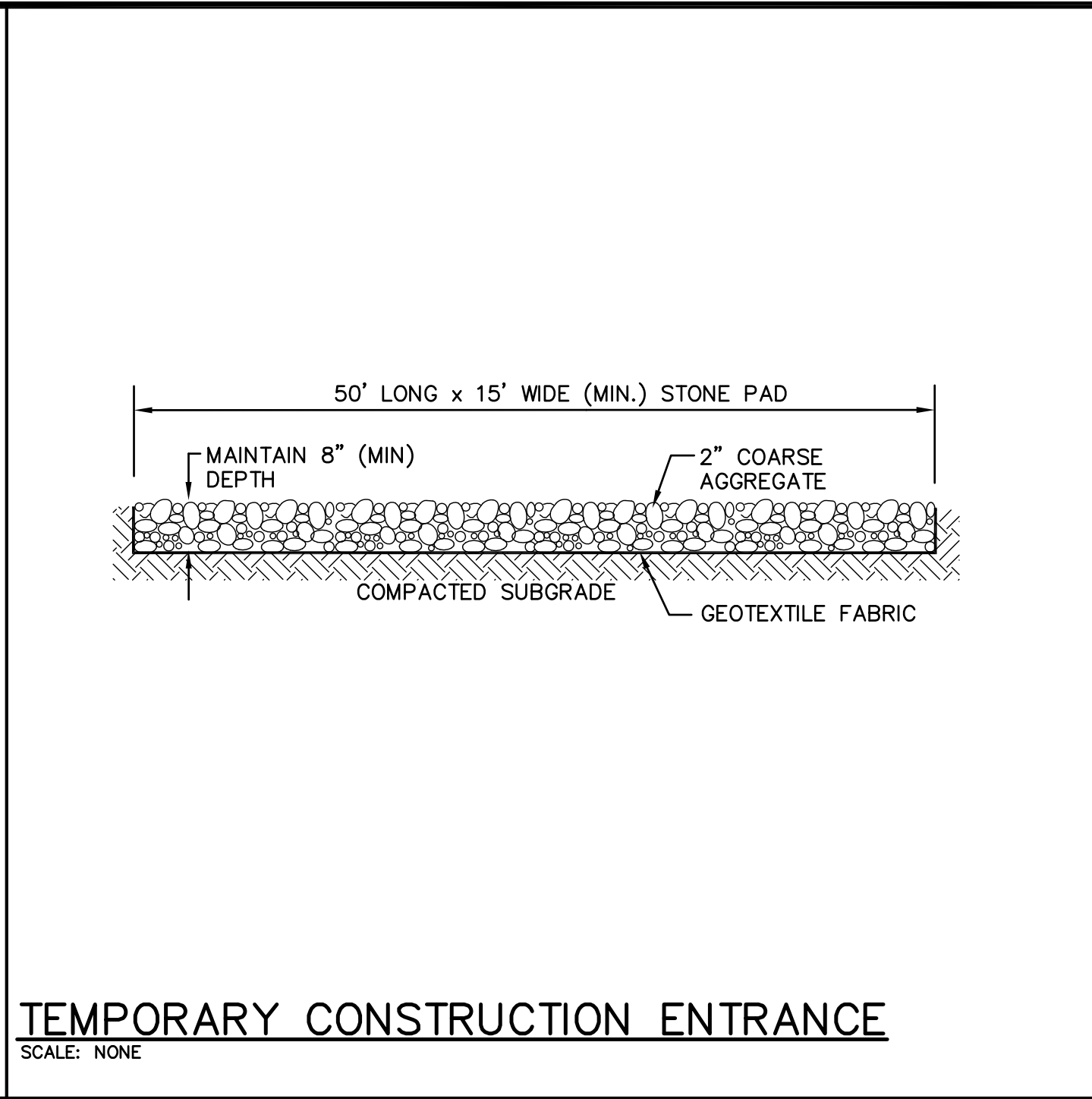
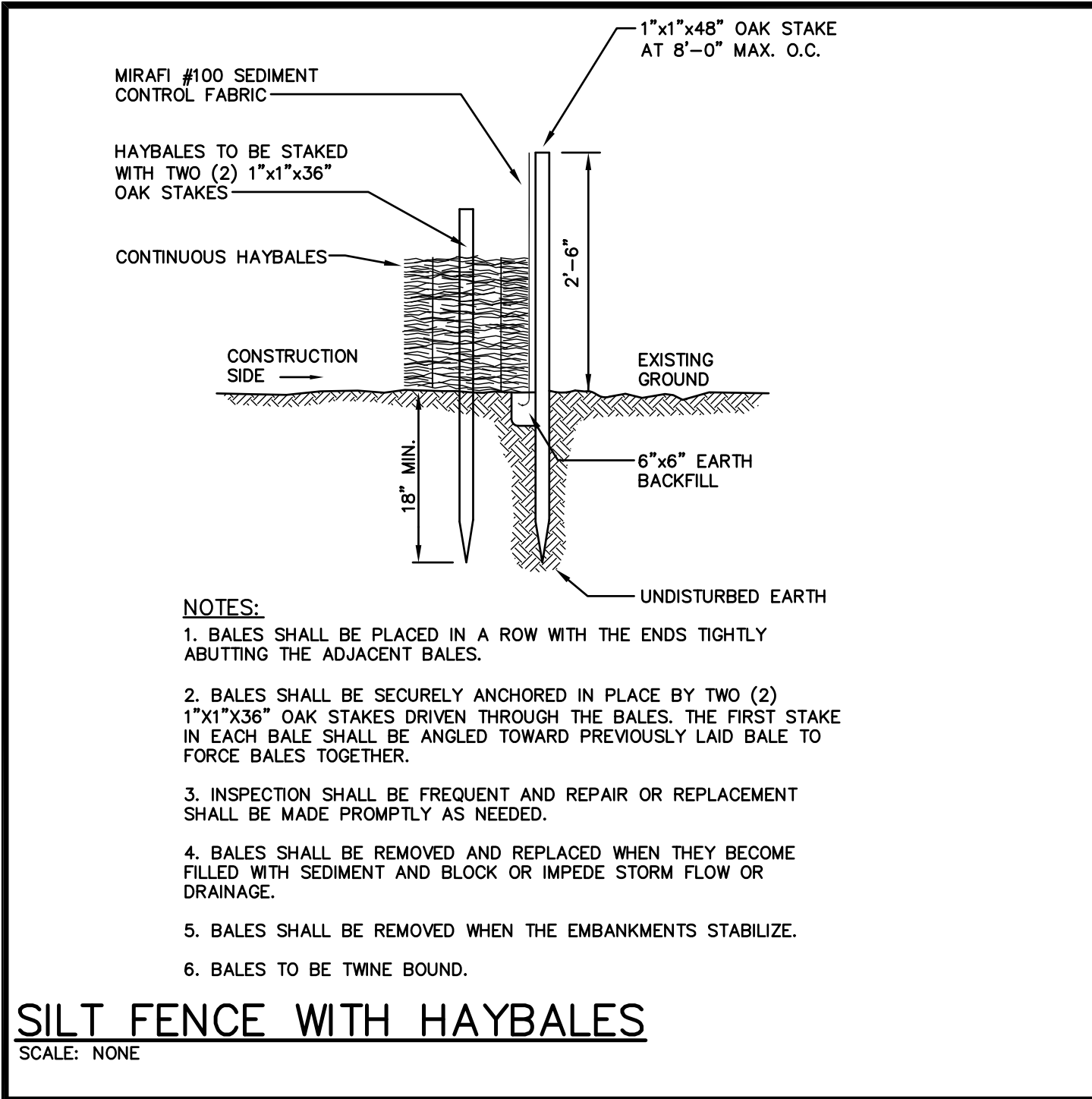
FILE: \\Civil\\Drawings\\2340700-LM

DWG:

JOB. NO: 23407.00

SHEET L-100

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



DATE

PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD

IN

ARLINGTON MASSACHUSETTS (MIDDLESEX COUNTY)

CIVIL & LANDSCAPE DETAILS

MARCH 13, 2020

REVISIONS:		
NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	11/03/20	REVISED BUILDING

PREPARED FOR:

ARLINGTON LAND REALTY, LLC

84 SHERMAN STREET, 2ND FLOOR

CAMBRIDGE, MA 02140

BSC GROUP

803 Summer Street

Boston, Massachusetts

02127

617 896 4300

© 2020 BSC Group, Inc.

SCALE: AS NOTED

FILE: 2340700\CD\2340700-DET

DWG: SHEET C-200

JOB. NO: 23407.00

NOTES:

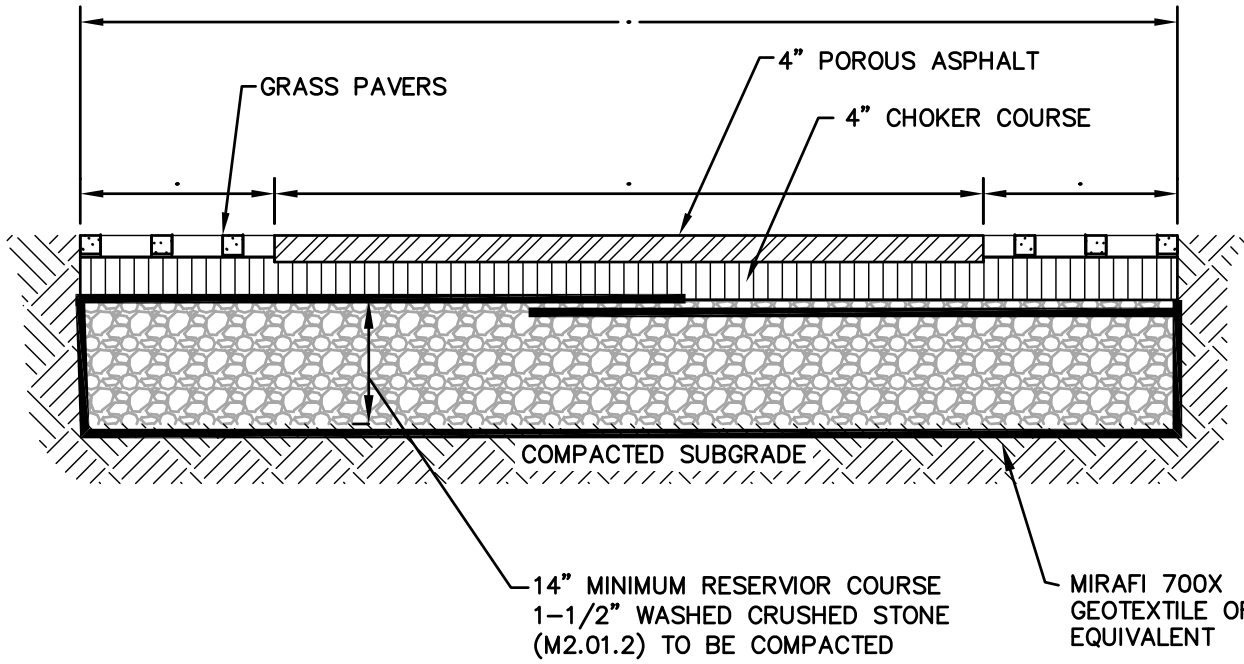
1. POROUS ASPHALT AND CHOKER COURSES SHALL MEET THE FOLLOWING REQUIREMENTS:

4" POROUS ASPHALT - SHALL BE POST-BLENDED PG 64-28 SBR WITH 5 POUNDS OF FIBER PER TON OF ASPHALT MIX.

- 3/4" = 100%
- 1/2" = 85-100%
- 3/8" = 55-75%
- #4 = 10-25%
- #8 = 5-10%
- #200 = 2-4%
- AIR VOID CONTENT = 16-22%

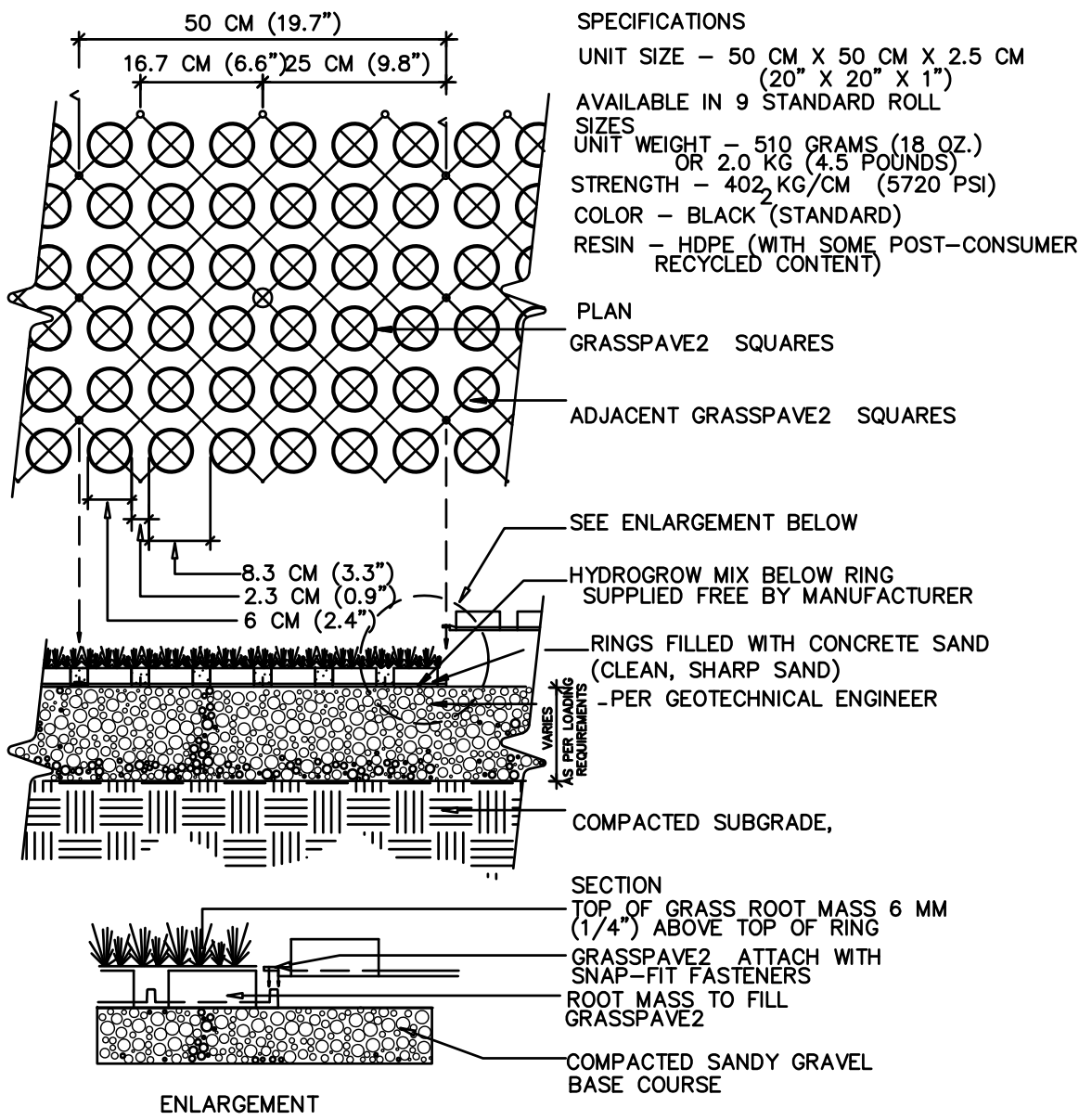
4" CHOKER COURSE SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

- 1-1/2" = 100%
- 1" = 95-100%
- 1/2" = 25-60%
- #4 = 0-10%
- #8 = 0-5%
- 95% COMPACTION



EMERGENCY ACCESS ROAD

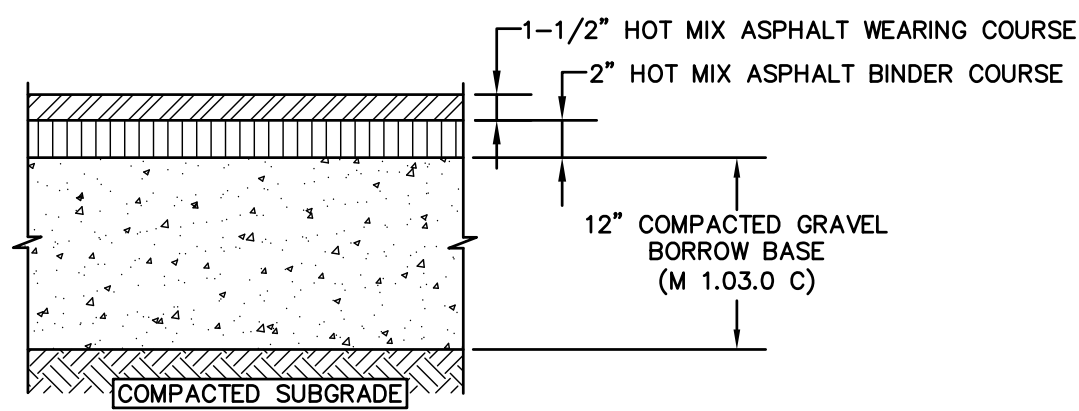
SCALE: NONE



NOTE: SEE LANDSCAPE PLANS FOR PLANT MIX

GRASSPAVE PRODUCT (OR APPROVED EQUAL)

SCALE: NONE

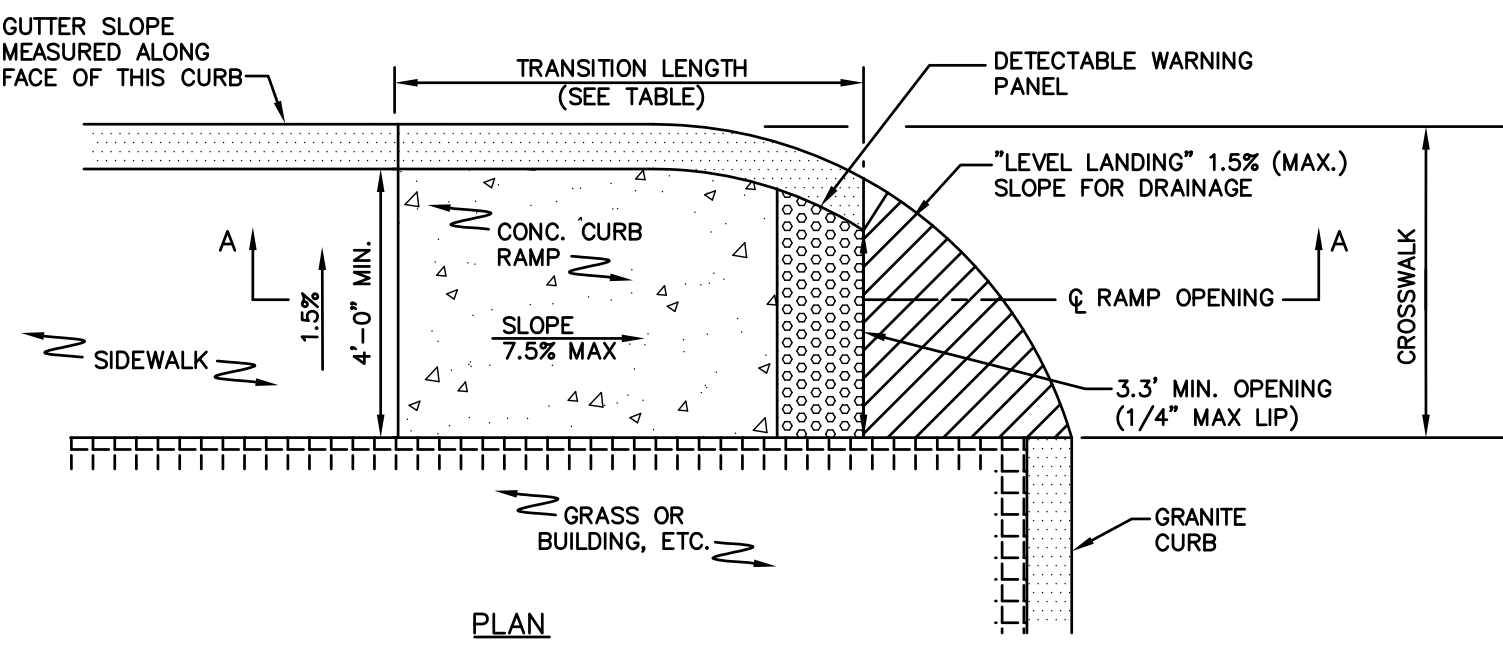


STANDARD DUTY FLEXIBLE PAVEMENT

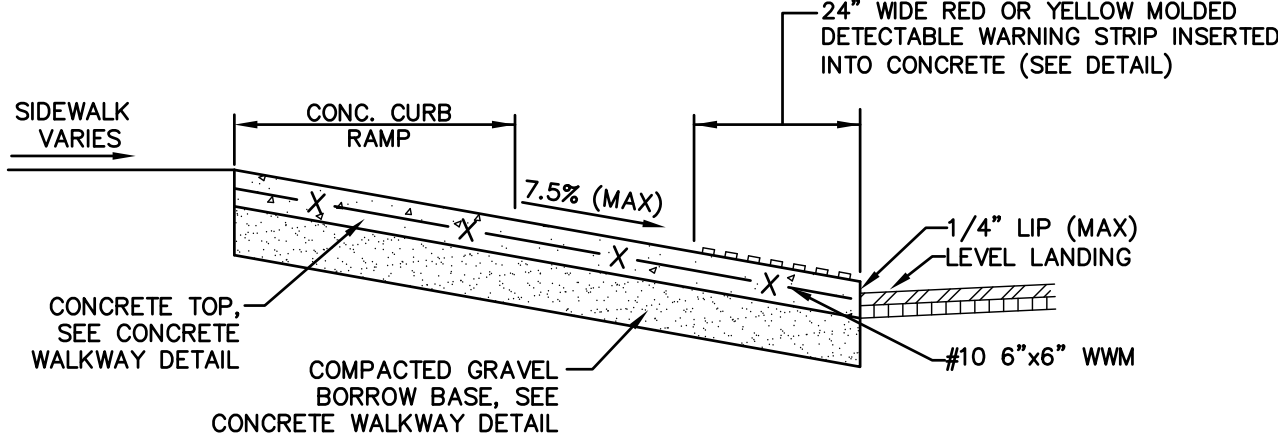
NOTE: PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF GEOTECHNICAL INVESTIGATIONS

HOT MIX ASPHALT PAVEMENT SECTIONS

SCALE: NONE



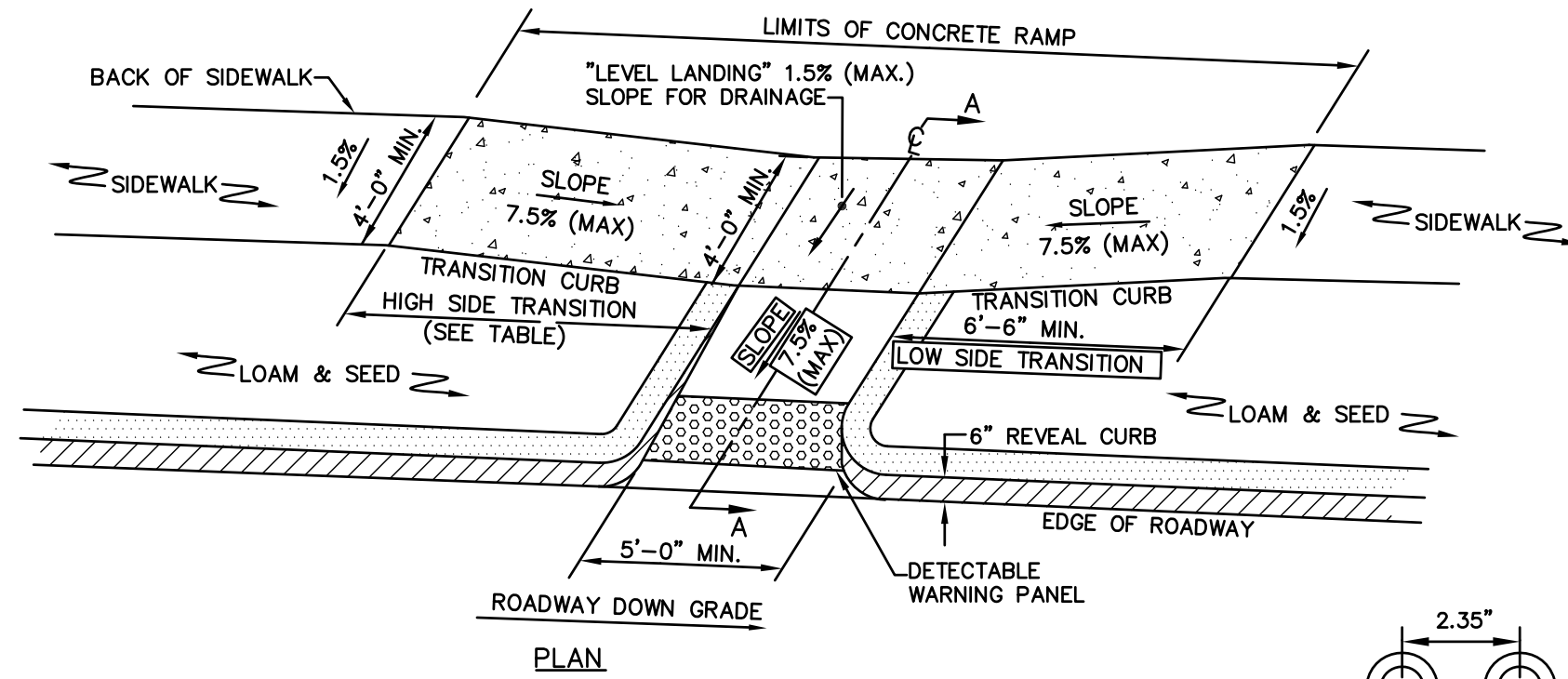
PLAN



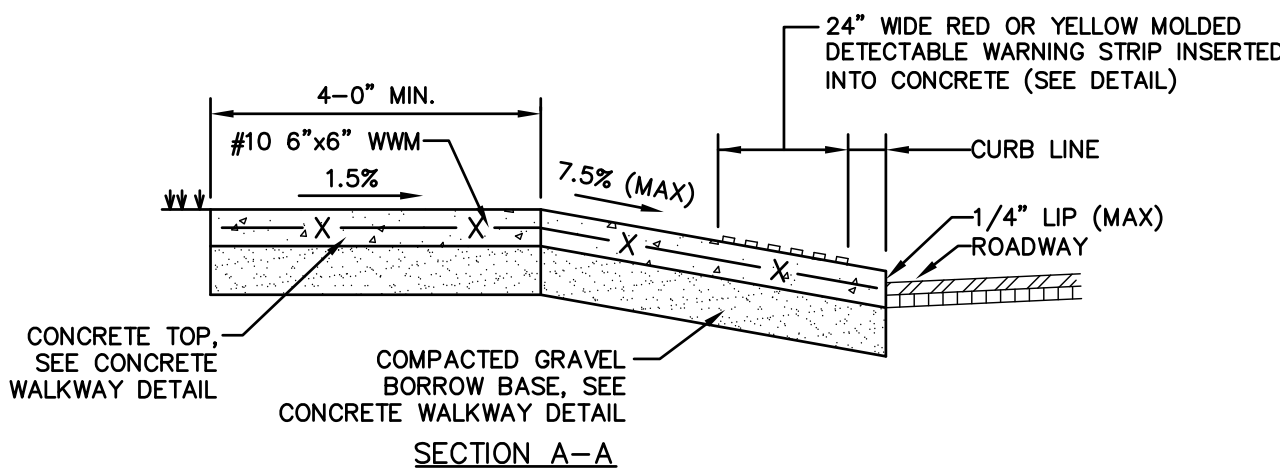
SECTION A-A

ACCESSIBLE CURB RAMP TYPE 'B' - SINGLE DIRECTION WITH LEVEL ENTRANCE

SCALE: NONE



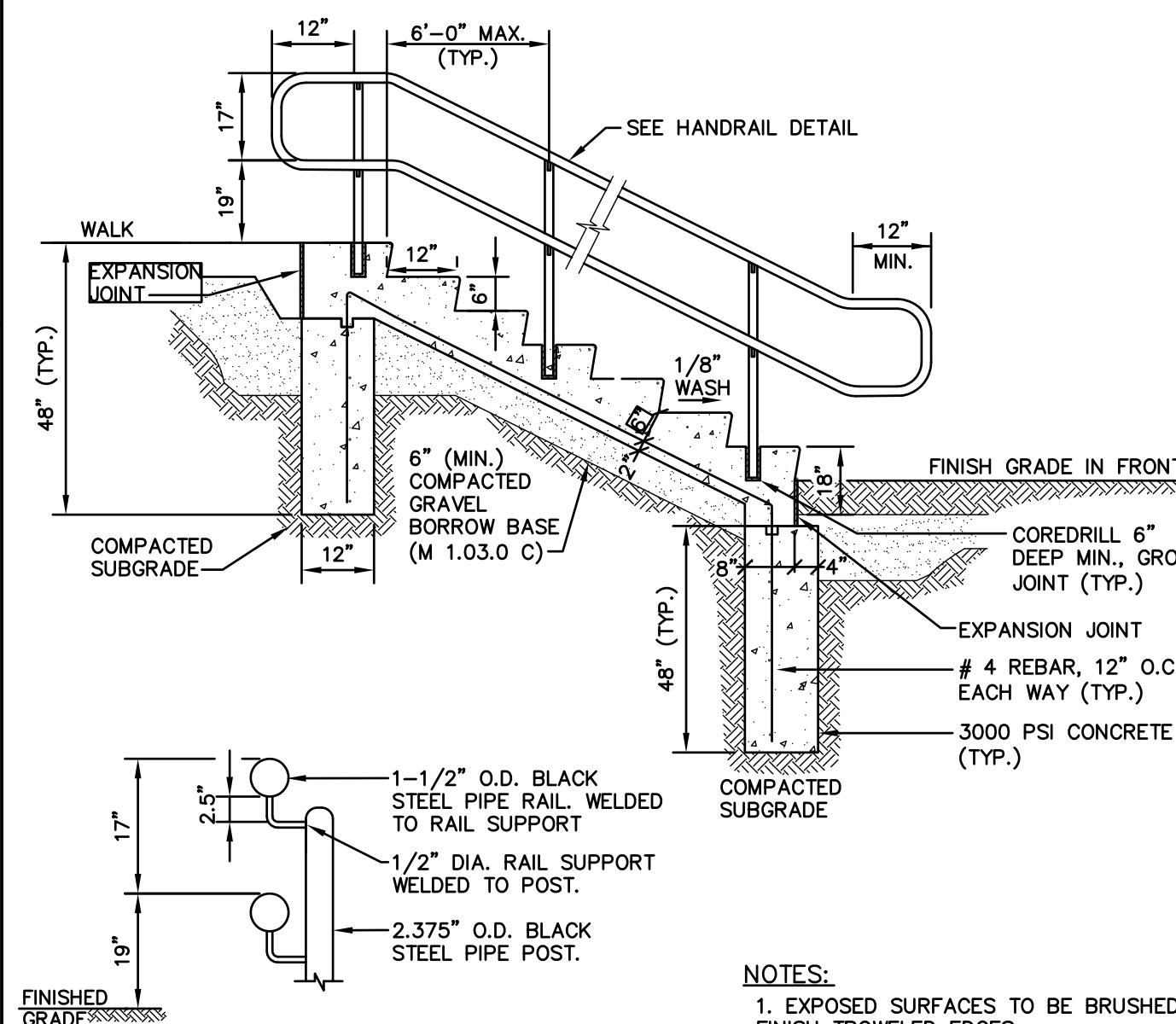
PLAN



SECTION A-A

ACCESSIBLE CURB RAMP TYPE 'E' - PARALLEL PERPENDICULAR WITH LANDSCAPING STRIP

SCALE: NONE



HANDRAIL DETAIL

CONCRETE STAIRS

SCALE: NONE

CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS	
ROADWAY PROFILE GRADE (%)	TRANSITION LENGTH ROUNDED TO THE NEAREST 4"
0 OR LOW SIDE	6'-6"
>0 - 1	7'-8"
>1 - 2	9'-0"
>2 - 3	11'-0"
>3 - 4	14'-0"
>4	15'-0" (MAX)

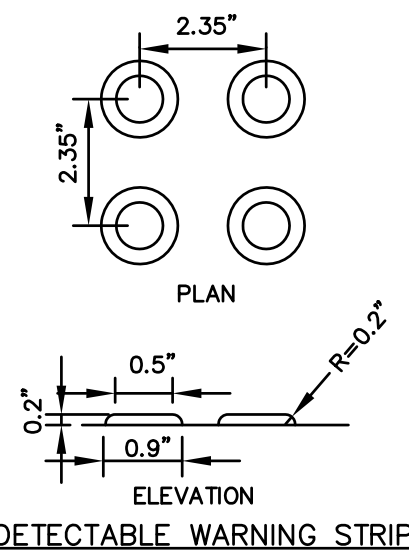
NOTES:

- SLOPE TOLERANCE FOR RAMP AND SIDEWALK CONSTRUCTION = $\pm 0.50\%$
- THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
- A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.

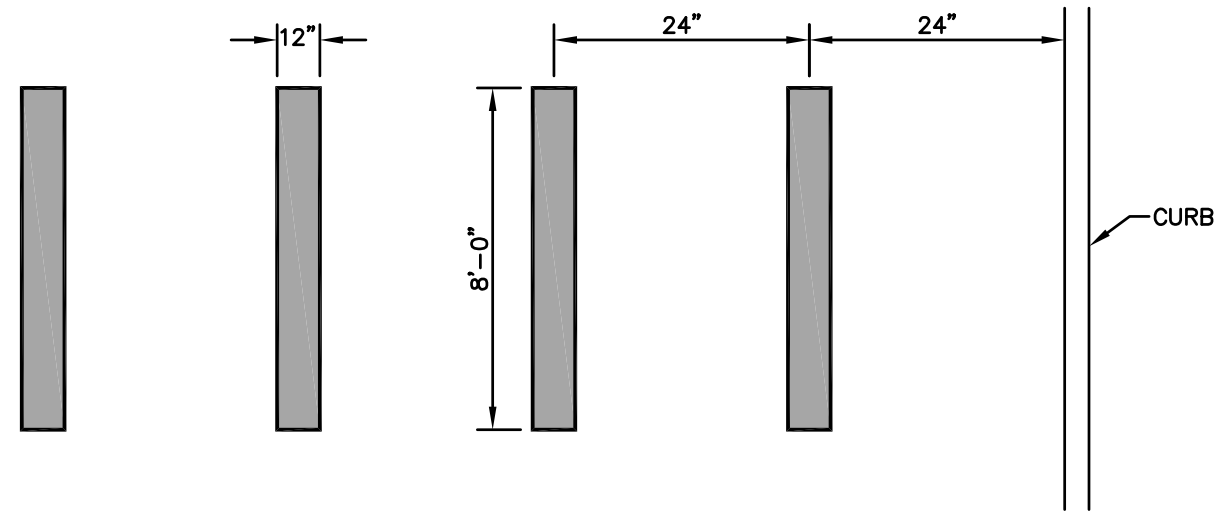
CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS	
ROADWAY PROFILE GRADE (%)	HIGH SIDE TRANSITION LENGTH ROUNDED TO THE NEAREST 4"
0 OR LOW SIDE	6'-6"
>0 - 1	7'-8"
>1 - 2	9'-0"
>2 - 3	11'-0"
>3 - 4	14'-0"
>4	15'-0" (MAX)

NOTES:

- SLOPE TOLERANCE FOR RAMP AND SIDEWALK CONSTRUCTION = $\pm 0.50\%$
- THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
- A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.



DETECTABLE WARNING STRIP

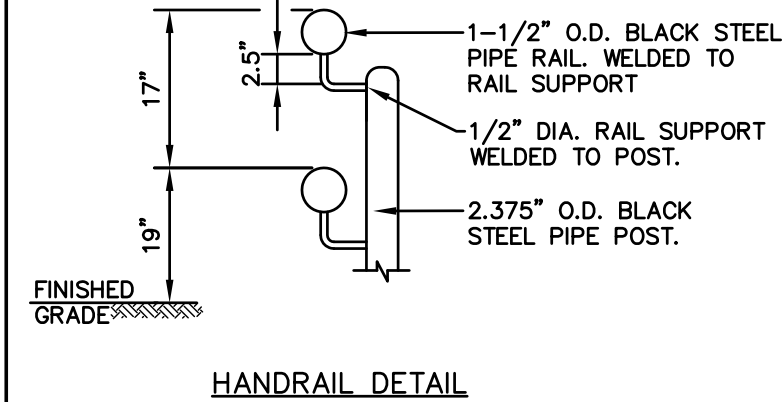
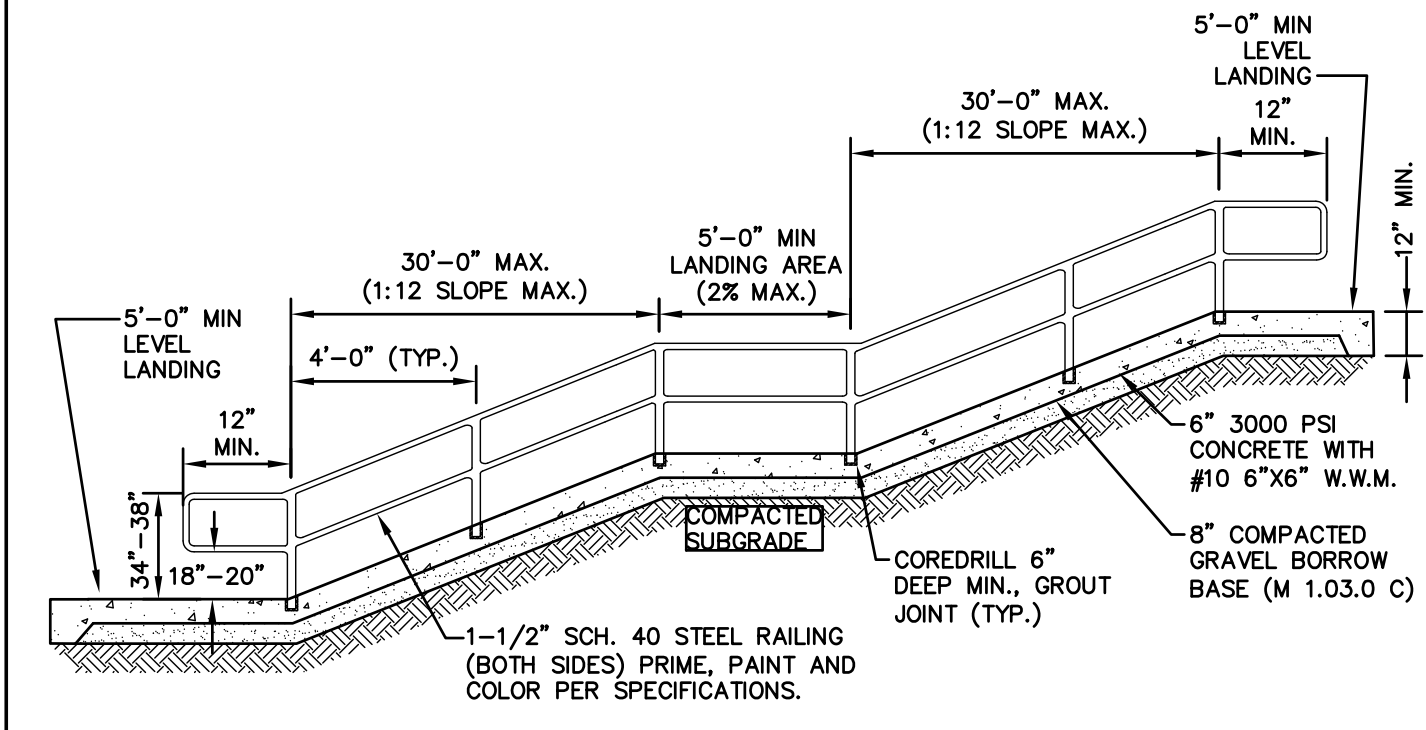


NOTES:

- ALL TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
- ALL PAVEMENT MARKING MATERIALS WHETHER THERMOPLASTIC OR WATERBORNE PAINT TO BE REFLECTORIZED WITH GLASS BEADS.
- LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
- ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY DRESSED.
- STRIPES TO BE SOLID WHITE.

PEDESTRIAN CROSSWALK MARKINGS

SCALE: NONE



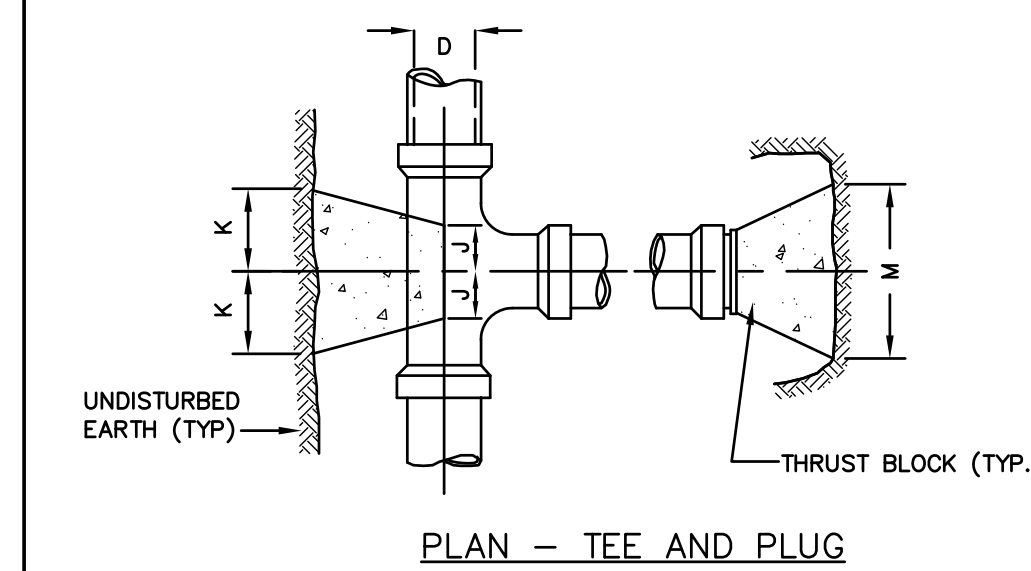
HANDRAIL DETAIL

MULTI-TIER RAMP

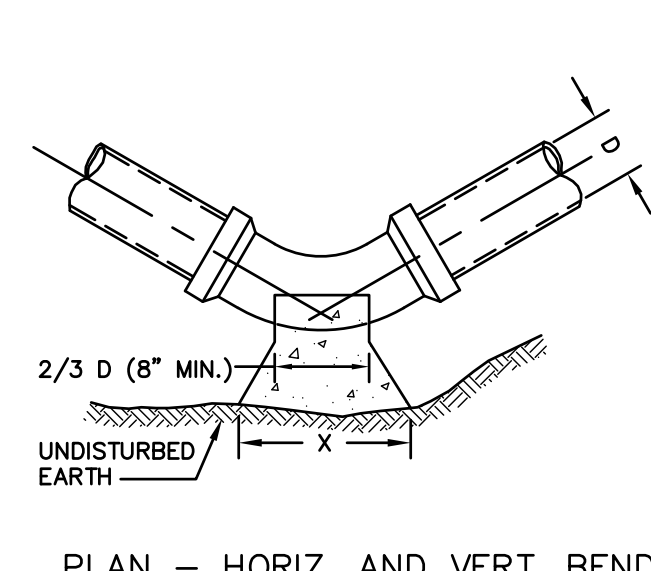
SCALE: NONE

NOTES:

- EXPOSED SURFACES TO BE BRUSHED FINISH TROWELED EDGES.
- MINIMUM WIDTH TO BE 48" CLEAR HANDRAIL TO HANDRAIL.



PLAN - TEE AND PLUG



PLAN - HORIZ. AND VERT. BEND

SIZE OF BRANCH	J	K	L	M	N	O
4" THRU 8"	10"	10"	1'-0"	2'-0"	1'-6"	10"
10" THRU 16"	1'-0"	1'-6"	1'-8"	3'-10"	2'-10"	1'-8"
24"	1'-4"	2'-0"	2'-6"	5'-0"	3'-6"	1'-8"

TEES AND PLUGS

	90 & 45 BENDS	22 1/2 & 11 1/4
D	4"108"10"1016"	24"4"10"1016"
X	1'-8"	3'-4"
Y	1'-2"	1'-8"

BENDS

NOTES:

- PROVIDE 3000 PSI CONCRETE THRUST BLOCKS AT ALL BENDS, DEAD ENDS, & TEES UNLESS OTHERWISE DIRECTED. CONCRETE FOR ALL THRUST BLOCKS TO BE PLACED AGAINST FIRM, UNDISTURBED SOIL. PROVIDE APPROVED ANCHOR HARNESS RODS & SOCKET CLAMPS AS SPECIFIED & IN ACCORDANCE WITH PIPE MANUFACTURERS RECOMMENDATIONS WHERE SOIL HAS BEEN DISTURBED OR THRUST BLOCKS CANNOT BE USED, AS DIRECTED BY THE ENGINEER.
- ALL SOCKET CLAMP METAL SHALL BE COATED WITH BLACK ASPHALTUM OR OTHER WATER DEPARTMENT APPROVED COATINGS.
- CONCRETE THRUST BLOCKS POURED BEHIND 3-WAY TEE & HYDRANT SHOE TO BE USED WITH SOCKET CLAMPS.
- NO CONCRETE SHALL COVER PIPE JOINTS, FITTING JOINTS, BOLTS OR HYDRANT DRAINS.

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



PROFESSIONAL ENGINEER

DATE

THORNDIKE PLACE

DOROTHY ROAD

IN

ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

CIVIL & LANDSCAPE
DETAILS

MARCH 13, 2020

REVISIONS:

NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	11/03/20	REVISED BUILDING

PREPARED FOR:

ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140



803 Summer Street
Boston, Massachusetts
02127

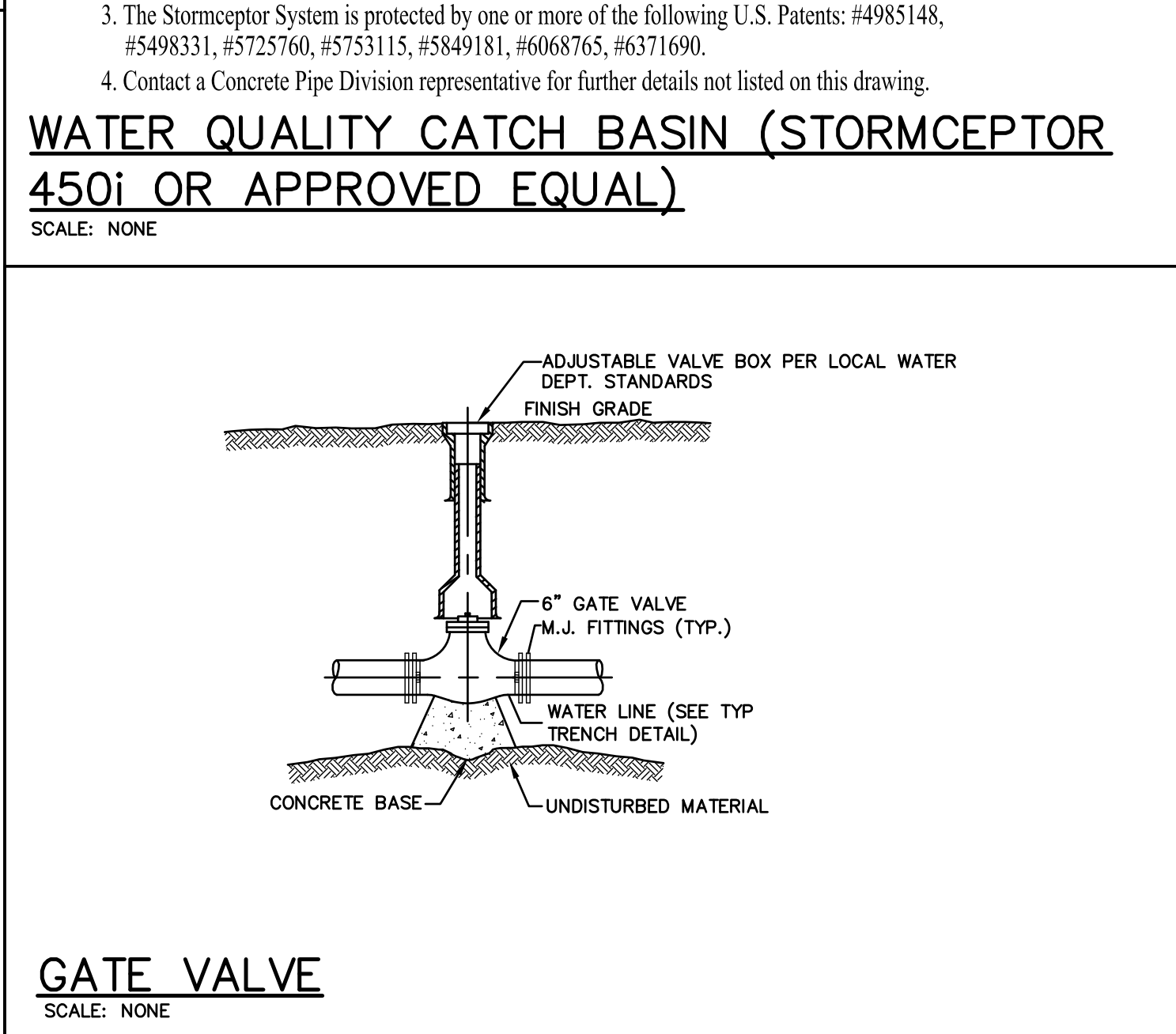
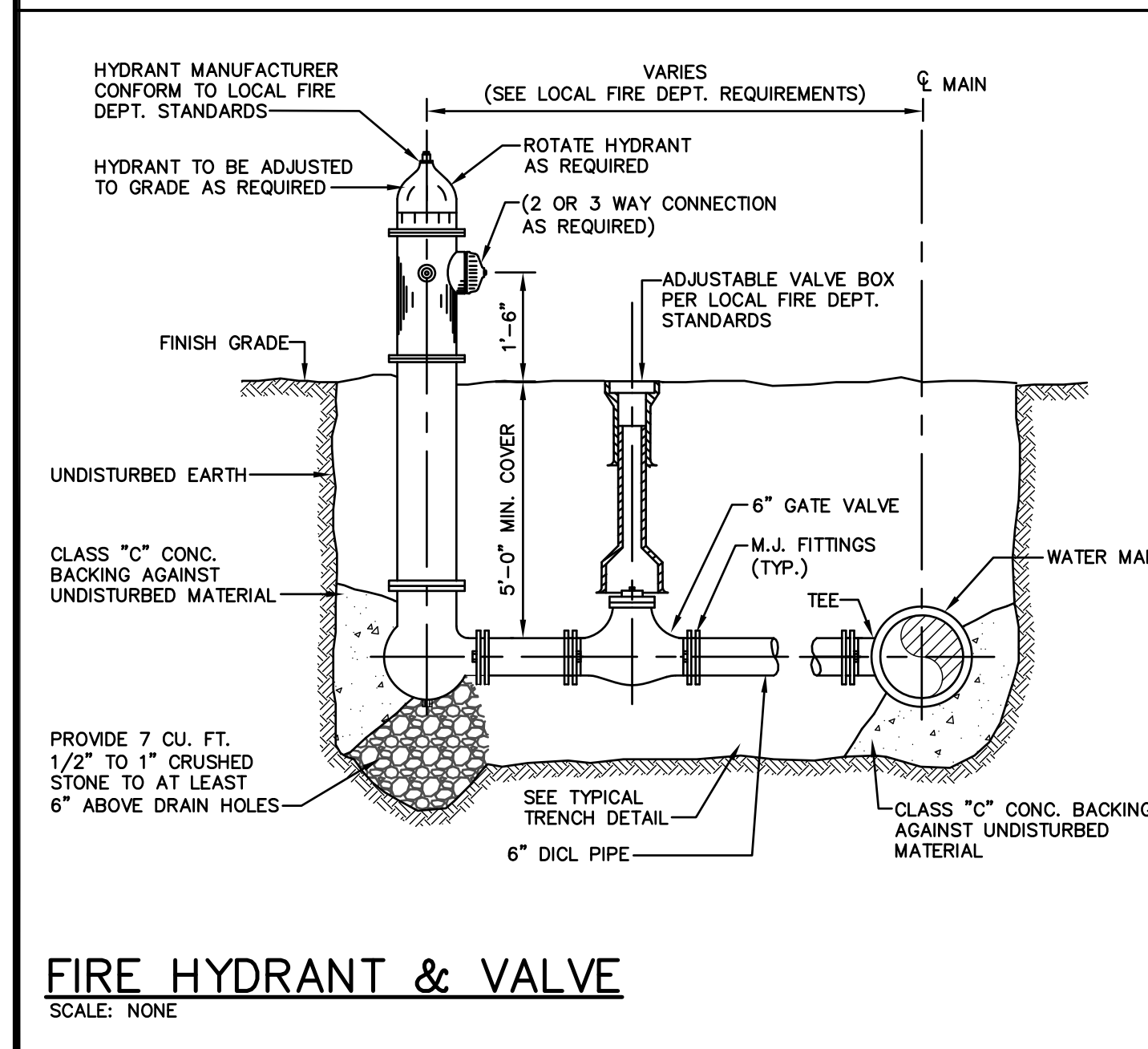
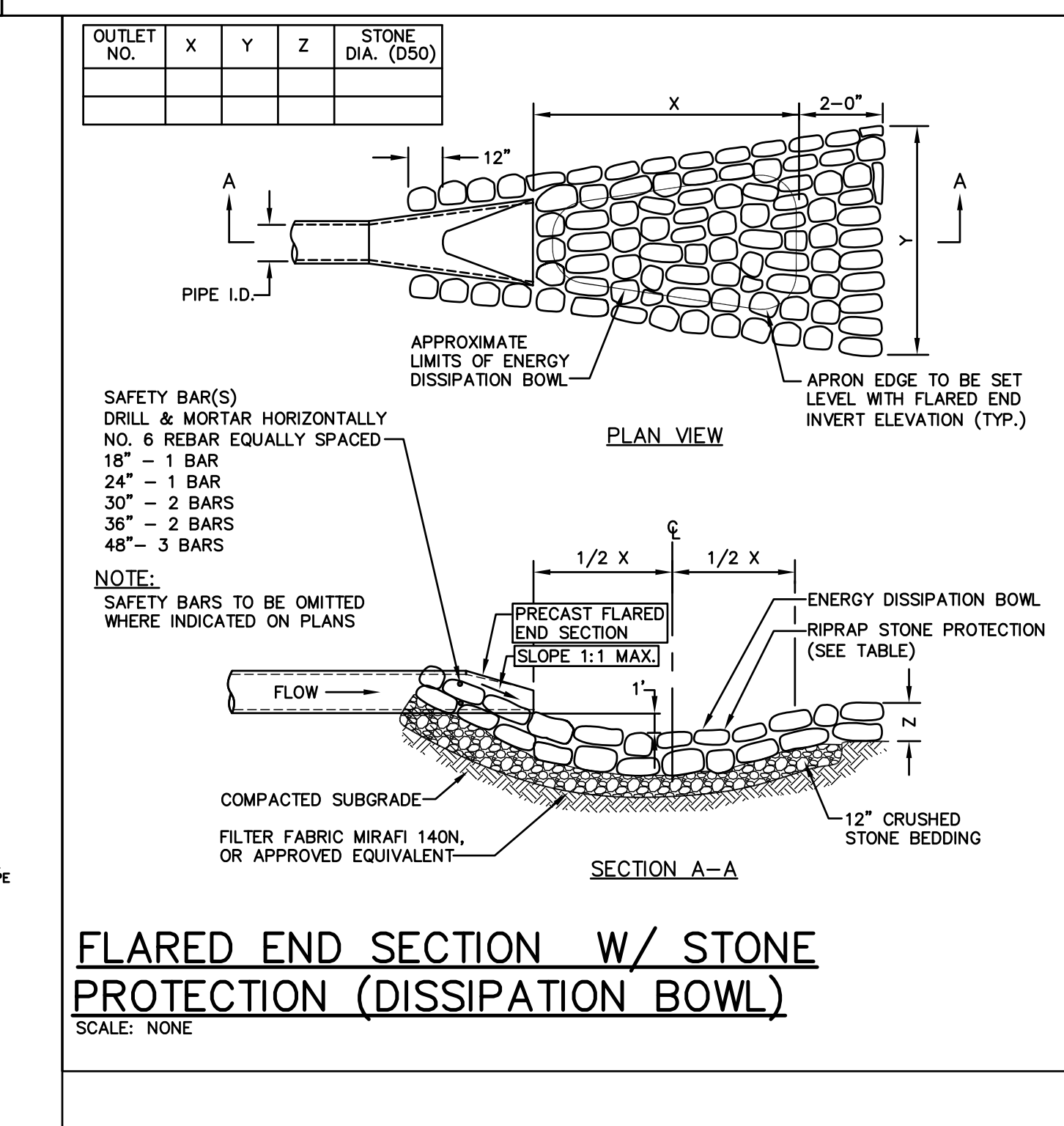
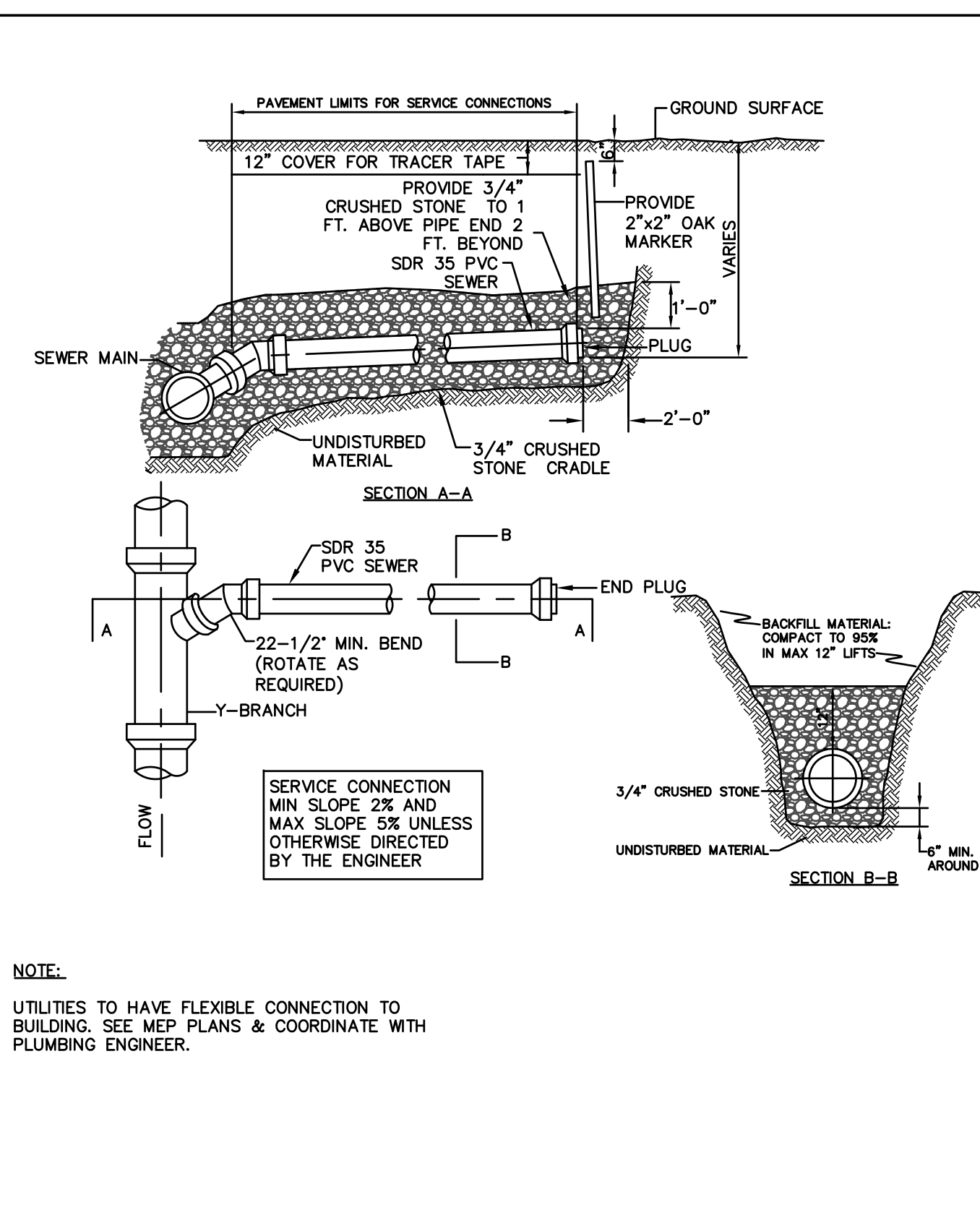
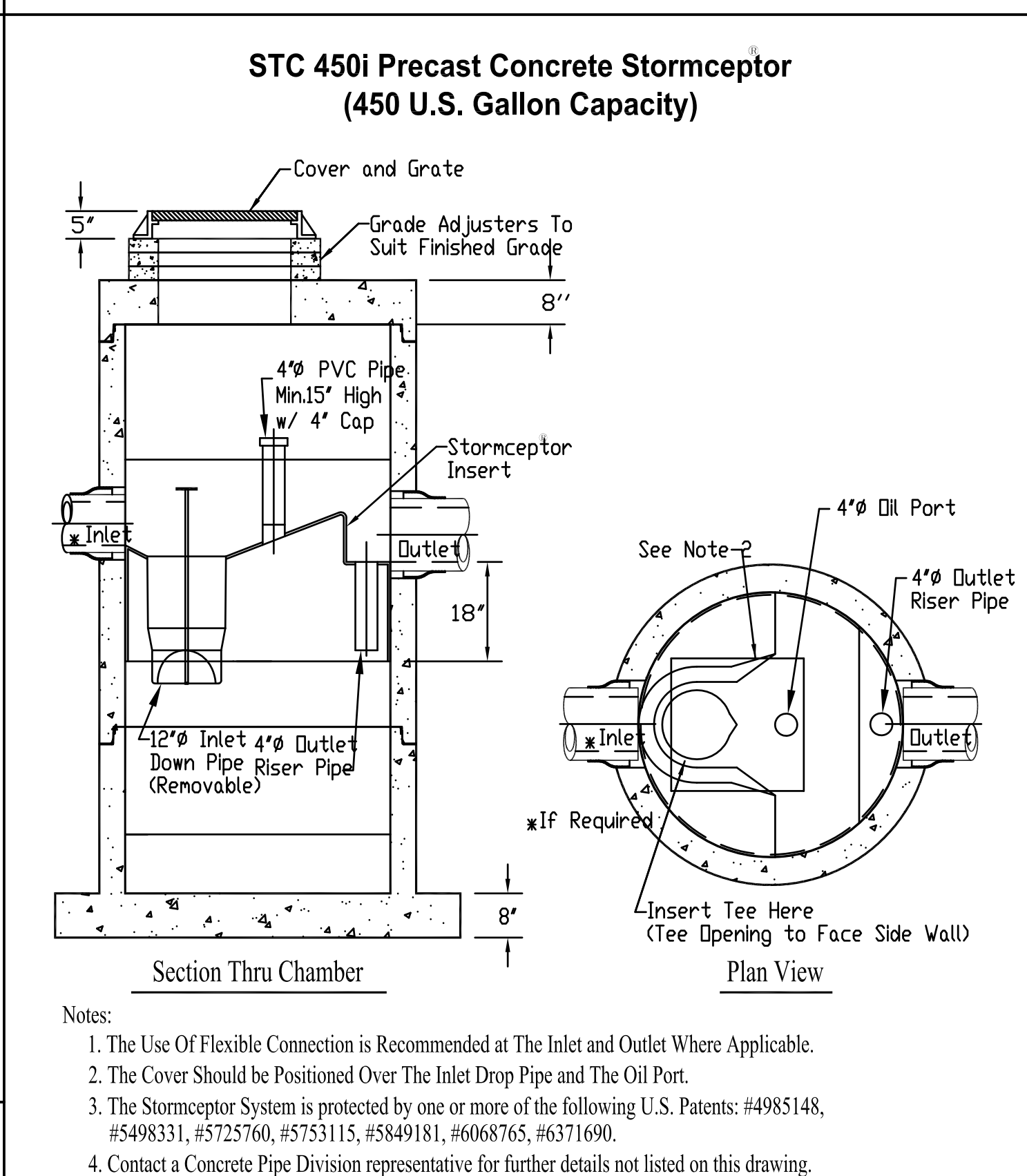
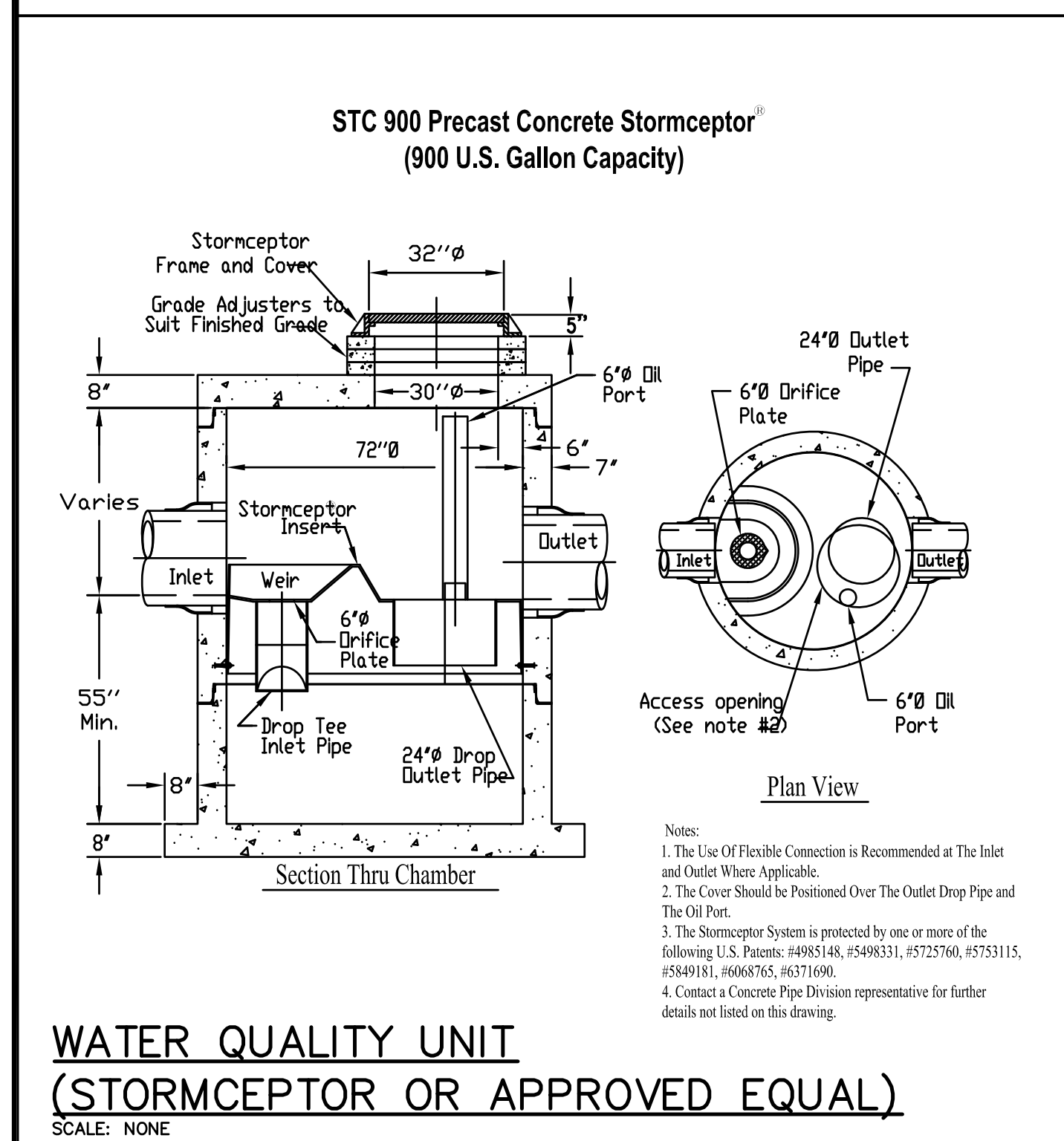
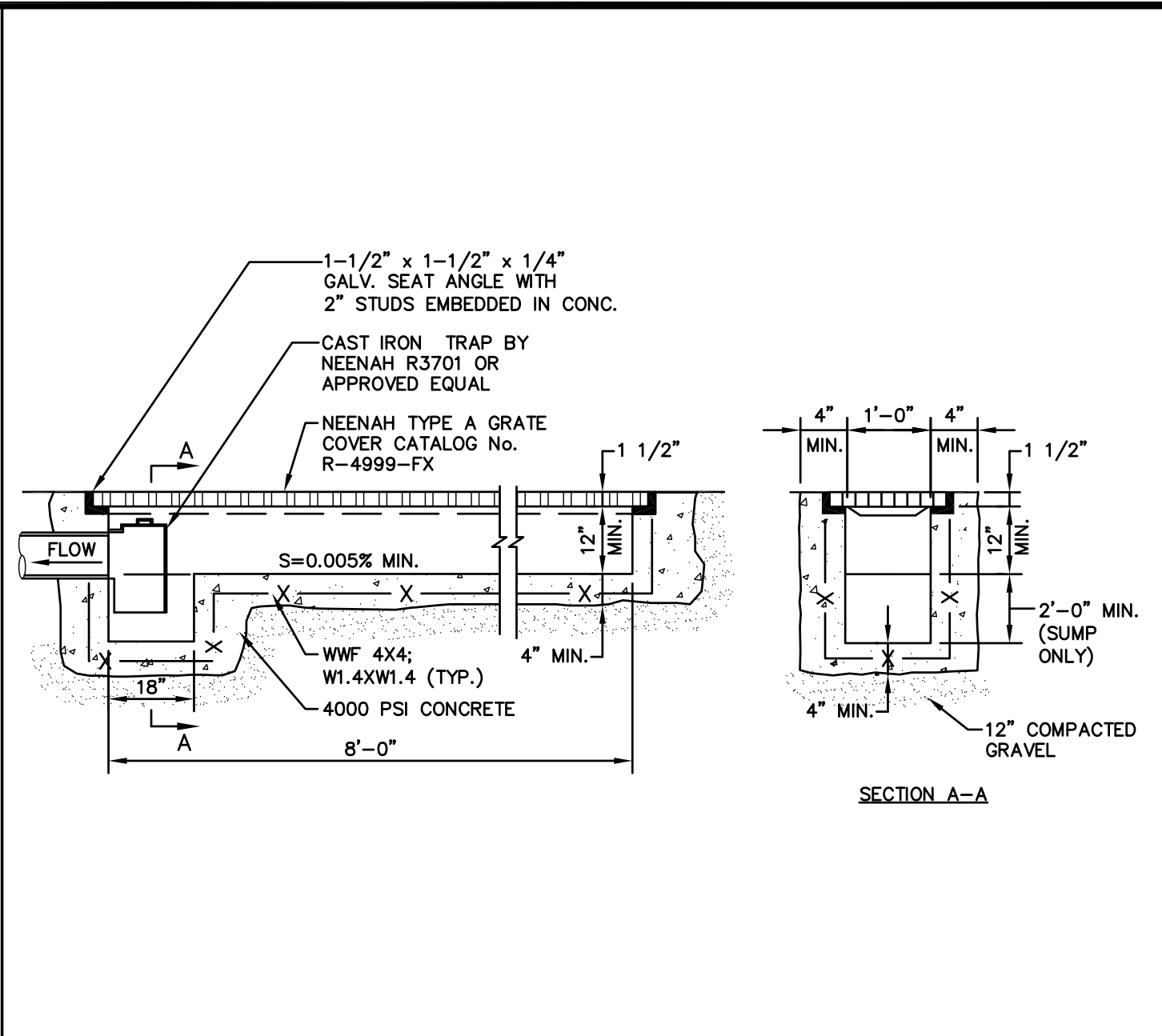
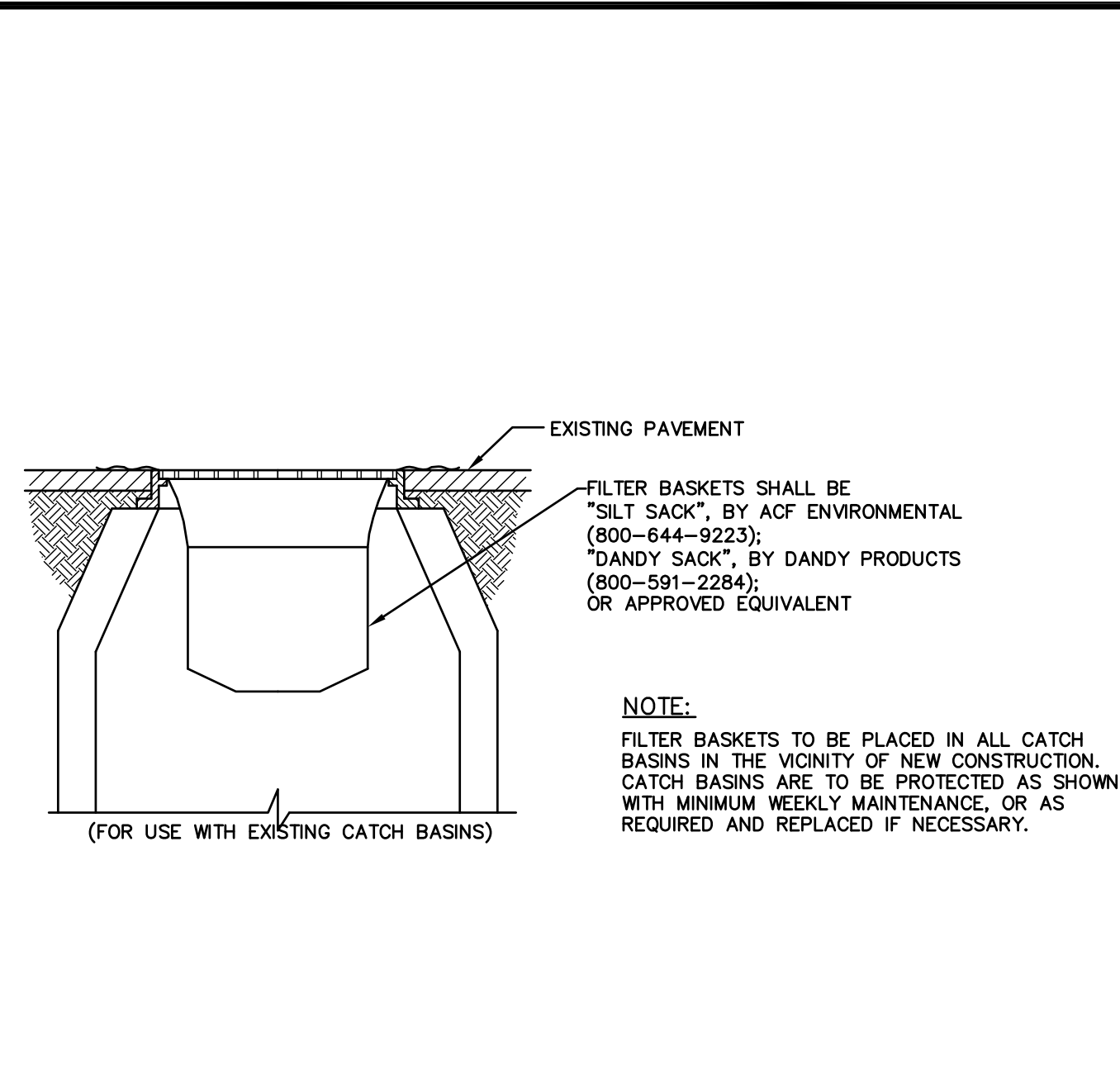
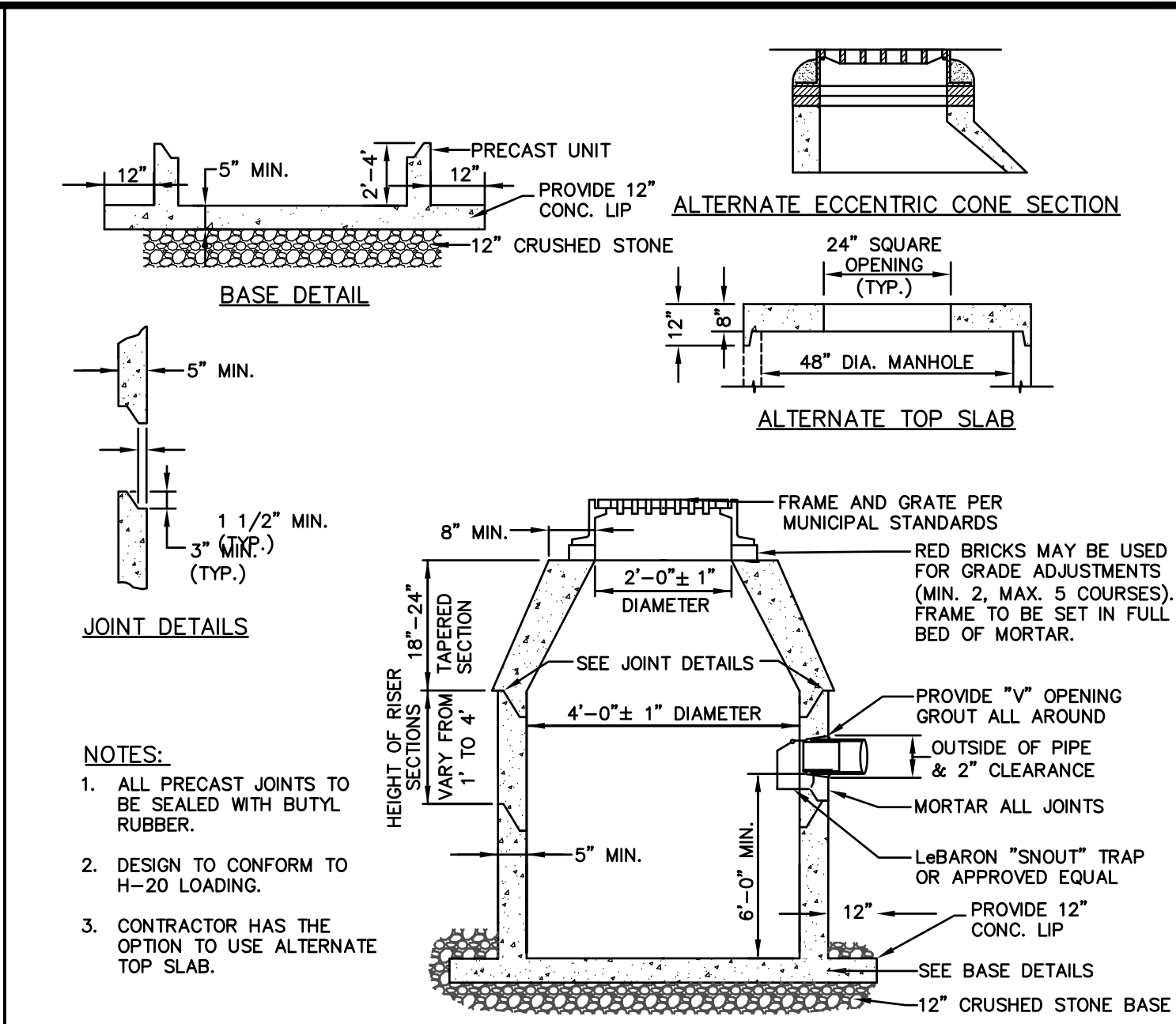
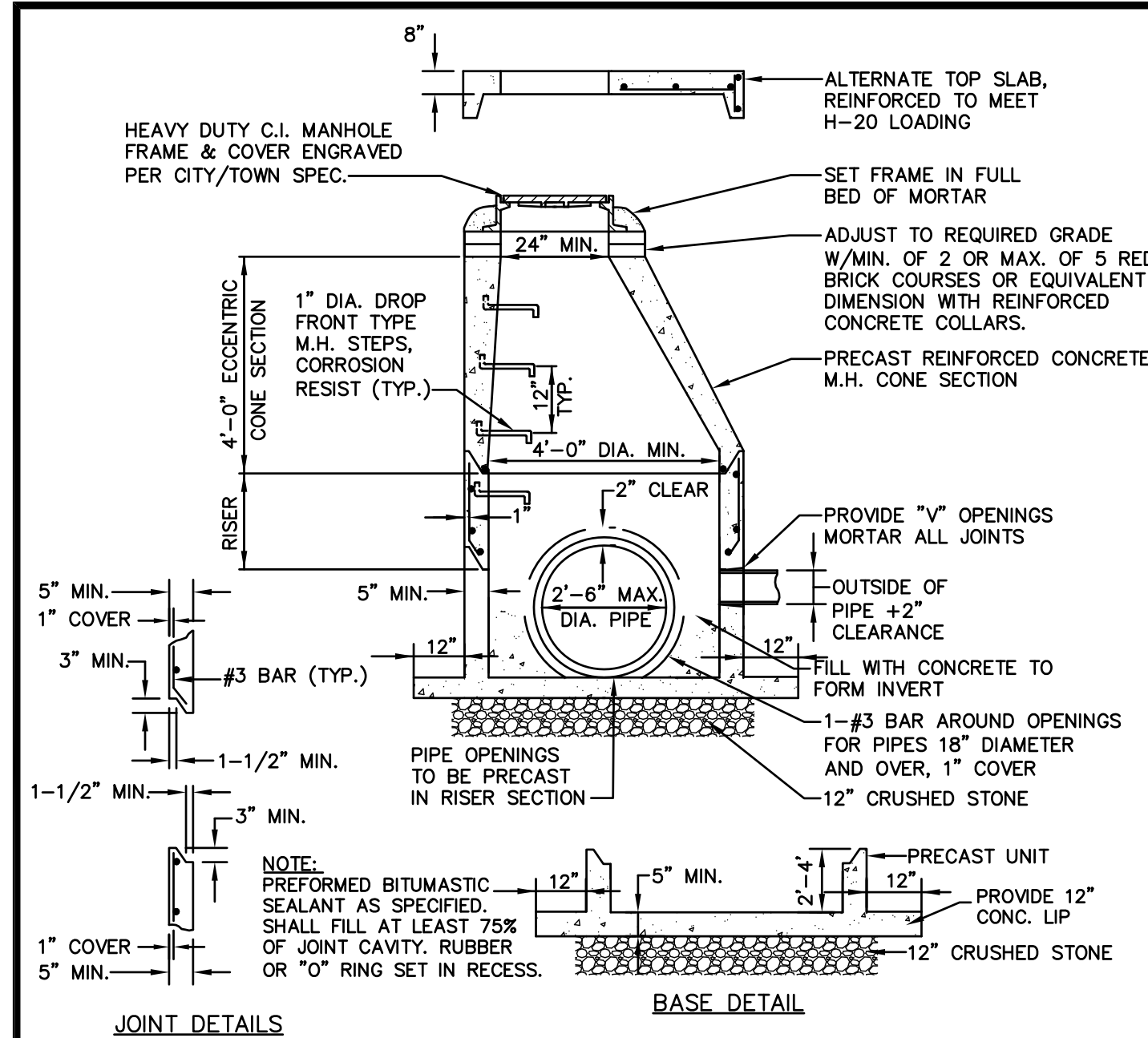
617 896 4300

© 2020 BSC Group, Inc.

SCALE: AS NOTED

FILE: 2340700\c\2340700-DET

DWG: SHEET C-201
JOB. NO: 23407.00



REVIEWS:		
NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140



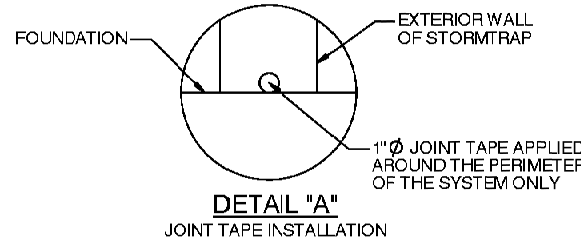
© 2020 BSC Group, Inc.
SCALE: AS NOTED

FILE: 2340700\C\D\2340700-DET	
DWG.:	SHEET C-202
JOB. NO: 23407.00	

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

STORMTRAP INSTALLATION SPECIFICATION

- STORMTRAP MODULES SHALL BE MANUFACTURED ACCORDING TO SHOP DRAWINGS APPROVED BY THE INSTALLING CONTRACTOR AND ENGINEER. THE SHOP DRAWINGS SHALL INDICATE SIZE AND LOCATION OF INLET OPENINGS AND INLET/OUTLET PIPE OPENINGS.
- STORMTRAP SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C814-09 STANDARD PRACTICE FOR INSTALLATION OF AROUNDING THE JOINT CONCRETE UTILITY STRUCTURES. THE FOLLOWING ADDITIONAL REQUIREMENTS SHALL APPLY:
 - SPECIFICATIONS ON THE ENGINEERING DRAWINGS SHALL TAKE PRECEDENCE.
 - STORMTRAP MODULES SHALL BE PLACED ON LEVEL FOUNDATION (SEE SHEET 3.1) WITH A 1/2" OVERHANG ON ALL SIDES THAT SHALL BE FOUNDED IN PLACE BY INSTALLING CONTRACTOR.
 - THE STORMTRAP MODULES SHALL BE PLACED SUCH THAT THE MAXIMUM SPACE BETWEEN ADJACENT MODULES DOES NOT EXCEED 3/4". IF THE SPACE EXCEEDS 3/4", THE MODULES SHALL BE RESET WITH APPROPRIATE ADJUSTMENT MADE TO BRING THE SPACE INTO CONFORMANCE.
 - THE PERIMETER HORIZONTAL JOINT OF THE STORMTRAP MODULES SHALL BE SEALED TO THE FOUNDATION WITH PREFORMED MASTIC JOINT SEALER ACCORDING TO ASTM C891-06.8 AND 12. (SEE DETAIL "A").
 - ALL EXTERIOR JOINTS BETWEEN ADJACENT STORMTRAP MODULES SHALL BE SEALED WITH FIRE-RESISTANT, GOSD-APPLIED, GOSD-ADHESIVE ELASTOMERIC RESIN FORTIFIED TO A MODIFIED HIGHLY PLASTIC RESISTANT POLYMER WRAP CONFORMING TO ASTM C891-06 AND SHALL BE OF INTEGRATED FIBER REINFORCEMENT AS APPROVED BY STORMTRAP. THE ADHESIVE EXTERIOR JOINT WRAP SHALL BE INSTALLED ACCORDING TO THE FOLLOWING INSTALLATION INSTRUCTIONS:
 - USE A BRUSH OR WET CLOTH TO THOROUGHLY CLEAN THE OUTSIDE SURFACE AT THE POINT WHERE THE JOINT WRAP IS TO BE APPLIED.
 - A RELEASE PAPER PROTECTS THE ADHESIVE SIDE OF THE JOINT WRAP. PLACE THE ADHESIVE TAPE (OUTSIDE SIDE DOWN) AROUND THE STRUCTURE, REMOVING THE RELEASE PAPER AS YOU GO. PRESS THE JOINT WRAP FIRMLY AGAINST THE STORMTRAP MODULE SURFACE WHEN APPLYING.

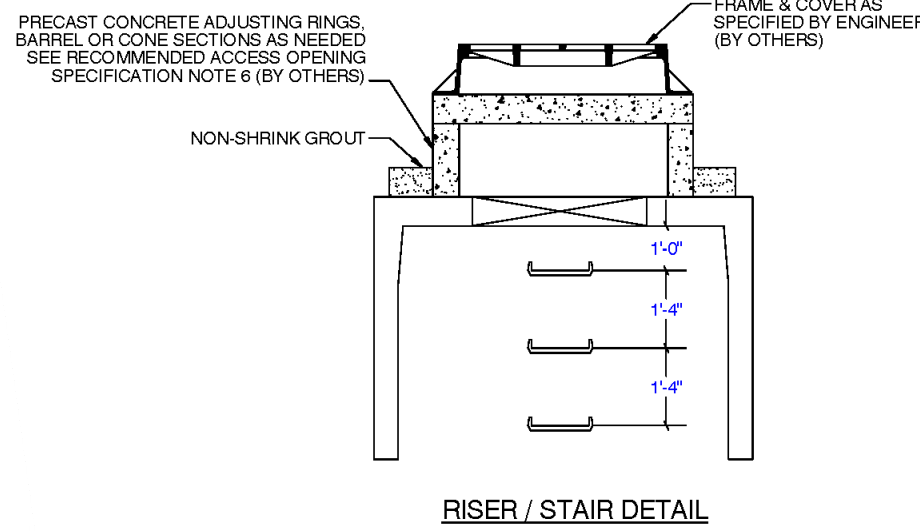
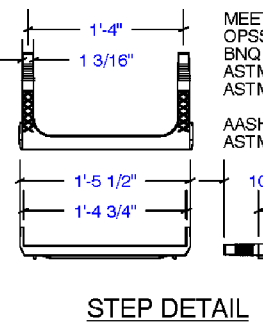


RECOMMENDED PIPE OPENING SPECIFICATION

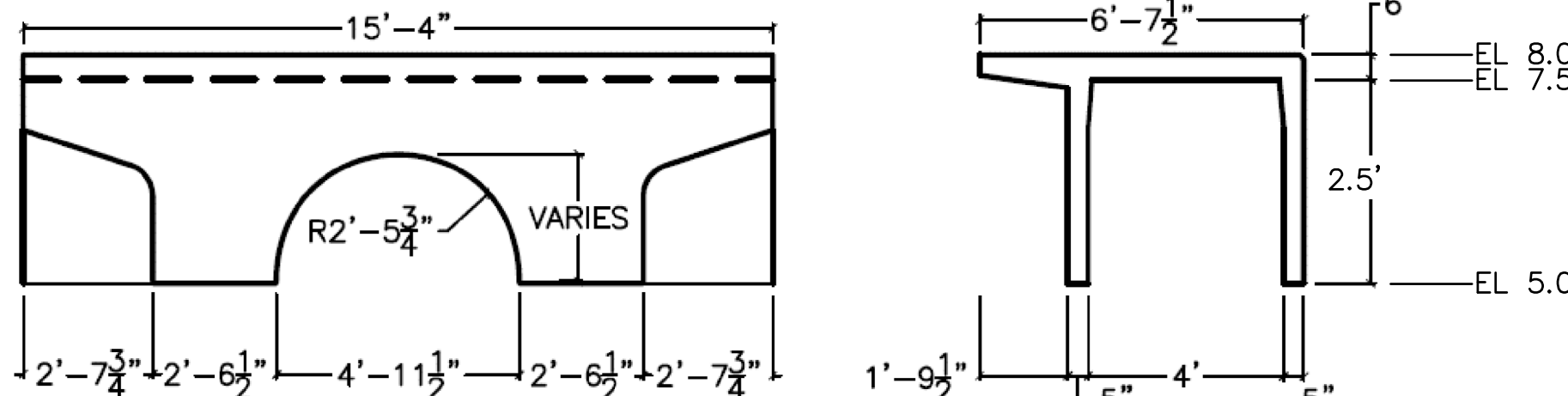
- PIPE OPENINGS SHALL MAINTAIN A MINIMUM 1/2" OF CLEARANCE FROM A VERTICAL EDGE OF THE STORMTRAP UNIT.
- MAXIMUM OPENING SIZE TO BE DETERMINED BY UNIT HEIGHT. PREFERRED OPENING SIZE 8" OR LESS. ANY OPENING NEEDED THAT DOES NOT FIT THIS CRITERIA SHALL BE BROUGHT TO THE ATTENTION OF STORMTRAP FOR REVIEW.
- CONNECTING PIPES SHALL BE INSTALLED WITH A 1/2" CONCRETE COLLAR AND A AGGREGATE CIRCLE FOR AT LEAST ONE PIPE LENGTH (AS SHOWN). A STRUCTURAL GRADE CONCRETE OR GROUT WITH A MINIMUM 1 DAY COMPRESSIVE STRENGTH OF 3000 PSI SHALL BE USED.
- THE ANULAR SPACE BETWEEN THE PIPE AND THE HOLE SHALL BE FILLED WITH NON-SHRINK GROUT.

RECOMMENDED PIPE INSTALLATION INSTRUCTIONS

- CLEAN AND THOROUGHLY LUBRICATE ALL OF PIPE TO BE INSERTED INTO STORMTRAP.
- IF PIPE IS CUT, CARE SHOULD BE TAKEN TO ALLOW NO SHARP EDGES. BEVEL AND LUBRICATE LEAD END OF PIPE.
- AUXILIARY CENTER OF PIPE TO CORRECT ELEVATION AND INSERT INTO OPENING.



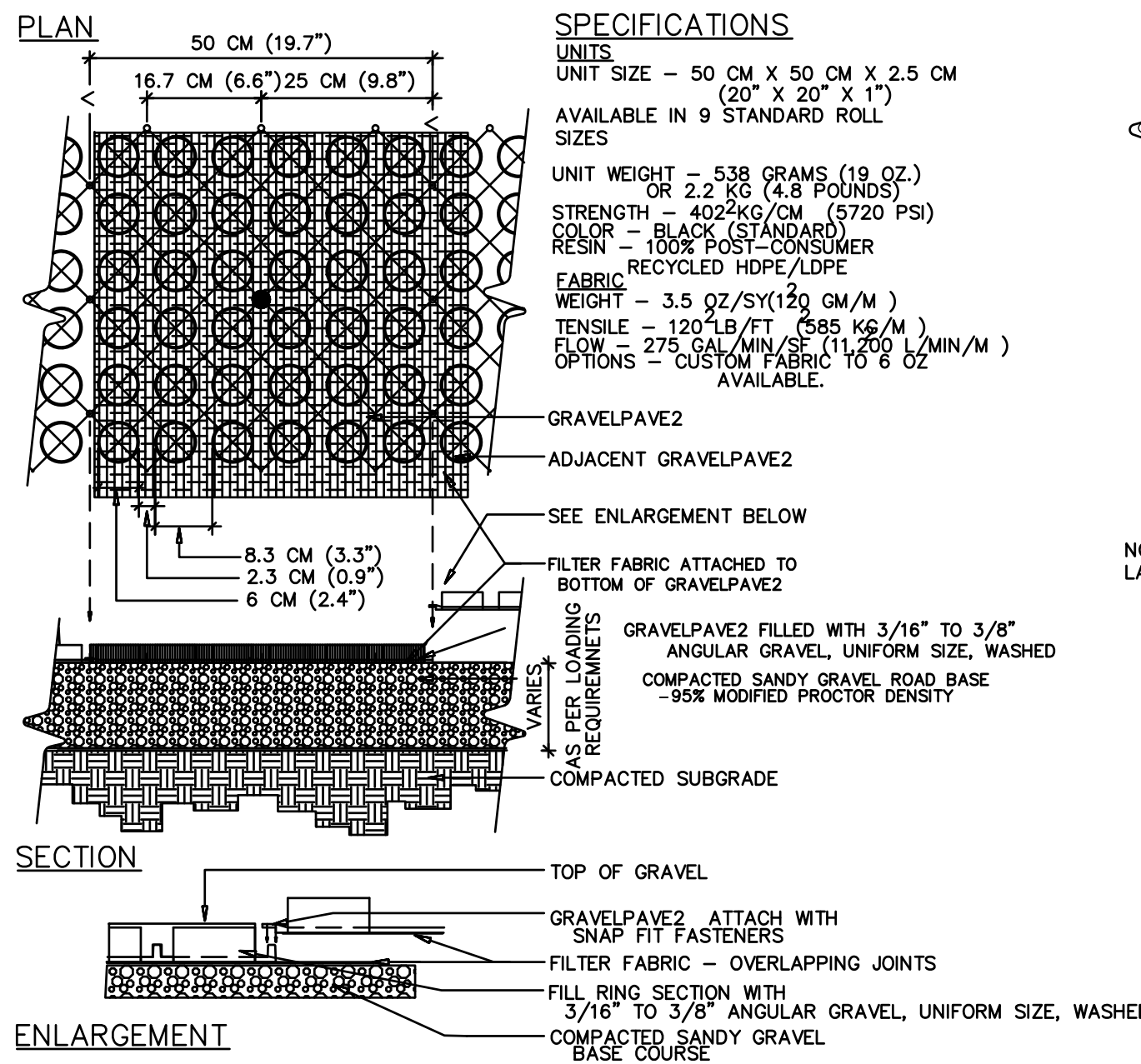
- RECOMMENDED ACCESS OPENING SPECIFICATION
- TYPICAL ACCESS OPENINGS FOR THE STORMTRAP SYSTEM ARE 2'-0" IN DIAMETER. ACCESS OPENINGS LARGER THAN 2'-0" IN DIAMETER NEED TO BE APPROVED BY STORMTRAP. ALL OPENINGS MUST RETAIN AT LEAST 1/2" OF CLEARANCE IN ALL DIRECTIONS FROM THE EDGE OF THE STORMTRAP UNITS.
 - PLANT TO LOCATED STEEL STEPS PRODUCED BY M.I. INDUSTRIES PART #FSP-100 (SEE DETAIL TO THE RIGHT) ARE PROVIDED INSIDE ANY UNIT WHERE NEEDED NECESSARY. THE HIGHEST STEP IN THE UNIT MUST BE PLACED AT A MINIMUM OF 1/2" FROM THE INSIDE EDGE OF THE STORMTRAP UNITS. ALL ENLARGED STEPS SHALL BE PLACED WITH A MAXIMUM DISTANCE OF 4" BETWEEN THEM. STEPS MAY BE MOVED OR ALTERED TO AVOID OPENINGS OR OTHER IRREGULARITIES IN THE UNIT.
 - STORMTRAP LIFTING INSERTS MAY BE RELOCATED TO COINCIDE WITH THE ACCESS OPENING OR THE CENTER OF GRAVITY OF THE UNIT AS NEEDED.
 - STORMTRAP ACCESS OPENINGS MAY BE RELOCATED TO AVOID INTERFERENCE WITH INLET AND/OR OUTLET PIPE OPENINGS SO PLACEMENT OF STEPS IS ATTAINABLE.
 - ACCESS OPENINGS SHOULD BE LOCATED IN ORDER MEET THE APPROPRIATE MUNICIPAL REQUIREMENTS. STORMTRAP RECOMMENDS AT LEAST ONE ACCESS OPENING PER SYSTEM FOR ACCESS AND INSPECTION.
 - USE PRECAST ADJUSTING RINGS AS NEEDED TO MEET GRADE. STORMTRAP RECOMMENDS FOR COVER OVER 2" TO USE PRECAST BARREL OR CONE SECTIONS. (BY OTHERS)



STORMTRAP SINGLE TRAP (SECTION VIEW)

UNDERGROUND INFILTRATION (STORMTRAP SINGLE TRAP OR APPROVED EQUAL)

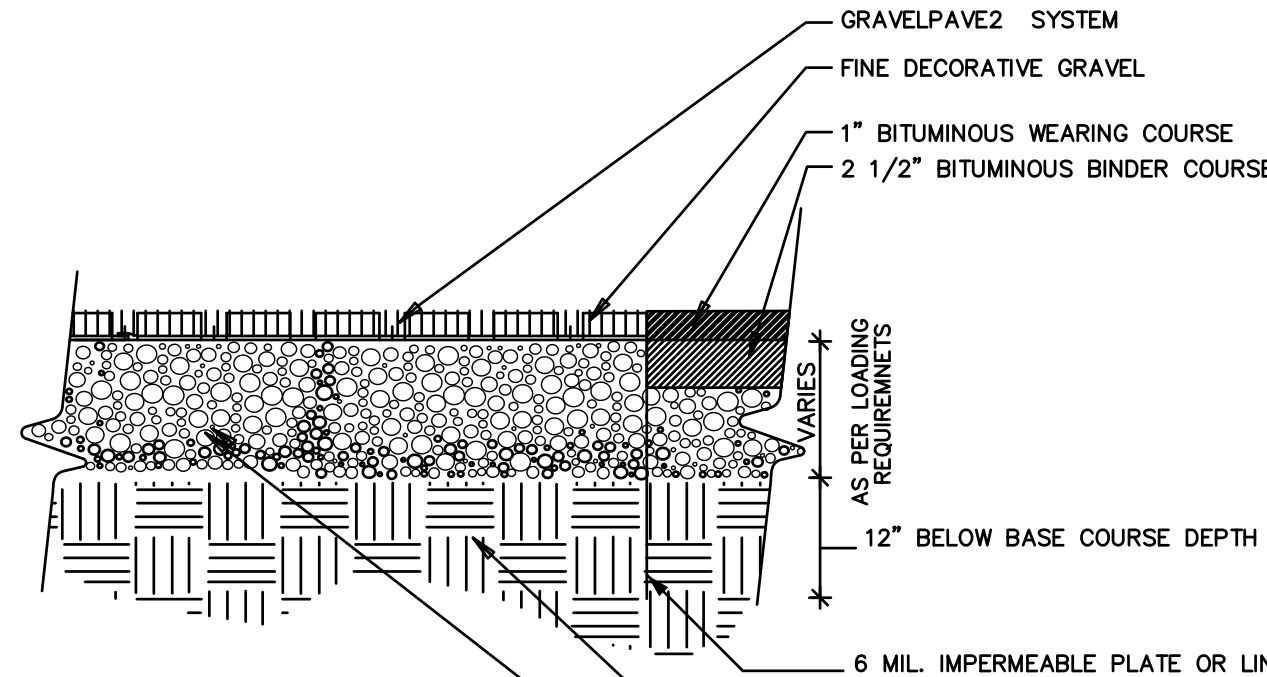
SCALE: NONE



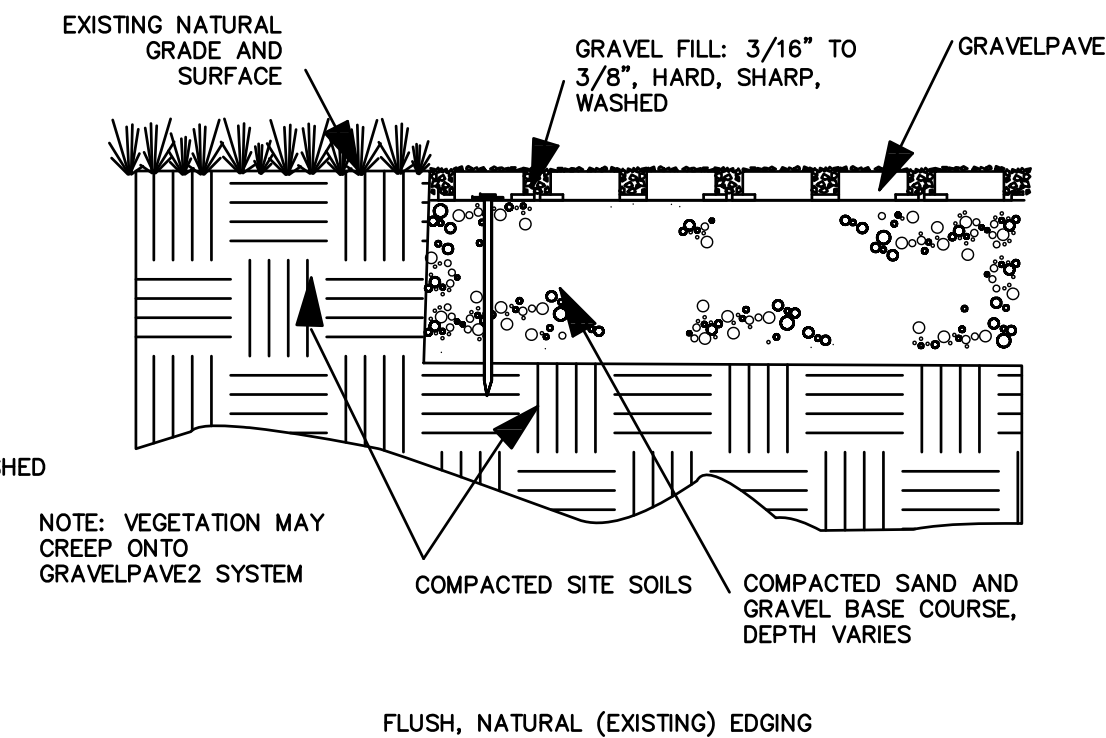
NOT TO SCALE CHOOSE THIS PRODUCT FOR REINFORCING GRAVEL WEARING SURFACES

Invisible Structures, Inc.
Ordering

1600 Jackson Street, SUITE 310
GOLDEN, COLORADO 80401
800-333-1000 or 303-333-8263
Fax: 303-333-0883
Valid 05/10



NOTE: GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER



PROFESSIONAL ENGINEER DATE

THORNDIKE PLACE

DOROTHY ROAD

IN

ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

CIVIL & LANDSCAPE
DETAILS

MARCH 13, 2020

REVISIONS:

NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.

SCALE: AS NOTED

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

FILE: 2340700\CD\2340700-DET

DWG.: SHEET C-203
JOB. NO: 23407.00