

Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Akarsh Sheilendranath** of Arlington, Massachusetts on January 15, 2021 a petition seeking permission to alter his property located at **36 Surry Road - Block Plan 170.0-0004-0004.0** Said petition would require a Special Permit under **Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings)** of the Zoning Bylaw for the Town of Arlington.

Hearing in regard to the said petition will be remotely conducted via "Zoom" **Tuesday evening February 23, 2021, at 7:30 P.M or as soon thereafter as the petitioner may be heard. Please visit the Town of Arlington website for hearing information.**

DOCKET NO 3648

Zoning Board of Appeals
Christian Klein, RA, Chair

For information contact: **ZBA@town.arlington.ma.us**

REQUEST FOR SPECIAL PERMIT

TOWN OF ARLINGTON

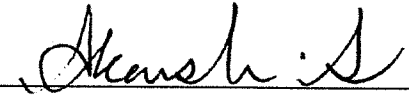
In the matter of the Application of AKARSH SHEILENDRANATH
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

- 5.4.2(A) LOT AREA
- 5.4.2(A) LOT FRONTAGE
- 5.4.2(A) FRONT YARD DEPTH
- 5.4.2(A) USABLE OPEN SPACE

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 36 SURRY RD with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

THE PROPOSAL DOES NOT ADVERSELY AFFECT THE USE OR CHARACATER
OF THE DISTRICT

E-Mail: AKARSHNAIDU@GMAIL.COM Signed:  Date: 01/15/2021
Telephone: 860-999-4144 Address: 36 SURRY RD, ARLINGTON MA 02476

Special Permit Criteria: Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board’s determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

5.4.3 USE REGULATIONS FOR RESIDENTIAL DISTRICT

B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*
THE PROPOSAL IS AN ORDERLY, RESPONSIBLE DEVELOPMENT OF
AN EXISTING SINGLE-FAMILY RESIDENCE.

C). Explain why *the requested use will not create undue traffic congestion; or unduly impair pedestrian safety.*
NOT CHANGING EXISTING DRIVEWAY OR PARKING ACCOMMODATIONS.

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*
NOT INCREASING THE AMOUNT OF IMPERMEABLE SURFACE AREA ON THE LOT.

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

NA

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

NO CHANGE IN USE

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

ALL ITEMS REQUESTING RELIEVE ARE EXISTING NON-CONFORMING CONDITIONS.
THE PROPOSED ADDITION WILL NOT EXCEED THE MAXIMUM ALLOWABLE
+750SF OR 50% OF BUILDING AREA.

TOWN OF ARLINGTON
Dimensional and Parking Information
For Applications to the Zoning Board of Appeals

1. Property Location: 36 SURRY RD Zoning District: R1

2. Present Use/Occupancy: RESIDENTIAL No. of dwelling units 1

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
2312 Sq. Ft.

4. Proposed Use/Occupancy: RESIDENTIAL No. of dwelling units 1

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
2830 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	3,328	3,328.00	min. 6,000
7. Frontage (Ft.)	59	59	min. 60
8. Floor area ratio	0.69	0.85	max.
9. Lot Coverage (%)	28.00%	32.00%	max 35.00%
10. Lot Area per Dwelling Unit (Sq. Ft.)	3,328	3,328	min.
11. Front Yard Depth (Ft.)	12	12	min. 25
12. Left Side Yard Depth (Ft.)	21	10	min. 10
13. Right Side Yard Depth (Ft.)	10	10	min. 10
14. Rear Yard Depth (Ft.)	11	12	min. 11
15. Height (Stories)	2	2	max. 3
16. Height (Ft.)	27.0	32.0	max. 35.0
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	924.00	924.00	
17A. Landscaped Open Space (% of GFA)	28.00%	28.00%	min. 10.00%
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	0.00	0.00	
18A. Usable Open Space (% of GFA)	0.00%	0.00%	min. 30.00%
19. Number of Parking Spaces	1	1	min. 1
20. Parking area setbacks (if applicable)	25	25	min.
21. Number of Loading Spaces (if applicable)			min.
22. Type of construction	5A	5A	N/A
23. Slope of proposed roof(s) (in. per ft.)	3:12	2:12	min.

TOWN OF ARLINGTON
Open Space / Gross Floor Area Information
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 36 SURRY RD Zoning District: R1

<u>OPEN SPACE*</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Total lot area	<u>3328</u>	<u>3328</u>
Open Space, Usable	<u>0.00</u>	<u>0.00</u>
Open Space, Landscaped	<u>924.00</u>	<u>924.00</u>

* Refer to the Definitions in Section 2 of the Zoning Bylaw.

<u>GROSS FLOOR AREA (GFA) †</u>		
Accessory Building	<u>152</u>	<u>0</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>640</u>	<u>914</u>
1 st Floor	<u>650</u>	<u>924</u>
2 nd Floor	<u>718</u>	<u>992</u>
3 rd Floor	<u>0</u>	<u>0</u>
4 th Floor	<u>0</u>	<u>0</u>
5 th Floor	<u>0</u>	<u>0</u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u>0</u>	<u>0</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u>150</u>	<u>0</u>
All weather habitable porches and balconies	<u>0</u>	<u>0</u>
Total Gross Floor Area (GFA)	<u>2312</u>	<u>2830</u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

<u>REQUIRED MINIMUM OPEN SPACE AREA</u>		
Landscaped Open Space (Sq. Ft.)	<u>924.00</u>	<u>924.00</u>
Landscaped Open Space (% of GFA)	<u>28.00%</u>	<u>28.00%</u>
Usable Open Space (Sq. Ft.)	<u>0.00</u>	<u>0.00</u>
Usable Open Space (% of GFA)	<u>0.00%</u>	<u>0.00%</u>

This worksheet applies to plans dated 11/19/2020 designed by I-KANDA ARCHITECTS

Reviewed with Building Inspector: _____ Date: _____

NOTE:

- 1) THIS PLAN IS NOT TO BE CONSIDERED AN ALTA/ACSM LAND TITLE SURVEY, NOR IS IT TO BE USED FOR RETRACEMENT OF PROPERTY LINES.
- 2) BUILDING OFFSETS SHOWN HEREON ARE TO CORNER BOARD UNLESS OTHERWISE NOTED.

ASSESSORS:

MAP 170, BLOCK 4, LOT 4

ZONING:

ARLINGTON NEIGHBORHOOD
R1-SINGLE FAMILY

REFERENCES:

DEED BOOK: 66160 PAGE: 544
PLAN BOOK: 5032 PAGE: END

PLAN IN BOOK 30961, PAGE 362

BUONO CHIARA / TRUSTEE
DEED BOOK 72889 PAGE 16
PLAN BOOK 5032 YEAR 1926

DONALD GODUTI
DEED BOOK 11320 PAGE 544

SURRY ROAD
(PUBLIC - 40' WIDE)

HODGES CHRISTOPHER
DEED BOOK 59307 PAGE 144
PLAN BOOK 32949 PAGE 102

LOT AREA
3,328±S.F. (C)

#36
2 STORY
WOOD-FRAME
DWELLING

METAL
GARAGE

CONC. PAD

BIT. CONC.
DRIVEWAY

WOOD PORCH

STONE MORTAR
RET. WALL

VERT. GRANITE CURB

CONC. SIDEWALK

DHSB
(FD)

L=7.65'(TIE)
R=339.07'

40.00'(TIE)

55.60'

10.5'

18.1'

R=427.16'
L=58.68'

2.6'W DOOR

23.6'

60.34'(C)
60.38'(R)

1.9'

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NOTE:

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- 2) BUILDING OFFSETS SHOWN HEREON ARE TO CORNER BOARD UNLESS OTHERWISE NOTED.

ASSESSORS:

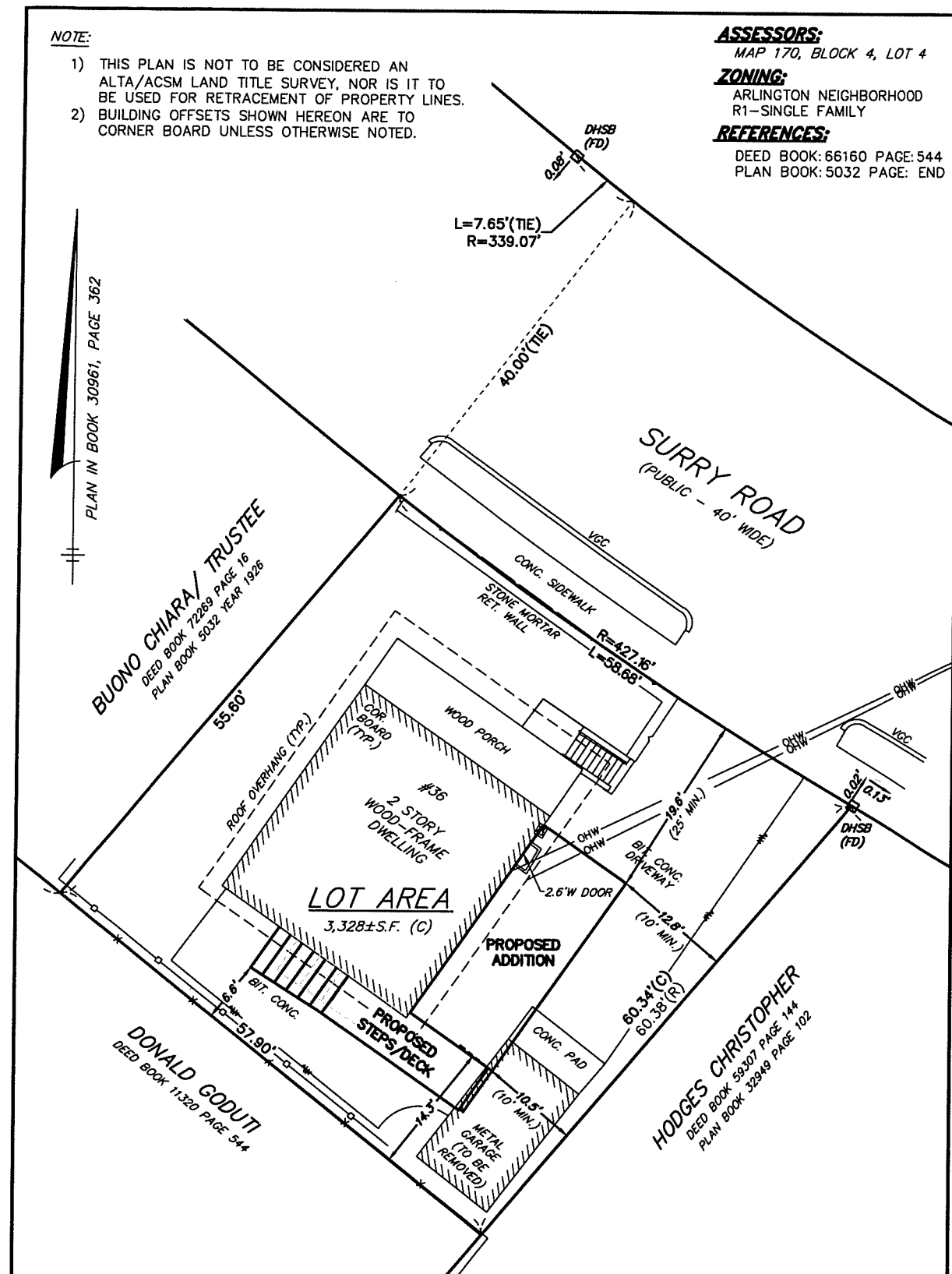
MAP 170, BLOCK 4, LOT 4

ZONING:

ARLINGTON NEIGHBORHOOD
R1-SINGLE FAMILY

REFERENCES:

DEED BOOK: 66160 PAGE: 544
PLAN BOOK: 5032 PAGE: END



I CERTIFY THAT THE DWELLING SHOWN
HEREON IS LOCATED ON THE GROUND AS
SHOWN

PROPOSED PLOT PLAN

OF LAND

36 SURRY ROAD ARLINGTON, MA 02476

PREPARED FOR: AKARSH SHEILENDRANATH

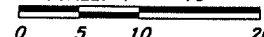
HANCOCK

Survey Associates, Inc.

121 EAST BERKELEY ST., BOSTON, MA 02118

VOICE (617) 357-8145, FAX (617) 357-9495

SCALE: 1" = 10'



CHK. BY:

JAE

DATE:

11/20/20

JOB
NO.

24242

PROFESSIONAL LAND SURVEYOR

Q:\Chd 3D Projects\24242 - Sheilendranath - Arlington\DWG\24242.dwg Nov 20, 2020 - 10:38 am

BUILDING CODE

INTERNATIONAL BUILDING CODE 2015 (IRC)
MASS AMENDMENTS TO THE IRC 9TH EDITION
INTERNATIONAL ENERGY CONSERVATION CODE 2015 (IECC)
MASS AMENDMENTS 780 CMR 115.00 STRETCH CODE PRESCRIPTIVE METHOD
MASS FIRE CODE BASED ON NFPA 1, 2015 EDITION W/ MASS AMENDMENTS
MASS ELECTRICAL CODE BASED ON NFPA 70, 2017 EDITION W/ MASS AMENDMENTS

ZONING INFORMATION

PARCEL ADDRESS:	36 SURRY RD
PARCEL ID:	170-4-4
PROPERTY TYPE:	SINGLE-FAMILY
CLASSIFICATION CODE:	R1
ZONING DISTRICT:	ARLINGTON NEIGHBORHOOD
SUBDISTRICT TYPE:	-
OVERLAYS:	-
MAP NO:	170, BLOCK 4, LOT 4
CONSTRUCTION TYPE:	5A
USE GROUP:	R-3

BUILDING AREAS

LOT AREA:	3,328 SQFT
FAR:	-
PERMITTED FLOOR AREA:	+750 SF OR 50% BUILDING AREA SQFT
EXISTING FLOOR AREAS:	
BASEMENT FINISHED	0 SQFT
FIRST FLOOR	650 SQFT
SECOND FLOOR	718 SQFT
TOTAL EXISTING FLOOR AREA:	1,368 SQFT
PROPOSED FLOOR AREAS:	
BASEMENT FINISHED	0 SQFT
FIRST FLOOR	924 SQFT
SECOND FLOOR (NO CHANGE)	910 SQFT
TOTAL PROPOSED FLOOR AREA:	1,834 SQFT

PROJECT DESCRIPTION

PROPOSAL FOR A 2-STORY ADDITION ONTO THE EAST SIDE OF EXISTING DWELLING. DEMO EXISTING GARAGE.
TOTAL SQUARE FOOTAGE OF ADDITION IS APPROX 466 SF.

DIMENSIONAL REGULATIONS

ARLINGTON NEIGHBORHOOD				
	REQUIRED	EXISTING	PROPOSED	RELIEF REQ'D
LOT AREA (SF) MIN.	6,000	3,328	NO CHANGE	E.N.C. *
LOT AREA PER UNIT (SF) MIN.	-	-	-	-
LOT FRONTAGE (FEET) MIN.	60	58.68	NO CHANGE	E.N.C.
BUILDING HEIGHT (STORIES) MAX.	2.5	2	2	N
BUILDING HEIGHT (FEET) MAX.	35	27	32	N
FRONT YARD DEPTH (EXISTING FT) MIN.	25.0	12.3	12.3	E.N.C.
SIDE YARD WIDTH (FT) MIN.	10.0	10.3	10.2	N
REAR YARD DEPTH (EXISTING FT) MIN.	11.2	11.5	11.5	N
LANDSCAPED OPEN SPACE (%) MIN.	10 %	28 %	28 %	N
USABLE OPEN SPACE (%) MIN.	30 %	0 %	0 %	E.N.C.
LOT COVERAGE (%) MAX.	35 %	28 %	32 %	N
PARKING SPACE (6.5' X 18' MIN.)	1	1	1	N **

* E.N.C. = EXISTING NON-CONFORMING
** NOT CHANGING EXISTING DRIVEWAY

ENERGY CODE COMPLIANCE

FOR MASSACHUSETTS 5A			
	REQUIRED	PROPOSED	DRAWING REF.
FENESTRATION U-FACTOR =	0.32	0.32	-
SKYLIGHT U-FACTOR =	0.55	0.55	-
CEILING R-VALUE =	49	49	-
WOOD FRAME WALL R-VALUE =	20 or 13+5	20	-
MASS WALL R-VALUE =	13/17	NA	-
FLOOR R-VALUE =	30	30	-
BASEMENT WALL R-VALUE =	15/19	19 CAVITY	-
SLAB R-VALUE & DEPTH =	10, 2 FT	10, 2 FT	-
CRAWL SPACE R-VALUE =	15/19	19 CAVITY	-

DRAWING LIST

TITLE		REV	2020.11.19	PERMIT SET
A0.00	TITLE PAGE	00		
A0.01	SCHEDULE - WINDOW & DOOR	00		
SITE PLAN				
A1.00	SITE PLAN - EXISTING	00		
A1.01	SITE PLAN - PROPOSED	00		
PLANS (EXISTING)				
A2.00	EXISTING PLAN - BASEMENT	00		
A2.01	EXISTING PLAN - 1ST FLOOR	00		
A2.02	EXISTING PLAN - 2ND FLOOR			
PLANS (NEW)				
A3.00	PROPOSED PLAN - BASEMENT	00		
A3.01	PROPOSED PLAN - 1ST FLOOR	00		
A3.02	PROPOSED PLAN - 2ND FLOOR			
EXTR. ELEV.				
A5.00	EXT. ELEV. - EXISTING	00		
A5.01	EXT. ELEV. - PROPOSED	00		

GENERAL NOTES:

- THE CONTRACTOR SHALL ENSURE THE MOST CURRENT DRAWINGS, SPECIFICATIONS, PROJECT MANUAL, ADDENDA, AND OTHER PROJECT INFORMATION IS DISTRIBUTED AND USED AS THE BASIS FOR COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS SHOWN IN THE DRAWINGS AND NOTIFY THE ARCHITECT ON ANY DISCREPANCIES.

PROJECT NAME/OWNER'S NAME:

AKARSH & SANDHYA SHEILENDRANATH
36 Surry Rd, MA 02476

email: akarshnaidu@gmail.com
cell: 860-999-4114

ARCHITECT:

I-KANDA ARCHITECTS, LLC
Isamu Kanda, Principal

50 Terminal St
Bldg 2, Unit#429
Charlestown, MA 02129

email: info@i-kanda.com
cell: 646-228-1040



STRUCTURAL ENGINEER:

GENERAL CONTRACTOR:

date: 11.19.20 00

36 SURRY RD
ARLINGTON, MA, 02476

I-KANDA ARCHITECTS, LLC
364 Main Street, Charlestown, MA 02129
m: 646.228.1040 c: info@i-kanda.com

drawing title:

TITLE
PAGE

dwg. no.

A0.00



HALF SCALE

NOTE:

- 1) THIS PLAN IS NOT TO BE CONSIDERED AN ALTA/ACSM LAND TITLE SURVEY, NOR IS IT TO BE USED FOR RETRACEMENT OF PROPERTY LINES.
- 2) BUILDING OFFSETS SHOWN HEREON ARE TO CORNER BOARD UNLESS OTHERWISE NOTED.

ASSESSORS:

MAP 170, BLOCK 4, LOT 4

ZONING:

ARLINGTON NEIGHBORHOOD
R1-SINGLE FAMILY

REFERENCES:

DEED BOOK:66160 PAGE:544
PLAN BOOK:5032 PAGE: END

PLAN IN BOOK 30961, PAGE 362

BUONO CHIARA / TRUSTEE
DEED BOOK 72269 PAGE 16
PLAN BOOK 5032 YEAR 1926

SURRY ROAD
(PUBLIC - 40' WIDE)

DHSB
(FD)

L=7.65'(TIE)
R=339.07'

40.00'(TIE)

CONC. SIDEWALK
STONE MORTAR
RET. WALL

R=427.16'
L=58.68'

WOOD PORCH

ROOF OVERHANG (TRP.)

55.60'

#36
2 STORY
WOOD-FRAME
DWELLING

LOT AREA
3,328±S.F. (C)

BIT. CONC.
DRIVEWAY

2.6'W DOOR

BIT. CONC.

DONALD GODUTI
DEED BOOK 11320 PAGE 544

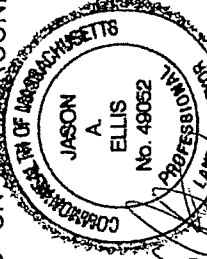
60.34'(C)
60.38'(R)

HODGES CHRISTOPHER
DEED BOOK 59307 PAGE 144
PLAN BOOK 32949 PAGE 102

CONC. PAD

METAL
GARAGE

I CERTIFY THAT THE DWELLING SHOWN
HEREON IS LOCATED ON THE GROUND AS
SHOWN



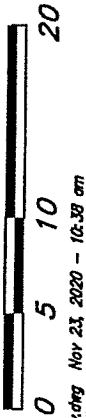
PLOT PLAN
OF LAND

36 SURRY ROAD ARLINGTON, MA 02476
PREPARED FOR: AKARSH SHELENDRANATH

HANCOCK

Survey Associates, Inc.
121 EAST BERKELEY ST., BOSTON, MA 02118
VOICE (617) 357-8145, FAX (617) 357-9495

SCALE: 1" = 10'



Q:\CHW 3D Projects\24242 - Sheleendrath - Arlington\DWG\ 24242.dwg, Nov 23, 2020 - 10:38 am

CHK. BY:
JAE

DATE:
10/29/20

JOB
NO.
24242

PROFESSIONAL LAND SURVEYOR

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PLAN IN BOOK 30961, PAGE 362

BUONO CHIARA / TRUSTEE
DEED BOOK 72269 PAGE 16
PLAN BOOK 5032 YEAR 1926

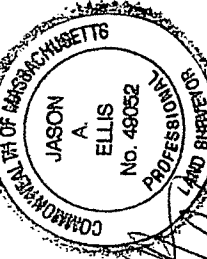
SURRY ROAD
(PUBLIC - 40' WIDE)

DONALD GODUTI
DEED BOOK 11320 PAGE 544

LOT AREA
3,328±S.F. (C)

HODGES CHRISTOPHER
DEED BOOK 59307 PAGE 144
PLAN BOOK 32949 PAGE 102

I CERTIFY THAT THE DWELLING SHOWN
HEREON IS LOCATED ON THE GROUND AS
SHOWN



PROFESSIONAL LAND SURVEYOR

PROPOSED PLOT PLAN

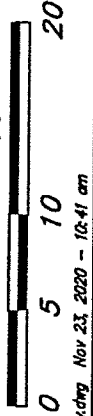
OF LAND

36 SURRY ROAD ARLINGTON, MA 02476
PREPARED FOR: AKARSH SHEILENDRANATH

HANCOCK

Survey Associates, Inc.
121 EAST BERKELEY ST., BOSTON, MA 02118
VOICE (617) 357-8145, FAX (617) 357-9495

SCALE: 1" = 10'



CHK. BY:
JAE

DATE:
11/20/20

JOB NO.
24242

C:\CHW 3D Projects\24242 - Sheilendranath - Arlington\DWG\24242x.dwg Nov 23, 2020 - 10:41 am

WINDOW & DOOR SCHEDULE

DATE: 2020.11.19
REV: FOR PRICING

WINDOWS

QTY	MNFCTR.	MODEL NO.	NOMINAL SIZE (WxH)	RO W (IN)	RO HT (IN)	DESCRP.	LABEL	FLOOR	LOCATION	GLAZING	EXTR. FINISH	INTR. FINISH	EXTR. CASING	INTR. CASING	SCREEN	GRILLE	HRDWR	NOTES	
NORTH (FRONT)																			
1	MARVIN MODERN	MCA	32 X 90	-	x	-	CASEMENT	N2a	2ND	LOFT	LOW-E *	FIBERGLASS, BLK	FIBERGLASS, BLK	NONE	PLASTER RETURN	YES	NO	BLK	EGRESS ***
1	MARVIN MODERN	MCA	32 X 42	-	x	-	CASEMENT	N1a	1ST	BATH 2	LOW-E, FROSTED	FIBERGLASS, BLK	FIBERGLASS, BLK	NONE	TILE RETURN	YES	NO	BLK	-
SOUTH (REAR)																			
1	MARVIN MODERN	MCAP	36 X 141	-	x	-	PICTURE	S2a	2ND	LOFT	LOW-E	FIBERGLASS, BLK	FIBERGLASS, BLK	NONE	NONE	-	NO	BLK	-
1	MARVIN MODERN	MCAP	90 X 141	-	x	-	PICTURE	S2b	2ND	LOFT	LOW-E, TEMPERED **	FIBERGLASS, BLK	FIBERGLASS, BLK	NONE	NONE	-	NO	BLK	-
SKYLIGHT																			
1	VELUX	FCM 3446	34 X 46	34-1/2 (INSIDE CURB)	x	46-1/2 (INSIDE CURB)	FIXED CURB-MOUNTED	SKYa	-	LOFT CEILING	LOW-E, TEMPERED	FIBERGLASS, BLK	FIBERGLASS, BLK	NONE	PLASTER RETURN	-	NO	BLK	-

EXTERIOR DOORS

QTY	MNFCTR.	MODEL NO.	NOMINAL FRAME (WxH)		RO W (IN)		RO HT (IN)	DESCRP.	LABEL	FLOOR	LOCATION	GLAZING	EXTR. FINISH	INTR. FINISH	EXTR. CASING	INTR. CASING	SCREEN	GRILLE	HRDWR	NOTES
1	MARVIN MODERN	MMSD-STK (XO)	126 X 143	-	x	-	UNI-DIRECTIONAL STACKED (2 TRACK)	D-S1a	1ST	DEN	LOW-E, TEMPERED	FIBERGLASS, BLK	FIBERGLASS, BLK	NONE	NONE	YES	NO	BLK	XO VIEWED FROM EXTR.	
1	TBD	TBD	32 X 72	-	x	-	SOLID SLAB, INSWING	D-W0a	BSMT	BASEMENT ACCESS		NO	FIBERGLASS OR METAL, PTD	FIBERGLASS OR METAL, PTD	1X3 AZEK	1X3 AZEK	NO	-	BRASS	IN EXISTING FOUNDATION

INTERIOR DOORS

QTY	MNFCTR.	MODEL NO.	NOMINAL SIZE (WxH)		RO W (IN)	RO HT (IN)	DESCRP.	TYPE	FLOOR	LOCATIONS	GLAZING	EXTR. FINISH	INTR. FINISH	EXTR. CASING	INTR. CASING	SCREEN	GRILLE	HRDWR	NOTES
1	TBD	TBD	36 x 95	-	x	-	FLAT (SLAB), SOLID-CORE	POCKET	1ST	DEN	N/A	PTD WOOD	PTD WOOD	PLASTER RETURN	PLASTER RETURN	N/A	N/A	TBD	2X6 POCKET DOOR KIT W/ RECESSED ALUM. CHANNEL JAMB
1	TBD	TBD	30 x 80	-	x	-	FLAT (SLAB), SOLID-CORE	POCKET	1ST	BATH 2	N/A	PTD WOOD	PTD WOOD	PLASTER RETURN	PLASTER RETURN	N/A	N/A	TBD	2X6 POCKET DOOR KIT W/ RECESSED ALUM. CHANNEL JAMB
1	TBD	TBD	36 X 80	-	x	-	FLAT (SLAB), SOLID-CORE	POCKET	2ND	LOFT	N/A	PTD WOOD	PTD WOOD	PLASTER RETURN	PLASTER RETURN	N/A	N/A	TBD	2X6 POCKET DOOR KIT W/ RECESSED ALUM. CHANNEL JAMB

NOTES:

- ALL FENESTRATION AND SKYLIGHT GLAZING MEETS OR EXCEEDS INSULATION REQUIREMENTS FOR CLIMATE ZONE 5 (TABLE N1102.1.4): CASEMENT WINDOW U-FACTOR = 0.31, GLAZED DOOR U-FACTOR = 0.33, VELUX FIXED SKYLIGHT U-FACTOR = 0.44
- ALL SAFETY GLASS TO BE LASER OR ACID ETCHED
- EMERGENCY ESCAPE AND RESUCE OPENINGS TO HAVE MIN. NET CLEAR OPENING AREA OF 5.7 SQFT, NET CLEAR HEIGHT NOT LESS THAN 24" & NET CLEAR WIDTH NOT LESS THAN 20"

GENERAL NOTES:

1. THE CONTRACTOR SHALL ENSURE THE MOST CURRENT DRAWINGS, SPECIFICATIONS, PROJECT MANUAL, ADDENDA, AND OTHER PROJECT INFORMATION IS DISTRIBUTED AND USED AS THE BASIS FOR COMPLETION OF THE PROJECT.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS SHOWN IN THE DRAWINGS AND NOTIFY THE ARCHITECT ON ANY DISCREPANCIES.

PROJECT NAME/OWNER'S NAME:

AKARSH & SANDHYA SHEILENDRANATH
36 Surry Rd, MA 02476

email: akarshnaidu@gmail.com
cell: 860-999-4114

ARCHITECT:
I-KANDA ARCHITECTS, LLC
Isamu Kanda, Principal

50 Terminal St
Bldg 2, Unit#429
Charlestown, MA 02129

email: info@i-kanda.com
cell: 646-228-1040

STRUCTURAL ENGINEER:

GENERAL CONTRACTOR:

date:	11.19.20	00

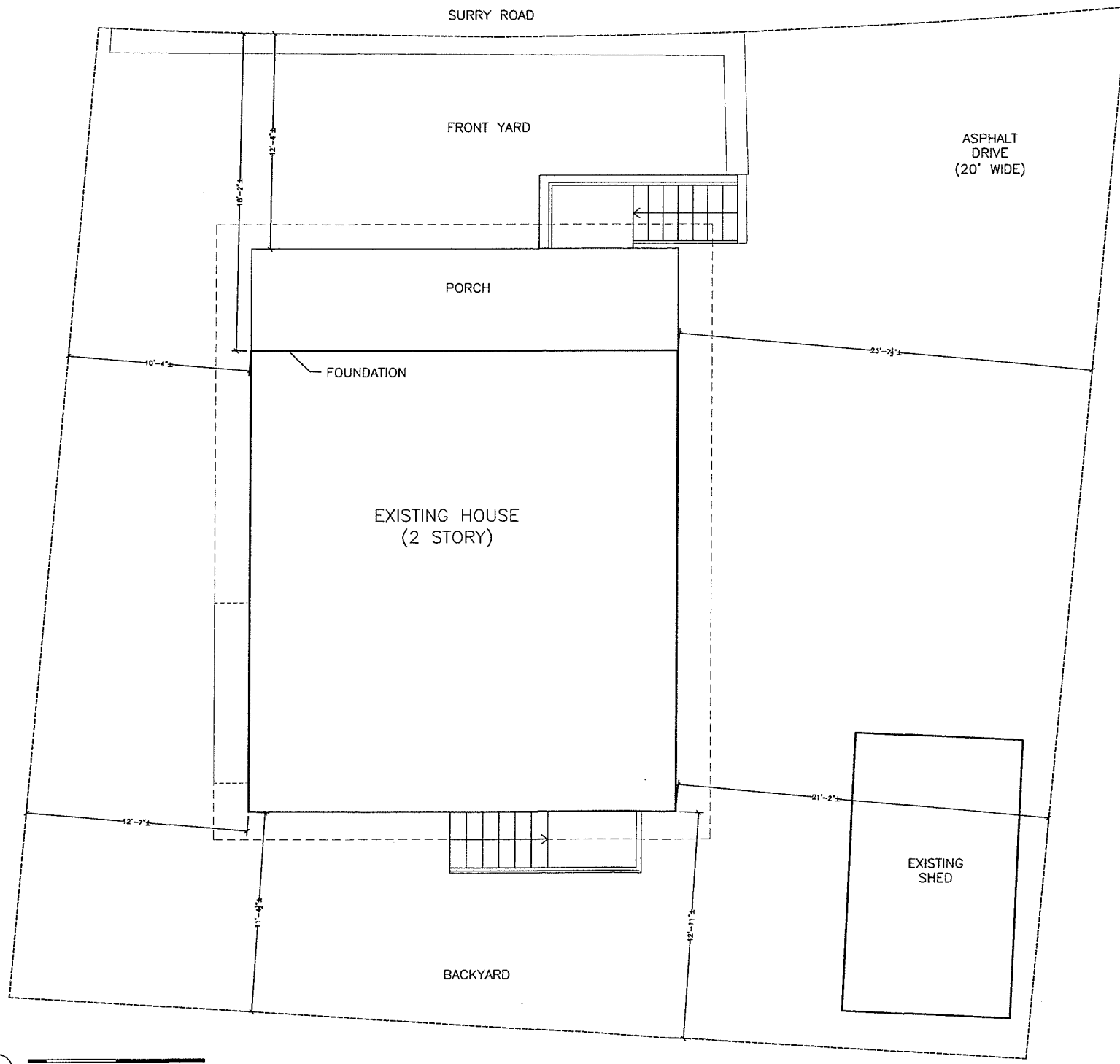
36 SURRY RD
ARLINGTON, MA, 02476

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364 Main Street, Charlestown, MA 02129
m: 646.228.1040 e: info@i-kanda.com

drawing title:
**SCHEDULE
WINDOW & DOOR**

dwg no.
A0.01





EXISTING SITE PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

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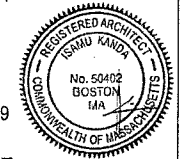
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cell: 646-228-1040



STRUCTURAL ENGINEER:

GENERAL CONTRACTOR:

date:	11.19.20	00

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ARLINGTON, MA, 02476

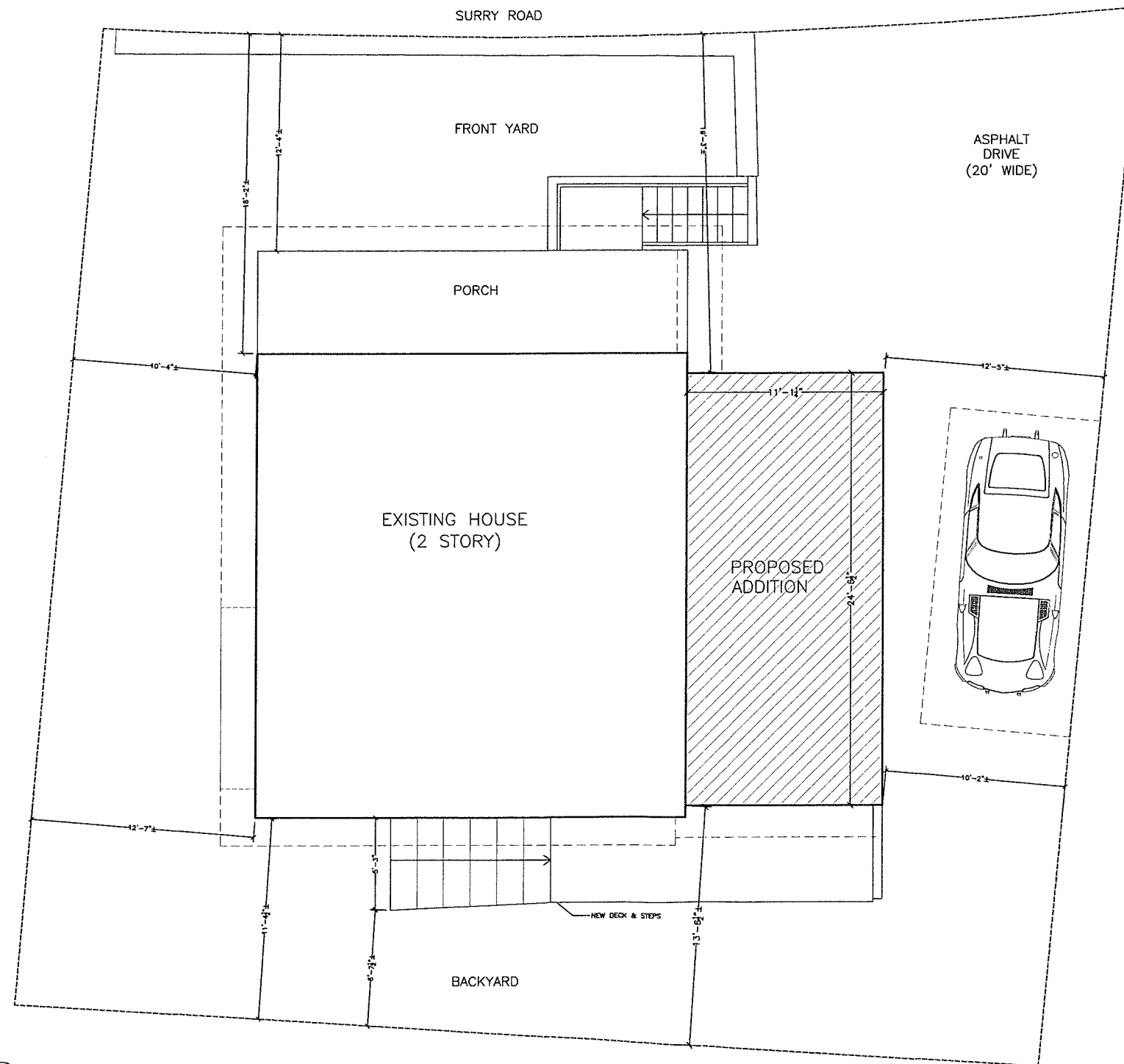
I-KANDA ARCHITECTS, LLC
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m: 646.228.1040 e: info@i-kanda.com

drawing title:

**SITE PLAN
EXISTING**

dwg no.

A1.00



NEW SITE PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

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AKARSH & SANDHYA SHEILENDRANATH
36 Surry Rd, MA 02476

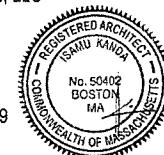
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STRUCTURAL ENGINEER:

GENERAL CONTRACTOR:

date: 11.19.20 00

36 SURRY RD
ARLINGTON, MA, 02476

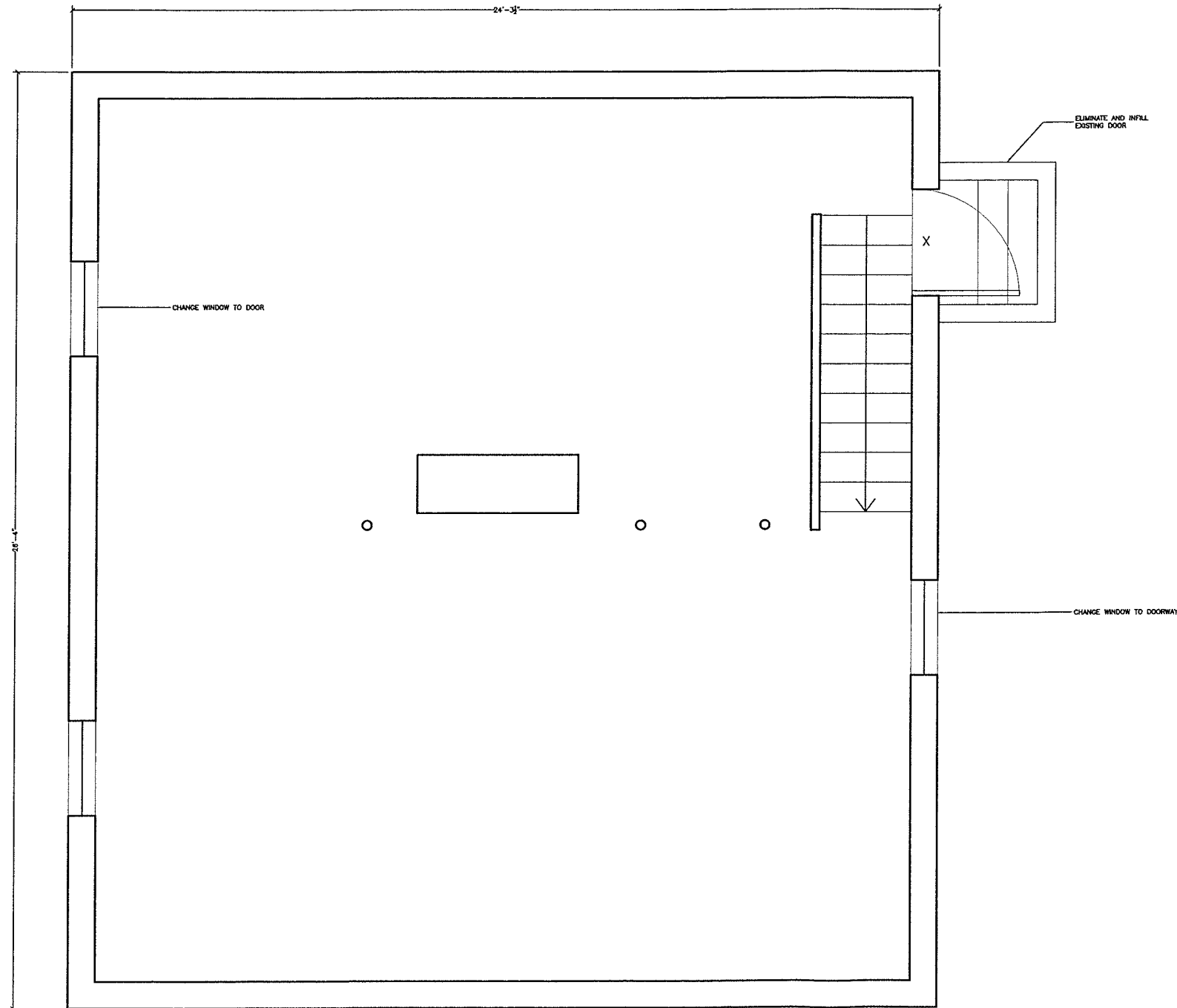
I-KANDA ARCHITECTS, LLC
364 Main Street, Charlestown, MA 02129
m: 646.228.1040 e: info@i-kanda.com

drawing title:

SITE PLAN
PROPOSED

dwg no.

A1.01



EXISTING PLAN - BASEMENT
SCALE: 1/2" = 1'-0"

GENERAL NOTES:

1. THE CONTRACTOR SHALL ENSURE THE MOST CURRENT DRAWINGS, SPECIFICATIONS, PROJECT MANUAL, ADDENDA, AND OTHER PROJECT INFORMATION IS DISTRIBUTED AND USED AS THE BASIS FOR COMPLETION OF THE PROJECT.
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STRUCTURAL ENGINEER:

GENERAL CONTRACTOR:

date:	11.19.20	00

36 SURRY RD
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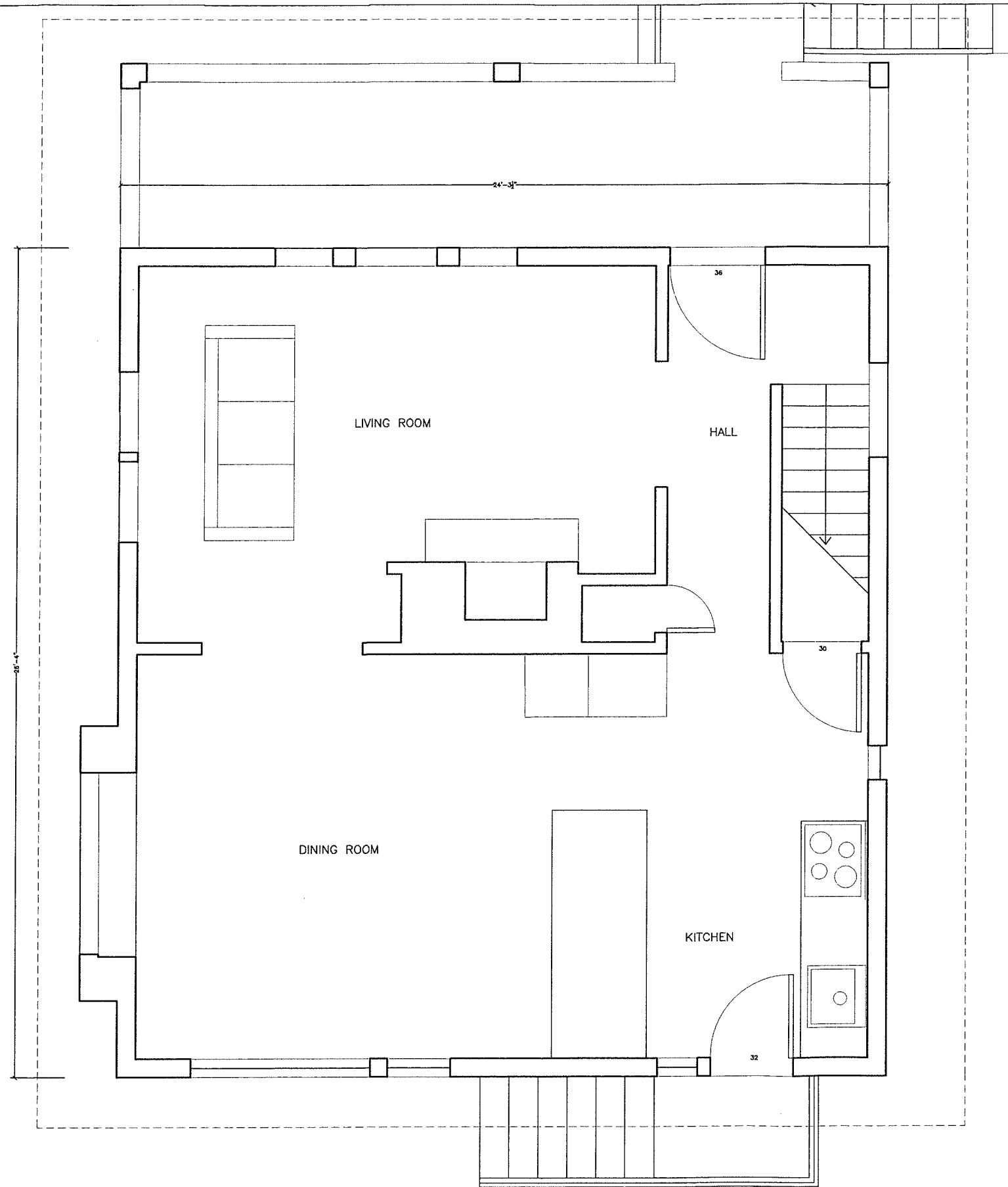
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drawing title:

EXISTING PLAN
BASEMENT

dwg no.

A2.00



EXISTING PLAN - FIRST FLOOR
SCALE: 1/2" = 1'-0"

GENERAL NOTES:

1. THE CONTRACTOR SHALL ENSURE THE MOST CURRENT DRAWINGS, SPECIFICATIONS, PROJECT MANUAL, ADDENDA, AND OTHER PROJECT INFORMATION IS DISTRIBUTED AND USED AS THE BASIS FOR COMPLETION OF THE PROJECT.
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email: info@i-kanda.com
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STRUCTURAL ENGINEER:

GENERAL CONTRACTOR:

date: 11.19.20 00

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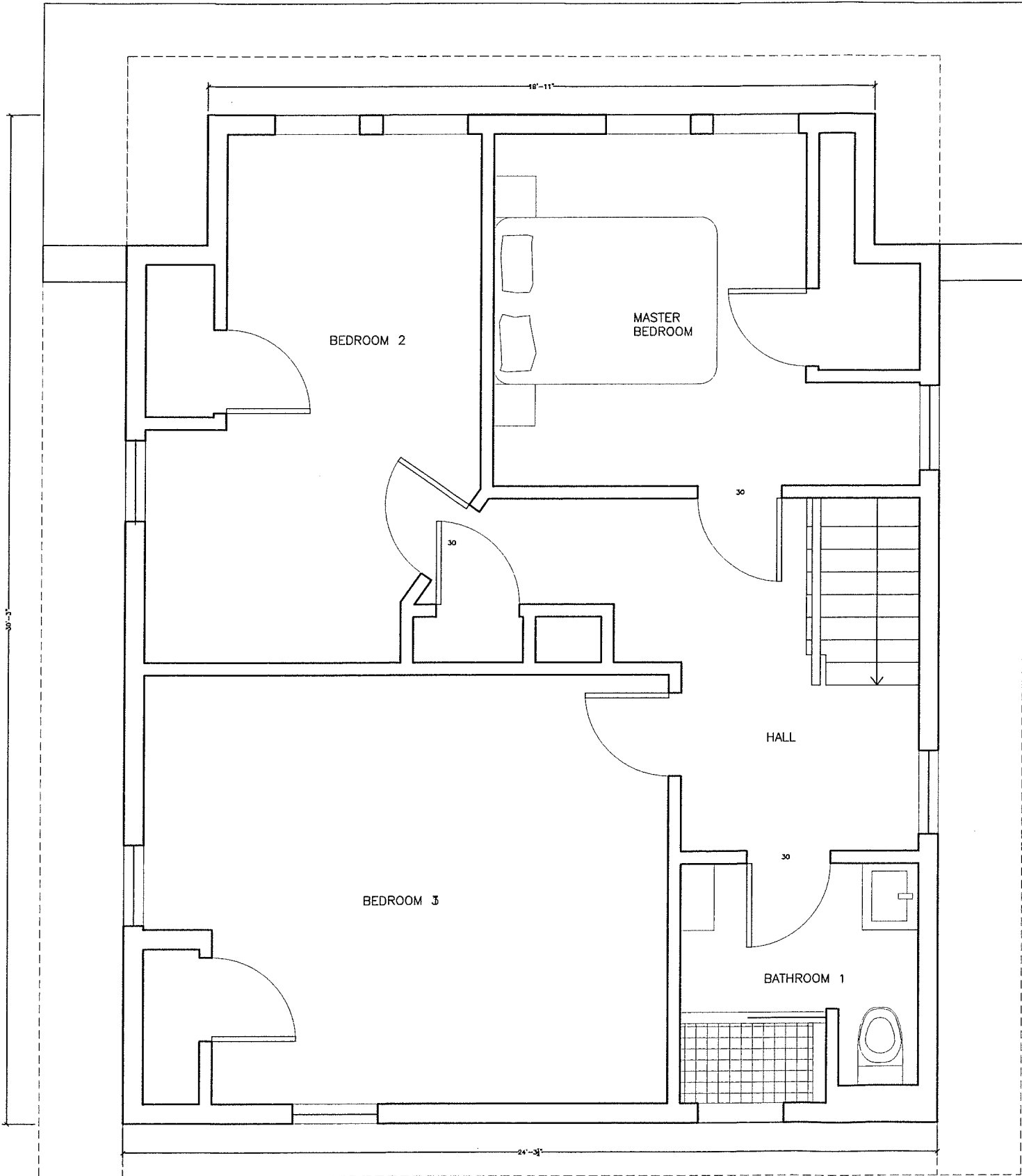
I-KANDA ARCHITECTS, LLC
364 Main Street, Charlestown, MA 02129
m: 646.228.1040 e: info@i-kanda.com

drawing title:

EXISTING PLAN
1ST FLOOR

dwg no.

A2.01



EXISTING PLAN - SECOND FLOOR
SCALE: 1/2" = 1'-0"

GENERAL NOTES:

1. THE CONTRACTOR SHALL ENSURE THE MOST CURRENT DRAWINGS, SPECIFICATIONS, PROJECT MANUAL, ADDENDA, AND OTHER PROJECT INFORMATION IS DISTRIBUTED AND USED AS THE BASIS FOR COMPLETION OF THE PROJECT.
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PROJECT NAME/OWNER'S NAME:

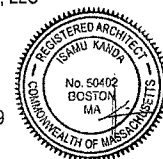
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email: akarshnaidu@gmail.com
cell: 860-999-4114

ARCHITECT:
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STRUCTURAL ENGINEER:

GENERAL CONTRACTOR:

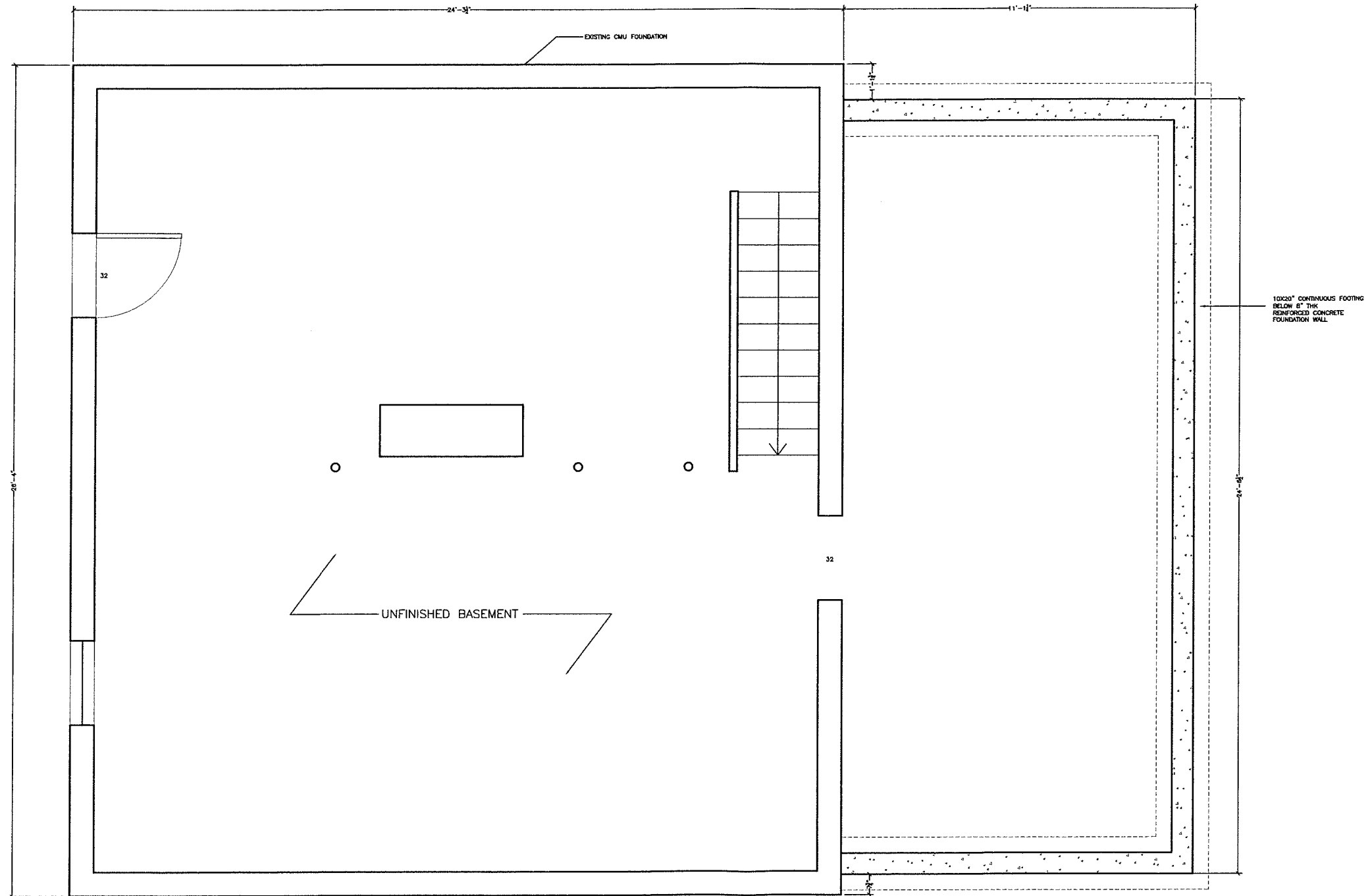
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36 SURRY RD
ARLINGTON, MA, 02476

I-KANDA ARCHITECTS, LLC
364 Main Street, Charlestown, MA 02129
m: 646.228.1040 e: info@i-kanda.com

drawing title:
**EXISTING PLAN
2ND FLOOR**

dwg no.	A2.02
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GENERAL NOTES:

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PROJECT NAME/OWNER'S NAME:

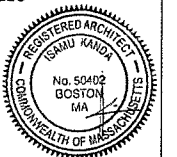
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STRUCTURAL ENGINEER:

GENERAL CONTRACTOR:

date: 11.19.20 00

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drawing title:

NEW PLAN
BASEMENT

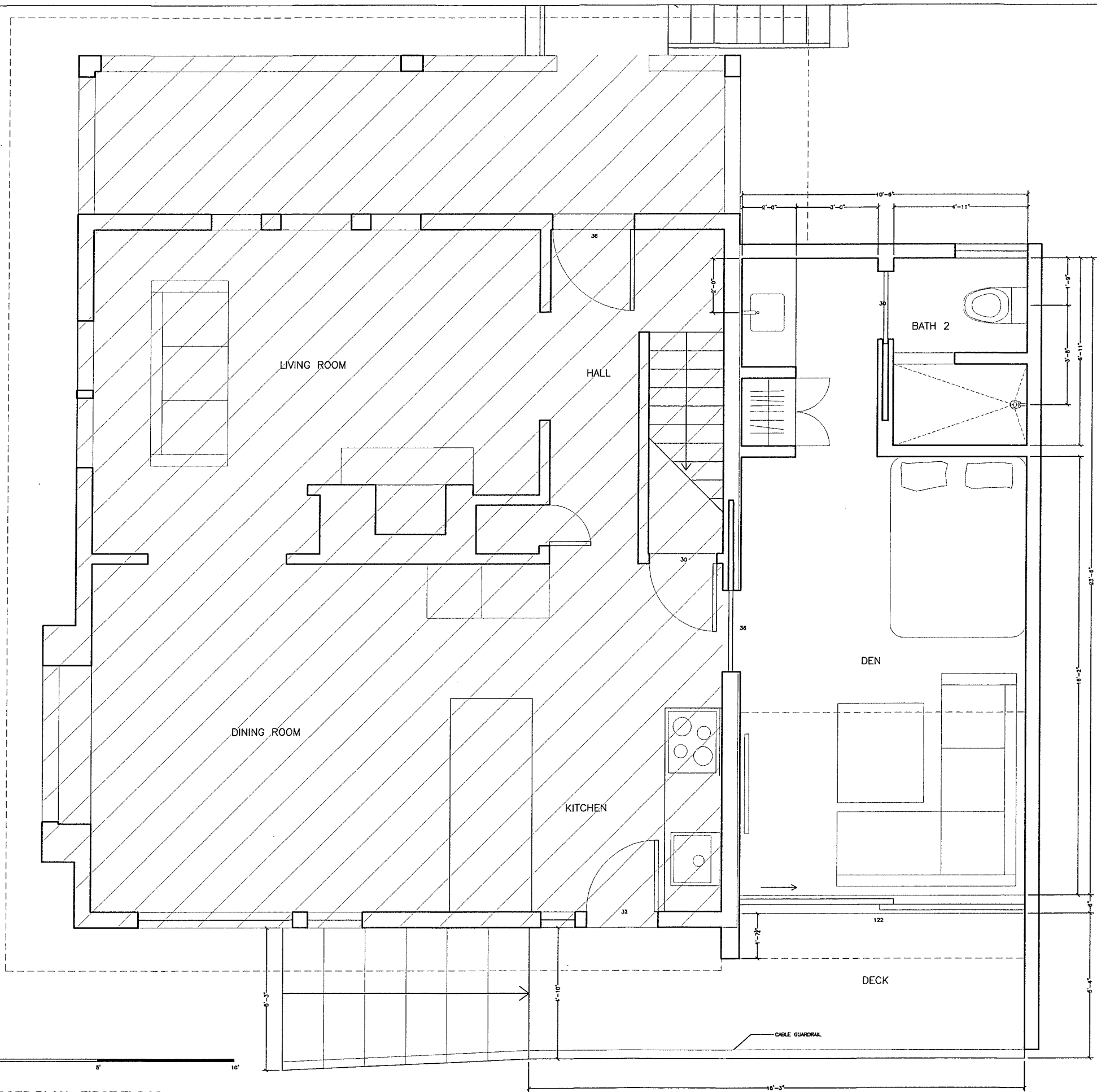
dwg no.

A3.00



0' 1' 5' 10'

NEW PLAN - BASEMENT
SCALE: 1/2" = 1'-0"



PROPOSED PLAN - FIRST FLOOR
SCALE: 1/2" = 1'-0"

GENERAL NOTES:

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drawing title:
**NEW PLAN
1ST FLOOR**

dwg no.

A3.01