From: "Robert Annese" <law@robertannese.com>
To: "Jennifer Raitt" <JRaitt@town.arlington.ma.us>, "'Kelly Lynema'" <KLynema@town.arlington.ma.us>
Date: Wed, 11 May 2022 11:13:53 -0400
Subject: 34 Dudley - ARB Resubmittal Docs - 05-09-22

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "< >" brackets) and you know the content is safe.

Hi Jenny and Kelly:

Here is the link to the submission for the continued ARB hearing on the 16th.

Thank you.

Bob

2022-05-09_ARB RTC2

34 Dudley St - Renderings (2022-05-09).pdf
34 Dudley St - Signage (2022-05-09).pdf
34 Dudley St - Site Plans (2022-05-09).pdf
34 Dudley St - Solar Design (2022-05-09).pdf
34 Dudley St - Truck Turns (2022-05-06).pdf

Thanks,

781-646-4911
law@robertannese.com

Channel Letter Sign - North Elevation

New flush mounted non-lit channel letters

Qty-1.

Scale: 3/16”

Sq Ft: 39.4

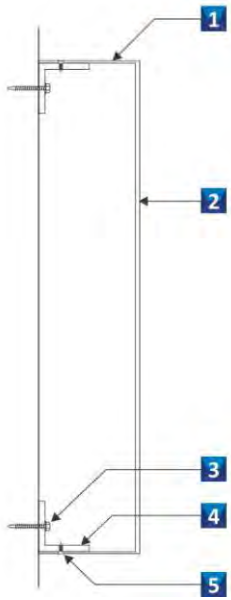
Sign install at 14’

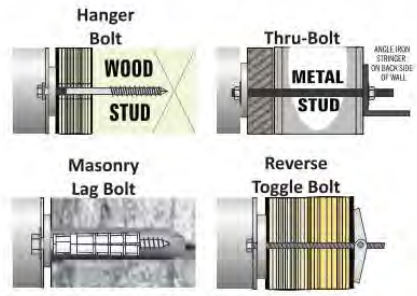
Code: Max Sq.Ft. 40

Max Install Height 25’

GREEN	#2500-106 BRILLIANT
BLACK	PMS BLACK #2500-22
WHITE	WHITE

1. .063 - 3"DEEP ALUMINUM RETURNS PAINTED GLOSS BLACK
2. .125 ALUMINUM FACES
3. TECH SCREWS
4. 1 1/2" x 1 1/2" ALUMINUM ANGLE
5. COUNTERSUNK SCREWS





*All Hardware to be Galvanized and Non Corrosive

MANUFACTURING NOTES

CHANNEL LETTER SETS SMALLER THAN 48” WILL BE CONSTRUCTED USING .040 ALUMINUM RETURNS & .063 ALUMINUM BACKS

CHANNEL LETTER SETS 48”-71” WILL BE CONSTRUCTED USING .063 ALUMINUM RETURNS & .090 ALUMINUM BACKS

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elro signs
CALIFORNIA
400 West Walnut Street, Gardena, CA 90248
(800) 927-4555 • Fax (310) 380-7451
GEORGIA
1640 Sands Place SE Suite A / Marietta, GA 30067
Toll Free: (877) 367-3576 • Fax (770) 952-4710

REVISIONS

NO.	COMMENTS	DATE
A	show office sign as non-lit per developer-PB	05/11/22

Client: Extra Space Storage
Address: 34 Dudley St, Arlington, MA 02476
Design No.: 66665 Store No.:
Scale: AS NOTED Sheet 1 of 4
Drawn By: DW Date 03/31/2022
Approved By: Date

Office Sign

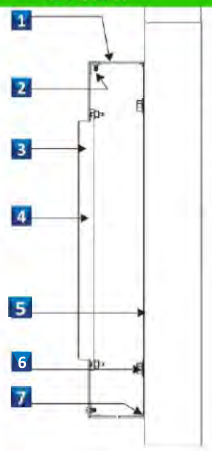
Non-illuminated S/F Cabinet Sign

Qty-1.
Scale: 3/16 = 1'
Sq Ft: 2.1
Code: Max Sq.Ft. 40
Max Install Height 25'

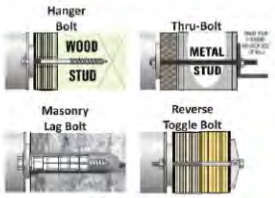
SPECIFICATIONS

1. .080 - 2" DEEP FABRICATED ALUMINUM WIREWAY PAINTED SW 7067 CITY SCAPE GREY
2. COUNTERSUNK SCREW / INTERNAL CLIP ATTACHMENT
3. .080 THICK ROUTED ALUMINUM PLATE FACE
4. ¾" WHITE ACRYLIC, POCKET ROUTED FOR ½" PUSH THROUGH VISIBLE
5. .090" ALUMINUM BACK WELDED TO SIDES
6. 3/8" THREADED RIVETS INSERTED FOR INSTALLATION
7. SILICONE SEAL ALL INTERIOR SEAMS

SECTION



MOUNTING



*All Hardware to be Galvanized and Non Corrosive

COLOR SCHEDULE

GREY	WHITE
SW 7067 CITY SCAPE	

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REVISIONS

NO.	COMMENTS	DATE
A	show office sign as non-lit per developer-PB	05/11/22

Client: Extra Space Storage
Address: 34 Dudley St, Arlington, MA 02476
Design No.: 66665 Store No.:
Scale: AS NOTED Sheet 2 of 4
Drawn By: DW Date 03/31/2022
Approved By: Date

Current Conditions

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1640 Sands Place SE Suite A / Marietta, GA 30067
Toll Free: (877) 367-3576 • Fax (770) 952-4710

REVISIONS

NO.	COMMENTS	DATE
A	show office sign as non-lit per developer-PB	05/11/22

Client **Extra Space Storage**
Address **34 Dudley St, Arlington, MA 02476**
Design No. **66665** Store No.
Scale: **AS NOTED** Sheet **3** of **4**
Drawn By: **DW** Date **03/31/2022**
Approved By: Date

PERMIT SUMMARY

County: Middlesex County
Zoning: I - Industrial
Reface work does not require a permit. If you are not removing the sign or poles but replacing same for same there is no permit required.

Building identification signs not exceeding four square feet in area for nonresidential and mixed use buildings do not require permits. Non-illuminated signs which provide incidental information including, but not limited to credit card acceptance, business hours, open/closed, no soliciting, directions to services and facilities, or menus, provided these signs do not exceed an aggregate of six square feet in sign area;

Monument Sign

Industrial Sign District: Max. 1 per frontage; Max. 24 sq. ft. Max. 6 ft. to the nearest grade
Business, Industrial, Multi-Use and Open Space Sign District: Min. 5 ft. setback from property line.
Landscaping: A landscaped area consisting of shrubs, and/or perennial ground cover plants with a max. spacing of 3 ft. on center is required around the base of the signs. The landscape area must be a min. of 2 sq. ft. for each 1 sq. ft. of sign area.

Wall sign

Max. 1 per frontage; Max. 40 sq. ft per business Max. 25 ft. Height Signs with Individual Letters. Sign copy mounted as individual letters or graphics against a wall, fascia, mansard, or parapet of a building or surface of another structure, that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, is measured as a sum of the smallest rectangle(s) that will enclose each word and each graphic in the total sign.

Raceway cabinets shall only be used in building mounted signs when access to the wall behind the sign is not feasible, shall not extend in width and height beyond the area of the sign, and shall match the color of the building to which it is attached. Where a raceway cabinet provides a contrast background to sign copy, the colored area is counted in the total allowable sign area allowed for the site or business. A raceway cabinet is not a cabinet sign.

Directional/driveway Signs

Number of Signs Max. 3 per lot. Max. 1 at each driveway or drive-through lane.
Sign Area Max. 3 sq. ft. per sign face.
Mounting Height Max. 6 ft. from nearest grade; except, max. 3 ft. at each driveway or drive-through lane.
Illumination Non-illuminated or internal illumination only. See Section 6.2.4(C).
Permitting Sign permit required. See Section 6.2.

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Design No.: 66665 Store No.:
Scale: AS NOTED Sheet 4 of 4
Drawn By: DW Date 03/31/2022
Approved By: Date

May 6, 2022

Ref: 52816.00

Jennifer Raitt
Planning & Community Development Director
Town of Arlington
730 Mass Ave, Annex
Arlington, MA 02746

Re: Truck Turning Study
Proposed Self-Storage Facility
34 Dudley Street

Dear Ms. Raitt:

VHB is providing this letter on behalf of the Applicant, PSI Atlantic Arlington MA, LLC, relating to the truck turning analysis for the proposed self-storage project, located at 34 Dudley Street. During the recent Arlington Redevelopment Board public hearing on April 27, 2022, Board Members requested that the turning diagrams be provided to demonstrate that a typical 26' Box Truck could maneuver within the proposed site.

VHB utilized the vehicle tracking software within the 2022 AutoCAD Civil 3D program to input the truck specifications and perform the turning movements within the proposed site. VHB utilized the specifications from a standard SU30 AASHTO design vehicle and adjusted for the specifications provided on UHaul's company website for a 26' Box Truck, their largest available standard rental truck. This vehicle has an overall length of 34.5' and the 26' refers to the size of the useable storage space.

Please find enclosed the Truck Turning figures to support this analysis. The 26' Box Truck can adequately enter from Dudley Street, maneuver within the project site to one of four loading areas and exit the site back on to Dudley Street. It should be noted that the turning movements entering and exiting Dudley Street accounted for a vehicle that may be parked across the street, by providing an 8' offset of that curbline.

We trust that this analysis will satisfy the Boards request to demonstrate adequate vehicle turning movements, specifically for the largest requested box truck to enter the proposed facility. Please feel free to contact me with any questions regarding this matter.

Sincerely,

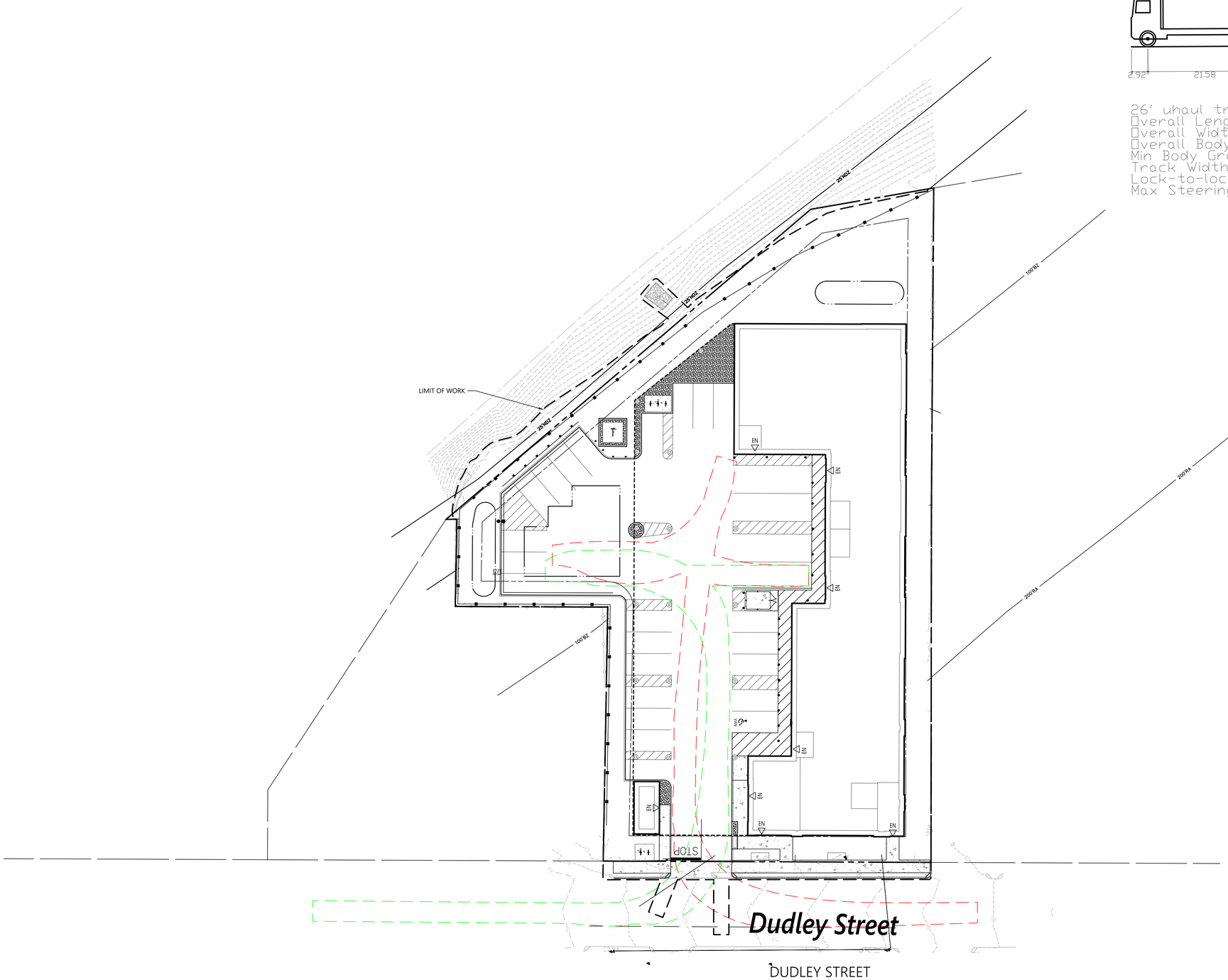
VHB

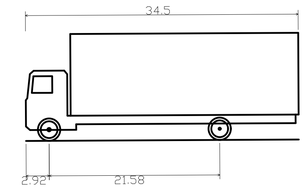
COMMONWEALTH OF MASSACHUSETTS
ERIC K. GERADE
CIVIL
NO. 47090
REGISTERED PROFESSIONAL ENGINEER

Eric K. Gerade, PE
Project Manager

cc: Jesse Morgan, PSI Atlantic Arlington MA, LLC
Robert Annese, Esq

\\vhb\gbl\proj\Bedford\52816.00 Arlington Self-Storage\cad\ld\Planmisc\52816.00-Truck Turns.dwg





26' uhaul truck	
Overall Length	34.500ft
Overall Width	8.080ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.381ft
Track Width	8.080ft
Lock-to-lock time	5.00s
Max Steering Angle (Virtual)	31.80°

vhb.com

101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

0 10 20 40 Feet

Proposed Self-Storage Facility

34 Dudley St
Arlington, Massachusetts 02476

No.	Revision	Date	Appvd.

Designed by MEA
Checked by EKG
Issued for Review
Date May 4, 2022

Not Approved for Construction

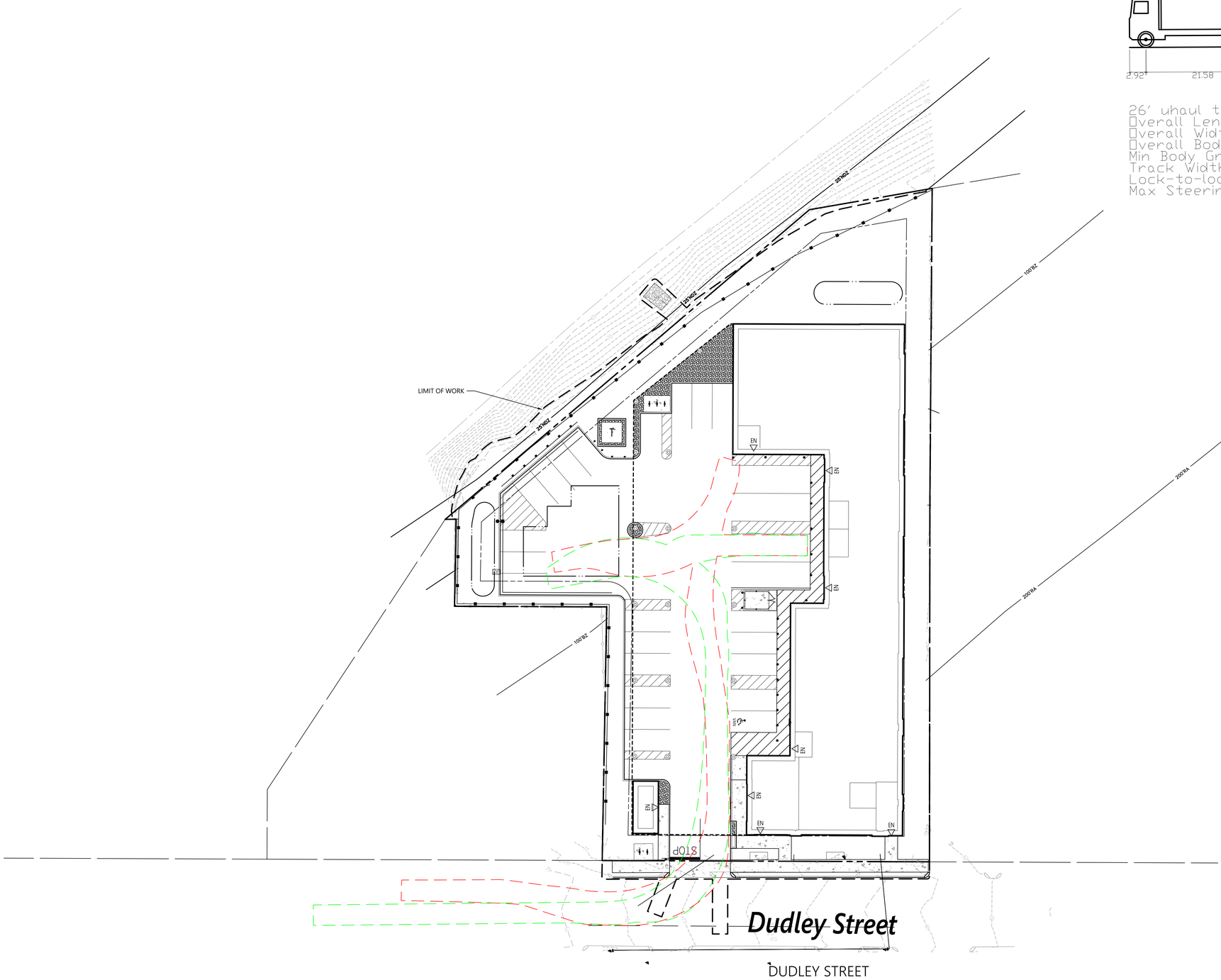
Drawing Title
Truck Turns
26' UHaul

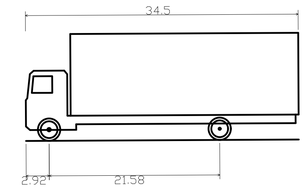
Drawing Number
T-1

Sheet 1 of 9

Project Number
52816.00

Saved Wednesday, May 4, 2022 8:53:03 AM MADAMS Plotted Friday, May 6, 2022 11:18:13 AM Muriel Adams





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Arlington, Massachusetts 02476

No.	Revision	Date	Appvd.

Designed by: MEA
Checked by: EKG
Issued for: Review
Date: May 4, 2022

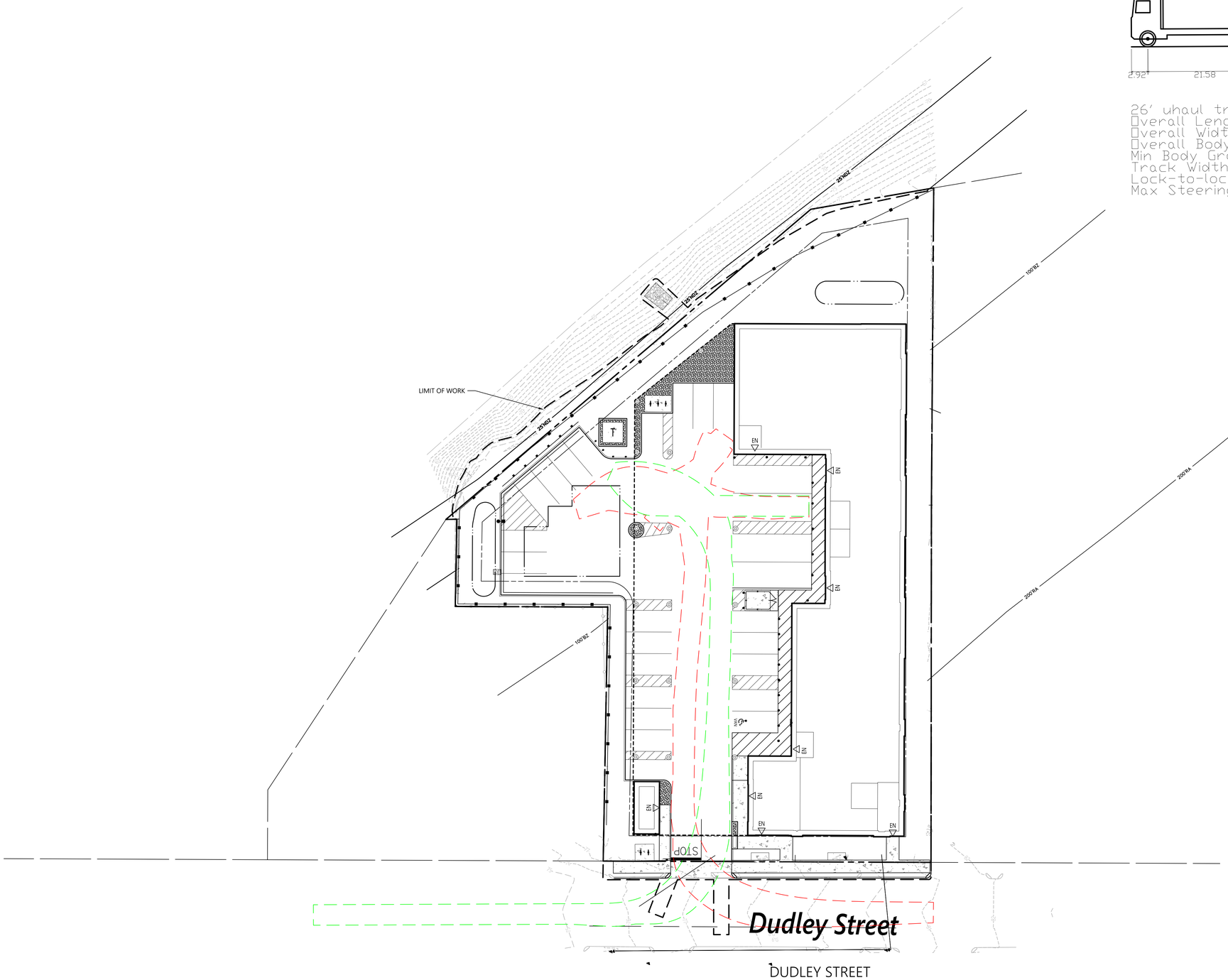
Not Approved for Construction

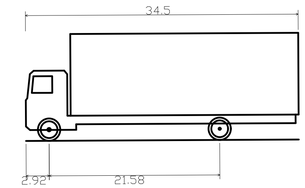
Drawing Title
Truck Turns
26' UHaul

Drawing Number
T-2

Sheet 2 of 9

Project Number
52816.00





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101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

0 10 20 40 Feet

Proposed Self-Storage Facility

34 Dudley St
Arlington, Massachusetts 02476

No.	Revision	Date	Appvd.

Designed by MEA
Checked by EKG
Issued for Review
Date May 4, 2022

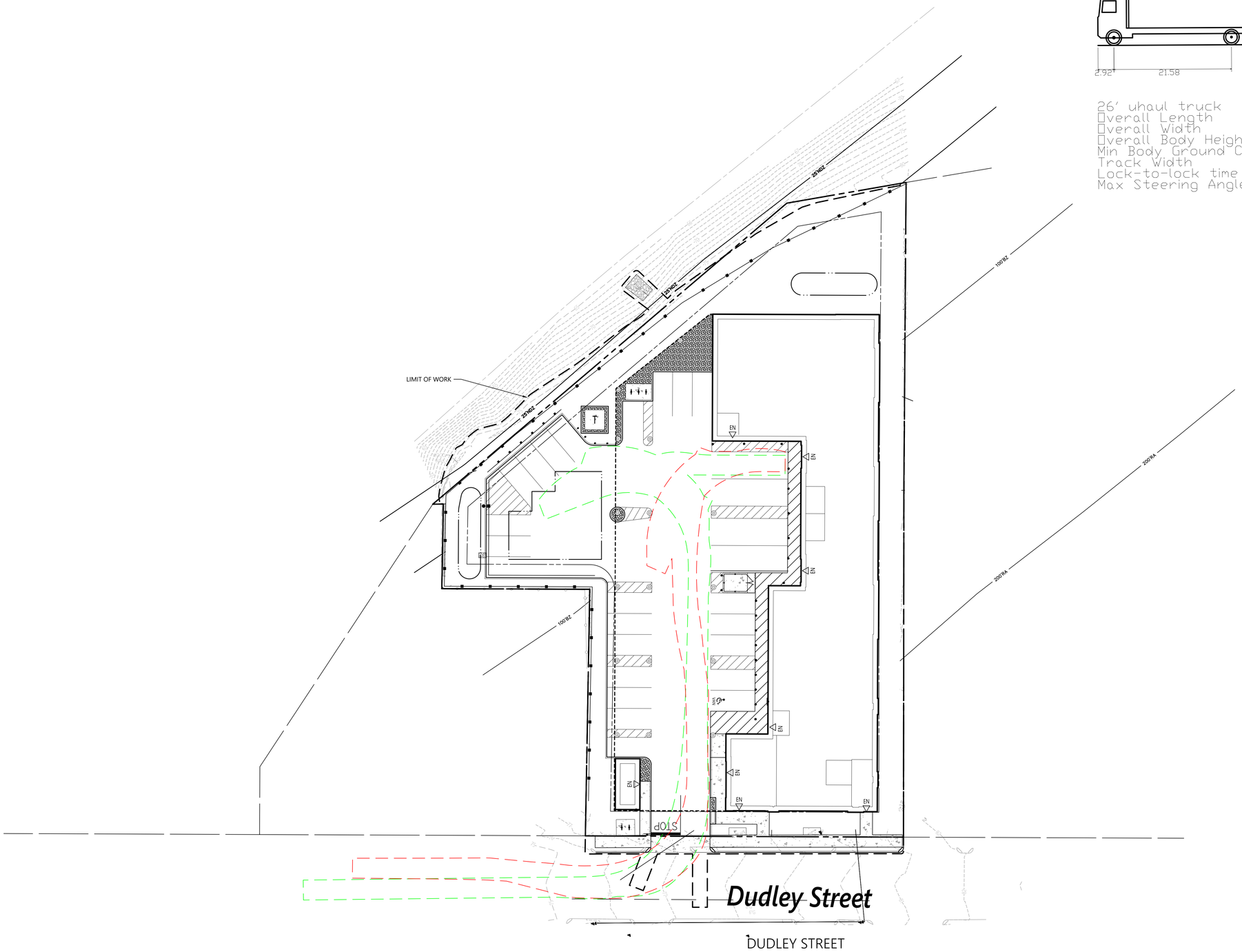
Not Approved for Construction

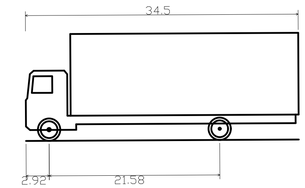
Drawing Title
Truck Turns
26' UHaul

Drawing Number
T-3

Sheet 3 of 9

Project Number
52816.00





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34 Dudley St
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No.	Revision	Date	Appvd.

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Checked by EKG
Issued for Review
Date May 4, 2022

Not Approved for Construction

Drawing Title
Truck Turns
26' UHaul

Drawing Number
T-4

Sheet 4 of 9

Project Number
52816.00

Saved Wednesday, May 4, 2022 8:53:03 AM MADAMS Plotted Friday, May 6, 2022 11:18:30 AM Muriel Adams

SOLAR PV ELECTRIC GENERATION SYSTEM INSTALLATION ON EXISTING BUILDINGS:

34 Dudley Street, Arlington, MA 02476

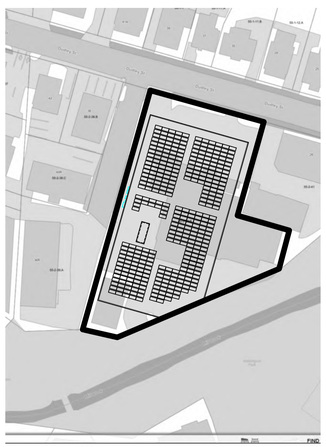
Legend

- Solar Panel
- FD Setbacks & Pathways
- Gas Line
- D/C Home Run
- A/C Home Run
- Light Shade
- Heavy Shade
- Obstruction (Vent Pipe)
- Building Outline
- Solar Inverter Electrical Equipment

SCOPE OF WORK

Installation of:
(354) Solar Modules 485W (11,031 sqft)
(1) SolarEdge 100kW 480V Inverter
(1) SolarEdge 33.3kW 480V Inverter
(1) 52IT 200A Solar AC Combiner Panel
(1) 89L 200A AC Disconnect Switch

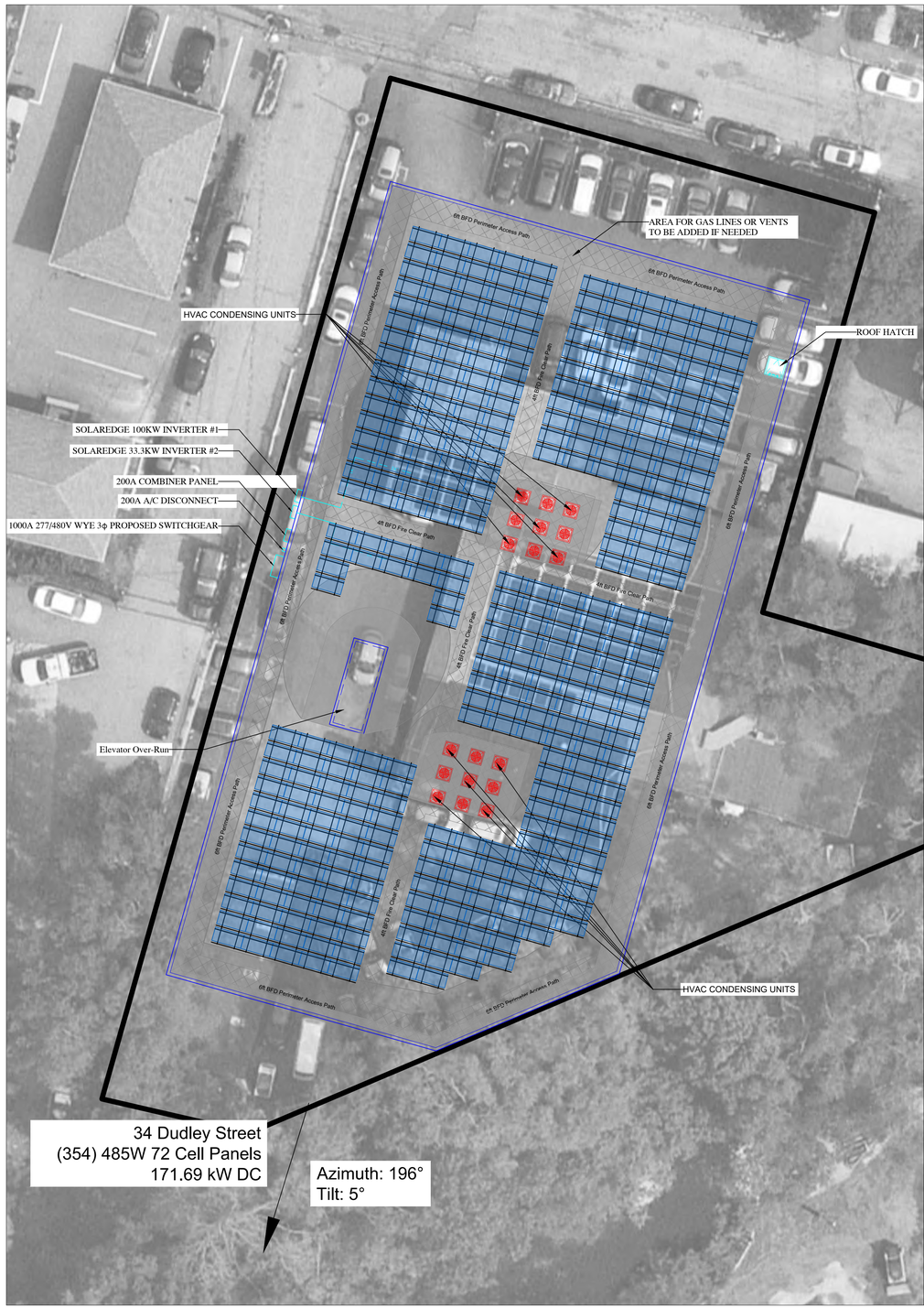
2 A-000 TAX MAP
Scale: NTS

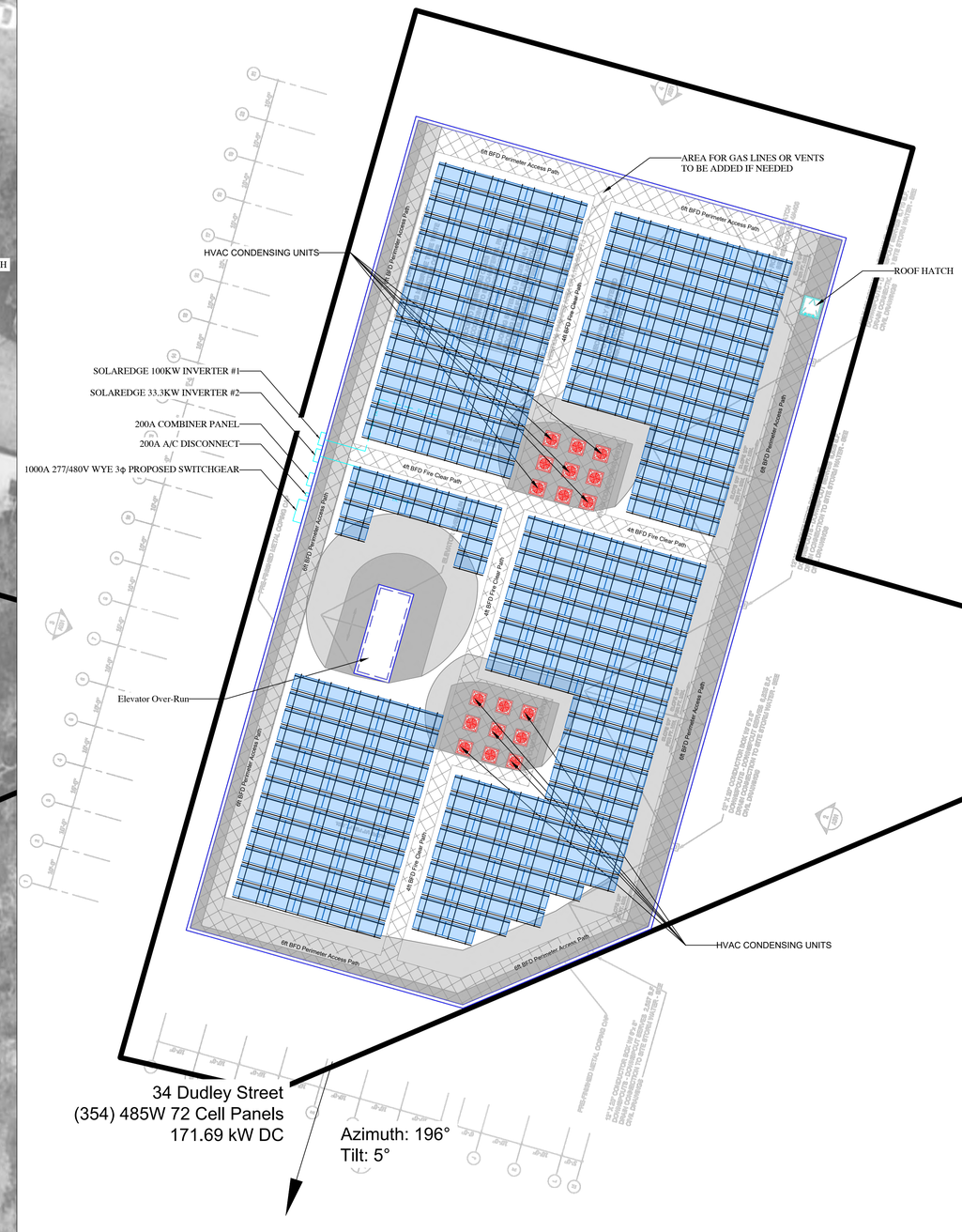


3 A-000 UTILITY CAPACITY MAP
Scale: NTS

N

SCALE: 1"=20'-0" (IN FEET)
0 10' 20' 40'





Drafting/Design Firm

PhRGD

750 Lexington Ave 9th Floor
New York, NY 10022
(646) 866-4734

Developer

PREMIER STORAGE INVESTORS

401 Park Ave S, 10th Floor
New York, NY 10010
(858) 229-0102

Page Size: 24" x 36"

Power Clerk Project #:

PROPERTY INFORMATION
Print Key: 55-2-39.B
Block Group: 2
Lot: 39
Lot Area: 0.767 Acres
Latitude: 42° 25' 13.62" N
Longitude: -71° 9' 57.96" W

Array 1 Azimuth: 196°

Panel Tilt: 5°

PE Stamps/ Signatures

DRAFT

Rev	Date	Description	Initial
.00	5/2/22	Design	MT

34 Dudley Street
Arlington, MA 02476

Owner: Premier Storage Investors

Solar Modules:
(354) 485W Solar Modules

Solar Inverters:
(1) SolarEdge 100kW 3ϕ 480V Inv
(1) SolarEdge 33.3kW 3ϕ 480V Inv

Solar System DC Size: 171.69 kWDC

Solar System AC Size: 133.3kWAC

Interconnection Type:
Behind the Meter

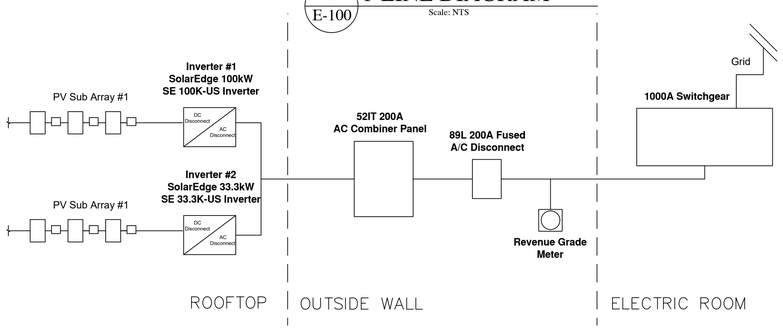
SITE PLAN OVERVIEW

Scale: See Scales | Page 1 of 2

A-000.01

1 / E-100 1-LINE DIAGRAM

Scale: NTS



GRID PROTECTION SETTINGS

SYSTEM LIMITATION	TRIP SETTINGS
Minimum Frequency E (UF2): 56,5Hz	160ms
Minimum Frequency (UF1): 58,5Hz	300000ms (5 Minutes)
Maximum Frequency (OF1): 61.2Hz	300000ms (5 Minutes)
Maximum Frequency E (OF2): 62Hz	160ms
Minimum VoltageE (UV2): 124V (216VAC 3PH)	160ms
Minimum Voltage (UV1): 193V (336VAC 3PH)	2000ms (2 Seconds)
Maximum Voltage (OV1): 304V (528VAC 3PH)	2000ms (2 Seconds)
Maximum VoltageE (OV2): 334V (579VAC 3PH)	160ms

GENERAL CALCS

PANEL CALCULATIONS

(354) Solar Panels XL-G10.3/BFG 485
Panel Power = (354) x 410 x 0.965 = 145.1kW
Max Inverter Input = (1)(135kW+45kW) = 180kW
Generated Annual Production = approx 206 MWh

Voc Low Temp (VocLow) = 53.63 - [(-0.144V * [25C°-(-17C°)]] = 59.711V
Vmp High Temp = 45.63V - [(-0.144V * [25C°-(33C°)]] = 44.478V
Minimum String Length = 14 Optimizers =28 Modules
Maximum String Length = 15300W/485W= 30 Modules
Max Modules per 33.3kW Inverter = 30 Modules * 3 Strings Per Unit = 90 Modules
Max Modules per 100.0kW Inverter = 90 Modules * 3 (33.3kW Inverters) = 270 Modules

ASHRAE High Low Temps	VOLTAGE DROP
Boston, MA High =33°C Boston, MA Low =-17°C	Average Total Voltage drop = DC+AC+Inter Average Total Voltage drop = 0.49% + 0.04% + 0.09% = 0.62%

D/C SOURCE TO INVERTER CALCULATIONS

	Fuse Sizing									D-Rate / Ampacity										Checks			Array Config		Voltage Drop Calculations								Conduit Sizing/Fill Ratio						Conduit Expansion Calculations				
Inverter #	Strings Per Inverter	Modules Per String (MPS)	Continuous Operation (CO) (100.53(B)1)	Inpt Max Current	Overcurrent Rating (OR) (90.9(B))	Overcurrent Ampacity (Inpu+ # of strings * CO*OR)	OCPD Size (A)	PV Source Conductor Size	Source Conductor Ampacity @90°	Local 25 AVG High Temp °C	Height Above Roof (in)	Temp Adder 310.15(B)(3)(c) °C	Operating Temp °C	D-Rate for Ambient Temperature	# of Current Carrying Conductors	D-Rate for Conduit Fill	Total D-Rate (DA1*DA2)	D-Rated Conductor Ampacity	PV Source EGC Conductor Size	Source EGC Ampacity	Strings Per Inverter	Modules Per String (MPS)	Mx DC Voltage (VocLow*MPS) (V)	Operating Voltage (Vmp*MPS) (V)	Inpt A Value	Inpt Circuit Mdl Amt (CA)	Inpt Resistance Value (kCA) (0.645)	Average One Way Distance (D) (ft)	Inpt Voltage Drop (Inpt Current*Inpt Resistance*Inpt Average One Way Distance*2)/(Inpt Voltage*1000) (%)	Source Conduit Carrying Conductor Ampacity (SCCCA)	Source Conduit Carrying Conductor Area (mm²) (SCCCA)	Total Source Area (mm²) (SEGCA)	DC Source Conduit Type	DC Feeder Conduit Size	DC Feeder Conduit Area (mm²)	Thermal Expansion Co-Efficient for Conduit (TEC) (mm/mm/°C)	Max Allowable Thermal Expansion (ASHRAE High Low Temp) (°C)	Max Length of Straight Conduit Runs (Max Allowable Thermal Expansion / (Thermal Expansion Coefficient * Max Delta))	Max Length of Straight Conduit Runs (Below Expansion Joints Added) (Max Allowable Thermal Expansion / (Thermal Expansion Coefficient * Max Delta))
1	9	30	10.63 A	1	1.25	13.29 A	1.25	16.61 A	20	#10	35 A	40 A	3.5 in	17° C	49° C	0.82	18	0.5	0.41	16.40 A	#10	60 A	1,000.0 V	850.0 V	12.9	10403	1.24	135 ft	0.42%	13.61	13.61	258.59	EMT	1 1/4	387	0.000023	49° C	1.0	872					
2	3	28	10.63 A	1	1.25	13.29 A	1.25	16.61 A	20	#10	35 A	40 A	3.5 in	17° C	49° C	0.82	6	0.8	0.656	26.24 A	#10	60 A	980.0 V	850.0 V	12.9	10403	1.24	180 ft	0.56%	13.61	13.61	95.27	EMT	3/4	137	0.000023	49° C	1.0	872					
Average AC Voltage Drop																												0.49%															

A/C INVERTER TO COMBINER PANEL CALCULATIONS

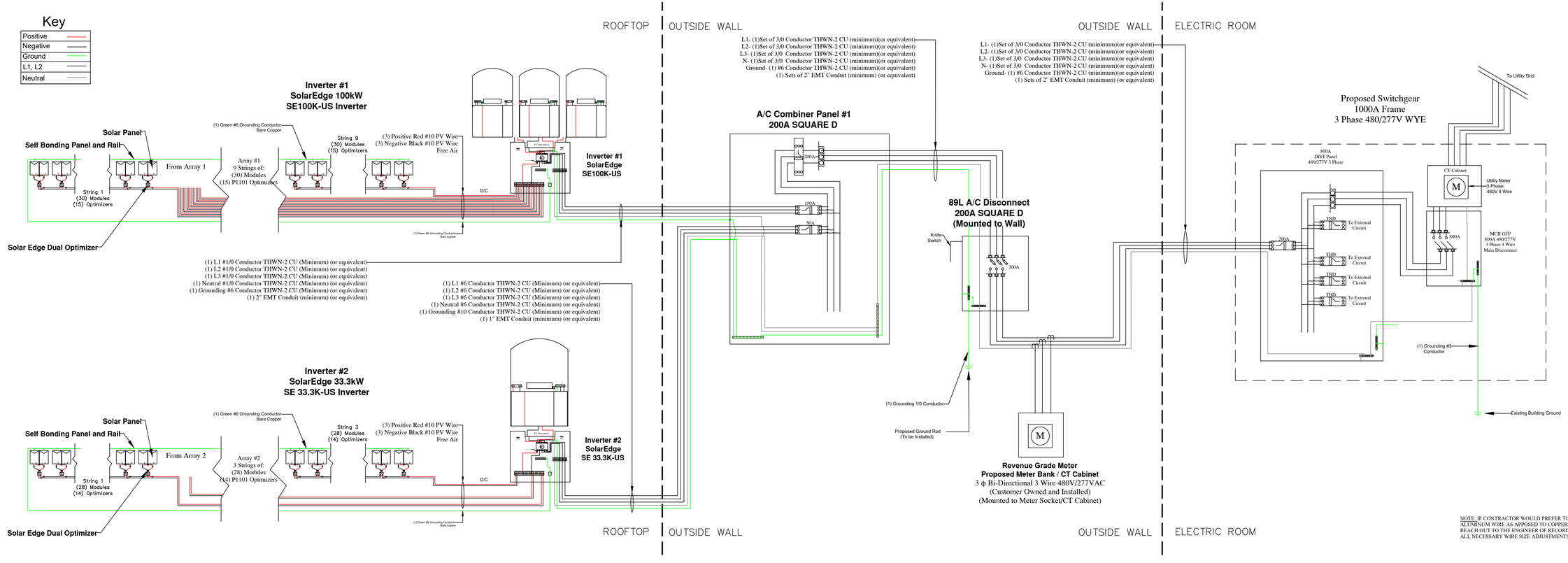
	Fuse Sizing									D-Rate / Ampacity Checks													Voltage Drop Calculations								Conduit Sizing/Fill Ratio						Conduit Expansion Calculations				
Inverter #	Inverter Model	Inverter Max Continuous	Overcurrent Rating (OR) (90.9(B))	Overcurrent Ampacity (Max Inst * # of strings * CO*OR)	OCPD Size (A)	A/C Output Conductor Size	Output Conductor Ampacity @75°	Source Conductor Ampacity @90°	Height Above/Below Surface (in)	Temp Adder 310.15(B)(3)(c) °C	Operating Temp °C	D-Rate for Ambient Temperature	# of CCCC Per Conduit (CCCC)	D-Rate for Conduit Fill	Total D-Rate (DA1*DA2)	D-Rated Conductor Ampacity	A/C Output EGC Conductor Size	Source EGC Ampacity	Operating Voltage (V)	Output A Value	Output Circuit Mdl Amt (CA)	Output Resistance Value (kCA) (0.645)	Max One Way Distance (D) (ft)	Output Voltage Drop (Output Current*Output Resistance*Max One Way Distance*2)/(Output Voltage*1000) (%)	Max Inst * (Output Current*2)/(Output Voltage*1000) (%)	Output CCC Area (mm²) (SCCCA)	Output EGC Area (mm²) (GEGCA)	Total Output Area (mm²) (SCCCA + GEGCA)	A/C Output Conduit Type	A/C Output Conduit Size (Inches)	A/C Output Conduit Area (mm²)	Thermal Expansion Co-Efficient for Conduit (TEC) (mm/mm/°C)	Max Allowable Thermal Expansion (ASHRAE High Low Temp) (°C)	Max Length of Straight Conduit Runs (Max Allowable Thermal Expansion / (Thermal Expansion Coefficient * Max Delta))	Max Length of Straight Conduit Runs (Below Expansion Joints Added) (Max Allowable Thermal Expansion / (Thermal Expansion Coefficient * Max Delta))	
1	SE 100 kW	120.00 A	1.25	150.00 A	150	2/0	175 A	195 A	3.5 in	0° C	32° C	0.96	3	1	0.96	187.2 A	#6	200 A	480.0 V	12.9	133402	0.097	5 ft	0.02%	143.40	32.71	606.31	EMT	2	866	0.000023	49° C	1.0	872									
2	SE 33.3kW	40.00 A	1.25	50.00 A	50	#6	65 A	75 A	3.5 in	0° C	32° C	0.96	3	1	0.96	72.0 A	#10	60 A	480.0 V	12.9	26273	0.491	5 ft	0.06%	32.71	13.61	144.45	EMT	1	222	0.000023	49° C	1.0	872									
Average AC Voltage Drop																								0.04%																			

A/C COMBINER PANEL TO INTERCONNECTION CALCULATIONS

	Fuse Sizing									D-Rate / Ampacity										Checks			Voltage Drop Calculations								Conduit Sizing/Fill Ratio						Conduit Expansion Calculations				
A/C Panel #	A/C Continuous Max Inst Continuous	Overcurrent Rating (OR) (90.9(B))	Overcurrent Ampacity (Max Inst*OR)	OCPD Size (A)	# of Feeder Conductor Sets/Size	Conductor Ampacity @75°	Conductor Ampacity @90°	Height Above/Below Surface (in)	Temp Adder 310.15(B)(3)(c) °C	Operating Temp °C	D-Rate for Ambient Temperature (DA1)	# of Current Carrying Conductors in Conduit (CCCC)	D-Rate for Conduit Fill (DA2)	Total D-Rate (DA1*DA2)	D-Rated Conductor Ampacity (DRCA)	A/C Output EGC Conductor Size	Source EGC Conductor Ampacity	Operating Voltage (V)	Output A Value	Output Circuit Mdl Amt (CA)	Output Resistance Value (kCA) (0.0731)	Max One Way Distance (D) (ft)	Output Voltage Drop (Output Current*Output Resistance*Max One Way Distance*2)/(Output Voltage*1000)(CA)	Max Inst * (Output Current*2)/(Output Voltage*1000)(CA)	Output CCC Area (mm²) (SEGCA)	Output EGC Area (mm²) (GEGCA)	Total Output Area (mm²) (SCCCA + GEGCA)	A/C Output Conduit Type	A/C Output Conduit Size (Inches)	A/C Output Conduit Area (mm²)	Thermal Expansion Co-Efficient for Conduit (TEC) (mm/mm/°C)	Max Allowable Thermal Expansion (ASHRAE High Low Temp) (°C)	Max Length of Straight Conduit Runs (Max Allowable Thermal Expansion / (Thermal Expansion Coefficient * Max Delta))	Max Length of Straight Conduit Runs (Below Expansion Joints Added) (Max Allowable Thermal Expansion / (Thermal Expansion Coefficient * Max Delta))	
1	160.00 A	1.25	200.0 A	200	3/0	200 A	225 A	3.5 in	0° C	32° C	0.96	3	1	0.96	216.0 A	#6	200 A	480.0 V	12.9	168407	0.077	20 ft	0.09%	172.80	32.71	723.91	EMT	2	866	0.000023	49° C	1.0	872.1									
Average AC Voltage Drop																							0.09%																			

2 / E-100 3-LINE DIAGRAM

Scale: NTS



NOTE: IF CONTRACTOR WOULD PREFER TO USE ALUMINUM WIRE AS APPOSED TO COPPER PLEASE REACH OUT TO THE ENGINEER OF RECORD TO HAVE ALL NECESSARY WIRE SIZE ADJUSTMENTS MADE.

Drafting/Design Firm

PhRGD

750 Lexington Ave 9th Floor
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(646) 866-4734

Developer

PREMIER STORAGE INVESTORS

401 Park Ave S, 10th Floor
New York, NY 10010
(858) 229-0102

Page Size: 24" x 36"

Power Clerk Project #:

PROPERTY INFORMATION
Print Key: 55-2-39.B
Block Group: 2
Lot: 39
Lot Area: 0.767 Acres
Latitude: 42° 25' 13.62" N
Longitude: -71° 9' 57.96" W

Array 1 Azimuth: 196°

Panel Tilt: 5°

PE Stamps/ Signatures

DRAFT

Rev	Date	Description	Initial
.00	5/2/22	Design	MT

34 Dudley Street
Arlington, MA 02476

Owner: Premier Storage Investors

Solar Modules:
(352) 485W Solar Modules

Solar Inverters:
(1) SolarEdge 100kW 3ϕ 480V Inv
(1) SolarEdge 33.3kW 3ϕ 480V Inv

Solar System DC Size: 170.72kWDC

Solar System AC Size: 133.3kWAC

Interconnection Type:
Behind the Meter

ELECTRICAL
3-LINE 1-LINE
CALS

Scale: See Scales | Page 2 of 2

E-000.01

Site Plans

Issued for	Local Approvals
Date Issued	February 9, 2022
Latest Issue	May 9, 2022

Proposed Self Storage Facility

34 Dudley Street
Arlington, Massachusetts

Owner

34 Dudley Street LLC
34 Dudley Street
Arlington, MA 02476

Applicant

PSI Atlantic Arlington MA, LLC
530 Oak Court Drive
Suite 155
Memphis, TN 38117

Assessor's Map: 55
Lot: 2-39.B

Sheet Index

No.	Drawing Title	Latest Issue
C1.01	Legend and General Notes	4/21/2022
C2.01	Site Preparation Plan	5/9/2022
C3.01	Layout and Materials Plan	5/9/2022
C4.01	Grading, Drainage, and Erosion Control Plan	5/9/2022
C5.01	Utility Plan	5/9/2022
C6.01-C6.03	Site Details	5/9/2022
L1.01	Planting Plan	5/9/2022
L2.01	Planting Details	2/9/2022

Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1	Existing Conditions Plan of Land	2/7/2022
SL-1	Site Lighting Plan	4/21/2022
A-101 to A-106	Floor Plans	5/9/2022
A-201 to A-202	Exterior Elevations	5/9/2022

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\\VHB\GBL\PROJ\BEDFORD\52816.00 ARLINGTON SELF-STORAGE\CAD\LD\PLANSET\52816.00-COV 10 May 2022

VHB Project : 52816.00 Arlington Self Storage
Issued for : Local Approvals 05/09/2022

Legend

Exist.	Prop.	
		PROPERTY LINE
		PROJECT LIMIT LINE
		RIGHT-OF-WAY/PROPERTY LINE
		EASEMENT
		BUILDING SETBACK
		PARKING SETBACK
10+00	10+00	BASELINE
		CONSTRUCTION LAYOUT
		ZONING LINE
		TOWN LINE
		LIMIT OF DISTURBANCE
		WETLAND LINE WITH FLAG
		FLOODPLAIN
BLSF		BORDERING LAND SUBJECT TO FLOODING
BZ		WETLAND BUFFER ZONE
NDZ		NO DISTURB ZONE
200'RA		200' RIVERFRONT AREA
		GRAVEL ROAD
EOP	EOP	EDGE OF PAVEMENT
BB	BB	BITUMINOUS BERM
BC	BC	BITUMINOUS CURB
CC	CC	CONCRETE CURB
	CG	CURB AND GUTTER
ECC	ECC	EXTRUDED CONCRETE CURB
MCC	MCC	MONOLITHIC CONCRETE CURB
PCC	PCC	PRECAST CONC. CURB
SGE	SGE	SLOPED GRAN. EDGING
VGC	VGC	VERT. GRAN. CURB
		LIMIT OF CURB TYPE
		SAWCUT
		BUILDING
	EN	BUILDING ENTRANCE
	LD	LOADING DOCK
		BOLLARD
D	D	DUMPSTER PAD
		SIGN
		DOUBLE SIGN
		STEEL GUARDRAIL
		WOOD GUARDRAIL
		PATH
		TREE LINE
		WIRE FENCE
		FENCE
		STOCKADE FENCE
		STONE WALL
		RETAINING WALL
		STREAM / POND / WATER COURSE
		DETENTION BASIN
		HAY BALES
		SILT FENCE
		SILT SOCK / STRAW WATTLE
4	4	MINOR CONTOUR
20	20	MAJOR CONTOUR
10	10	PARKING COUNT
	C10	COMPACT PARKING STALLS
DYL	DYL	DOUBLE YELLOW LINE
SL	SL	STOP LINE
		CROSSWALK
		ACCESSIBLE CURB RAMP
		ACCESSIBLE PARKING
VAN	VAN	VAN-ACCESSIBLE PARKING

Exist.	Prop.	
		CONCRETE
		HEAVY DUTY PAVEMENT
		BUILDINGS
		RIPRAP
		CONSTRUCTION EXIT
27.35 TC×	27.35 TC×	TOP OF CURB ELEVATION
26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
132.75 ×	132.75 ×	SPOT ELEVATION
45.0 TW× 38.5 BW×	45.0 TW× 38.5 BW×	TOP & BOTTOM OF WALL ELEVATION
		BORING LOCATION
		TEST PIT LOCATION
MW	MW	MONITORING WELL
UD	UD	UNDERDRAIN
12"D	12"D	DRAIN
6"RD	6"RD	ROOF DRAIN
12"S	12"S	SEWER
FM	FM	FORCE MAIN
OHW	OHW	OVERHEAD WIRE
6"W	6"W	WATER
4"FP	4"FP	FIRE PROTECTION
	2"DW	DOMESTIC WATER
3"G	G	GAS
E	E	ELECTRIC
STM	STM	STEAM
T	T	TELEPHONE
FA	FA	FIRE ALARM
CATV	CATV	CABLE TV
		CATCH BASIN CONCENTRIC
		CATCH BASIN ECCENTRIC
		DOUBLE CATCH BASIN CONCENTRIC
		DOUBLE CATCH BASIN ECCENTRIC
		GUTTER INLET
		DRAIN MANHOLE CONCENTRIC
		DRAIN MANHOLE ECCENTRIC
TD		TRENCH DRAIN
E	E	PLUG OR CAP
CO	CO	CLEANOUT
		FLARED END SECTION
		HEADWALL
S	S	SEWER MANHOLE CONCENTRIC
S	S	SEWER MANHOLE ECCENTRIC
CS	CS	CURB STOP & BOX
WV	WV	WATER VALVE & BOX
TSV	TSV	TAPPING SLEEVE, VALVE & BOX
		FIRE DEPARTMENT CONNECTION
HYD	HYD	FIRE HYDRANT
WM	WM	WATER METER
PIV	PIV	POST INDICATOR VALVE
W	W	WATER WELL
GC	GC	GAS GATE
GM	GM	GAS METER
E	EMH	ELECTRIC MANHOLE
EM	EM	ELECTRIC METER
		LIGHT POLE
T	TMH	TELEPHONE MANHOLE
T	T	TRANSFORMER PAD
		UTILITY POLE
		GUY POLE
		GUY WIRE & ANCHOR
HH	HH	HAND HOLE
PB	PB	PULL BOX
		MATCHLINE

Abbreviations

General

ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL

Utility

CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
RIM=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes

General

1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6" INCHES LOAM AND SEED.
5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
6. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.

Utilities

1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
   - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
   - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
   - C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
   - A. WATER PIPES SHALL BE CEMENT LINED DUCTILE IRON (DI) CLASS 52.
   - B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE, SDR-35
   - C. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE).
   - D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
3. CURBING SHALL BE PRECAST CONCRETE CURB (PCC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

Demolition

1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
4. THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE ORDER OF CONDITIONS. THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.
6. CONTRACTOR TO PROVIDE CONTAINMENT BERM AT TOP OF SLOPE ADJACENT TO MILL BROOK TO PREVENT RUNOFF FROM CONSTRUCTION ACTIVITIES DISCHARGING TOWARDS MILL BROOK.

Existing Conditions Information

1. BASE PLAN: THE PROPERTY LINES SHOWN ON THE LAYOUT AND MATERIALS PLAN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN OCTOBER, 2021, AND FROM DEEDS AND PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB, INC., DURING OCTOBER, 2021.
   - A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY: VHB ENVIRONMENTAL DEPARTMENT IN OCTOBER, 2021.
   - B. FLAGS MARKING THE WETLANDS WERE LOCATED BY: VHB, BY FIELD SURVEY IN OCTOBER, 2021
2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD OF 1988.
3. GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM GEOENGINEERS USA, PC DATED JANUARY 28, 2022.

Document Use

1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

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Proposed Self-Storage Facility

34 Dudley St
Arlington, Massachusetts 02476

No.	Revision	Date	Appvd.
1	ARB COMMENTS	4/21/2022	EKG

Designed by MEA
Checked by EKG
Issued for Local Approvals
Date February 9, 2022

Not Approved for Construction

Drawing Title
Legend and General Notes

COMMONWEALTH OF MASSACHUSETTS
ERIC K. GERADE
CIVIL
No. 37000
REGISTERED PROFESSIONAL ENGINEER
4/21/2022

Drawing Number
C1.01

Sheet 1 of 10

Project Number
52816.00

Document Use:

THIS BASE PLAN ILLUSTRATES THE MINIMUM PERIMETER EROSION & SEDIMENTATION CONTROLS. THE CONTRACTOR SHALL UPDATE THIS PLAN THROUGHOUT THE DURATION OF CONSTRUCTION TO SHOW THE LOCATIONS OF PROPOSED/CONSTRUCTED E&S CONTROLS DEEMED NECESSARY TO MEET THE REQUIREMENTS OF THE ORDER OF CONDITIONS.

PROJECT E&S NARRATIVE:
THE PROPOSED PROJECT CONSISTS OF A 95,700± SQUARE-FOOT SELF STORAGE FACILITY WITH ANCILLARY LANDSCAPE IMPROVEMENTS, PARKING SPACES, AND UTILITY IMPROVEMENTS TO SUPPORT THIS USE. THE APPROXIMATELY 0.78 ACRE SITE WILL BE DEVELOPED AS A SINGLE-PHASE PROJECT.

EROSION AND SEDIMENTATION CONTROL TECHNIQUES
THE EROSION AND SEDIMENTATION CONTROLS SHOWN HEREON ARE PERIMETER MEASURES ONLY. THE CONTRACTOR IS REQUIRED TO PROVIDE ADDITIONAL INTERIM EROSION AND SEDIMENTATION CONTROLS, INCLUDING BUT NOT LIMITED TO THOSE LISTED BELOW. THE CONTRACTOR SHALL MANAGE EROSION AND SEDIMENTATION DURING CONSTRUCTION TO PREVENT IMPACTS TO RESOURCE AREAS, ROADWAYS, AND ABUTTING PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE EROSION AND SEDIMENTATION CONTROLS THROUGHOUT THE DURATION OF CONSTRUCTION.

CATCH BASIN PROTECTION
NEWLY CONSTRUCTED AND EXISTING CATCH BASINS WILL BE PROTECTED WITH SILT SACKS THROUGHOUT CONSTRUCTION.

GRAVEL AND CONSTRUCTION ENTRANCE/EXIT
A TEMPORARY CRUSHED-STONE CONSTRUCTION ENTRANCE/EXIT WILL BE CONSTRUCTED. A CROSS SLOPE WILL BE PLACED IN THE ENTRANCE TO DIRECT RUNOFF TO THE SEDIMENT TRAP.

VEGETATIVE SLOPE STABILIZATION
STABILIZATION OF OPEN SOIL SURFACES WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, UNLESS THERE IS SUFFICIENT SNOW COVER TO PROHIBIT IMPLEMENTATION. VEGETATIVE SLOPE STABILIZATION WILL BE USED TO MINIMIZE EROSION ON SLOPES OF 3:1 OR FLATTER. ANNUAL GRASSES, SUCH AS ANNUAL RYE, WILL BE USED TO ENSURE RAPID GERMINATION AND PRODUCTION OF ROOTMASS. PERMANENT STABILIZATION WILL BE COMPLETED WITH THE PLANTING OF PERENNIAL GRASSES OR LEGUMES. ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED BY HYDRO-SEEDING OR SODDING. A SUITABLE TOPSOIL, GOOD SEEDBED PREPARATION, AND ADEQUATE LIME, FERTILIZER AND WATER WILL BE PROVIDED FOR EFFECTIVE ESTABLISHMENT OF THESE VEGETATIVE STABILIZATION METHODS. MULCH WILL ALSO BE USED AFTER PERMANENT SEEDING TO PROTECT SOIL FROM THE IMPACT OF FALLING RAIN AND TO INCREASE THE CAPACITY OF THE SOIL TO ABSORB WATER.

TEMPORARY SEDIMENT BASINS
TEMPORARY SEDIMENT BASINS WILL BE DESIGNED EITHER AS EXCAVATIONS OR BERMED STORMWATER DETENTION STRUCTURES (DEPENDING ON GRADING) THAT WILL RETAIN RUNOFF FOR A SUFFICIENT PERIOD OF TIME TO ALLOW SUSPENDED SOIL PARTICLES TO SETTLE OUT PRIOR TO DISCHARGE. THESE TEMPORARY BASINS WILL BE LOCATED BASED ON CONSTRUCTION NEEDS AS DETERMINED BY THE CONTRACTOR AND OUTLET DEVICES WILL BE DESIGNED TO CONTROL VELOCITY AND SEDIMENT. POINTS OF DISCHARGE FROM SEDIMENT BASINS WILL BE STABILIZED TO MINIMIZE EROSION. AT A MINIMUM, SEDIMENTATION BASINS SHALL BE DESIGNED AND CONSTRUCTED TO PROVIDE STORAGE FOR THE VOLUME OF RUNOFF GENERATED FROM A 2-YR, 24-HR DESIGN STORM, OR AT LEAST 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINING TO THE BASIN.

STOCKPILE MANAGEMENT
SIDESLOPES OF STOCKPILED MATERIAL SHALL BE NO STEEPER THAN 2:1. STOCKPILES NOT USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE. STRAW BALES AND SILT FENCE ARE TO BE PLACED AROUND THE STOCKPILE AREA APPROXIMATELY 10 FEET FROM THE TOE OF SLOPE.

DUST CONTROL
PERIODICALLY MOISTEN EXPOSED SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP AND REDUCE DUST.

TEMPORARY EROSION AND SEDIMENTATION CONTROL MAINTENANCE (THROUGHOUT CONSTRUCTION)

THE SITE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER ORDER OF CONDITIONS. THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS. RECORDS OF THE INSPECTIONS WILL BE PREPARED AND MAINTAINED ON-SITE BY THE CONTRACTOR.

SILT SHALL BE REMOVED FROM BEHIND BARRIERS IF GREATER THAN 6-INCHES DEEP OR AS NEEDED.

DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION.

SEDIMENT THAT IS COLLECTED IN STRUCTURES SHALL BE DISPOSED OF PROPERLY AND COVERED IF STORED ON-SITE.

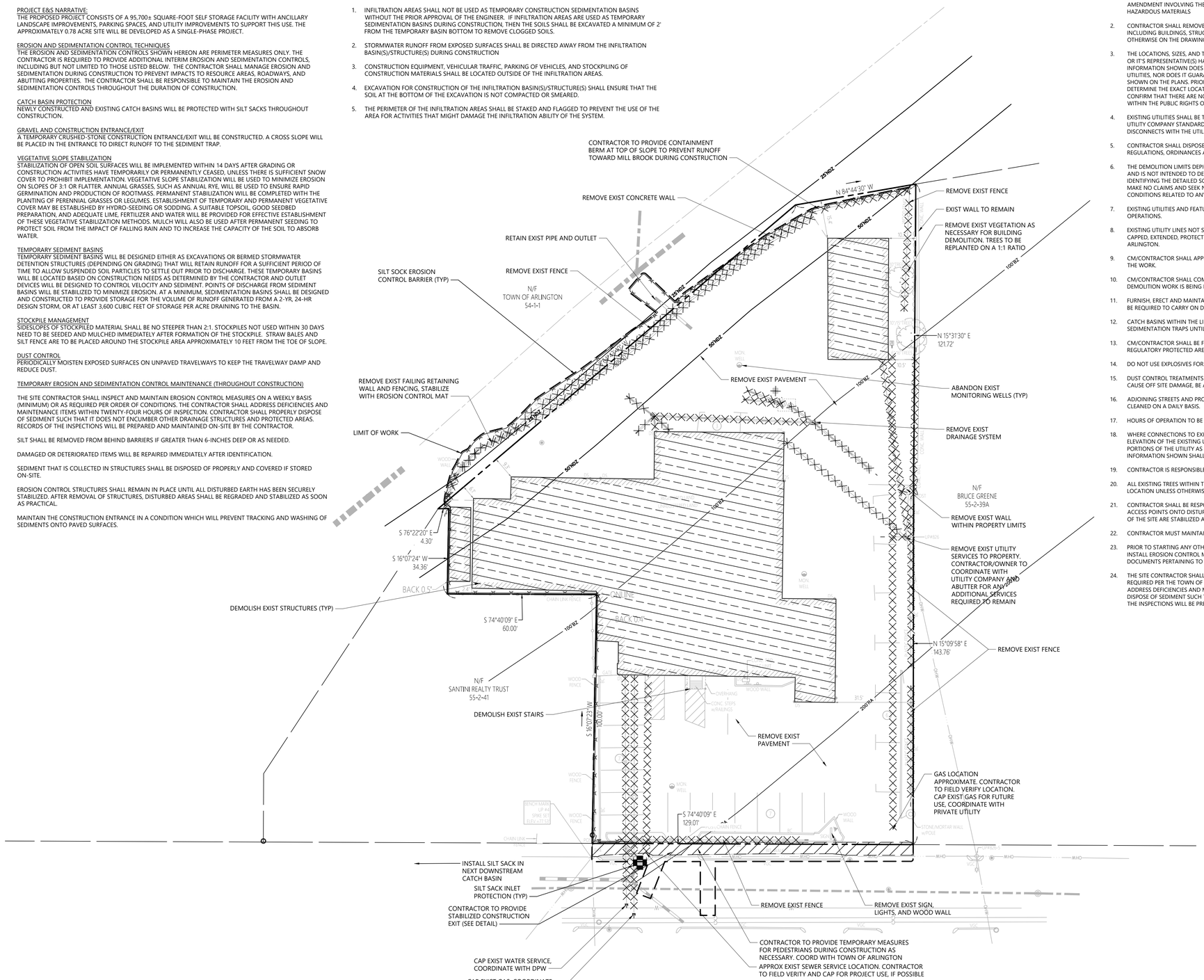
EROSION CONTROL STRUCTURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN SECURELY STABILIZED. AFTER REMOVAL OF STRUCTURES, DISTURBED AREAS SHALL BE REGRADED AND STABILIZED AS SOON AS PRACTICAL.

MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENTS ONTO PAVED SURFACES.

INFILTRATION AREA PROTECTION DURING CONSTRUCTION

FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S), CARE SHALL BE TAKEN IN THE INFILTRATION AREAS DURING CONSTRUCTION THE CONSTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPS):

1. INFILTRATION AREAS SHALL NOT BE USED AS TEMPORARY CONSTRUCTION SEDIMENTATION BASINS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. IF INFILTRATION AREAS ARE USED AS TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION, THEN THE SOILS SHALL BE EXCAVATED A MINIMUM OF 2' FROM THE TEMPORARY BASIN BOTTOM TO REMOVE CLOGGED SOILS.
2. STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THE INFILTRATION BASIN(S)/STRUCTURE(S) DURING CONSTRUCTION
3. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE OF THE INFILTRATION AREAS.
4. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S) SHALL ENSURE THAT THE SOIL AT THE BOTTOM OF THE EXCAVATION IS NOT COMPACTED OR SMEARED.
5. THE PERIMETER OF THE INFILTRATION AREAS SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF THE AREA FOR ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION ABILITY OF THE SYSTEM.



Site Preparation Notes:

1. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS
2. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF DEMOLITION INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
3. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
4. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
5. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
6. THE DEMOLITION LIMITS DEPICTED IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
7. EXISTING UTILITIES AND FEATURES TO REMAIN SHALL BE MAINTAINED AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
8. EXISTING UTILITY LINES NOT SPECIFICALLY NOTED OR SHOWN WHICH ARE ENCOUNTERED DURING CONSTRUCTION SHALL BE CAPPED, EXTENDED, PROTECTED, REMOVED, OR REWORKED AS DIRECTED OR REQUIRED BY THE OWNER OR THE TOWN OF ARLINGTON.
9. CM/CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS FROM LOCAL AND STATE AUTHORITIES TO COMPLETE THE WORK.
10. CM/CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS TO PROTECT THE PUBLIC WHILE DEMOLITION WORK IS BEING PERFORMED.
11. FURNISH, ERECT AND MAINTAIN ALL TEMPORARY BARRICADES, FENCES, COVERINGS, ENCLOSURES, SIGNS AND LIGHTING AS MAY BE REQUIRED TO CARRY ON DEMOLITION WORK IN A SAFE AND LEGAL MANNER.
12. CATCH BASINS WITHIN THE LIMIT OF WORK AND IN THE IMMEDIATE VICINITY OF THE LIMIT OF WORK SHALL BE FITTED WITH SEDIMENTATION TRAPS UNTIL THE SITE IS PERMANENTLY STABILIZED.
13. CM/CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
14. DO NOT USE EXPLOSIVES FOR BUILDING DEMOLITION.
15. DUST CONTROL TREATMENTS SHALL BE APPLIED AS NECESSARY TO CONTROL AND REDUCE THE AMOUNT OF DUST WHICH MAY CAUSE OFF SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE AND PLANT LIFE, OR POSE A HAZARD TO TRAFFIC SAFETY.
16. ADJOINING STREETS AND PROPERTIES SHALL BE KEPT FREE OF DEBRIS RESULTING FROM THE DEMOLITION AND SHALL BE BROOM CLEANED ON A DAILY BASIS.
17. HOURS OF OPERATION TO BE AS PER LOCAL ORDINANCE. CM/CONTRACTOR TO VERIFY PRIOR TO STARTING ON SITE OPERATIONS.
18. WHERE CONNECTIONS TO EXISTING UTILITIES ARE PROPOSED, THE CM/CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE EXISTING UTILITY AT THE CONNECTION POINT PRIOR TO ORDERING MATERIALS OR DEMOLISHING ANY UNUSED PORTIONS OF THE UTILITY AS SPECIFICALLY CALLED OUT ON THIS PLAN. DISCREPANCIES WITH THE EXISTING CONDITIONS INFORMATION SHOWN SHALL BE REPORTED TO THE ENGINEER FOR DIRECTION.
19. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SITE ACCESS AND SITE SECURITY AT ALL TIMES DURING CONSTRUCTION.
20. ALL EXISTING TREES WITHIN THE LIMIT OF DEMOLITION SHALL BE REMOVED AND DISPOSED OF OFF SITE AT A SAFE, APPROVED LOCATION UNLESS OTHERWISE NOTED.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING CONSTRUCTION EXITS AT ALL CONSTRUCTION VEHICLE ACCESS POINTS ONTO DISTURBED AREAS OF THE SITE. CONSTRUCTION EXITS SHALL BE MAINTAINED UNTIL DISTURBED PORTIONS OF THE SITE ARE STABILIZED AS DETERMINED BY THE ENGINEER
22. CONTRACTOR MUST MAINTAIN ALL EXISTING SERVICES TO THE ABUTTING PROPERTY.
23. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
24. THE SITE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE TOWN OF ARLINGTON CONSERVATION COMMISSION ORDER OF CONDITIONS. THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS. RECORDS OF THE INSPECTIONS WILL BE PREPARED AND MAINTAINED ON-SITE BY THE CONTRACTOR.

LEGEND

- XXXXX – TO BE REMOVED
- / / / / / / / / - UTILITIES TO BE ABANDONED IN PLACE
- CONCRETE TO BE REMOVED
- STRUCTURE TO BE REMOVED

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No.	Revision	Date	Appvd.
1	ARB COMMENTS	4/21/2022	EKG
2	ARB COMMENTS	5/9/2022	EKG

Designed by SJH
Checked by EKG
Issued for Local Approvals
Date February 9, 2022

Not Approved for Construction

Drawing Title
Site Preparation Plan

COMMONWEALTH OF MASSACHUSETTS
ERIC K. GERADE
CIVIL
NO. 47890
REGISTERED PROFESSIONAL ENGINEER
5/9/2022

Drawing Number
C2.01

Sheet 2 of 10

Project Number
52816.00

Zoning Summary Chart

Zoning District:	Industrial (I)
Overlay District:	Inland Wetland District

Zoning Regulation Requirements	Required*	Provided
MAXIMUM FRONT YARD SETBACK	10 Feet	10.0 Feet
MINIMUM FRONT YARD SETBACK	10 Feet	10.0 Feet
SIDE YARD SETBACK	10 Feet	10.0 Feet
REAR YARD SETBACK	10 Feet	12.4 Feet
MAXIMUM FLOOR AREA RATIO	3.0	2.72
MAXIMUM BUILDING HEIGHT	65 Feet, 5 Stories	61.5 Feet, 5 Stories **

* Zoning regulation requirements as specified in the Town of Arlington Zoning Bylaw, Amended on April 26, 2021, Section 5.6.2

** Building height is calculated as the vertical distance of the highest point of the roof above the average grade of the curb line abutting the property. Parapets excluded per Section 5.3.20. The average grade of the curb line abutting the property is 78.285'. Height of the building is 60.833' from a finished floor elevation of 79.0, therefore the building height to the average grade is 0.715' greater than the actual structure for a calculated zoning building height of 61.548'.

Inland Wetland District Performance Standards

	Existing	Proposed	Improvement
IMPERVIOUS AREA (50' SETBACK)	3790 SF	1253 SF	-2537 SF (66.9%)
IMPERVIOUS SETBACK	25.9 Feet	34.2 Feet	+8.3 Feet

Sign Summary

M.U.T.C.D. Number	Specification Width	Specification Height	Desc.
R1-1	30"	30"	STOP
R7-8	12"	18"	RESERVED PARKING
R7-8P	12"	6"	VAN ACCESSIBLE
SP-1	12"	18"	NO BOX TRUCKS GREATER THAN 26'

Building Sign Summary

ID Number	Sign Type	Specification Width	Specification Height	Specification Area	Desc.
1	Wall Sign	122"	46.5"	39.4 SF	ExtraSpace Storage
3	Wall Sign	30"	10"	2.1 SF	OFFICE

NOTE:

1. SIGNS FROM SIGN PACKAGE PREPARED BY ELRO SIGNS FOR EXTRASPACE STORAGE, 34 DUDLEY STREET, ARLINGTON, MA, DATED MARCH 31, 2022. REFER TO SIGN PACKAGE FOR SIGN DETAILS AND RENDERINGS.

Parking Summary Chart

Description	Size Required	Size Provided	Spaces Required	Spaces Provided
STANDARD SPACES [1]	8.5 x 18	8.5 x 18	93	18
COMPACT SPACES [2]	8 x 16	8 x 18	0	4
ACCESSIBLE SPACES [3]	8 x 18	8.5 x 18	-	1
TOTAL SPACES			93	23[5]
LOADING BAYS [4]			3	4
BICYCLE SPACES [5]			130	12[6]

1. PER SECTION 6.1.5, THE REDEVELOPMENT BOARD CAN GRANT A REDUCTION IN PARKING TO 25% OF THE REQUIRED SPACES.
2. PER SECTION 6.1.11.C.11, THE REDEVELOPMENT BOARD CAN GRANT 20% OF THE PARKING SPACES TO BE COMPACT.
3. ADA/STATE/LOCAL REQUIREMENTS. (1 ACCESSIBLE SPACE PER 1-25 TOTAL PARKING SPACES) PER § 208.2 OF 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
4. LOADING BAYS: THREE BAYS FOR BETWEEN 40,001 SF AND 120,000 SF
5. BICYCLE PARKING REQUIRED BASED ON 0.8/1,000 SF LONG TERM AND 0.6/1,000 SF SHORT TERM PARKING. 6 BICYCLE SPACES ARE PROVIDED BY THREE RACKS UNDER THE BUILDING OVERHANG. 4 BICYCLE SPACES ARE PROVIDED AT THE DRIVEWAY ENTRANCE. EMPLOYEE BICYCLE STORAGE WILL BE PROVIDED WITHIN A 10'x10' TENANT STORAGE UNIT THE BUILDING (2 SPACE MINIMUM).
6. WAIVERS REQUESTED FOR REDUCTION IN REQUIRED PARKING SPACES AND REDUCTION IN REQUIRED BICYCLE SPACES.

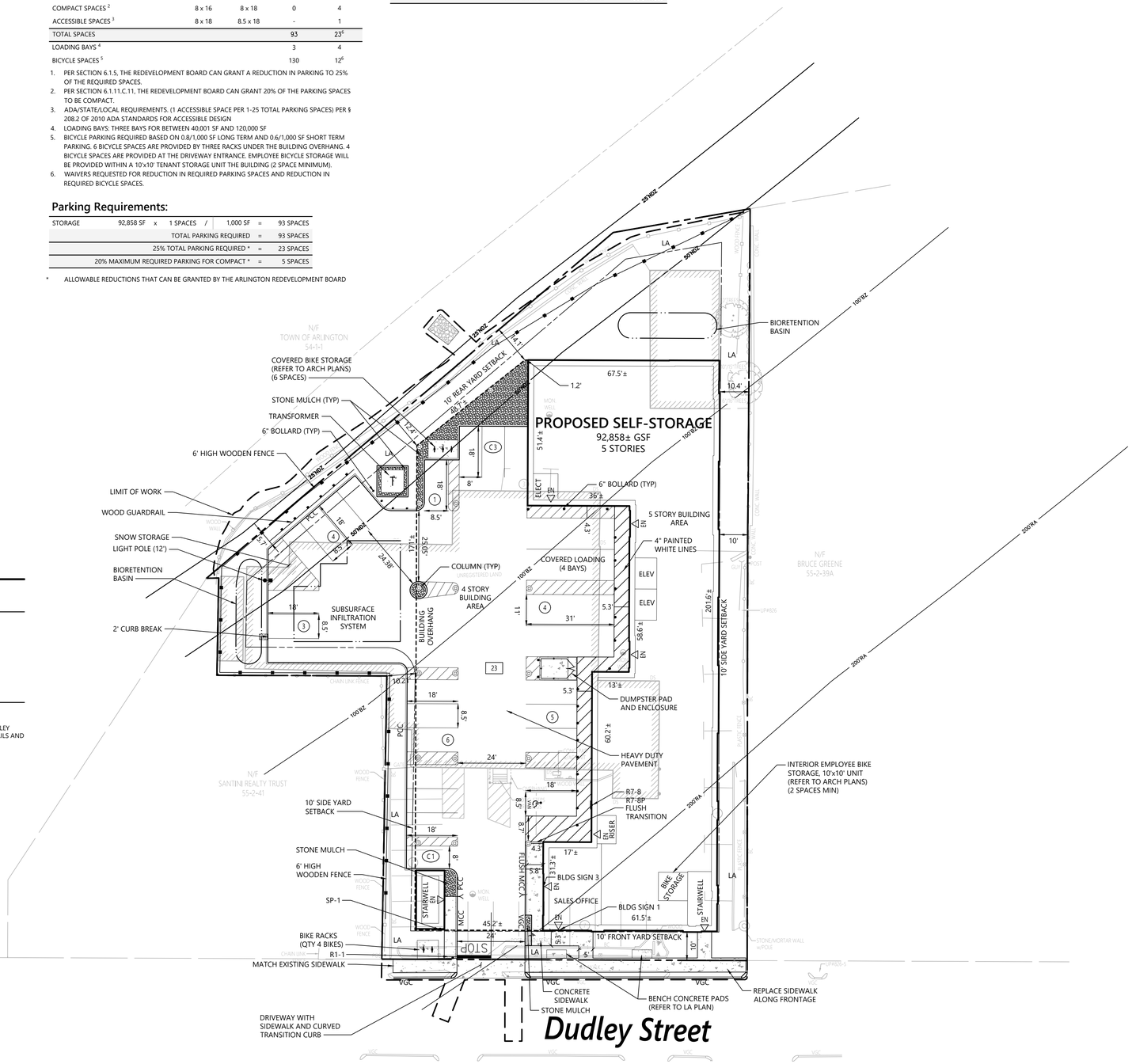
Parking Requirements:

STORAGE	92,858 SF	x	1 SPACES	/ 1,000 SF	=	93 SPACES
			TOTAL PARKING REQUIRED		=	93 SPACES
			25% TOTAL PARKING REQUIRED *		=	23 SPACES
			20% MAXIMUM REQUIRED PARKING FOR COMPACT *		=	5 SPACES

* ALLOWABLE REDUCTIONS THAT CAN BE GRANTED BY THE ARLINGTON REDEVELOPMENT BOARD

Bicycle Parking Requirements:

SHORT TERM	92,858 SF	x	0.60 SPACES	/ 1,000 SF	=	56 SPACES
LONG TERM	92,858 SF	x	0.80 SPACES	/ 1,000 SF	=	74 SPACES
			TOTAL BICYCLE PARKING REQUIRED		=	130 SPACES



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34 Dudley St
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No.	Revision	Date	Appvd.
1	ARB COMMENTS	4/21/2022	EKG
2	ARB COMMENTS	5/9/2022	EKG

Designed by SJH
Checked by EKG
Issued for Local Approvals
Date February 9, 2022

Not Approved for Construction

Drawing Title
Layout and Materials Plan

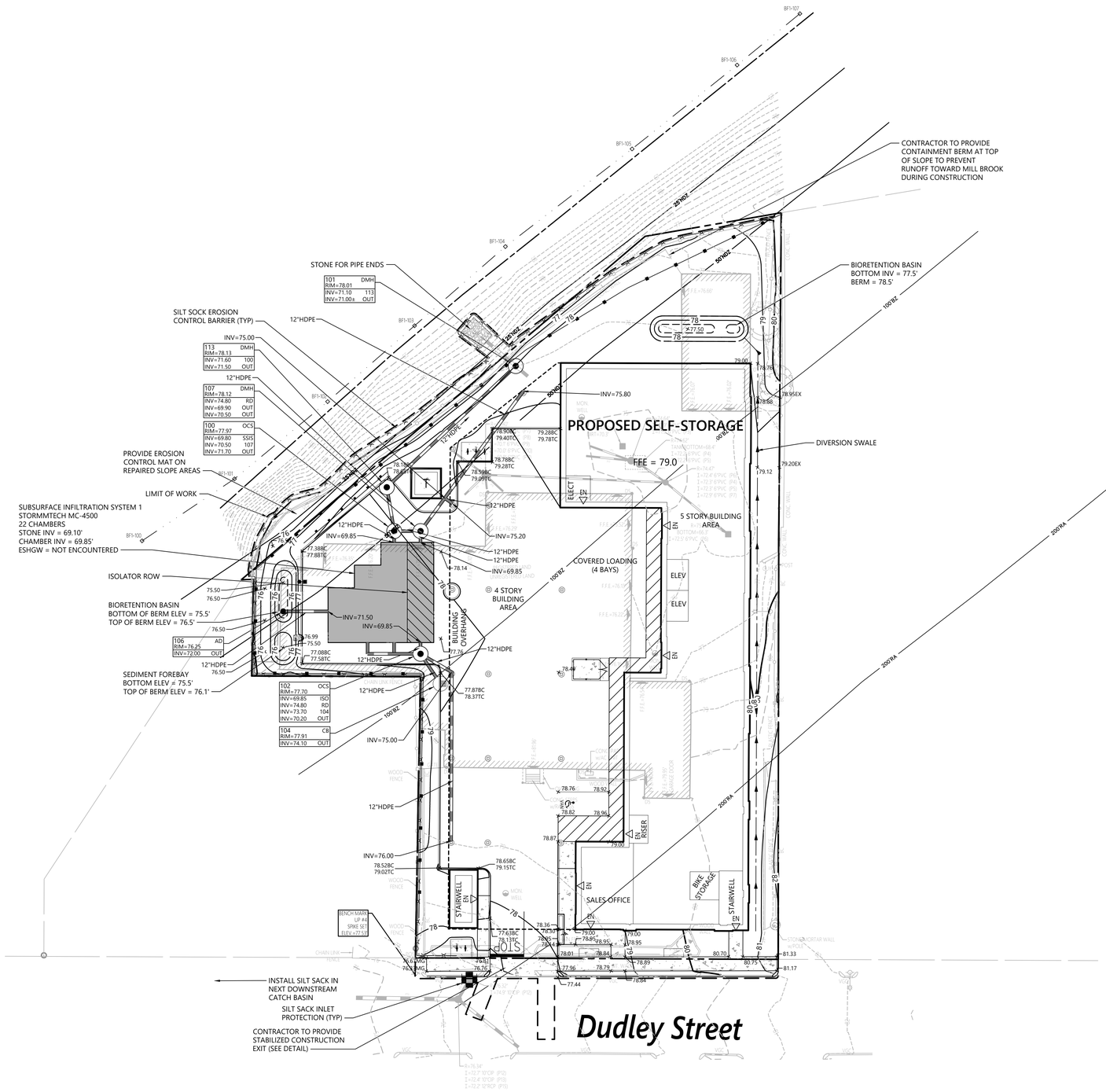
COMMONWEALTH OF MASSACHUSETTS
ERIC K. GERADE
CIVIL
No. 47800
REGISTERED PROFESSIONAL ENGINEER
5/9/2022

Drawing Number
C3.01

Sheet 3 of 10

Project Number
52816.00

vhb.com
vhb
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



0 10 20 40 Feet

Proposed Self-Storage Facility

34 Dudley St
Arlington, Massachusetts 02476

No.	Revision	Date	Appvd.
1	ARB COMMENTS	4/21/2022	EKG
2	ARB COMMENTS	5/9/2022	EKG

Designed by SJH
Checked by EKG

Issued for: Local Approvals
Date: February 9, 2022

Not Approved for Construction

Drawing Title
Grading, Drainage, and Erosion Control Plan

COMMONWEALTH OF MASSACHUSETTS
ERIC K. GERADE
CIVIL
NO. 37800
REGISTERED PROFESSIONAL ENGINEER
5/9/2022

Drawing Number
C4.01

Sheet 4 of 10

Project Number
52816.00

Saved Tuesday, May 10, 2022 8:49:36 AM MADAMS Plotted Tuesday, May 10, 2022 8:53:50 AM Muriel Adams

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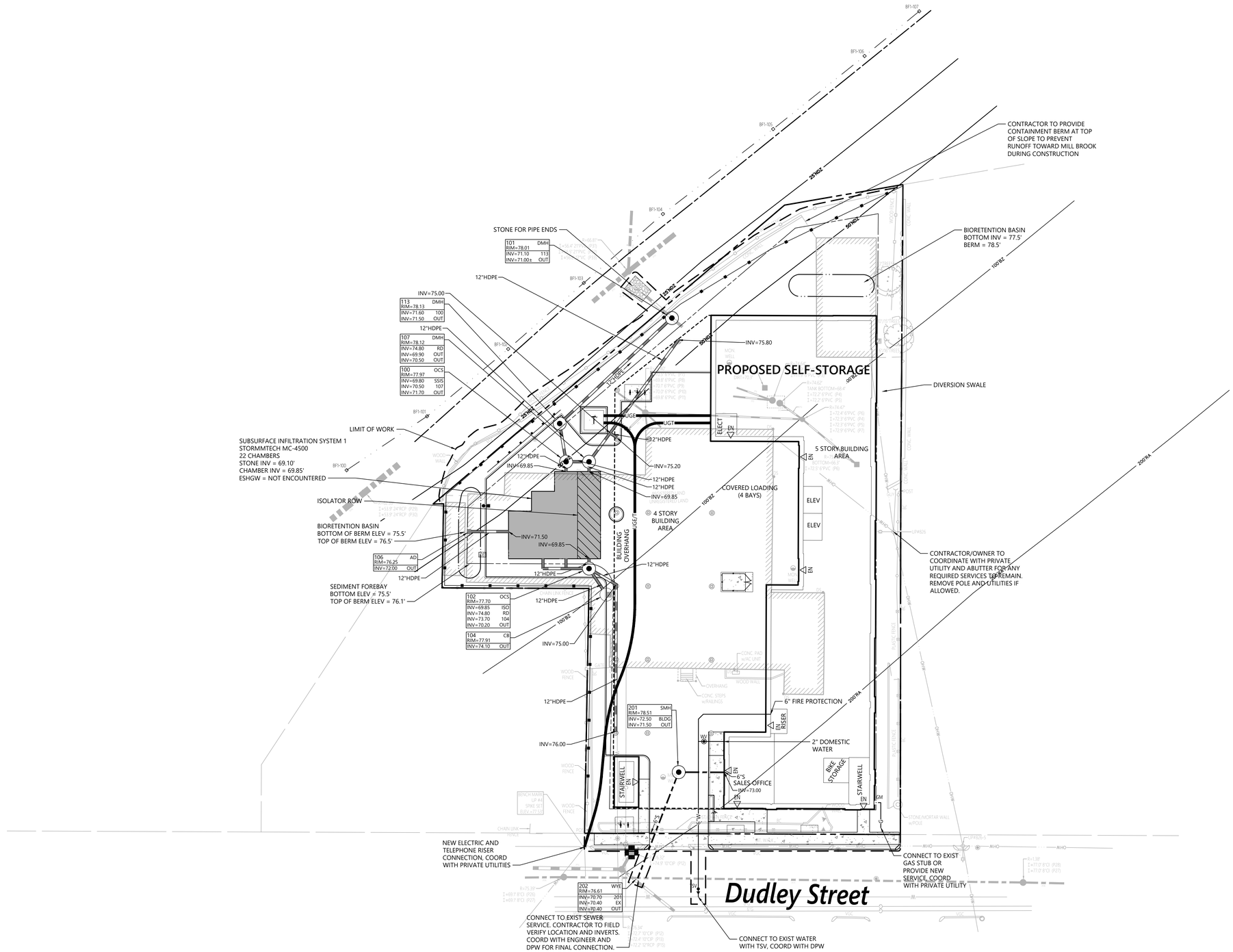

0 10 20 40 Feet

Proposed Self-Storage Facility

34 Dudley St
Arlington, Massachusetts 02476

No.	Revision	Date	Appvd.
1	ARB COMMENTS	4/21/2022	EKG
2	ARB COMMENTS	5/9/2022	EKG

Designed by SJH
Checked by EKG
Issued for Local Approvals
Date February 9, 2022

Not Approved for Construction

Drawing Title
Utility Plan

COMMONWEALTH OF MASSACHUSETTS
ERIC K. GERADE
CIVIL
NO. 47500
REGISTERED PROFESSIONAL ENGINEER
5/9/2022

Drawing Number
C5.01

Sheet 5 of 10

Project Number
52816.00

Saved Thursday, May 5, 2022 4:06:02 PM MADAMS Plotted Tuesday, May 10, 2022 8:54:11 AM Muriel Adams

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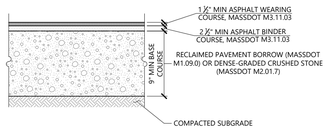


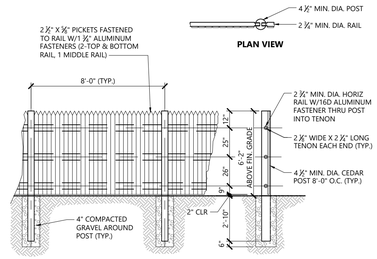
HEAVY DUTY FLEXIBLE PAVEMENT

NOTE

BASE COURSE FOR PAVEMENT SHOULD BE PLACED IN 12" THICK LOOSE LIFTS AND COMPACTED TO AT LEAST 95 PERCENT OF ITS MAXIMUM DRY DENSITY (MDD) AS DETERMINED BY ASTM D1557 METHOD C (MODIFIED PROTRACTOR).

Bituminous Concrete Pavement Section

N.T.S. Source: GeoEngineers, Inc.



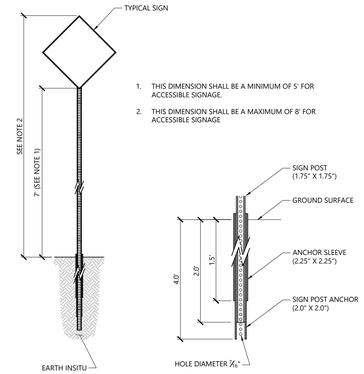
NOTES

1. ALL FENCING MATERIAL SHALL BE NORTHERN WHITE CEDAR, SAWN TO THE DIMENSIONS SHOWN ON THE DRAWING.
2. ALL FENCE POSTS SHALL BE TREATED WITH PRESERVATIVE PER MANUFACTURER'S RECOMMENDATION ON ALL SIDES FOR A DIMENSION OF 3'-0" FROM BUTT OF POST.
3. POSTS SHALL MAINTAIN A DEPTH OF 2'-10" IN GROUND AND SHALL NOT BE RACKED TO ACCOMMODATE CHANGES IN GRADE.
4. LINE OF FENCE TOP AND BOTTOM SHALL BE INSTALLED STRAIGHT AND TRUE. POSTS AND PICKETS SHALL BE INSTALLED PARALLEL AND PLUMB. RAILS SHALL BE INSTALLED PARALLEL TO GROUND SURFACE AND EACH OTHER.
5. GATE HARDWARE SHALL BE DOUBLE DIP HOT GALVANIZED. THE CONTRACTOR SHALL SUBMIT GATE AND FENCE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW.

6' Single Sided Stockade Fence

1/16

N.T.S. Source: VHB LD_470

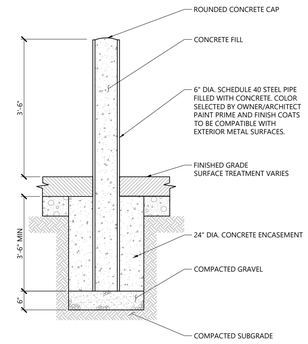


1. THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
2. THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE

Sign Post - Type 'B'

3/19

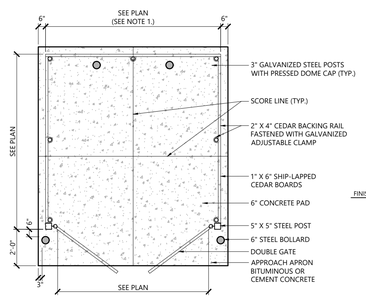
N.T.S. Source: VHB LD_702



Bollard

12/19

N.T.S. Source: VHB LD_700



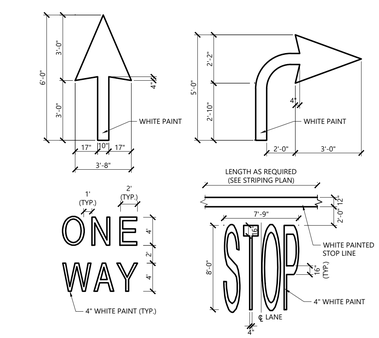
NOTES

1. DUMPSTER PAD DIMENSIONS SHOWN AS MINIMUM. REFER TO PLAN FOR ACTUAL DIMENSION.

Dumpster Pad w/ Enclosure

1/20

N.T.S. Source: VHB LD_713



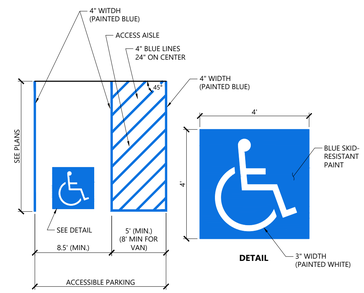
NOTES

1. PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

Painted Pavement Markings - On Site

1/16

N.T.S. Source: VHB LD_554



NOTES

1. ALL DIMENSIONS TO CENTER OF 4" PAVEMENT STRIPING.
2. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.

Accessible Parking Space

12/19

N.T.S. Source: VHB LD_552B

Proposed Self-Storage Facility

34 Dudley St
Arlington, Massachusetts 02476

No.	Revision	Date	Appvd.
1	ARB COMMENTS	4/21/2022	EKG
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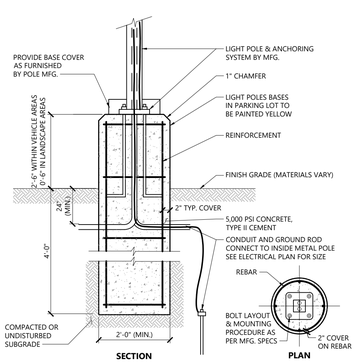
Designed by MEA
Checked by EKG

Issued for
Local Approvals

Date
February 9, 2022

Not Approved for Construction

Drawing Title
Site Details 1



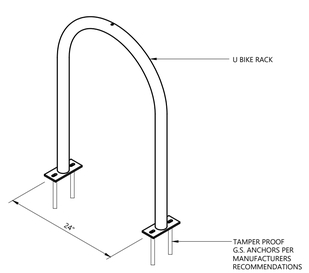
NOTES

DETAIL PROVIDED FOR GENERAL INFORMATION ONLY. CONTRACTOR TO PROVIDE STAMPED FINAL DESIGN OF LIGHT POLE FOUNDATION BASED ON RECOMMENDATIONS FROM THE GEOTECHNICAL ENGINEER.

Light Pole Foundation Detail (Up to 15' Pole)

12/19

N.T.S. Source: VHB LD_310A

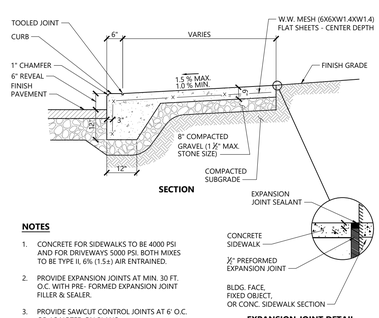


NOTES:

1. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
2. BIKE RACK TO BE U BICYCLE RACK, COLOR BLACK, BY MADRAX OR SIMILAR.

Inverted U Bicycle Rack

N.T.S. Source:



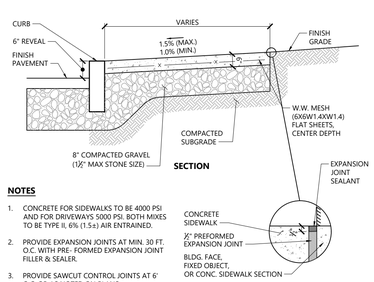
NOTES

1. CONCRETE FOR SIDEWALKS TO BE 4000 PSI AND FOR DRIVEWAYS 5000 PSI. BOTH MIXES TO BE TYPE II, 6% (1.5±) AIR ENTRAINED.
2. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE- FORMED EXPANSION JOINT FILLER & SEALER.
3. PROVIDE SAWCUT CONTROL JOINTS AT 6' O.C. OR AS NOTED ON PLANS.
4. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
5. ALL EXPOSED CONCRETE SURFACES SHALL BE SEALED WITH A SILANE-SILOXANE PRODUCT.

Monolithic Concrete Curb (MCC) & Sidewalk

3/20

N.T.S. Source: VHB LD_421



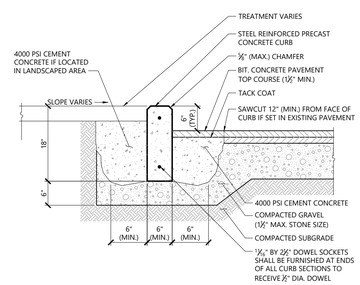
NOTES

1. CONCRETE FOR SIDEWALKS TO BE 4000 PSI AND FOR DRIVEWAYS 5000 PSI. BOTH MIXES TO BE TYPE II, 6% (1.5±) AIR ENTRAINED.
2. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE- FORMED EXPANSION JOINT FILLER & SEALER.
3. PROVIDE SAWCUT CONTROL JOINTS AT 6' O.C. OR AS NOTED ON PLANS.
4. PROVIDE MEDIUM BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
5. ALL EXPOSED CONCRETE SURFACES SHALL BE SEALED WITH A SILANE-SILOXANE PRODUCT.

Concrete Sidewalk

3/20

N.T.S. Source: VHB LD_420



Precast Concrete Curb (PCC)

3/20

N.T.S. Source: VHB LD_404

COMMONWEALTH OF MASSACHUSETTS
ERIC K. GERADE
CIVIL
NO. 47800
REGISTERED PROFESSIONAL ENGINEER
5/9/2022

Drawing Number
C6.01

Sheet 6 of 10

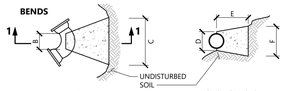
Project Number
52816.00

Saved Monday, May 9, 2022 11:36:48 AM MADAMS Plotted Tuesday, May 10, 2022 8:54:36 AM Muriel Adams

TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 11 1/4°	8"	15"	12"	24"	12"	6" 45°	8"	30"	12"	24"	14"
6" 22 1/2°	"	19"	"	"	13"	6" 90°	"	30"	"	"	27"
8" 11 1/4°	"	20"	"	"	12"	8" 45°	"	30"	"	"	24"
8" 22 1/2°	"	22"	"	"	17"	8" 90°	"	38"	"	"	36"
12" 11 1/4°	"	30"	"	"	15"	12" 45°	"	40"	"	"	40"
12" 22 1/2°	"	35"	"	"	25"	12" 90°	"	60"	"	"	52"

BENDS

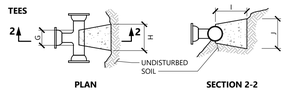


Plan SECTION 1-1

TABLE OF DIMENSIONS

TEES	G	H	I	J	TEES	G	H	I	J
6"X6"X6"	12"	24"	24"	18"	12"X12"X6"	12"	24"	24"	18"
8"X8"X6"	"	"	"	"	12"X12"X8"	"	"	"	24"
8"X8"X8"	"	"	"	24"	12"X12"X12"	"	36"	"	36"

TEES



PLAN SECTION 2-2

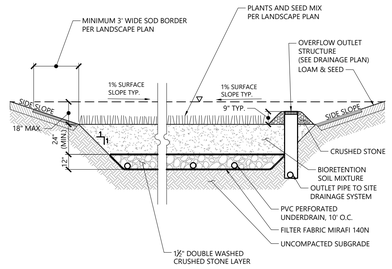
NOTES

1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
3. CONCRETE SHALL BE 3,000 PSI-TYPE I.

Concrete Thrust Block

1/16

N.T.S. Source: VHB LD_260



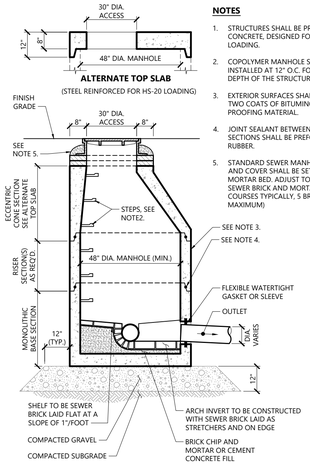
NOTES

1. INSTALL UNDERDRAINS AT 10 FEET ON CENTER. CONNECT TO DRAINS PER PLAN.
2. SIDE SLOPES SHALL BE 3:1 MAX. 2% MIN.

Bioretention Basin

3/20

N.T.S. Source: VHB LD_199



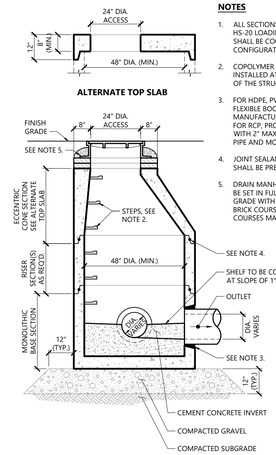
NOTES

1. STRUCTURES SHALL BE PRECAST CONCRETE, DESIGNED FOR HS-20 LOADING.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
5. STANDARD SEWER MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH SEWER BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)

Sanitary Sewer Manhole (SMH)

1/16

N.T.S. Source: VHB LD_200



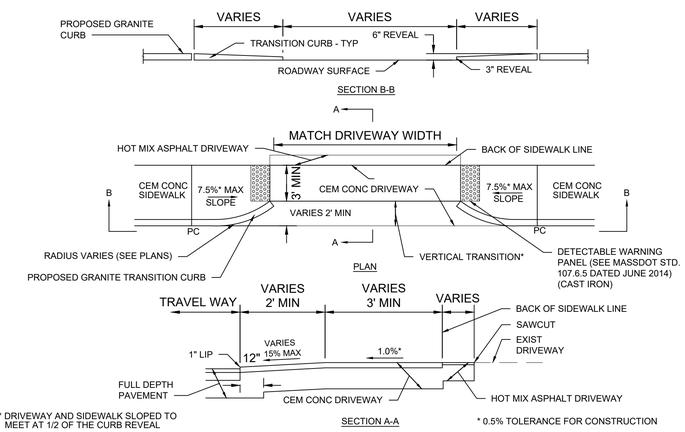
NOTES

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING. DIAMETER OF STRUCTURES SHALL BE COORDINATED WITH PIPE CONFIGURATIONS.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. FOR HDPE, PVC, AND DI PIPE, PROVIDE FLEXIBLE BOOT CONNECTION INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FOR RCP, PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE AND MORTAR CONNECTIONS.
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)

Drain Manhole (DMH)

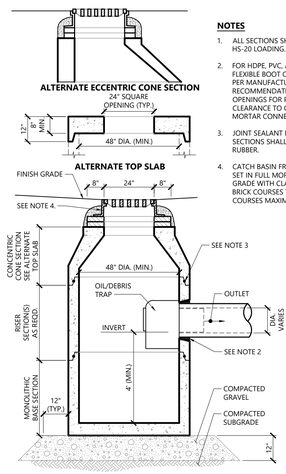
11/19

N.T.S. Source: VHB LD_115



Typical Driveway with Sidewalk and Curved Transition Curb

N.T.S.



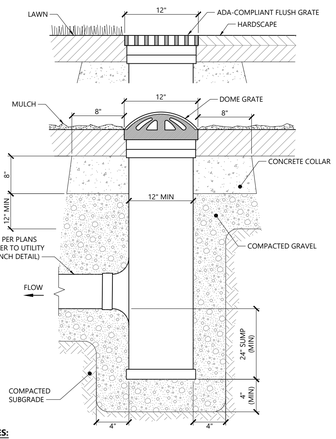
NOTES

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. FOR HDPE, PVC, AND DI PIPE, PROVIDE FLEXIBLE BOOT CONNECTION INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FOR RCP, PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE AND MORTAR CONNECTIONS.
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
4. CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES MAXIMUM).

Catch Basin (CB) With Oil/Debris Trap

3/21

N.T.S. Source: VHB LD_101



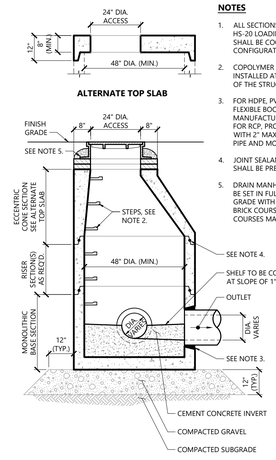
NOTES:

1. AREA DRAINS SHALL BE NYLOPLAST 12" DIAMETER DRAIN BASIN, OR APPROVED EQUAL.
2. GRATES SHALL BE NYLOPLAST 12" PEDESTRIAN MODEL 1299CGP OR 12" DOME GRATE MODEL 1299CGD (OR APPROVED EQUAL).

Area Drain (AD) Type 1

12/19

N.T.S. Source: VHB LD_193



NOTES

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING. DIAMETER OF STRUCTURES SHALL BE COORDINATED WITH PIPE CONFIGURATIONS.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. FOR HDPE, PVC, AND DI PIPE, PROVIDE FLEXIBLE BOOT CONNECTION INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FOR RCP, PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE AND MORTAR CONNECTIONS.
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)

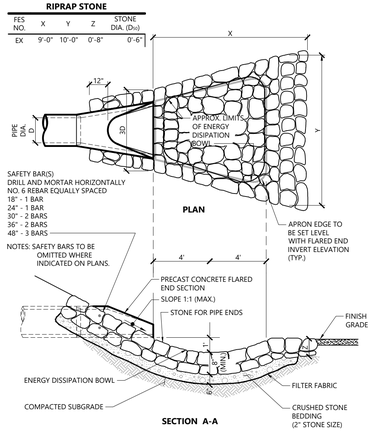
Drain Manhole (DMH)

11/19

N.T.S. Source: VHB LD_115

RIPRAP STONE

FES NO.	X	Y	Z	STONE DIA. (D_{50})
EX	9'-0"	10'-0"	0'-8"	0'-6"



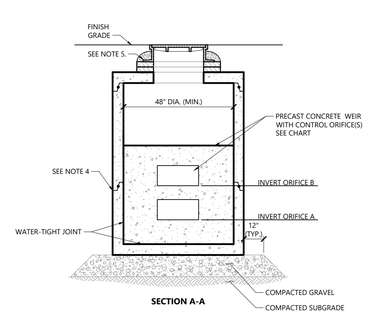
Flared End Section (FES) with Stone Protection

3/19

N.T.S. Source: VHB REV LD_134

OUTLET STRUCTURE CHART

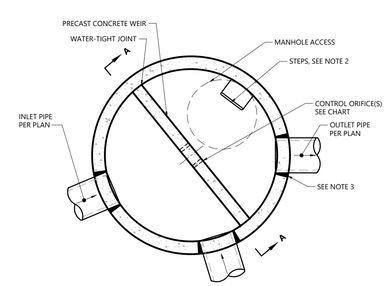
DETENTION BASIN	STRUCTURE NUMBER	TOP OF WEIR ELEVATION	DIMENSIONS ORIFICE A	INVERT ORIFICE A	DIMENSIONS ORIFICE B	INVERT ORIFICE B
SSIS 1	100	75.9	6.5" x 4"	71.7	5.5" x 6"	73.4



Outlet Control Structure with Weir (OCS)

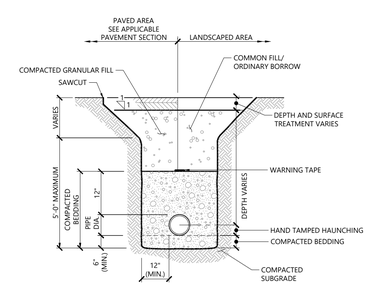
3/20

N.T.S. Source: VHB LD_162A



NOTES

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING. DIAMETER OF STRUCTURES SHALL BE COORDINATED WITH PIPE CONFIGURATIONS.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. FOR HDPE, PVC, AND DI PIPE, PROVIDE FLEXIBLE BOOT CONNECTION INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FOR RCP, PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE AND MORTAR CONNECTIONS.
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)



NOTES

1. WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
2. USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
3. COMPACTED GRANULAR FILL MAY CONSIST OF GRAVEL, CRUSHED STONE, SAND, OR OTHER MATERIAL AS APPROVED BY ENGINEER.

Utility Trench

11/19

N.T.S. Source: VHB LD_300

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Proposed Self-Storage Facility

34 Dudley St
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No.	Revision	Date	Appvd.
1	ARB COMMENTS	4/21/2022	EKG

Designed by MEA
Checked by EKG
Issued for Local Approvals
Date February 9, 2022

Not Approved for Construction

Drawing Title
Site Details 2

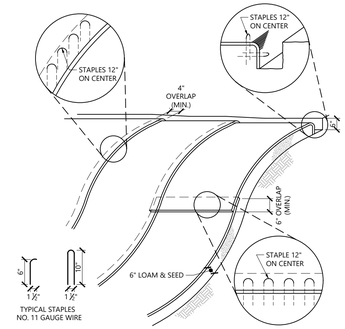
COMMONWEALTH OF MASSACHUSETTS
ERIC K. GERADE
CIVIL
NO. 37060
REGISTERED PROFESSIONAL ENGINEER
4/21/2022

Drawing Number
C6.02

Sheet 7 of 10

Project Number
52816.00

Saved Thursday, April 21, 2022 3:25:00 PM EGERADE Plotted Thursday, April 21, 2022 3:33:35 PM Eric Gerade



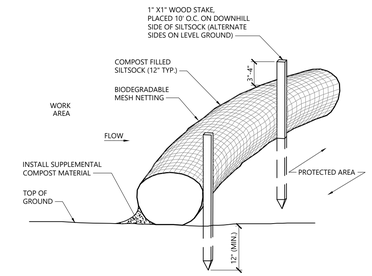
NOTES

1. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH BACKFILL AND COMPACT TRENCH AFTER STAPLING.
2. ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
3. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
4. WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP AND STAPLE BOTH TOGETHER.
5. METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
6. EROSION CONTROL BLANKETS SHALL BE USED IN ALL AREAS WHERE SLOPES EXCEED 3:1.

Erosion Control Blanket Slope Installation

10/20

N.T.S. Source: VHB LD_680



NOTES

1. SILTSOCK SHALL BE FILTREXX SILTSOXX, OR APPROVED EQUAL.
2. SILTSOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
3. SILTSOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
4. UPON SITE STABILIZATION, COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsock - Erosion Control Barrier

10/20

N.T.S. Source: VHB LD_658

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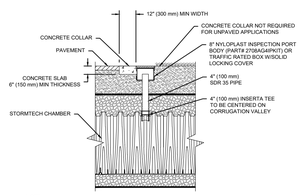
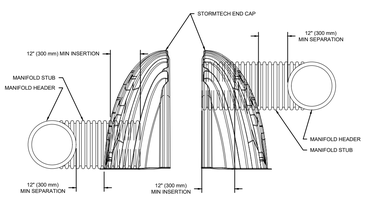


NOTE:
INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION VALLEY.

Stormtech Inspection Port

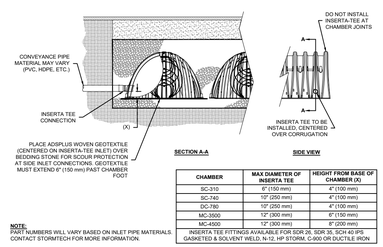
N.T.S. Source: Stormtech



NOTE: MANIFOLD STUB MUST BE LAID HORIZONTAL FOR A PROPER FIT IN END CAP OPENING.

Stormtech End Cap Insertion

N.T.S. Source: Stormtech

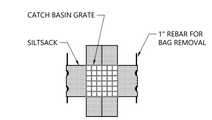


CHAMBER	MAX DIAMETER OF INSERTA TEE	HEIGHT FROM BASE OF CHAMBER (X)
SC-310	6" (150 mm)	4" (100 mm)
SC-740	10" (250 mm)	4" (100 mm)
DC-780	10" (250 mm)	4" (100 mm)
MC-3500	12" (300 mm)	6" (150 mm)
MC-4500	12" (300 mm)	8" (200 mm)
INSERTA TEE FITTINGS AVAILABLE FOR SDR 26, SDR 35, SCH 40 IPS GASKETED & SOLVENT WELD, N-12, HP STORM, C-900 OR DUCTILE IRON		

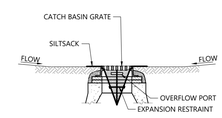
NOTE:
PART NUMBERS WILL VARY BASED ON INLET PIPE MATERIALS. CONTACT STORMTECH FOR MORE INFORMATION.

Stormtech Inserta-Tee Side Inlet

N.T.S. Source: Stormtech



PLAN VIEW



SECTION VIEW

NOTES

1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
2. GRATE TO BE PLACED OVER SILTSACK.
3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED

Siltsack Sediment Trap

1/20

N.T.S. Source: VHB LD_674

Proposed Self-Storage Facility

34 Dudley St
Arlington, Massachusetts 02476

No.	Revision	Date	Appvd.
1	ARB COMMENTS	4/21/2022	EKG

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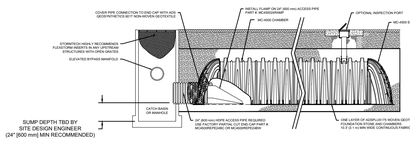


INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
  - A.1 REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
  - A.2 REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
  - A.3 USING FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON INSPECTION LOG
  - A.4 LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
  - A.5 IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
  - B.1 REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
  - B.2 USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
    - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
    - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
  - B.3 IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

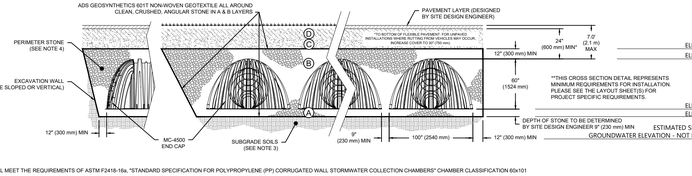
StormTech MC-4500 Isolator Row Profile

N.T.S. Source: StormTech

ACCEPTABLE FILL MATERIALS: STORMTECH MC-4500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	**FINAL FILL:** FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	**INITIAL FILL:** FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145[1] A-1, A-2-4, A-3 OR AASHTO M43[1] 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTING AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	**EMBEDMENT STONE:** FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43[1] 3, 4	NO COMPACTION REQUIRED.
A	**FOUNDATION STONE:** FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43[1] 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.[2,3]

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

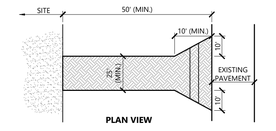


NOTES:

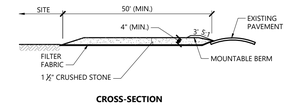
1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101
2. MC-4500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
   - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
   - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
   - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/IN/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

Subsurface Detention/Infiltration System (StormTech MC-4500)

N.T.S. Source: StormTech



PLAN VIEW



CROSS-SECTION

NOTES

1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit

1/16

N.T.S. Source: VHB LD_682

Saved Thursday, April 21, 2022 3:25:00 PM EGERADE Plotted Thursday, April 21, 2022 3:33:45 PM Eric Gerade

Planting Notes

1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Plant Maintenance Notes

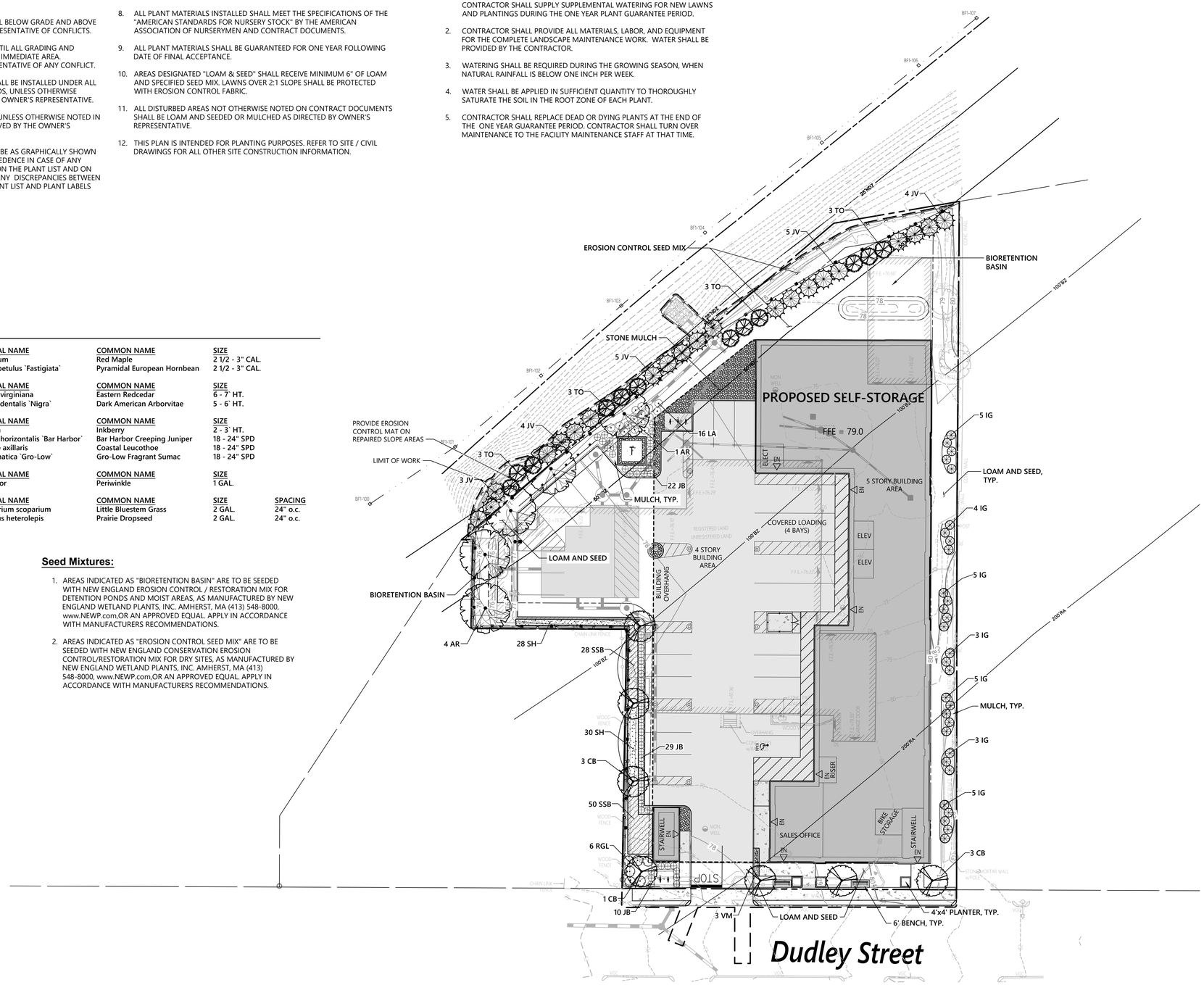
1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
AR	5	Acer rubrum	Red Maple	2 1/2 - 3" CAL.	
CB	7	Carpinus betulus `Fastigiata`	Pyramidal European Hornbean	2 1/2 - 3" CAL.	
EVERGREEN TREES	**QTY**	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	
JV	21	Juniperus virginiana	Eastern Redcedar	6 - 7` HT.	
TO	12	Thuja occidentalis `Nigra`	Dark American Arborvitae	5 - 6` HT.	
SHRUBS	**QTY**	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	
IG	30	Ilex glabra	Inkberry	2 - 3` HT.	
JB	61	Juniperus horizontalis `Bar Harbor`	Bar Harbor Creeping Juniper	18 - 24" SPD	
LA	16	Leucothoe axillaris	Coastal Leucothoe	18 - 24" SPD	
RGL	6	Rhus aromatica `Gro-Low`	Gro-Low Fragrant Sumac	18 - 24" SPD	
GROUNDCOVER	**QTY**	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	
VM	3	Vinca minor	Periwinkle	1 GAL.	
ORNAMENTAL GRASSES	**QTY**	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**SPACING**
SSB	78	Schizachyrium scoparium	Little Bluestem Grass	2 GAL.	24" o.c.
SH	58	Sporobolus heterolepis	Prairie Dropseed	2 GAL.	24" o.c.

Seed Mixtures:

1. AREAS INDICATED AS "BIORETENTION BASIN" ARE TO BE SEEDED WITH NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DETENTION PONDS AND MOIST AREAS, AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. AMHERST, MA (413) 548-8000, www.NEWP.com,OR AN APPROVED EQUAL. APPLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
2. AREAS INDICATED AS "EROSION CONTROL SEED MIX" ARE TO BE SEEDED WITH NEW ENGLAND CONSERVATION EROSION CONTROL/RESTORATION MIX FOR DRY SITES, AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. AMHERST, MA (413) 548-8000, www.NEWP.com,OR AN APPROVED EQUAL. APPLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.



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Proposed Self-Storage Facility

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No.	Revision	Date	Appvd.
1	ARB COMMENTS	4/21/2022	EKG
2	ARB COMMENTS	5/9/2022	EKG

Designed by: SJH
Checked by: EKG
Issued for: Local Approvals
Date: February 9, 2022

Not Approved for Construction

Drawing Title: Planting Plan

MASSACHUSETTS EDWARD BEDNARZ NO. 1508 REGISTERED LANDSCAPE ARCHITECT 5/9/2022

Drawing Number: L1.01

Sheet 9 of 10

Project Number: 52816.00

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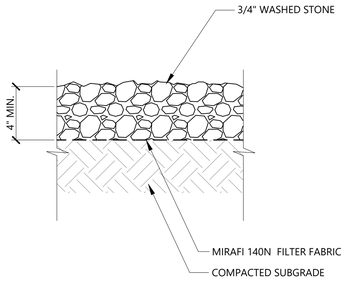
Watertown, MA 02471
617.924.1770



NOTES

1. EDGE CONDITIONS VARIES. WHERE STONE MUCH DOES NOT ABUT CURB OR BUILDING FACE PROVIDE 12" LONG STEEL EDGING

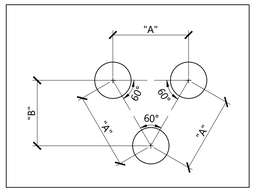
Stone Mulch

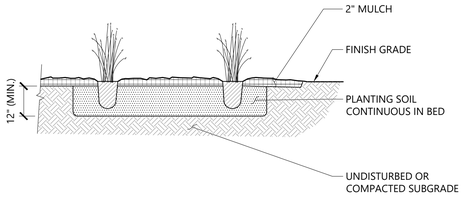
11/15

N.T.S. Source: VHB LD_

PLANT SPACING

PLANT SPACING("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8 ½ IN. O.C.
12 IN. O.C.	10 ½ IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.
30 IN. O.C.	26 IN. O.C.
36 IN. O.C.	30 IN. O.C.
48 IN. O.C.	42 IN. O.C.
54 IN. O.C.	48 IN. O.C.
60 IN. O.C.	54 IN. O.C.

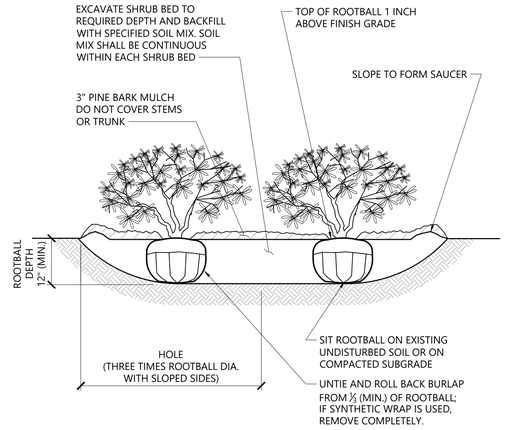




Perennial and Ornamental Grass Planting

1/16

N.T.S. Source: VHB LD_618



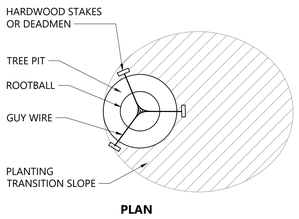
NOTES

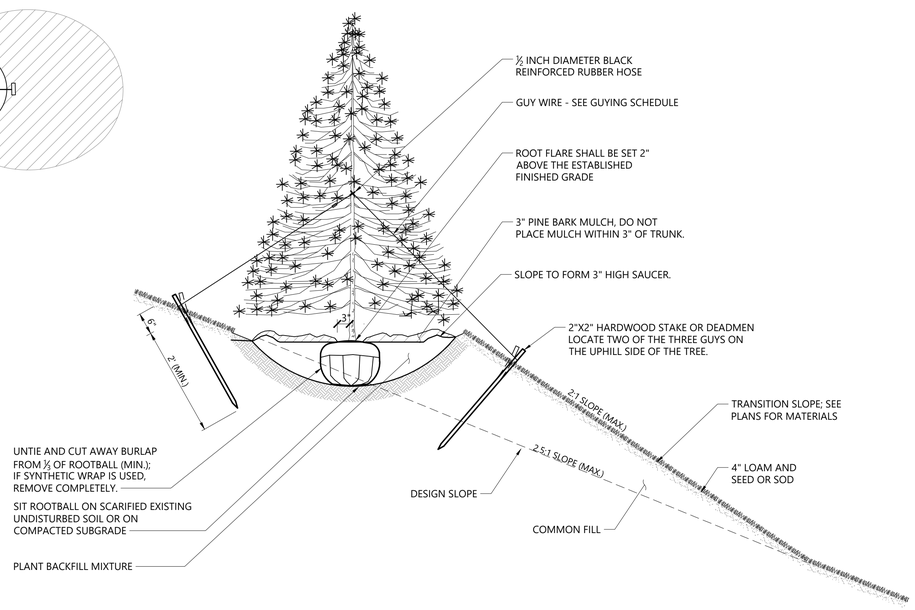
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Bed Planting

1/16

N.T.S. Source: VHB LD_601

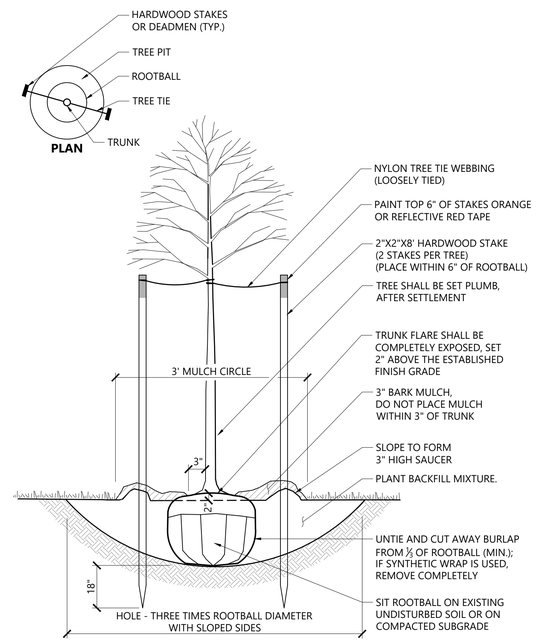




Tree Planting on Slope

1/16

N.T.S. Source: VHB LD_605



Tree Planting (For Trees Under 4" Caliper)

9/21

N.T.S. Source: VHB LD_602

Proposed Self-Storage Facility

34 Dudley St
Arlington, Massachusetts 02476

No.	Revision	Date	Appvd.

Designed by SJH
Checked by EKG
Issued for Local Approvals
Date February 9, 2022

Not Approved for Construction

Drawing Title
Planting Details

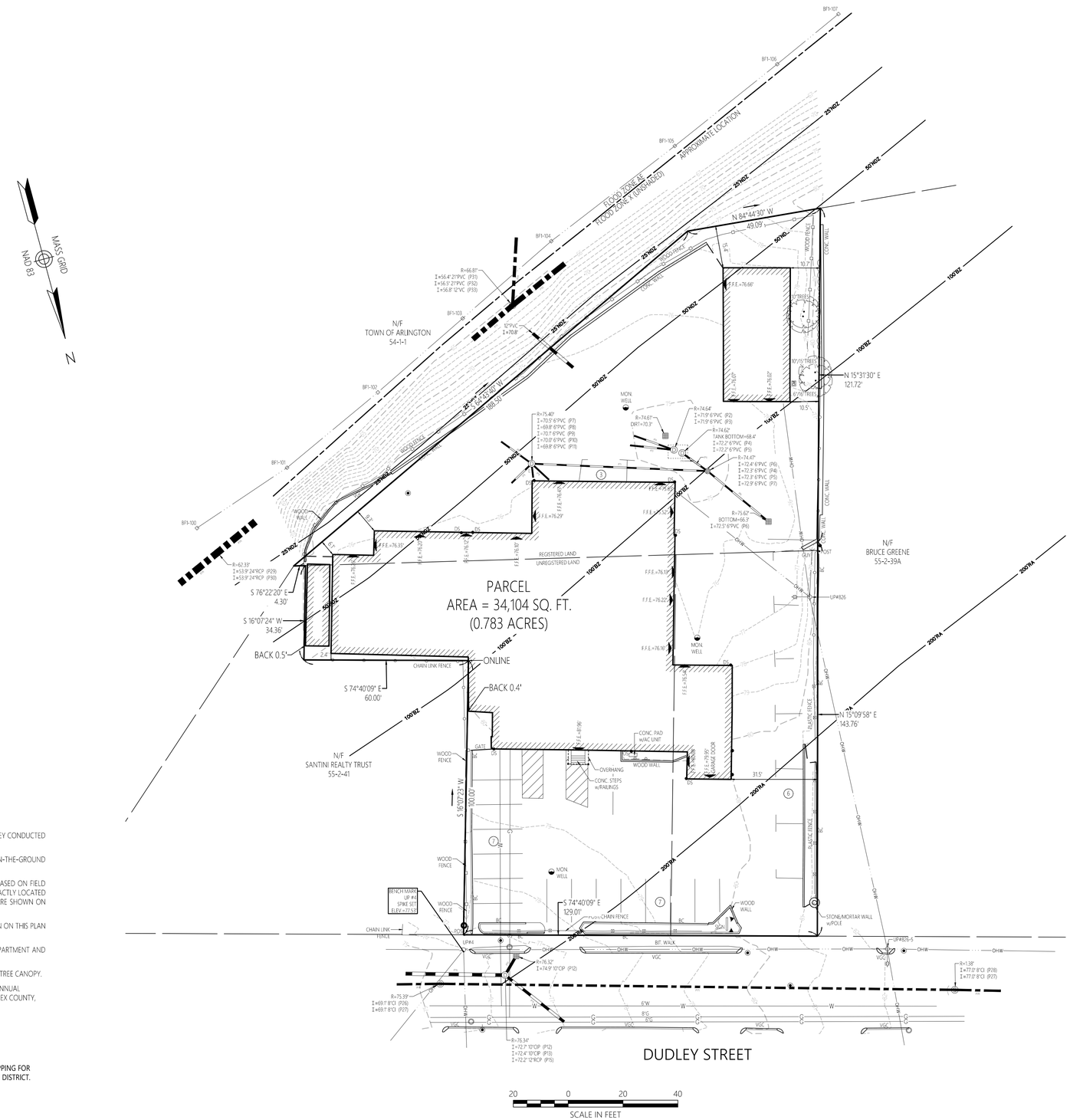
Drawing Number
L2.01

Sheet 10 of 10

Project Number
52816.00

MASSACHUSETTS REGISTERED LANDSCAPE ARCHITECT NO. 1508 ERIK BEDNAREK
2/9/2022

Saved Tuesday, February 8, 2022 10:57:43 AM WHAGEN Plotted Tuesday, February 8, 2022 3:35:14 PM Win Hagen



General Notes

1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN OCTOBER, 2021 AND FROM DEEDS AND PLANS OF RECORD.
2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN OCTOBER, 2021.
3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
5) THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED BY VHB ENVIRONMENTAL DEPARTMENT AND FIELD SURVEYED BY VHB IN OCTOBER, 2021.
6) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
7) THE LOT LIES ENTIRELY WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0416E, EFFECTIVE DATE JUNE 4, 2010.

Zoning

THE LOT LIES ENTIRELY WITHIN THE INDUSTRIAL DISTRICT (I) AS SHOWN ON GIS MAPPING FOR THE TOWN OF ARLINGTON MASSACHUSETTS" AND THE INLAND WETLAND OVERLAY DISTRICT. DIMENSIONAL REQUIREMENTS FOR A (I) AT THE TIME OF THIS SURVEY ARE:

	REQUIRED	EXISTING
MINIMUM LOT AREA	N/A	34,104 S.F
MINIMUM FRONTAGE	N/A	129.01 FEET
MINIMUM FRONT YARD SETBACK	10 FEET	57.0 FEET
MINIMUM SIDE YARD SETBACK	10 FEET	0.0 FEET
MINIMUM REAR YARD SETBACK	10 FEET	6.1 FEET
MAXIMUM BUILDING HEIGHT	65*/39 FEET	23.8 FEET

*SUBJECT TO AMENITY REQUIREMENTS IN SECTION 5.6.2 D(7)

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Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HH HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- BOLLARD w/LIGHT
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- MARSH
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- DYL DOUBLE YELLOW LINE
- DWL DASHED WHITE LINE
- SYL SINGLE YELLOW LINE
- LSA LANDSCAPED AREA
- EOP EDGE OF PAVEMENT
- CC CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- SGE SLOPED GRANITE EDGE
- BB BITUMINOUS BERM
- BC BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OHW OVERHEAD WIRE
- E UNDERGROUND ELECTRIC
- T TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- STONE WALL
- TREE LINE
- 100'BZ 100-FT BUFFER ZONE
- 100'RA 100-FT RIVER FRONT AREA
- 200'RA 200-FT RIVER FRONT AREA
- BF1-100 LIMIT MEAN ANNUAL HIGH WATER
- BF1-100 LIMIT OF BANK
- WF1-100 VEGETATED WETLAND BOUNDARY

Self-Storage

34 Dudley Street
Arlington, Massachusetts

No.	Revision	Date	Appvd.

Designed by | Checked by
Issued for | Date
October 28, 2021

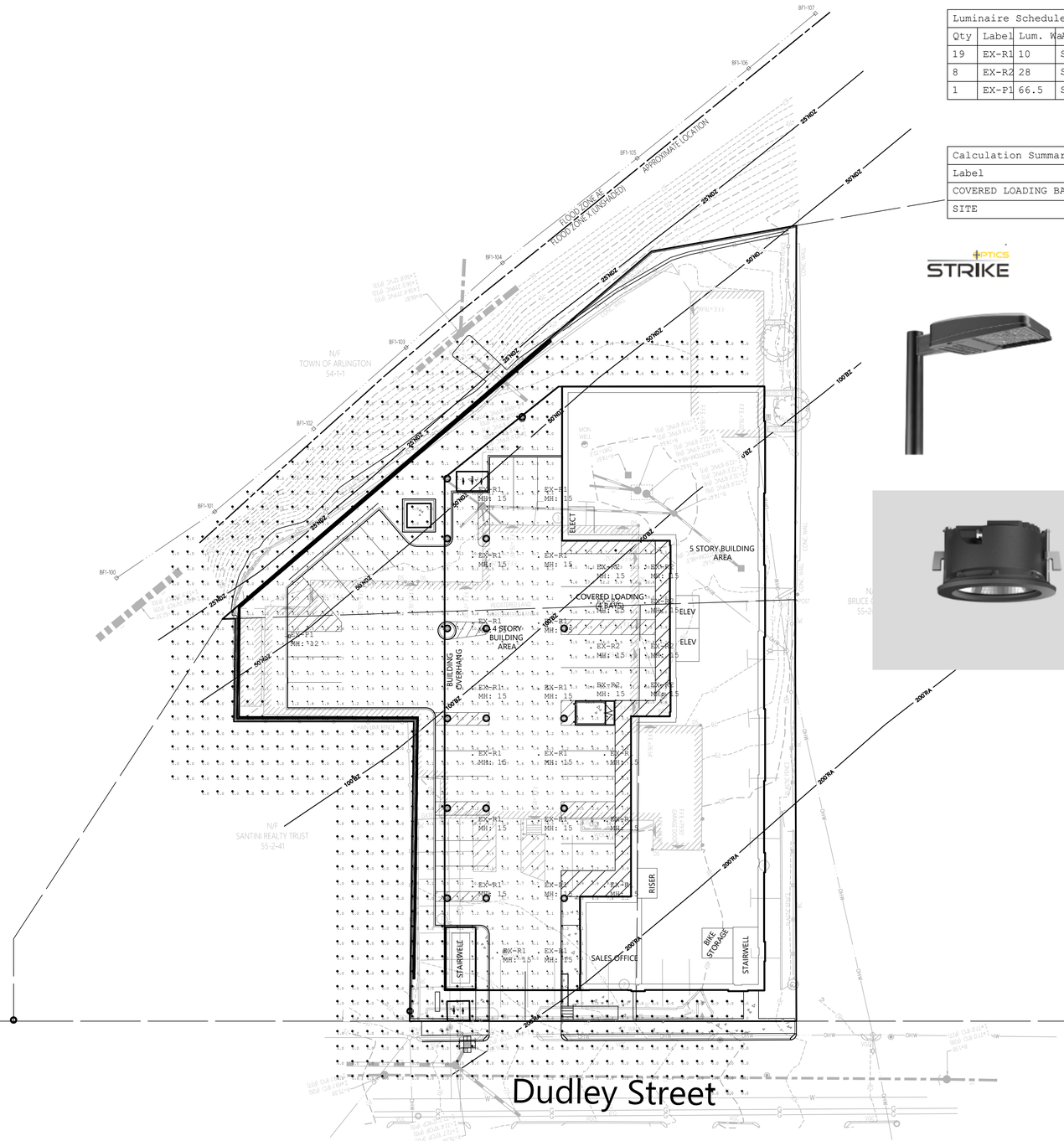
Drawing Title
Existing Conditions Plan of Land

Drawing Number
Sv-1

COMMONWEALTH OF MASSACHUSETTS
RUSSELL J. BOUSQUET
NO. 35369
REGISTERED PROFESSIONAL LAND SURVEYOR
2-7-2022

Sheet 1 of 1

Project Number
52816.00



Luminaire Schedule					
Qty	Label	Lum. Watts	Arrangement	LLF	Description
19	EX-R1	10	SINGLE	0.900	24823_BEGA_IES
8	EX-R2	28	SINGLE	0.900	24827_BEGA
1	EX-P1	66.5	SINGLE	0.900	VP-S-36L-65-4K7-4W-BC

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
COVERED LOADING BAYS	Fc	10.94	36.3	1.7	6.44	21.35
SITE	Fc	0.85	10.8	0.0	N.A.	N.A.

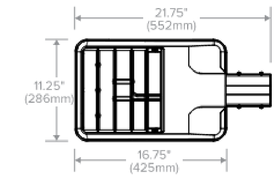
OPTICS STRIKE

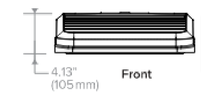
VIPER S

SMALL VIPER LUMINAIRE

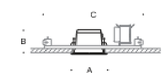
CATALOG #:

DIMENSIONS





Weight	15.0 lbs (6.8 kg)
EPA	.67 ft²



LED recessed ceiling downlights · wide beam

	LED	β	A	B	C
24827	24.5W	29°	6⅞	5	18

β = Beam angle

Project:
Arlington Self Storage - 34 Dudley Street - Site

Contact:
Paul Abdella
Specification Sales
(781) 272-2300 X208
pabdella@omnilite.com

Detail: Photometric Calculation
Date: 02/09/2022
Revision: 04/21/2022
Scale: 1" = 20'-0"
Drawn By: SHJ

illuminate
44 Sixth Road
Woburn, MA 01801
(781) 935-8500

333 Pleasant Valley Road
South Windsor, CT 06074
(860) 282-0597

Drawing Number:

SL-1

Sheet 1 of 1

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mint hill, nc 28227
704-578-2851

1st. FLOOR GROSS	
9,067 sq.ft. - Storage	
907 sq.ft. - Office	
9,974 sq. ft	TOTAL

BUILDING GROSS	
91,754 sq.ft. - Storage	
907 sq.ft. - Office	
92,858 sq. ft	TOTAL

PREMIER STORAGE INVESTORS

SELF STORAGE

ARLINGTON, MASSACHUSETTS
Project No. 21-033

REGISTERED ARCHITECT JAN MICHAEL BRAUN No. 953114 MINT HILL, NC COMMONWEALTH OF MASSACHUSETTS
05/09/22

Local Approvals Submission
May 09, 2022

REVISIONS

No.	Description	Date

1st. FLOOR PLAN

A-101

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1 1st. FLOOR PLAN scale: 3/32"=1'-0"

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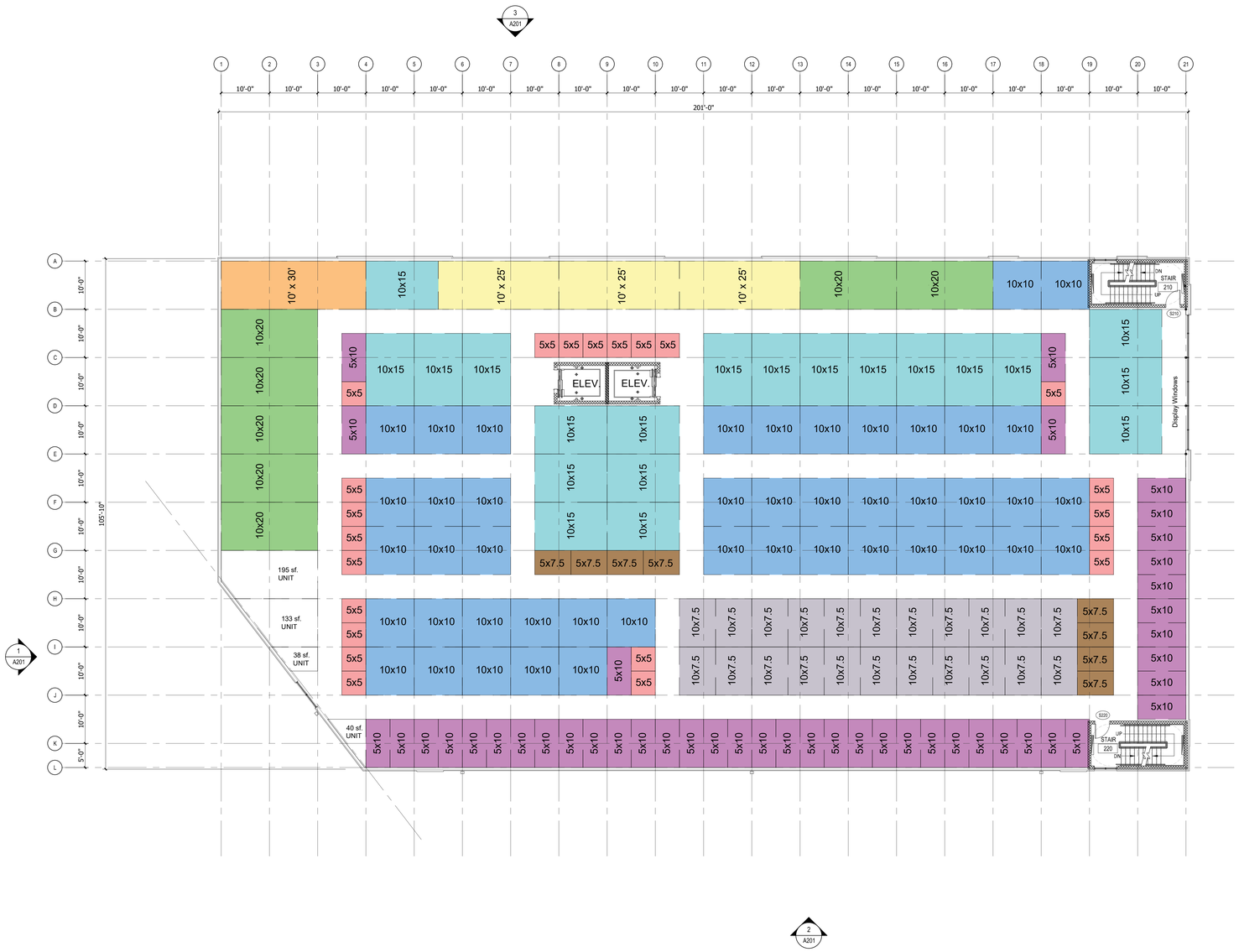
2nd. FLOOR GROSS
20,721 sq. ft TOTAL EACH



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Project No. 21-033

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REVISIONS

No.	Description	Date

2nd. FLOOR PLAN

A-102

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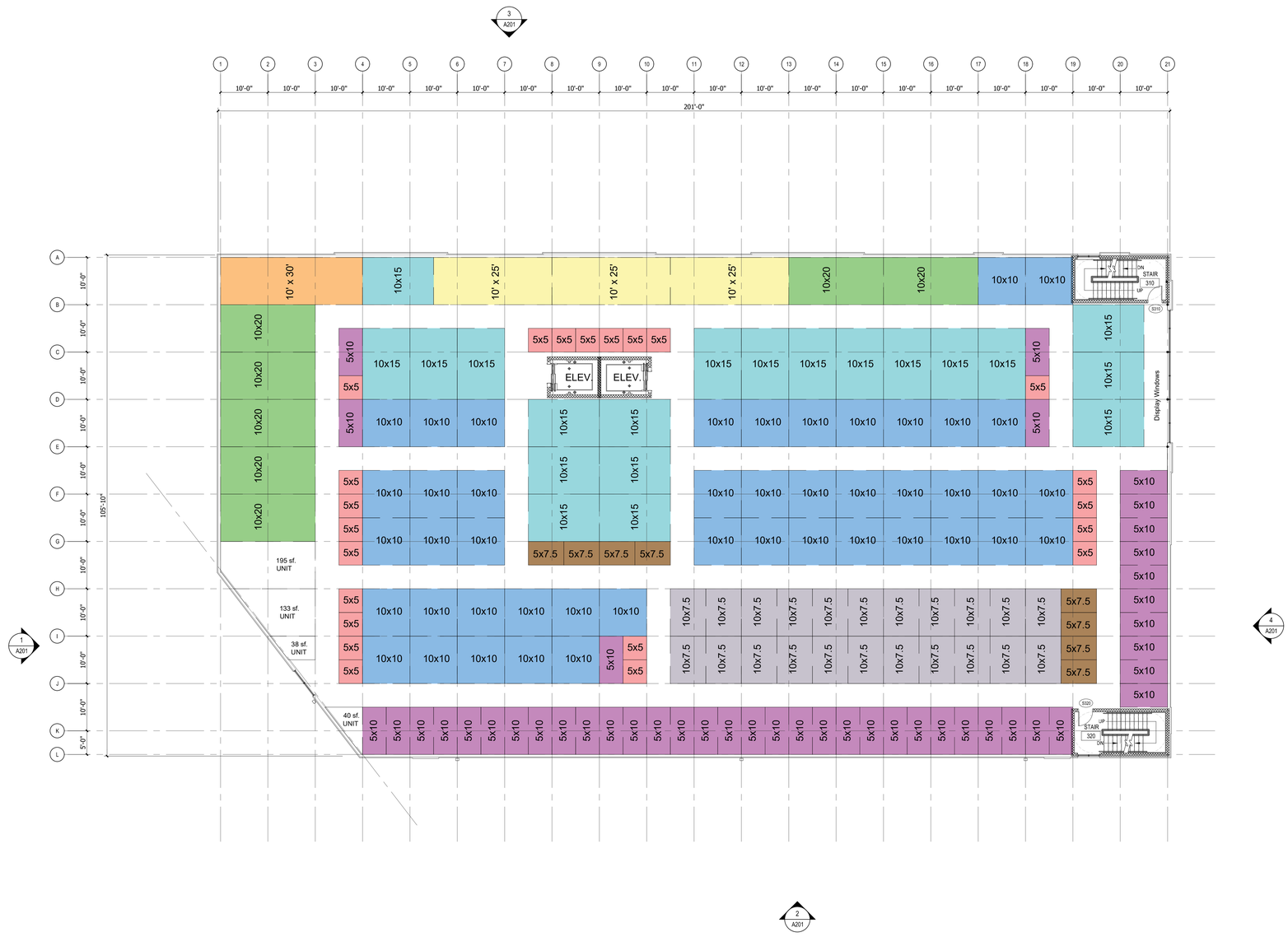
1 2nd. FLOOR PLAN scale: 3/32"=1'-0"

3rd. FLOOR GROSS
20,721 sq. ft TOTAL



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Project No. 21-033

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No.	Description	Date

3rd. FLOOR PLAN

A-103

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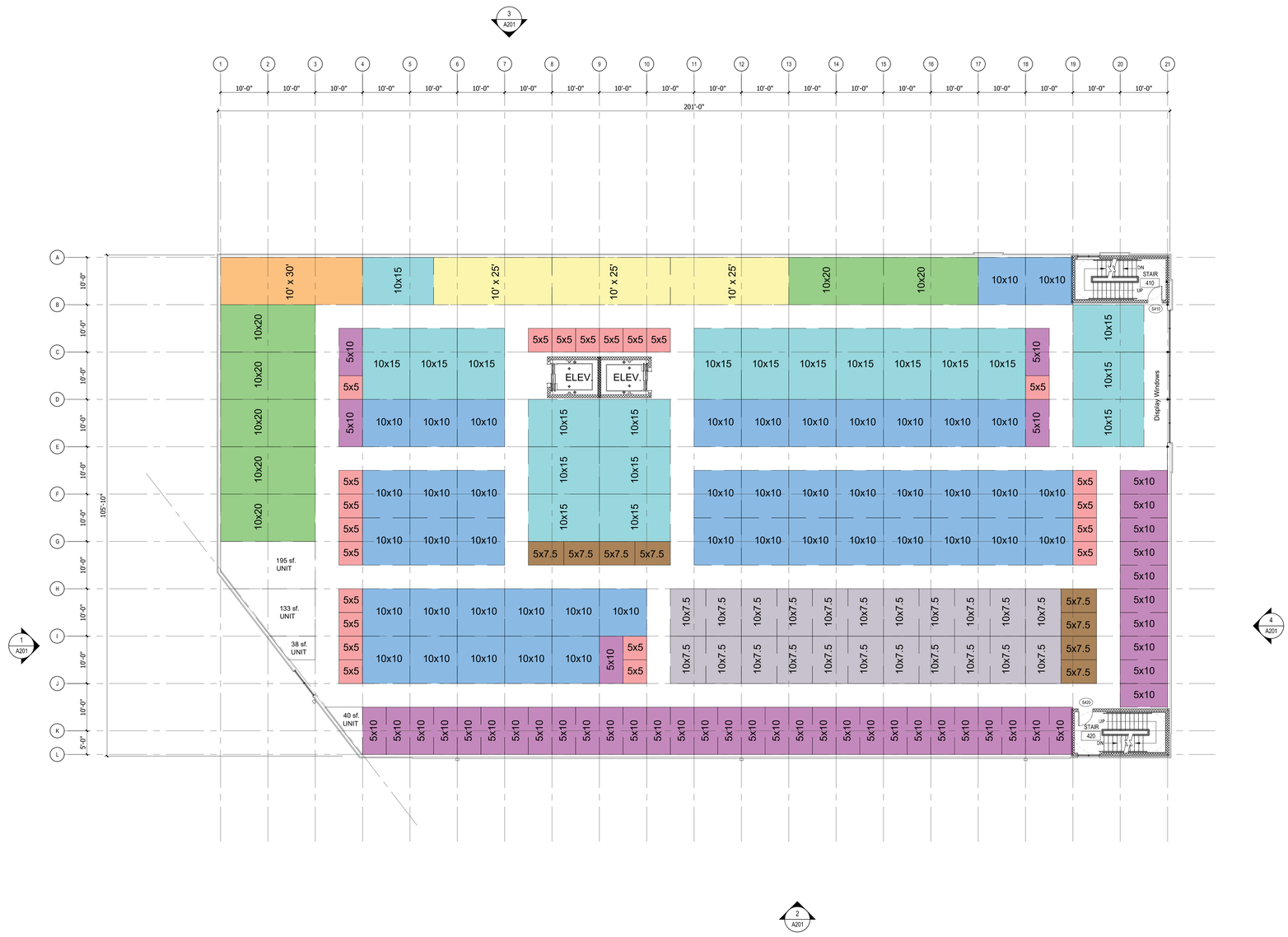
4th. FLOOR GROSS
20,721 sq. ft TOTAL EACH



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ARLINGTON, MASSACHUSETTS
Project No. 21-033

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No.	Description	Date

4th. FLOOR PLAN

A-104

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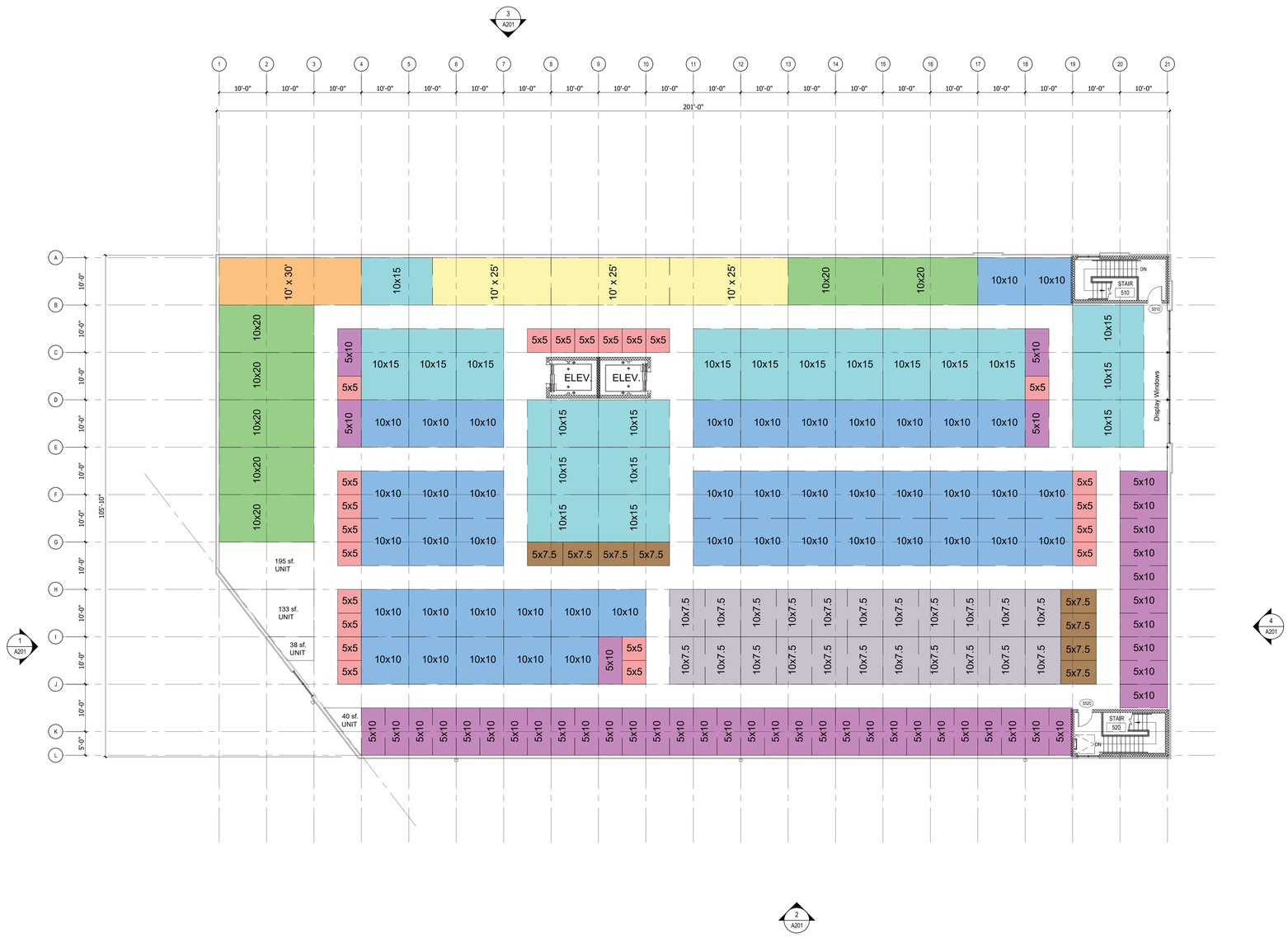
1 4th. FLOOR PLAN scale: 3/32"=1'-0"

5th. FLOOR GROSS
20,721 sq. ft TOTAL EACH



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ARLINGTON, MASSACHUSETTS
Project No. 21-033

Local Approvals Submission
May 09, 2022

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No.	Description	Date

5th. FLOOR PLAN

A-105

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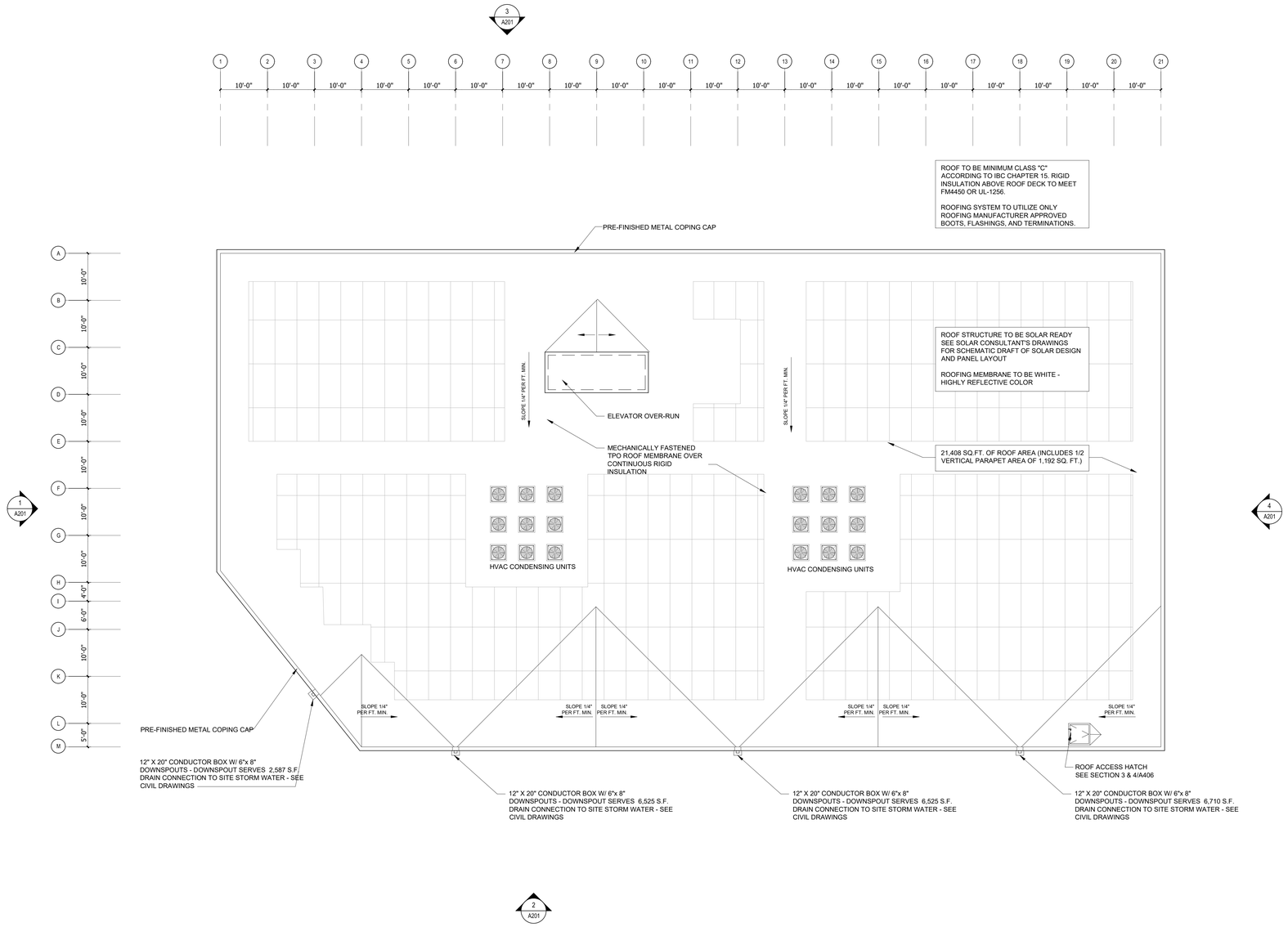
1 5th. FLOOR PLAN scale: 3/32"=1'-0"



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ARLINGTON, MASSACHUSETTS
Project No. 21-033

REGISTERED ARCHITECT JAN MICHAEL PARKER No. 053114 MINT HILL, NC COMMONWEALTH OF MASSACHUSETTS
05/09/22

Local Approvals Submission
May 09, 2022

REVISIONS

No.	Description	Date

ROOF PLAN

A-106

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1 ROOF PLAN scale: 3/32"=1'-0"

ELEVATION FINISH LEGEND

EIFS 1 - MATCH SHERWIN WILLIAMS SW 6148 "WOOL SKEIN"

EIFS 2 - MATCH SHERWIN WILLIAMS SW 7004 "SNOWBOUND"

SCORE JOINTS

EIFS 3 - MATCH SHERWIN WILLIAMS SW 7016 "MINDFUL GRAY"

SCORE JOINTS

EIFS 4 - MATCH SHERWIN WILLIAMS SW 7019 "GAUNTLET GRAY"

SCORE JOINTS

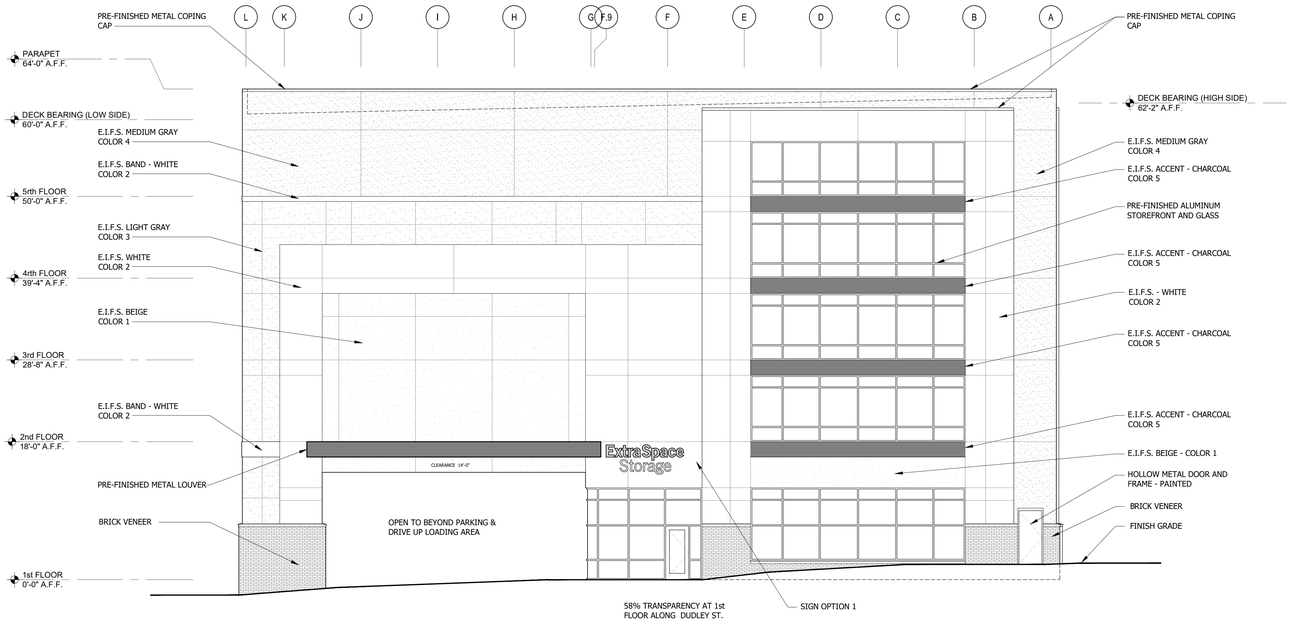
EIFS 5 - MATCH SHERWIN WILLIAMS SW

METAL CANOPY - MATCH WASABI GREEN EXR

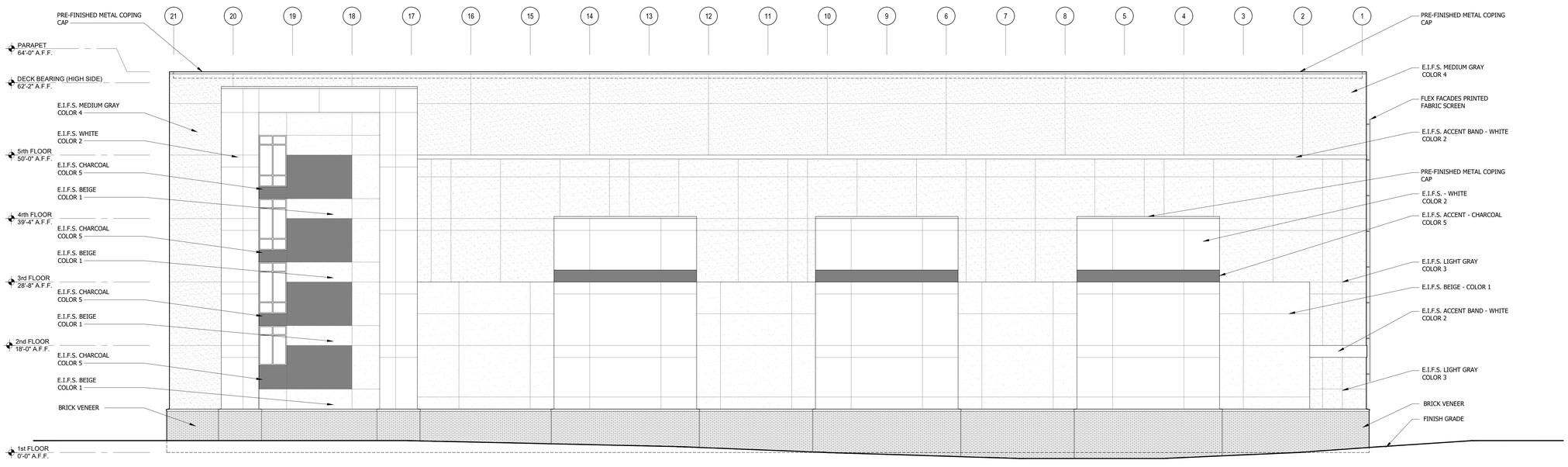
BRICK VENEER - TAYLOR CLAY "HAYFIELD" MODULAR WIRECUT

LEADER BOXES, DOWNSPOUTS AND COPING CAP METAL COLOR TO MATCH McELROY DARK BRONZE AND STOREFRONT COLOR

STOREFRONT COLOR DARK BRONZE WITH CLEAR GLASS



2 ELEVATION - NORTH — scale: 1/8"=1'-0"



1 ELEVATION - WEST — scale: 1/8"=1'-0"

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PREMIER STORAGE INVESTORS

SELF STORAGE

ARLINGTON, MASSACHUSETTS
Project No. 21-033

REGISTERED ARCHITECT JAY MICHAEL ERVIN No. 052114 MINT HILL, NC COMMONWEALTH OF NORTH CAROLINA
05/09/22

Local Approvals Submission
May 09, 2022

REVISIONS

No.	Description	Date

EXTERIOR ELEVATIONS

A-201

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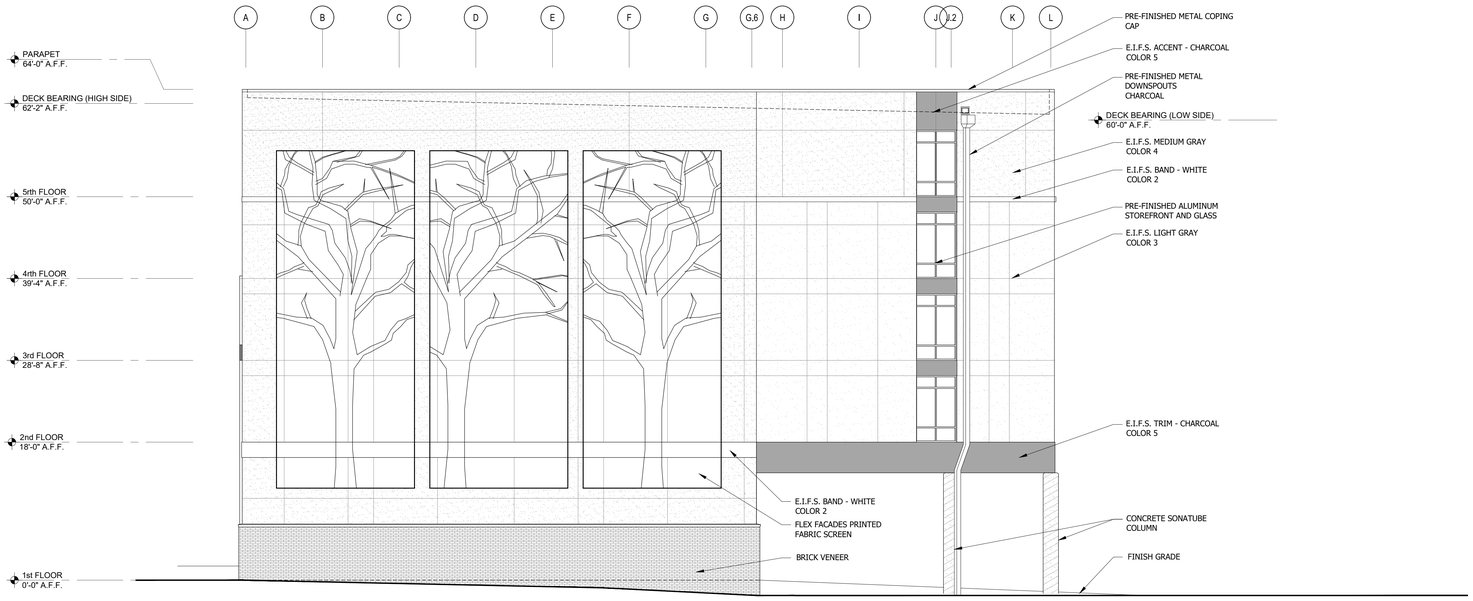

2 ELEVATION - SOUTH

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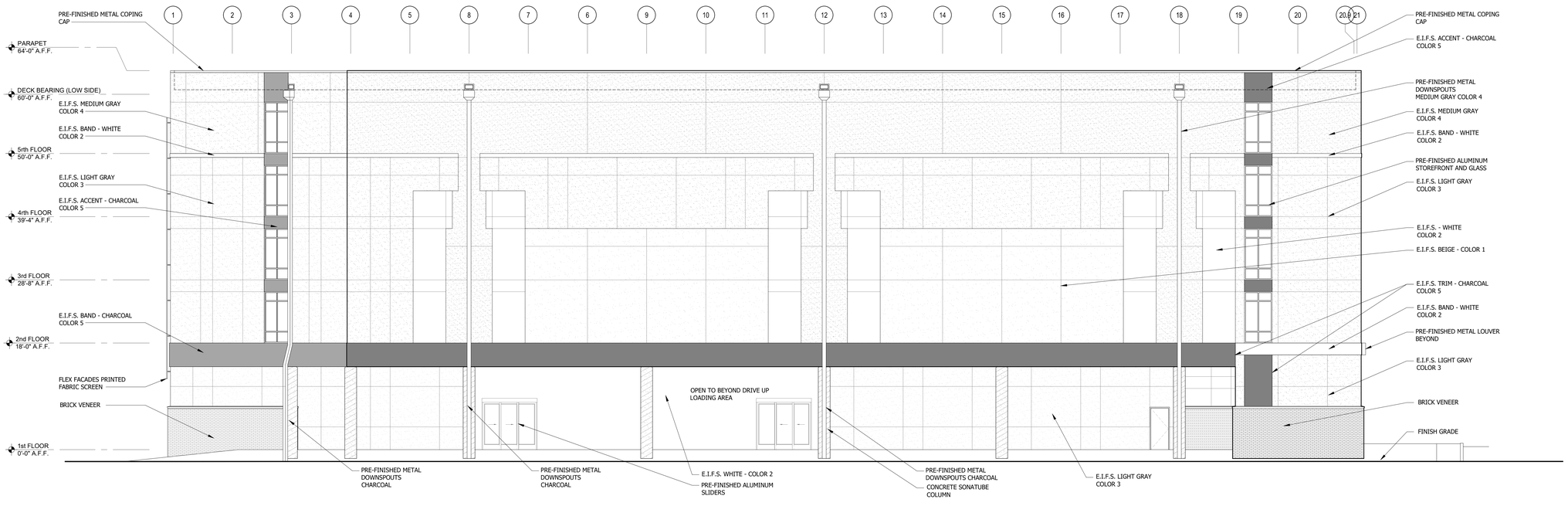

1 ELEVATION - EAST

scale: 1/8"=1'-0"

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ARLINGTON, MASSACHUSETTS
Project No. 21-033

REGISTERED ARCHITECT JAY MICHAEL BRAY No. 953114 MINT HILL NC COMMONWEALTH OF MASSACHUSETTS
05/09/22

Local Approvals Submission
May 09, 2022

REVISIONS

No.	Description	Date

EXTERIOR ELEVATIONS

A-202

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PREMIER
STORAGE INVESTORS

SELF STORAGE

Arlington, MA May 9, 2022

VIEW 1

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PREMIER STORAGE INVESTORS

SELF STORAGE

Arlington, MA

May 9, 2022

VIEW 2

michael parker studios

PREMIER STORAGE INVESTORS

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Arlington, MA

May 9, 2022

VIEW 3

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PREMIER
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SELF STORAGE

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VIEW 4

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