



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

TOWN CLERK'S OFFICE  
ARLINGTON, MA 02174

2022 APR 22 AM 10:42

RECEIVED

### LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Chad Mikkelsen** of Arlington, Massachusetts on April 4, 2022, a petition seeking permission to alter his property located at **82 Grandview Road- Block Plan 152.0-0008-00040** Said petition would require a Special Permit under **Section 5.39 (A)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening May 24, 2022 at 7:30 P.M or as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

[https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-](https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDlrH9BzpU_mQMF2y5Ys20gtlBP9)

[upqDlrH9BzpU\\_mQMF2y5Ys20gtlBP9](https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDlrH9BzpU_mQMF2y5Ys20gtlBP9) **for documentation relating to this petition, visit the ZBA website at [www.arlington.gov/zba](http://www.arlington.gov/zba).**

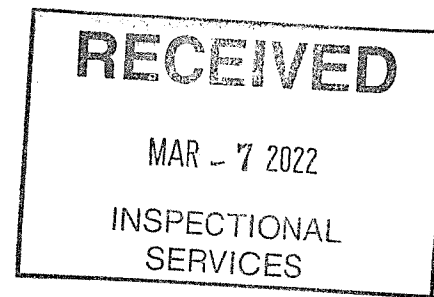
**DOCKET NO 3696**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **[ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)**

**REQUEST FOR SPECIAL PERMIT**

**TOWN OF ARLINGTON**



In the matter of the Application of 82 Grandview Road - Covered Front Porch  
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

Section 5.3.9.A - The proposed covered front porch exceeds 25 SF and projects more than 3 1/2 ft  
beyond the line of the foundation wall into the minimum front yard required in the R-1 district in  
which it is located. The section of the Zoning Bylaw referenced above allows for the proposed  
porch by the granting of a Special Permit.

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 82 Grandview Road with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

The new covered porch will allow for weather protection at the front entry, improving convenience  
and safety of the owner's entrance into their home. It also adds a human scale to the front of the home  
and improves the aesthetics of the structure.

Katemi Kketone  
E-Mail: yahoo.com Signed: [Signature] Date: 2/23/22  
Telephone: 781-820-9559 Address: 82 Grandview Road, Arlington MA

**Special Permit Criteria:** Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board’s determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

The requested use is permitted in the R-1 Zoning District through the granting of a Special Permit.  
Section 5.3.9.A of the Town of Arlington Zoning Bylaw  
\_\_\_\_\_

B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*

The proposed porch would improve the convenience and safety of the entrance into the home.  
\_\_\_\_\_  
\_\_\_\_\_

C). Explain why *the requested use will not create undue traffic congestion; or unduly impair pedestrian safety.*

The proposed porch does not change the volume or nature of traffic to the home and therefore does  
not represent any increase in congestion or impairment of pedestrian safety.  
\_\_\_\_\_

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

While the covered porch does add to the lot coverage somewhat, it does not unduly impact any  
municipal systems as all water will be collected and handled on site.  
\_\_\_\_\_

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

The proposed porch will not result in the need for any special regulations.

\_\_\_\_\_

\_\_\_\_\_

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

Covered entries are a common feature of structures in the immediate neighborhood, and many of said

entries are closer to the front lot line than the required front yard setback. The addition of this porch

will improve the streetscape by adding a human scale to the front of the home.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The proposal would not cause any detrimental excesses as it is intended for use by the owner's

family and friends only.

\_\_\_\_\_

To: Zoning Board of Appeals, Town of Arlington  
From: Dana Ozik, Architect  
Re: Proposed Covered Front Porch Addition at 82 Grandview Road, Arlington

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My clients, Chad and Kate Mikkelsen, are seeking a Special Permit in accordance with Section 5.3.9 – Projection into Minimum Yards. They are hoping to construct and addition of a front porch, extending a little over half the full width of their existing home, to provide weather protection at their front entry, as well as a comfortable place to sit and congregate with family and friends during summer months. The proposed covered entry is approximately 160 square feet, and exceeds the maximum allowed without a Special Permit. Other than reducing the front yard setback from 29.2 feet to 20.7 feet, the proposed addition does not adversely impact any of the other dimensional criteria set forth by the Zoning Bylaw.

Please see the attached Application for Special Permit for how the proposed porch meets the Special Permit criteria as set out in Zoning Bylaw Section 3.3.3.

Below are some photos showing the existing conditions of the home and neighborhood:





Note that the proposed porch will be adding to the integrity and character of the district by adding visual interest and activity to the front facade of the home, add a human scaled architectural volume to the streetscape, and reduce the appearance of the main existing home as recommended by the principles set forth in Arlington's Residential Design Guidelines, published in December of 2020. With this in mind, we hope that you will grant this Special Permit.

Sincerely,

A handwritten signature in black ink, appearing to read "Dana Ozik".

Dana Ozik  
Owner, Dana Ozik Architecture

**TOWN OF ARLINGTON**  
Open Space / Gross Floor Area Information  
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 82 Grandview Road                      Zoning District: R-1

<u>OPEN SPACE*</u>	EXISTING	PROPOSED
Total lot area		
Open Space, Usable		
Open Space, Landscaped		

Not applicable for open porch with roof as it does not count toward Gross Floor Area per Zoning Bylaw Section 5.3.22.B (5)

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

**GROSS FLOOR AREA (GFA) †**

Accessory Building		
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)		
1 <sup>st</sup> Floor		
2 <sup>nd</sup> Floor		
3 <sup>rd</sup> Floor		
4 <sup>th</sup> Floor		
5 <sup>th</sup> Floor		
Attic (greater than 7'-0" in height, excluding elevator machinery; or mechanical equipment)		
Parking garages (except as used for accessory parking or off-street loading purposes)		
All weather habitable porches and balconies		
<b>Total Gross Floor Area (GFA)</b>		

Not applicable for open porch with roof as it does not count toward Gross Floor Area per Zoning Bylaw Section 5.3.22.B (5)

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

**REQUIRED MINIMUM OPEN SPACE AREA**

Landscaped Open Space (Sq. Ft.)		
Landscaped Open Space (% of GFA)		
Usable Open Space (Sq. Ft.)		
Usable Open Space (% of GFA)		

Not applicable for open porch with roof as it does not count toward Gross Floor Area per Zoning Bylaw Section 5.3.22.B (5)

This worksheet applies to plans dated 08/31/2021 designed by Dana Ozik Architecture

Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_

**TOWN OF ARLINGTON**  
Dimensional and Parking Information  
For Applications to the Zoning Board of Appeals

1. Property Location: 82 Grandview Road Zoning District: R-1

2. Present Use/Occupancy: Residential No. of dwelling units 1

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
- Sq. Ft. 

Not applicable for open porch with roof as it does not count toward Gross Floor Area per Zoning Bylaw Section 5.3.22.B (5)
--

4. Proposed Use/Occupancy: Residential No. of dwelling units 1

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  

No Change
-----------

 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	6645 SF	no change	min. 6000 SF
7. Frontage (Ft.)	60'	no change	min. 60'
8. Floor area ratio	-	-	max. -
9. Lot Coverage ( %)	26.9%	29.7%	max 35%
10. Lot Area per Dwelling Unit (Sq. Ft.)	-	-	min. -
11. Front Yard Depth (Ft.)	29.2'	20.7'	min. 25'
12. Left Side Yard Depth (Ft.)	8.7'	no change	min. 10'
13. Right Side Yard Depth (Ft.)	10'	no change	min. 10'
14. Rear Yard Depth (Ft.)	21.9'	no change	min. 20'
15. Height (Stories)	2	no change	max. 2.5
16. Height (Ft.)	approx. 26'-8"	no change	max. 35'
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.			
17A. Landscaped Open Space (% of GFA)			min. 10 %
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.			
18A. Usable Open Space (% of GFA)			min. 30%
19. Number of Parking Spaces	-	-	min. -
20. Parking area setbacks (if applicable)	-	-	min. -
21. Number of Loading Spaces (if applicable)	-	-	min. -
22. Type of construction	-	-	N/A
23. Slope of proposed roof(s) (in. per ft.)	6"	3" and 6"	min. -



APPROXIMATE NORTH

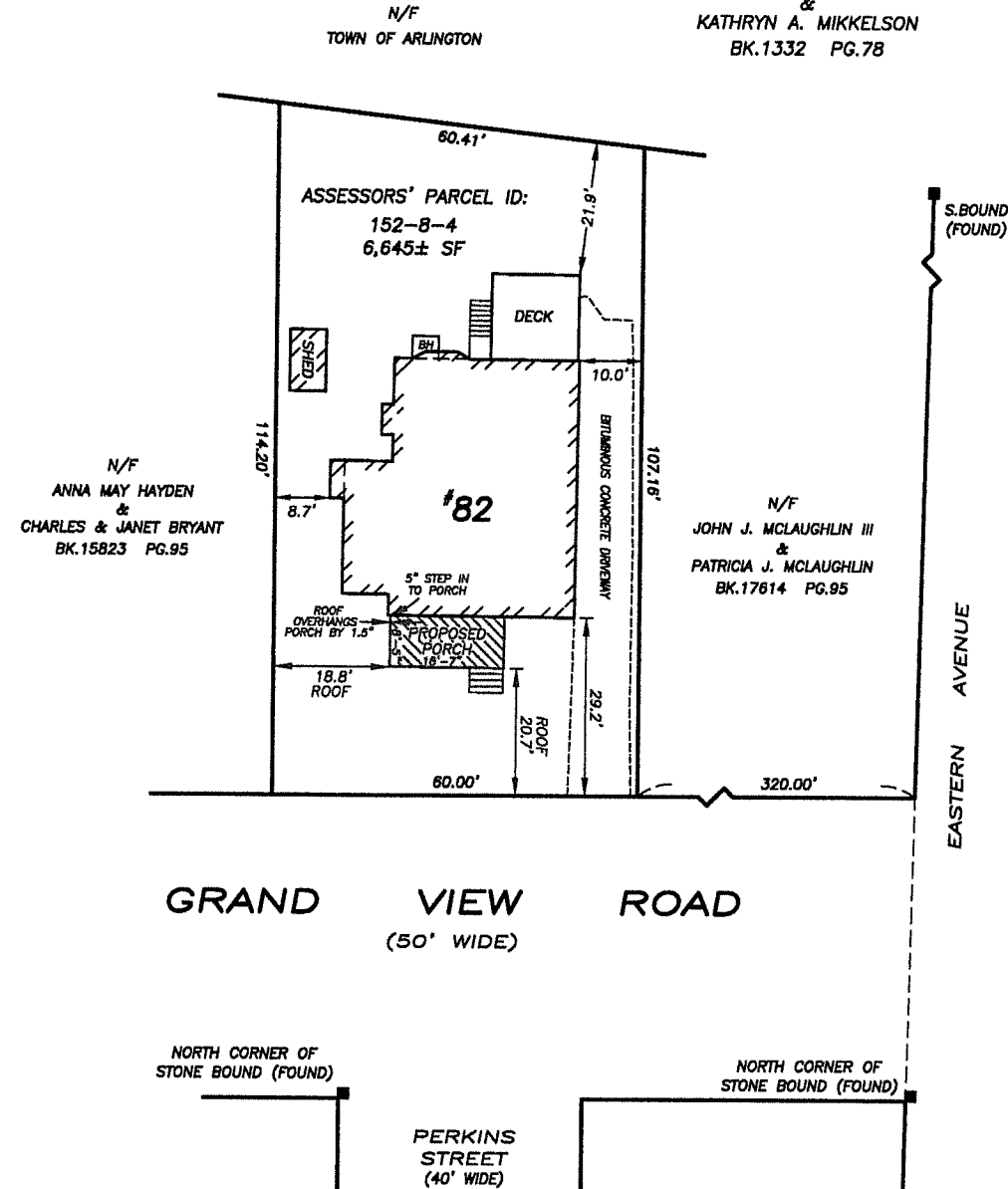
1 INCH = 20 FEET

0 10 20 40 60

PROPOSED SITE PLAN  
82 GRAND VIEW ROAD  
ARLINGTON, MASSACHUSETTS  
1 INCH = 20 FEET FEBRUARY 3, 2022

SNELLING & HAMEL ASSOCIATES, INC.  
PROFESSIONAL LAND SURVEYORS & ENGINEERS  
10 LEWIS STREET P.O. BOX 102  
LINCOLN, MASSACHUSETTS 01773  
(781) 259-0071

OWNERS OF RECORD:  
CHAD MIKKELSON  
&  
KATHRYN A. MIKKELSON  
BK.1332 PG.78



PLAN REFERENCE:  
- LAND COURT PLAN 13809-A

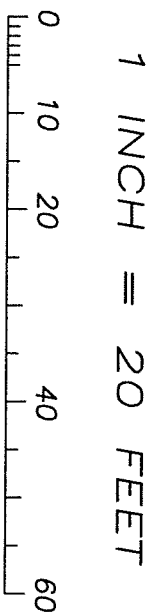
I HEREBY STATE THAT THE LOCATION OF THE FEATURES SHOWN  
HEREON IS THE RESULT OF A FIELD SURVEY PERFORMED AS OF  
JANUARY 5, 2022, WITH THE USE OF A TOPCON TOTAL STATION.

*John R. Hamel*  
JOHN R. HAMEL  
PROFESSIONAL  
LAND SURVEYOR



FEBRUARY 3, 2022  
DATE:

16795.DWG  
FEBRUARY 3, 2022



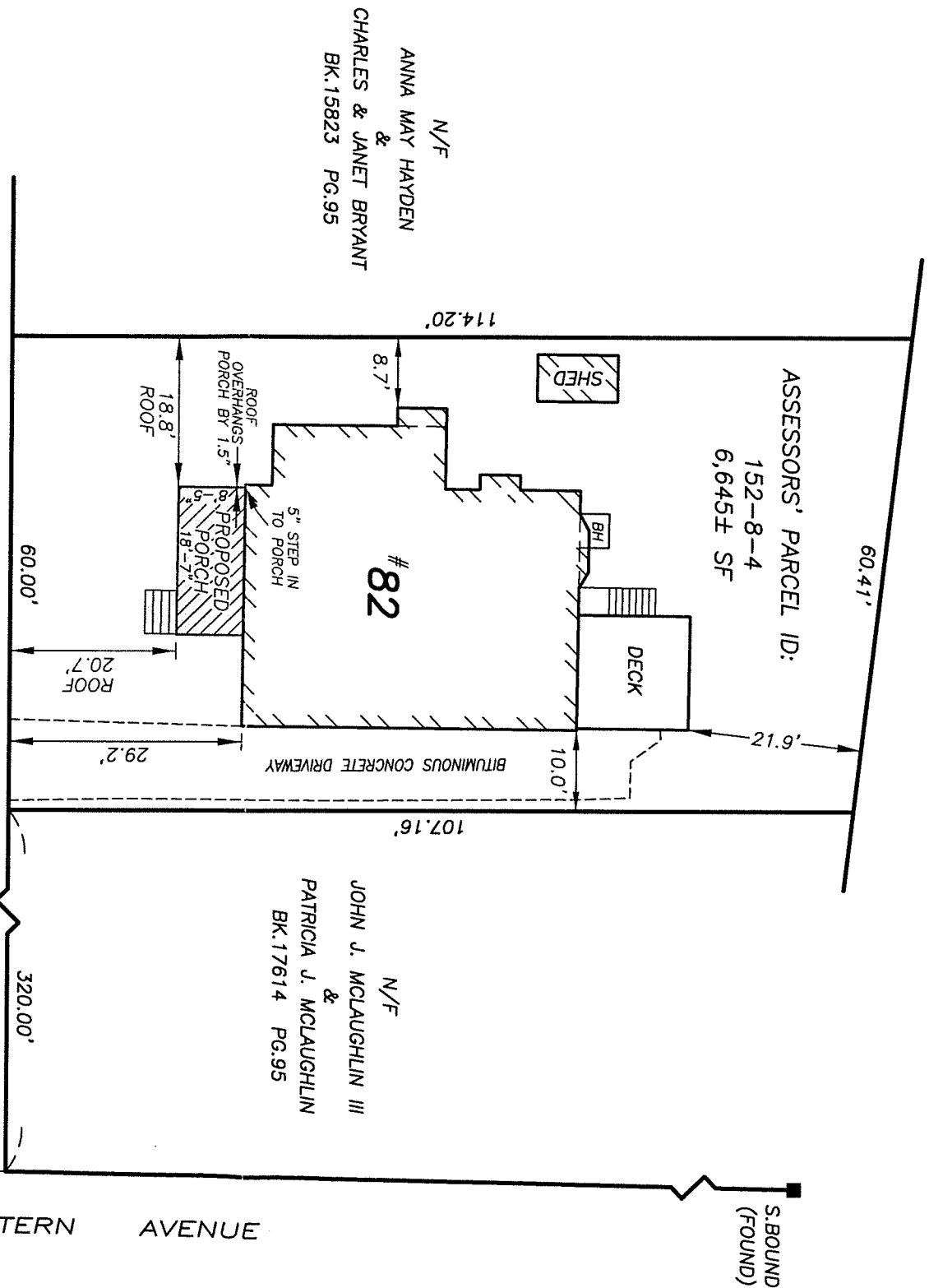
PROPOSED SITE PLAN  
82 GRAND VIEW ROAD  
ARLINGTON, MASSACHUSETTS

1 INCH = 20 FEET    FEBRUARY 3, 2022

SNELLING & HAMEL ASSOCIATES, INC.  
PROFESSIONAL LAND SURVEYORS & ENGINEERS  
10 LEWIS STREET P.O. BOX 102  
LINCOLN, MASSACHUSETTS 01773  
(781) 259-0071

OWNERS OF RECORD:  
CHAD MIKKELSON  
&  
KATHRYN A. MIKKELSON  
BK.1332 PG.78

N/F  
TOWN OF ARLINGTON



GRAND VIEW ROAD  
(50' WIDE)

NORTH CORNER OF  
STONE BOUND (FOUND)

PERKINS  
STREET  
(40' WIDE)

NORTH CORNER OF  
STONE BOUND (FOUND)

PLAN REFERENCE:  
- LAND COURT PLAN 13809-A

I HEREBY STATE THAT THE LOCATION OF THE FEATURES SHOWN  
HEREON IS THE RESULT OF A FIELD SURVEY PERFORMED AS OF  
JANUARY 5, 2022, WITH THE USE OF A TOPCON TOTAL STATION.

JOHN R. HAMEL  
PROFESSIONAL  
LAND SURVEYOR

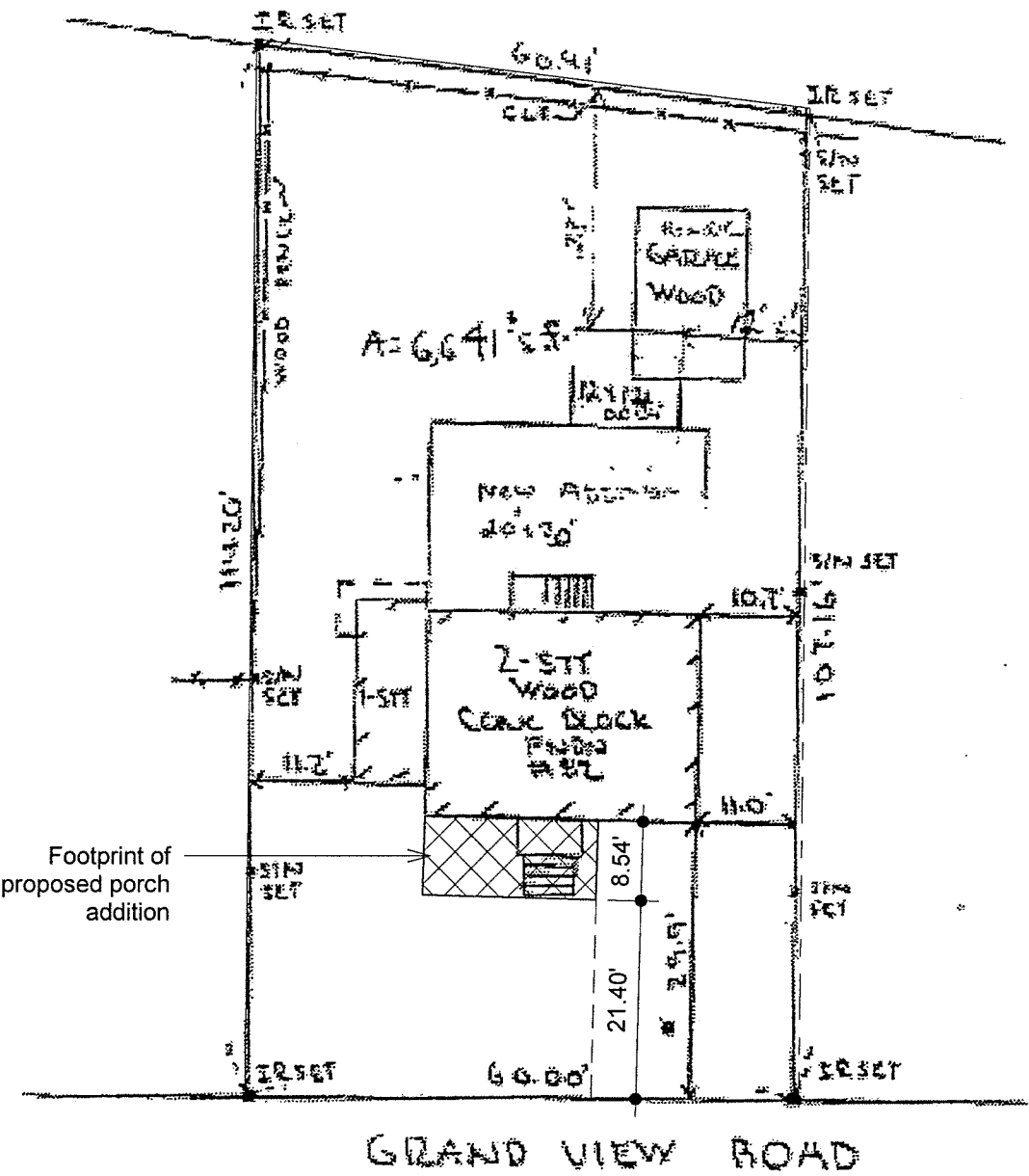


FEBRUARY 3, 2022  
DATE:

Sheet List		
Sheet #	Sheet Name	Current Rev.
C01	Cover Page	
C02	General Notes and Symbols	
A01	Architectural Plans	
A05	Sections	
A03	Exterior Elevations	
A07	Details at Interface with Existing Structure	
A02	Ceiling Plan	
A04	Exterior Elevations	
A06	Sections	
A08	Deck Edge Details	
A09	Roof Eave Details	
S01	Structural Plans	
S02	Structural Plans	

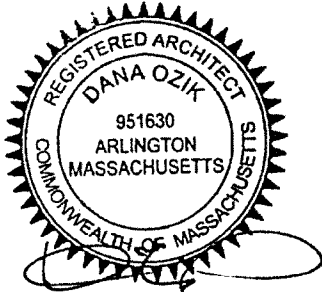


2 View From Grandview Road



NOTE: Survey was created for 1996 rear deck addition.

1 Plot Plan  
1" = 20'-0"



No.	Description	Date

**DANA OZIK**  
**ARCHITECTURE**

28A Park St, Arlington, MA 02474  
www.danaozikarchitecture.com

Mikkelson Front Porch Addition

82 Grandview Road, Arlington

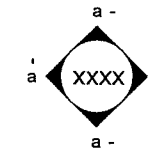
Cover Page

Permit Set	
Date	08-31-2021
Drawn by	DO
	C01

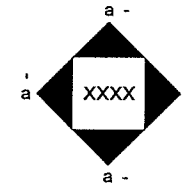
## GENERAL NOTES

1. The Contractor shall carefully study the construction documents and at once report to the Architect any error, inconsistency, or omission they may discover. All construction to be per applicable and governing codes and authorities.
2. Upon approval of construction pricing, the Contractor shall provide the Owner with an estimated schedule for the completion of the work described in the Construction Documents. This schedule shall be updated periodically over the course of construction to reflect any changes due to unforeseen conditions or unavoidable delays.
3. The Contractor shall maintain in good order at the site: one (1) record copy of all drawings, specifications, addenda, change orders and other modifications. Any changes made during construction shall be marked on these documents to keep an accurate record of work completed.
4. Contractor shall be responsible for coordinating all construction and design documents supplied by the Architect with any work pertaining to plumbing routing, electrical service requirement, and any other Subcontractor provided components.
5. The Contractor shall install site protection and dust mitigation measures to minimize the migration of construction dust and debris to the areas of the home that are not included in the scope of work.
6. Each Contractor and Subcontractor shall be responsible for daily clean up and removal of debris as related to their trade. At the end of the construction period, the Contractor shall leave the area clean.
7. Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, sequences, and procedures, and shall coordinate all portions of the work.
8. Contractor shall be responsible to the Owner for the acts and omissions of the Contractor's employees, Subcontractors and their agents and employees, and other persons performing any of the work under the contract with the Contractor.
9. Contractor at all times shall enforce strict discipline and good order among Contractor's employees and will not employ on the project any unfit person or anyone not skilled in the task assigned to them.
10. Contractor warrants to the Owner that all equipment and material furnished under this contract will be new unless otherwise specified, and all work will be of good quality, free from faults and defects and in conformance with contract documents, code requirements, and manufacturer's installation requirements. All work not conforming to these requirements, including substitutions not properly approved and authorized, may be considered defective and will be removed and replaced at the Contractor's expense.
11. Contractor will be presumed to have inspected, read, and thoroughly familiarized themselves with the construction documents. Failure or omission to do so shall in no way relieve the Contractor from any obligation in respect to their work.
12. All finishes shall be approved by Owner/Architect for suitability prior to application.
13. All plans and drawings are drawn to scale as much as possible but are not intended to be and should not be scaled. Contractor to verify all dimensions and conditions and notify the Architect of any discrepancies found prior to undertaking construction activities.

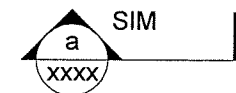
## SYMBOLS



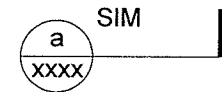
Interior Elevations



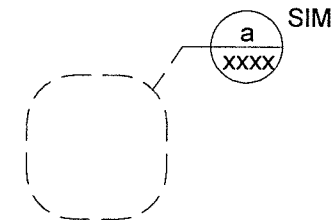
Exterior Elevations



Building Sections



Detail Sections



Floor Plan or Detail Callouts

Note: In symbols above, 'XXXX' indicates sheet referenced while 'a' indicates drawing number referenced



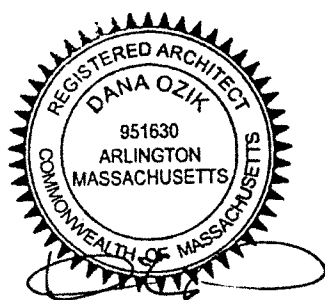
Level Indicator



Revision Tag



Centerline



No.	Description	Date

**DANA OZIK**  
**ARCHITECTURE**

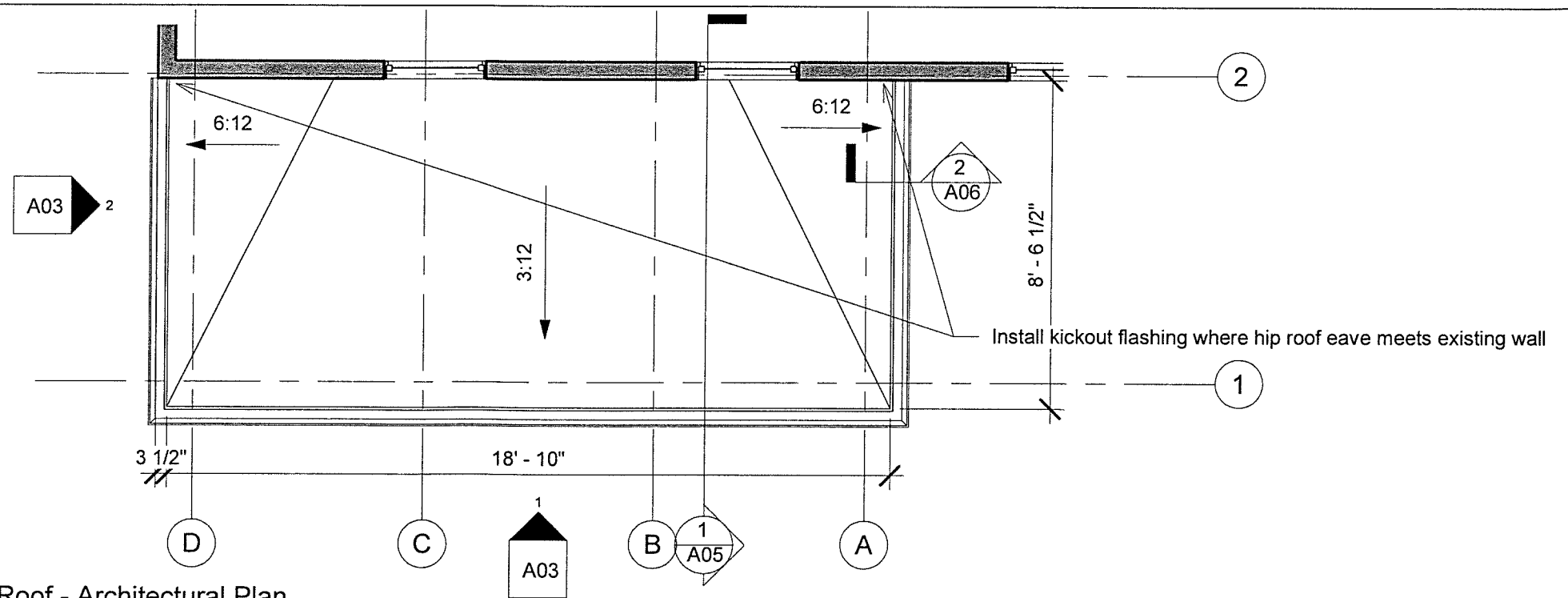
28A Park St, Arlington, MA 02474  
www.danaozikarchitecture.com

Mikkelson Front Porch Addition

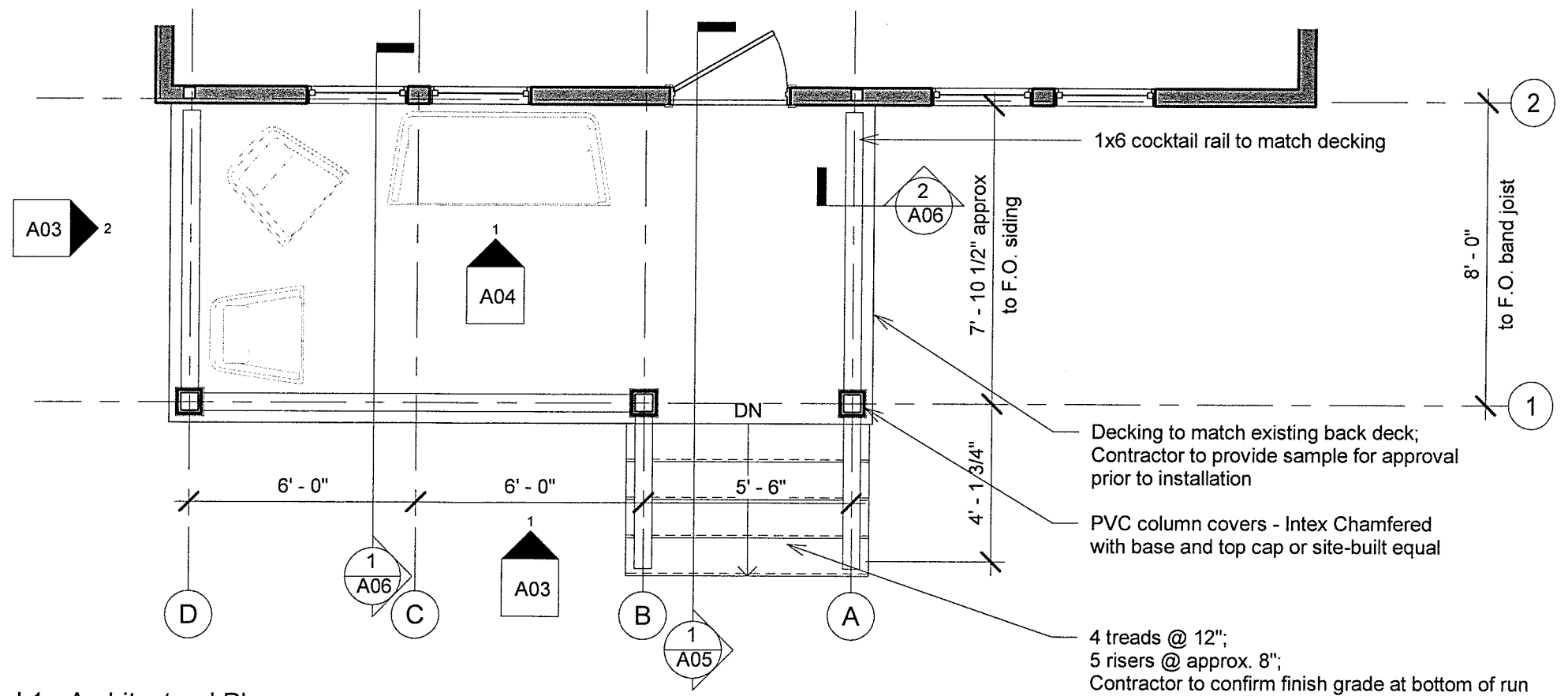
82 Grandview Road, Arlington

General Notes and Symbols

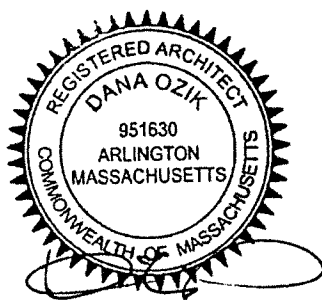
Permit Set	
Date	08-31-2021
Drawn by	DO
	C02



2 Roof - Architectural Plan  
1/4" = 1'-0"



1 Level 1 - Architectural Plan  
1/4" = 1'-0"



No.	Description	Date

**DANA OZIK**  
**ARCHITECTURE**

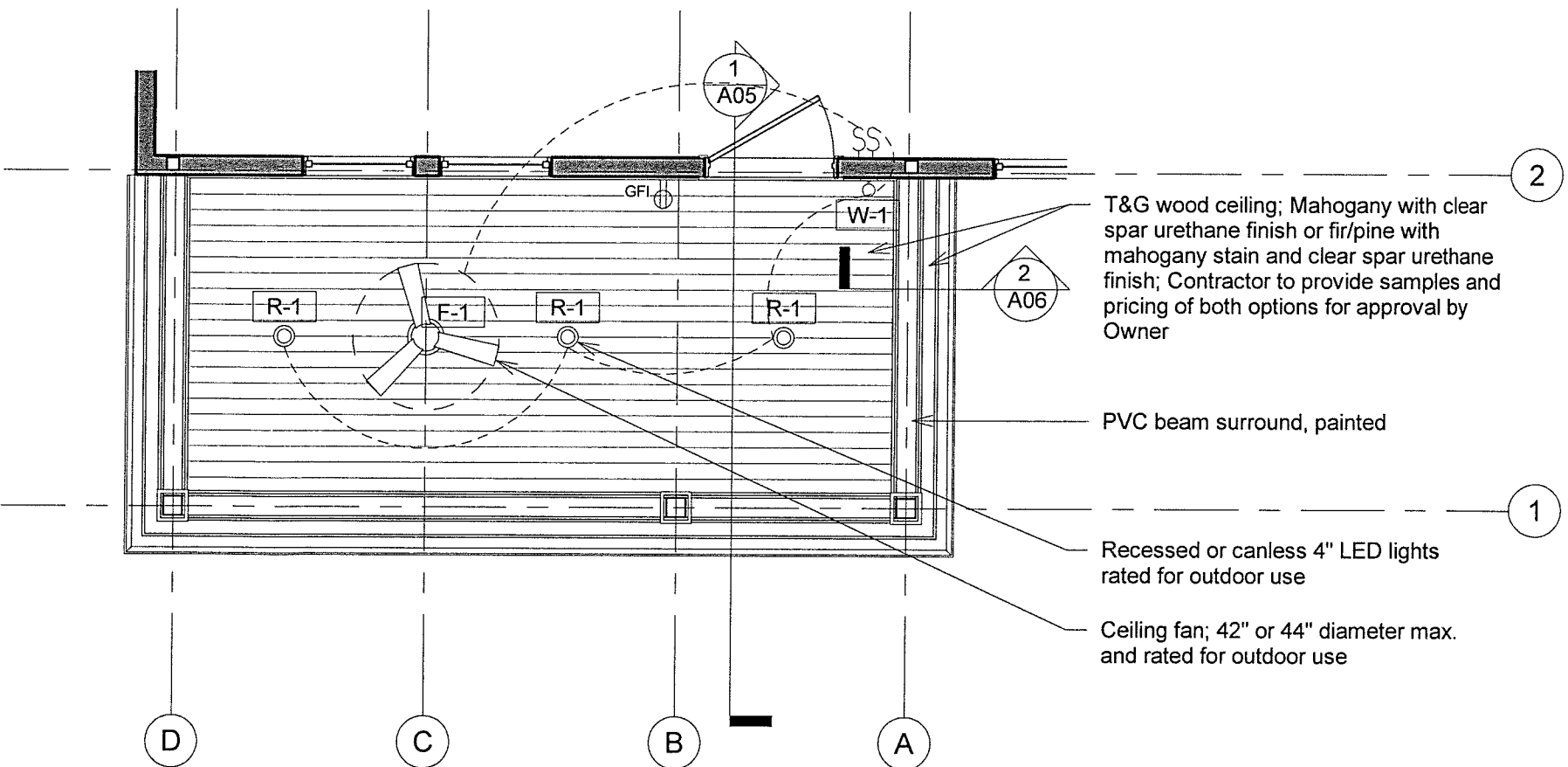
28A Park St, Arlington, MA 02474  
www.danaozikarchitecture.com

Mikkelson Front Porch Addition

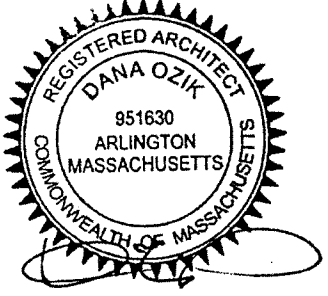
82 Grandview Road, Arlington

Architectural Plans

Permit Set	
Date	08-31-2021
Drawn by	DO
	A01

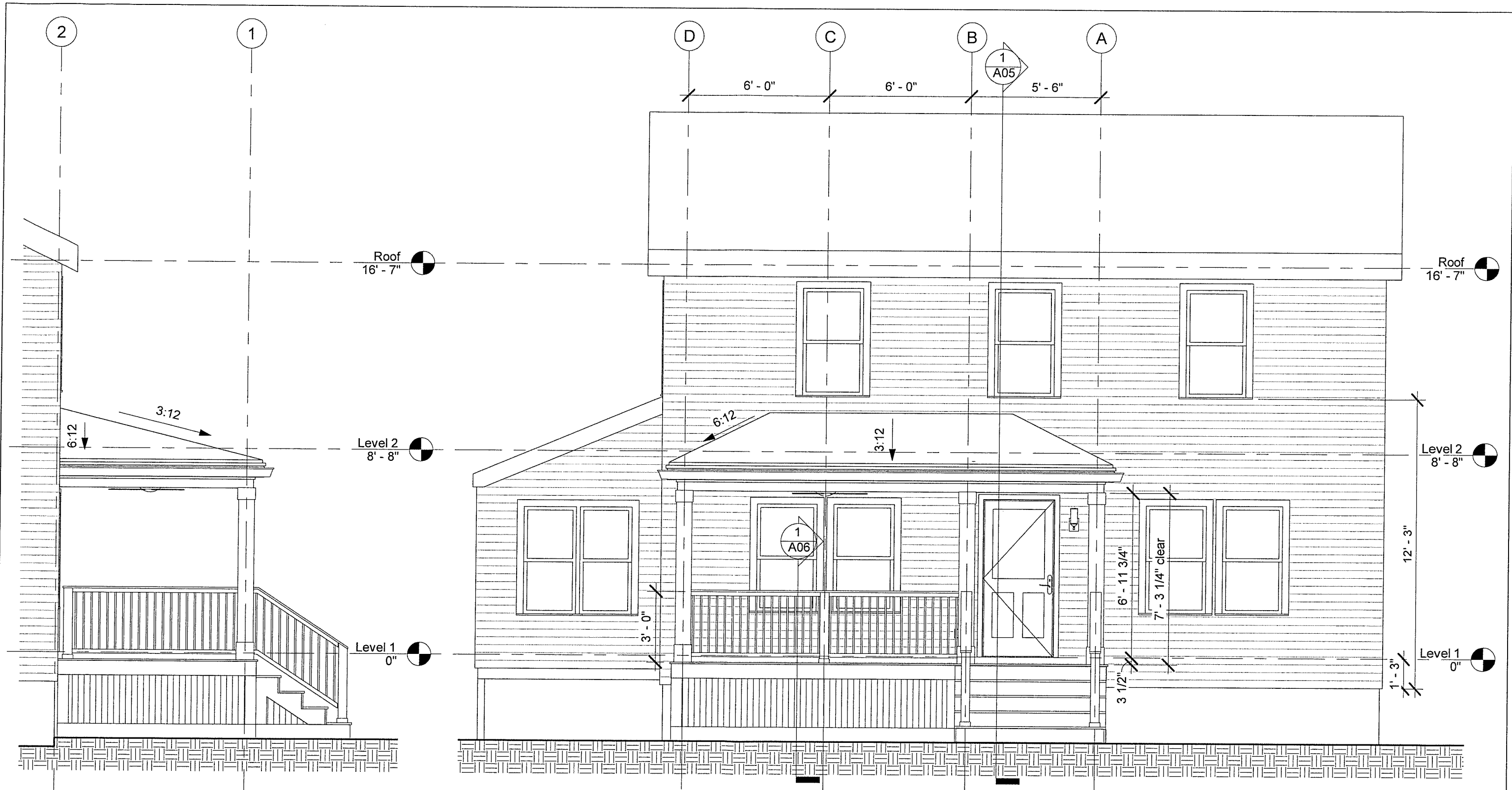


1 Level 1 - Ceiling, Lighting, and Power Plan  
1/4" = 1'-0"



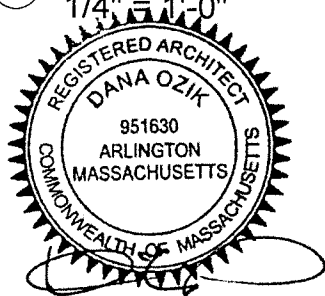
No.	Description	Date	<div style="border: 1px solid black; padding: 5px; text-align: center;"> <b>DANA • OZIK</b>  <b>ARCHITECTURE</b> </div>	Mikkelson Front Porch Addition <small>82 Grandview Road, Arlington</small>	Permit Set
					Date 08-31-2021
					Drawn by DO
				Ceiling Plan	A02

28A Park St, Arlington, MA 02474  
www.danaozikarchitecture.com



2 Exterior Elevation - Side  
1/4" = 1'-0"

1 Exterior Elevation - Front  
1/4" = 1'-0"



No.	Description	Date

**DANA OZIK**  
**ARCHITECTURE**

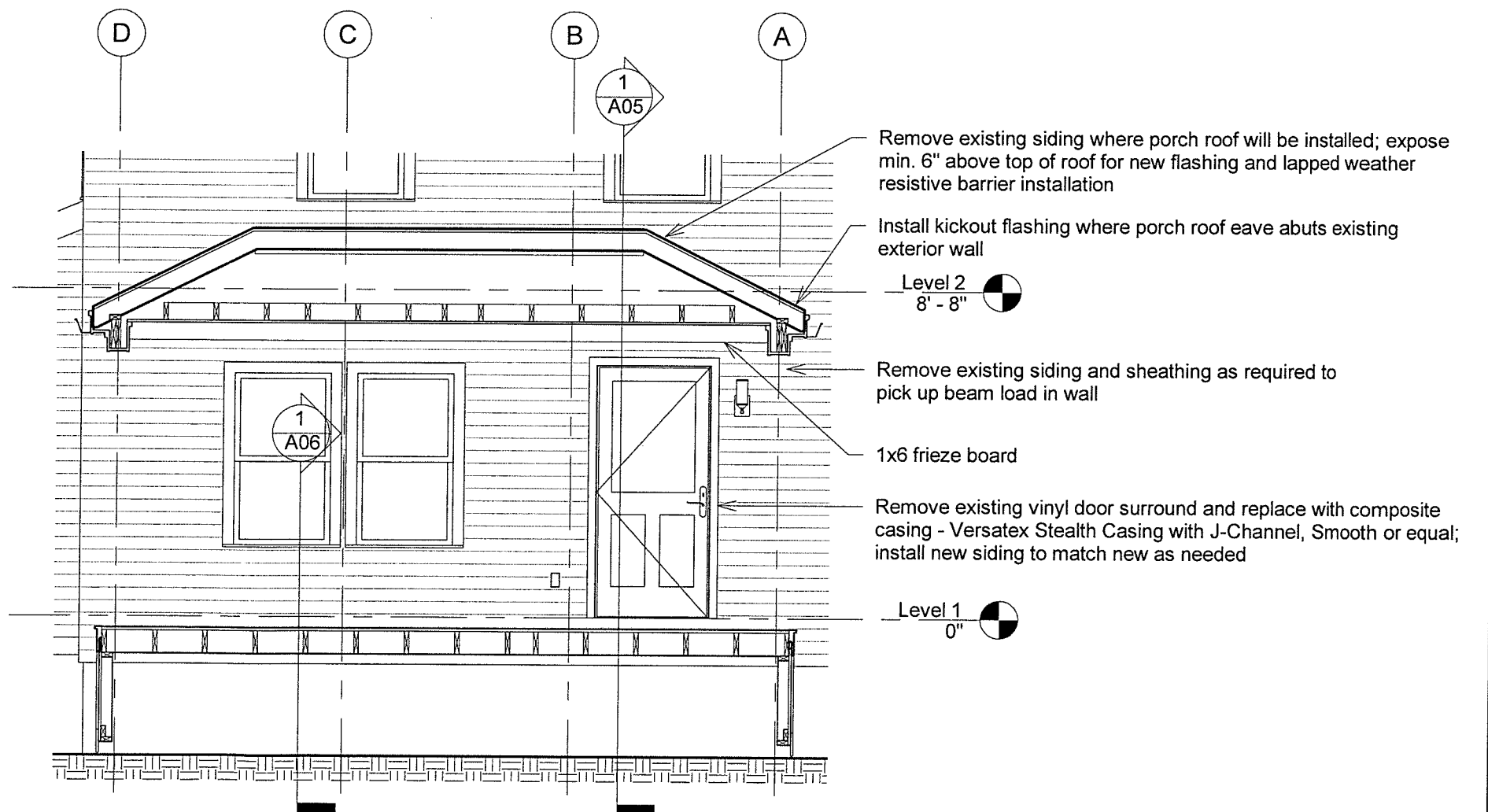
28A Park St, Arlington, MA 02474  
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Mikkelson Front Porch Addition

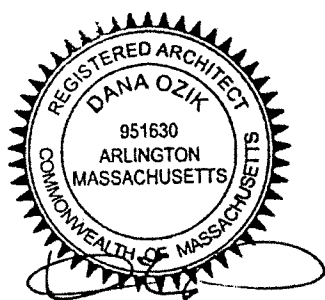
82 Grandview Road, Arlington

Exterior Elevations

Permit Set	
Date	08-31-2021
Drawn by	DO
	A03



1 Exterior Elevation at Existing Exterior Wall  
1/4" = 1'-0"



No.	Description	Date

**DANA OZIK**  
**ARCHITECTURE**

28A Park St, Arlington, MA 02474  
www.danaozikarchitecture.com

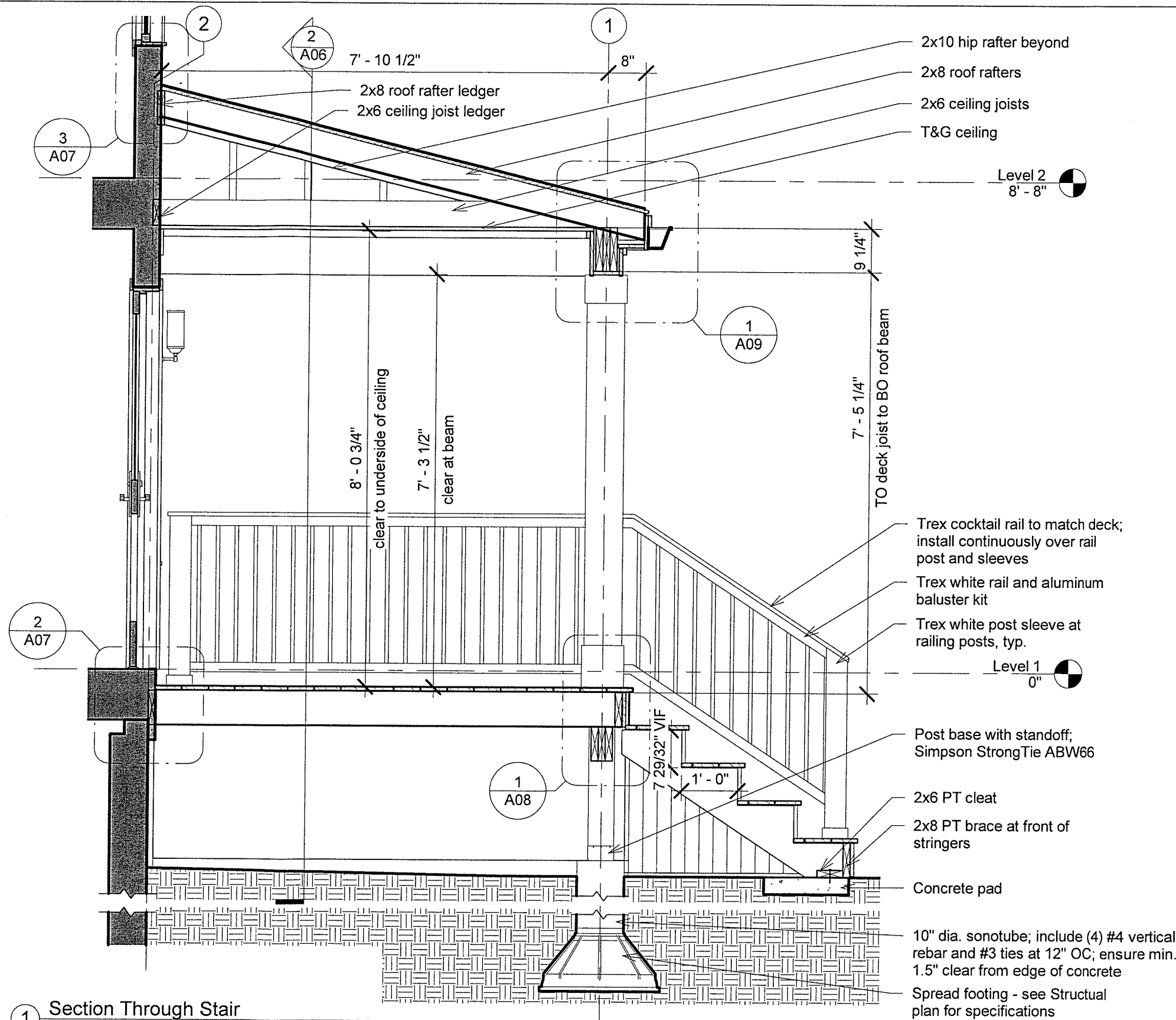
Mikkelson Front Porch Addition

82 Grandview Road, Arlington

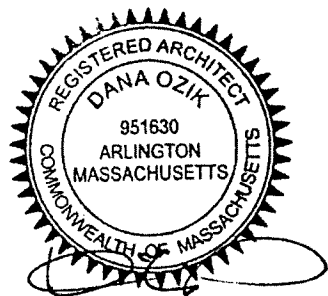
Exterior Elevations

Permit Set	
Date	08-31-2021
Drawn by	DO
	A04





1 Section Through Stair  
1/2" = 1'-0"



No.	Description	Date

**DANA OZIK**  
**ARCHITECTURE**

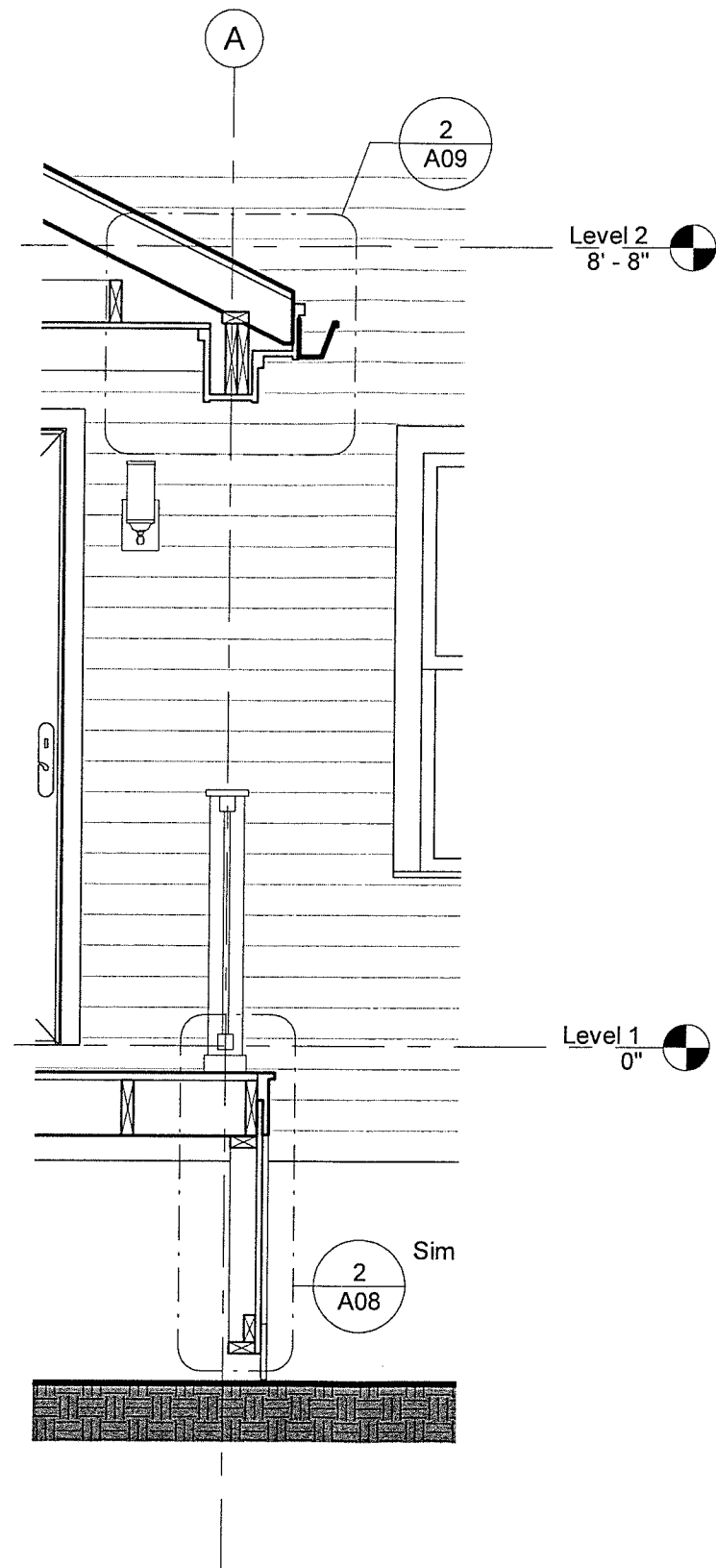
28A Park St, Arlington, MA 02474  
www.danaozikarchitecture.com

Mikkelson Front Porch Addition

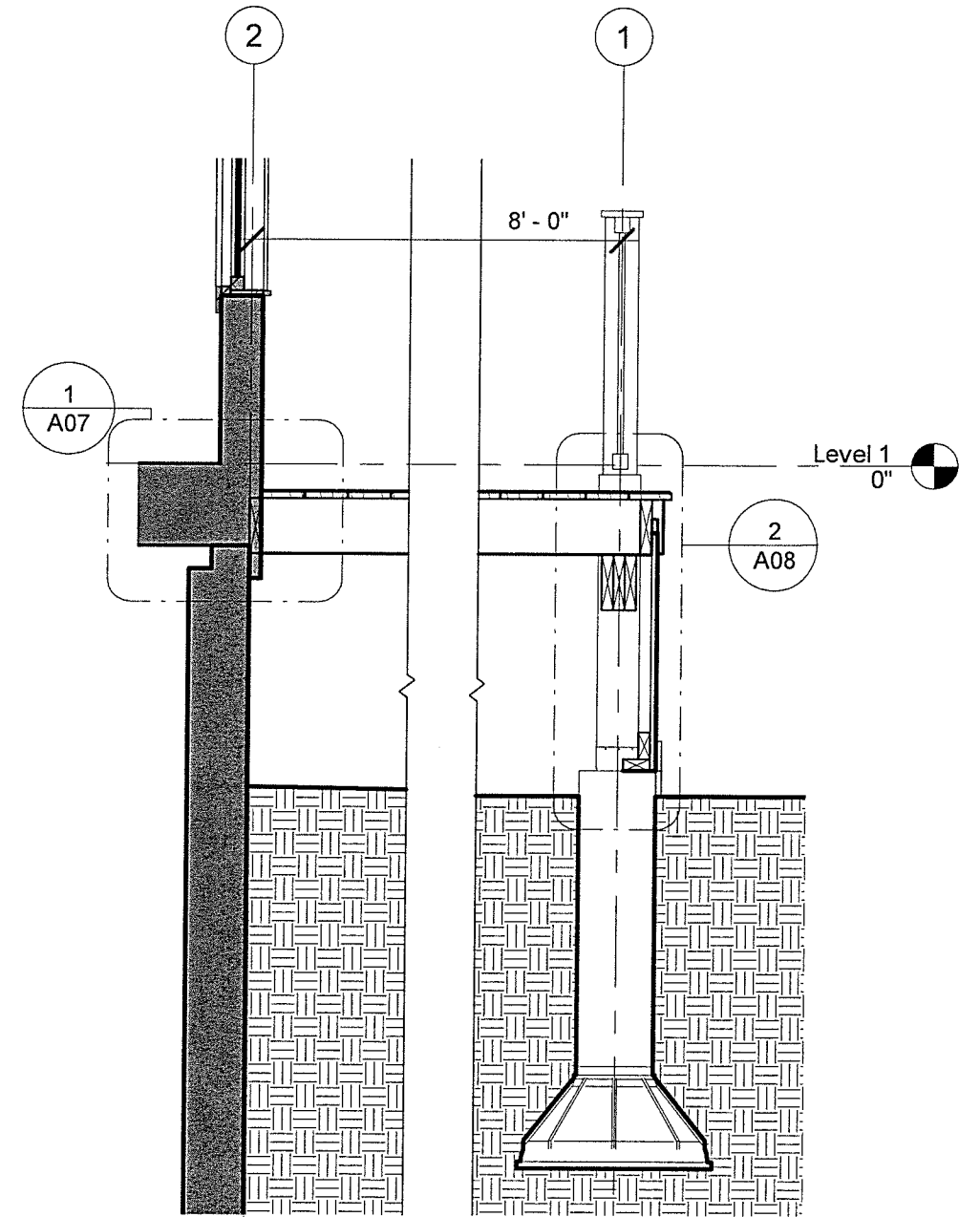
82 Grandview Road, Arlington

Sections

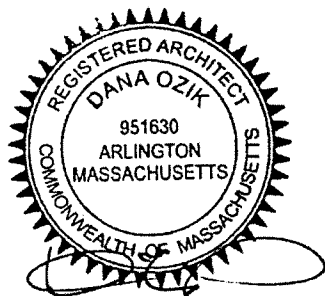
Permit Set	
Date	08-31-2021
Drawn by	DO
	A05



② Section at Hip Return  
1/2" = 1'-0"



① Section Through Deck  
1/2" = 1'-0"



No.	Description	Date

**DANA OZIK**  
**ARCHITECTURE**

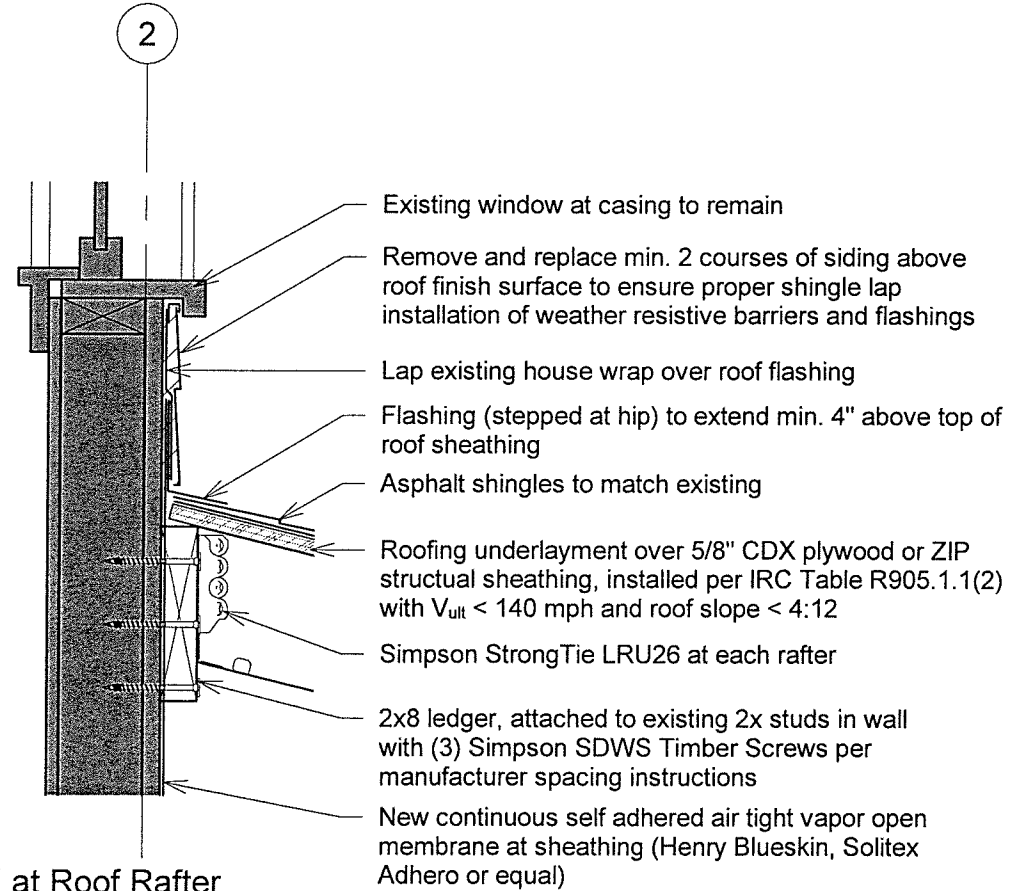
28A Park St, Arlington, MA 02474  
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Mikkelson Front Porch Addition

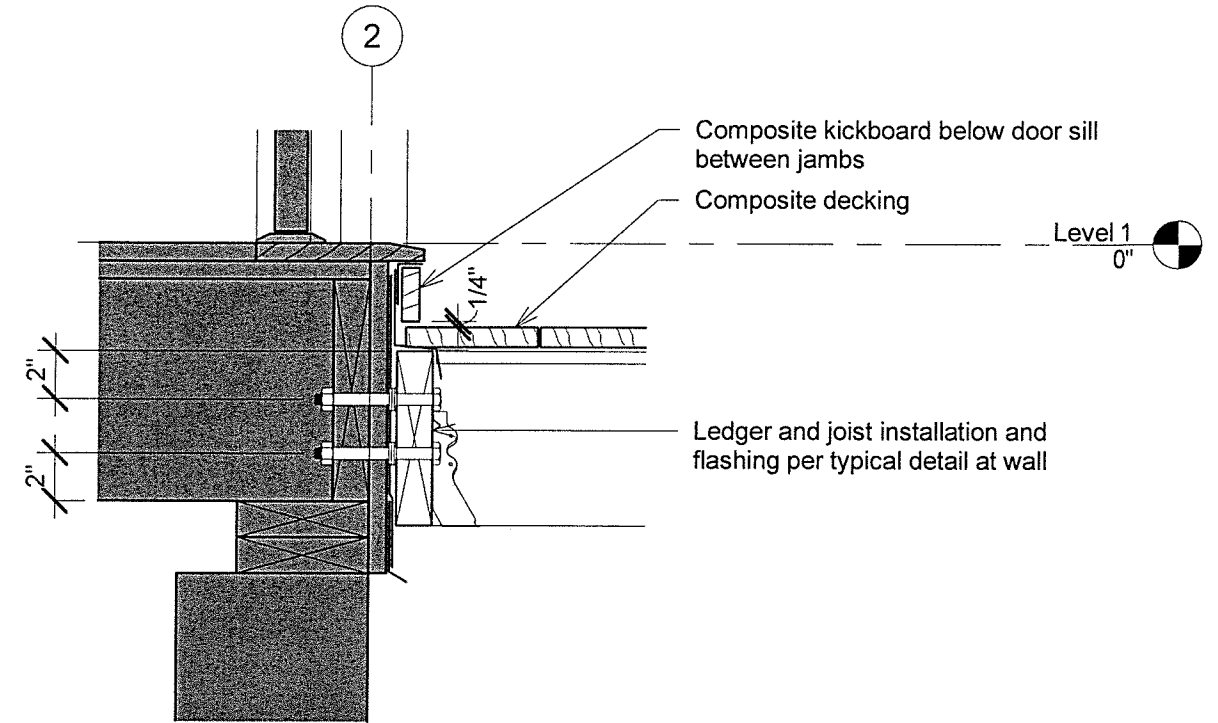
82 Grandview Road, Arlington

Sections

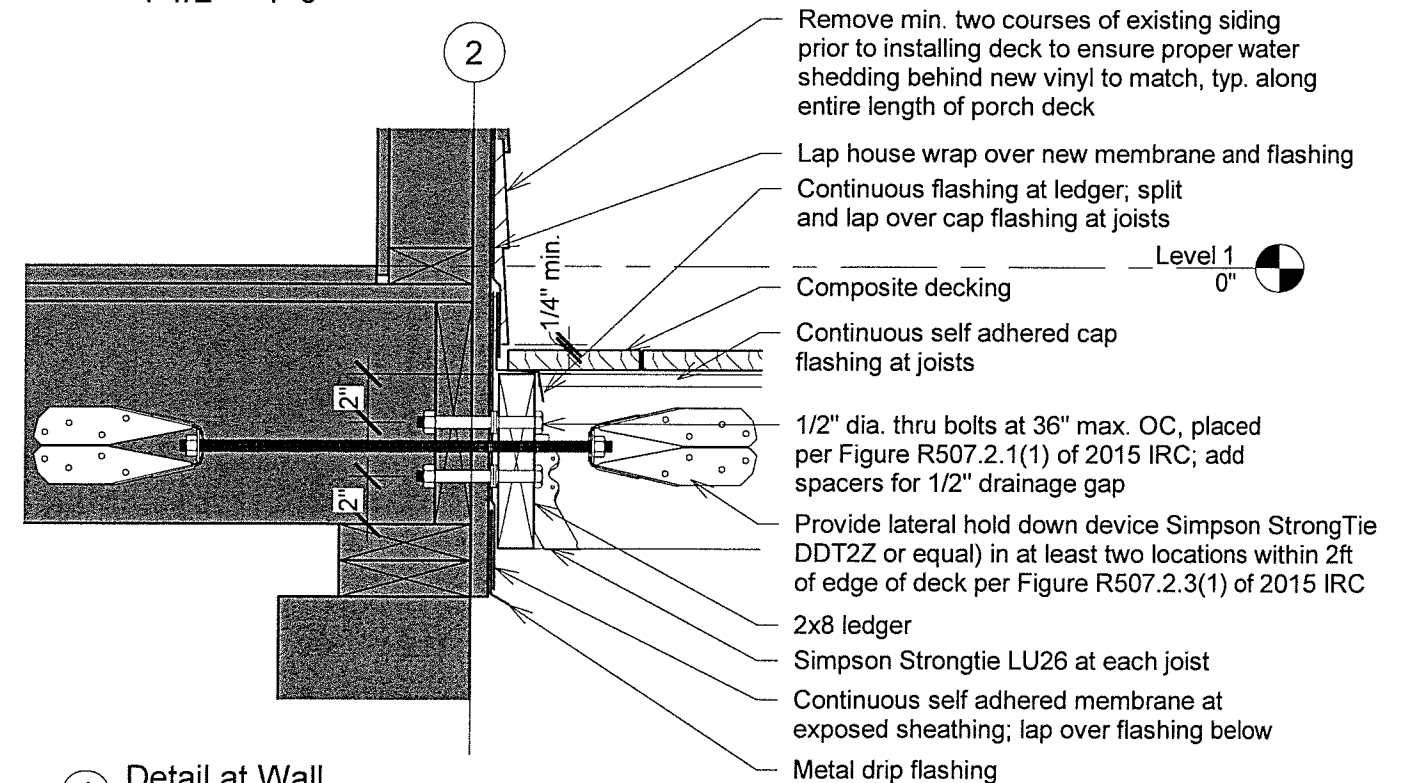
Permit Set	
Date	08-31-2021
Drawn by	DO
	A06



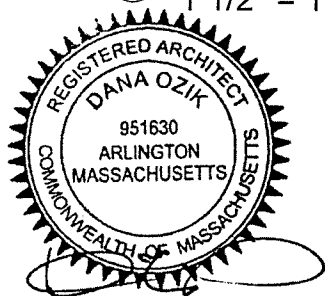
3 Detail at Roof Rafter  
1 1/2" = 1'-0"



2 Detail at Door Sill  
1 1/2" = 1'-0"



1 Detail at Wall  
1 1/2" = 1'-0"



No.	Description	Date

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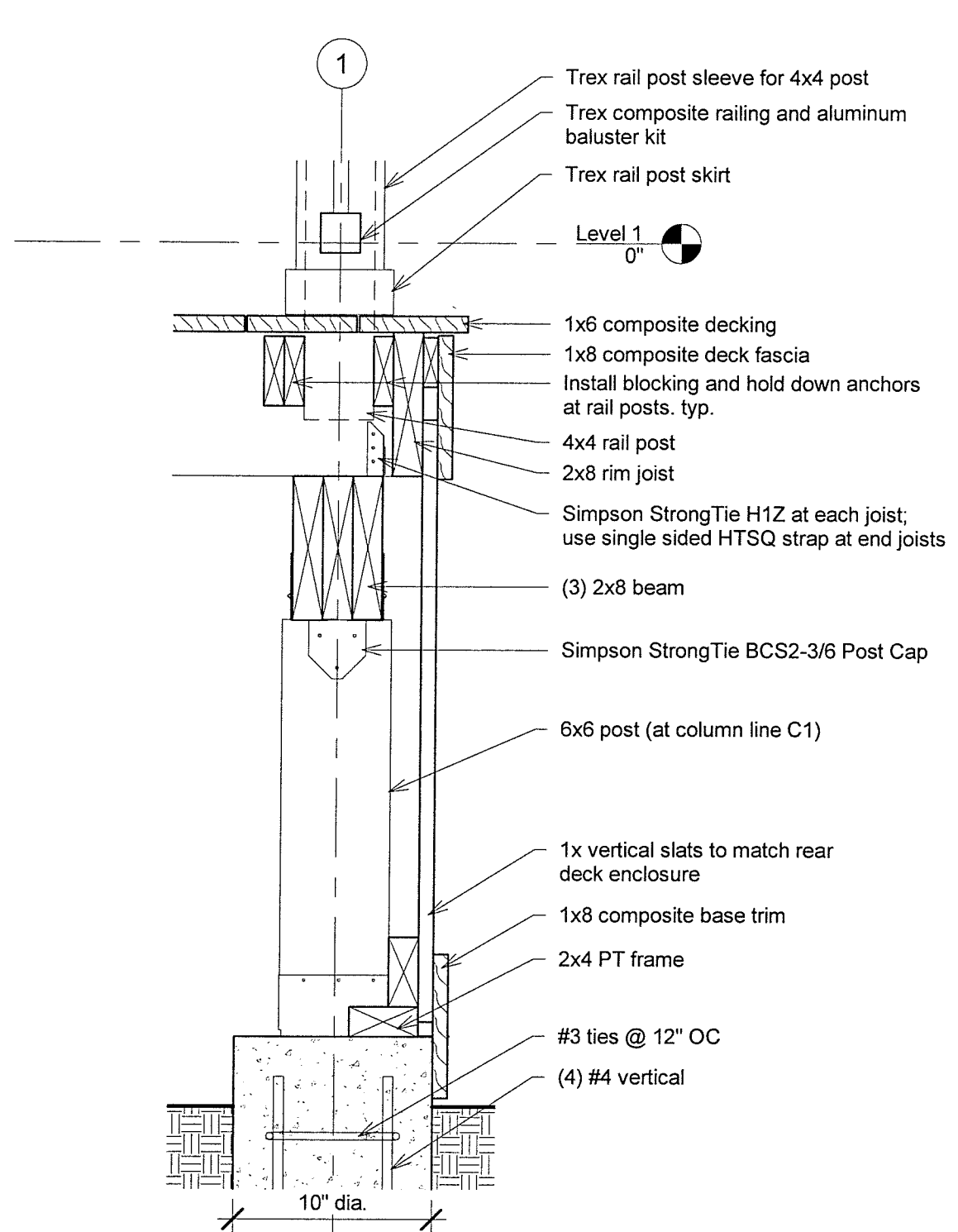
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Mikkelson Front Porch Addition

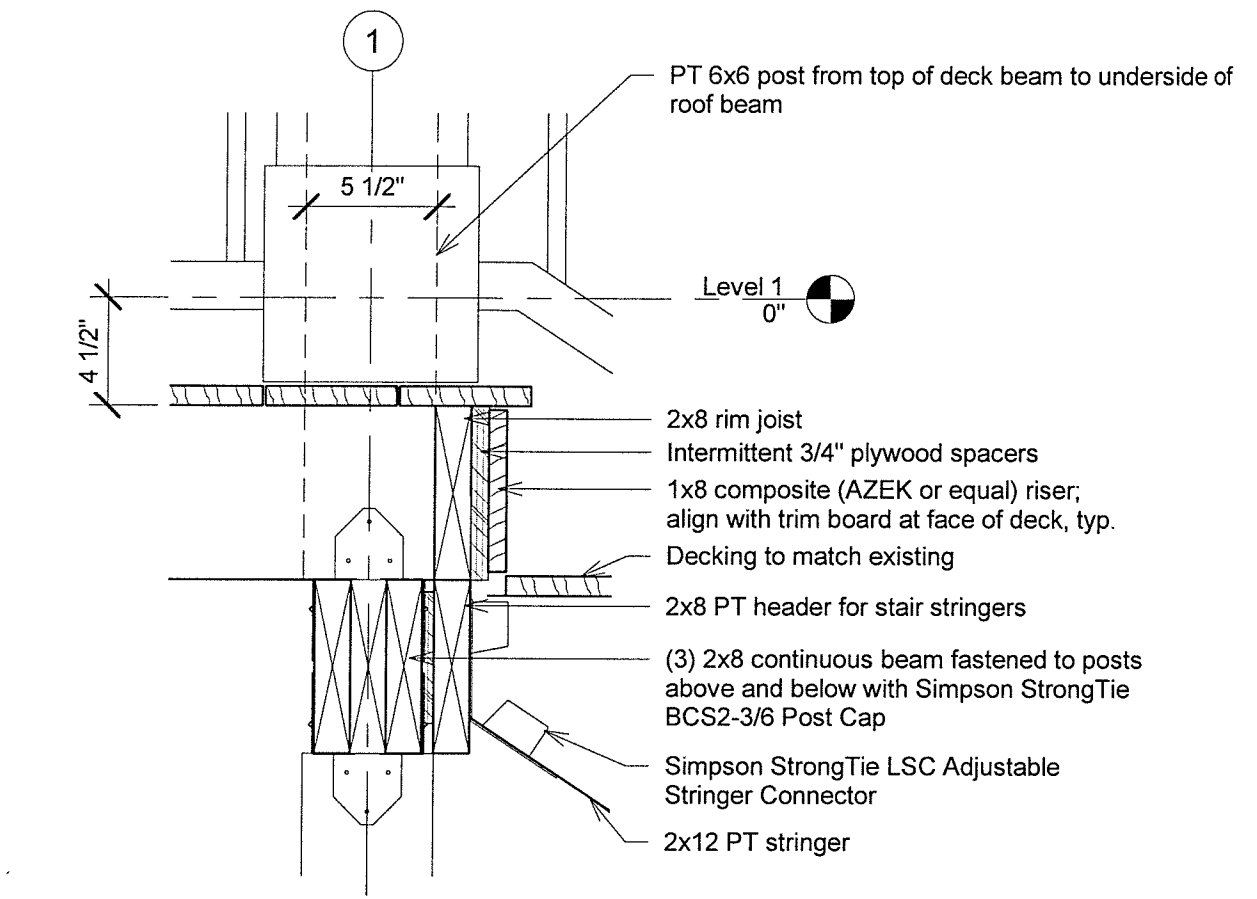
82 Grandview Road, Arlington

Details at Interface with Existing Structure

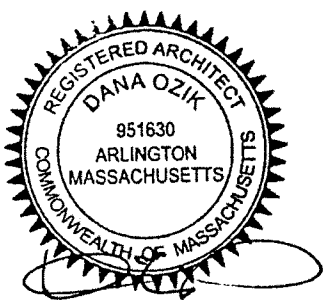
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Date	08-31-2021
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	A07



Detail at Column C1 and Typical Deck Enclosure  
 1 1/2" = 1'-0"



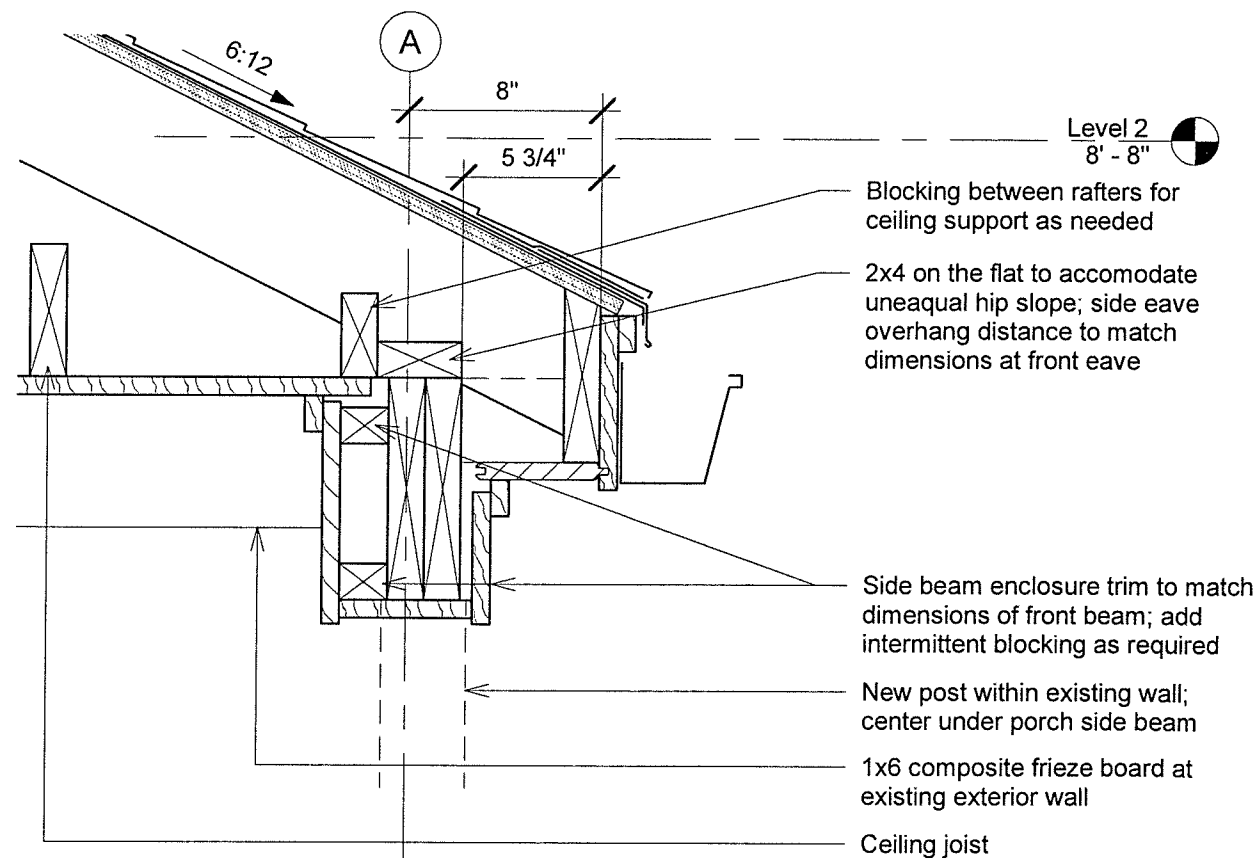
Detail at Top of Stair  
 1 1/2" = 1'-0"



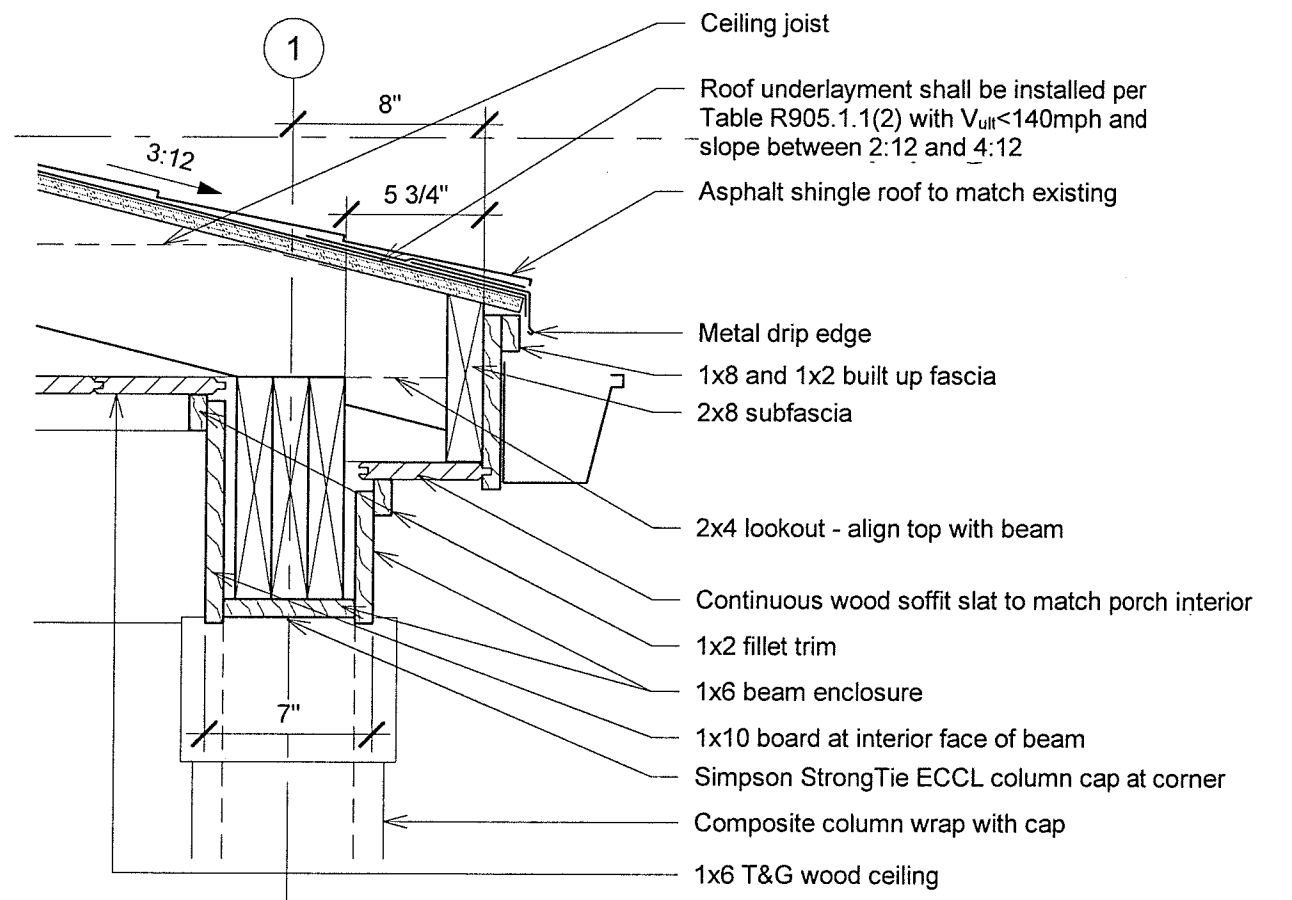
No.	Description	Date

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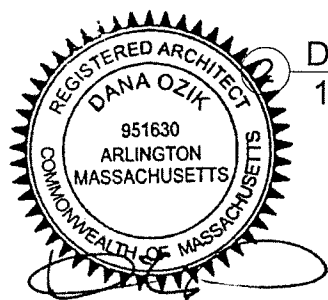
Mikkelson Front Porch Addition 82 Grandview Road, Arlington	Permit Set
	Date 08-31-2021
	Drawn by DO
Deck Edge Details	A08



Detail at Porch Roof Eave - Steep Roof  
1 1/2" = 1'-0"



① Detail at Porch Roof Eave - Shallow Roof  
1 1/2" = 1'-0"



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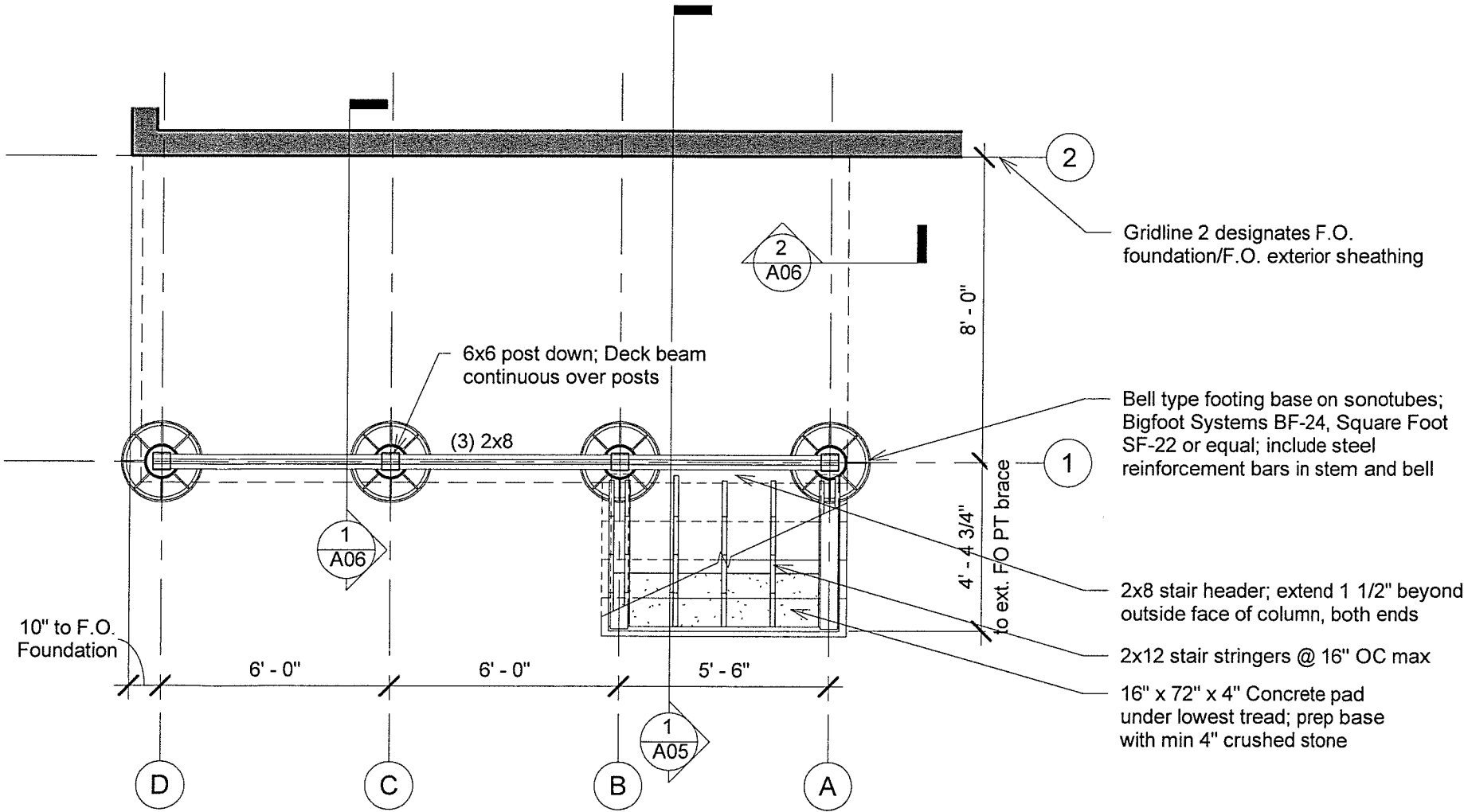
82 Grandview Road, Arlington

Roof Eave Details

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Date	08-31-2021
Drawn by	DO
A09	

GENERAL NOTES: STRUCTURAL

1. Applicable codes: Massachusetts State Building Code, 9th Edition Residential Code (based on the 2015 International Residential Code)
2. The structural design of the deck is based on the full interaction of all of its parts. Contractor shall bear the sole responsibility of making proper and adequate provisions for the stability of the structure during the course of construction.
3. Design Loads:
  - A. Live Load - Porch 40 PSF
  - B. Dead Load - Porch 10 PSF
  - C. Snow Load - Ground 40 PSF
  - D. Dead Load - Roof 20 PSF
4. Design Wind Speed: 127 MPH; Risk category II; Wind exposure class B
5. Foundation design an assumed Soil Bearing Capacity of 1500 PSF with frost depth of 4ft.
6. Bearing materials and footing elevations shown are based on assumed conditions. If upon excavation, deviations are found, Contractor shall notify the Architect.
7. All foundations shall bear on undisturbed material and all soils adjacent to and below footings shall be kept from freezing at all times. If any frozen material is found below the footing, it shall be removed and replaced with engineered structural fill.
8. Severe weathering conditions require concrete compressive strength  $f'_c=3500\text{psi}$  or better @ 28 days per Table R402.2.
9. All reinforcement shall be securely held in place for concrete placement with additional bard or stiffups provided to support all bars as required. Dowels shall not be wet-stuck.
10. Minimum concrete cover for reinforcing steel shall be min. 1 1/2" where cast against forms and exposed to earth/weather. Cover shall increase to 3" min. if concrete is cast directly in and permanently exposed to earth.
11. With the exception of roof framing members that will be protected from weather, all deck framing members and porch columns shall be PT Southern Pine #2 or better. Any member in direct contact with concrete or foundation shall be rated for ground contact. Weather protected structural framing members are not required to be pressure treated.
12. Fasteners and connectors in contact with PT framing members shall be in accordance with ASTM A153, zinc coated, hot-dipped galvanized.
13. All framing lumber shall be checked before use, with all checked, split, and otherwise deficient stock rejected or used only for miscellaneous blocking/furring/incidental use.
14. Roof sheathing shall be 19/32" thick APA-rated CDX grade plywood or 5/8" Zip roof sheathing, installed per code or manufacturer's instructions.



1 Structural - Foundation Plan  
1/4" = 1'-0"



No.	Description	Date

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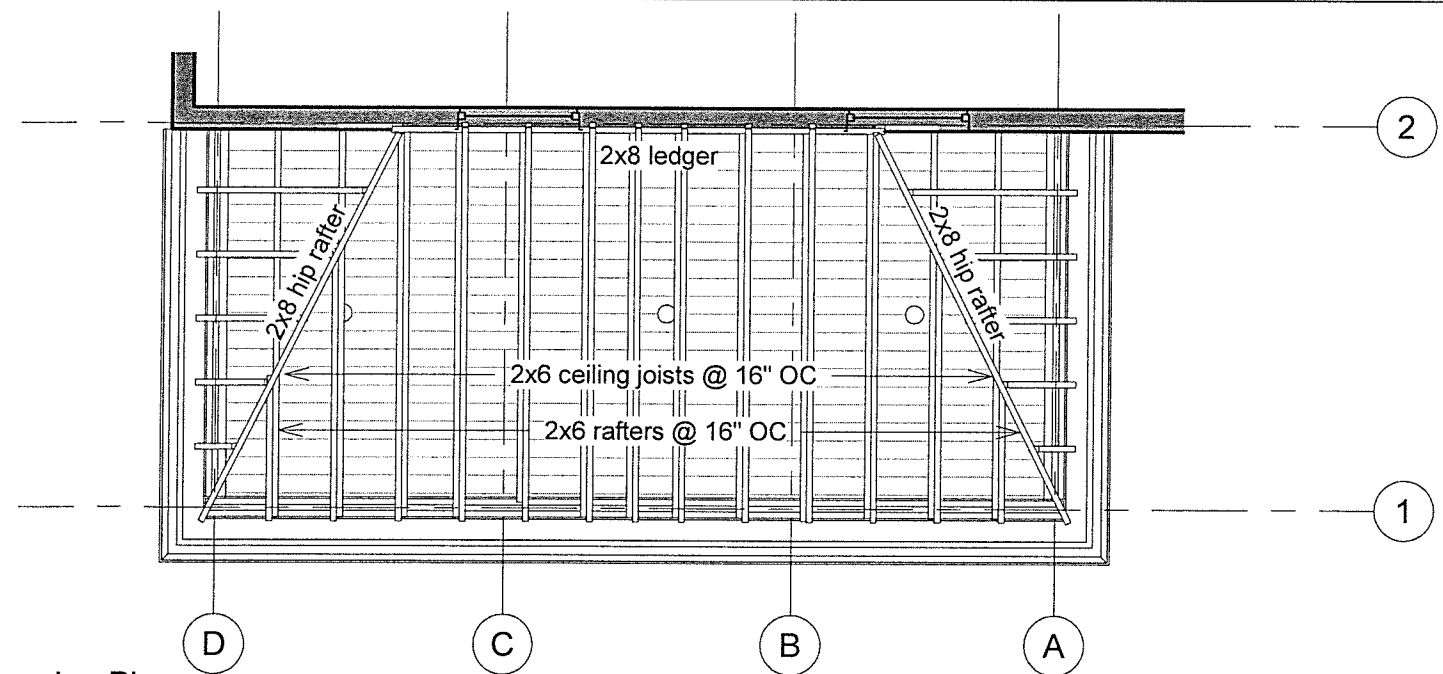
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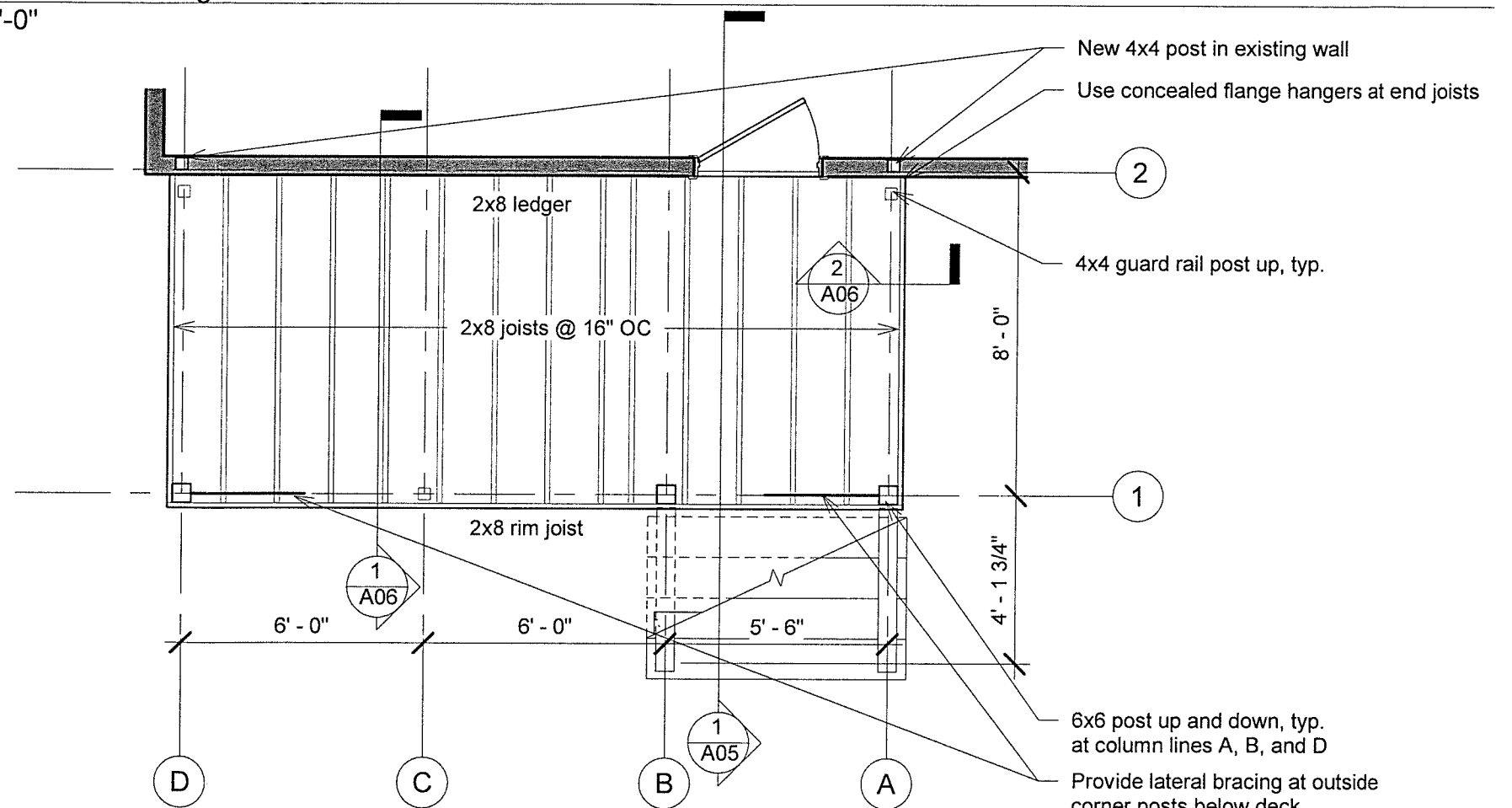
82 Grandview Road, Arlington

Structural Plans

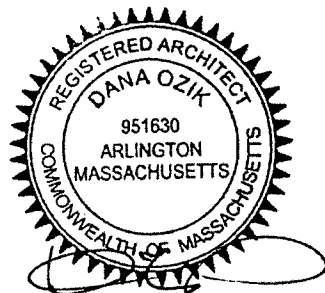
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Date	08-31-2021
Drawn by	DO
	S01



② Structural - Roof Framing Plan  
1/4" = 1'-0"



① Structural - Deck Framing Plan  
1/4" = 1'-0"



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Structural Plans

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Date	08-31-2021
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