



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

TOWN CLERK'S OFFICE  
ARLINGTON, MA 02174

2022 APR 22 AM 10:42

RECEIVED

### LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Ayan Chaudhuri** of Arlington, MA. On April 7, 2022, a petition seeking permission to alter his property located at **30 Venner Road Block Plan 151.0-0001-0001B** Said petition would require a Special Permit and a Variance under **Section 5-18 (6) and Section 5.4.2** respectively of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening May 24, 2022 at 7:30 P.M or as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**  
**[https://town-arlington-ma-](https://town-arlington-ma-us.zoom.us/meeting/register/tZ0udu6hrz4iEtcR_6s_2r9eZiaorRASgbMh)**

**[us.zoom.us/meeting/register/tZ0udu6hrz4iEtcR\\_6s\\_2r9eZiaorRASgbMh](https://town-arlington-ma-us.zoom.us/meeting/register/tZ0udu6hrz4iEtcR_6s_2r9eZiaorRASgbMh)**

**For documentation relating to this petition, visit the ZBA website at [www.arlingtonma.gov/zba](http://www.arlingtonma.gov/zba).**

**DOCKET NO 3697**

**Zoning Board of Appeals**

**Christian Klein, RA, Chair**

Please direct any questions to: **[ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)**

**REQUEST FOR SPECIAL PERMIT**

**TOWN OF ARLINGTON**



In the matter of the Application of 30 Venner Rd  
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

District Yard and Open Space requirements for R1 stated in Section 5.4.2A

Consideration to treat ADU as a separate unit (even though it is attached to primary dwelling)

and abate requirements of 10 ft setback on left and rear side to 6ft (similar to detached accessory unit)

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 30 Venner Rd with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

12 year Arlington resident is seeking to build an ADU for aging single parent. Resident is only child  
and parent would like to spend golden years with 2 grandkids and get the mental, physical and social  
support that is being lacking due to the pandemic.

E-Mail: ayan.h.chaudhuri@gmail.com

Signed: *A. Chaudhuri*

Date: 4/7/2022

Telephone: 508-728-4172

Address: 30 Venner Rd, Arlington MA 02476

**Special Permit Criteria:** Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board's determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

Use is allowed by right, 30 Venner Rd is located in R1 District

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B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*

Proposed Use is unchanged and allowed by right

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C). Explain why *the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

Not applicable since use is within the lot

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D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

Requested use will not be significant and only an additional person will reside in the unit

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E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

Not Applicable

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

Requested Use will conform to existing dwelling

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

Not applicable

**TOWN OF ARLINGTON**  
Dimensional and Parking Information  
For Applications to the Zoning Board of Appeals

1. Property Location: 30 Venner Rd Zoning District: R1

2. Present Use/Occupancy: Single Family No. of dwelling units ONE

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
3178 Sq. Ft.

4. Proposed Use/Occupancy: Single Family with ADU No. of dwelling units TWO

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
396 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	5,092	5,092.00	min. 6,000
7. Frontage (Ft.)	67	67	min. 60
8. Floor area ratio	N/A	N/A	max. N/A
9. Lot Coverage ( %)	21.00%	28.00%	max 35.00%
10. Lot Area per Dwelling Unit (Sq. Ft.)	1,078	1,474	min.
11. Front Yard Depth (Ft.)	24	24	min. 25
12. Left Side Yard Depth (Ft.)	29	6	min. 10
13. Right Side Yard Depth (Ft.)	10	10	min. 10
14. Rear Yard Depth (Ft.)	6	6	min. 10
15. Height (Stories)	2	2	max. 2
16. Height (Ft.)	32.0	32.0	max. 35.0
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	2,918.00	2,820.00	
17A. Landscaped Open Space (% of GFA)	92.00%	91.00%	min. 10.00%
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	380.00	776.00	
18A. Usable Open Space (% of GFA)	12.00%	24.00%	min. 30.00%
19. Number of Parking Spaces	4	2	min. 1
20. Parking area setbacks (if applicable)	N/A	N/A	min. N/A
21. Number of Loading Spaces (if applicable)	<del>5,092</del> N/A	<del>5,092.00</del> N/A	min. <del>6,000</del> N/A
22. Type of construction	5	5	N/A
23. Slope of proposed roof(s) (in. per ft.)	N/A	N/A	min. N/A

**TOWN OF ARLINGTON**  
Open Space / Gross Floor Area Information  
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

**Address:** 30 Venner Rd

**Zoning District:** R1

<b><u>OPEN SPACE*</u></b>	<b>EXISTING</b>	<b>PROPOSED</b>
Total lot area	<u>5092</u>	<u>5092</u>
Open Space, Usable	<u>380.00</u>	<u>776.00</u>
Open Space, Landscaped	<u>2,918.00</u>	<u>2,820.00</u>

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

**GROSS FLOOR AREA (GFA) †**

Accessory Building	<u>908</u>	<u>1304</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u></u>	<u></u>
1 <sup>st</sup> Floor	<u>988</u>	<u>988</u>
2 <sup>nd</sup> Floor	<u>863</u>	<u>863</u>
3 <sup>rd</sup> Floor	<u></u>	<u></u>
4 <sup>th</sup> Floor	<u></u>	<u></u>
5 <sup>th</sup> Floor	<u></u>	<u></u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u>251</u>	<u>251</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u></u>	<u></u>
All weather habitable porches and balconies	<u>168</u>	<u>168</u>
<b>Total Gross Floor Area (GFA)</b>	<b><u>3178</u></b>	<b><u>3574</u></b>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

**REQUIRED MINIMUM OPEN SPACE AREA**

Landscaped Open Space (Sq. Ft.)	<u>2,918.00</u>	<u>2,820.00</u>
Landscaped Open Space (% of GFA)	<u>92.00%</u>	<u>91.00%</u>
Usable Open Space (Sq. Ft.)	<u>380.00</u>	<u>776.00</u>
Usable Open Space (% of GFA)	<u>12.00%</u>	<u>24.00%</u>

This worksheet applies to plans dated 04/01/2022 designed by Kamer Minassian

Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_

1-LEGEND :

- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- EXISTING WALLS AND PARTITIONS TO REMAIN
- NEW PARTITIONS
- SMOKE DETECTOR, HARD WIRED, INTER-CONNECTED
- COMBINED SMOKE AND CARBONE MONOXIDE DETECTOR, HARD WIRED INTER-CONNECTED

3-ANALYSIS OF ENERGY CONSERVATION:

AS PER INTERNATIONAL ENERGY CONSERVATION CODE:

- FENESTRATION U-FACTOR: 0.30.
- STREET U-FACTOR: 0.60.
- CEILING R-VALUE: 49.
- FLOOR R-VALUE: 30 OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM.
- WOOD FRAME WALL R-VALUE: 20.
- BASEMENT WALL R-VALUE: 10/13.
- EXTERIOR DOOR OPAQUE: U-VALUE 0.37 R-VALUE 4.75

2-GENERAL NOTES :

1. THE CONTRACTOR SHALL SURVEY THE EXISTING FRAMING AND VERIFY ALL DIMENSIONS IN THE FIELD. NOTIFY THE OWNER/ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN DIMENSIONS AND ANY FIELD CONDITIONS UNCOVERED DURING CONSTRUCTION THAT IS NOT CONSISTENT WITH THE PLANS OR THAT IS STRUCTURALLY INADEQUATE PRIOR TO PROCEEDING WITH WORK.
2. THE ARCHITECT HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION OF ANY KIND, AND ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION NON CONFORMING WITH THESE PLANS, NOR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
3. ALL CONSTRUCTION WORK SHALL COMPLY WITH THE LATEST EDITION OF THE MASSACHUSETTS STATE BUILDING CODE, THE LOCAL ZONING BUILDING CODE, THE LOCAL ZONING ORDINANCE OF THE TOWN OF ARLINGTON AND MASSACHUSETTS GENERAL LAWS.

3-CONSTRUCTION NOTES:

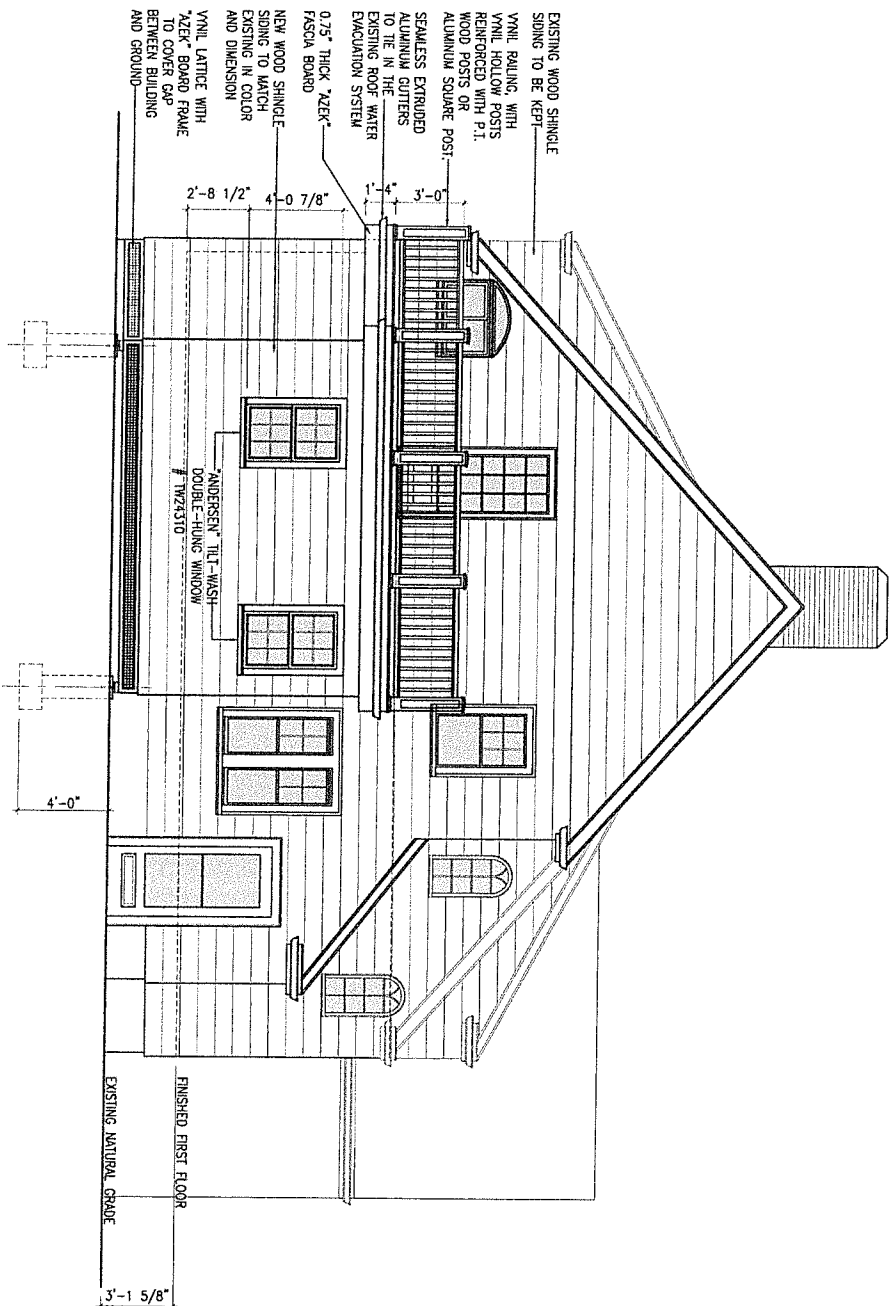
- DO NOT SCALE FROM DRAWINGS. CONTACT THE ARCHITECT REGARDING ALL QUESTIONS RELATED TO DIMENSIONS.
- UNLESS OTHERWISE NOTED ALL EXTERIOR DIMENSIONS ARE TO FINISHED WALL AND CEILING FINISH.
- ALL CONSTRUCTION SHALL MEET 780 CAR MASS. RESIDENTIAL CODE, THE TOWN OF ARLINGTON BUILDING ORDINANCE AND MASS. GENERAL LAWS.
- ALL PLUMBING, ELECTRICAL AND HVAC WORKS SHALL MEET APPLICABLE CODES.
- ALL LUMBER FOR CONVENTIONAL FRAMING SHALL BE #2 OR BETTER, SPRUCE-PIKE-RED (SPF) UNLESS NOTED OTHERWISE, HAVING A MAXIMUM MOISTURE CONTENT OF 19%.
- ALL EXTERIOR EXPOSED LUMBER SHALL BE PRESSURE TREATED.
- PROVIDE METAL "SWAPSON" HANGERS AT ALL RUSH FRAMING.
- HANGERS TO BE SIZED FOR MEMBERS TO BE ATTACHED AND TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- PROVIDE METAL BEARING LUGS AT ALL BEAMS, PROVIDE SOLID BLOCKING BELOW ALL BEAMS AT LUGS.
- UNLESS NOTED OTHERWISE, INSTALL DOUBLE JOISTS UNDER ALL WALLS PARALLEL WITH FRAMING.
- UNLESS NOTED OTHERWISE, ALL HEADERS, IN BEARING WALLS ABOVE WINDOWS AND DOORS SHALL BE (2) 2x10s W/1/2" PLYWOOD.
- UNLESS NOTED OTHERWISE, ALL BEAM BEARING POSTS SHALL BE PARALLEL PLY.
- FABRICATION, HANDLING AND INSTALLATION OF LVL PRODUCTS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.

PROJECT LOCATION:	30 KENNER ROAD, ARLINGTON	DRAWN: K.M.
PROPOSED ADDITION FOR AN IN-LAW APARTMENT TO THE LEFT OF THE HOUSE AND A SECOND FLOOR DECK ABOVE THE IN-LAW APARTMENT AND A FIRST FLOOR DECK TO THE REAR OF THE HOUSE.	DATE: 11/23/2021	CHECKED: K.M.
SHEET TITLE:	GENERAL NOTES AND LEGEND	DRAWING NO.: A-1



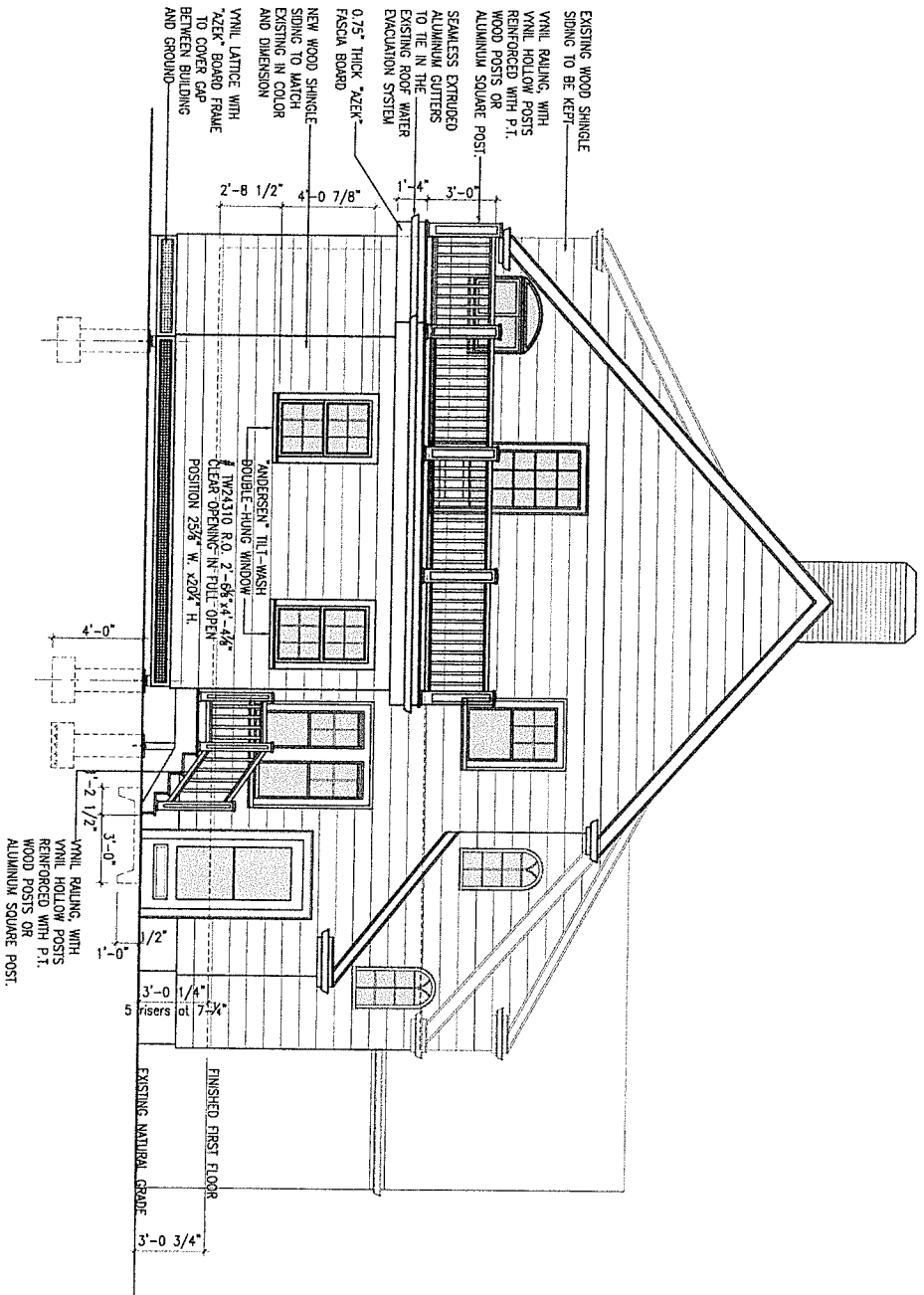






1  
A-4 PROPOSED LEFT SIDE ELEVATION  
SCALE: 3/16" = 1'-0"

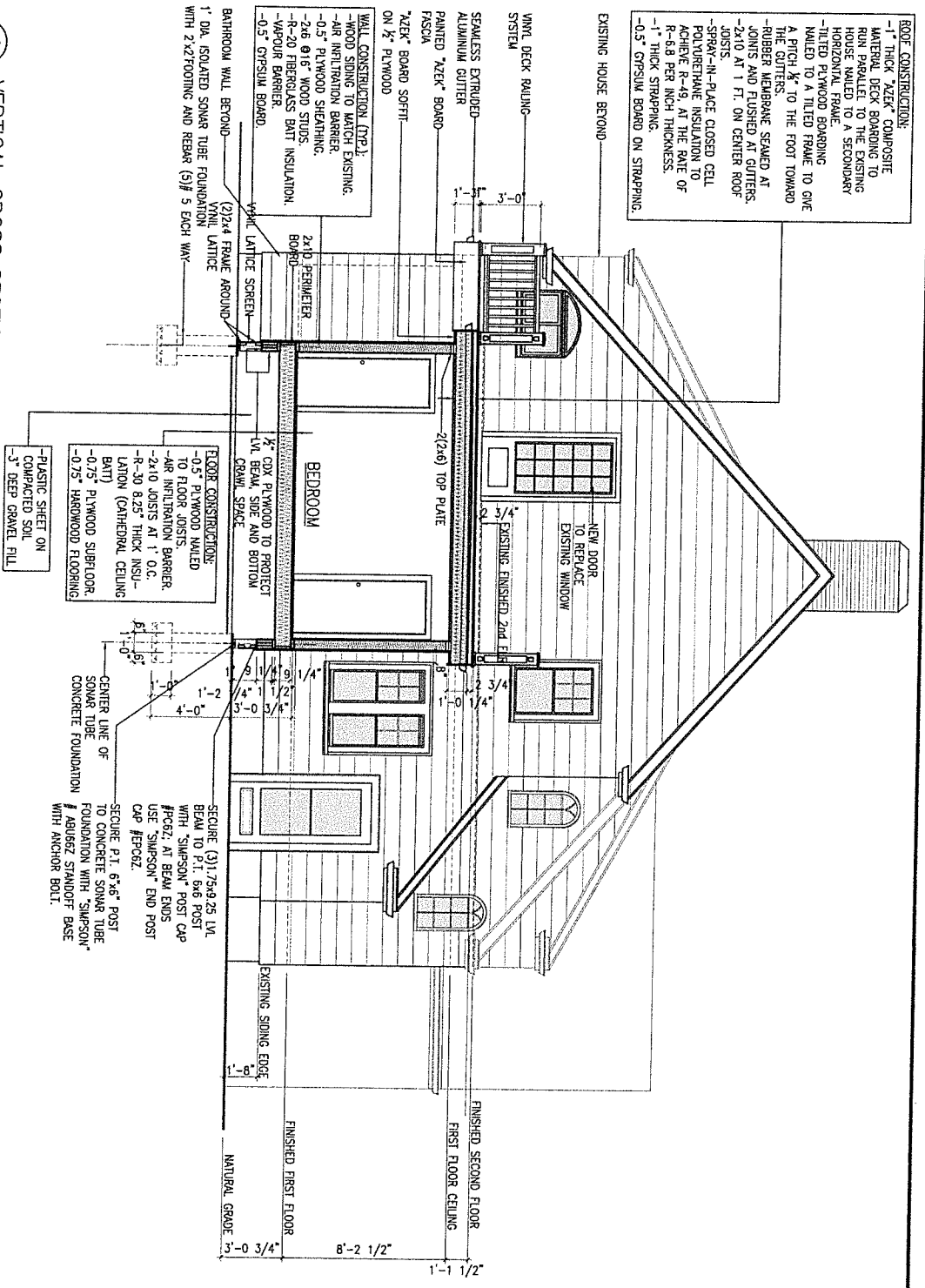
PROJECT LOCATION:	30 YENNER ROAD, ARLINGTON
DRAWN: K.M.	CHECKED: K.M.
DATE: 10/07/2021	SCALE: 3/16" = 1'-0"
SHEET TITLE:	PROPOSED LEFT SIDE ELEVATION OF EXISTING HOUSE AND IN-LAW APARTMENT
DRAWING NO.:	A-4



1 PROPOSED LEFT SIDE ELEVATION OF THE HOUSE  
A-5 SCALE: 3/16" = 1'-0"

PROJECT LOCATION:	30 VANNER ROAD, ARLINGTON
DRAWN:	K.M.
CHECKED:	K.M.
DATE:	11/23/2021
PROPOSED ADDITION FOR AN IN-LAW APARTMENT TO THE LEFT OF THE HOUSE AND A SECOND FLOOR DECK ABOVE THE IN-LAW APARTMENT AND A FIRST FLOOR DECK TO THE REAR OF THE HOUSE	
SHEET TITLE:	PROPOSED LEFT SIDE ELEVATION OF THE HOUSE
DRAWING NO.:	A-5

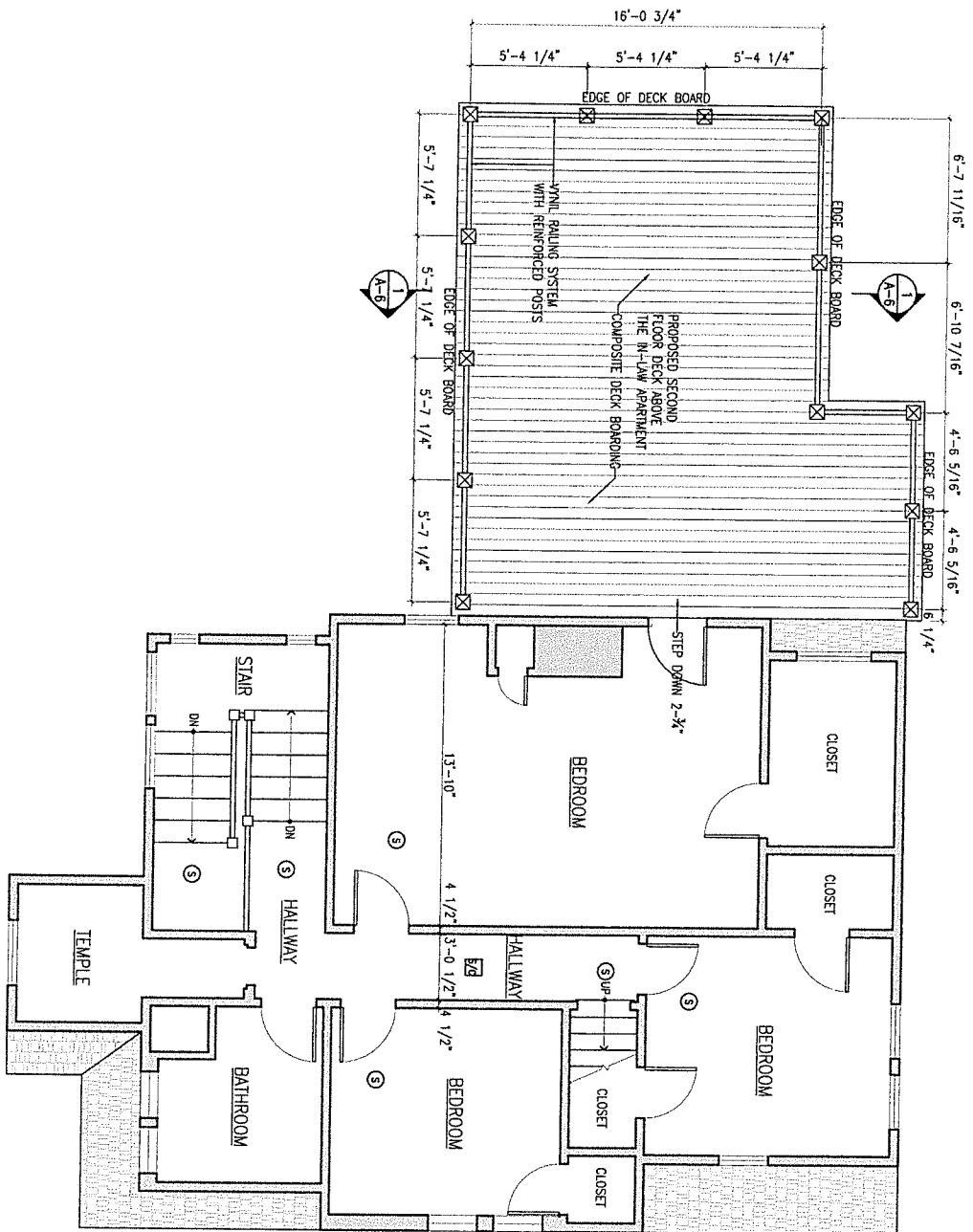
1 VERTICAL CROSS SECTION THROUGH PROPOSED ADDITION LOOKING TOWARD THE EXISTING HOUSE  
 A-6 SCALE: 3/16" = 1'-0"



PROJECT LOCATION:	30 WENNER ROAD, ARLINGTON
DRAWN:	K.M.
CHECKED:	K.M.
DATE:	12/14/2021
PROPOSED ADDITION FOR AN IN-LAW APARTMENT TO THE LEFT OF THE HOUSE AND A SECOND FLOOR DECK ABOVE THE IN-LAW APARTMENT AND A FIRST FLOOR DECK TO THE REAR OF THE HOUSE.	SCALE: 3/16" = 1'-0"
SHEET TITLE:	PROPOSED VERTICAL CROSS SECTION THROUGH IN-LAW ADDITION LOOKING TOWARD THE EXISTING HOUSE
DRAWING NO.:	A-6

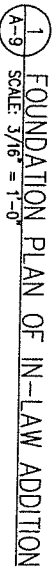


A-6a



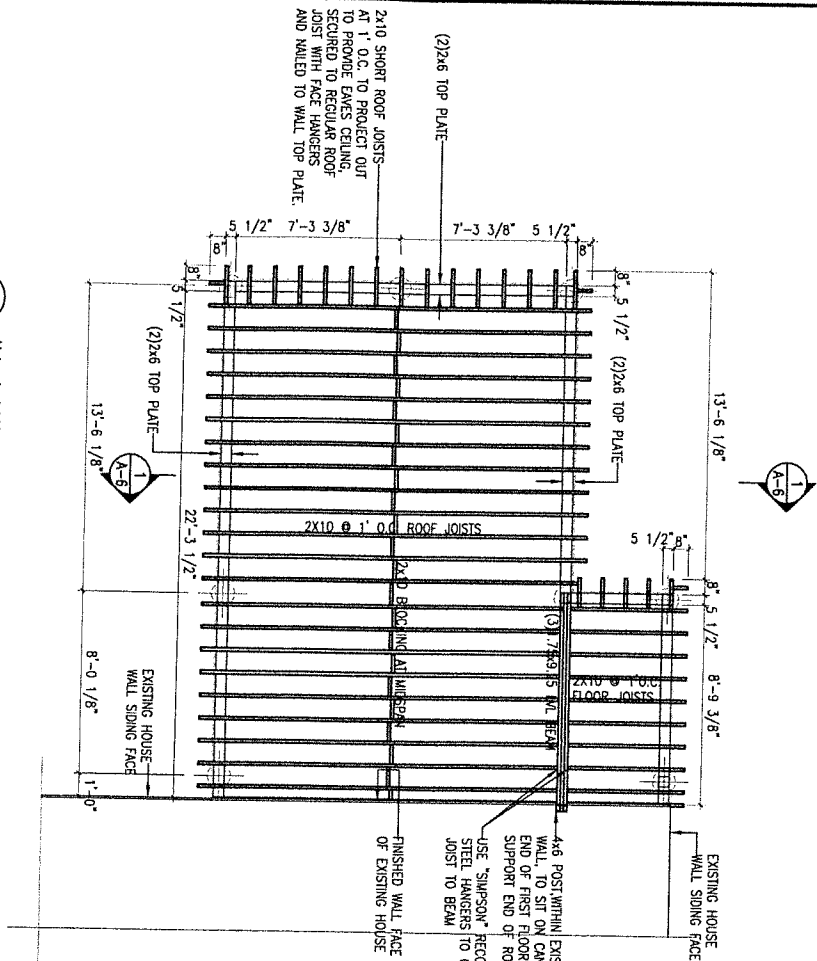
PROJECT LOCATION:	30 WENNER ROAD, ARLINGTON
DRAWN:	K.M.
CHECKED:	K.M.
DATE:	11/23/2021
PROJECT TITLE:	PROPOSED ADDITION FOR AN IN-LAW APARTMENT TO THE LEFT OF THE HOUSE AND SECOND FLOOR DECK ABOVE THE IN-LAW APARTMENT
SHEET TITLE:	PROPOSED SECOND FLOOR DECK TO THE REAR OF THE HOUSE
DRAWING NO.:	A-7



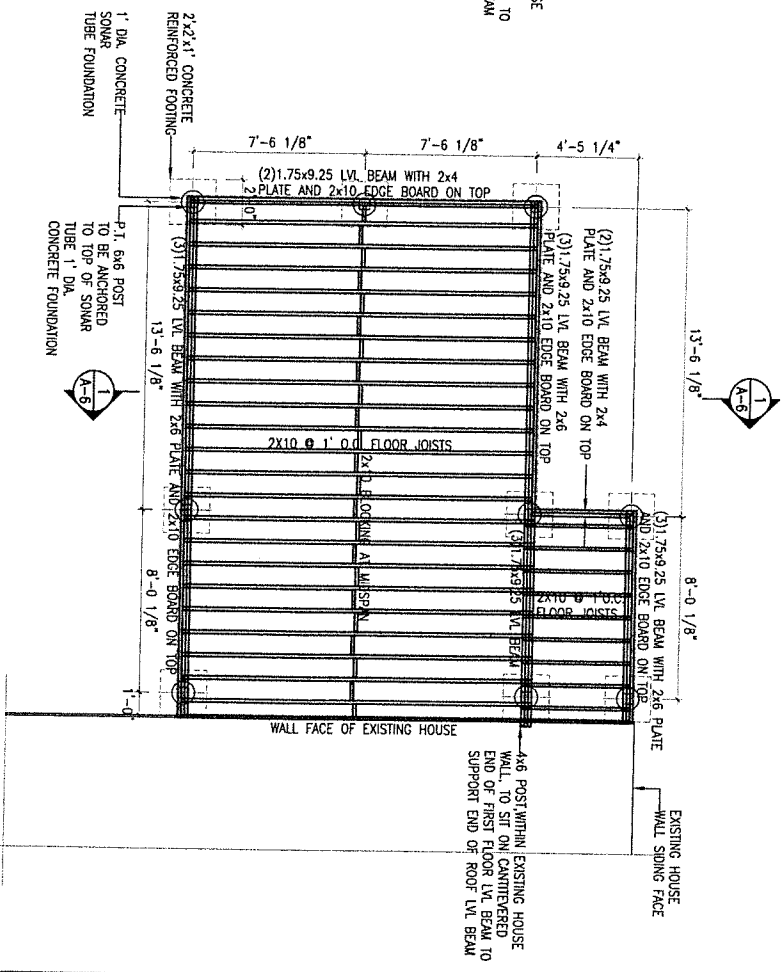


A-9



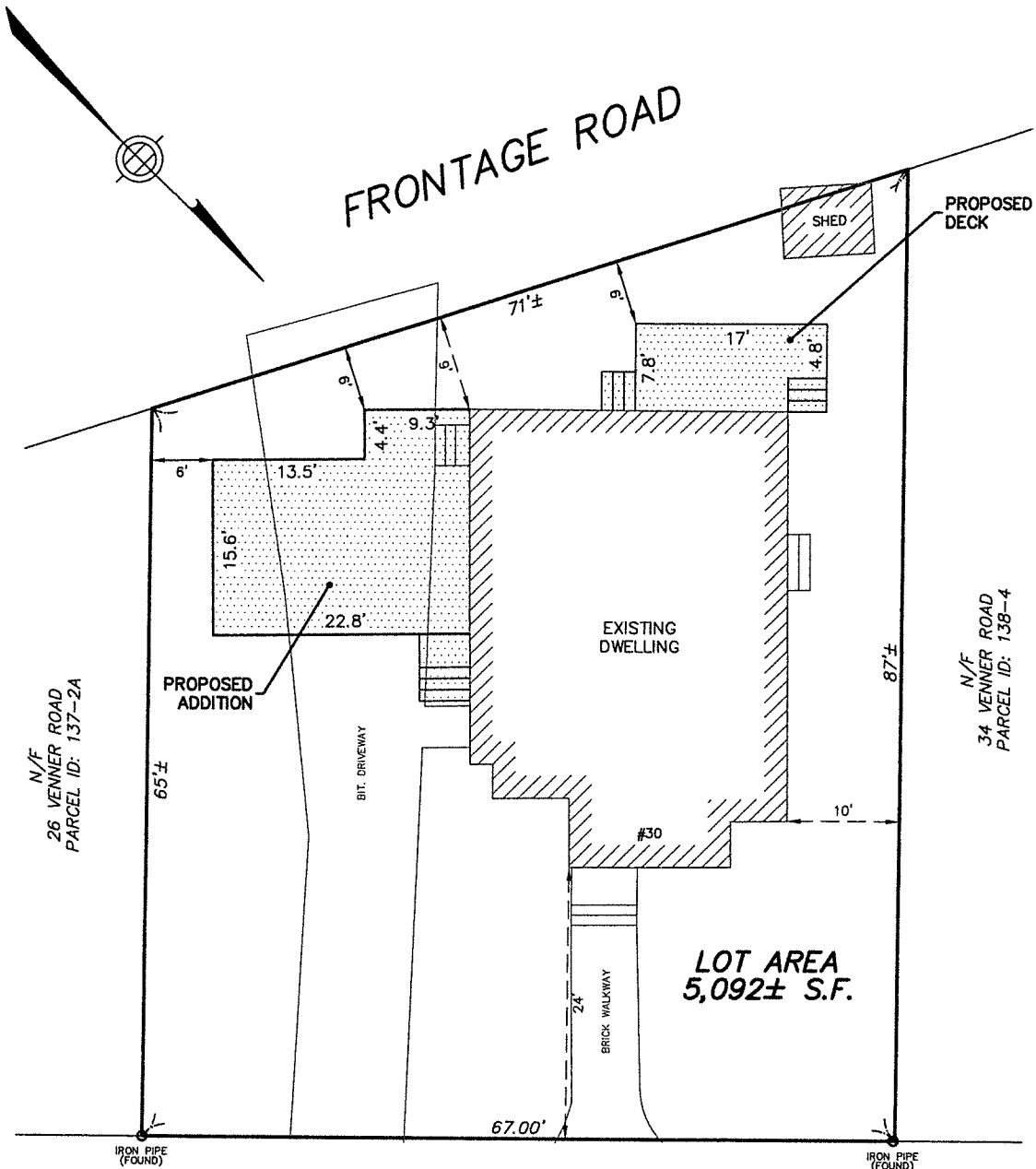


2 IN-LAW APARTMENT ROOF FRAMING PLAN  
A-10 SCALE: 3/16" = 1'-0"



1 IN-LAW APARTMENT FIRST FLOOR FRAMING PLAN  
A-10 SCALE: 3/16" = 1'-0"

PROJECT LOCATION:	30 VENNIE ROAD, ARLINGTON
DRAWN: K.M.	
CHECKED: K.M.	
DATE: 11/23/2021	
PROJECT TITLE:	PROPOSED ADDITION FOR AN IN-LAW APARTMENT TO THE LEFT OF THE HOUSE AND SECOND FLOOR DECK ABOVE THE IN-LAW APARTMENT AND A FIRST FLOOR DECK TO THE REAR OF THE HOUSE
SHEET TITLE:	FIRST FLOOR AND ROOF FRAMING PLANS OF IN-LAW APARTMENT
DRAWING NO.:	A-10



VENNER ROAD  
(PUBLIC - 40' WIDE)

ZONE: R1

**RECORD OWNER:**

AYAN HOM & SHEETAL A.H. CHAUDHURI  
BOOK 55979 PAGE 25

**PLAN REFERENCE:**

LOT 8 ON END OF PLAN 5269

GRAPHIC SCALE



1" = 10'



**SCOTT M. CERRATO**  
Professional Land Surveyor

P.O. Box 366 - Exeter, NH 03833 - 781-775-3724

**PLOT PLAN**

**30 VENNER ROAD**  
**ARLINGTON, MASSACHUSETTS**  
**PARCEL ID: 47-854-438**

I HEREBY CERTIFY THAT THIS PLAN IS BASED  
ON AN ACTUAL INSTRUMENT SURVEY MADE ON THE  
GROUND IN AUGUST 2021 AND THE STRUCTURES  
DEPICTED HEREON ARE LOCATED AS SHOWN.

12-9-20

DATE

*Scott M. Cerrato*

SIGNATURE

AUGUST 22, 2021