



TOWN OF ARLINGTON
REDEVELOPMENT BOARD

Application for Special Permit In Accordance with Environmental Design
Review Procedures (Section 3.4 of the Zoning Bylaw)

PLANNING & COMMUNITY
DEVELOPMENT
TOWN CLERK'S OFFICE
ARLINGTON, MA 02124
JUN -1 P 1:25
JUN -2 PM 4:58

Docket No. 342

1. Property Address 464 Mass Ave
Name of Record Owner(s) COHEN MAX R TRUSTEE Phone _____
Address of Owner 89 WINCHESTER ST, BROOKLINE MA 02446
Street City, State, Zip
2. Name of Applicant(s) (if different than above) Deep Cuts Deli & Brewery (Deep Cuts LLC)
Address 472 High St, Medford MA 02155 Phone 781-864-5846
Status Relative to Property (occupant, purchaser, etc.) occupant
3. Location of Property 011.0-0003-0001.0
Assessor's Block Plan, Block, Lot No.
4. Deed recorded in the Registry of deeds, Book 12008, Page 257;
-or- registered in Land Registration Office, Cert. No. _____, in Book _____, Page _____.
5. Present Use of Property (include # of dwelling units, if any) Restaurant
6. Proposed Use of Property (include # of dwelling units, if any) Restaurant and Brewery (Artisinal Fabrication)

7. Permit applied for in accordance with the following Zoning Bylaw section(s) 5.5.3 Use Regulations for Business Districts
6.1.5 Parking Reduction in Business, Industrial, and Multi-Family Residential Zones
- section(s) title(s)

8. Please attach a statement that describes your project and provide any additional information that may aid the ARB in understanding the permits you request. Include any reasons that you feel you should be granted the requested permission.

Use Regulation:

We will be mostly re-instating the previous use of a Restaurant with a small on-site Brewing operation (artisinal fabrication) in the basement.

Parking Reduction:

The existing site does not have parking, nor is the ability to create more. Street Parking is available as well as a large Municipal lot across the street.

(In the statement below, strike out the words that do not apply)

The applicant states that Deep Cuts Deli & Brewery is the owner -or- occupant -or- purchaser under agreement of the property in Arlington located at 464 Massachusetts Avenue which is the subject of this application; and that unfavorable action -or- no unfavorable action has been taken by the Zoning Board of Appeals on a similar application regarding this property within the last two years. The applicant expressly agrees to comply with any and all conditions and qualifications imposed upon this permission, either by the Zoning Bylaw or by the Redevelopment Board, should the permit be granted.

Signature of Applicant(s)

11 Butler St, Medford MA 02155

Address

781-864-5846

Phone



TOWN CLERK'S OFFICE
ARLINGTON, MA 02170

PLANNING & COMMUNITY
DEVELOPMENT

Town of Arlington Redevelopment Board
Application for Special Permit in accordance with
Environmental Design Review (Section 3.4)

RECEIVED Required Submittals Checklist

Two full sets of materials and one electronic copy are required. A model may be requested.
Review the ARB's Rules and Regulations, which can be found at arlingtonma.gov/arb, for the full
list of required submittals.

- ✓ X Dimensional and Parking Information Form (see attached)
- ✓ X Site plan of proposal
- NA Model, if required
- ✓ X Drawing of existing conditions
- ✓ X Drawing of proposed structure
- ✓ X Proposed landscaping. May be incorporated into site plan
- ✓ X Photographs
- ✓ X Impact statement
- ✓ X Application and plans for sign permits
- na Stormwater management plan (for stormwater management during construction for projects
with new construction)

FOR OFFICE USE ONLY

_____ Special Permit Granted	Date: _____
_____ Received evidence of filing with Registry of Deeds	Date: _____
_____ Notified Building Inspector of Special Permit filing	Date: _____

TOWN OF ARLINGTON
REDEVELOPMENT BOARD

Petition for Special Permit under Environmental Design Review (see Section 3.4 of the
Arlington Zoning Bylaw for Applicability)

For projects subject to Environmental Design Review, (see Section 3.4), please submit a statement that completely describes your proposal, and addresses each of the following standards.

1. Preservation of Landscape. The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.
2. Relation of Buildings to Environment. Proposed development shall be related harmoniously to the terrain and to the use, scale, and architecture of existing buildings in the vicinity that have functional or visual relationship to the proposed buildings. The Arlington Redevelopment Board may require a modification in massing to reduce the effect of shadows on abutting property in an R0, R1 or R2 district or on public open space.
3. Open Space. All open space (landscaped and usable) shall be so designed as to add to the visual amenities of the vicinity by maximizing its visibility for persons passing the site or overlooking it from nearby properties. The location and configuration of usable open space shall be so designed as to encourage social interaction, maximize its utility, and facilitate maintenance.
4. Circulation. With respect to vehicular, pedestrian and bicycle circulation, including entrances, ramps, walkways, drives, and parking, special attention shall be given to location and number of access points to the public streets (especially in relation to existing traffic controls and mass transit facilities), width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, access to community facilities, and arrangement of vehicle parking and bicycle parking areas, including bicycle parking spaces required by Section 8.13 that are safe and convenient and, insofar as practicable, do not detract from the use and enjoyment of proposed buildings and structures and the neighboring properties.
5. Surface Water Drainage. Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Available Best Management Practices for the site should be employed, and include site planning to minimize impervious surface and reduce clearing and re-grading. Best Management Practices may include erosion control and storm water treatment by means of swales, filters, plantings, roof gardens, native vegetation, and leaching catch basins. Storm water should be treated at least minimally on the development site; that which cannot be handled on site shall be removed from all roofs, canopies, paved and pooling areas and carried away in an underground drainage system. Surface water in all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, and will not create puddles in the paved areas.

In accordance with Section 3.3.4, the Board may require from any applicant, after consultation with the Director of Public Works, security satisfactory to the Board to insure the maintenance of all storm water facilities such as catch basins, leaching catch basins, detention basins, swales, etc. within the site. The Board may use funds provided by such security to conduct maintenance that the applicant fails to do. The Board may adjust in its sole discretion the amount and type of financial security such that it is satisfied that the amount is sufficient to provide for the future maintenance needs.

6. Utility Service. Electric, telephone, cable TV and other such lines and equipment shall be underground. The proposed method of sanitary sewage disposal and solid waste disposal from all buildings shall be indicated.
7. Advertising Features. The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures or features shall not detract from the use and enjoyment of proposed buildings and structures and the surrounding properties. Advertising features are subject to the provisions of Section 6.2 of the Zoning Bylaw.

8. **Special Features.** Exposed storage areas, exposed machinery installations, service areas, truck loading areas, utility buildings and structures, and similar accessory areas and structures shall be subject to such setbacks, screen plantings or other screening methods as shall reasonably be required to prevent their being incongruous with the existing or contemplated environment and the surrounding properties.
9. **Safety.** With respect to personal safety, all open and enclosed spaces shall be designed to facilitate building evacuation and maximize accessibility by fire, police, and other emergency personnel and equipment. Insofar as practicable, all exterior spaces and interior public and semi-public spaces shall be so designed as to minimize the fear and probability of personal harm or injury by increasing the potential surveillance by neighboring residents and passersby of any accident or attempted criminal act.
10. **Heritage.** With respect to Arlington's heritage, removal or disruption of historic, traditional or significant uses, structures, or architectural elements shall be minimized insofar as practicable, whether these exist on the site or on adjacent properties.
11. **Microclimate.** With respect to the localized climatic characteristics of a given area, any development which proposes new structures, new hard-surface ground coverage, or the installation of machinery which emits heat, vapor, or fumes, shall endeavor to minimize, insofar as practicable, any adverse impact on light, air, and water resources, or on noise and temperature levels of the immediate environment.
12. **Sustainable Building and Site Design.** Projects are encouraged to incorporate best practices related to sustainable sites, water efficiency, energy and atmosphere, materials and resources, and indoor environmental quality. Applicants must submit a current Green Building Council Leadership in Energy and Environmental Design (LEED) checklist, appropriate to the type of development, annotated with narrative description that indicates how the LEED performance objectives will be incorporated into the project. [LEED checklists can be found at <http://www.usgbc.org/DisplayPage.aspx?CMSPageID=220b>]

In addition, projects subject to Environmental Design Review must address and meet the following Special Permit Criteria (see Section 3.3.3 of the Zoning Bylaw):

1. The use requested is listed as a special permit in the use regulations for the applicable district or is so designated elsewhere in this Bylaw.
2. The requested use is essential or desirable to the public convenience or welfare.
3. The requested use will not create undue traffic congestion or unduly impair pedestrian safety.
4. The requested use will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.
5. Any special regulations for the use as may be provided in this Bylaw are fulfilled.
6. The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals, or welfare.
7. The requested use will not, by its addition to a neighborhood, cause an excess of the particular use that could be detrimental to the character of said neighborhood.

TOWN OF ARLINGTON

Dimensional and Parking Information
for Application to
The Arlington Redevelopment Board

Docket No. 3702

Property Location 464 Mass Ave

Zoning District B5

Owner: COHEN MAX R TRUSTEE

Address: 89 WINCHESTER ST, BROOKLINE MA 02446

Present Use/Occupancy: No. of Dwelling Units:
Restauraunt

Uses and their gross square feet:
4774

Proposed Use/Occupancy: No. of Dwelling Units:
Restaurant and Brewery

Uses and their gross square feet:
4774

	<u>Present Conditions</u>	<u>Proposed Conditions</u>	<u>Min. or Max. Required by Zoning for Proposed Use</u>
Lot Size	14276	14276	min.
Frontage	118	118	min. 50
Floor Area Ratio	1	1	max. 1.4
Lot Coverage (%), where applicable	100	100	max.
Lot Area per Dwelling Unit (square feet)	NA	NA	min. 600
Front Yard Depth (feet)	0	0	min. -
Side Yard Width (feet) right side	0	0	min. -
left side	0	0	min. -
Rear Yard Depth (feet)	18	18	min. 22
Height			min.
Stories	1	1	stories 3
Feet	16	16	feet 60
Open Space (% of G.F.A.)	0	0	min. 10%
Landscaped (square feet)	0	0	(s.f.) 0
Usable (square feet)	0	0	(s.f.) 0
Parking Spaces (No.)	0	0	min. 0
Parking Area Setbacks (feet), where applicable	0	0	min. 0
Loading Spaces (No.)	0	0	min. 0
Type of Construction	3		
Distance to Nearest Building	0	0	min. 0

DEEP CUTS

Deli & Brewery

PLANNING & COMMUNITY
DEVELOPMENT
2022 JUN -1 P 1:25

5/27/20

To: Arlington Redevelopment Board
Re: Deep Cuts Deli & Brewery
Application For Special Permit – Impact Statement

Thank you for the opportunity to present our Impact Statement, as part of our Special Permit Application to the Arlington Redevelopment Board.

We are Deep Cuts Deli & Brewery, a small sandwich shop and nanobrewery located at 472 High Street, Medford MA, and we are applying to relocate to 464 Massachusetts Avenue, Arlington, MA to open a larger dine-in location with a larger on-site brewery. We focus on creative sandwiches, sides and beer creations with a focus on supporting local arts, music, and community.

Our proposal is to lease the former Restaurant Space, Tango, and convert it into a new Restaurant and Brewery. Due to the similar use, this should have little impact on the local community and businesses for our proposed use. We will only be making minor interior renovations and repairs, and installing a 5bl brewing system in the basement. This is a small brewpub style brewhouse, intended for 75%+ production for on-site consumption, and no large scale distribution. We will have our own beer served alongside our food options.

We also intend to use the space to showcase local artists, craftsmen, musicians, etc, by incorporating local goods throughout the space for sale by the makers, as well as host Markets and local gatherings.

This location and space is ideal for us to bring Deep Cuts to the vision we have been working toward.

Please find below our responses to the Items identified to be addressed in the Impact Statement:

1. Preservation of Landscape
The site is completely inhabited by the existing structure, with only a rear alleyway open. We do not plan, nor have the ability to impact the landscaping, but plan to maintain the exterior area's of the building to our full capacity
2. Relation of Buildings to the Environment:
The only change to the existing building will be painting the exterior trim from blue to black and adding our sign at the existing sign location(s). No other exterior alterations are planned.
3. Open Space
The only open space on the site is the rear alleyway, which will remain as the means of egress for the building. This rear alleyway will be used for trash / recycling and deliveries.
4. Surface Water Drainage
No exterior modifications are being made to the site that will impact water drainage.
5. Utility Service

Existing underground utility services of gas, water, and electricity will remain, and no new utility services are anticipated.

6. Advertising Features

A diagram of our proposed signage is included in our application packet. Our sign will be of raised letters on a flat background similar to the existing sign, but in different colors.

7. Special Features.

No exterior alterations are proposed beyond signage and painting. Loading will be done through the rear alleyway access.

8. Safety

The space will function largely as it had previously and alterations to the space have been designed to meet current codes for safety and occupancy.

9. Heritage

No items of historic, traditional, or significant uses structures, or architectural elements are to be removed.

10. Microclimate

The new use is similar to the existing use in regard to ventilation of cooking equipment. The brewing system will vent steam in accordance to the Building Codes and ordinances, and is only periodic for 2-3 hours, 2-4 times per week.

11. Sustainable Buildings and Site Design

The building is existing and will not incur additional energy consumption to the previous use. Addition of LED lighting and smart thermostats may reduce energy consumption from previous levels. Excess water from the brewing process is 90% captured for re-use. Spent grains from the brewing process are collected by a composting company for turning back into use-able energy. The owner Jeff Wetzel, is an architectural designer with a focus on sustainable design and energy and incorporates as many sustainable practices to business operations as possible.

Thank you for this opportunity to review our application. Please find attached the requested forms, drawings, and photo's.

We look forward to discussing with you more and finding our potential new home in Arlington.

Sincerely,

Jeff Wetzel
Owner / Brewer
jeff@deepcuts.rocks
781-864-5846

Ian McGregor
Owner / Executive Chef
ian@deepcuts.rocks
617-905-0788

REQUEST FOR SPECIAL PERMIT

TOWN OF ARLINGTON

In the matter of the Application of Deep Cuts Deli & Brewery
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

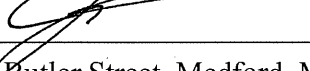
SP - Use - Restaurant over 2000sf and Artisinal Fabrication of beer

Parking - Zone B5 relief. (0% offstreet parking)

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 464 Massachusetts Avenue with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

The Previous / Existing use is to be continued with the addition of a small (4bbl-brewpub style)
on-site beer brewing operation in the basement (900sf of unit used for manufacturing)

Parking relief is sought as the existing site does not have space for off-street parking and a large
municipal parking lot is across the street.

E-Mail: jeff@deepcuts.rocks Signed:  Date: 05/17/2022
Telephone: 781-864-5846 Address: 11 Butler Street, Medford, MA 02155

Special Permit Criteria: Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board's determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

B5 ZONE

Restaurant => 2,000 sq. ft. (SP)

Retail - Manufacture, assembly, packaging of goods (SP)

B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*

The previous use was a restaurant and drinking establishment which will be continued along with an on-site brewery which has proven to be a strong drive for additional interest in communities and surrounding businesses.

C). Explain why *the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

As the new use is primarily the same as the previous use, this would not create any additional traffic. Delivery for supplies would be similar to the previous use, as well as the property having rear access for offstreet unloading.

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

As the new use is primarily the same as the previous use, this would not create any additional strain on the municipal systems. The brewery operation is designed to recapture as much reusable water as possible, and a minor increase in cleaning waste will be submitted to the MWRA for compliance.

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

none.

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The exterior will only have the sign modified for the current tenant.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The requested use is primarily the same as the previous use.

TOWN OF ARLINGTON
Dimensional and Parking Information
For Applications to the Zoning Board of Appeals

1. Property Location: 464 Massachusetts Avenue Zoning District: B5

2. Present Use/Occupancy: Restaurant (over 2000sf) No. of dwelling units 0

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
4774 Sq. Ft.

4. Proposed Use/Occupancy: Restaurant / Artisinal Fabrication No. of dwelling units 0

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
4774 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	14276	14276	min. -
7. Frontage (Ft.)	118'	118'	min. 50
8. Floor area ratio	1	1	max. 1.4
9. Lot Coverage (%)	100	100	max -
10. Lot Area per Dwelling Unit (Sq. Ft.)	na	na	min. 600
11. Front Yard Depth (Ft.)	0	0	min. -
12. Left Side Yard Depth (Ft.)	0	0	min. -
13. Right Side Yard Depth (Ft.)	0	0	min. -
14. Rear Yard Depth (Ft.)	18	18	min. 22
15. Height (Stories)	1	1	max. 3
16. Height (Ft.)	16	16	max. 60
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	-	-	
17A. Landscaped Open Space (% of GFA)			min. 10%
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	-	-	
18A. Usable Open Space (% of GFA)	-	-	min. -
19. Number of Parking Spaces			min. 1
20. Parking area setbacks (if applicable)			min. NA
21. Number of Loading Spaces (if applicable)			min. NA
22. Type of construction	3		N/A
23. Slope of proposed roof(s) (in. per ft.)			min. NA

TOWN OF ARLINGTON
Open Space / Gross Floor Area Information
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 464 Massachusetts Avenue

Zoning District: B5

OPEN SPACE*

	EXISTING	PROPOSED
Total lot area	<u>7237</u>	<u>7237</u>
Open Space, Usable	<u>-</u>	<u>-</u>
Open Space, Landscaped	<u>-</u>	<u>-</u>

* Refer to the Definitions in Section 2 of the Zoning Bylaw.

GROSS FLOOR AREA (GFA) †

Accessory Building	<u></u>	<u></u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>2387</u>	<u>2387</u>
1 st Floor	<u>2387</u>	<u>2387</u>
2 nd Floor	<u></u>	<u></u>
3 rd Floor	<u></u>	<u></u>
4 th Floor	<u></u>	<u></u>
5 th Floor	<u></u>	<u></u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u></u>	<u></u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u></u>	<u></u>
All weather habitable porches and balconies	<u></u>	<u></u>
Total Gross Floor Area (GFA)	<u>4774</u>	<u>4774</u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

REQUIRED MINIMUM OPEN SPACE AREA

Landscaped Open Space (Sq. Ft.)	<u>-</u>	<u>-</u>
Landscaped Open Space (% of GFA)	<u></u>	<u></u>
Usable Open Space (Sq. Ft.)	<u>-</u>	<u>-</u>
Usable Open Space (% of GFA)	<u>-</u>	<u>-</u>

This worksheet applies to plans dated 04/30/2022 designed by JW Design & Construction

Reviewed with Building Inspector: _____ Date: _____

PLANNING & COMMUNITY
DEVELOPMENT
2022 JUN -1 P 1:25

DEEP CUTS

Deli & Brewery

464 MASSACHUSETTS AVENUE
ARLINGTON, MA



Sheet List	
A000	COVER
A001	ZONING / CODE REVIEW
A002	SITE PLAN
A003	EGRESS PLAN & SAFETY PLAN
A101	FIRST FLOOR - EXIST / DEMO
A102	BASEMENT - DEMO
A103	FIRST FLOOR - NEW
A104	BASEMENT - NEW
A201	FRONT ELEVATION & SIGN
A202	SITE PHOTOS

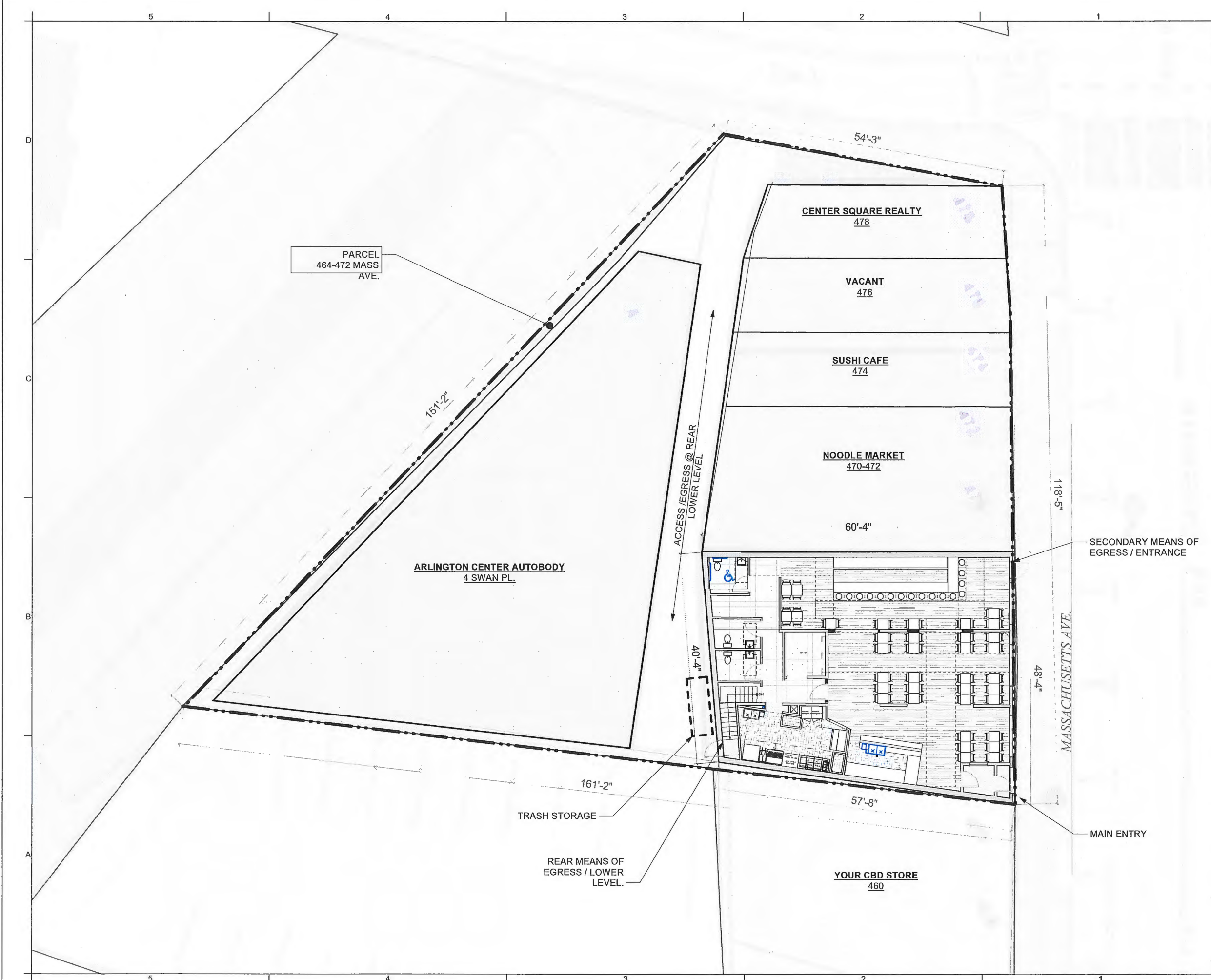
Project Title:
DEEP CUTS
Deli & Brewery
464 Mass Ave
Arlington, MA
Set Issue Title:
SPECIAL PERMIT

JWetzel
Design & Construction
11 BULLFINCH ST., WILMINGTON, MA 01897
781.266.2400

Issues / Revisions		
No.	Date	Notes

Designed By:
Project Manager: Jeff Wetzel
Drawn By:
Date: 5/31/22
Drawing Title
COVER
Scale
Drawing No.
A000

5		4		3		2		1	
ZONING AND EXISTING BUILDING REPORT				CODE ANALYSIS					
Project Name:		DEEP CUTS - Deli & Brewery		FIRE PROTECTION					
Project Location:		464 Massachusetts Avenue, Arlington, MA		Automatic Sprinkler system -- (8.03)		§ There is no existing or planned sprinkler system in this unit.			
GENERAL PROJECT OVERVIEW				Fire Extinguishers -- (10.02)		§ Fire extinguishers to be located by both exist doors and adjacent to the brewhouse.			
Overview of Project		Project consists of renovating an existing restuarant into a new restaurant with an on-site Brewing Operation in the basement. Scope is limited to an interior remodel with replacing removed plumbing and lighting fixtures, minor alterations to interior openings, and minor additional electrical / life safety items as required.		Fire Alarm --(907.2.1)		· Existing Fire Alarm System to remain. · No alterations to fire protection system required.			
				MEANS OF EGRESS					
Construction Type		Type III		Occupant Load -- (1004.0)		Max Allowable Occupant load by area = 171			
Classification of Work		Alteration Level 2				· Floor 1 - 2391sf @ 15 sf/person = 159.4			
Compliance Method		Work Area Method				· Basement -- 2391 sf @200sf/person = 11.95			
Applicable Codes						· PROPOSED OCCUPANT LOAD is limited to 99 as limited by Sprinkler System Requirements.			
State Building		780 CMR 9th Edition - Massachusetts State Building Code		Egress -- (1015.1)		All rooms or spaces with an occupant load greater than 50 people, or a travel distance over 100 ft. must be provided with two egress doors swinging in the direction of egress and illuminated exit signs at each exit			
Int'l Building		IBC 2015 - International Building Code				· 3 Egress doors are provided. 2 at the Mass Ave Façade, and 1 at the rear. The 2 Mass Ave Egress doors are accessible. The rear egress is accessed by a stairway down to the rear egress. Each room with an occupant load over 50 is served by at least 2 means of egress.			
Int'l Exist. Bldg		IEBC 2015 - International Existing Building Code				· All egress doors include illuminated exit signs & Panic Hardware			
Int'l Energy		IECC 2015 - International Energy Conservation Code		Remote Means of Egress -- (1015.2.1)		Remote means of egress must be separated by ½ of the diagonal dimension of the room or space they serve. The distance between exits must be measured in a straight line between exit doors			
Mechanical		IMC 2015 - International Mechanical Code				· The diagonal of the space is 75'			
Plumbing		248 CMR - Massachusetts Fuel and Gas Plumbing Code				· MassAve Egress doors are 41' apart.			
Electrical		527 CMR 12.00 Massachusetts Electric Code, 2014 National Electrical Code		Maximum Exist Access Travel Distance -- (1016.1)		· Rear door is 60' from the front door.			
Fire Prevention		527 CMR - Massachusetts Fire Prevention Requirements				Maximum exit access travel distance must be less than 300 ft.			
Accessibility		521 CMR - Massachusetts, Architectural Access Board Regulations,		Door Clear Width -- (1008.1.1)		· Maximum travel distance is 45' from within the space to the nearest means of egress.			
OSHA		29 CFR 1910 - Occupational Safety and Health Administration				The clear width of all doors must be at least 32"			
PROPERTY INFORMATION				ELECTRICAL					
Location		464 (-478) Mass Ave.		Distribution		· 3 separate services feed this unit, and will remain as existing.			
Mblu		011.0-0003-0001.0		Lighting		· Minor relocations / alterations of device locations to be included in project.			
Acct#		8752		Emergency Lighting		· All Existing lighting to remain.			
Owner		COHEN MAX R TRUSTEE MARCO REALTY TRUST 89 WINCHESTER ST BROOKLINE, MA 02446		HVAC		· Sconces were removed by previous tenant and will be replaced at same locations.			
Deed (Book / Page)		07497 / 374		General Description		· Fixtures may be replaced throughout as required.			
Assessment		2,095,400		Kitchen Equipment		· All existing emergency lighting to remain and be verified for compliance.			
PID		011.0-0003-0001.0		Brewery Equipment		· New emergency lighting to be added if required..			
Use Code		325 - STORE		PLUMBING					
Description		This parcel contains .328 Sq. Ft. of land mainly classified as Store with a Store Building built about 1908, having primarily Brick Exterior and 7237 Square Feet, with 5 Units, 0 Bath, 0 3/4 Bath, 12 HalfBaths, 0 Rooms, and 0 Bdrm		Plumbing Fixture Counts		TOILETS			
Zone		00CENTRAL BB				WOMEN MEN. URINALS. LAV (ea sex)			
Size (acres)		0.328				1 per 30. 1 per 50. 50%. 1 per 100			
BUILDING INFORMATION				USE		Pubs A2			
Year Built:		1908		OCCUPANT LOAD		CALC			
Living Area:		14,276 sf				PROVIDED			
STYLE		78 store				99			
MODEL		Industrial				(1 + 1 uni HC)			
Grade		B-Good				· 1 Accessible unisex toilet to be counted toward total fixture count as permitted in section 10.10.M of the Massachusetts State Plumbing Code.			
Stories:		1				· Water fountains are not required to be installed in restaurant/tavern type establishments as water is provided by the staff. Still water will be provided free of charge by the staff.			
UNITS		5				ACCESSIBILITY			
Foundation		3 - BRICK OR STONE				1009.1 Accessible means of egress required.			
Frame		2 -- Steel				Accessible means of egress shall comply with this section. Accessible spaces shall be provided with not less than one accessible means of egress. Where more than one means of egress are required by Section 1006.2 or 1006.3 from any accessible space, each accessible portion of the space shall be served by not less than two accessible means of egress.			
Prime Wall		7 - brick				· 2 Accessible Egress are existing on the Mass Ave Façade.			
Roof Structure		4- Flat				· Existing HC Unisex Restroom includes HC compliant fixtures, and devices at the code required mounting heights and clearances according to MAAB / ADA			
Roof Cover		4- Tar and Gravekl				· The bar is to be built at a 42" counter height.			
Color		Brick				· Staff will be able to serve patrons with additional accessibility requirements at accessible tables.			
Avg h/FI		12				PARKING			
Interior Wall 1		1-Drywall				Parking Relief to be sought as Zoning allows reduction or elimination of parking requirements for business in B Dsitricts with Public Parking lots in proximity.			
PArtition		I-Typical				There is a large Muncipal parking lot across the street, as well as no existing space on the property suitable to be used as parking.			
Prime Floor		4 - Wood							
Sec Floors		Ceramic Tile							
Bsmnt Flr:		12 - Concrete / Tile							
Heating Fuel		3 -- Electric							
Heating Type		Forced H&W							
AC		60%							
TENANT INFO									
Area		2391 sf + basement							
Stories		1 plus fully finished basement							
Construction Type		Type III - Ordinary (non-combustible walls & wood Roof)							
Occupancy		Primary - A2 -- Assembly -- Restaurant & Drinking Establishment							
		1. Secondary -- F2 -- Factory / Artisanal Fabrication (Brewery)							
Occupant Load		99 (limited due to no sprinkler system)							



MASSACHUSETTS AVE.

48'-4"

PULL
STATION

EXIST. FA
PANEL

PULL
STATION

HOOD W/ ANSUL
SYSTEM

PULL
STATION

57'-8"

EGRESS

60'-4"

DIAGONAL = 75'-0"

40'-4"

D

C

B

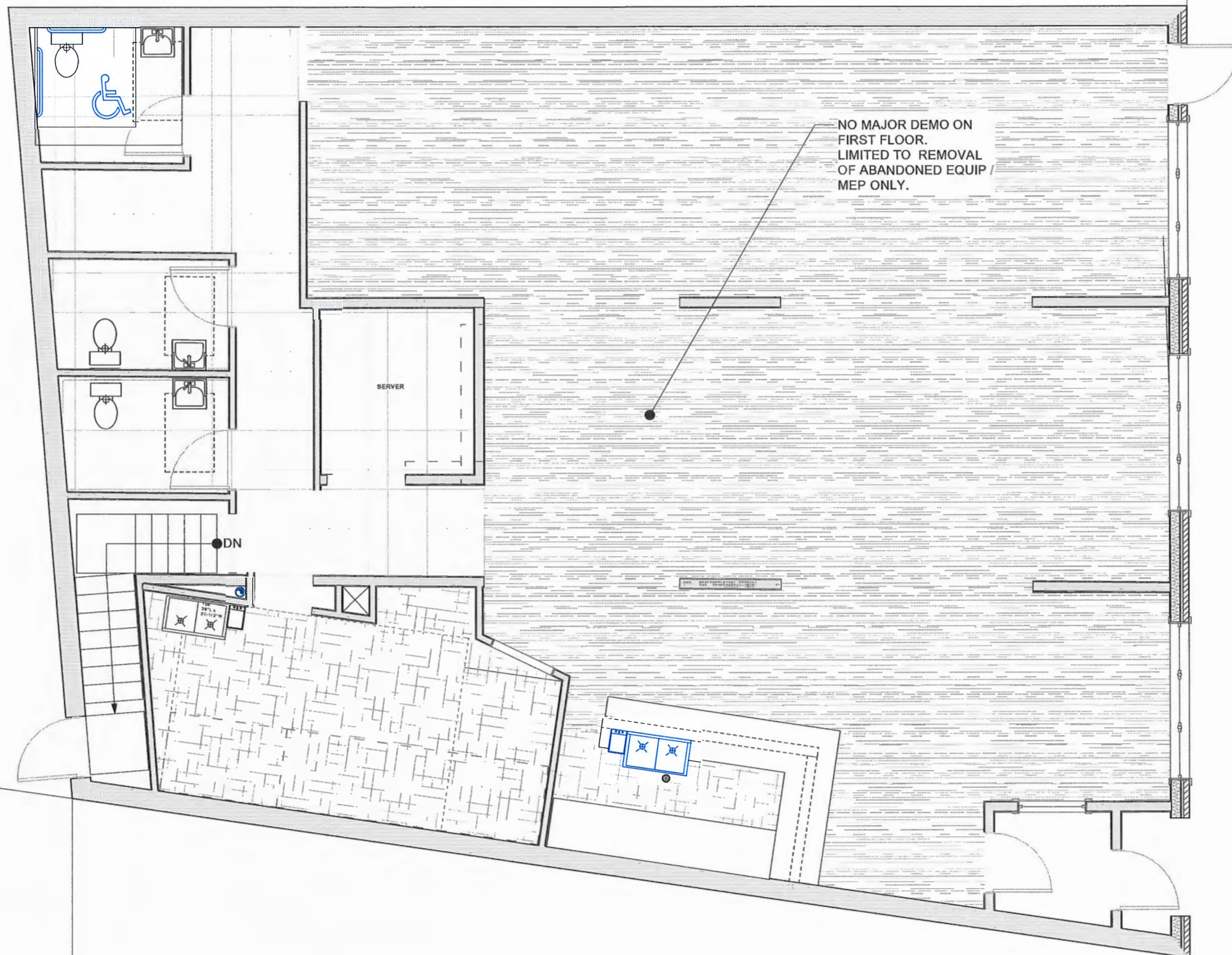
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- GENERAL:
1. ALL EXIST. WALLS / MEP ETC TO REMAIN UNLESS OTHERWISE INDICATED.
 2. ABANDONED / OBSOLETE EQUIPMENT, FURNISHINGS, ETC., TO BE REMOVED.

Project Title:
DEEP CUTS
DELL & Sweeney
464 Mass Ave
Arlington, MA

Set Issue Title:
SPECIAL PERMIT

MASSACHUSETTS AVE.



JWetzel
Design & Construction
25 BAYVIEW ST., WILMINGTON, MA 01897
TEL: 603.534.1234

Issues / Revisions

No.	Date	Notes

Designed By:
Project Manager: **Jill Wetzel**
Drawn By:
Date: 5/31/22
Drawing Title

FIRST FLOOR -
EXIST / DEMO

Scale
Drawing No.

A101

GENERAL:

1. ALL EXIST. WALLS / MEP ETC TO REMAIN UNLESS OTHERWISE INDICATED.
2. ABANDONED / OBSOLETE EQUIPMENT, FURNISHINGS, ETC, TO BE REMOVED.

Project Title:

DEEP CUTS
DELL & BREWERY

464 Mass Ave
Arlington, MA

Set Issue Title:

SPECIAL PERMIT

Wetzel
Design & Construction

11 BAYVIEW RD, ARLINGTON, MA 01761
781.644.5400

Issues / Revisions

No.	Date	Notes

Designed By:

Project Manager: Jeff Wetzel

Drawn By:

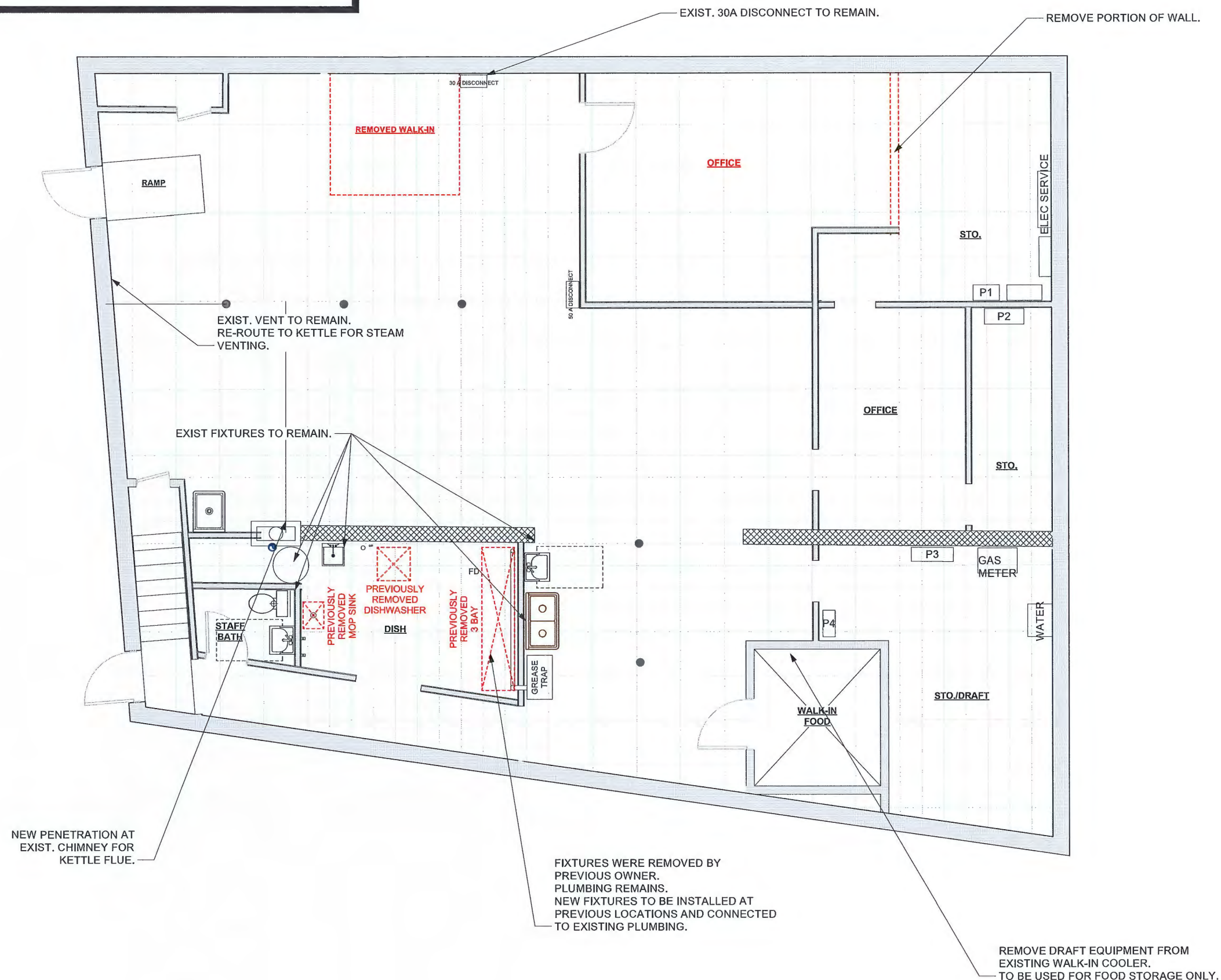
Date: 5/31/22

Drawing Title

**BASEMENT -
DEMO**

Scale
Drawing No.

A102



1. PAINT - ALL INTERIOR WALLS AND CEILINGS TO BE PAINTED BLACK.

NEW BAR AND BACKBAR

MASSACHUSETTS AVE.

INSTALL NEW KITCHEN
EQUIP AT PREVIOUSLY
INSTALLED LOCATIONS.

Project Title:

DEEP CUTS
Deli & Brewery
464 Mass Ave
Arlington, MA

Set Issue Title:

SPECIAL PERMIT

Wetzel
Design & Construction
22 BUTLER ST. MEDFORD, MA 02155
781-664-6666

[illegible]

Designed By:	
Project Manager:	Jeff Wetzol
Drawn By:	
Date:	5/31/22
Drawing Title	

FIRST FLOOR -
NEW

Scale _____

Drawing No. _____

A103

GENERAL:

1. ALL EXIST WALLS AND DOORS TO REMAIN IN BASEMENT.
2. WORK IS LIMITED TO EQUIPMENT AND ASSOCIATED MEP.

BREWERY PREMISES
750 SF.

ADD RIGID INSULATION AND FRP
PANELS.
INSTALL COOLBOT AND AC.

NEW
PARTITION

LOADING / SECONDARY
EGRESS

BREWERY PREMISES
750 SF.

CONNECT STEAM VENT
TO EXIST. EXHAUST

ELECTRIC KETTLE -
STEAM VENT
CONNECTED TO EXIST.
DEDICATED VENT TO
ATMOSPHERE.

REAR EGRESS

INSTAL 3 BAY, MOP SINK AND
DISHWASHER AT EXIST LOCATIONS
WHERE FIXTURES WERE REMOVED.

WALK-IN
BEER

PREP

OFFICE

WALK-IN
FOOD

STO./DRAFT

WATER

GAS
METER

ELEC SERVICE

STO.

P1

P2

STO.

P3

P4

30 A DISCONNECT

50 A DISCONNECT

30 A DISCONNECT

CHILLER

FV1
4BBL

FV2
4BBL

FV3
4BBL

BRITE
4BBL

CHILLER

STAFF
BATH

DISH

GREASE
TRAP

Reach-In
Refrigerator

Reach-In
Refrigerator

Project Title:

DEEP CUTS
Deli & Brewery

464 Mass Ave
Arlington, MA

Set Issue Title:

SPECIAL PERMIT

JWetzel
Design & Construction

20 SOUTH ST. ARLINGTON, MA 02461
TEL: 617.341.1111

Issues / Revisions

No.	Date	Notes

Designed By:

Project Manager: Jeff Wetzel

Drawn By:

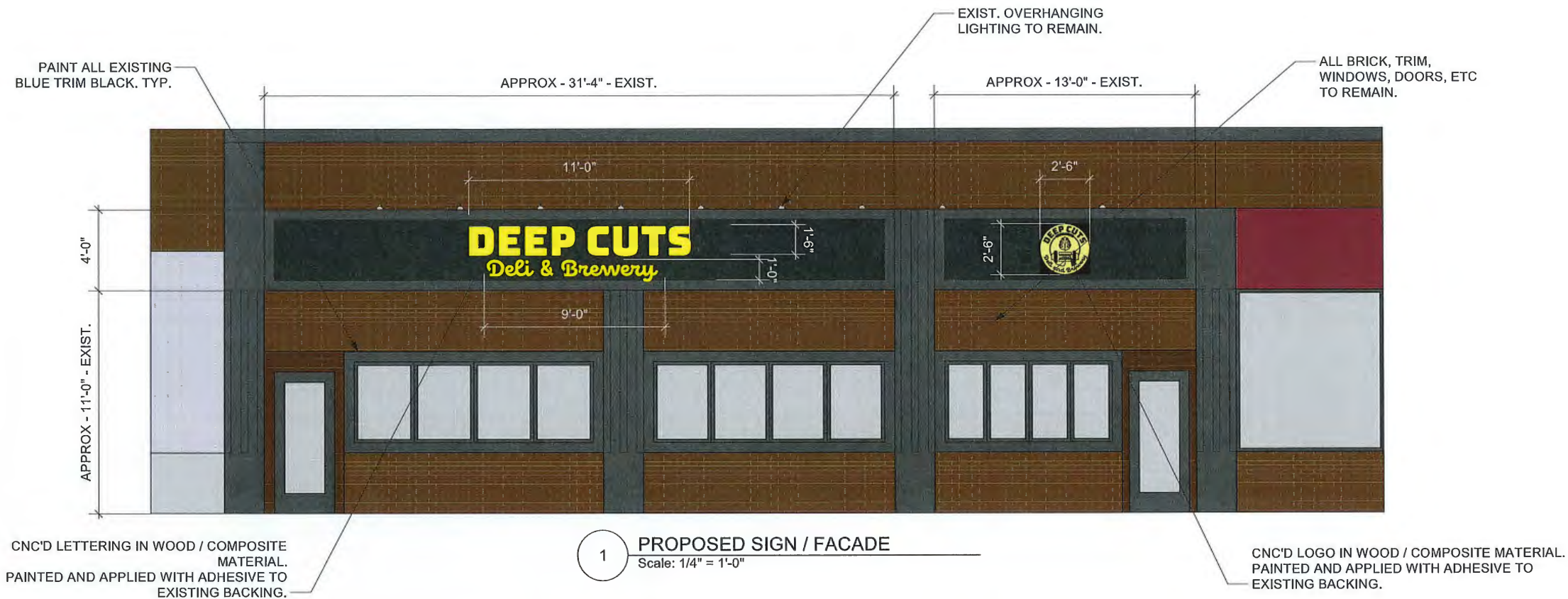
Date: 5/31/22

Drawing Title

**BASEMENT -
NEW**

Scale:
Drawing No.

A104



2 EXISTING SIGN / FACADE
Scale: 1/4" = 1'-0"

No.	Date	Notes



VIEW TO LEFT OF UNIT ON MASS AVE



TENANTS TO RIGHT OF UNIT ON MASS AVE



FRONT VIEW OF UNIT AND NEIGHBORING BUSINESSES



VIEW OF REAR ACCESS ALLEY



VIEW OF BUILDING CORNER AT MASS AVE AND SWAN PL.

Project Title:
DEEP CUTS
 Deli & Brewery
 464 Mass Ave
 Arlington, MA
 Set Issue Title:
SPECIAL PERMIT

JWetzel
 Design & Construction
 11 BOSTON ST., WESTPORT, MA 01886
 TEL: 978-334-5455

Issues / Revisions		
No.	Date	Notes

Designed By:
 Project Manager: Jeff Wetzel
 Drawn By:
 Date: 5/31/22
 Drawing Title

SITE PHOTOS

Scale:
 Drawing No.

A202