

Project:

Spy Pond Cottage

212 Pleasant Street
Arlington, MA 02476

ISSUE DATE: January 06, 2023

For Zoning Review

Owners:

**Nellie Aikenhead &
Mark Halliday**

54 Brantwood Rd.
Arlington, MA 02476

Architect:

EvB Design

Edrick vanBeuzekom, AIA
1310 Broadway, Suite 200
Somerville, MA 02144
Tel: 617-623-2222

Structural Engineer

CJ Associates, LLC

Chris Jayavendra, PE., SE.
P.O. Box 13
Westborough, MA 01581
Tel: 617-869-2273
email: cjassociatesma@gmail.com

List Of Drawings:

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C1.1 Proposed Site Plan

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S-2 First Floor Framing
S-3 2nd Floor Framing Plan
S-4 Notes & Details
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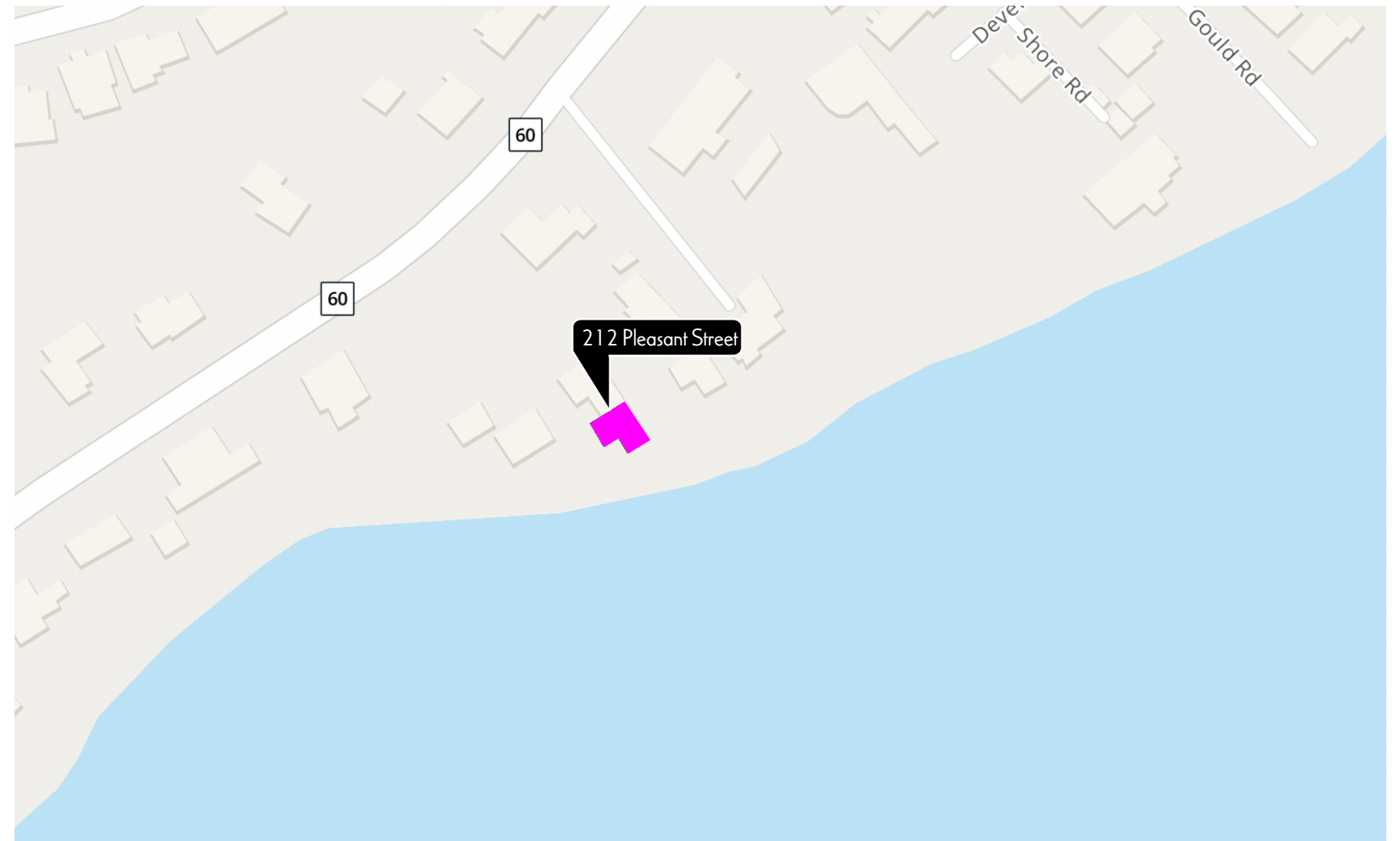
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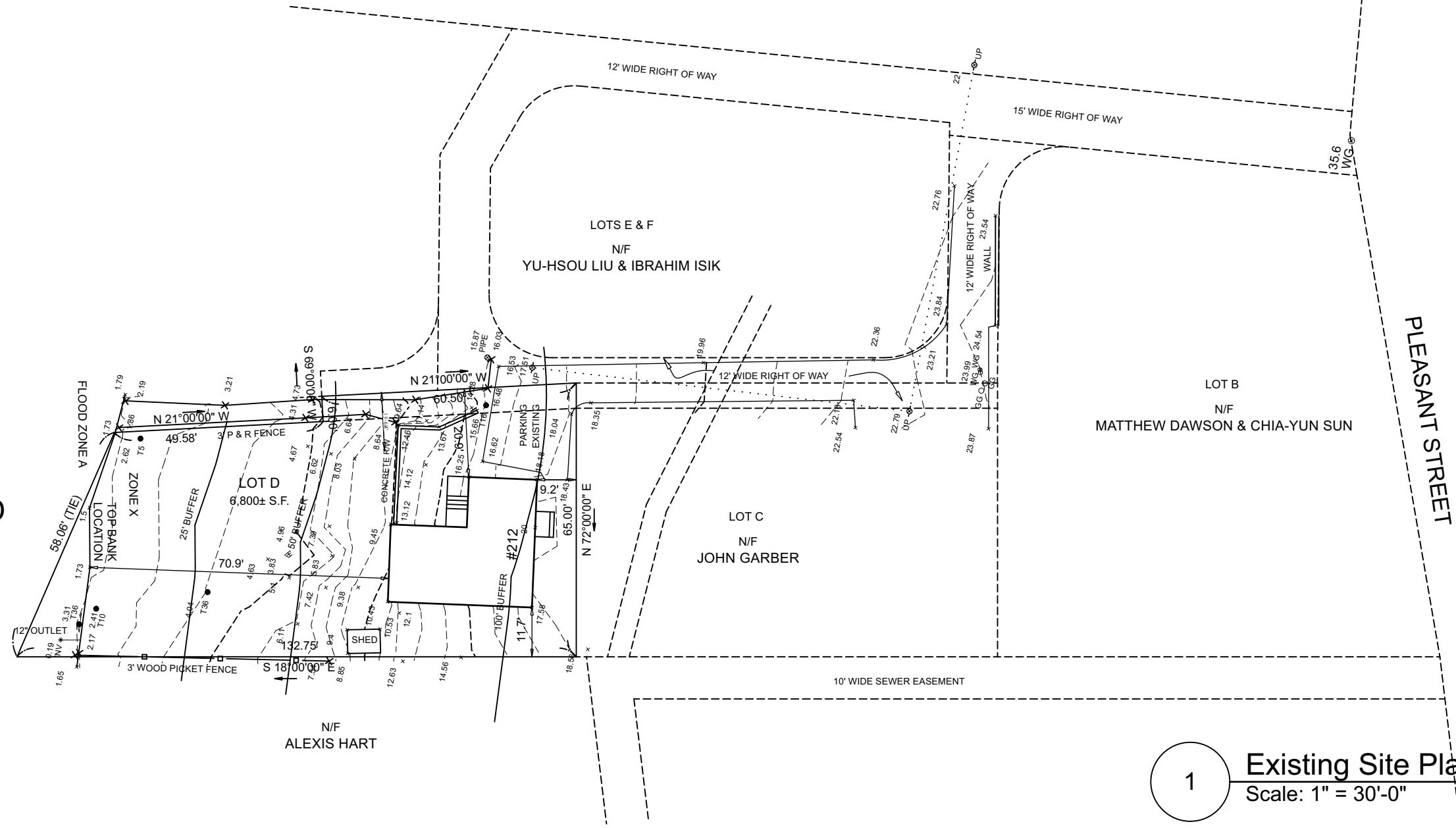
X1.0 Existing Basement Plan
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SITE PLAN





SPY POND



1 Existing Site Plan
Scale: 1" = 30'-0"

AVERAGE GRADE
(16.25+18.18)/2= 17.22
(18.18+17.58)/2= 17.88
(17.58+10.43)/2= 14.0
(10.43+9.45)/2= 9.94
(13.12+16.25)/2= 14.69
(17.22+17.88+14.0+9.94+14.69)/5 = 14.75
(17.22+17.88+14.0+9.94+14.69)/5 = 14.75
BASEMENT CEILING = 19
AVERAGE GRADE = 14.75

NOTE: UP = UTILITY POLE

Drawing Based on:

CONSERVATION PLAN
IN
ARLINGTON, MA
(MIDDLESEX COUNTY)

PREPARED FOR: MARK HALLIDAY
SCALE: 1"= 20' DATE: JANUARY 12, 2022

ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
6645PP1.DWG

EvB Design

1310 Broadway, Suite 200
Somerville, MA 02144

1
Scale: 1" = 30'-0"

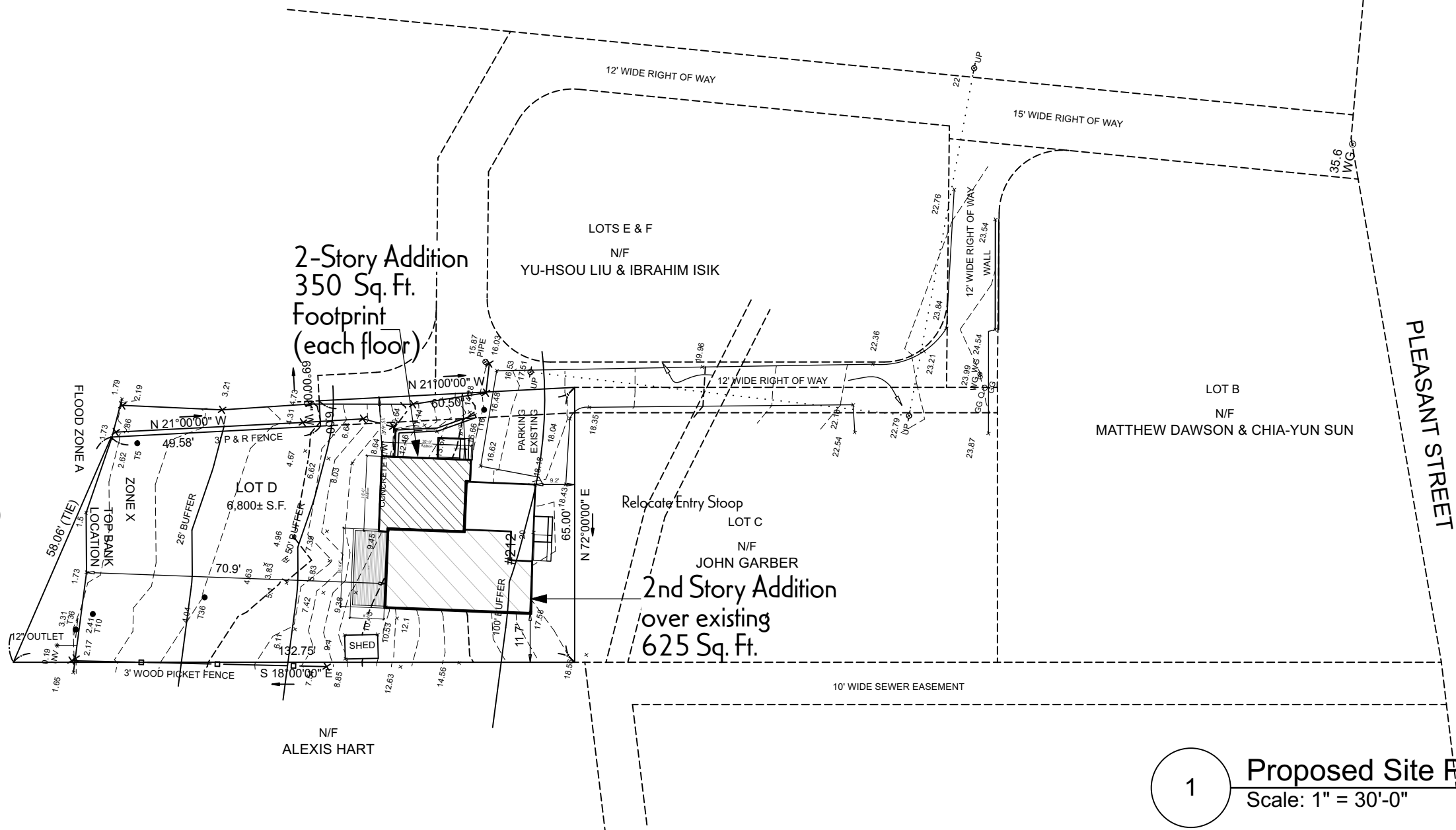
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6645PP1.DWG

DATE: 01/06/23

C1.0

SPY POND COTTAGE
212 PLEASANT ST
ARLINGTON, MA 02476

SPY POND



1 Proposed Site Plan
Scale: 1" = 30'-0"

AVERAGE GRADE
 $(17.58+18.18)/2 = 17.88$
 $(18.18+12.96)/2 = 15.57$
 $(12.96+10.43)/2 = 11.695$
 $(10.43+17.58)/2 = 14.005$
 $(17.88+15.57+11.695+14.005)/4 = 14.79$

BASEMENT CEILING = 19'
 PROPOSED AVERAGE GRADE = 14.79'

FAR 2669/6800 = .39

NOTE: UP = UTILITY POLE

Drawing Based on:

CONSERVATION PLAN
 IN
 ARLINGTON, MA
 (MIDDLESEX COUNTY)

PREPARED FOR: MARK HALLIDAY
 SCALE: 1"= 20' DATE: JANUARY 12, 2022

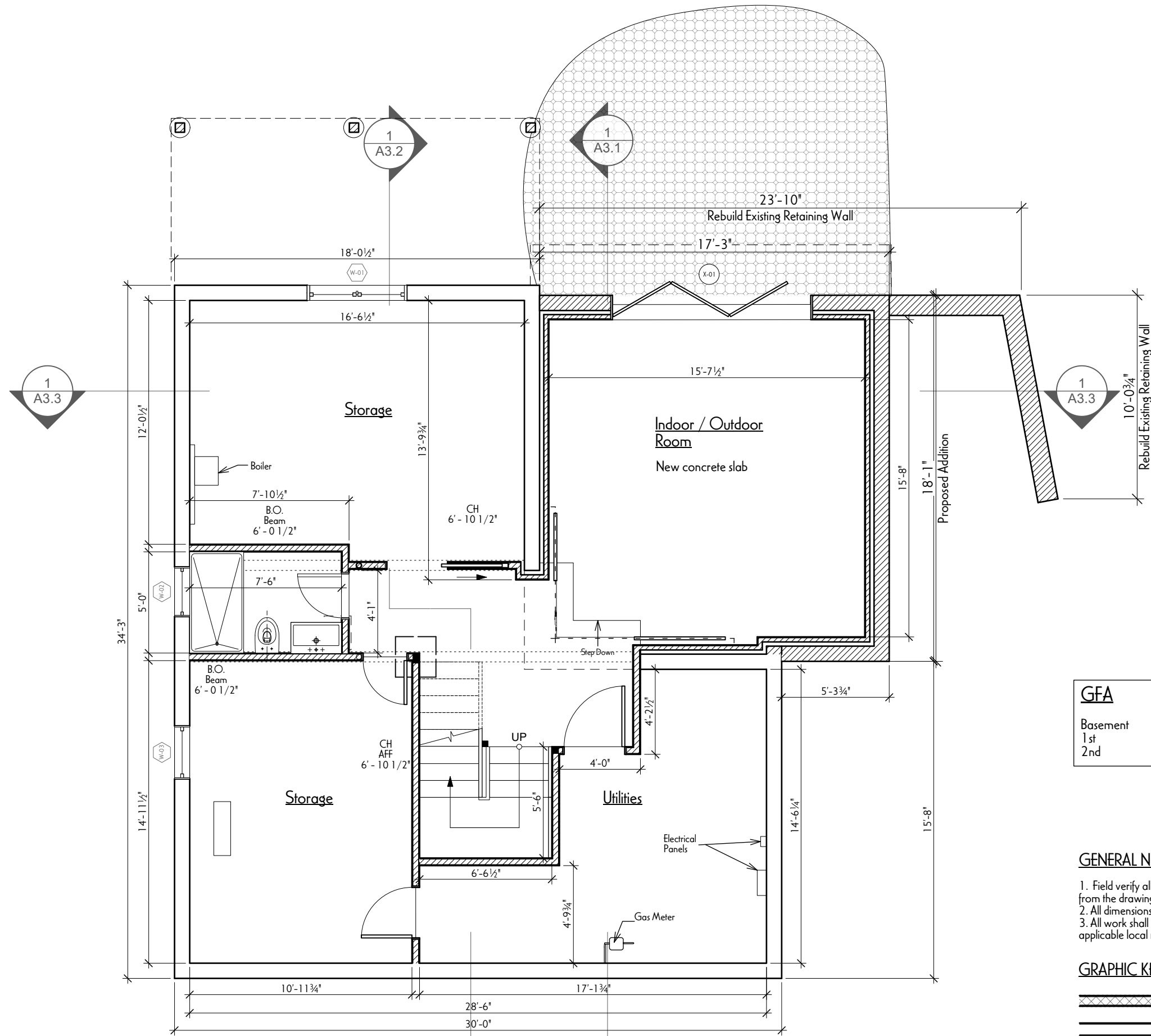
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C1.1



GFA	
Basement	1118 sf
1st	1176 sf
2nd	999 sf

GENERAL NOTES

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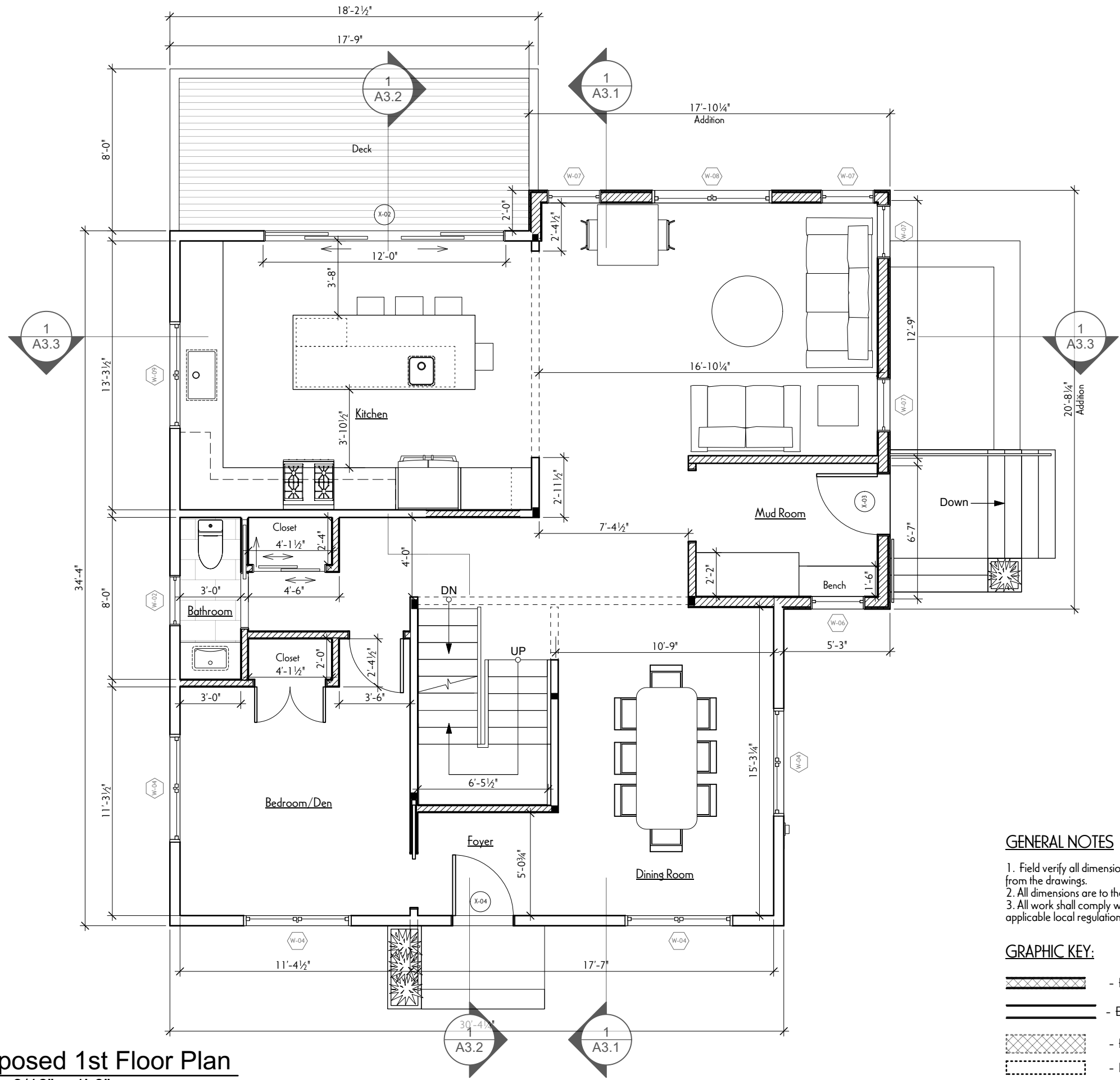
GRAPHIC KEY:

- Existing wall to be removed
- Existing wall to remain
- Existing fixture/finish to be removed
- Denotes demo
- New wall, typical

1 Proposed Basement Plan
Scale: 3/16" = 1'-0"

A1.0
Date: 01/06/23
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1 Proposed 1st Floor Plan
 Scale: 3/16" = 1'-0"



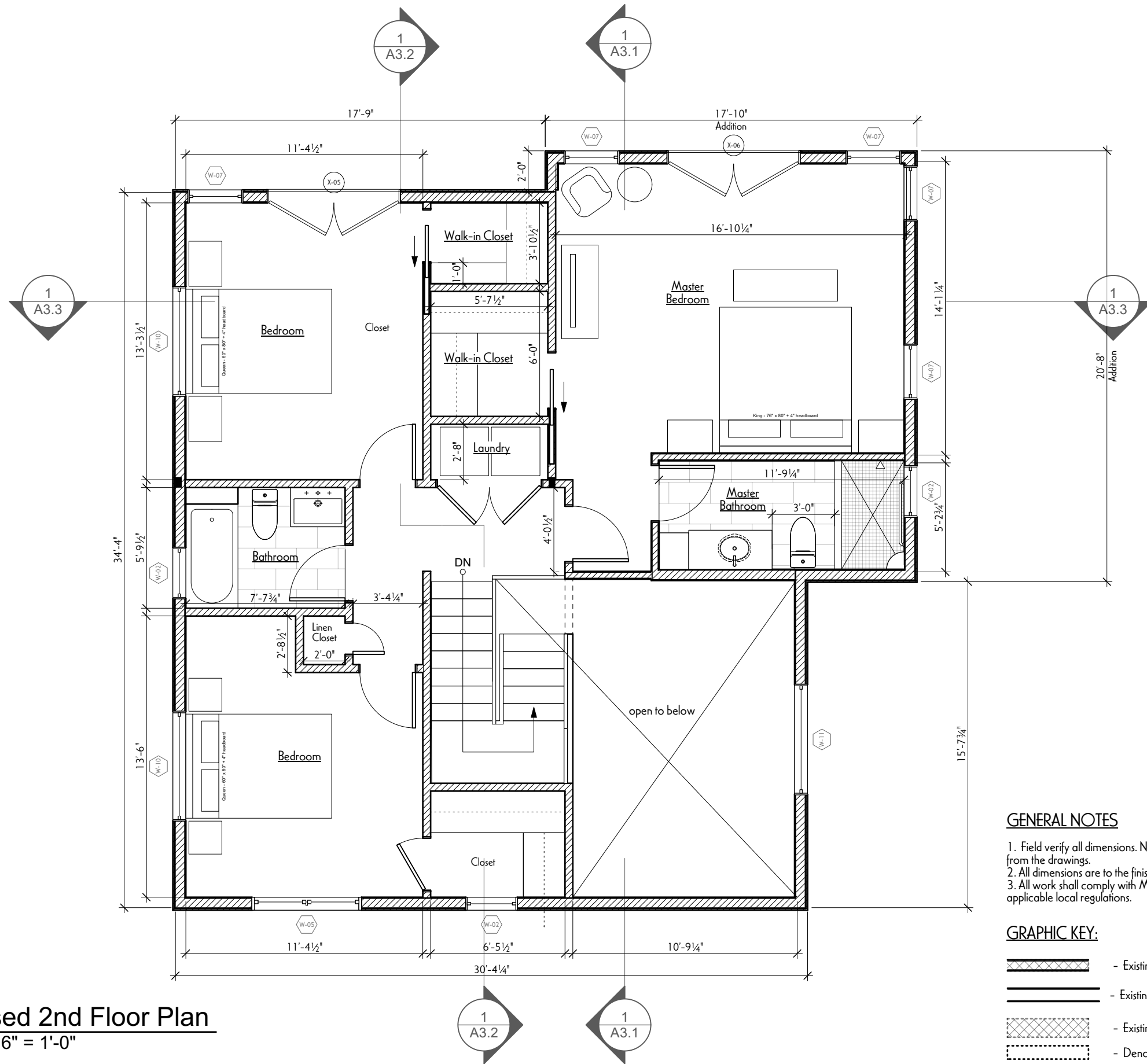
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A1.1	
Date:	01/06/23
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1 Proposed 2nd Floor Plan
 Scale: 3/16" = 1'-0"

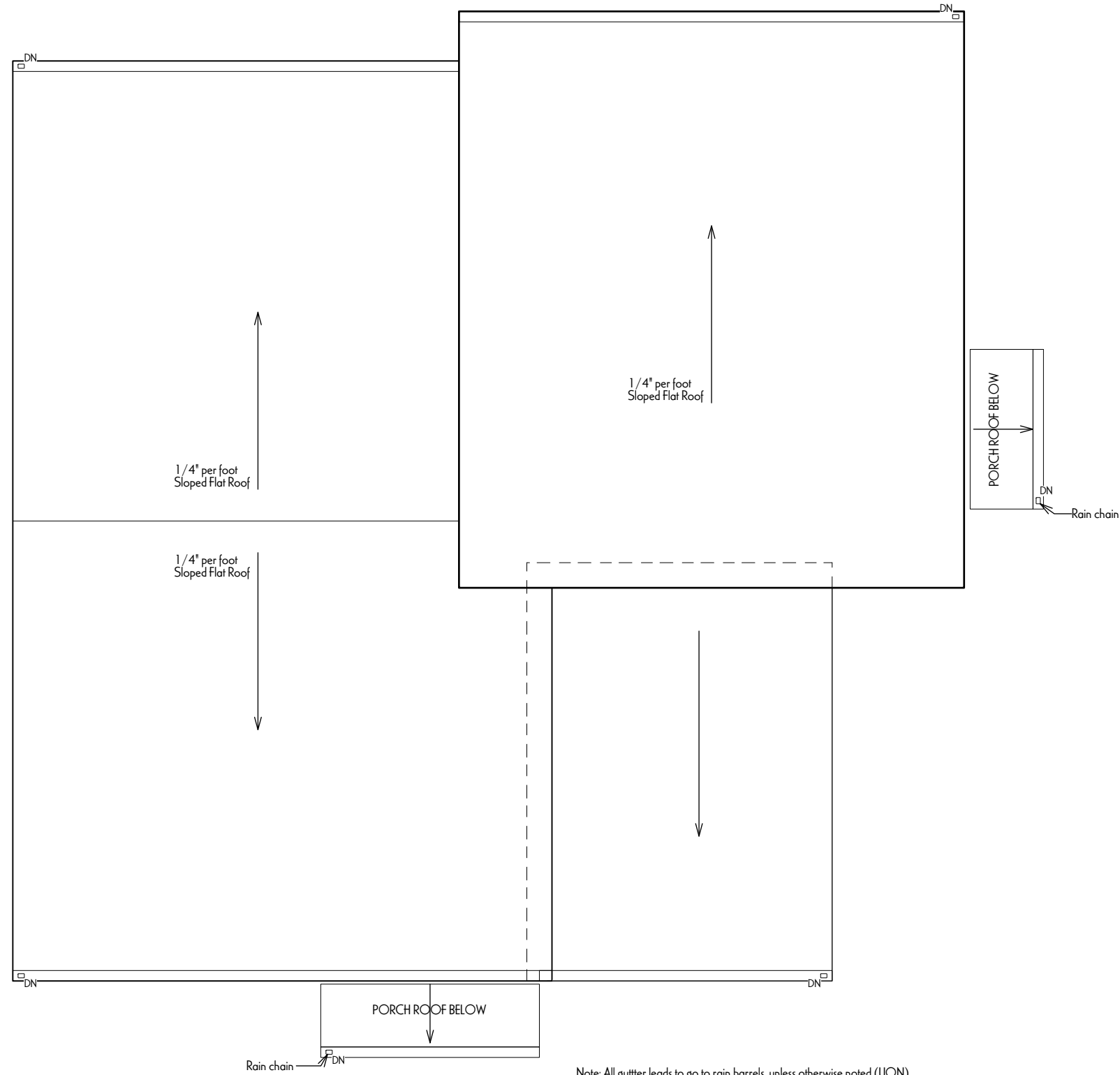
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- Denotes demo
- New wall, typical

A1.2
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1 Proposed Roof Plan
Scale: 3/16" = 1'-0"

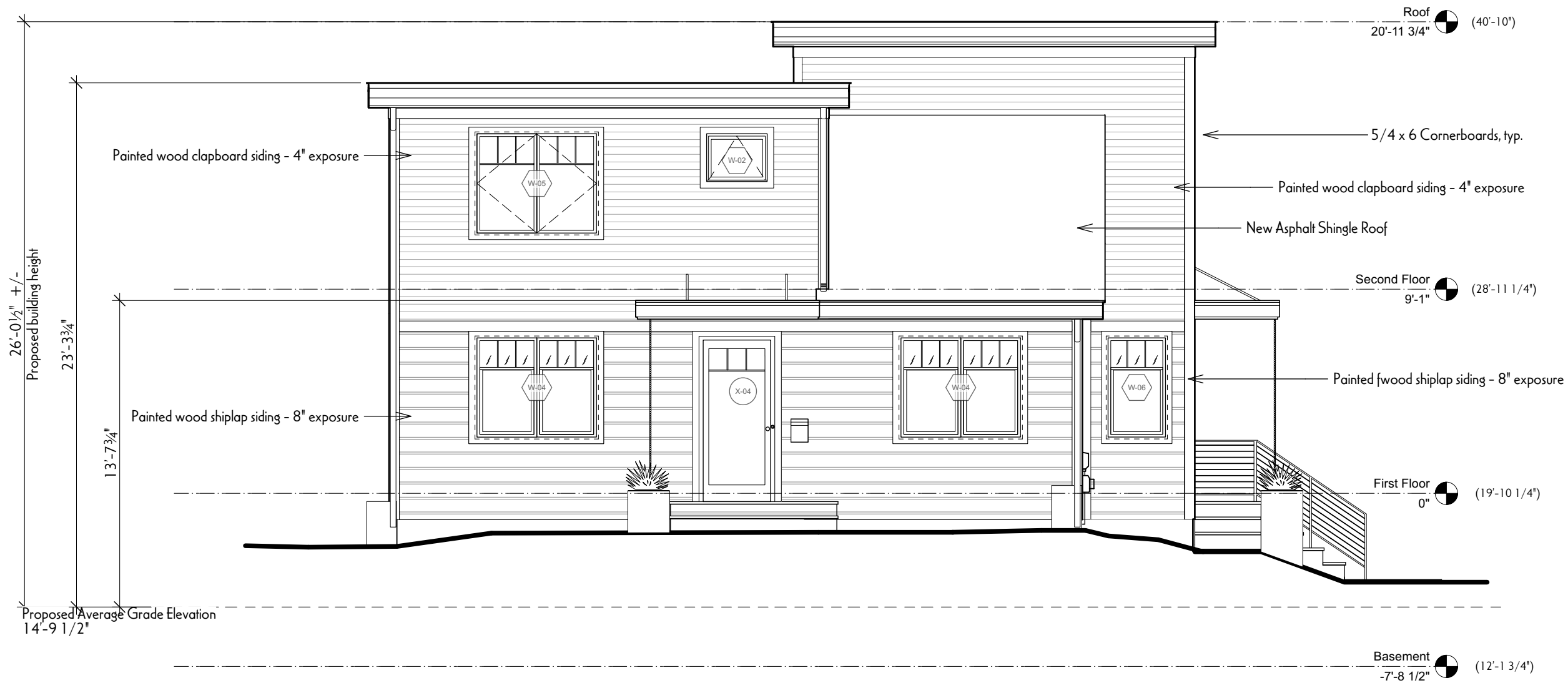
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A1.3



1

Proposed North Elevation (Pleasant Street)

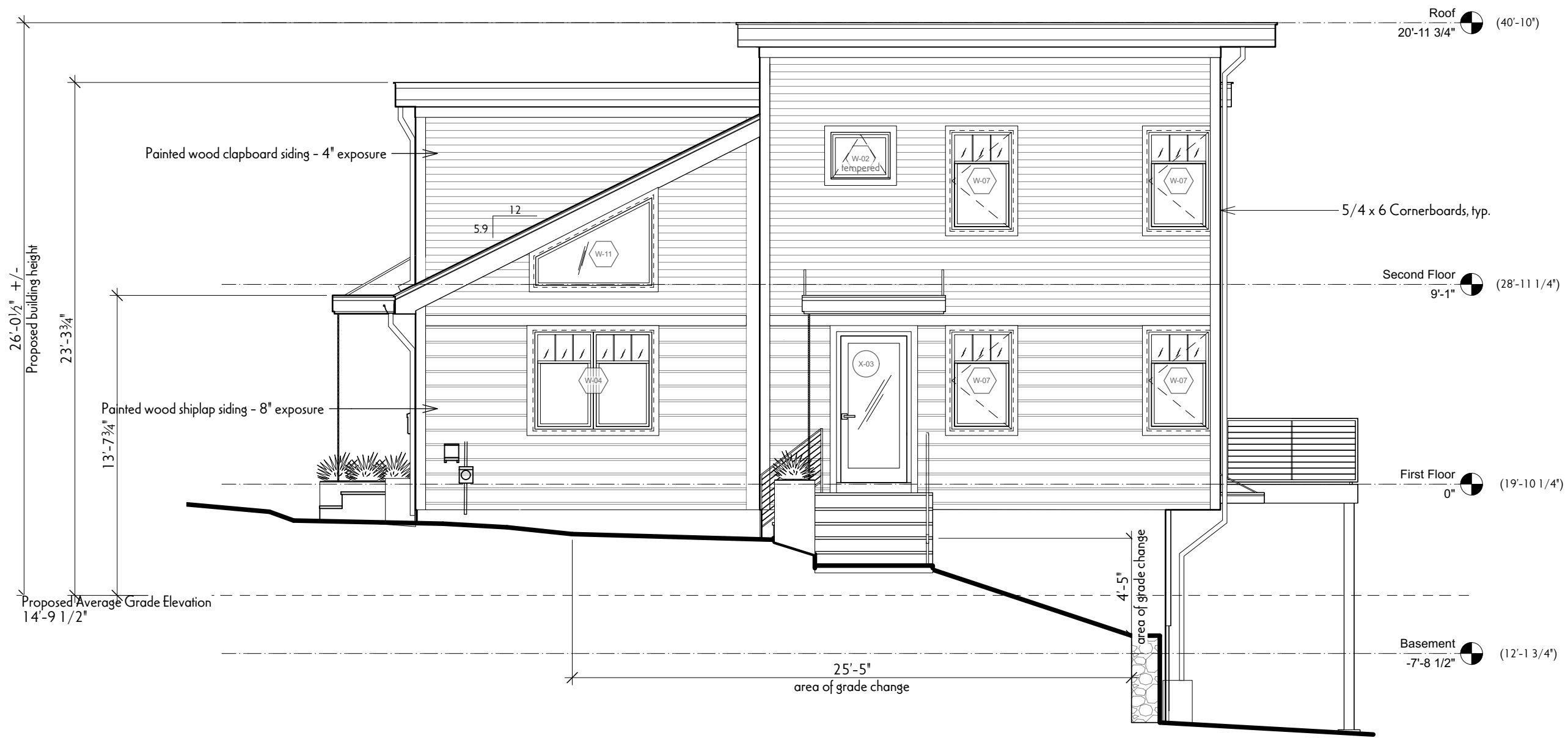
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A2.1



1 Proposed West Elevation
Scale: 3/16" = 1'-0"

A2.2	
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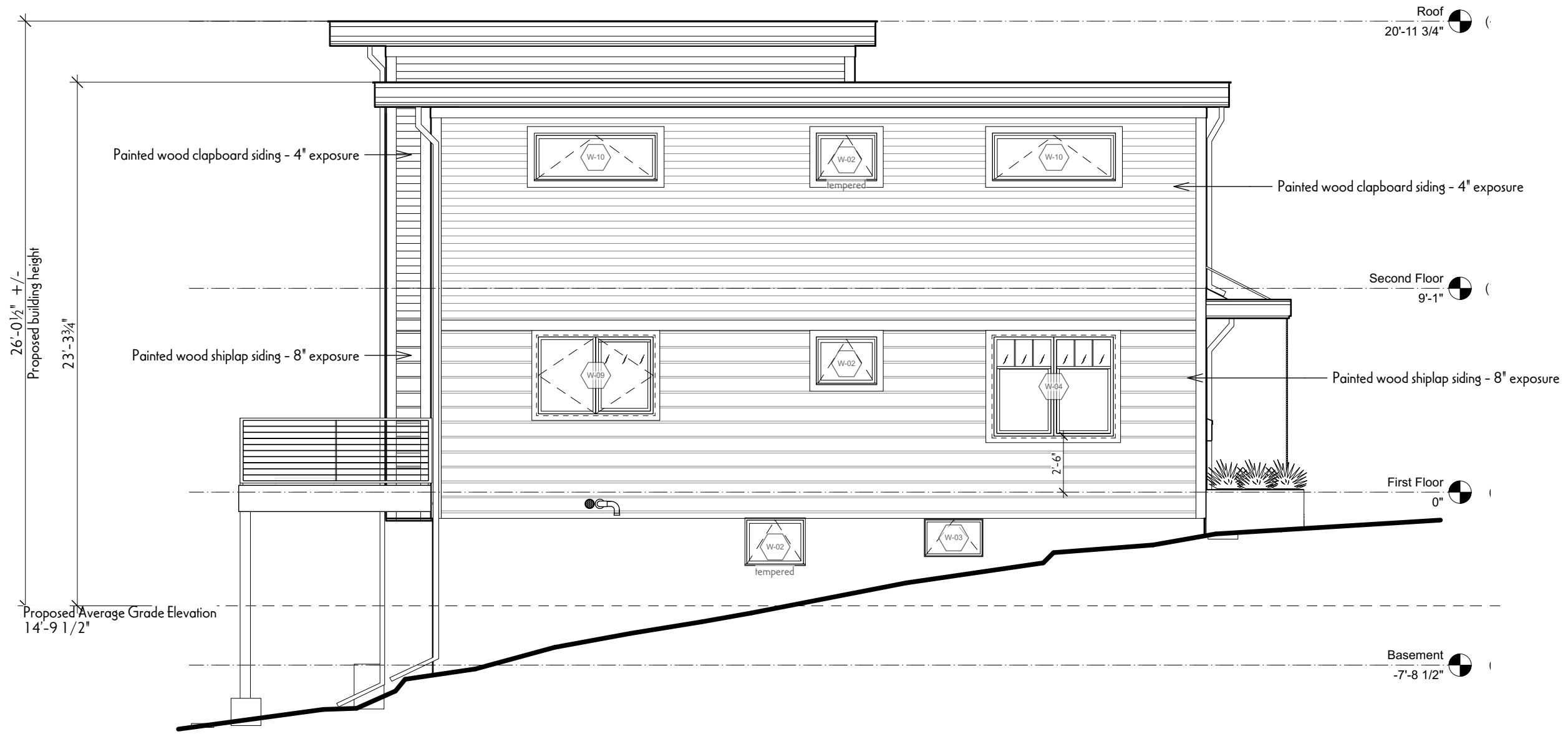
1 Proposed South Elevation
 Scale: 3/16" = 1'-0"

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A2.3



1

Proposed East Elevation
Scale: 3/16" = 1'-0"

A2.4	
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Window Schedule

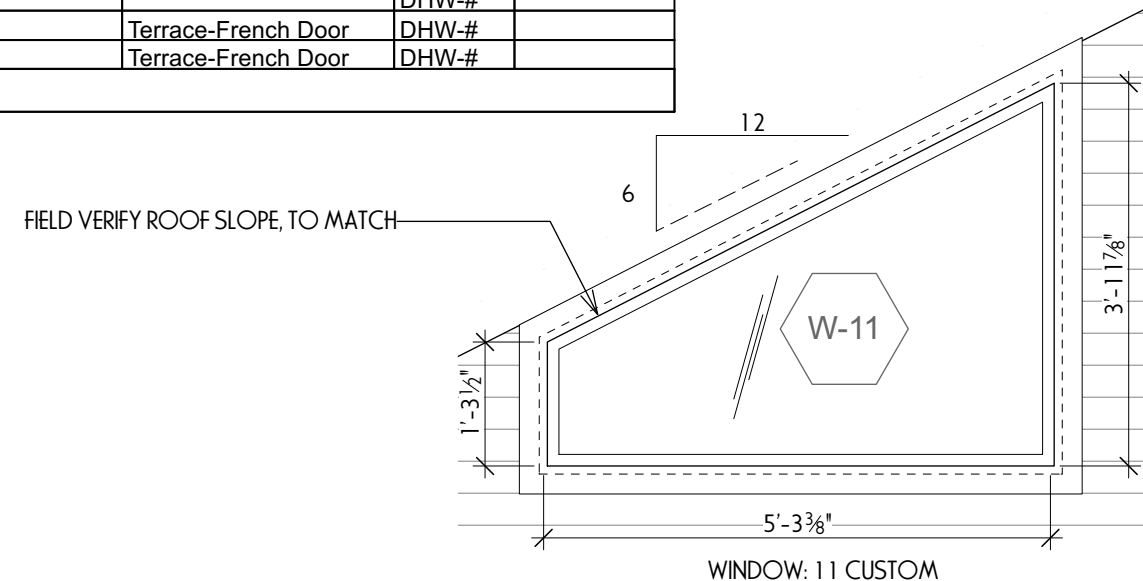
Mark	Count	Window Schedule		Openings			Mfr	Model No.	Accessories	Comments
		O.A. Width	O.A. Height	Egress Win	RO Width	RO Height				
W-02	4	2'5 1/2"	1'11 5/8"	N			Loewen	AW1-7506		(3) tempered see elev for loc.
W-04	4	5'3 5/8"	4'8 1/4"	N			Loewen	SH2-2624		2 Wide Single Hung
W-05	1	5'3"	4'7 1/8"	N			Loewen	CA2-1614		
W-06	1	2'7 7/8"	4'8 1/4"	N/A			Loewen	SH1-2624		Single Hung
W-07	9	2'7 1/2"	4'7 1/8"	YES			Loewen	CA1-0814		6 hinged on left, 3 hinged on right, as viewed from exterior
W-08	1	5'10 7/8"	4'7 1/8"	N/A			Loewen	CA2-1814		
W-09	1	5'3"	3'5 1/4"	N/A			Loewen	CA2-1611		
W-10	2	5'3"	1'11 5/8"	N			Loewen	AW1-1606		
W-11	1	5'3 3/8"	3'11 7/8"	N			Loewen	Custom		Custom Trapezoid - See Elevations

NOTES: G.C. to Field Verify All Dimensions, All operable sash to include screens, Windows to be Loewen, color TBD — Provide color chip,

Exterior Door Schedule

Mark	Count	Nominal Size			Door Style			Door Frame		Openings		Door Data			Comments	
		Width	Height	Thickness	Configuration	Slab Style	Glaz. Style	Jamb Thick	Jamb Depth	RO Width	RO Height	Mfr	Model No.	HW Set		
X-02	1	11'9 1/4"	7'4 3/8"	1 3/4"	Slider	OXXO	Glass	None	3/4"	6"			Loewen	44 Sliding Patio Door	DHW-#	Bi-Parting
X-03	1	3'0"	7'0"	1 3/4"	Swing Simple	N/A	Panel	None	3/4"	7 1/2"			TBD		DHW-#	
X-04	1	3'0"	7'0"	1 3/4"	Swing Simple	N/A	Panel	None	3/4"	6"			TBD		DHW-#	
X-05	1	6'3"	7'2"	1 1/2"	Swing Bi-part	N/A	Glass	None	3/4"	7 1/2"			Loewen	Terrace-French Door	DHW-#	
X-06	1	6'3"	7'2"	1 1/2"	Swing Bi-part	N/A	Glass	None	3/4"	7 1/2"			Loewen	Terrace-French Door	DHW-#	

NOTES: G.C. to Field Verify All Dimensions, All glass to be tempered, painted TBD - Provide color chip



WINDOW: 11 CUSTOM

A2.5

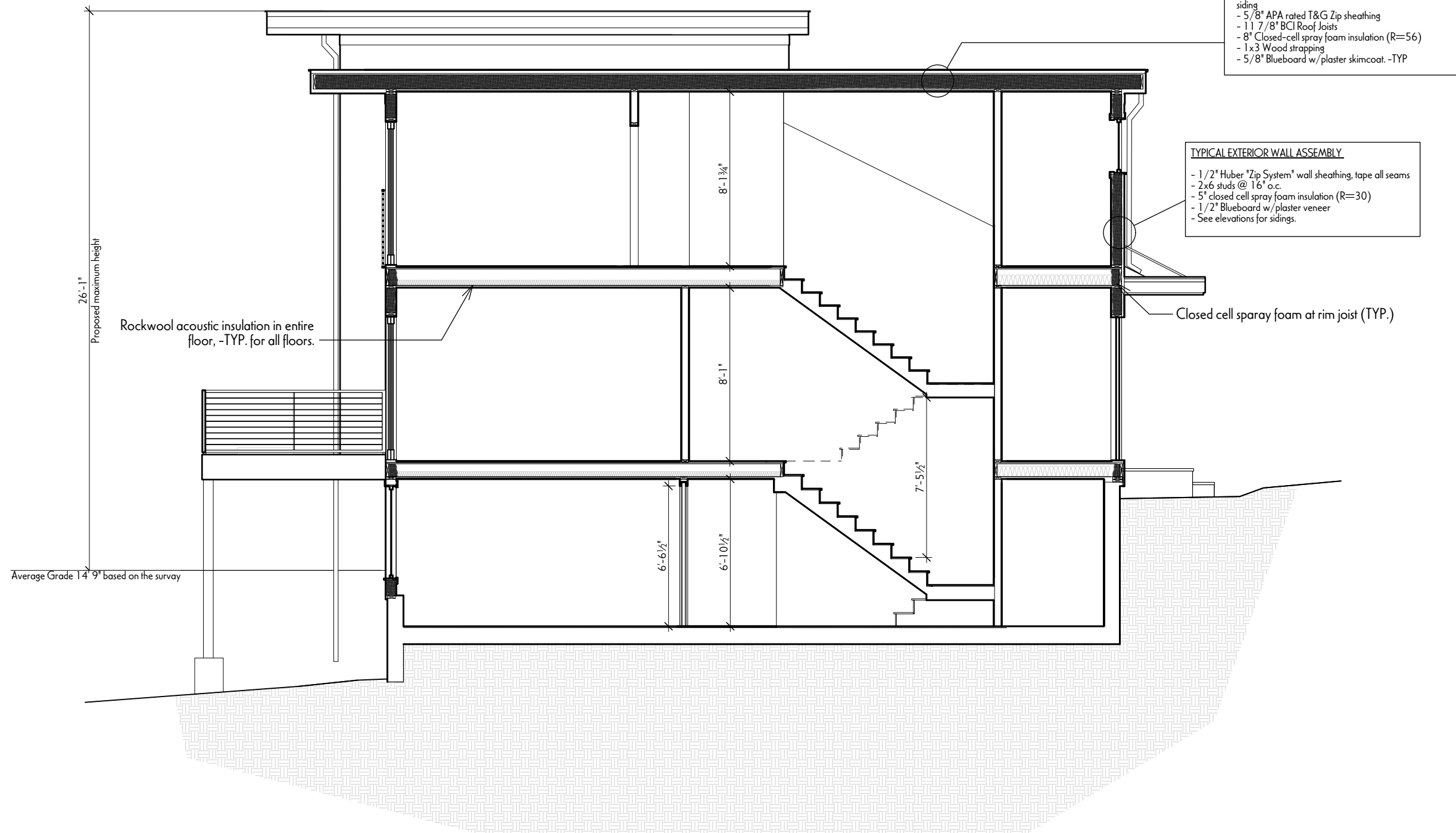
Date:

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1 Proposed Section
Scale: 3/16" = 1'-0"

Note:
-Insulate all exterior walls, Floors, bathroom and bedroom walls.

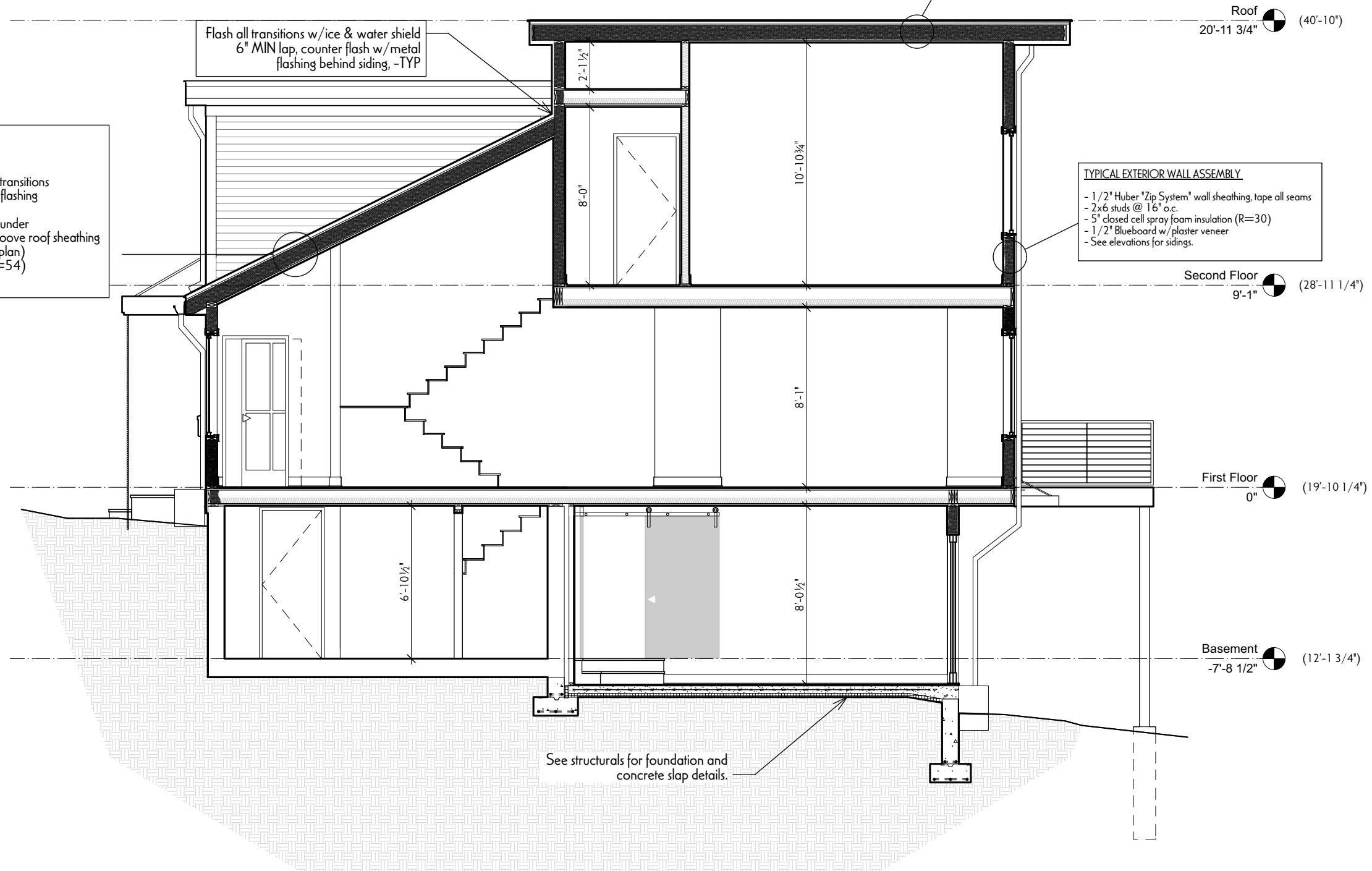
A3.1	
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- NEW ROOF ASSEMBLY**
- 50 year asphalt shingles
 - 3'-0" ice & water shield at eaves & roof transitions
 - Metal drip edge @ eaves, pressure form flashing over all edge treatments
 - Counter flashing at wall intersection tuck under
 - 5/8" APA rated AdvanTech tongue & groove roof sheathing
 - 2 x 12 rafters @ 16" o.c. (see structural plan)
 - 9" Closed-cell spray foam insulation (R=54)

Flash all transitions w/ice & water shield
6" MIN lap, counter flash w/metal
flashing behind siding, -TYP

- Typical Flat Roof Assembly**
- Epdm roof or equiv.
 - 1/2" insulation board typ.
 - 3'-0" ice & water shield at eaves & roof transitions
 - Metal drip edge @ eaves, pressure form flashing over all edge treatments
 - Counter flashing at wall intersection tuck under ext'g siding
 - 5/8" APA rated T&G Zip sheathing
 - 1 7/8" BCI Roof Joists
 - 8" Closed-cell spray foam insulation (R=56)
 - 1 x 3 Wood strapping
 - 5/8" Blueboard w/plaster skimcoat. -TYP

- TYPICAL EXTERIOR WALL ASSEMBLY**
- 1/2" Huber "Zip System" wall sheathing, tape all seams
 - 2x6 studs @ 16" o.c.
 - 5" closed cell spray foam insulation (R=30)
 - 1/2" Blueboard w/plaster veneer
 - See elevations for sidings.



See structurals for foundation and
concrete slab details.

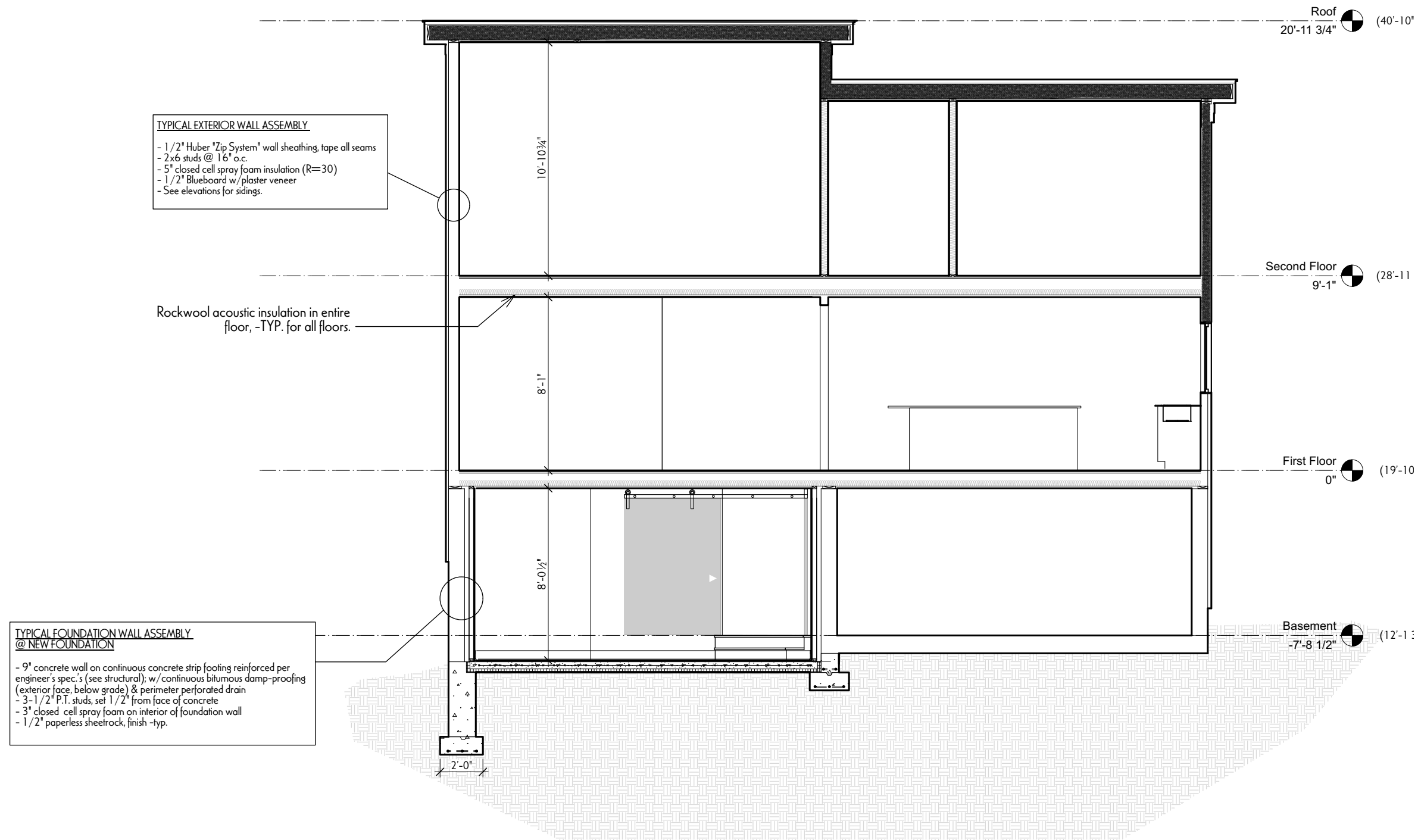
1 Proposed Section
Scale: 3/16" = 1'-0"

A3.2

Date: 01/06/23

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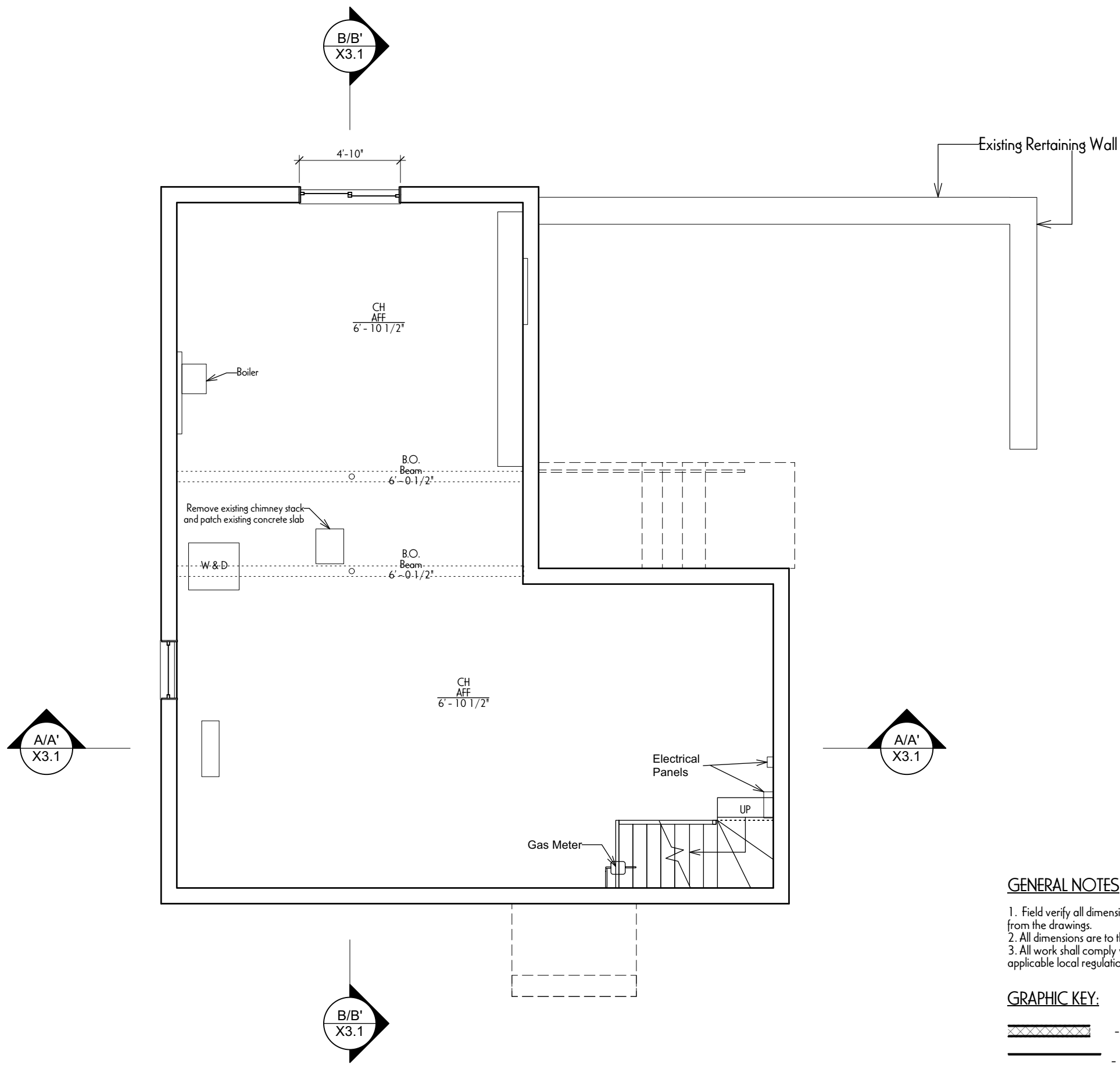
1 Proposed Section
Scale: 3/16" = 1'-0"

A3.3	
Date:	01/06/23
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1

Existing Basement Floor Plan






Scale: 3/16" = 1'-0"



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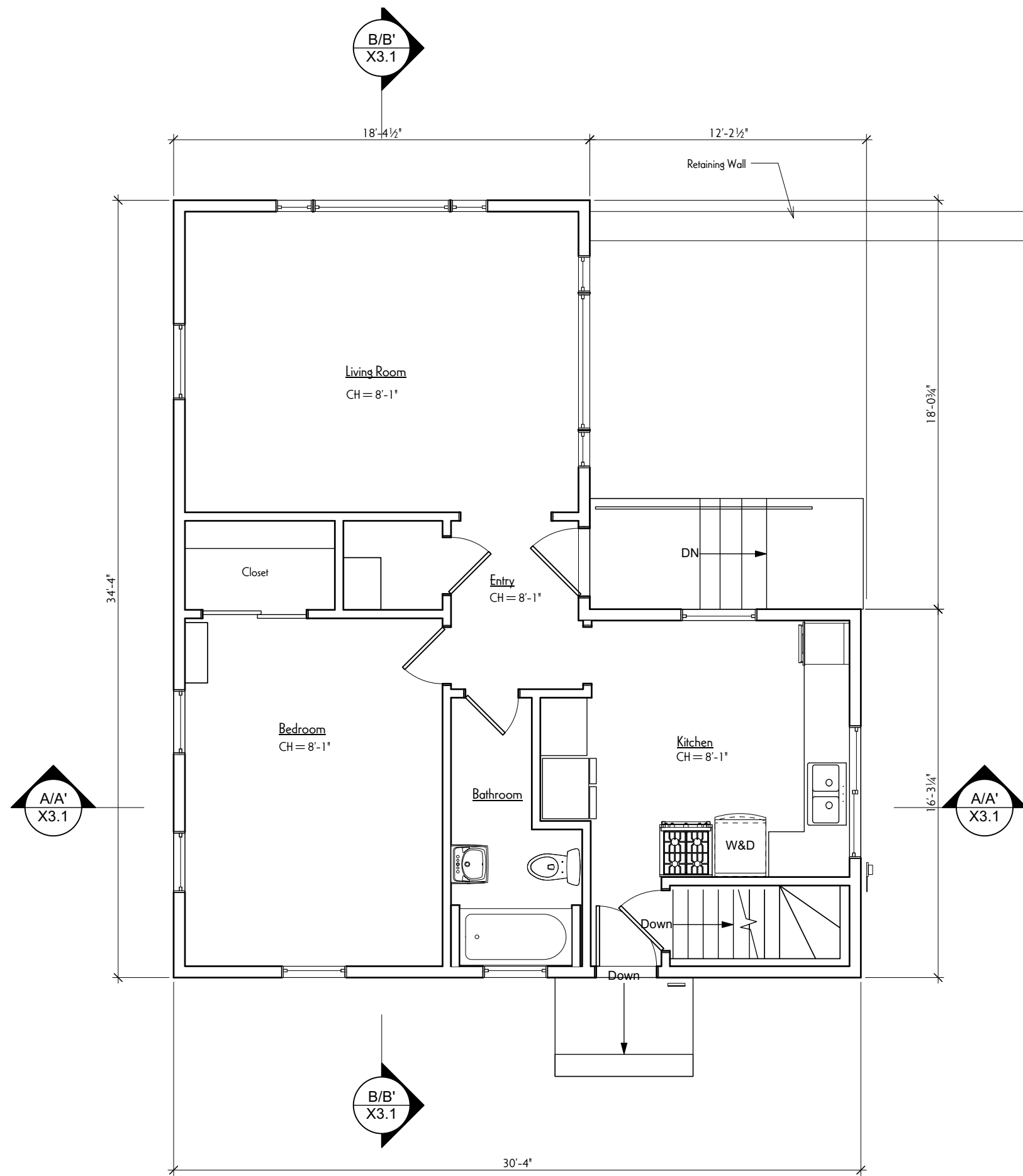
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Date: 01/06/23

X1.0








1 Existing 1st Floor Plan
Scale: 3/16" = 1'-0"

GENERAL NOTES

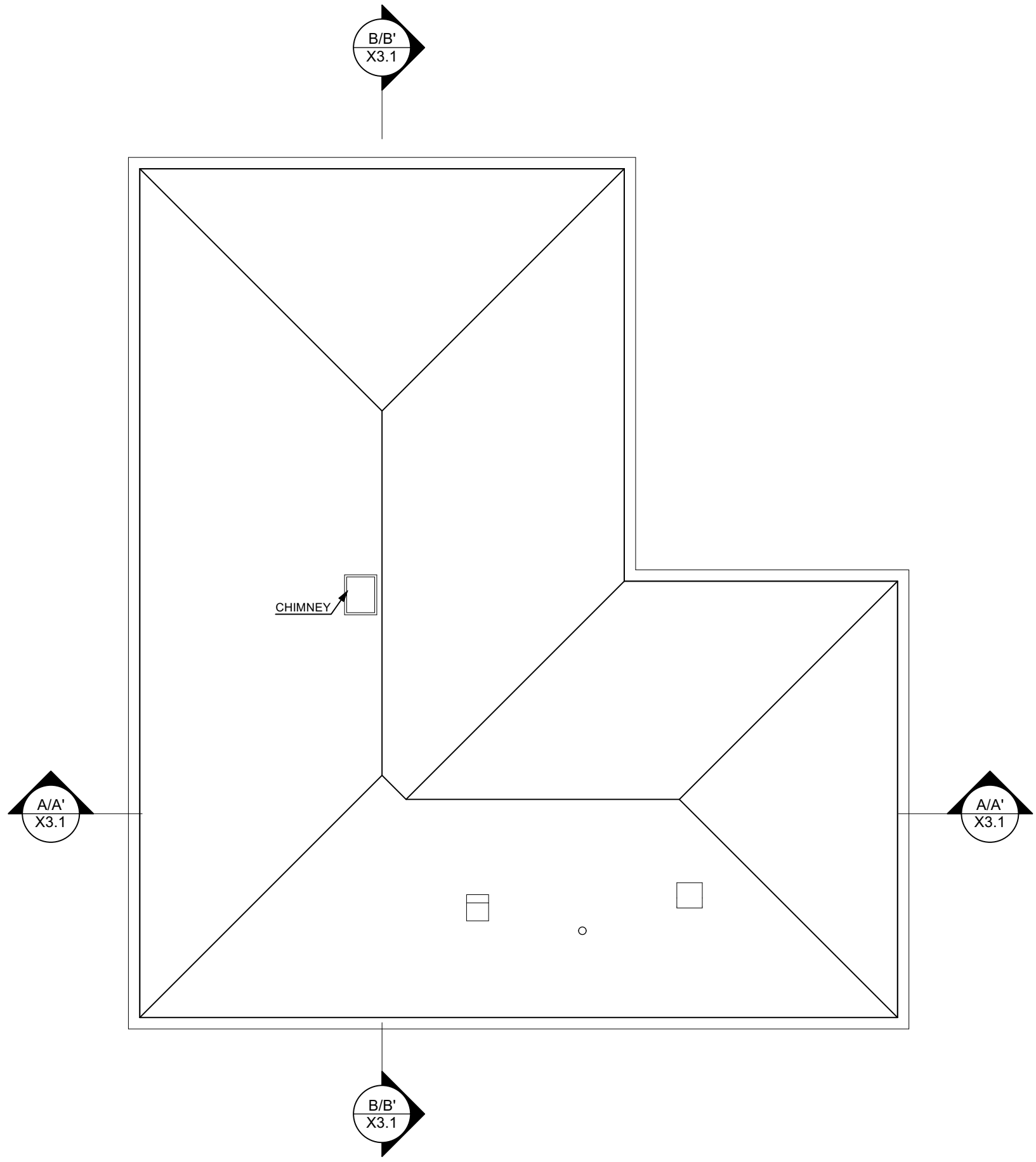
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X1.1
Date: 01/06/23
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1 Existing Roof Plan
 Scale: 3/16" = 1'-0"



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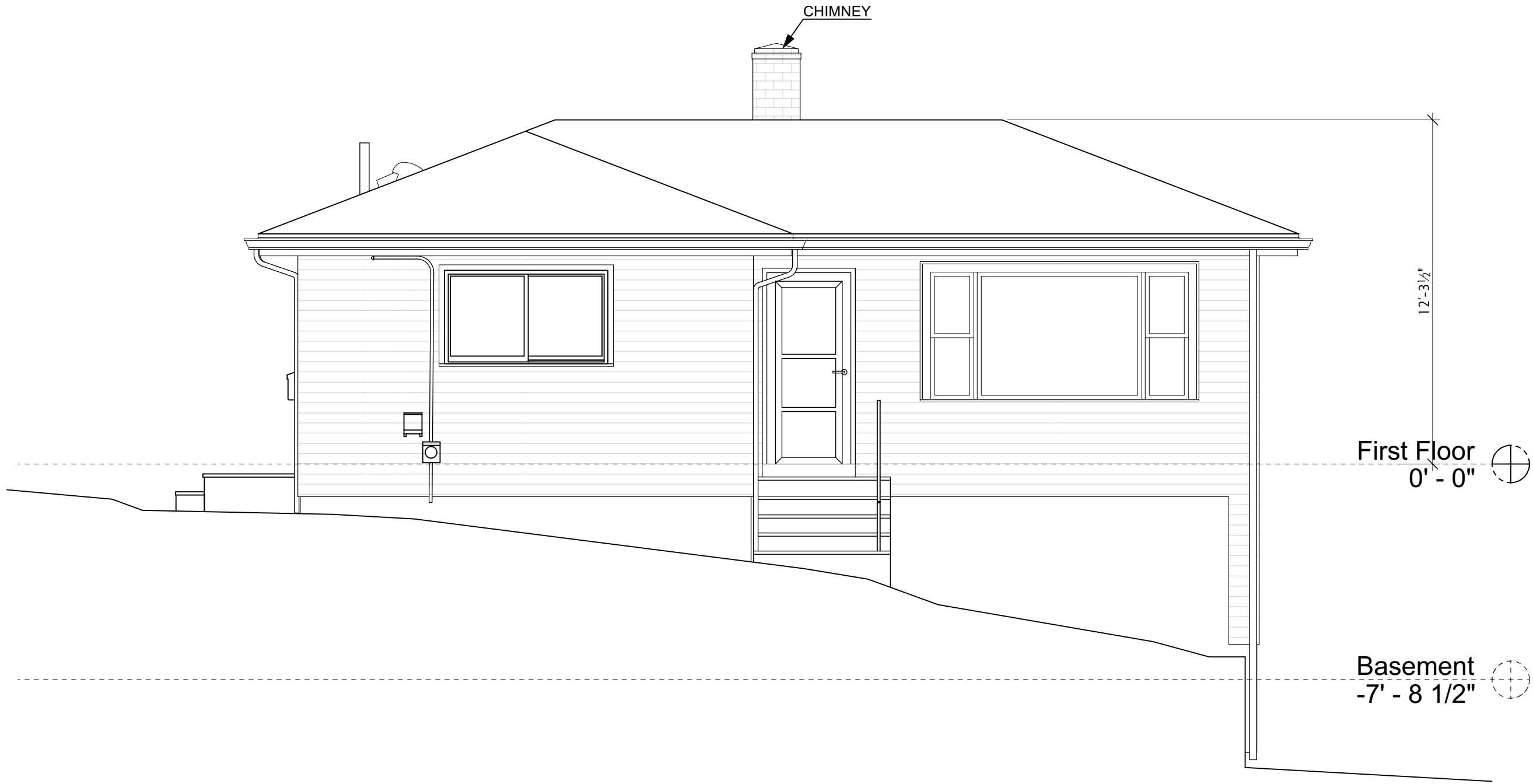
Date: 01/06/23

X1.2



1 North
Scale: 1/4" = 1'-0"

Date: 01/06/23		X2.1	
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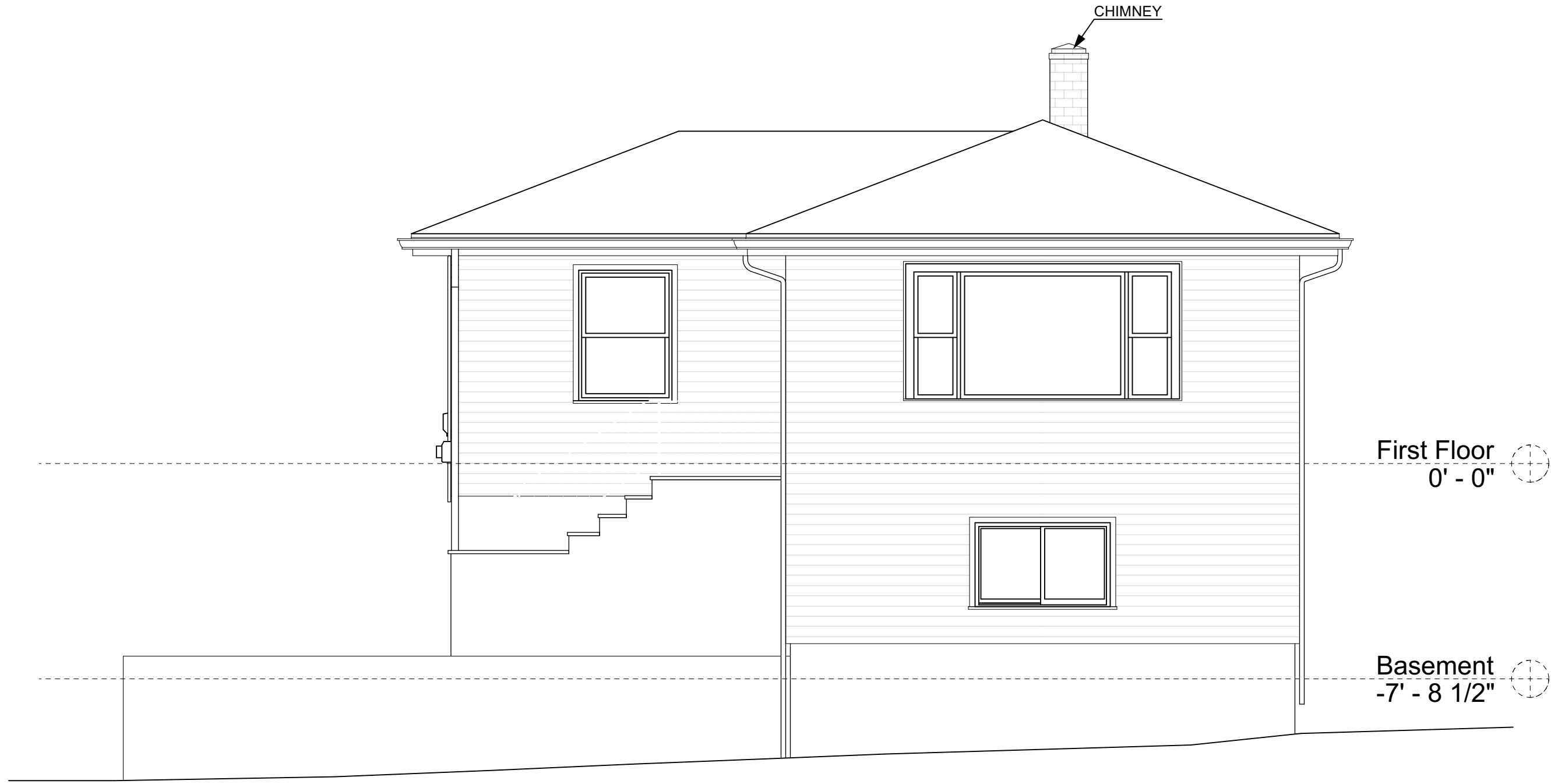
2 West
Scale: 1/4" = 1'-0"

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X2.2



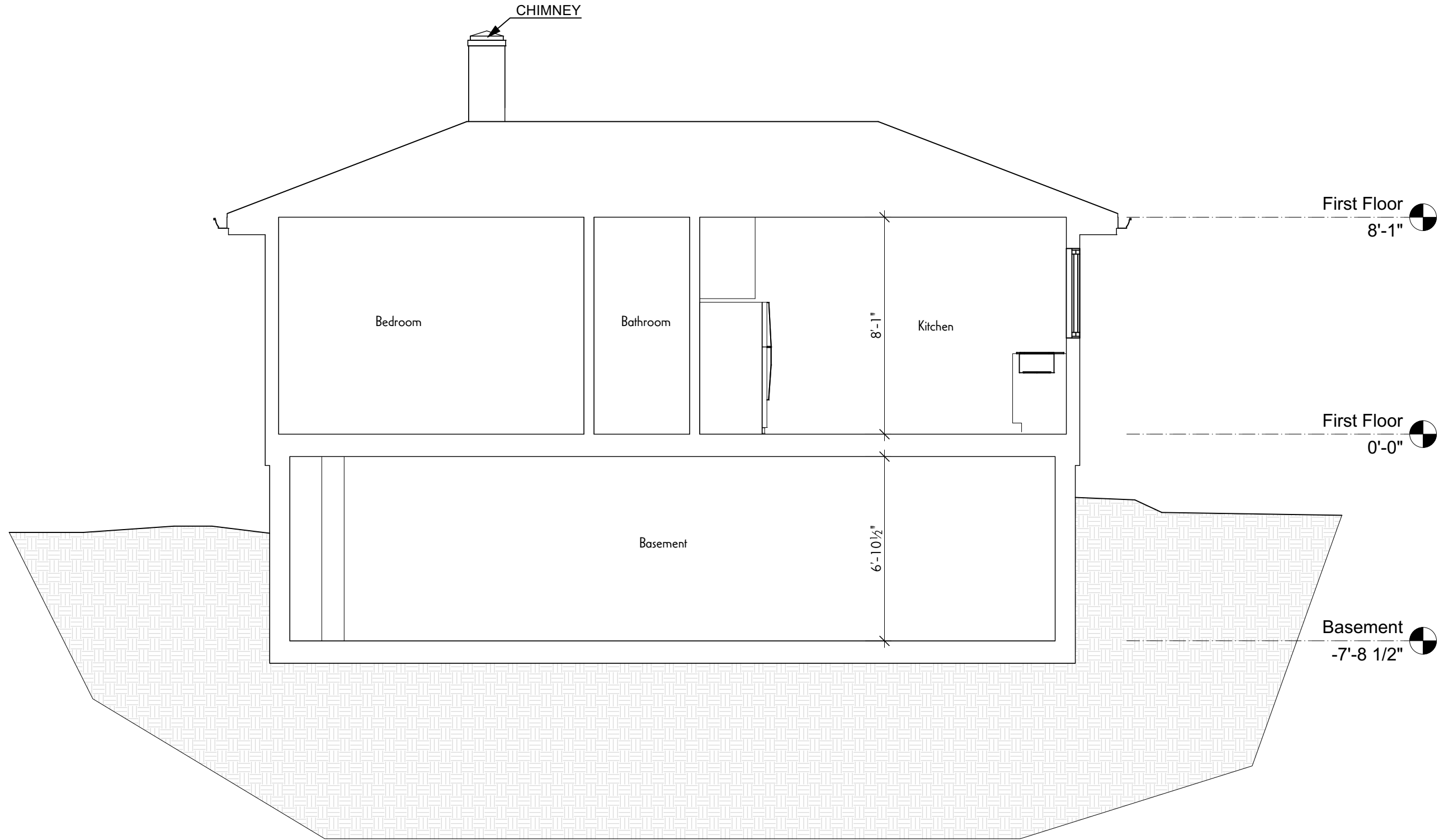
1 South
 Scale: 1/4" = 1'-0"

Date: 01/06/23		X2.3	
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2 East
 Scale: 1/4" = 1'-0"

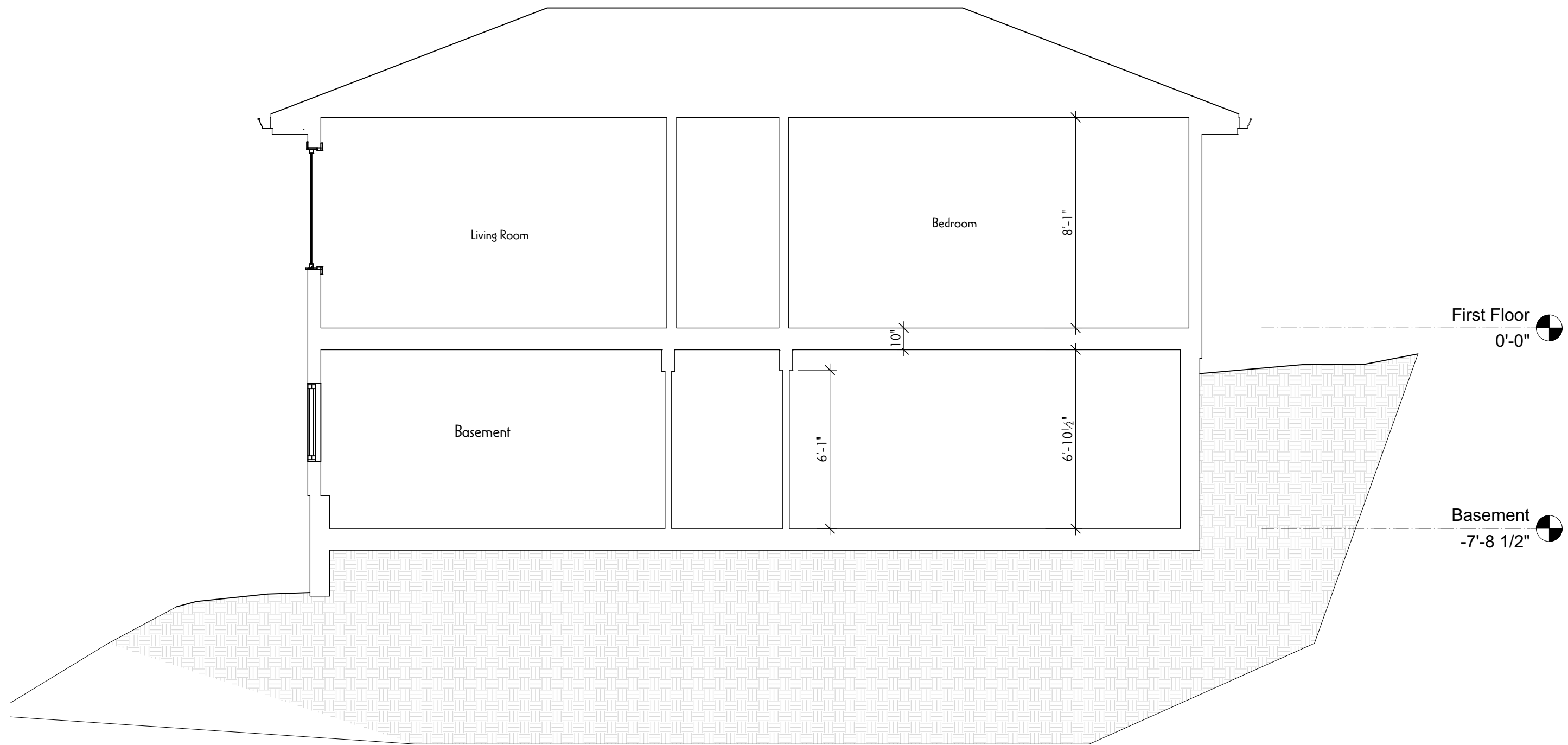
Date: 01/06/23		X2.4
EvB Design  1310 Broadway, Suite 200 Somerville, MA 02144		
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1

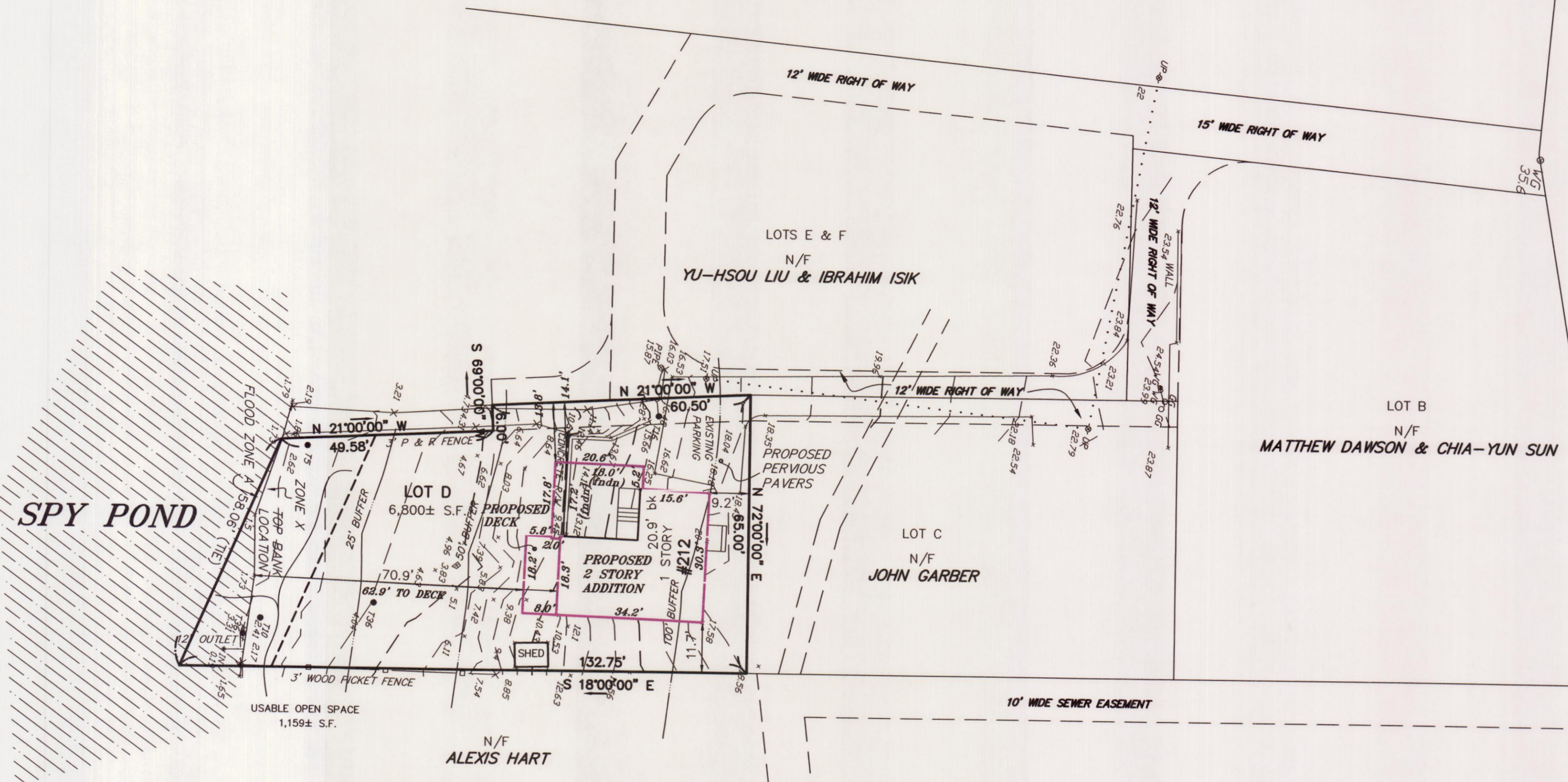
Existing Building Section E-W
 Scale: 1/4" = 1'-0"

Date: 01/06/23		X3.1	
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2 Existing Building Section N-S
 Scale: 1/4" = 1'-0"

Date: 01/06/23		X3.2	
EvB Design <small>1310 Broadway, Suite 200 Somerville, MA 02144</small>			
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PLEASANT STREET

PREPARED FOR: MARK HALLIDAY

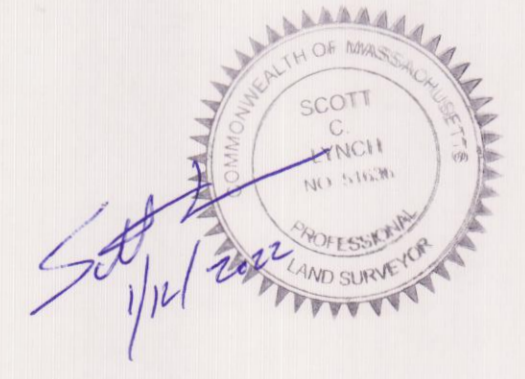
NOTE: UP = UTILITY POLE

This Information Added by Rober Survey 3/27/2023

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 $(17.22+17.88+14.0+9.94+14.69)/5 = 14.75$

BASEMENT CEILING = 19
 AVERAGE GRADE = 14.75

EXISTING BASEMENT = 12.2
 EXISTING FIRST FLOOR = 20.0
 EXIST. AVE. GRADE = 14.7
 PROPOSED PEAK ELEVATION = 40.8
 PROPOSED HEIGHT 26.1
 EXIST. IMPERVIOUS = 1352.8± S.F.
 PROPOSED IMPERVIOUS = 1,244.9± S.F.
 PROPOSED GROSS FLOOR AREA (per architect) = 3,293± s.f.
 EXISTING GROSS FLOOR AREA = 1,648± s.f.
 EXISTING FLOOR AREA RATIO = 24.2%



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 IN
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 (MIDDLESEX COUNTY)
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