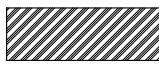
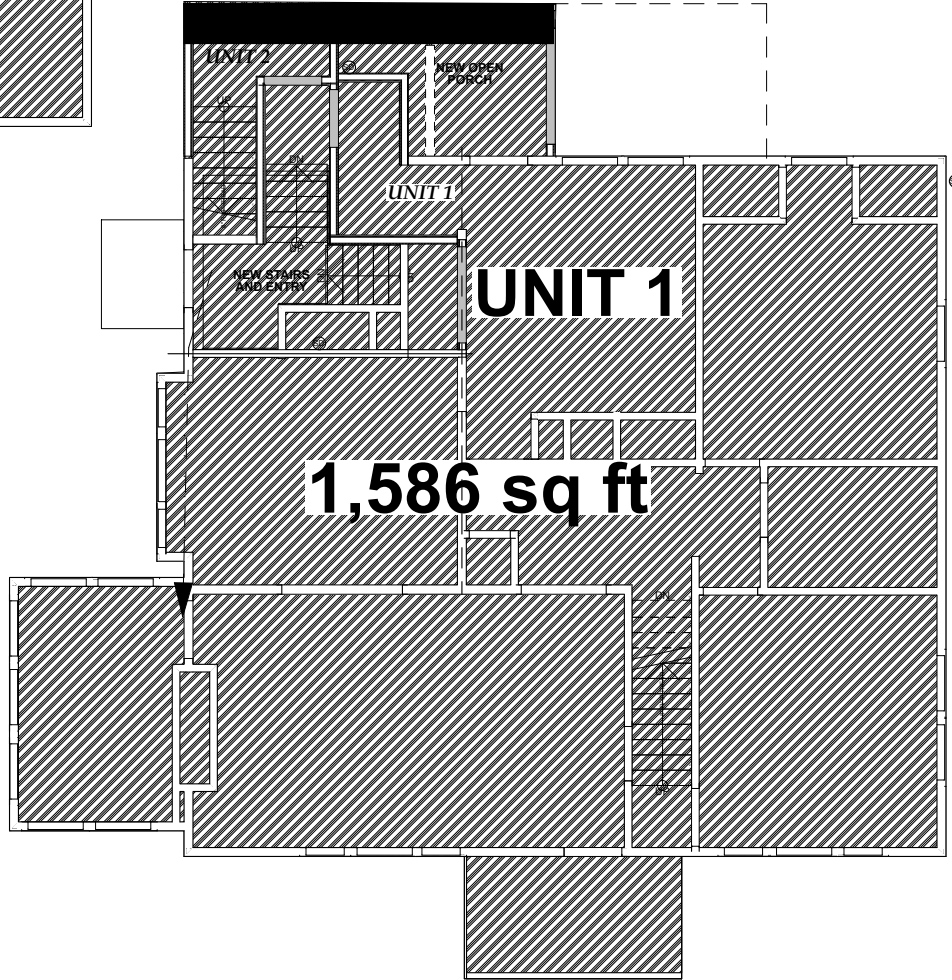
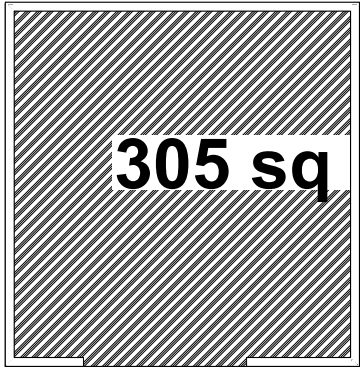


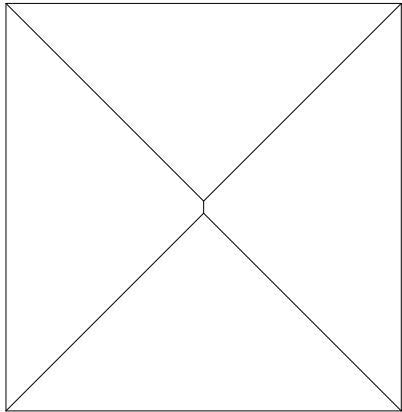
 **GFA - BASEMENT**



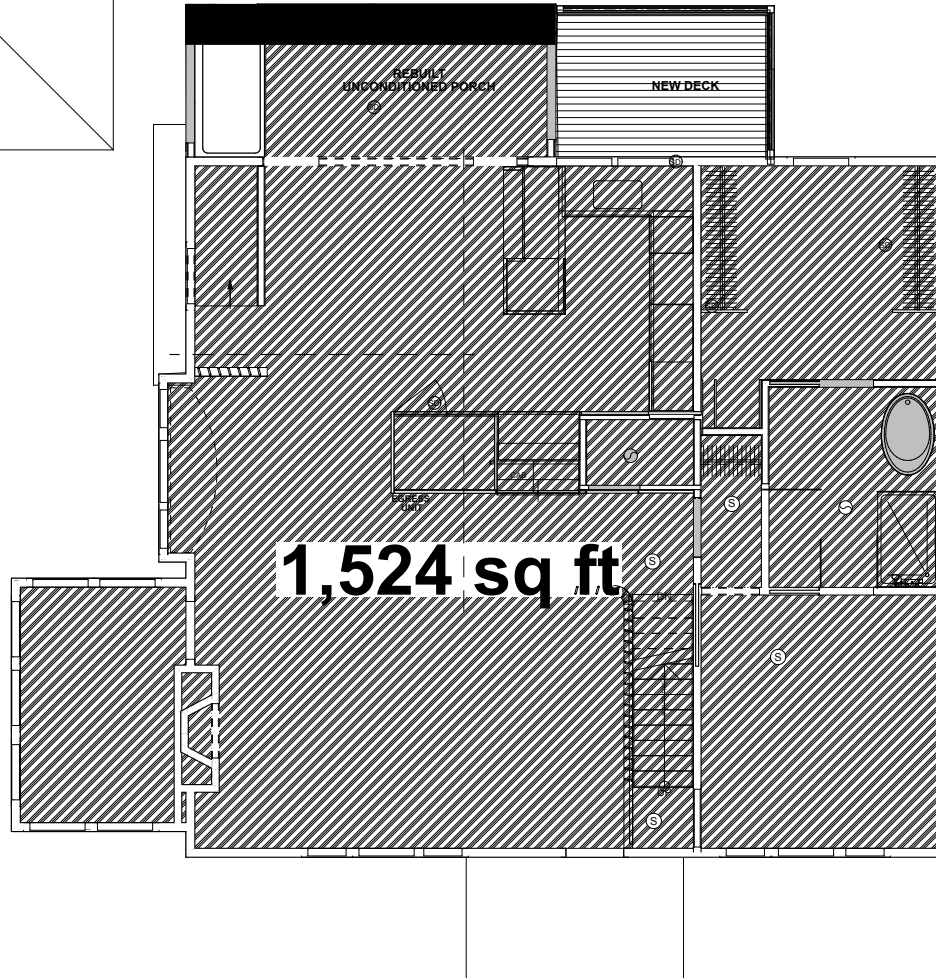
GFA - 1st FLR



PROPOSED GFA 35 SF



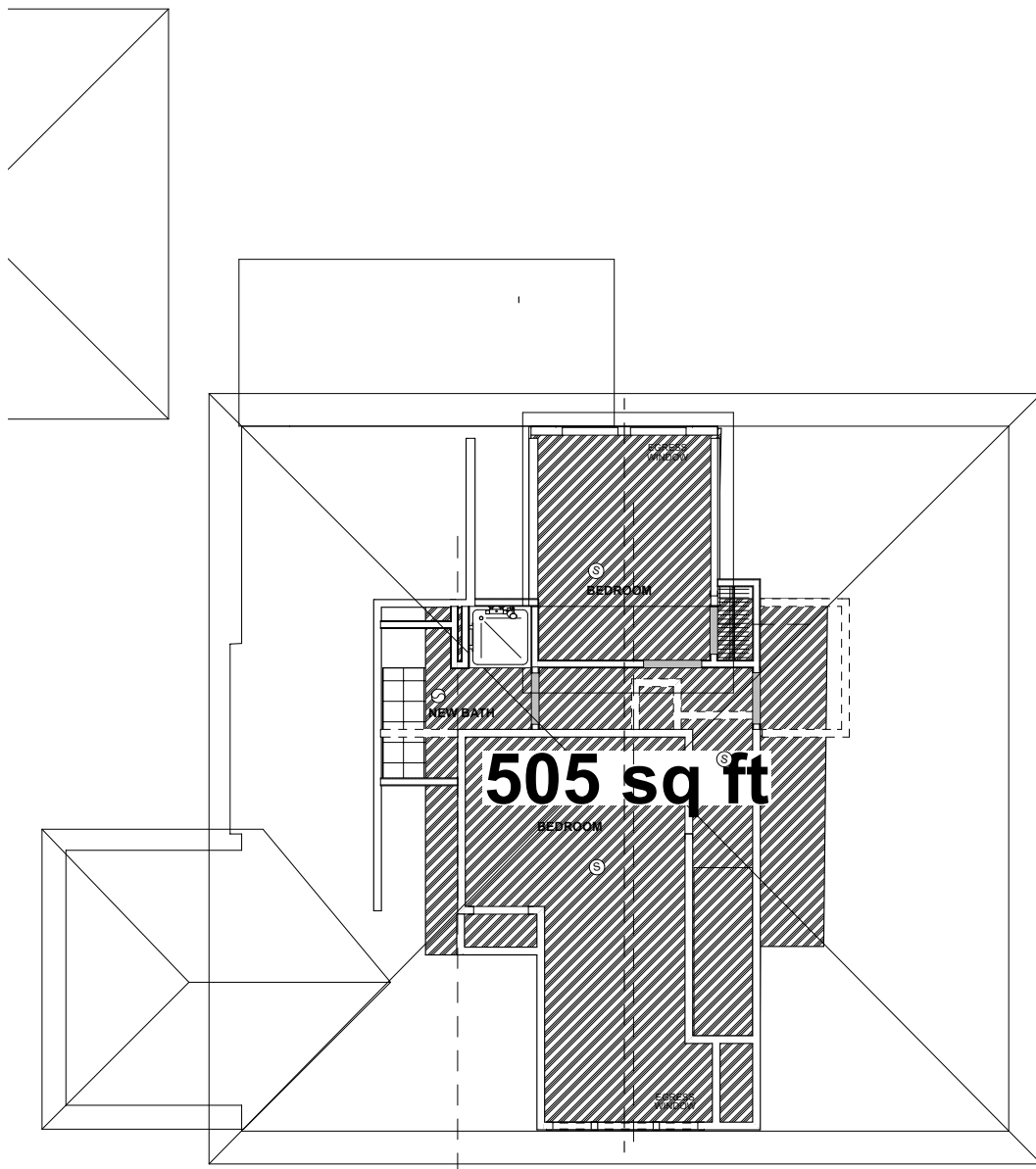
DN



GFA - 2nd flr



PROPOSED GFA - 35SF



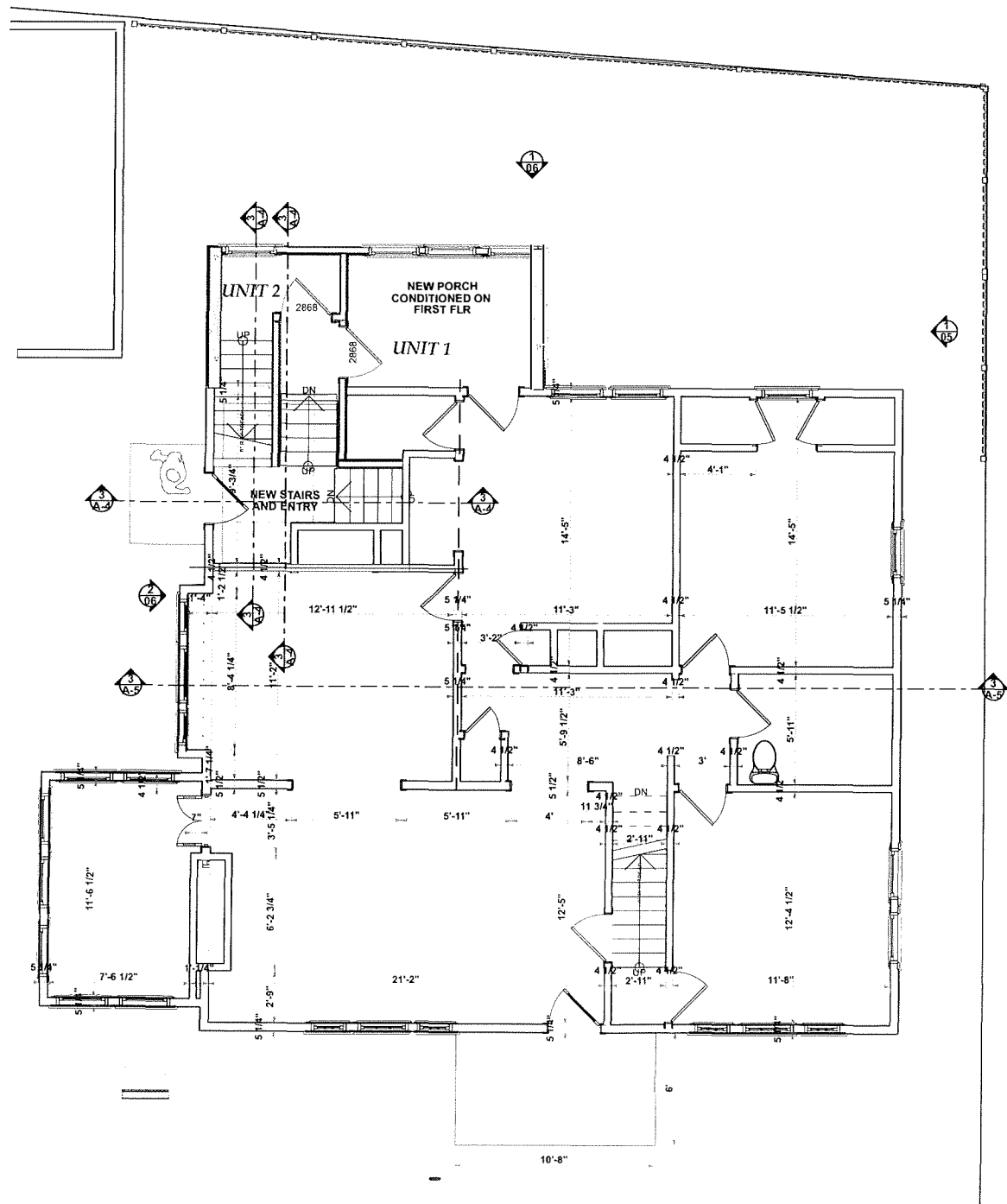
 **GFA - Attic/ 3rd**

GENERAL NOTES

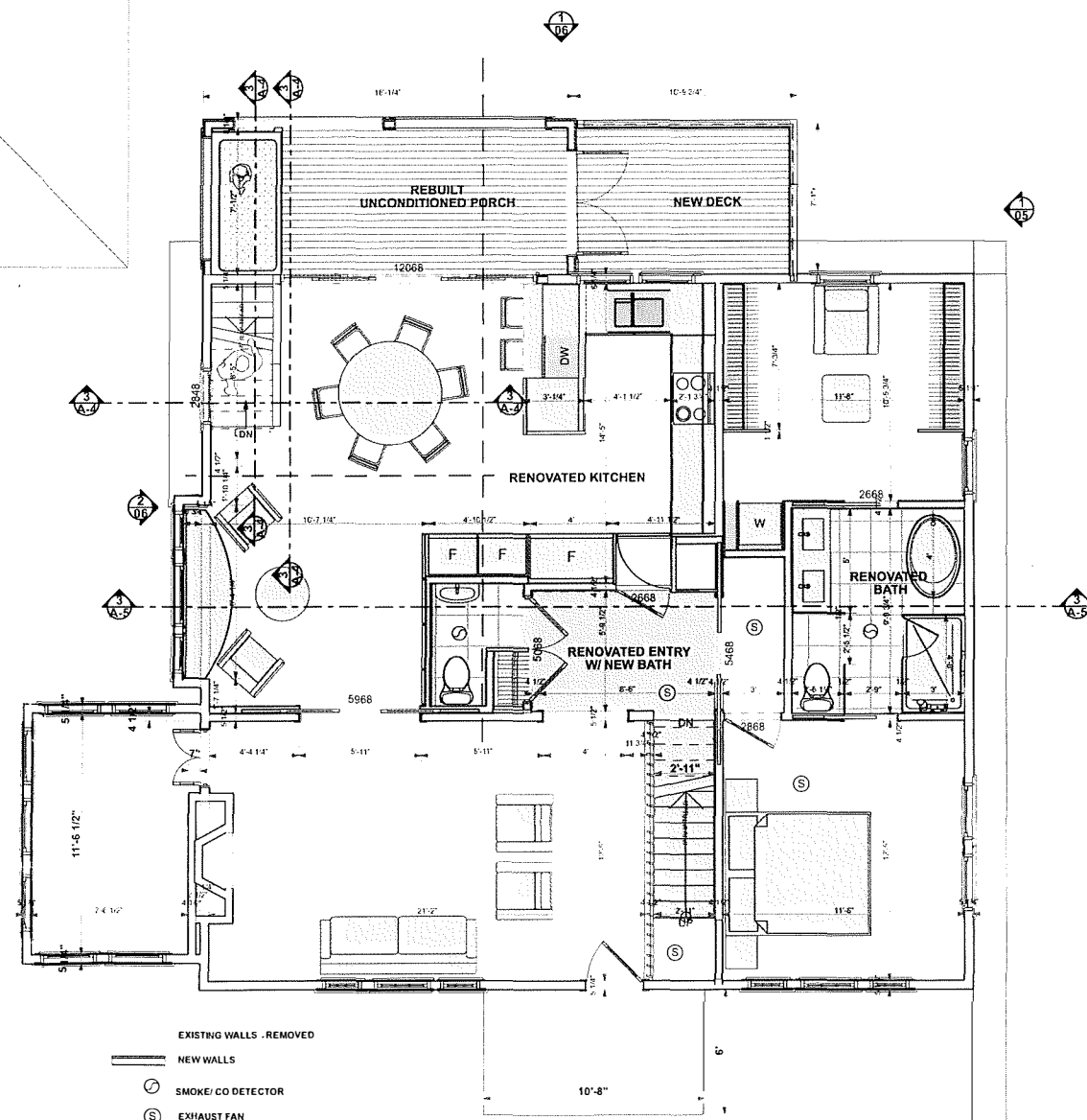
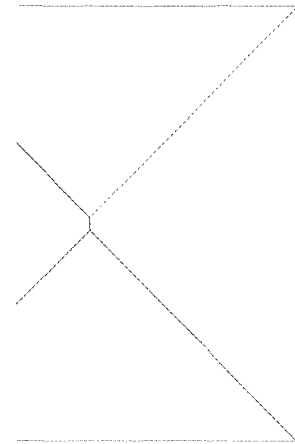
1. ALL WORK SHALL CONFORM WITH THE MASSACHUSETTS STATE BUILDING CODES, THE NATIONAL ELECTRICAL CODE AND ALL OTHER APPLICABLE CODES
2. CONTRACTOR TO VERIFY EXISTING CONDITIONS
3. WRITTEN INSTRUCTIONS TAKE PRECEDENCE OVER VISUAL DATA DESCRIBING THE WORK
4. WORK NOT INCLUDED IS NOTED "NOT IN CONTRACT" (N.I.C.)
5. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION
6. DO NOT SCALE DRAWINGS
7. CONTRACTOR MUST BE LICENSED WITH THE STATE OF MASSACHUSETTS AND MUST MAINTAIN ALL REQUIRED INSURANCES DURING ALL CONSTRUCTION PHASES

SCOPE OF WORK

GENERAL INTERIOR RENOVATIONS ON FLOORS 1,2,3 ; NEW BASEMENT STAIRS
REBUILDING OF
TWO STORY PORCH W/
NEW DECK



1
A-1 1ST FLR - PROPOSED
SCALE: 1/4" = 1'-0"



- EXISTING WALLS - REMOVED
- NEW WALLS
- SMOKE/CO DETECTOR
- EXHAUST FAN

1
A-1 2ND FLR - PROPOSED STAIR
SCALE: 1/4" = 1'-0"

ARCHITECT:
DAVID HARMON
ARCHITECTURE
PROFESSIONAL ARCHITECT
DHA@HARMONARCH.COM
T 617 870 4548

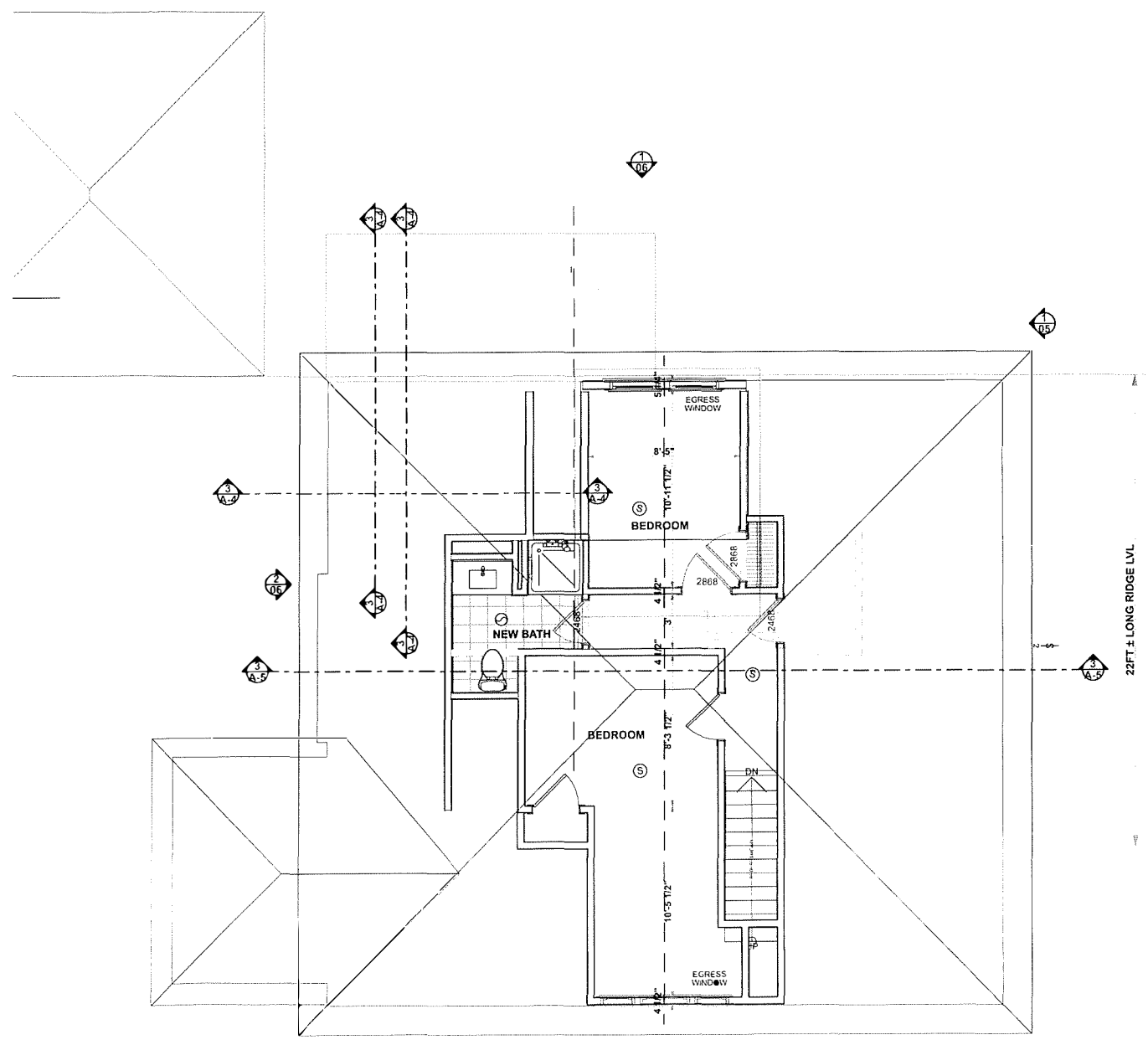
OWNER:
FLYNN

PROJECT LOC:
55 NEWCOMB ST
ARLINGTON

DATE:
05-01-23

DWG TITLE:
PLANS -
PROPOSED
RENOVATIONS

SHEET NO:
A-1



3 3RD FLOOR RENOVATIONS
 A-2 SCALE: 1/4" = 1'-0"

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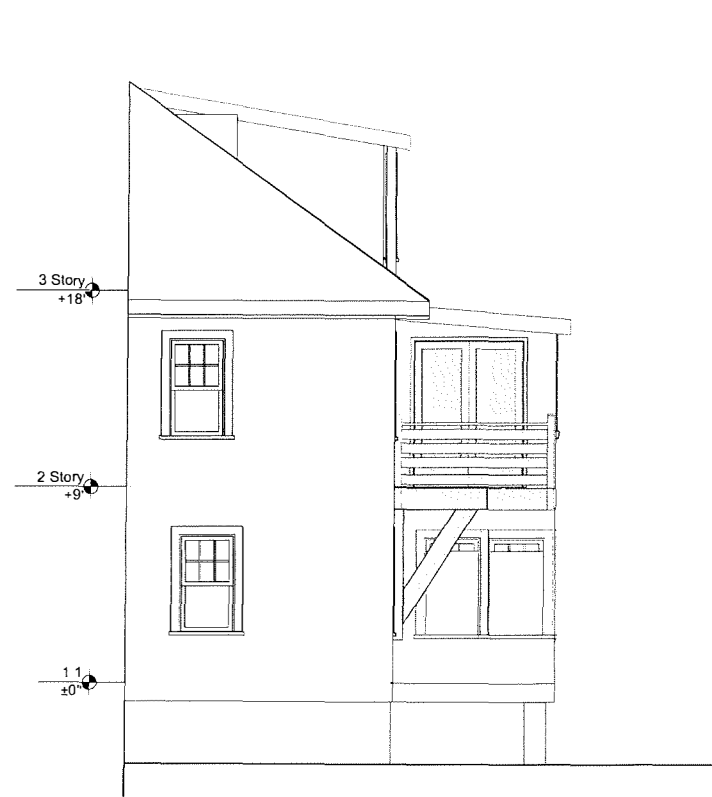
OWNER:
 FLYNN

PROJECT LOC:
 56 NEWCOMB ST
 ARLINGTON

DATE:
 05-01-23

DWG TITLE:
 3RD FLOOR
 PROPOSED

SHEET NO:
 A-2



4 NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



4 SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

ARCHITECT:
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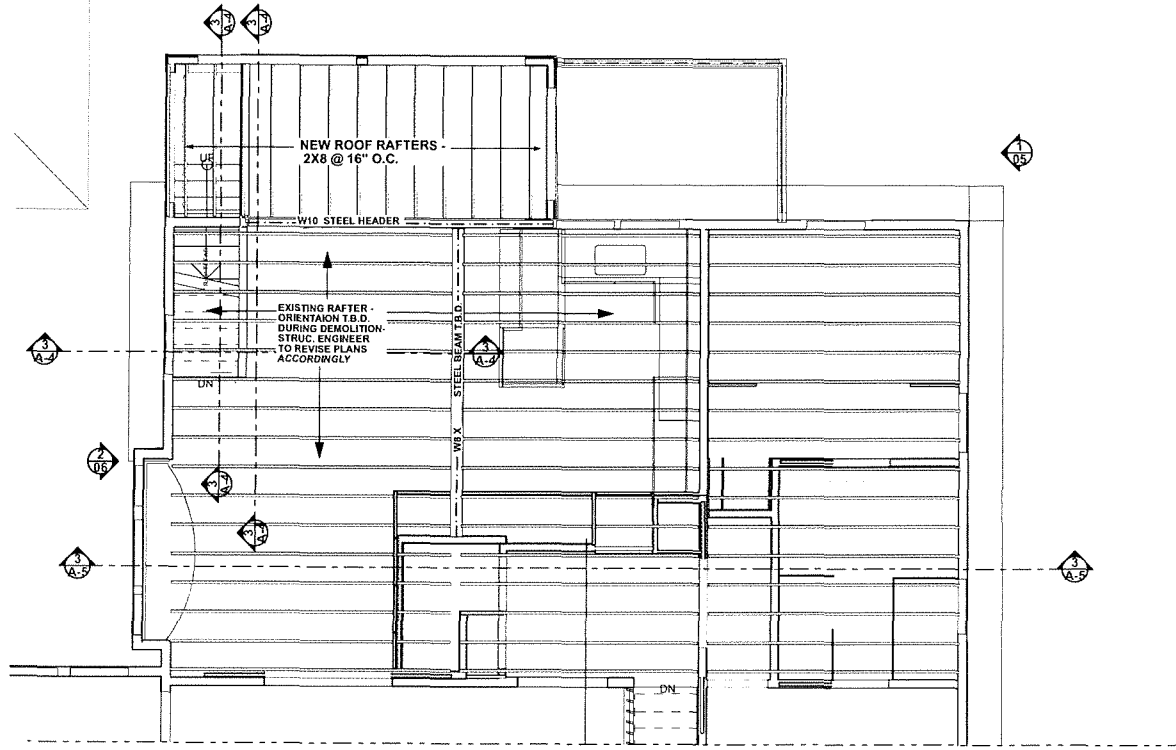
OWNER:
FLYNN

PROJECT LOC:
56 NEWCOMB ST
ARLINGTON

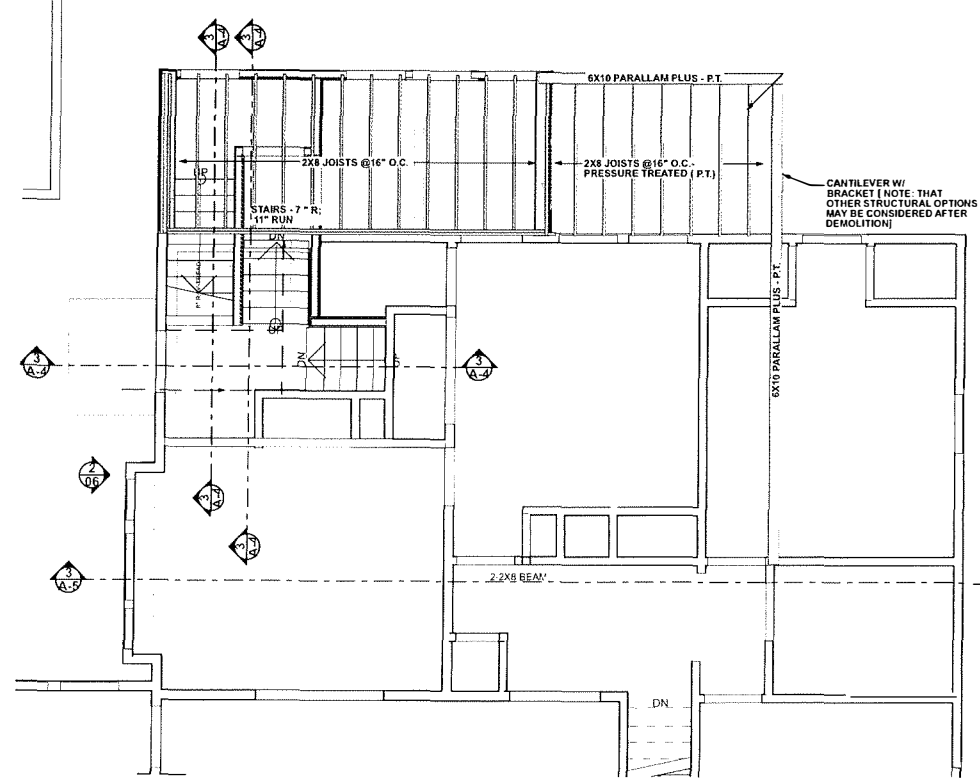
DATE:
05-01-23

DWG TITLE:
ELEVATIONS

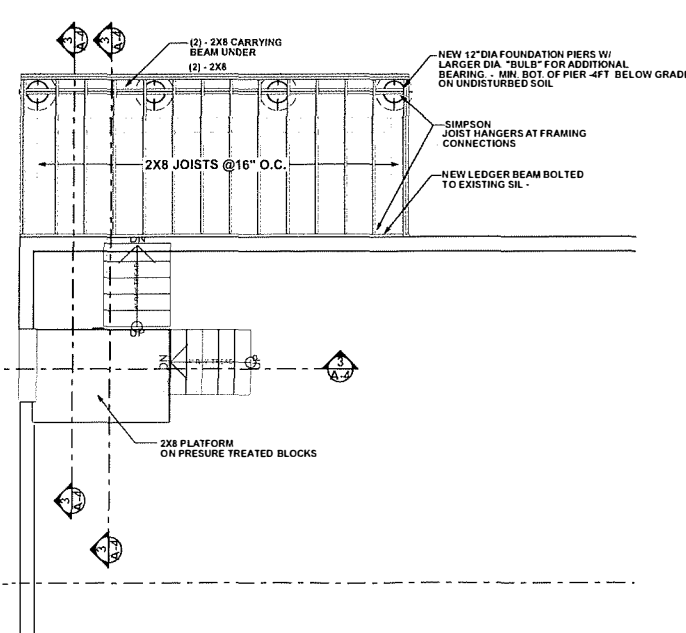
SHEET NO:
A-3



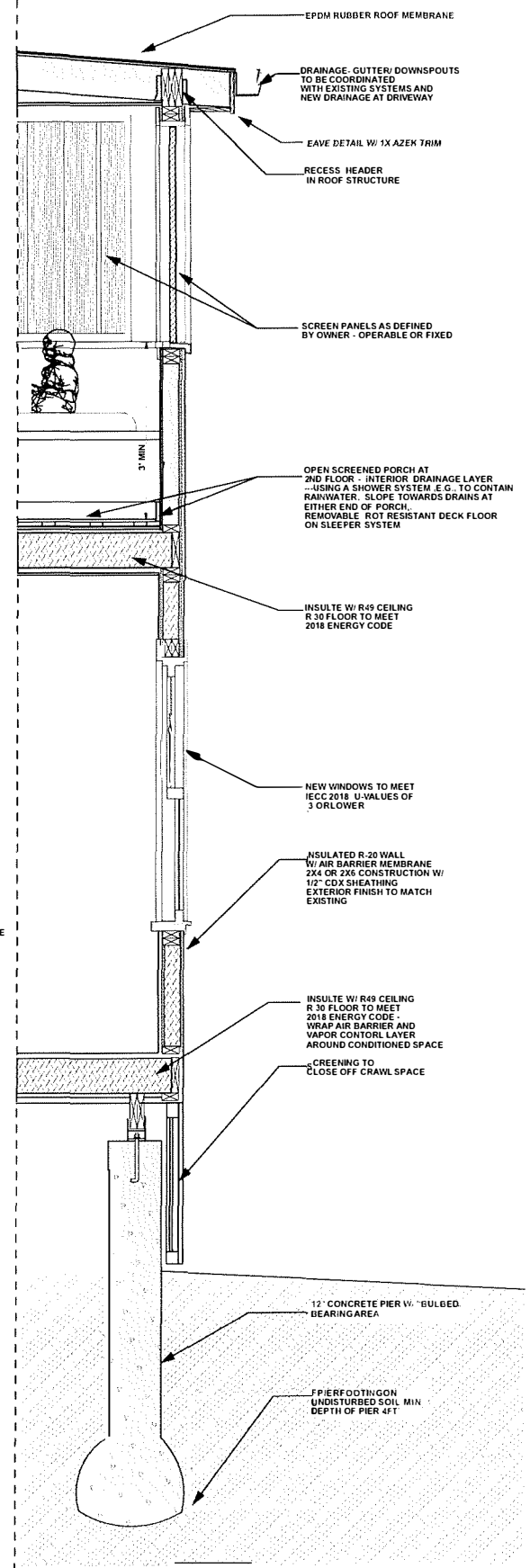
1 3RD FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



2 2ND FLOOR FRAMING/ DECK FRAME
SCALE: 1/4" = 1'-0"



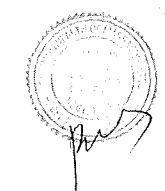
3 FOUNDATION/ FIRST FLR FRAMING PLAN
SCALE: 1/4" = 1'-0"



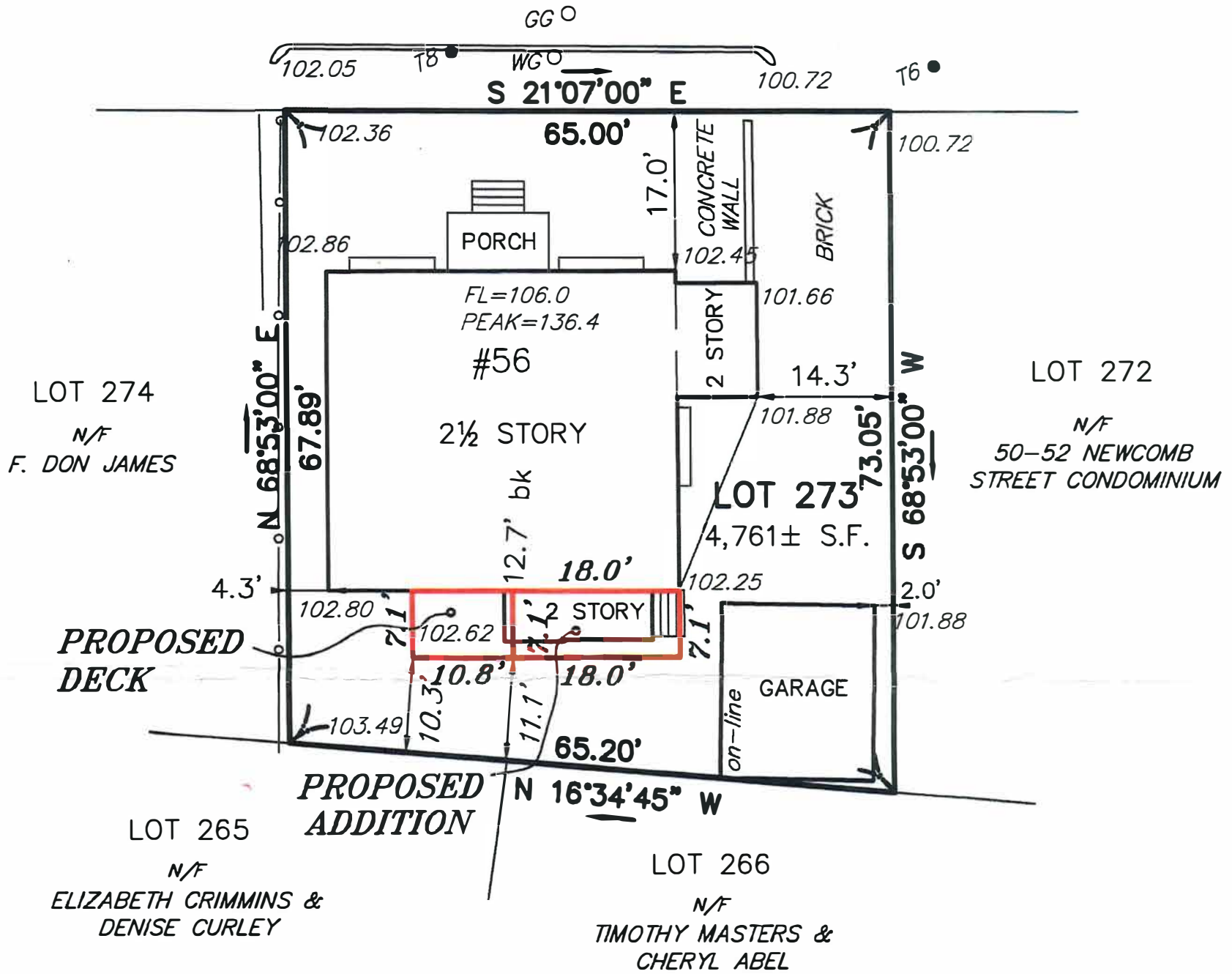
4 TYPICAL WALL SEC- PORCH
SCALE: 3/4" = 1'-0"

- ROUGH CARPENTRY**
- ALL ROUGH CARPENTRY WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION' TIMBER CONSTRUCTION STANDARDS --AITC 100
 - WHEN NOT OTHERWISE IDENTIFIED, ALL WOOD BEAMS, JOISTS, RAFTERS, HEADERS, STRINGERS, PLATES, AND SILLS SHALL BE CONSTRUCTION GRADE OR BETTER, WITH A MINIMUM Fb=1000 PSI
 - LVL BEAMS, AS NOTED ON PLANS, SHALL HAVE A MINIMUM Fb=3100 PSI,
 - MANUFACTURER'S RECOMMENDATIONS FOR BEARING, REINFORCING, CUTS, CANTILEVERS, FASTENING, ETC. SHALL BE STRICTLY ADHERED TO.
 - PLYWOOD WALL SHEATHING, ROOF SHEATHING, AND SUBFLOORING SHALL BE APA GRADE, TRADEMARKED C-D INTERIOR WITH EXTERIOR GLUE. SUBFLOORING SHALL BE 3/4" THICK TONGUE AND GROOVE AND SHALL BE GLUED TO FLOOR JOISTS WITH AN APPROVED ADHESIVE PRIOR TO NAILING. ROOF SHEATHING SHALL BE 5/8" THICK AND SHALL BE TONGUE AND GROOVE OR ALIGNED WITH METAL H CLIPS BETWEEN RAFTERS. WALL SHEATHING SHALL BE 1/2" THICK.
 - ALL WOOD HAVING DIRECT CONTACT WITH MASONRY OR CONCRETE AND, WHEREVER WOOD IS WITHIN 8" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION, SHALL BE PRESSURE TREATED.
 - JOIST AND BEAM HANGERS SHALL BE BY SIMPSON STRONG-TIE CORP. THE CONTRACTOR SHALL STRICTLY ADHERE TO MANUFACTURER'S FASTENING REQUIREMENTS.
 - UNLESS DETAILED OR OTHERWISE SPECIFIED, PROVIDE AT LEAST TWO JACK STUDS BENEATH ENDS OF AND HEADERS AND BEAMS (FOR LVL BEAMS SEE NOTES, 17,18,19) WHERE POSTS ARE CALLED OUT AS MULTIPLE 2Xs, SUCH AS 2-2Xs, 3-2Xs, 4-2Xs, ETC., ONE 2X SHALL BE POSITIONED AS A KING STUD AND THE BALANCE SHALL BE JACK STUDS.
 - FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING BETWEEN JOISTS AT MIDSPAN
 - PROVIDE SIMPSON H1 OR H2.5 HURRICANE TIES BETWEEN EACH RAFTER BOTTOM AND ITS BEARING POINT.
 - CONTRACTOR SHALL CAREFULLY COORDINATE THE WORK OF ALL TRADES TO MINIMIZE THE NEED FOR CUTS AND BORE HOLES IN FRAMING LUMBER. IN GIRDERS, BEAMS, OR JOISTS, CUTS AND BORE HOLES SHALL NOT BE DEEPER THAN 1/5 THE MEMBER DEPTH NOR MORE THAN 2" IN DIAMETER, AND SHALL NOT BE LOCATED NEARER TO THE END OF THE SPAN THAN THREE TIMES THE MEMBER DEPTH NOR WITHIN THE CENTER THIRD OF THE SPAN UNLESS REINFORCED TO MEET STRESS CALCULATIONS
 - AT WOOD POSTS LANDING ON FLOOR DECK, PROVIDE SOLID VERTICAL WOOD BLOCKING WITHIN DECK SANDWICH TO LINK UPPER POST WITH LOWER SUPPORT MATCH UPPER POST SIZE
 - SET LVL BEAMS THAT FRAME FLUSH WITH DIMENSIONED LUMBER JOISTS 3/8" BELOW THE TOP OF JOISTS TO ALLOW FOR JOIST SHRINKAGE WHERE BEARING WALLS OR POSTS LAND ON THESE BEAMS. INFILL GAP WITH 3/8" PLYWOOD FOR SOLID BEARING.
 - ATTACH ALL PLYWOOD AND SHEATHING @ 4' O. C. AT EDGES AND 12' O.C. IN FIELD.
 - ALL METAL FASTENERS AND CONNECTORS TO BE GALVANIZED OR EQUIVALENT.
 - POSTS UNDER LVL BEAMS SHALL TO BE "PSL" 4X6 OR 4X4; USE 4X6 FOR MAJOR POSTS AS NOTED IN PLAN.
 - COMBINED LVL PLIES SHALL BE FASTENED TOGETHER ACCORDING TO MANUFACTURERS SPECIFICATIONS FOR SIDE LOADED ASSEMBLIES.
 - FULL BEARING UNDER ALL BEAMS UNLESS OTHERWISE NOTED.

ARCHITECT:
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OWNER:
FLYNN
PROJECT LOC:
56 NEWCOMB ST ARLINGTON
DATE:
05-01-23
DWG TITLE:
FOUNDATION/ FRAMING 1ST FLR
SHEET NO:
S-1



NEWCOMB STREET



REQUIRED REAR SETBACK = 14.09'

OWNER: MICHAEL & NANCY FLYNN

I HEREBY CERTIFY THAT THE BUILDING IS LOCATED AS SHOWN.



SCOTT LYNCH, PLS DATE

THIS PLAN MAY HAVE BEEN ALTERED IF THE SIGNATURE IS NOT SIGNED IN BLUE.

PROPOSED PLOT PLAN
#56 NEWCOMB STREET
IN
ARLINGTON, MA
(MIDDLESEX COUNTY)

SCALE: 1" = 20' DATE: 8/12/2022



ROBER SURVEY
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(781) 648-5533
7118PP1.DWG