

GENERAL SCOPE OF WORK

- 1- Build a Master Bedroom addition in rear of existing single family dwelling.
- 2- Incorporate closets and Master Bath.
- 3- Incorporate laundry and pantry area.
- 4- New entry access from sidewalk side of property with space for future lift.
- 5- Consideration for future work to kitchen and dining area.

ZONING INFORMATION

- Zoning District: 39 Amherst St. is located in the "R-2" District.

Project Data:

	Required	Existing	Proposed
Use:	Residential	Residential	Residential
Dwelling Units	1	1	1
Lot Size	6,000 Sf.	4,500 Sf.	4,500 Sf.
Front Yard Setback	20 Ft.	7.4 Ft.	7.4 Ft.
Rear Yard Setback	20% lot depth	46.3 Ft.	30.3 Ft.
Side Yard Setback	10 Ft.	5.2 Ft.	5.2 Ft.
Max. Lot Coverage	35%	27.6%	35.0%
Min. usable open space	30%	0.0%Non Conforming	0.0% Non Conforming
Min. Landscaped Open Space	10%	62.0%	58.2%
Height / # of stories	35 Ft./2.5	31.4/2.0	31.4/2.0
Floor Area Ration (FAR)	-	-	-

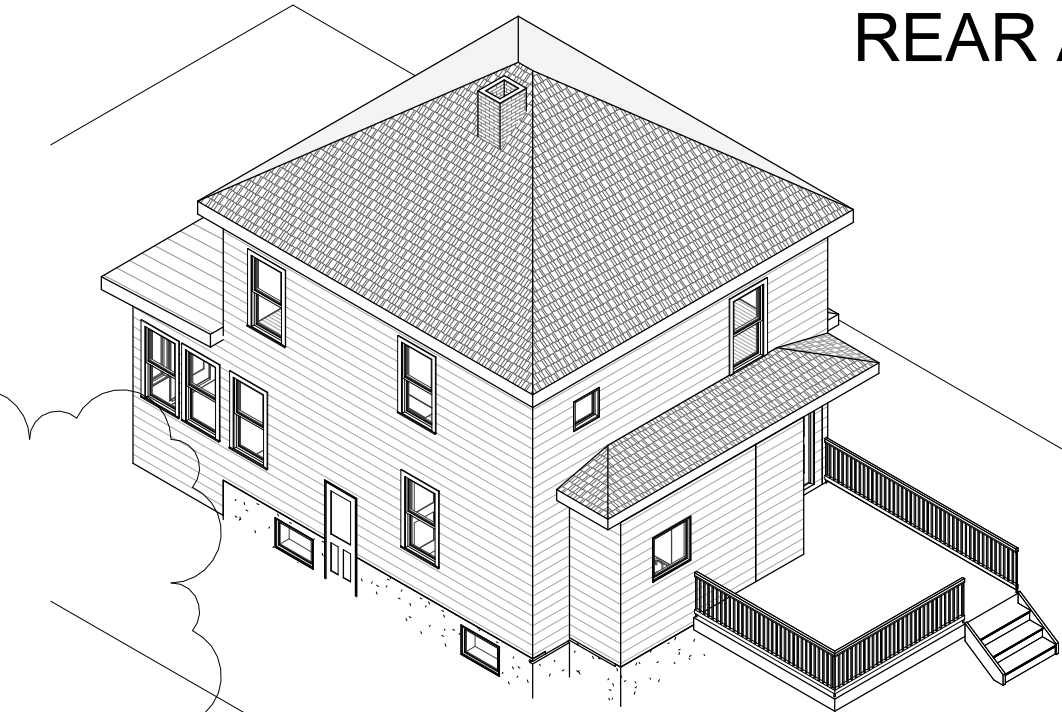
	EXISTING		ADDITION		PROPOSED	
	Finished	Unfinished	Finished	Unfinished	Finished	Unfinished
Basement	-	620	-	-	-	620
1st Floor	793	-	417	-	1,210	-
2nd Floor	562	-	-	-	562	-
Garage	-	400	-	-	-	400
Total	2,375		417		2,792	

	BEDROOMS & BATHROOMS	
	Existing	Proposed
Bedrooms	3	1
Bathrooms	1	1

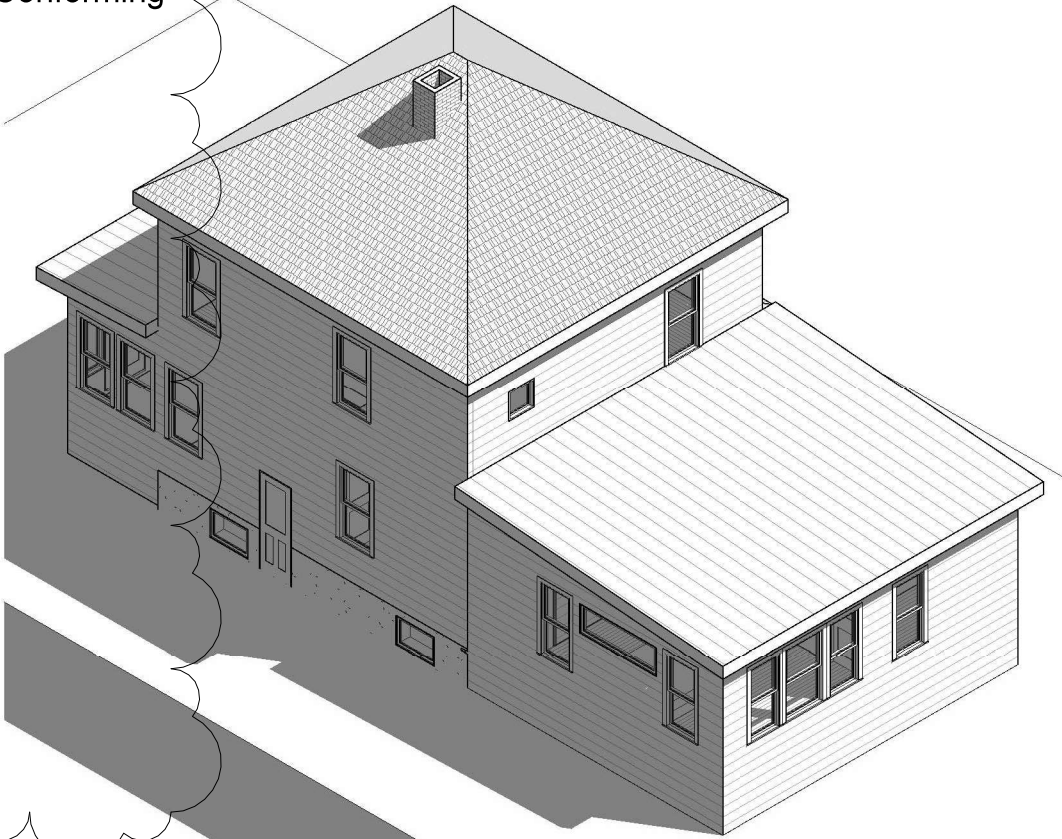
39 AMHERST ST., ARLINGTON, MA
REAR ADDITION

Sheet List

#	Sheet Name
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EXISTING 3D VIEW



PROPOSED 3D VIEW



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(857)228-4222

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Arlington, MA

REVISIONS		
No.	Description	Date
2	Zoning Update	06-11-2024

Title Sheet

Project number	1802
Date	05-06-2024
Drawn by	CS
Checked by	VO

A0

Scale

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ABBREVIATIONS:

&	And	FD	Floor Drain	PCC	Pre-Cast Concrete
CL	Centerline	FDN	Foundation	PFB	Prefabricate
"	Feet	FIXT	Fixture	PL	Plate
#	Inch	FLR	Floor	PLY	Plywood
lb	Number	FOC	Face of Concrete	PNL	Panel
	Pound	FOF	Face of Finish	PR	Pair
		FOM	Face of Masonry	PROJ	Project
AFF	Above Finished Floor	FOS	Face of Stud	PROP	Proposed
ADJ	Adjacent	FT	Feet	PSF	Pounds per Square Foot
AGG	Aggregate	FTG	Footing	PSI	Pounds per Square Inch
A/C	Air Conditioning			PT	Paint
ALRM	Alarm	GALV	Galvanized	PTW	Pressure Treated Wood
ALT	Alternate	GC	General Contractor	PVC	Polyvinyl Chloride
AL	Aluminum	GL	Glass		
ALLOW	Allowance	GWB	Gypsum Wallboard	QTY	Quantity
AMT	Amount				
ADA	Americans w/ Disabilities Act	HDW	Hardware	R	Radius
AB	Anchor Bolt	HORZ	Horizontal	RCP	Reflected Ceiling Plan
APPROX	Approximate	HR	Hour	REF	Reference
ARCH	Architect	HT	Height	REFR	Refrigerator
ASPH	Asphalt	HVAC	Heating/Ventilation/Air Conditioning	REQD	Required
AVG	Average	HWH	Hot Water Heater	REV	Revision
				RM	Room
BTWN	Between	IN	Inch	RO	Rough Opening
BLKG	Blocking	INCL	Include		
BD	Board	INFO	Information	S	South
BR	Bedroom	INSUL	Insulate	SCH	Schedule
BRK	Brick	INT	Interior	SEC	Section
BLDG	Building			SPEC	Specification
BTU	British Thermal Units	JT	Joint	SQ	Square
				STD	Standard
CAB	Cabinet	LAM	Laminate	STL	Steel
C TO C	Center To Center	LOC	Location	STR	Structure
CLNG	Ceiling	LT	Light		
CLR	Clear			T&B	Top and Bottom
CMU	Concrete Masonry Unit	MAS	Masonry	T&G	Tongue and Groove
CONC	Concrete	MAX	Maximum	TEL	Telephone
CONST	Construction	MECH	Mechanical	TEMP	Temporary
CONT	Continuous	MEZZ	Mezzanine	TOC	Top of Concrete
CPT	Carpet	MFR	Manufacture	TOF	Top of Footing
CORR	Corridor	MIN	Minimum	TOJ	Top of Joist
		MISC	Miscellaneous	TOS	Top of Slab
DBL	Double	MN	Manual	TOW	Top of Wall
DEPT	Department	MTL	Material	TYP	Typical
DIA	Diameter			UNO	Unless Noted Otherwise
DIM	Dimension	N	North		
DN	Down	NA	Not Applicable	VB	Vapor Barrier
DTL	Detail	NIC	Not in Contract	VERT	Vertical
DWG	Drawing	NO	Number	VIF	Verify in field
		NOM	Nominal		
EA	Each	NTS	Not to Scale		
ELEC.	Electrical			WC	Water Close
ELEV	Elevation	OC	On Center	WD	Wood
EQ	Equal	OPNG	Opening	WIN	Window
EQUIP	Equipment	OPP	Opposite	WP	Waterproofing
EXST	Existing	OA	Overall	W/	With
EXT	Exterior	OH	Overhead	W/O	Without

LEGEND

	Floor Drain
	Door Tag
	Window Type
	Partition Type
	Revision Cloud
	Align
	Floor Level Elevation-Plan
	Door to be removed
	Existing door to remain
	New door
	Overall Section Number/Sheet
	Section Detail
	Detail Callout
	Indicates change in Height

LEGEND

	Dryer w/ exhaust to outside
	Washine Machine
	Gas Boiler (See plans for additional information)
	Hot Water Heater (See plans for additional information)

MATERIAL LEGEND

	Earth
	Gravel
	Concrete
	Brick
	Wood Finish
	Wood, Rough
	Aluminum
	Steel
	CMU
	Gypsum Board
	Insulation
	Rigid Insulation
	Ceramic tile

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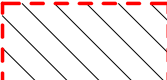
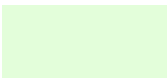
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No.	Description	Date

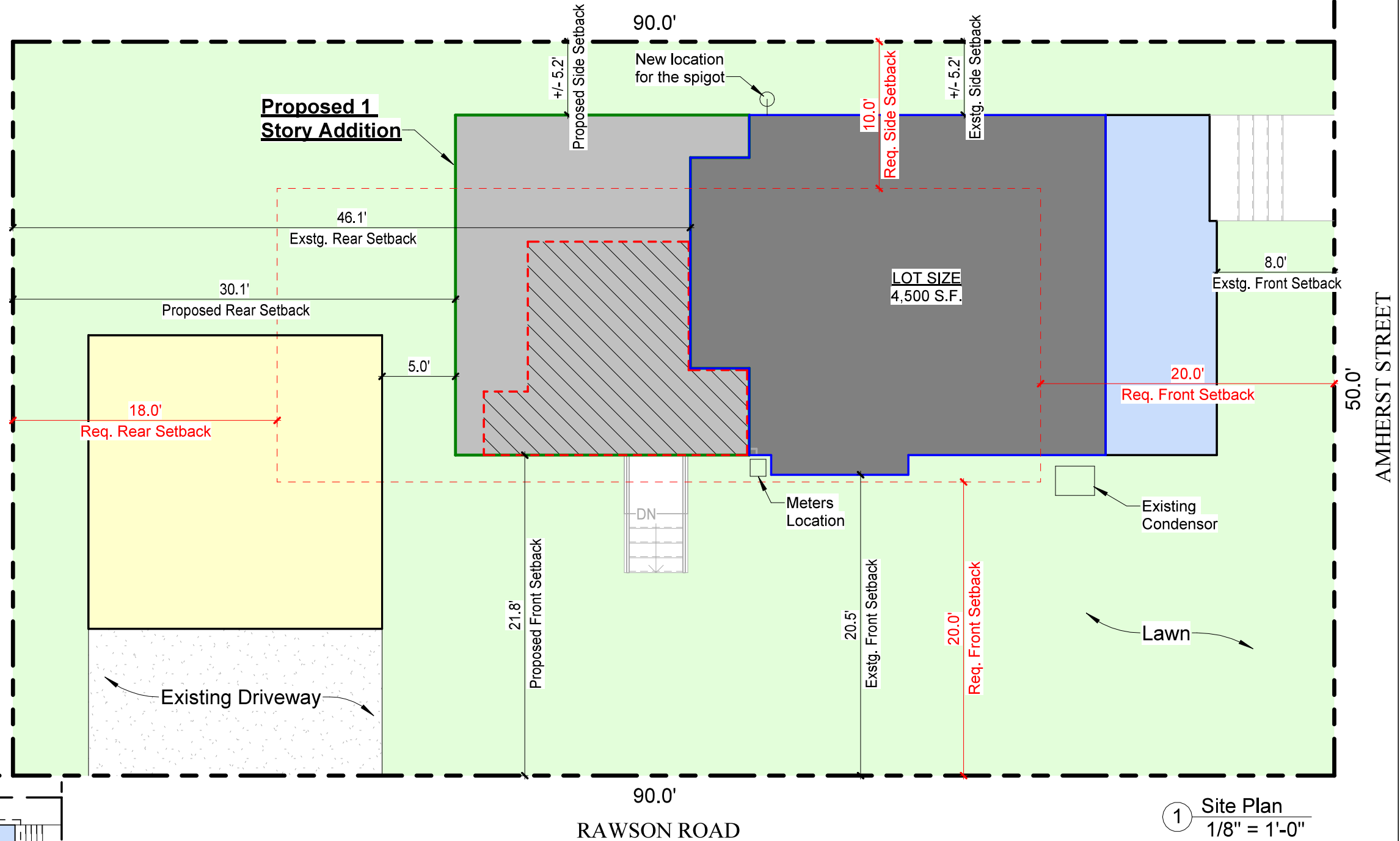
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Project number	1802	A0.1
Date	05-06-2024	
Drawn by	CS	
Checked by	VO	Scale 3/16" = 1'-0"



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-  **Existing 2 Stories Residential building**
-  **Existing 1 Story sunroom**
-  **Existing 2 Cars Garage**
-  **Existing Deck to be removed**
-  **Proposed 1 Story Addition**
-  **Lawn**
-  **Asphalt**



1 Site Plan
1/8" = 1'-0"

NOTE:
Information for site plan taken
from survey
prepared by:
Dated:



-  **New Gutter**
 -  **New Downspout**
 -  **Existing Gutter**
 -  **Existing Downspout**
- 2 Gutters and Downspouts locations
3/64" = 1'-0"

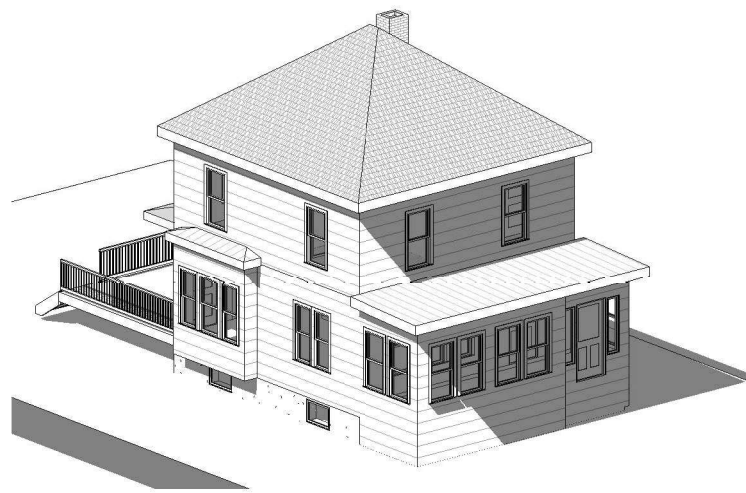
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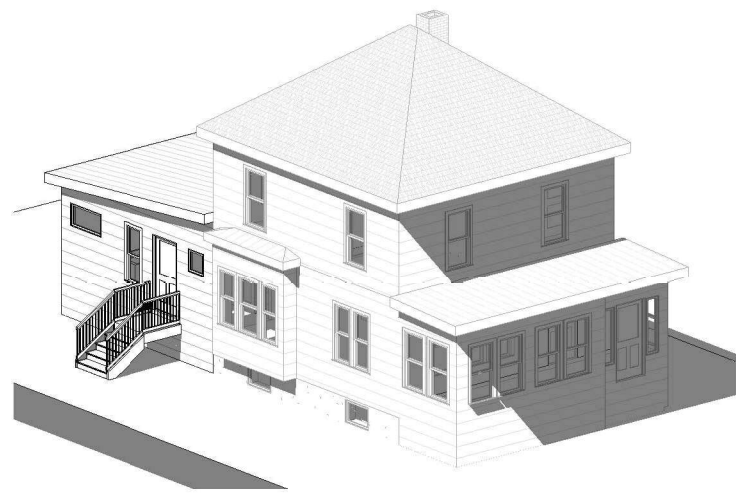
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REVISIONS		
No.	Description	Date

Site Plan		
Project number	1802	A1.0 Scale As indicated
Date	05-06-2024	
Drawn by	CS	
Checked by	VO	



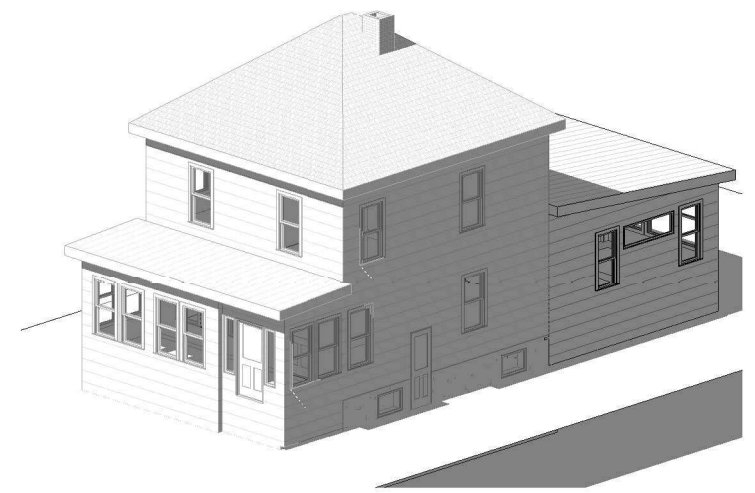
1 3D Existing Front Left



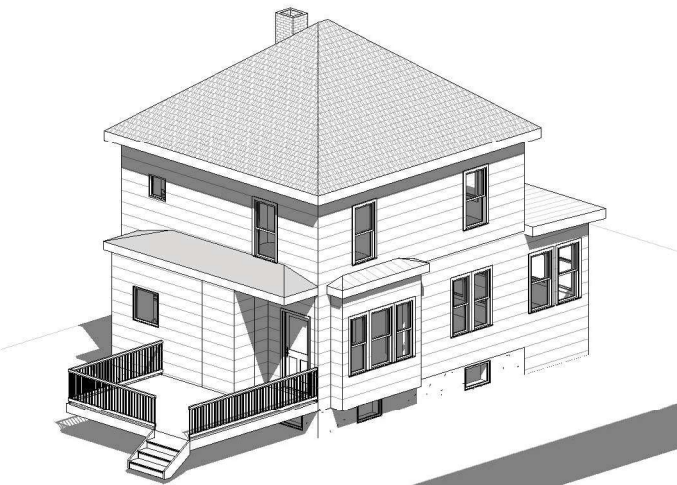
2 3D Proposed Front Left



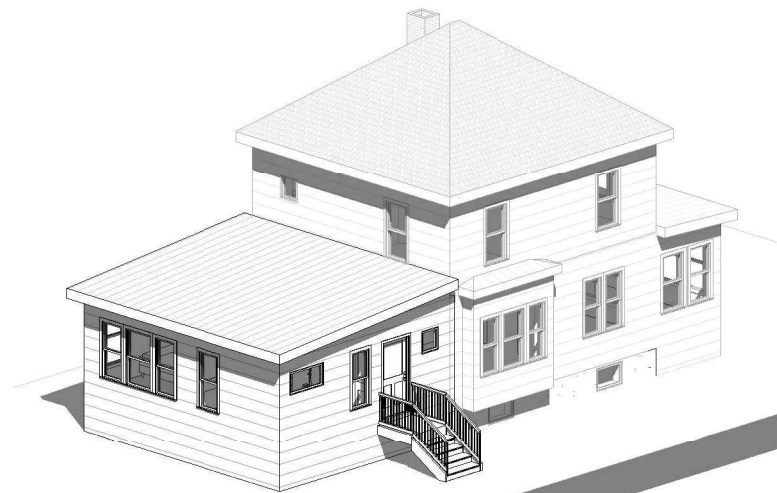
3 3D Existing Front Right



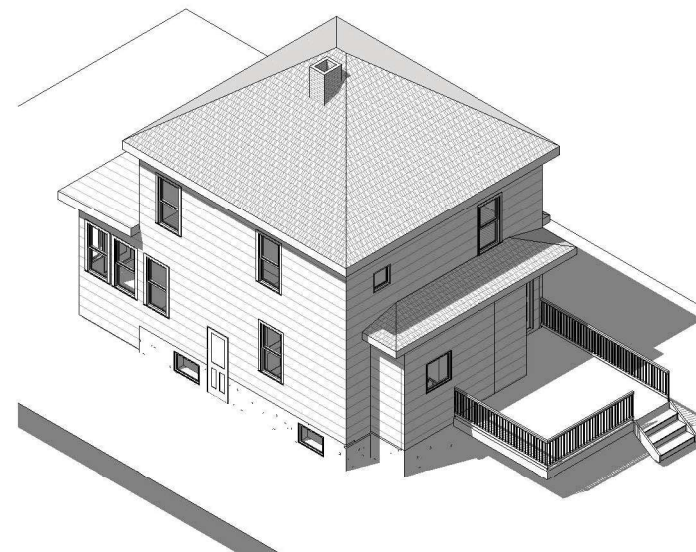
4 3D Proposed Front Right



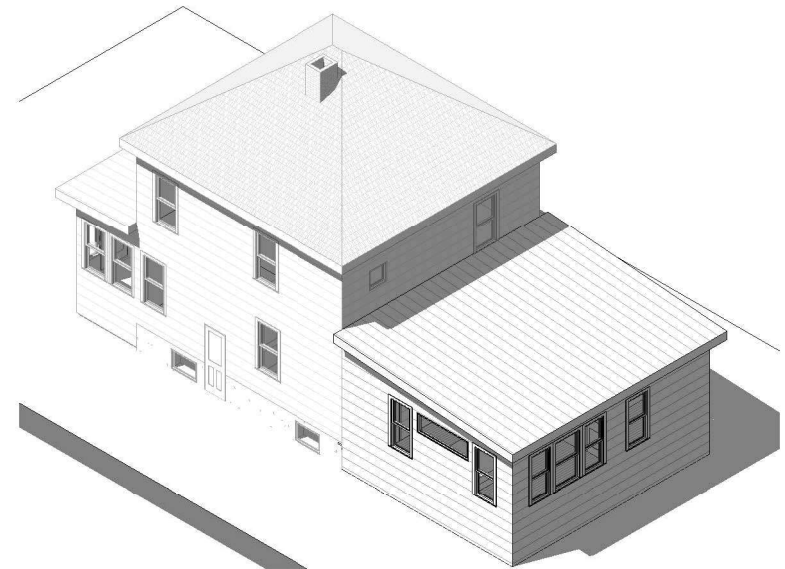
5 3D Existing Rear Left



6 3D Proposed Rear Left



7 3D Existing Rear Right



8 3D Proposed Rear Right

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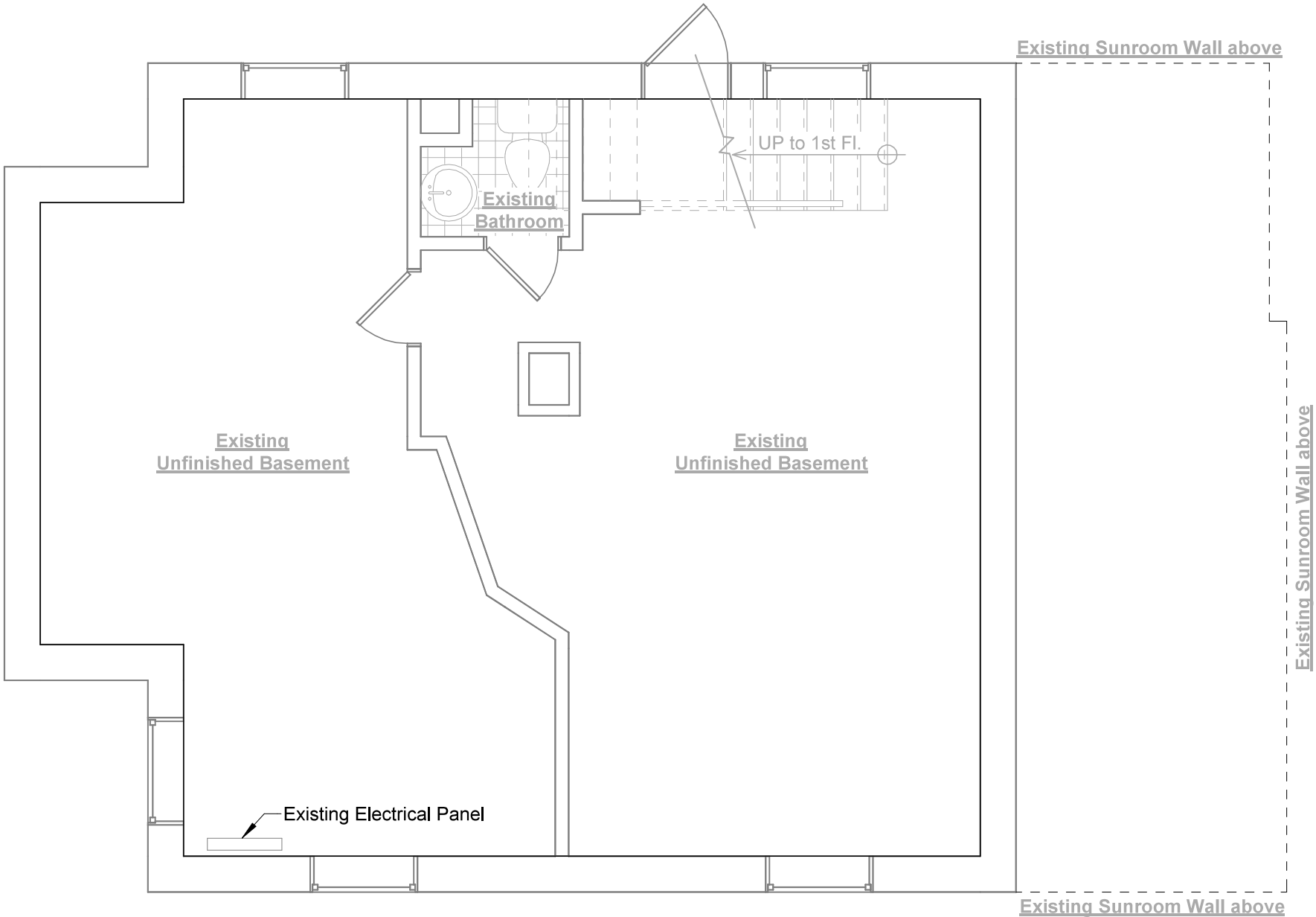
Perspective Views

Project number 1802
Date 05-06-2024
Drawn by CS
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A1.1

Scale

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1 Basement Plan - Existing/Demo
1/4" = 1'-0"



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No.	Description	Date

Basement Plan - Exstg/Demo

Project number 1802

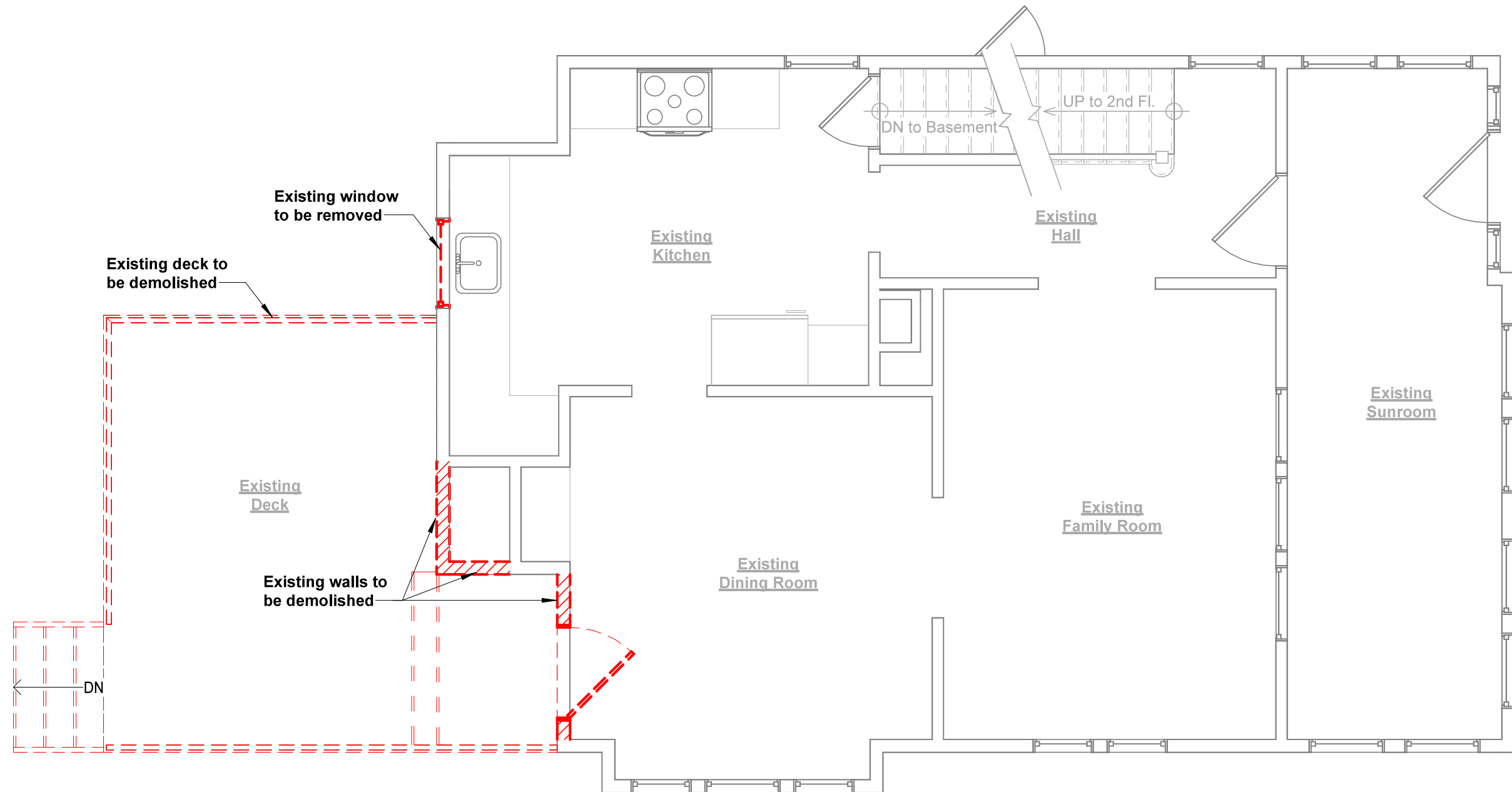
Date 05-06-2024

Drawn by CS

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A2.0

Scale 1/4" = 1'-0"



① Level 1 Plan - Existing/Demo
1/4" = 1'-0"



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Level 1 Plan - Exstg/Demo

Project number	1802	A2.2
Date	05-06-2024	
Drawn by	CS	
Checked by	VO	

Scale 1/4" = 1'-0"

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① Level 2 Plan - Existing/Demo
1/4" = 1'-0"



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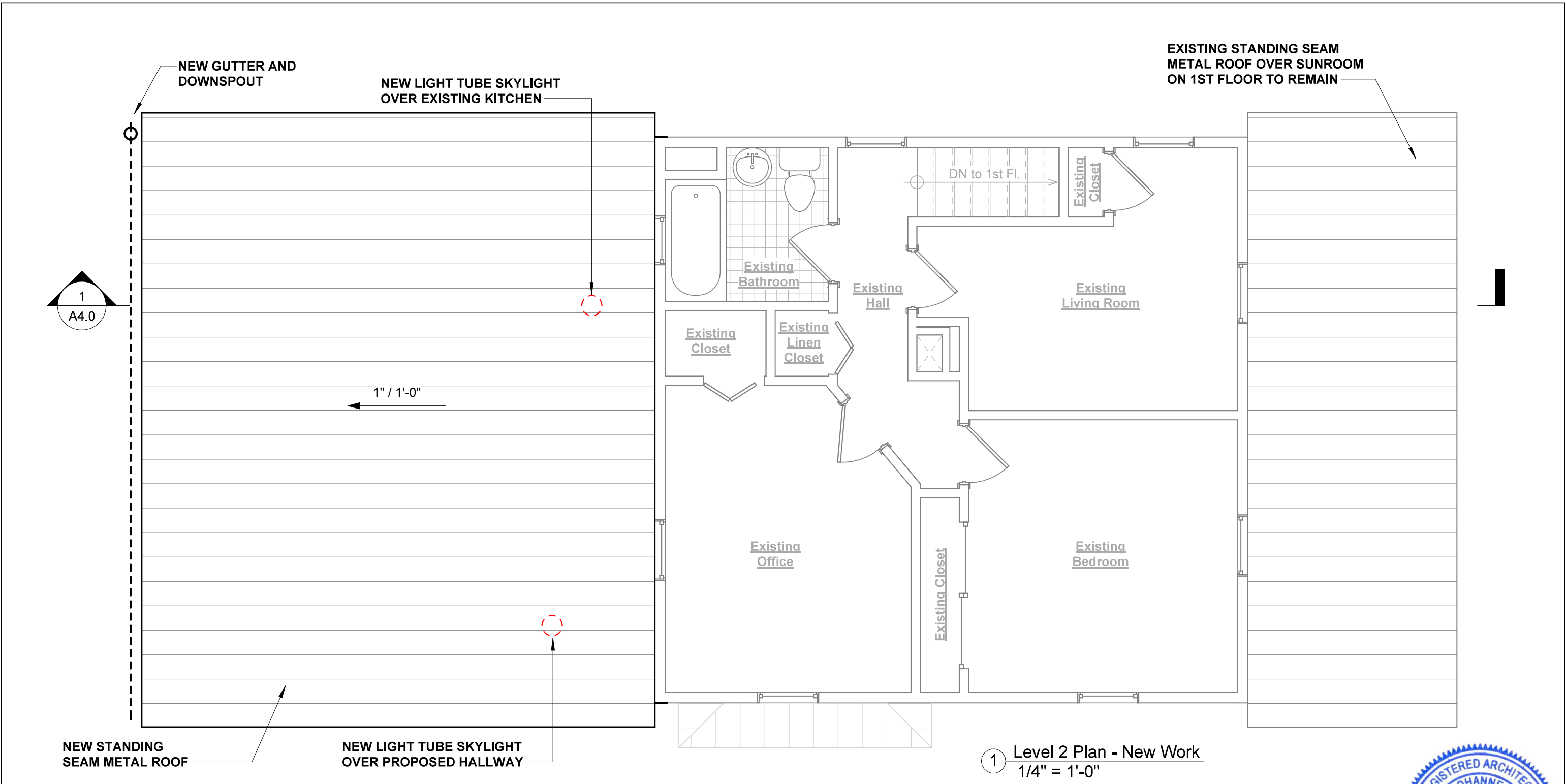
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No.	Description	Date

Level 2 Plan - Exstg/Demo		
Project number	1802	A2.4
Date	05-06-2024	
Drawn by	CS	
Checked by	VO	
Scale 1/4" = 1'-0"		

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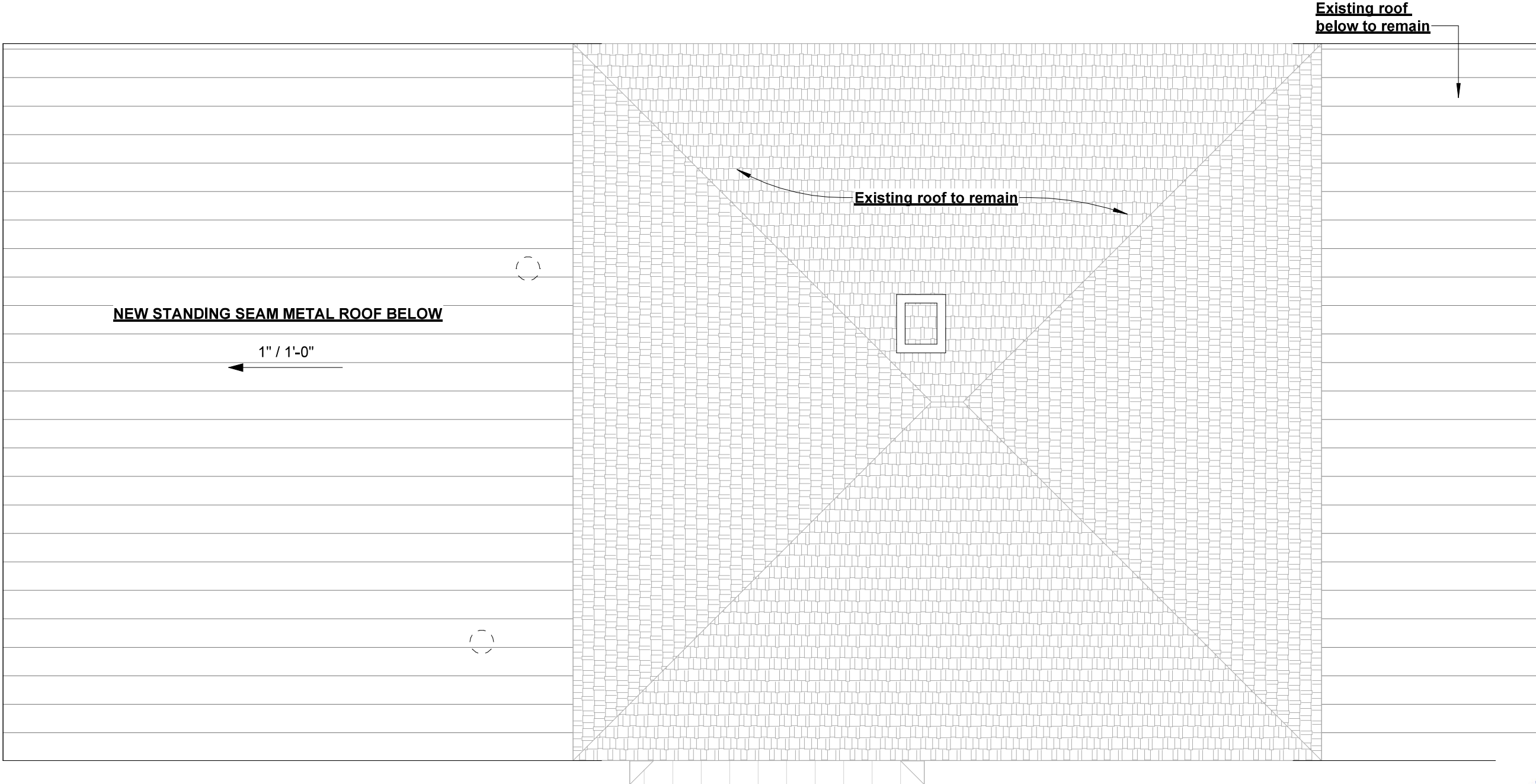


1 Level 2 Plan - New Work
1/4" = 1'-0"



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Project number	1802	A2.5																												
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Drawn by	CS																													
Checked by	VO																													
			Scale 1/4" = 1'-0"																											

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① Roof Plan - Complete
1/4" = 1'-0"



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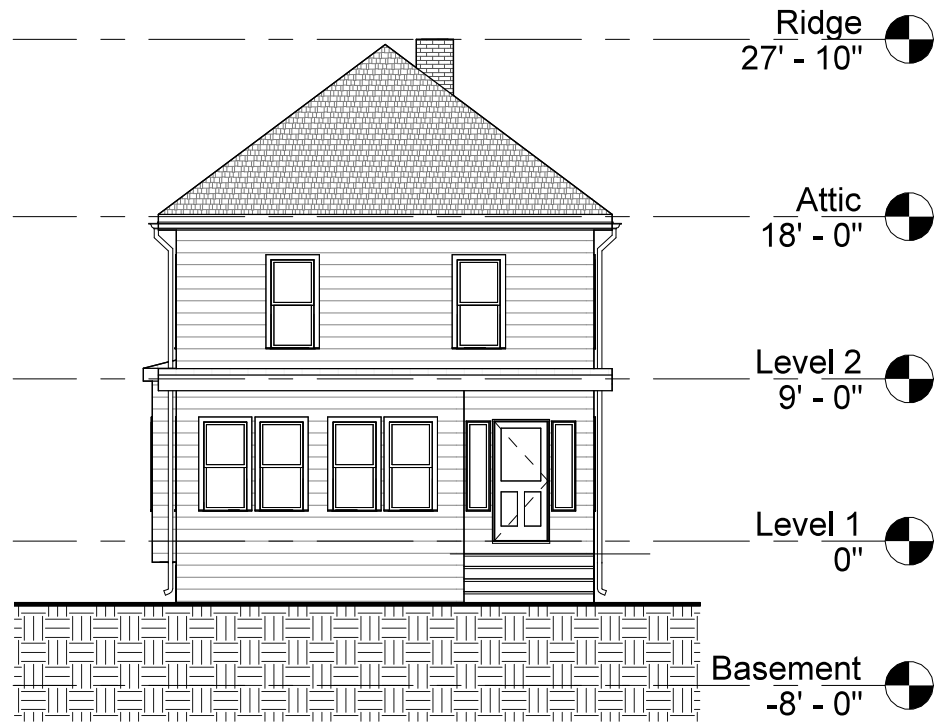
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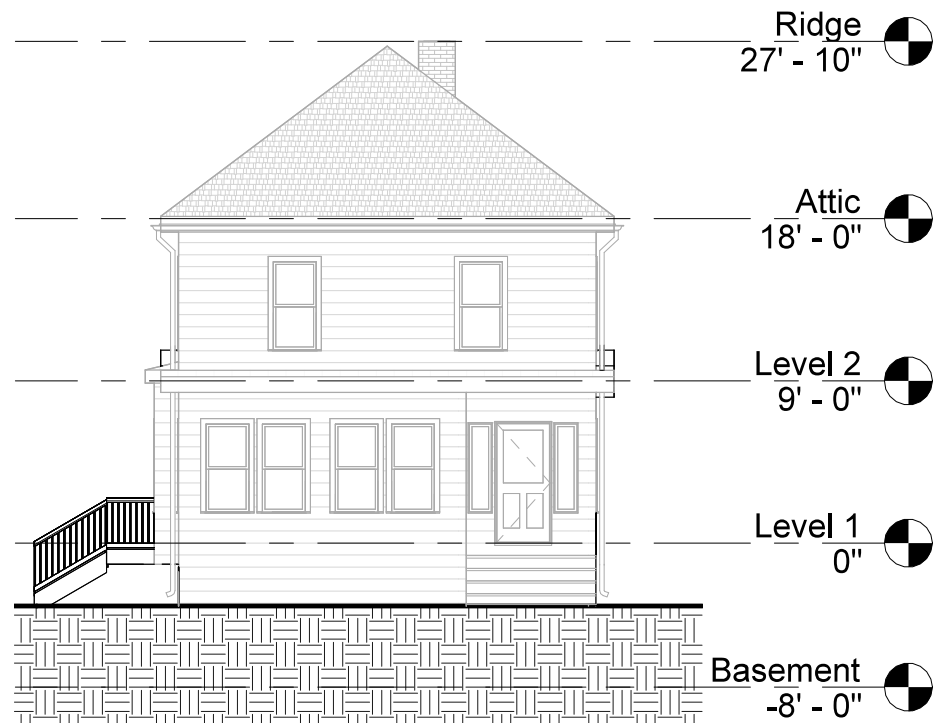
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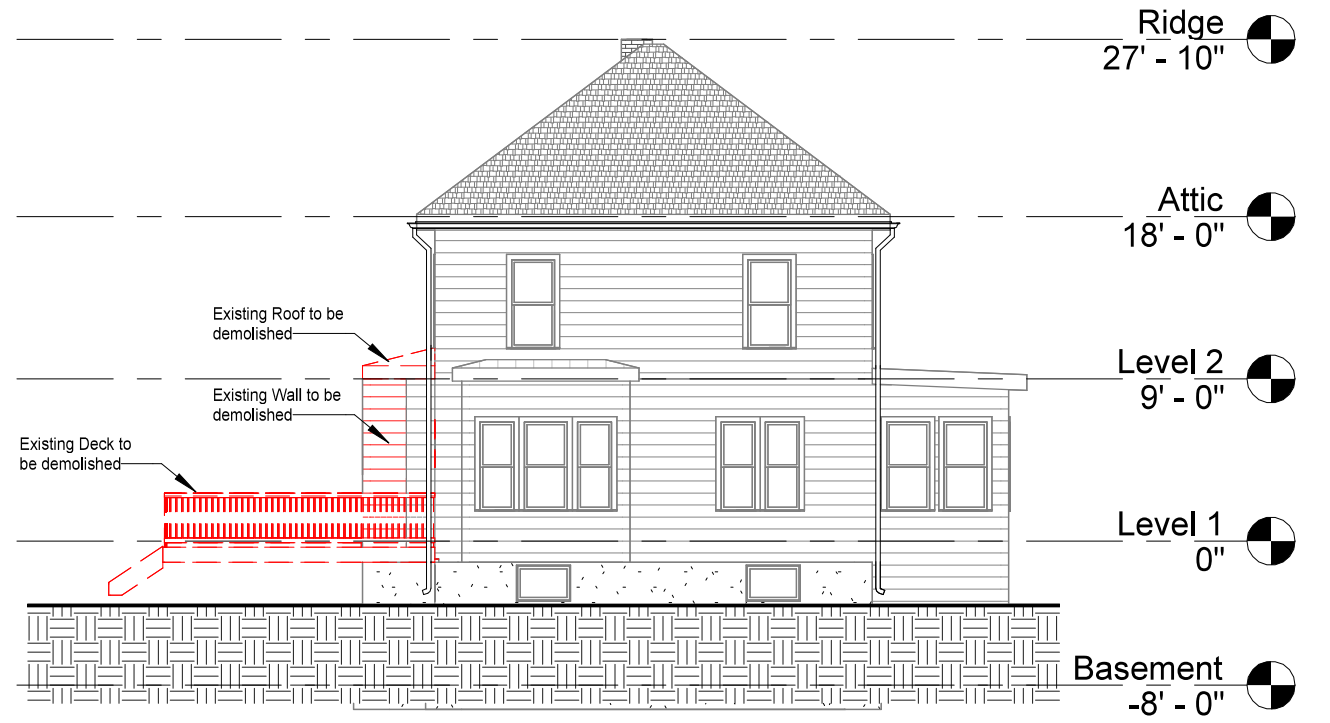
Roof Plan - Complete		
Project number	1802	A2.8
Date	05-06-2024	
Drawn by	CS	
Checked by	VO	Scale 1/4" = 1'-0"



1 Existing Elevation - Front
3/32" = 1'-0"



2 Proposed Elevation - Front
3/32" = 1'-0"



3 Existing Elevation - Left
3/32" = 1'-0"



4 Proposed Elevation - Left
3/32" = 1'-0"



REVISIONS		
No.	Description	Date

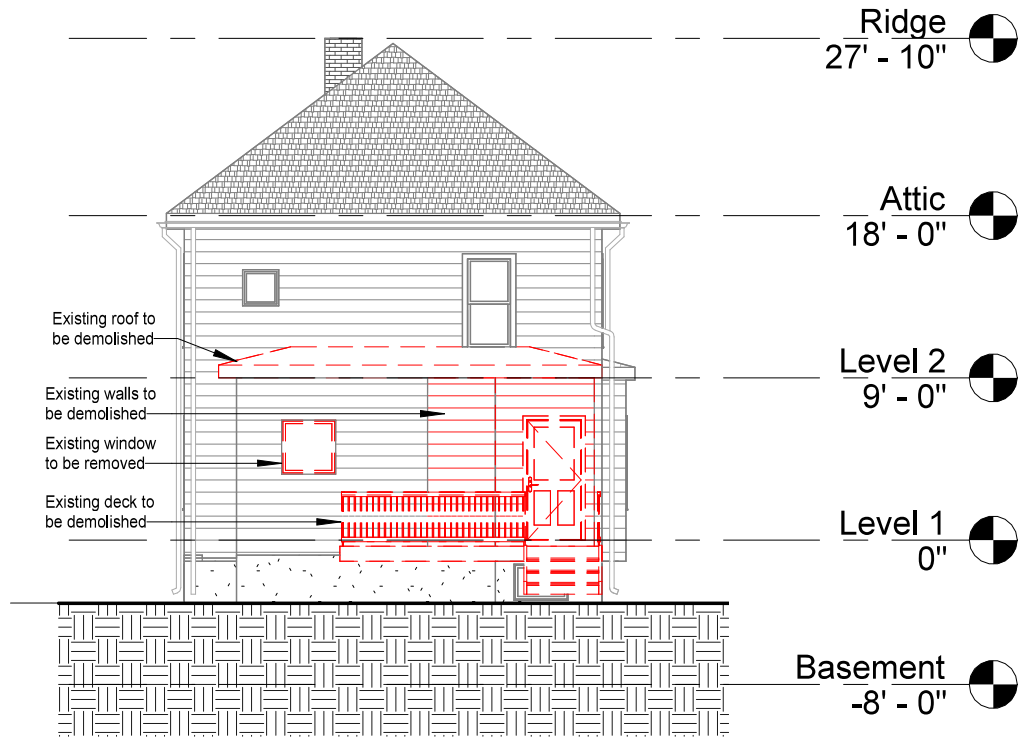
Elevations

Project number	1802
Date	05-06-2024
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Checked by	VO

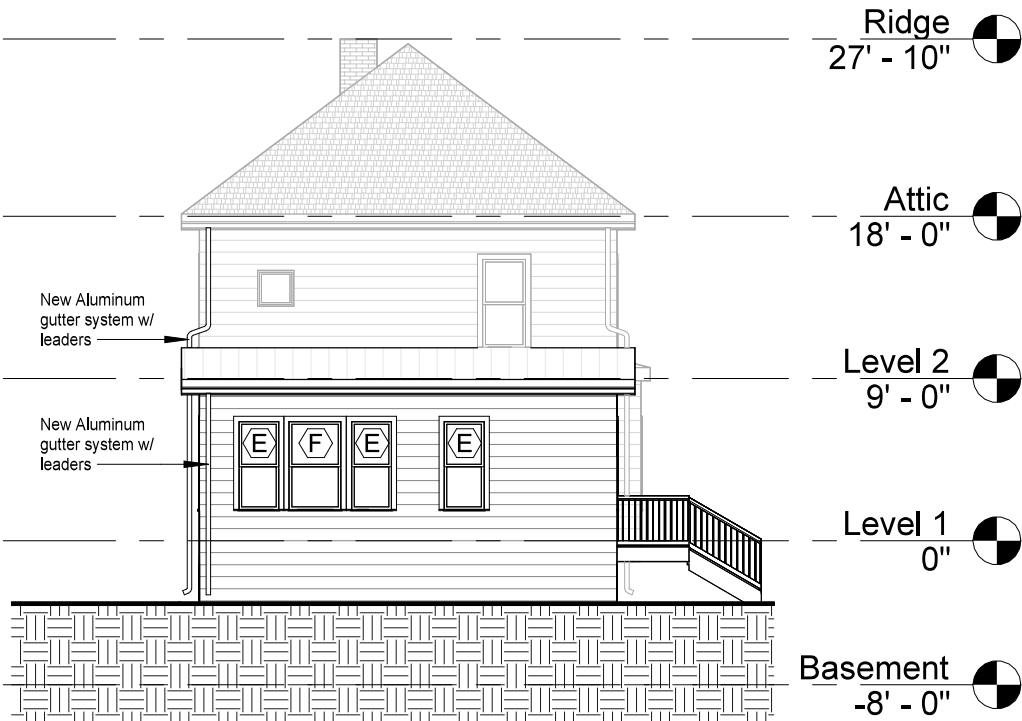
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Scale 3/32" = 1'-0"

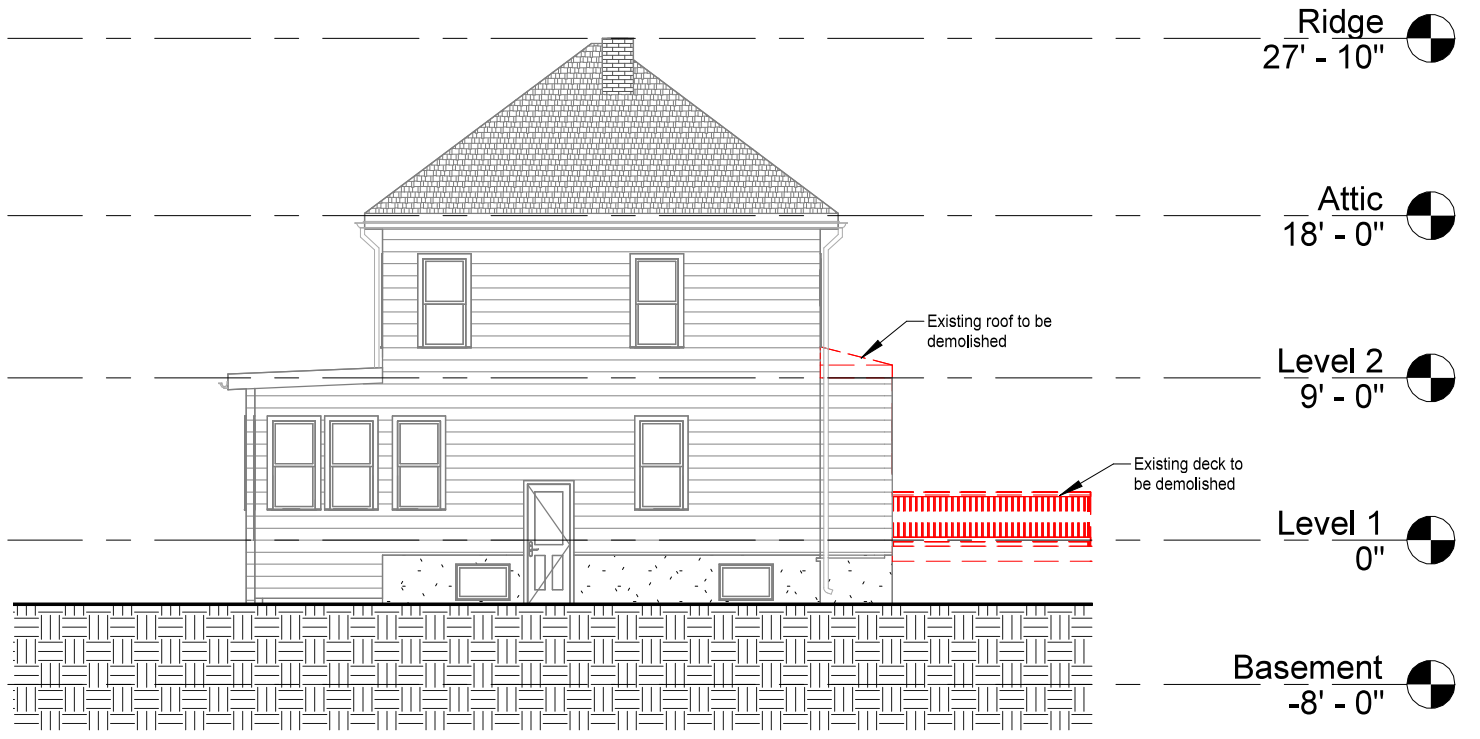
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① Existing Elevation - Rear
3/32" = 1'-0"



② Proposed Elevation - Rear
3/32" = 1'-0"



③ Existing Elevation - Right
3/32" = 1'-0"



④ Proposed Elevation - Right
3/32" = 1'-0"



REVISIONS		
No.	Description	Date

Elevations

Project number	1802
Date	05-06-2024
Drawn by	CS
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A3.1

Scale 3/32" = 1'-0"

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REVISIONS		
No.	Description	Date

1 Section 1

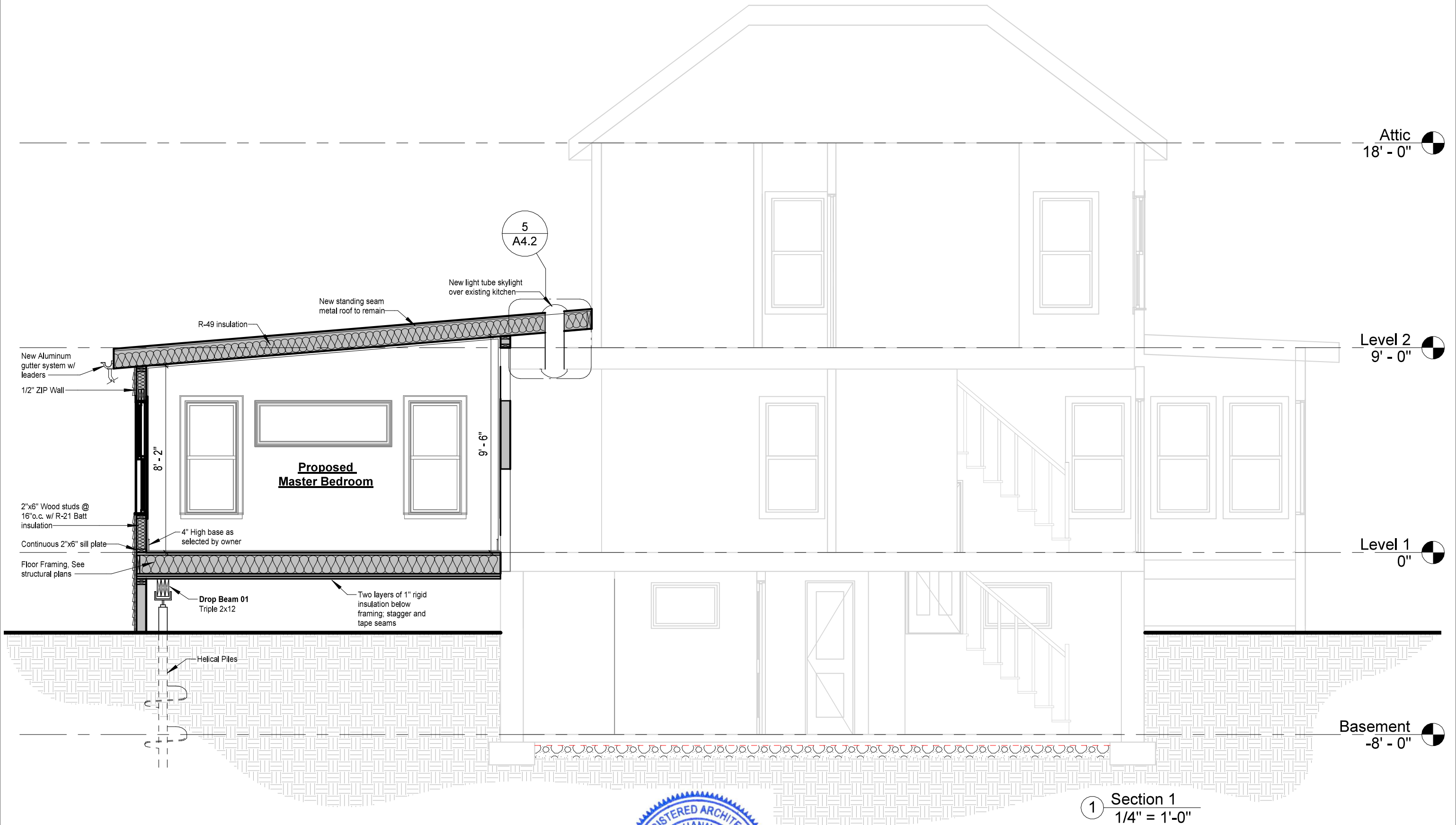
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Sections

Project number	1802
Date	05-06-2024
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A4.0

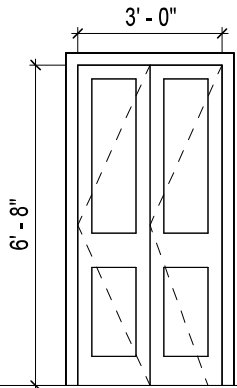
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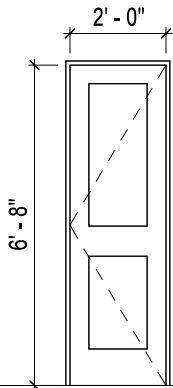
New Door Schedule					
Type Mark	Family	Width	Head Height	Count	Comments
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2	Door-Interior-Single-2 Panel-Wood	2' - 0"	6' - 8"	1	
3	Door-Interior-Single-2 Panel-Wood	3' - 0"	6' - 8"	1	
4	Door-Interior-Single-2 Panel-Wood	2' - 4"	6' - 8"	1	
5	Door-Interior-Single-Pocket-2 Panel-Wood	3' - 0"	6' - 8"	1	
6	Door-Exterior-single-entry-wood	3' - 0"	6' - 8"	1	
7	Sliding-2 panel	5' - 8"	6' - 8"	1	

Grand total: 7



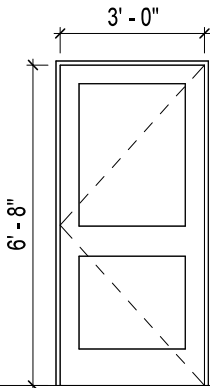
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BIFOLD
2-PANEL



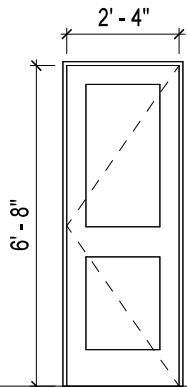
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INTERIOR
SINGLE
2-PANEL
WOOD



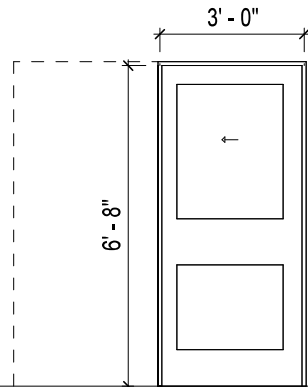
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INTERIOR
SINGLE
2-PANEL
WOOD



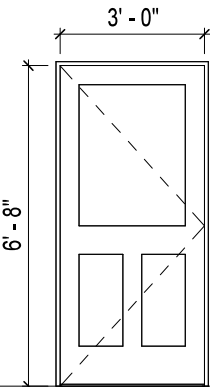
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INTERIOR
SINGLE
2-PANEL
WOOD



⑤

INTERIOR
SINGLE POCKET
2-PANEL
WOOD

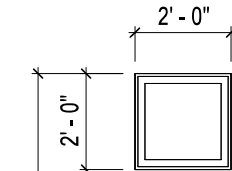


⑥

EXTERIOR
SINGLE ENTRY
WOOD DOOR

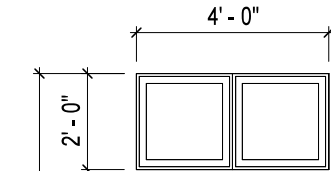
New Window Schedule						
Type Mark	Family and Type	Width	Head Height	Sill Height	Count	Comments
A	Fixed: 24" x 24"	2' - 0"	6' - 8"	4' - 8"	1	
B	Fixed: 48" x 24"	4' - 0"	6' - 8"	4' - 8"	1	
C	Fixed: 72" x 24"	6' - 0"	6' - 8"	4' - 8"	1	
D	Double Hung with Trim: 24" x 60"	2' - 0"	6' - 8"	1' - 8"	1	
E	Double Hung with Trim: 28" x 60"	2' - 4"	6' - 8"	1' - 8"	5	
F	Double Hung with Trim: 36" x 60"	3' - 0"	6' - 8"	1' - 8"	1	

Grand total: 10



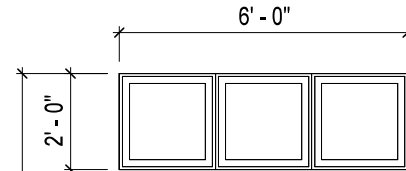
Ⓐ

FIXED
24"X24"



Ⓑ

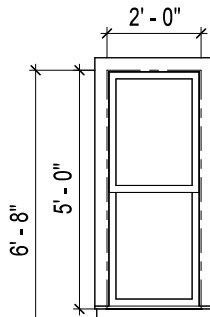
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48"X24"



Ⓒ

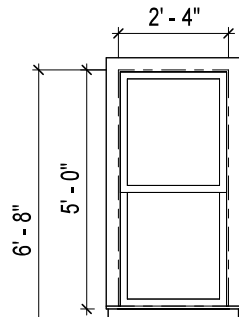
FIXED
72"X24"

FIXED
WINDOWS



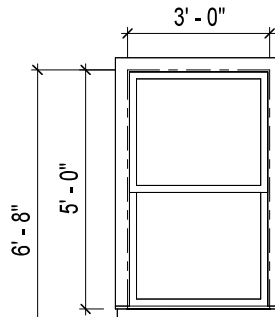
Ⓓ

DH
24"X60"



Ⓔ

DH
28"X60"



Ⓕ

DH
36"X60"

DOUBLE
HUNG

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(857)228-4222

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REVISIONS		
No.	Description	Date

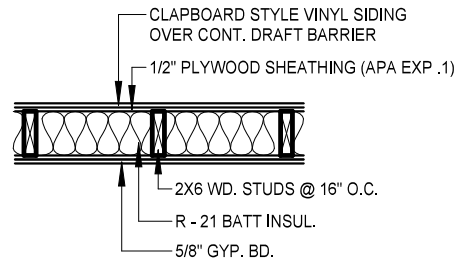
Schedules

Project number	1802
Date	05-06-2024
Drawn by	CS
Checked by	VO

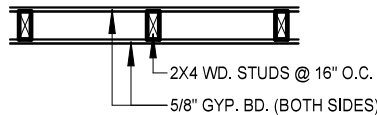
A4.1

Scale 1/4" = 1'-0"

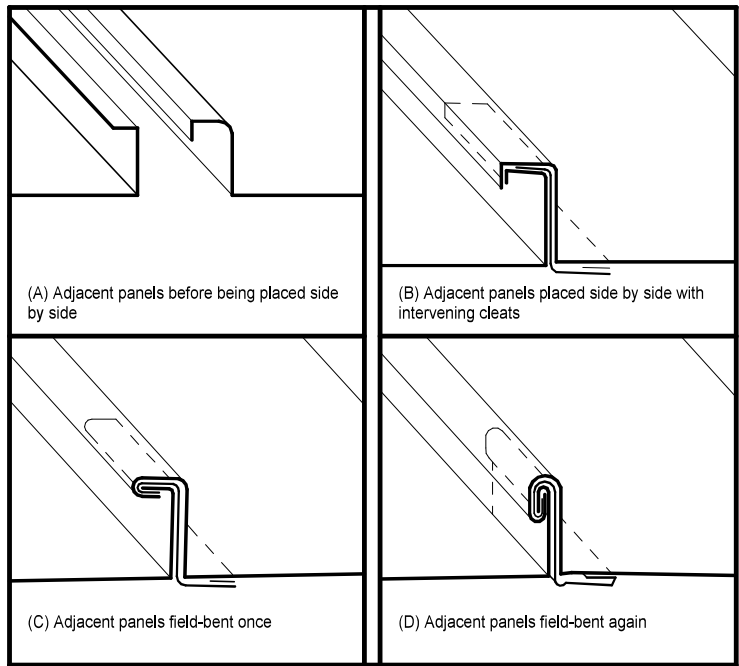
6/11/2024 11:44:30 AM



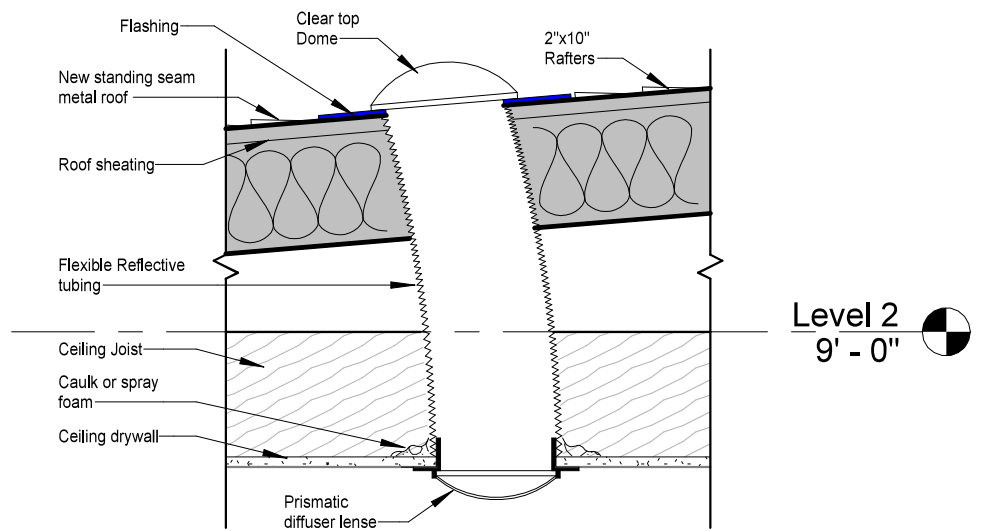
1 Typ. Exterior Wall
1/2" = 1'-0"



2 Typ. Interior Wall
1/2" = 1'-0"

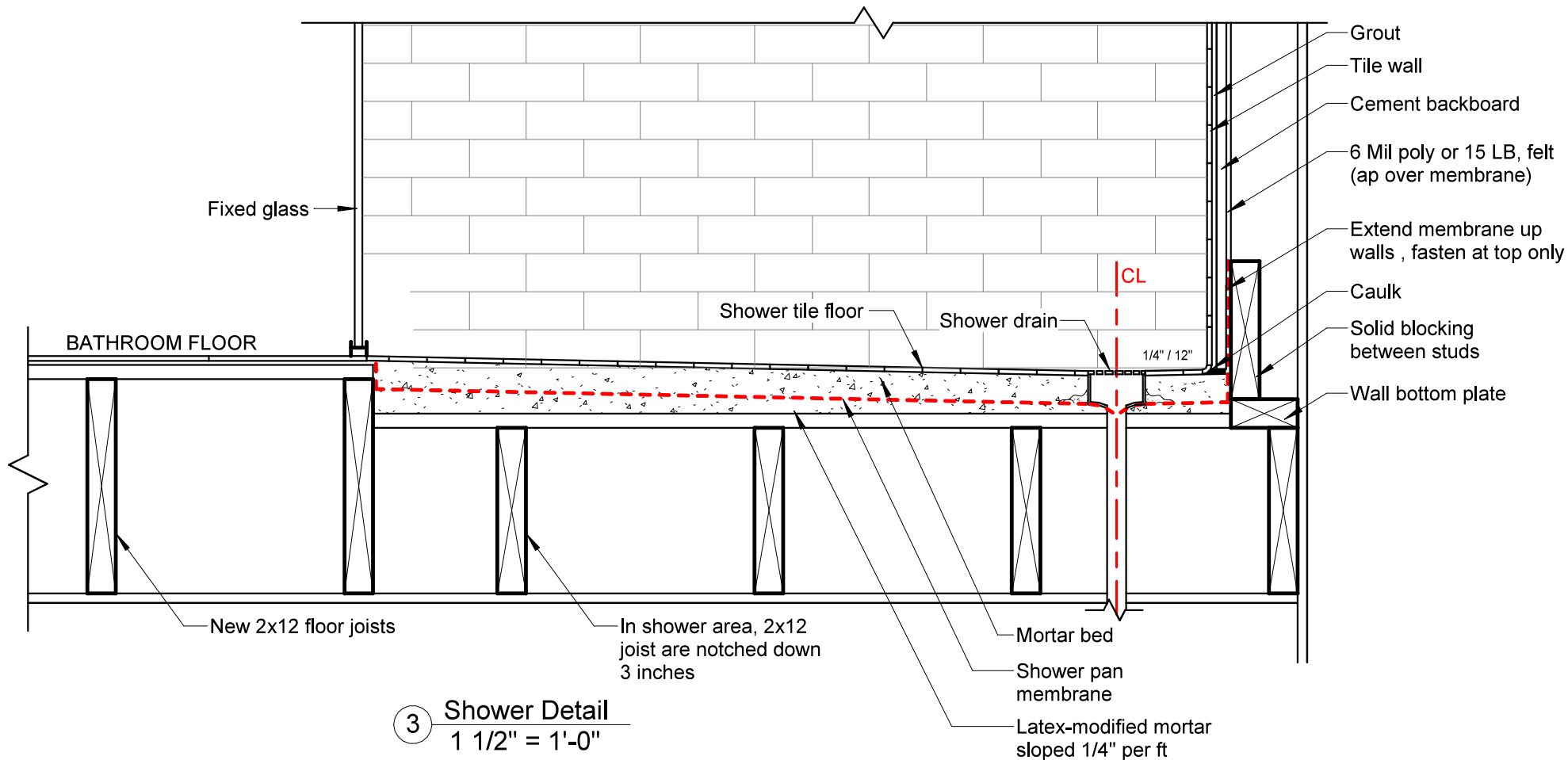


4 Standing seam roof detail
6" = 1'-0"



5 Light Tube Detail
3/4" = 1'-0"

Level 2
9' - 0"



3 Shower Detail
1 1/2" = 1'-0"



REVISIONS		
No.	Description	Date

Details

Project number	1802
Date	05-06-2024
Drawn by	CS
Checked by	VO

A4.2

Scale As indicated

6/11/2024 11:44:31 AM

FINISHES LEGEND

See Spec for product

FL-1

Luxury Vinyl Flooring

FL-2

Polished Concrete

FL-3

Oak Flooring

FL-4

Decking timbertech or Trex

FL-5

Plywood

EX-1

Existing Finishes to remain

TL-1

Bathroom Floor Tiles

TL-2

Shower Floor Tiles

TL-3

Shower Wall Tiles (1)

TL-4

Shower Wall Tiles (2)

TL-5

Prefabricated wall panels

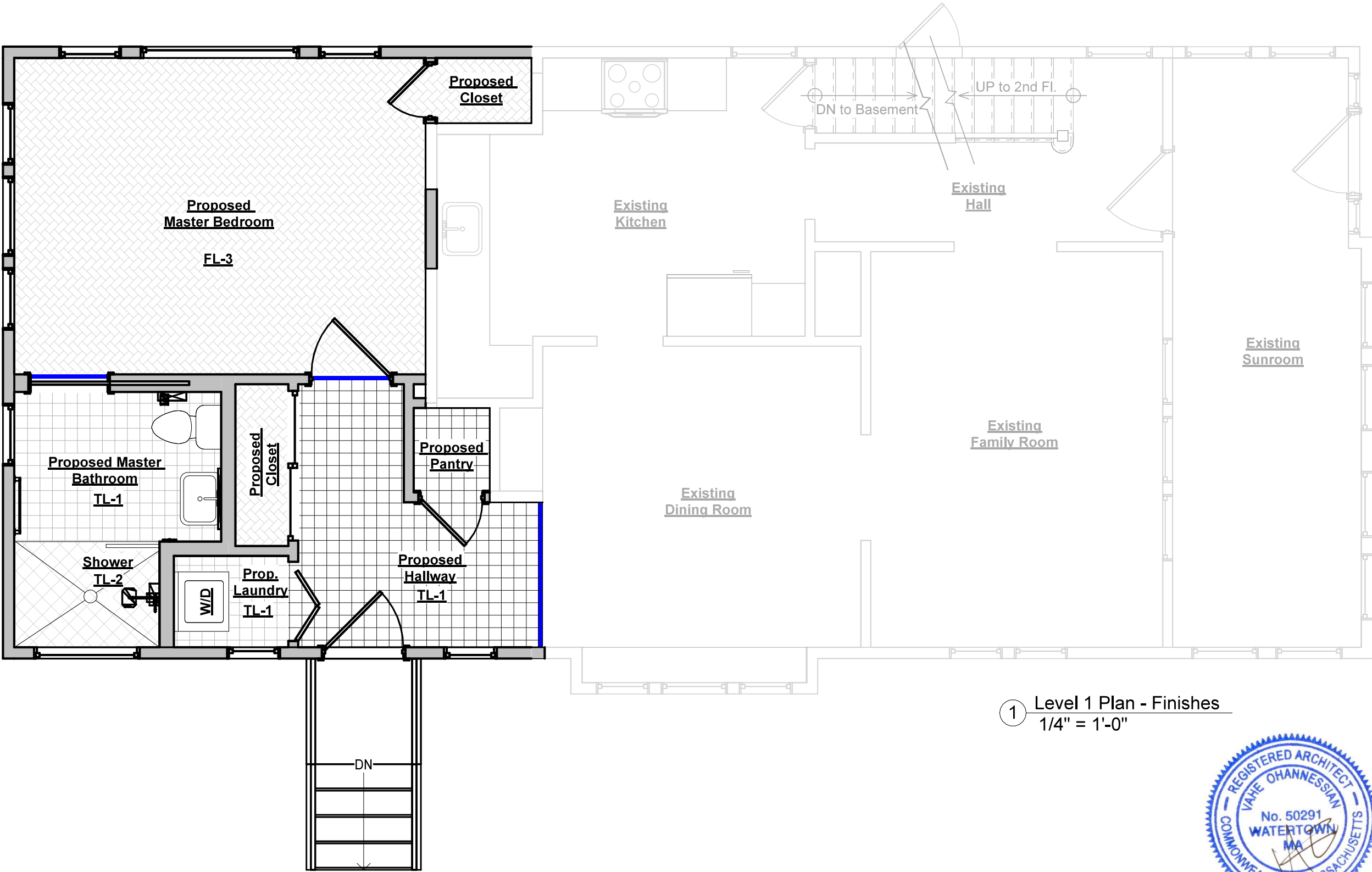
TL-6

Kitchen Backsplash

PT-1

Paint

Metal Transition between different finishes



1 Level 1 Plan - Finishes
1/4" = 1'-0"



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BAB

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REVISIONS		
No.	Description	Date

1st Floor Plan Finishes

Project number 1802

Date 05-06-2024

Drawn by CS

Checked by VO

A5.0

Scale 1/4" = 1'-0"

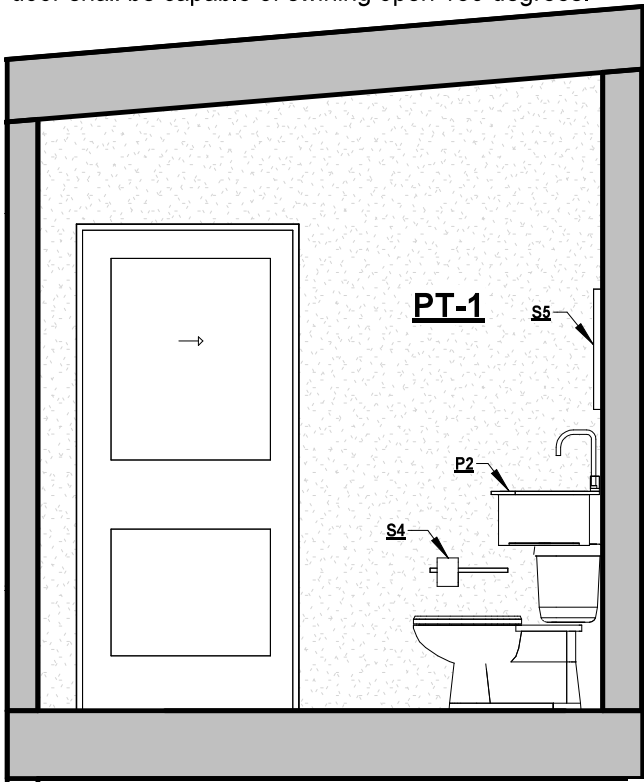
6/11/2024 11:44:31 AM

FINISHES LEGEND See Spec for product	
	FL-1 Luxury Vinyl Flooring
	FL-2 Polished Concrete
	FL-3 Oak Flooring
	FL-4 Decking timbertech or Trex
	FL-5 Plywood
	EX-1 Existing Finishes to remain
	TL-1 Bathroom Floor Tiles
	TL-2 Shower Floor Tiles
	TL-3 Shower Wall Tiles (1)
	TL-4 Shower Wall Tiles (2)
	TL-5 Prefabricated wall panels
	TL-6 Kitchen Backsplash
	PT-1 Paint
	Metal Transition between different finishes

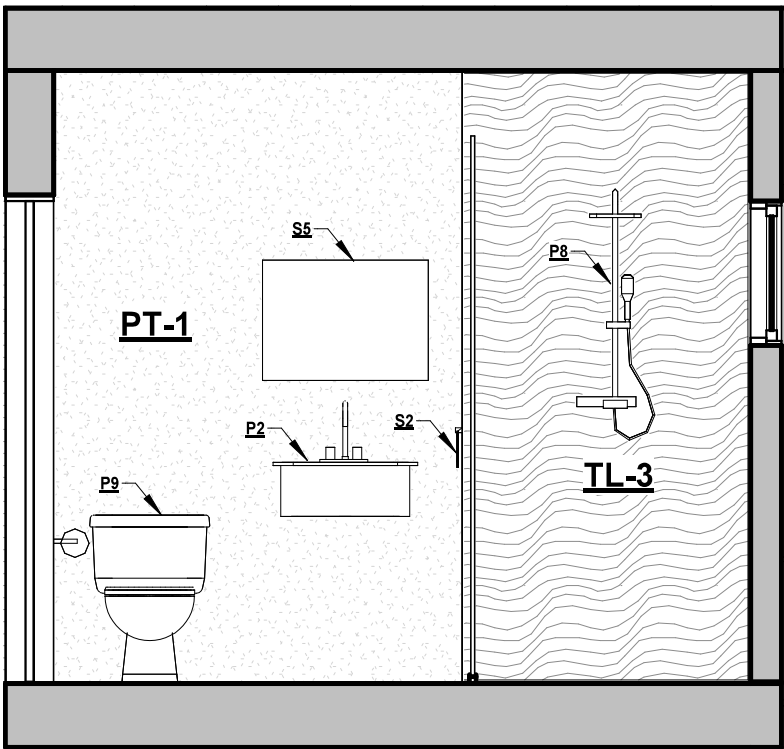
SPECIAL EQUIPMENT SCHEDULE	
S1	Towel Bar
S2	Towel Ring
S3	Robe Hook
S4	Toilet Tissue Holder
S5	Bathroom Mirror
S6	Bathroom Mirror w/ Light
S7	Recessed Medicine Cabinet
S8	Glass Shower Door
S9	Cabinets Hardware
S10	Appliances
S11	Bathtub Rod

PLUMBING FIXTURE SCHEDULE	
P1	Cabinets
P2	Vanity
P3	Bathroom Sink
P4	Bathroom Faucets
P5	Bathtub
P6	Shower Base
P7	Tub filler
P8	Shower Trim Kit
P9	Floor Mounted Toilet
P10	Wall Mounted Toilet
P11	Drain

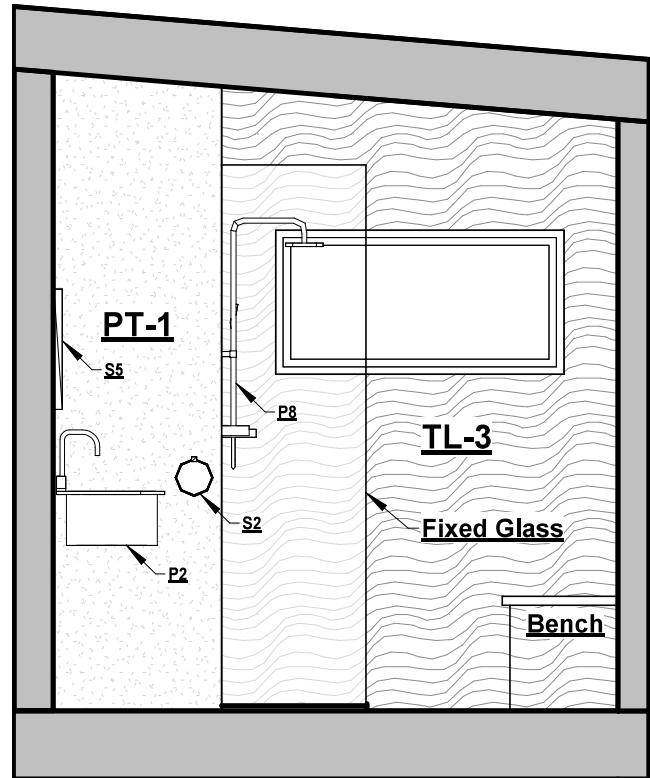
- GENERAL NOTES**
1. Refer to Finishes sheets for all interior finishes and fixtures.
 2. Provide blocking in wall above toilet and within shower stall for potential future grab bar locations.
 3. Shower Curbs shall be maximum 4" high.
 4. Shower door shall be capable of swining open 180 degrees.



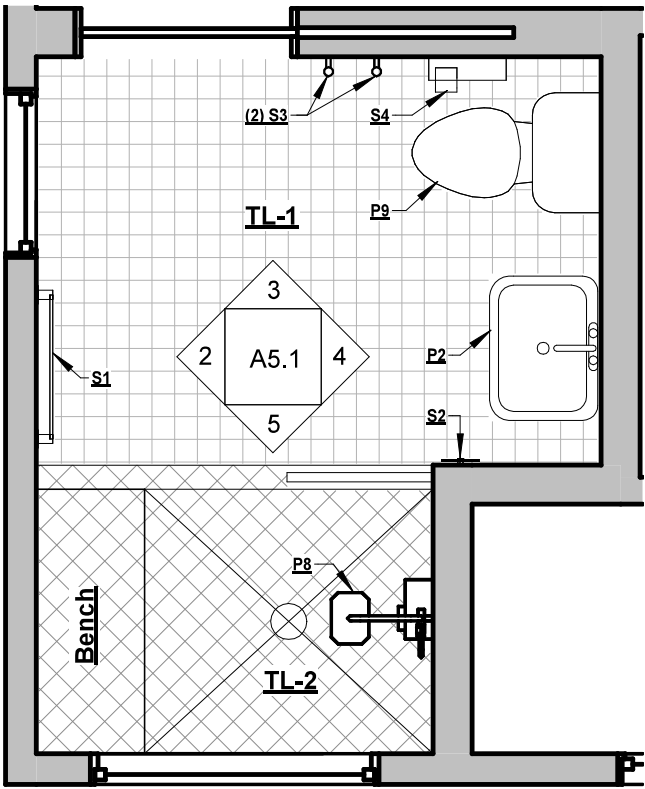
3 Elevation 1 - b
3/8" = 1'-0"



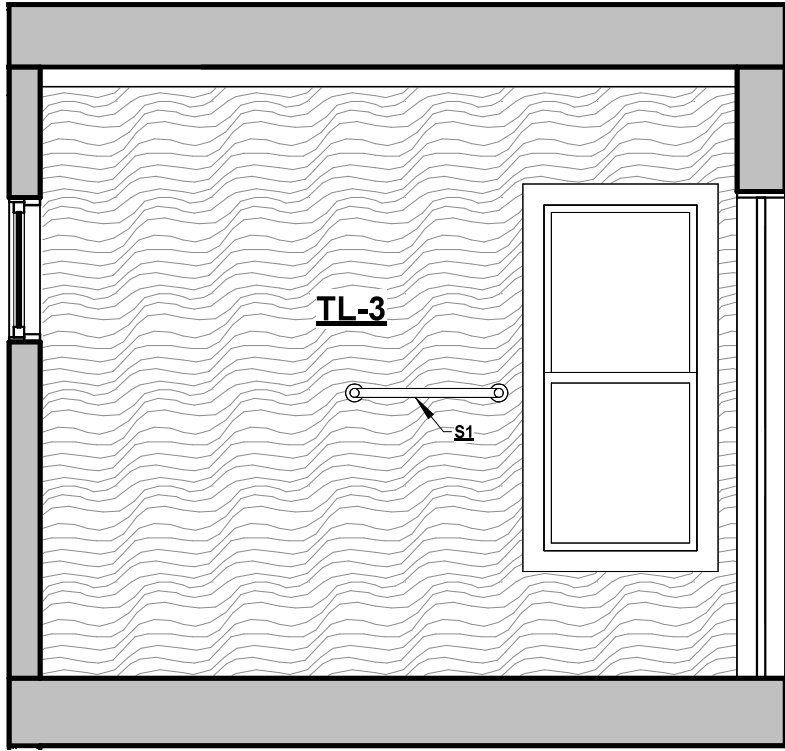
4 Elevation 1 - c
3/8" = 1'-0"



5 Elevation 1 - d
3/8" = 1'-0"



1 Level 1 Plan - Enlarged Bathroom
3/8" = 1'-0"



2 Elevation 1 - a
3/8" = 1'-0"

REVISIONS		
No.	Description	Date

Master Bathroom - Finishes

Project number	1802
Date	05-06-2024
Drawn by	CS
Checked by	VO

A5.1

Scale As indicated

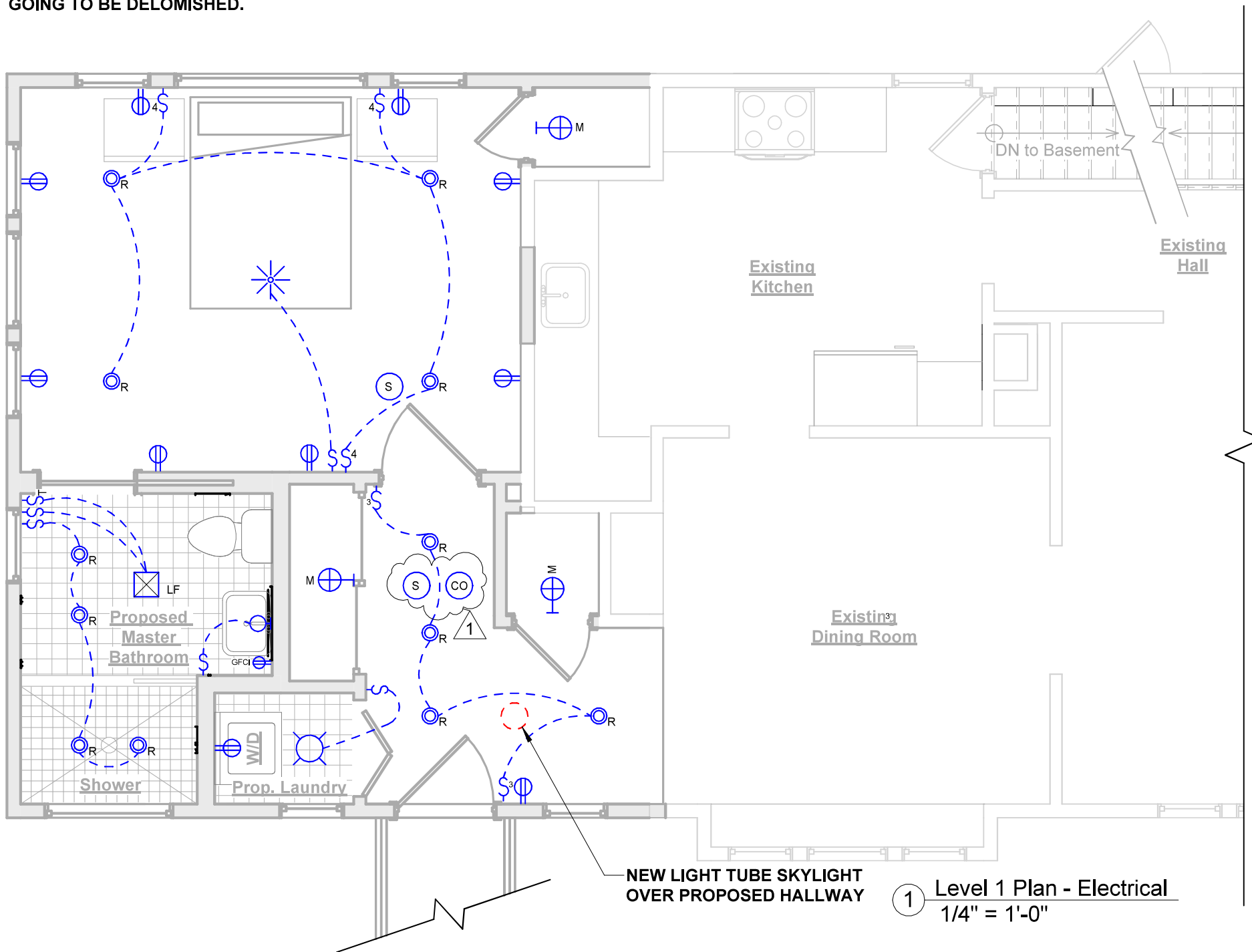
ELECTRICAL NOTES

- 1- All receptacles shown are for architectural purposes only. Electrical contractor is responsible to provide all receptacles required by code.
- 2- Refer to manufacturers product information for installation & device requirements before installation.
- 3- Equipment and accessories not specifically described or identified by manufacturer's catalog numbers shall be designed in conformity with NEC, IEEE, UL or other applicable technical standards, and shall have neat and finished appearance.
- 4- The electrical contractor shall follow all applicable NEC, State, Local and federal codes relating to the work. All work shall conform with the 2020 MASS Electrical Code.
- 5- Electrical contractor shall obtain, pay for and secure all licenses, certificates and permits for associated work.
- 6- Install all electrical equipment and materials for complete and operable systems.
- 7- Seal all conduit penetrations through walls and floors for fireproofing and weatherproofing.
- 8- All material shall be new and bear the U.L. Label and shall be installed in the manner for which they were designed and approved.
- 9- Electrical contractor shall provide submittals for all electrical equipment devices, lighting and speciality systems.
- 10- Ground all equipment per national electric code.
- 11- Electrical contractor shall coordinate exact equipment locations and power requirements with owner and architect prior to rough-ins.
- 12- All outlets are 12" above subfloor & all lighting switches are 32" above subfloor.
- 14- All kitchen backsplash outlets and switches are 3'-9 3/4" above subfloor.
- 15- All recessed housing boxes shall be I.C. rated for new construction.
- 16- All exterior lighting boxes shall be air sealed.
- 17- Refer to interior elevations for baths and kitchens. All wall sconces are graphic and for location purposes only.
- 18- All electrical boxes on party walls shall be extendable boxes to admit (2) Layers 5/8" gypsum board.
- 19- The work shall not be considered complete until the punch list is completed to the satisfaction of the engineer and all final inspections have been completed.

ELECTRICAL LEGEND

- [illegible]

ELECTRICAL NOTES:
- EXISTING ELECTRICAL PANEL TO BE UPGRADED FROM 100 AMP TO 200 AMP.
- POWER CONDUIT TO GARAGE SOLAR PANELS RUNS ALONG THE EXISTING DECK THAT IS GOING TO BE DELOMISHED.



① Level 1 Plan - Electrical
1/4" = 1'-0"



REVISIONS		
No.	Description	Date
1	S/CO added on E1.0	05-06-2024

Electrical Plans		
Project number	1802	E1.0
Date	05-06-2024	
Drawn by	CS	
Checked by	VO	Scale As indicated

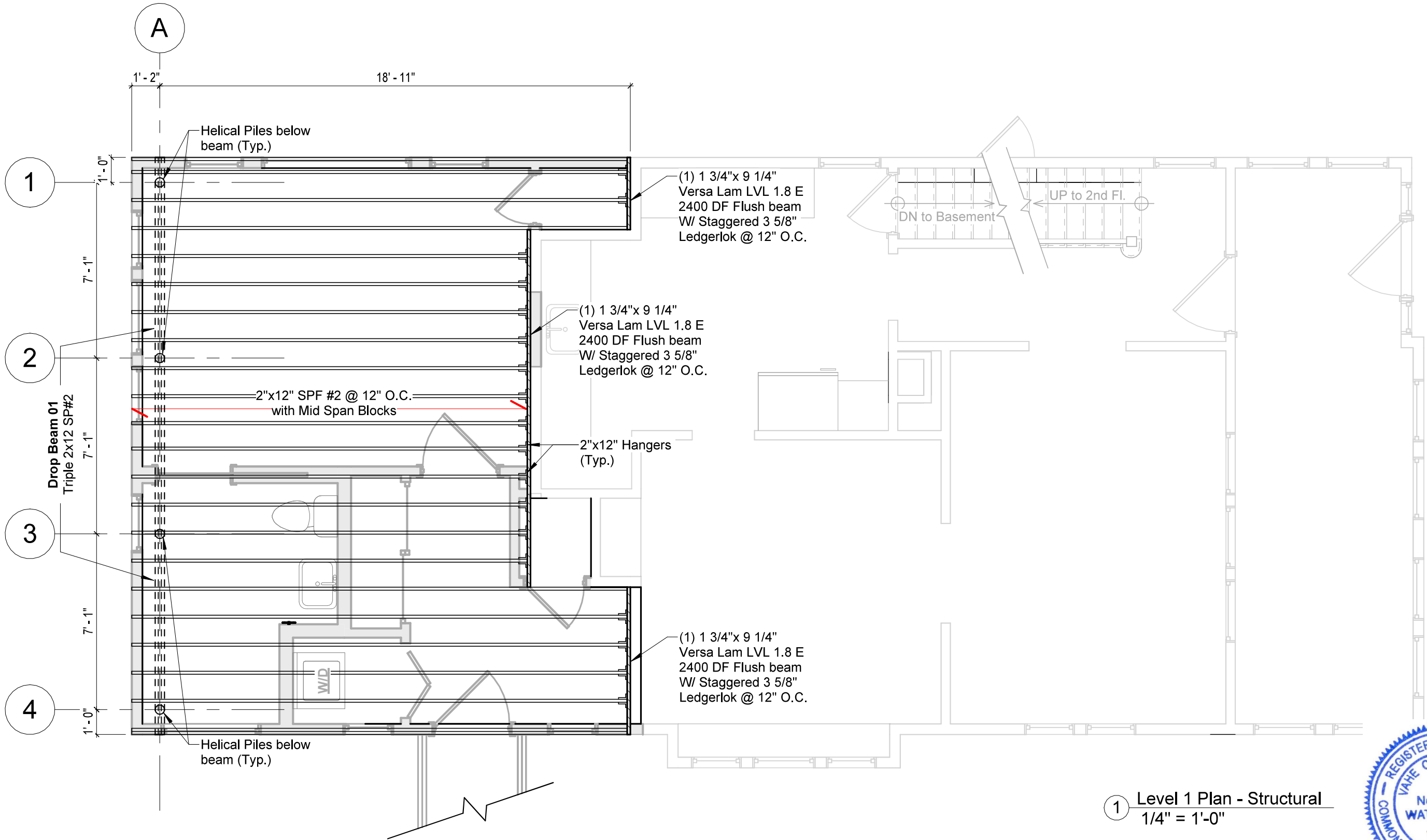
E1.0

Scale As indicated

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1 Level 1 Plan - Structural
1/4" = 1'-0"



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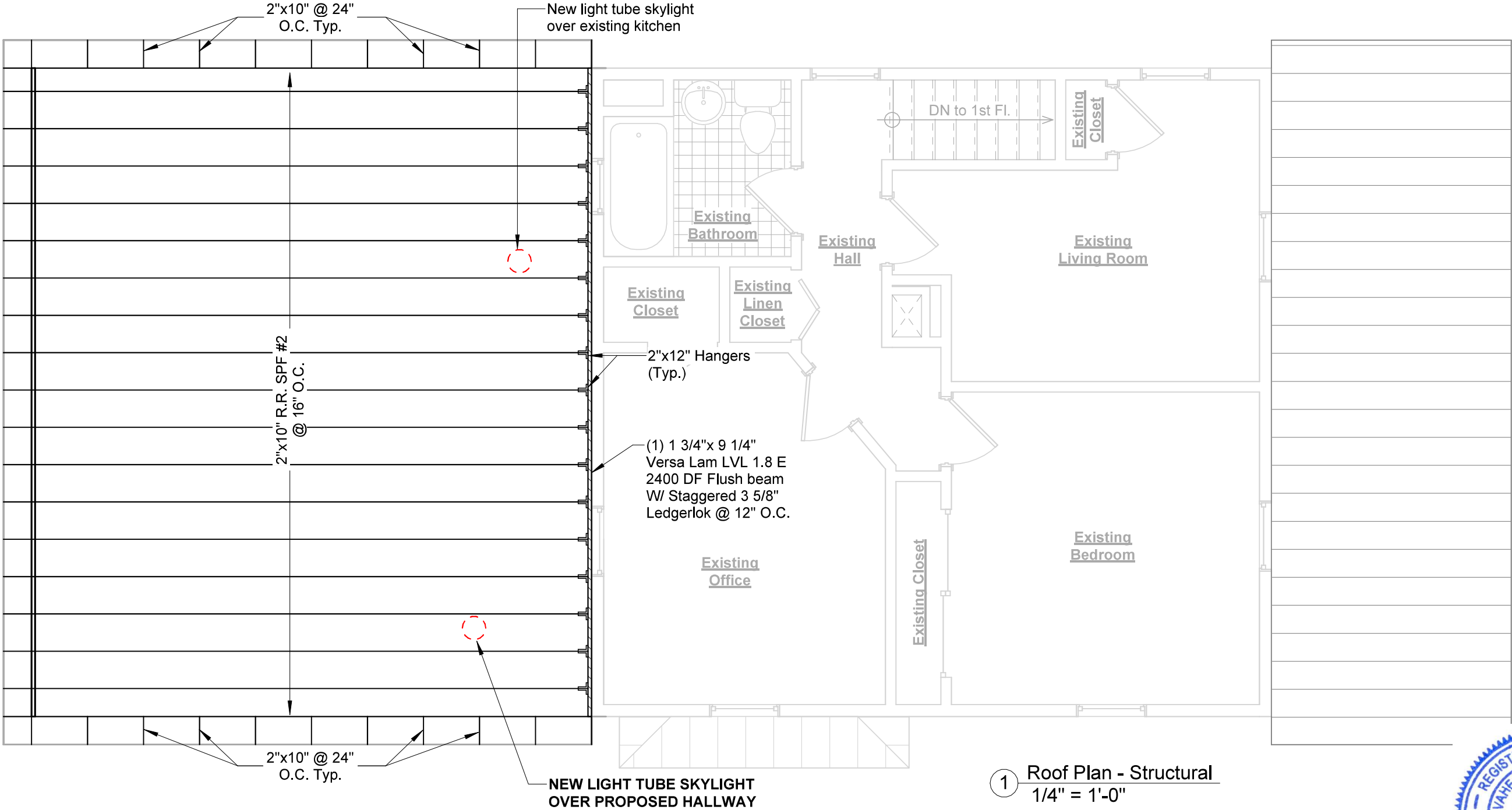
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REVISIONS		
No.	Description	Date

1st Floor Framing		
Project number	1802	S1.1
Date	05-06-2024	
Drawn by	CS	
Checked by	VO	
Scale 1/4" = 1'-0"		

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1 Roof Plan - Structural
1/4" = 1'-0"



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REVISIONS		
No.	Description	Date

Roof Framing		
Project number	1802	S1.2
Date	05-06-2024	
Drawn by	CS	
Checked by	VO	
Scale		1/4" = 1'-0"