

1513 MASS AVE

Arlington, MA, 02476

ARB EDR APPLICATION

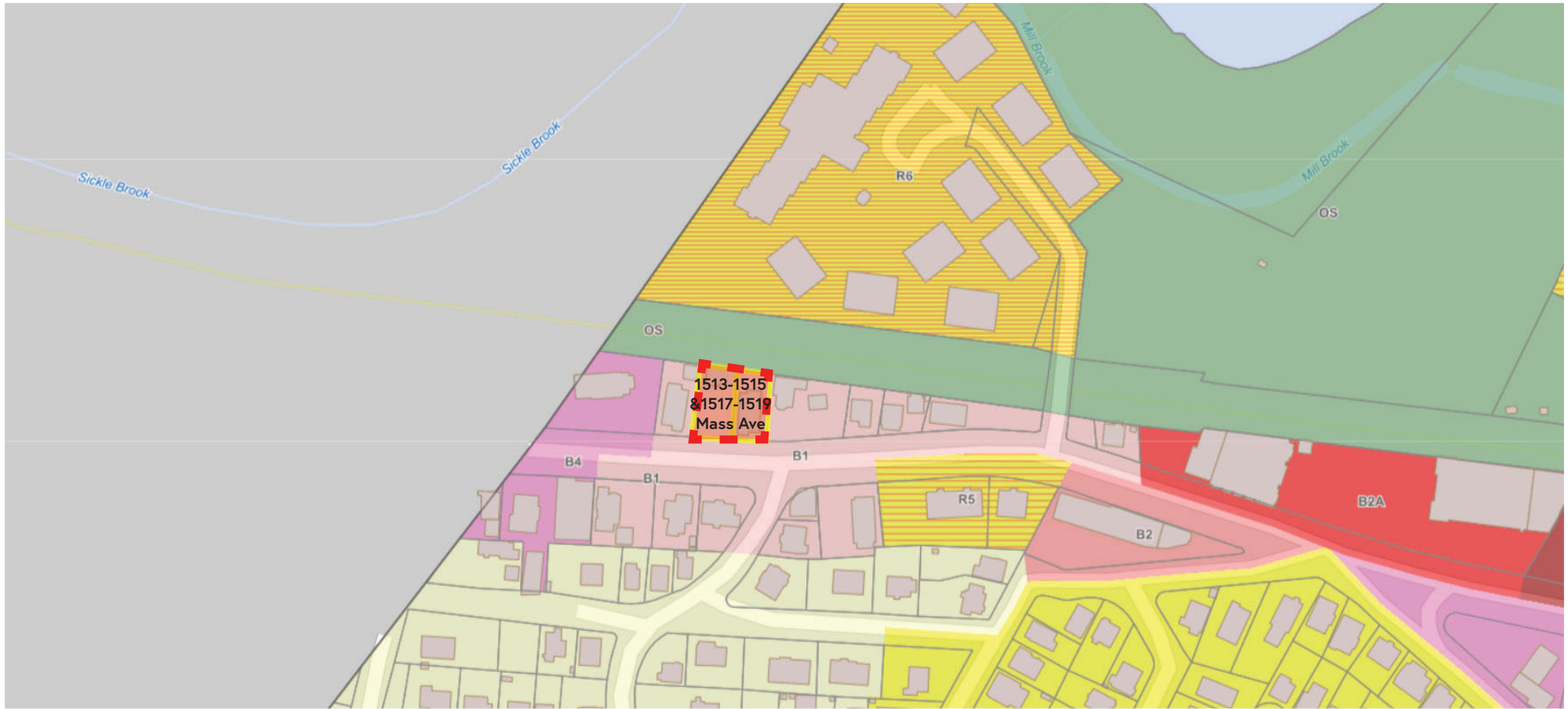
Summary

3 stories
9 residential units
(7 x 2 Bed Units, 2 x 3 Bed Units)
10 Private decks
1 Commercial unit
9 Arlington parking spaces
16 Bike spaces
1.57 FAR





NEIGHBORHOOD CONTEXT AND TRANSPORTATION MAP



B1 Mixed Use

Lot Area Minimum:	5,000 sq. ft.
Minimum Lot Frontage:	50'
Max building Height (Stories/Feet):	3 stories / 35'
Max Floor Area Ratio:	0.75
Landscaped Open Space:	20%
Minimum Front Yard Setback:	20'
Minimum Side Yard Setback:	10'
Minimum Rear Yard Setback:	10'

* 0 feet when abutting an alley or rear right-of-way of at least 10 feet of width
 * 10 feet when abutting a non-residential district

Proposed

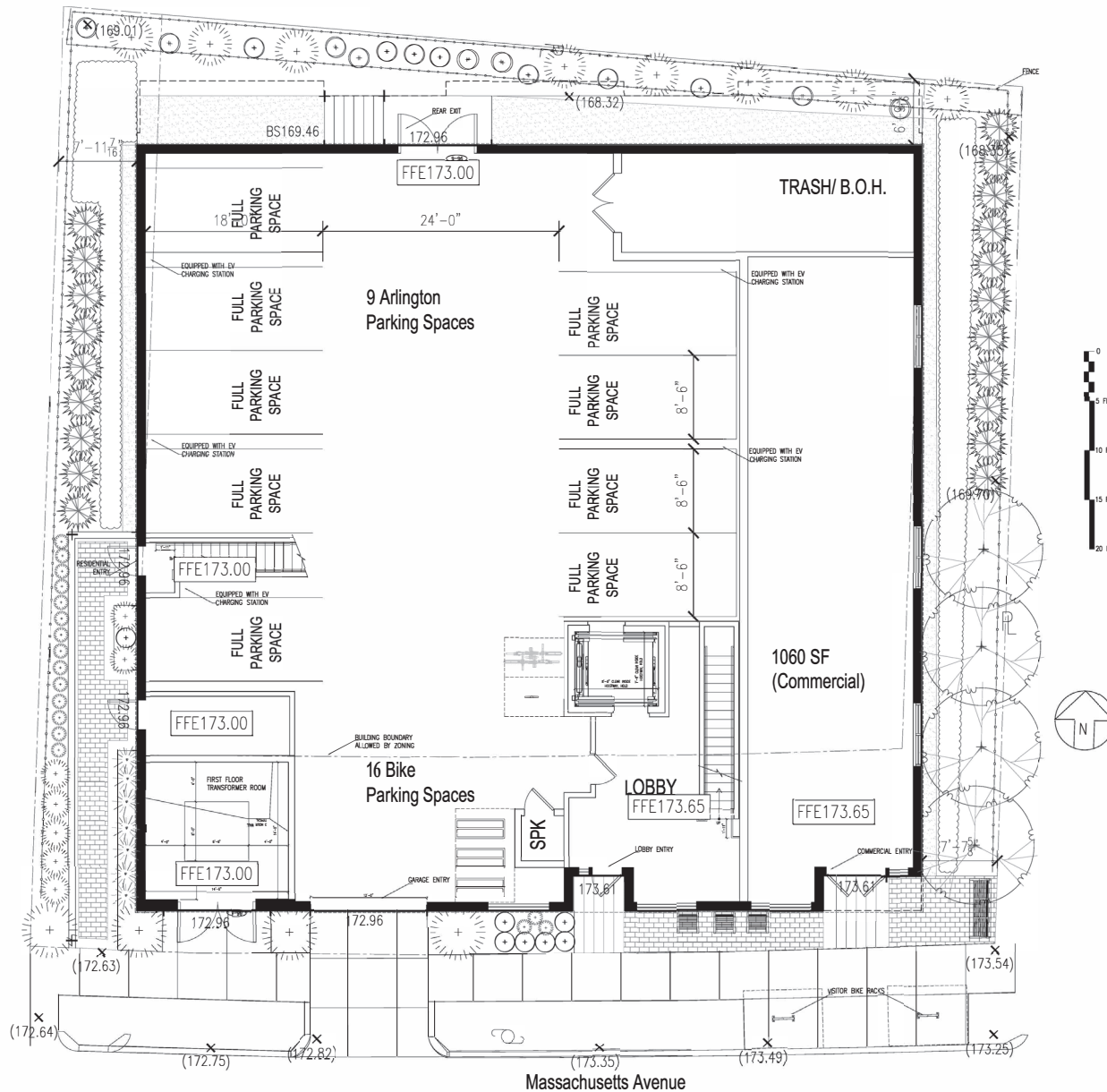
Numbers relating to lot size and/or dimensions are estimations to be confirmed	
Lot Area:	8,975 sq. ft.
Lot Frontage:	98'
Max building Height (Stories/Feet):	3 stories / 34'
Max Floor Area Ratio:	$\frac{14,118}{8,975} = 1.57$ FAR
Landscaped Open Space:	26.9%
Minimum Front Yard Setback:	3'
Minimum Side Yard Setback:	7'-6"
Minimum Rear Yard Setback:	3"

Along the Minimum Bikeway which is zoned in the OS district

ALLOWED AND PROPOSED ZONING TABLES

EXISTING CONDITIONS (VIEWS FROM MASS AVE)





1 GROUND LEVEL PLAN
SCALE: 1/4" = 1'-0"



'Austin' Bench by Landscape Forms



Visitor Bike Rocks



6' Ht. Board Fence



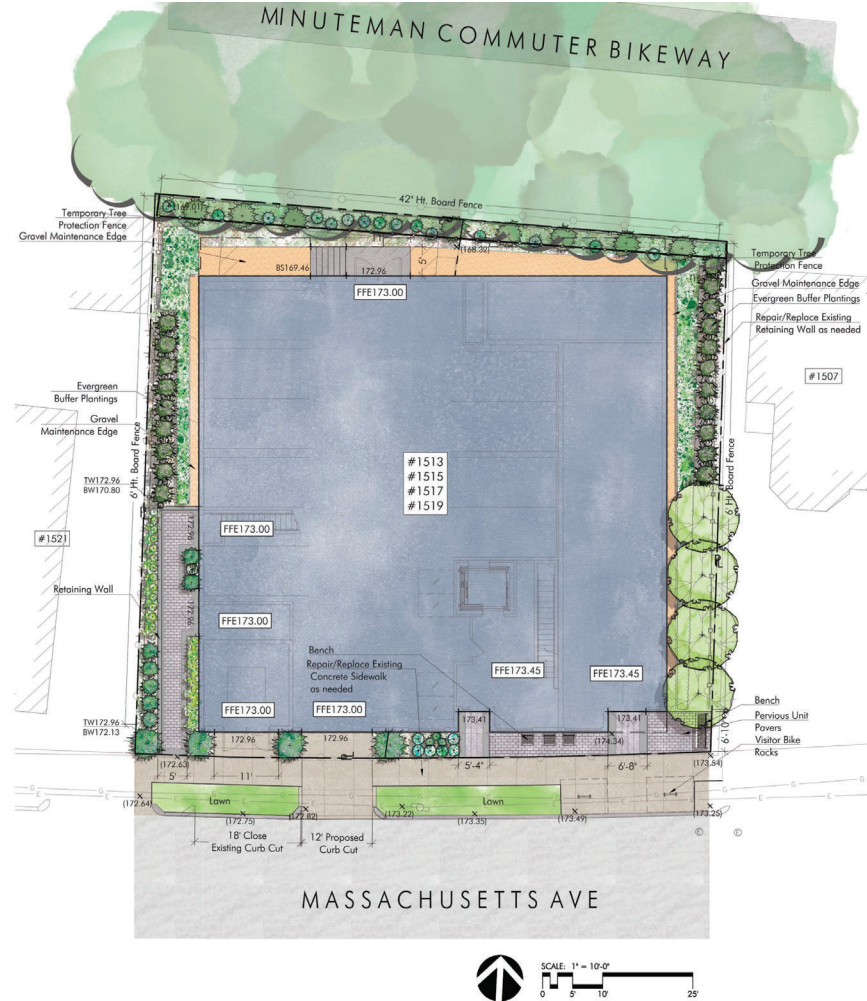
42" Ht. Board Fence

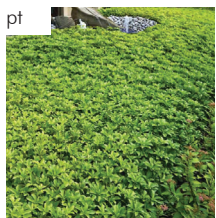


Hydra 'Shale Grey' Pervious Paver by Techo-bloc



Hydra 'Onyx Black' Pervious Paver by Techo-bloc

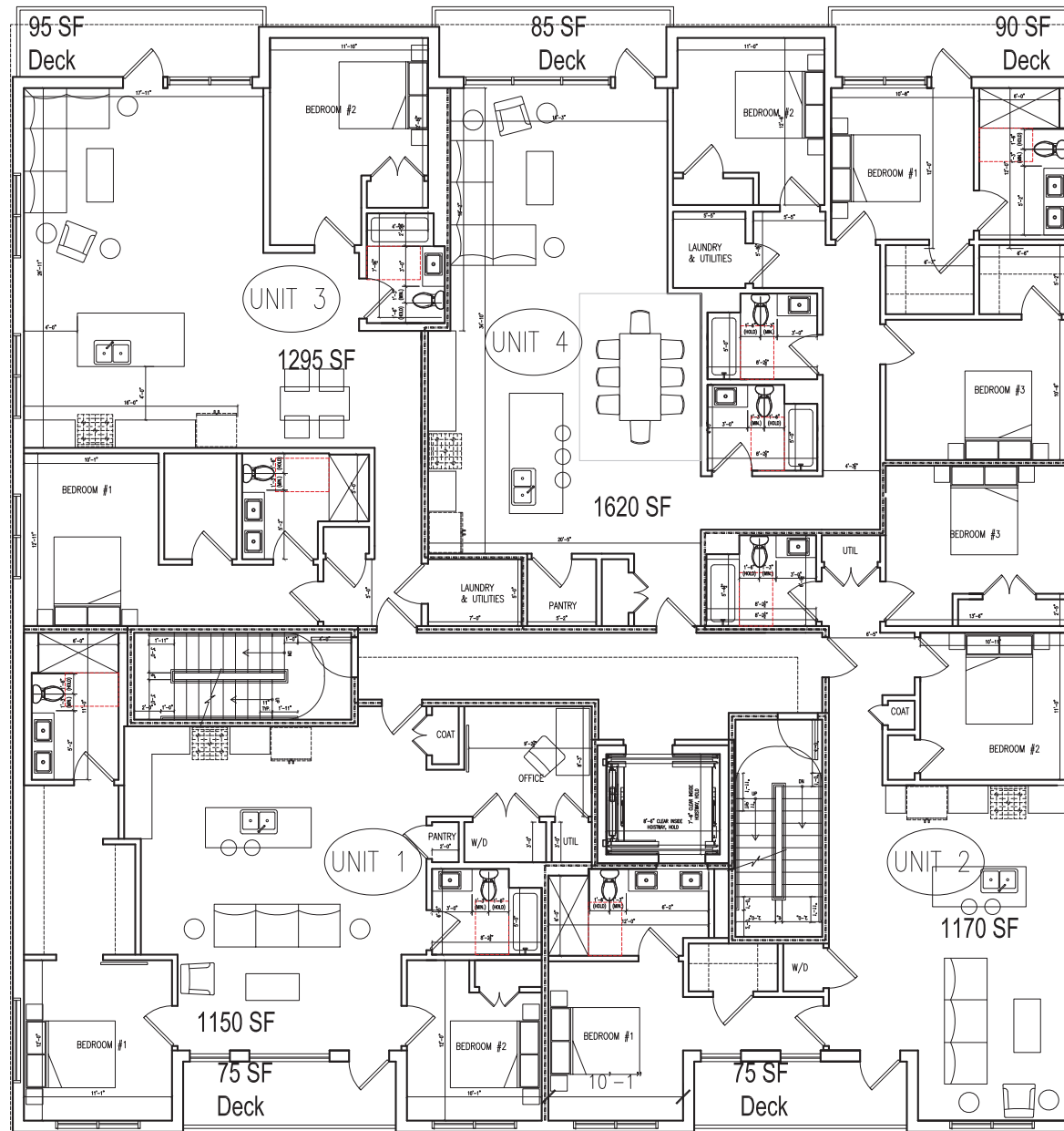




PROBABLE PLANT LIST: 1513-1519 MASS AVE.
 SYMB QTY. LATIN NAME
 TREES:
 QW 4 Quercus x waresii 'Long'
 TO 20 Thuja occidentalis 'Pyramidalis'
 SHRUBS:
 IC 4 Ilex crenata
 ICs 17 Ilex crenata 'Sky Pencil'
 IG 7 Ilex glabra 'Shamrock'
 TB 8 Taxus brevifolia
 PERENNIALS:
 ck 7 Calamagrostis occifolia 'Karl Foerster'
 he 15 Heuchera 'Mini Frost'
 pa 7 Perovskia atriplicifolia 'Little Spire'
 pt 310 Pachysandra terminalis

COMMON NAME
 Regal Prince English Oak
 Pyramidal Eastern Arborvitae
 Japanese Holly
 Sky Pencil Holly
 Shamrock Inkberry
 Dwarf Yew Shrub
 Feather Reed Grass
 Fancy-leaf Coral Bells
 Little Spire Russian Sage
 Japanese Spurge

MIN. SIZE NOTES
 2.5-3' cal. B&B
 6-8' Ht. B&B
 5 gal. Pots
 3 gal. Pots
 3 gal. Pots
 5 gal. Pots
 2 gal. Pots
 2 gal. Pots
 1 gal. Pots
 1 qt. Pots/Space 12"



2 LEVEL 2 PLAN
SCALE: 1/4" = 1'-0"

1513 Mass. Ave.
Rise Realty

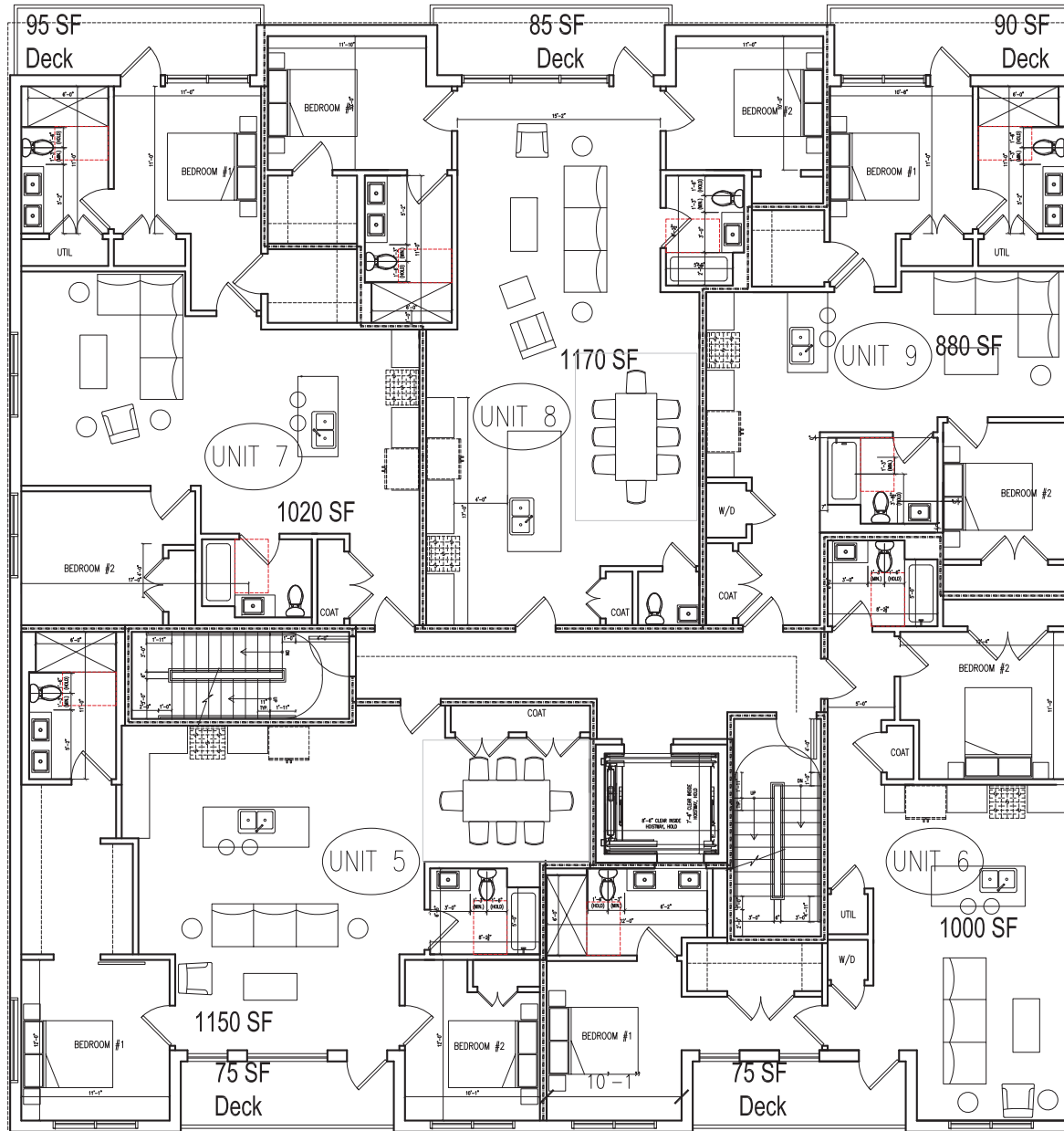
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01	Issued for Permit	11/1/2024
No.	Description	Date
Drawing Title: Proposed Plans		
Project No: 0680		Checked by: EZ

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3 LEVEL 3 PLAN
SCALE: 1/4" = 1'-0"

1513 Mass. Ave.

Rise Realty

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Massachusetts

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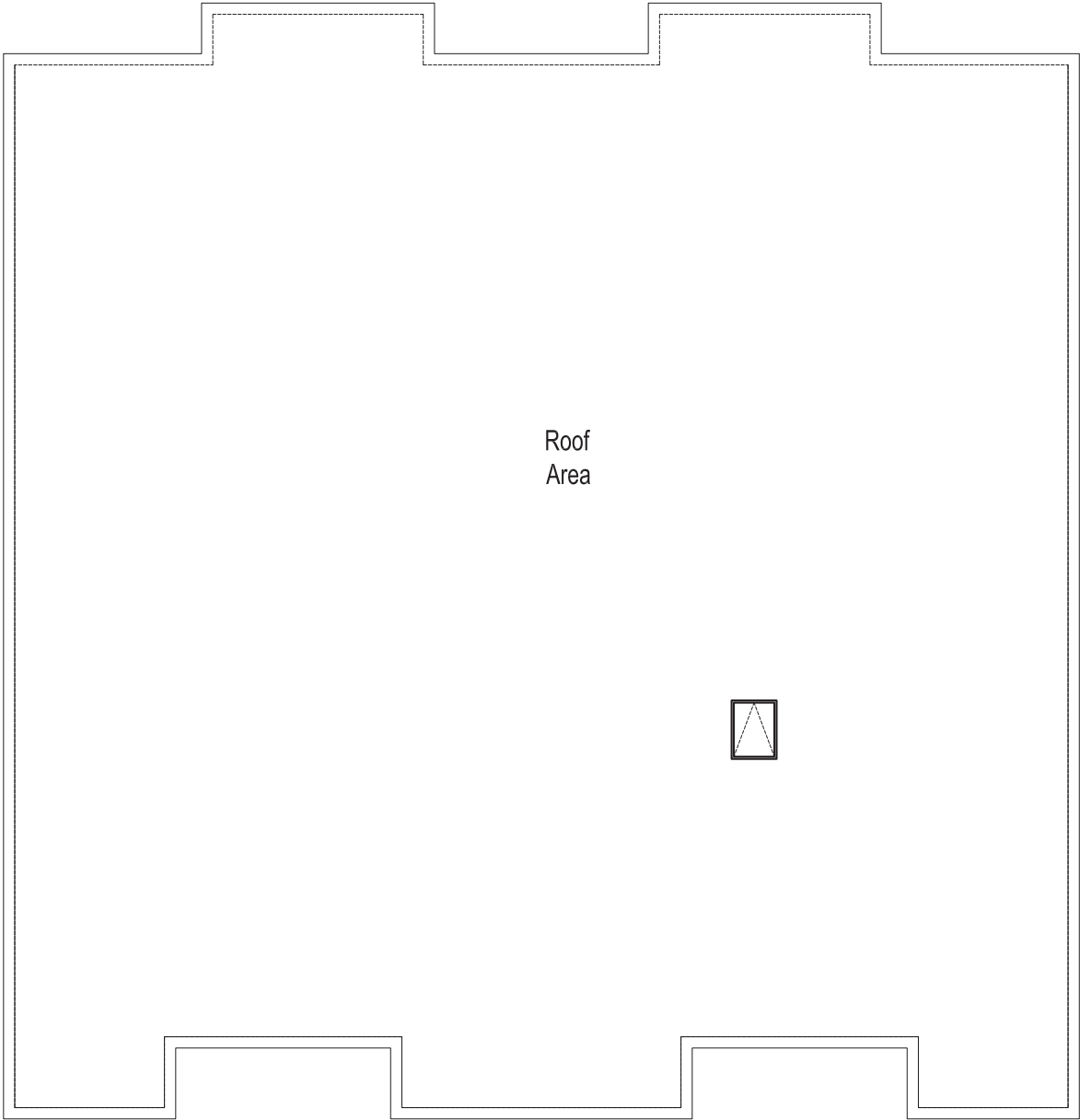
No. Description Date

Drawing Title: Proposed Plans

Project No: 0680 Checked by: EZ

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Roof
Area

3 LEVEL 3 PLAN
SCALE: 1/4" = 1'-0"

1513 Mass. Ave.
Rise Realty

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Massachusetts

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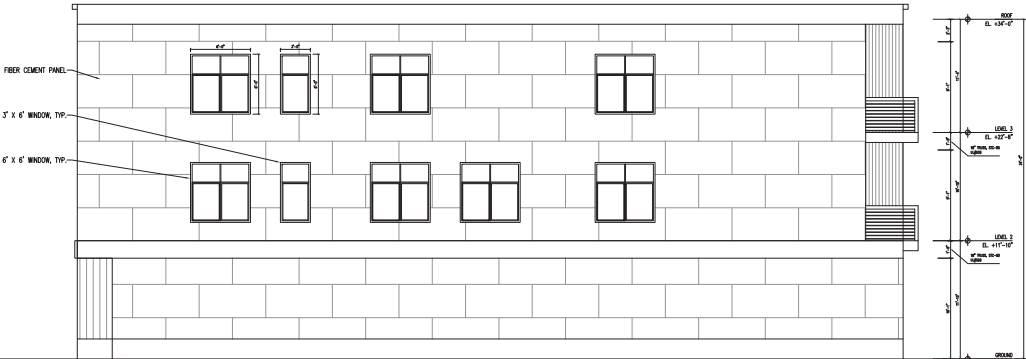
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Elevations

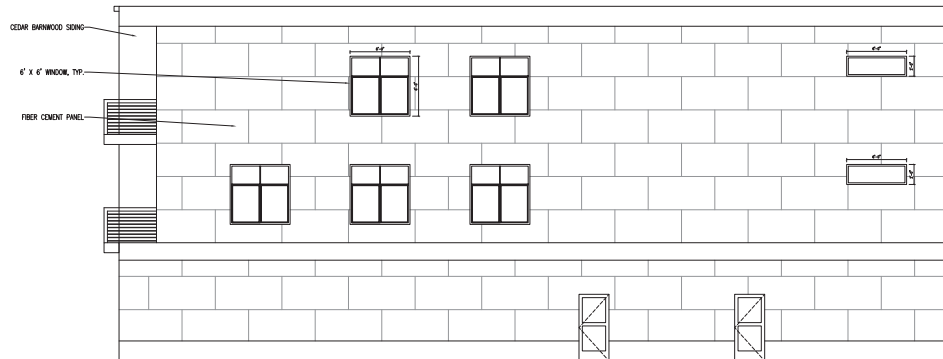


Front Elevation



Right Side Elevation

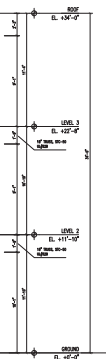
Elevations



Left Side Elevation



Rear Elevation



FACADE MATERIALS AND PRODUCTS

Swisspearl Nobilis

Nobilis is a grey panel with a translucent, lightly pigmented surface that highlights the fibre cement texture in all its natural beauty and elegance.



COLOR: Crystal 122



Product Example

New Barnwood Luxury Cedar Barnwood Siding

New Barnwood seamlessly blends the superior performance of newly milled Western Red Cedar with the charming, rustic aesthetics of 19th-century barnwood.

Our Luxury Cedar Barnwood Siding offers a cost-effective alternative to reclaimed barnwood, boasting quicker installation, minimal waste, and none of the common issues such as pests, animal waste, nails, or lead.



COLOR: Espresso



Product Example

Pac-Clad Redi-Roof Standing Seam

Redi-Roof panels feature an offset profile which adds strength and allows room for a hex head fastener. The clip, with its button-punched design, ensures an extra-snug fit. The one-piece design allows for ease of installation.



COLOR: Zinc



Product Example

Proposal in Context & Material Renders



GENERAL NOTES

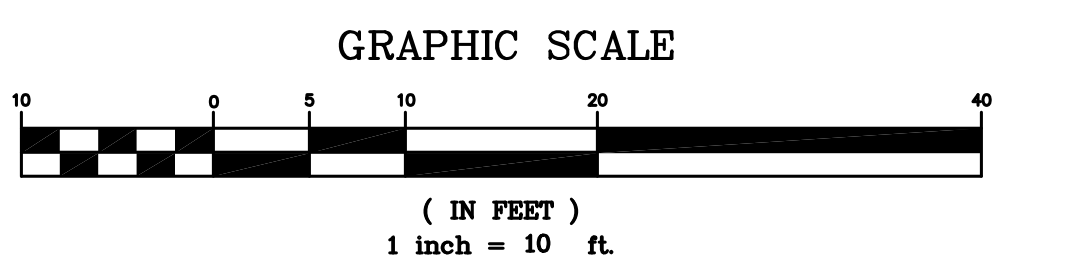
1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
 2. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.
 3. ALL WORK SHALL CONFORM TO TOWN OF ARLINGTON GENERAL CONSTRUCTION STANDARDS.
 4. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
 5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR.
 6. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTRACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.
 7. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
 8. NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE WATER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE PIPES.
 9. PAVEMENT AREA SHALL BE PAVED TO A THICKNESS AS SHOWN ON THE PLANS MEASURED AFTER COMPACTION, WITH A BINDER COURSE AND TOP COURSE OF CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE 1-1.
 10. BASE MATERIAL SHALL BE CLEAN BANK RUN GRAVEL, CONFORMING TO M.D.P.W. M1.03.1, WITH NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER AND SHALL BE PLACED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL.
 11. ALL EXISTING PAVING TO BE DISTURBED SHALL BE CUT ALONG A STRAIGHT LINE THROUGH ITS ENTIRE THICKNESS. BUTT THE NEW PAVING INTO THE EXISTING PAVEMENT TO REMAIN.
 12. ANY PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OR OTHERWISE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH A PAVEMENT SECTION CONSISTING OF 1" WEAR COURSE OVERLYING A 1 1/2" BINDER COURSE OVERLYING A 8" COMPACTED GRAVEL BASE COURSE.
 13. THE CONTRACTOR SHALL APPLY FOR A STREET OPENING AND UTILITY CONNECTION PERMITS AND SIDEWALK CROSSING PERMIT WITH THE TOWN OF ARLINGTON DPW.
 14. CONTRACTOR TO ENSURE THAT ALL SURFACE WATER IS DIVERTED AWAY FROM BUILDING FOUNDATION DURING FINAL GRADING.
 15. ADEQUATE MEASURES SHALL BE TAKEN AS NEEDED TO PREVENT RUNOFF SEDIMENT FROM THE SITE COLLECTING ON THE SIDEWALK, ROADWAY, OR ADJUTING PROPERTIES DURING CONSTRUCTION ACTIVITIES. SUCH MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO, ADDITIONAL SILT FENCING/HAYBALES AND SWEEPING. PLEASE INCLUDE A NOTE TO INDICATE THE REQUIREMENT TO REMOVE ALL SEDIMENT OR PRODUCTS OF EROSION FROM THE RIGHT OF WAY AND TO REQUIRE SWEEPING OF THE STREET WHEN NECESSARY.
 16. CONTRACTOR TO COORDINATE WITH THE ARLINGTON ENGINEERING DIVISION TO PERFORM INSPECTIONS OF 1) BOTTOM OF EXCAVATION AND 2) SYSTEM AFTER INSTALLED BUT BEFORE BACKFILL. ENGINEERING DIVISION SHOULD BE NOTIFIED 24 HOURS PRIOR TO INSPECTION.
 17. IF SUBSURFACE CONDITIONS DO NOT MATCH THE TEST PIT CONDITIONS, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER AND THE ARLINGTON ENGINEERING DIVISION FOR REVIEW IMMEDIATELY.
 18. ADDITIONAL PERMITTING WILL BE REQUIRED THROUGH THE ARLINGTON ENGINEERING DIVISION FOR ANY PROPOSED WORK WITHIN THE RIGHT OF WAY.
 19. THE TOWN OF ARLINGTON WATER AND SEWER DIVISIONS ARE NOT PART OF DIG-SAFE. WHERE ACTIVITIES REQUIRE A DIG-SAFE MARKOUT, THE TOWN OF ARLINGTON WATER AND SEWER DIVISION SHOULD BE CONTACTED AT 781-316-3310 TO REQUEST A MARKOUT AT LEAST 72 HOURS IN ADVANCE.
- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 5/10/2024.
 2. DEED #1513-1517: BOOK 26219, PAGE 127
DEED #1517-1519: BOOK 11361, PAGE 019
PLAN 1036 OF 1941;
STREET LAYOUT 1913
STREET LAYOUT 1892
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0412E, IN COMMUNITY NUMBER: 250177, DATED 6/4/2010.
 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
 7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS SPRUHAN ENGINEERING, P.C. ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
 8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF ARLINGTON DATUM.

REFER TO ARCHITECTURAL PLANS FOR ALL ZONING RELATED INFORMATION

ALL SURFACE WATER RUNOFF SHALL BE DIRECTED AWAY FROM BUILDING FOUNDATION AND AWAY FROM NEIGHBORING PROPERTY

PROPOSED FIRST FLOOR ELEVATION TO BE VERIFIED BY ARCHITECT PRIOR TO ANY CONCRETE BEING POURED.

LOCATION OF INFILTRATION SYSTEM TO BE VERIFY BY STRUCTURAL ENGINEER TO ENSURE DO NOT CAUSE CONFLICT WITH PROPOSED STRUCTURE BEFORE INFILTRATION SYSTEM IS INSTALLED



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