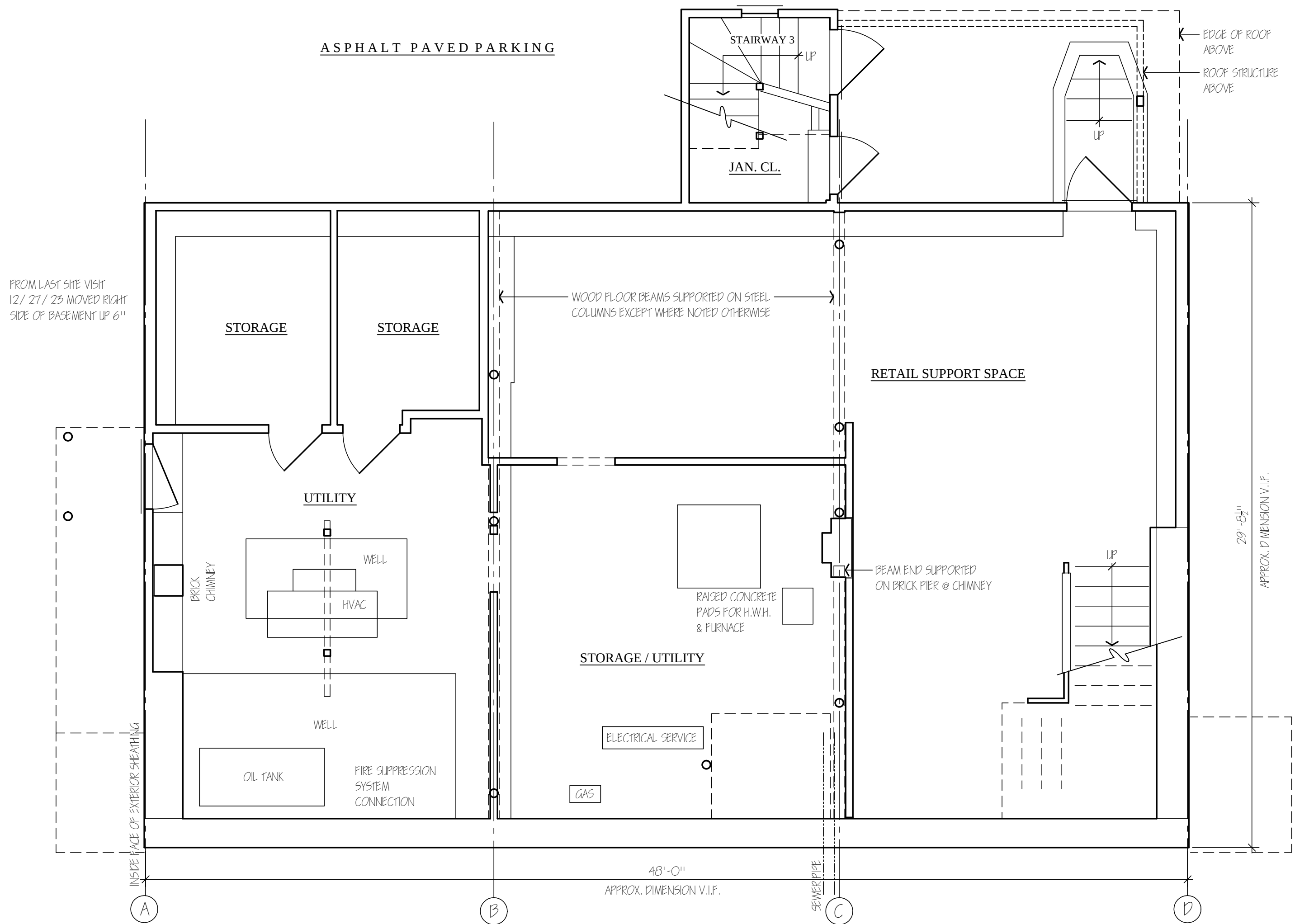
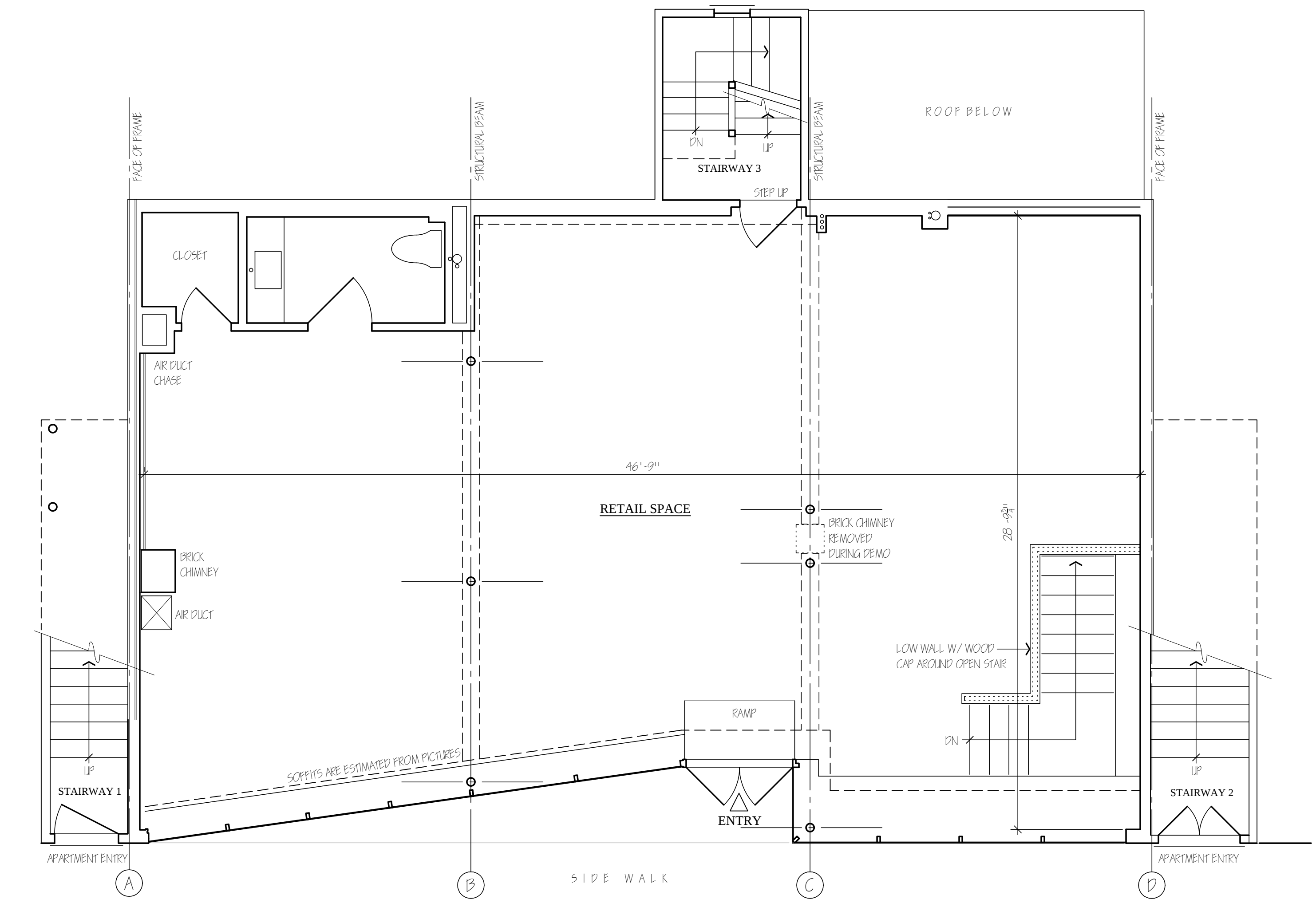




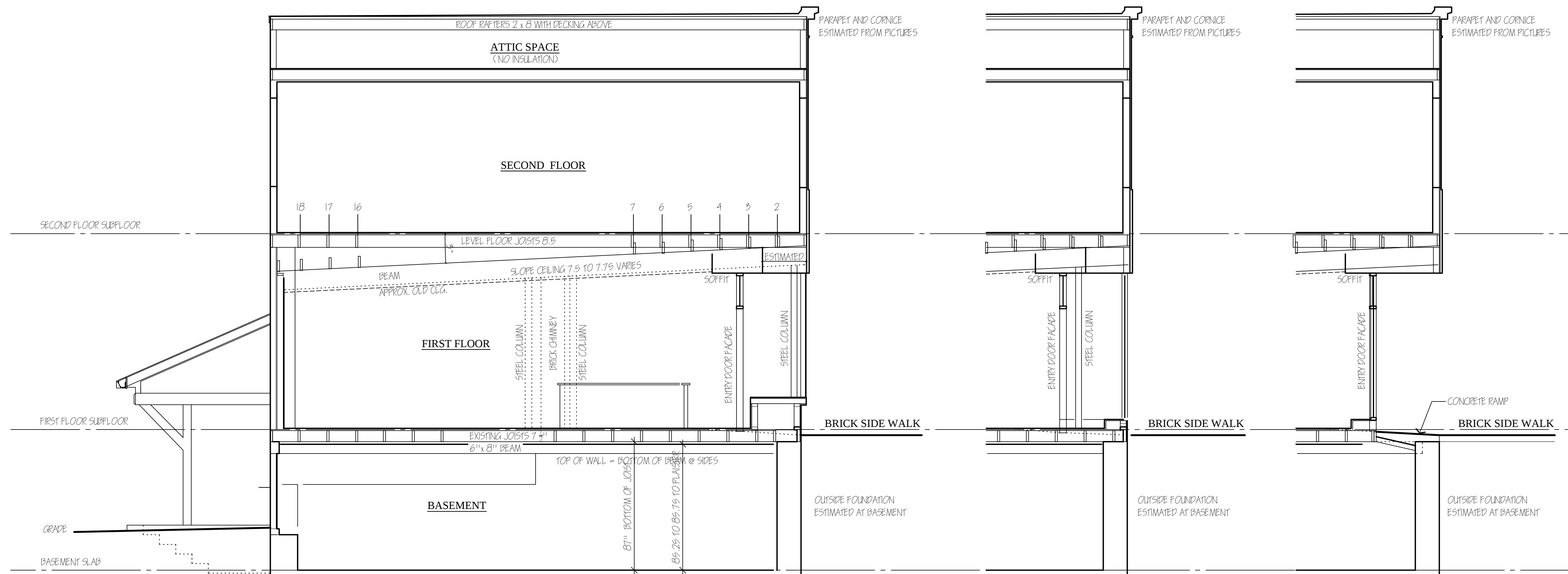
1 EXISTING BASEMENT PLAN

GROSS FLOOR AREA: 1,528 SF.
(NOT INCLUDING APARTMENT STAIRWAY AT EACH SIDE)



2 EXISTING FIRST FLOOR PLAN

GROSS FLOOR AREA: 1,464 SF.
(NOT INCLUDING APARTMENT STAIRWAY AT EACH SIDE)



3 EXISTING BUILDING SECTIONS

INCITE
ARCHITECTURE

William R Hubner
ARCHITECT

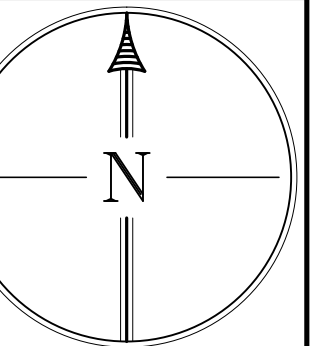
1620 Massachusetts Avenue

Lexington, MA 02420

Tel: 781-862-3444

www.incitearchitecture.com

SHEET TITLE
EXISTING FIRST FLOOR PLAN
EXISTING BASEMENT PLAN
EXISTING SECTIONS



Job #

Project
PROPOSED RENOVATIONS
ARLINGTON COAL & LUMBER
1349-1357 MASS AVE
ARLINGTON, MA

Scale
1/4" = 1'-0"

Date
10 MAY 2024

Revisions

Sheet

EC



Existing Condition Photos; Site Plan Key
1349-1357 Mass Ave.



1 West Side at South corner.



2 Front Facade view, looking North on Mass Ave.



3 1365 Mass Ave. (Adjacent Building)



4 1347 Mass Ave. (Adjacent Building.)



5 Buildings directly across the street. 1346, 1348-1354 Mass Ave.



6 Street View Looking West on Mass Ave.



7 Street View looking East on Mass Ave.



8 View from Park Ave.



9 Behind Mass Realty Trust.



10 Behind Mass Ave Realty Trust.



11 Rear Lot View looking East.



12 North Side (Back) View

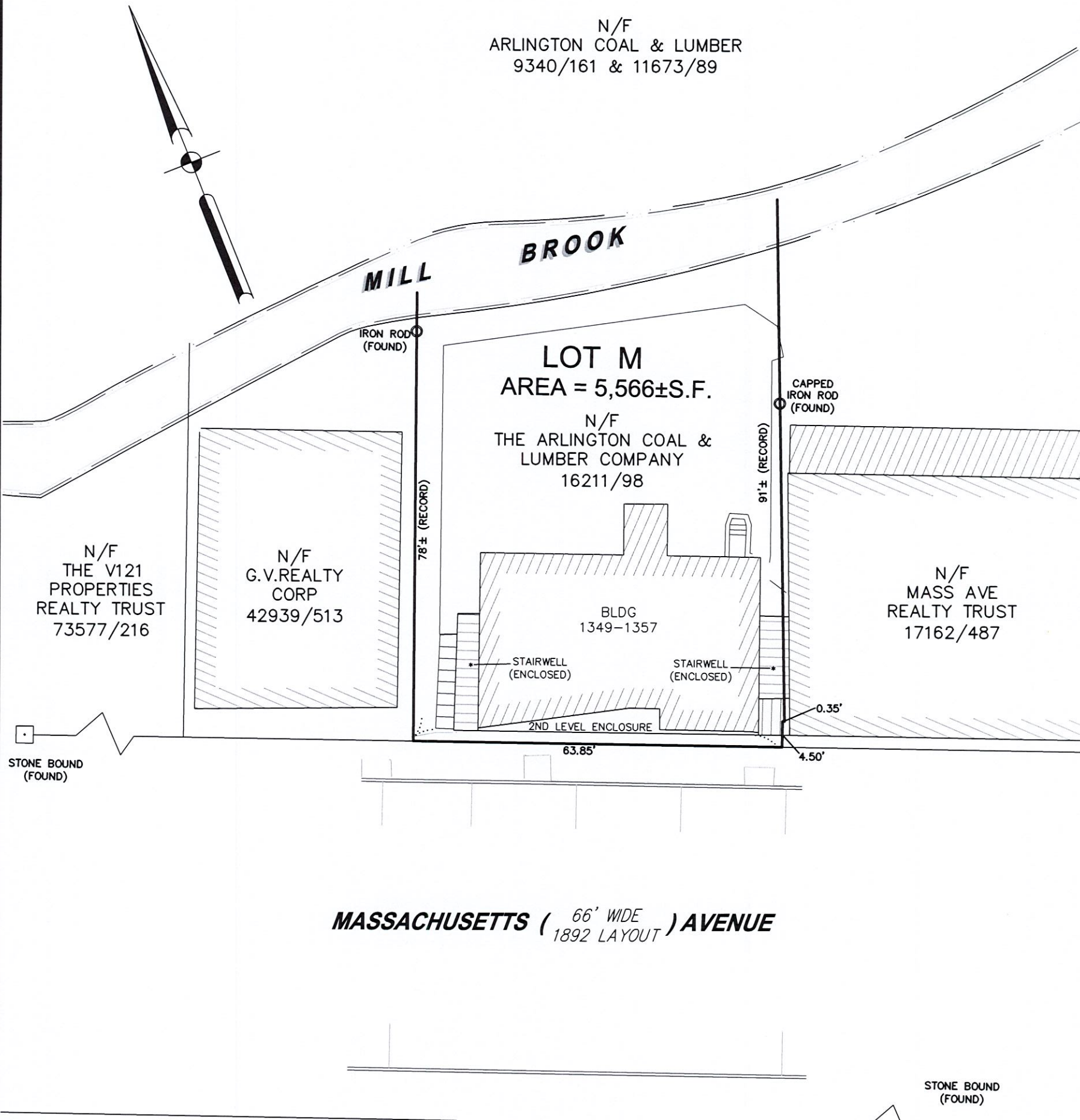


13 Rear Lot Looking to the West.



14 Alley on West Side looking South.

OFFSETS ARE NOT FOR THE REPRODUCTION OF PROPERTY LINES



NOTE: THE SUBJECT PROPERTY HAS BEEN CONVEYED TOGETHER WITH A RIGHT OF WAY LOCATED UPON LAND OF OTHERS AND RESERVING THE RIGHT TO MAINTAIN SO MUCH OF THE BUILDING WHICH MAY HAVE EXISTED AT TIME OF RECORD DEED.

THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, COVENANTS, OR OTHER LIMITATIONS WHICH MAY BE DISCLOSED BY A TITLE EXAMINATION.

THIS LOT IS IN ZONE X (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR ARLINGTON, MASS., DATED JUNE 4, 2010, COMMUNITY-PANEL NO. 250-217CO-416E. ZONE HAS BEEN DETERMINED BY SCALE AND IS NOT NECESSARILY ACCURATE. ACCURATE DETERMINATION CANNOT BE MADE UNLESS A VERTICAL CONTROL SURVEY IS PERFORMED.

REFERENCES:
ASSESSOR ID# 60-1-8.B
DEED BOOK 16211 PAGE 98
PLAN RECORDED AS #137 OF 1948
PLAN RECORDED AS #122 OF 1947
PLAN RECORDED AS #180 OF 1947
PLAN RECORDED IN PLAN BOOK 126 AS PLAN #4
PLAN RECORDED IN PLAN BOOK 210 AS PLAN #32

THE BUILDING SHOWN HAS BEEN LOCATED BY AN INSTRUMENT SURVEY PERFORMED BY THIS OFFICE ON DECEMBER 12, 2023.

DAVID J. DeBAY, P.L.S. # 33887

2/19/23

PLOT PLAN
#1349-#1357 MASS AVE.
ARLINGTON, MASS.

PREPARED FOR: ARLINGTON COAL & LUMBER
DATE: DECEMBER 19, 2023 SCALE: 1"=20'

GPR Engineering Solutions for Land & Structures

GOLDSMITH, PREST & RINGWALL, INC.
39 MAIN ST., SUITE 301, AYER, MA 01432
CIVIL & STRUCTURAL ENGINEERING • LAND SURVEYING & LAND PLANNING
VOICE: 978.772.1590 FAX: 978.772.1591 WEB: www.gpr-inc.com

P:\11-111088\DWG\SURVEY DWG\FINAL\111088_CPP_(1349-1357)_1A.DWG

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