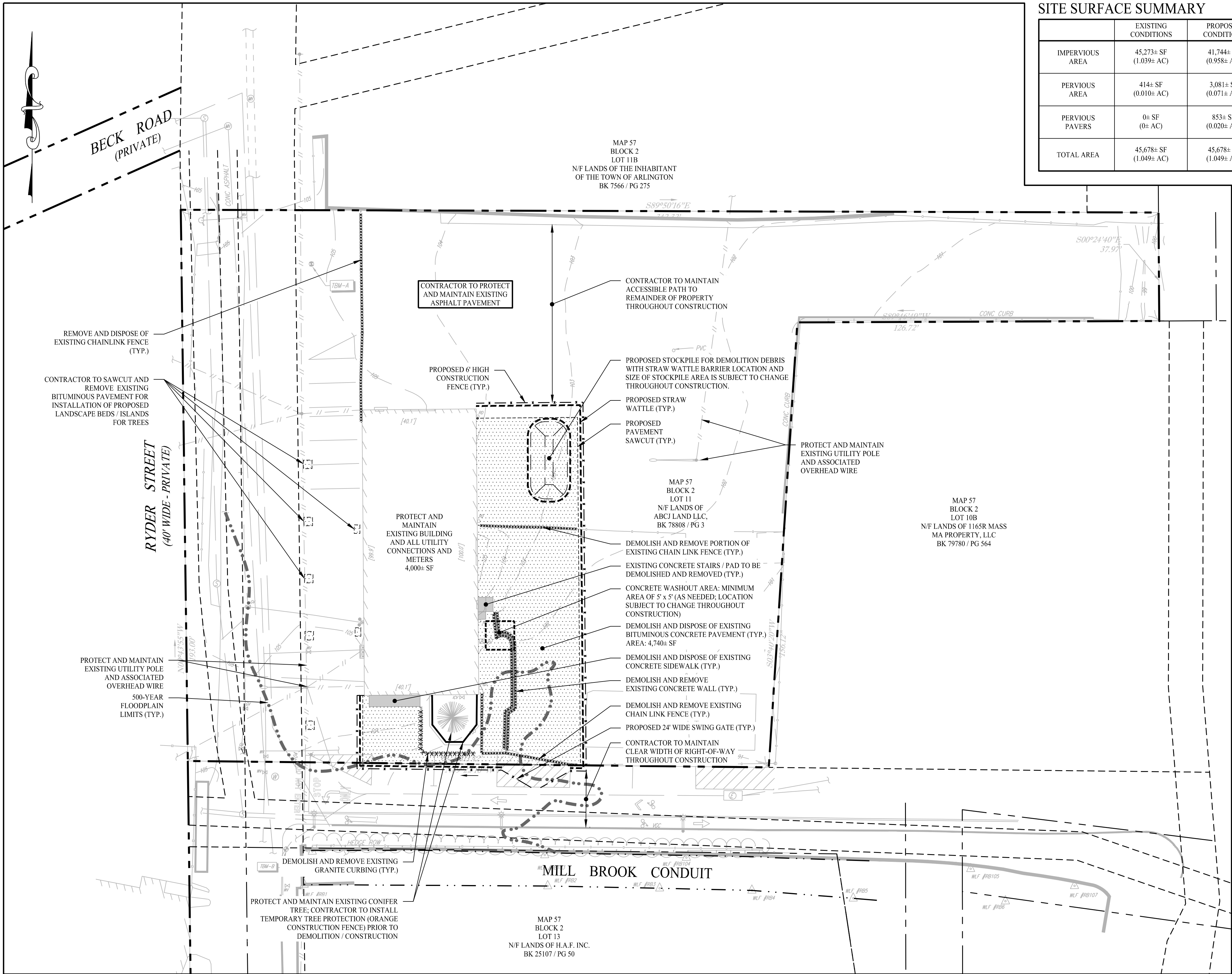




SITE SURFACE SUMMARY

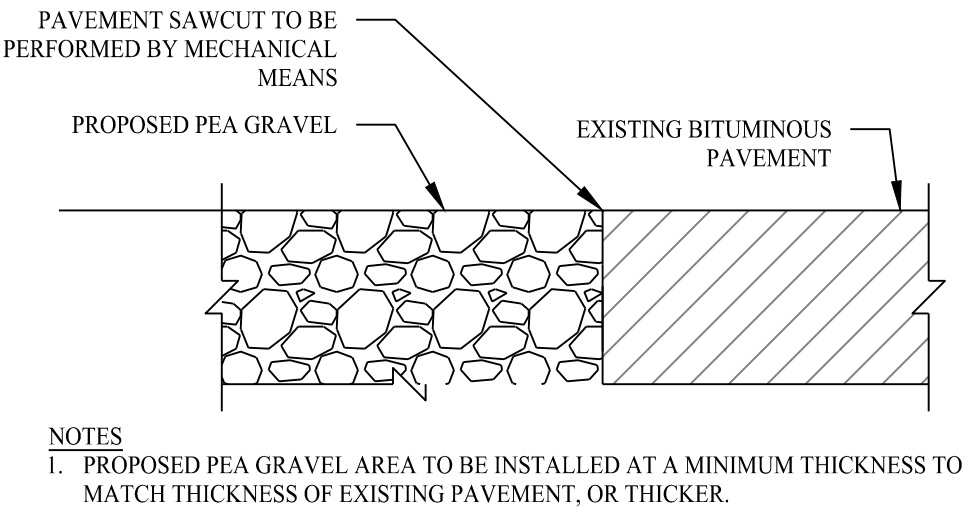
	EXISTING CONDITIONS	PROPOSED CONDITIONS
IMPERVIOUS AREA	45,273± SF (1.039± AC)	41,744± SF (0.958± AC)
PERVIOUS AREA	414± SF (0.010± AC)	3,081± SF (0.071± AC)
PERVIOUS PAVERS	0± SF (0± AC)	853± SF (0.020± AC)
TOTAL AREA	45,678± SF (1.049± AC)	45,678± SF (1.049± AC)

CONSTRUCTION SEQUENCE (PHASE 1)

1. **PHASE I**
 - 1.1. ENSURE ALL BONDING / FEES / ZONING PERMITS ARE PAID AND APPROVED BY TOWN OF A PRIOR TO CONSTRUCTION.
 - 1.2. INSTALL CONSTRUCTION FENCE AND ESTABLISH CONTRACTOR PARKING AREA AND STAGING / STORAGE AREAS.
 - 1.3. INSTALL STRAW WATTLE BARRIER ON INSIDE OF CONSTRUCTION FENCE.
 - 1.4. PREPARE TEMPORARY PARKING, STAGING AND STORAGE AREAS.
 - 1.5. INSTALL SILT SACK INLET PROTECTION ON ALL EXISTING DRAINAGE STRUCTURES WITHIN THE PROJECT SITE AND WITHIN PROXIMITY OF THE SITE.
 - 1.6. HALT ALL ACTIVITIES AND CONTACT THE ENGINEER OF RECORD / TOWN OF ARLINGTON LAND USE AGENT TO PERFORM INSPECTION AND CERTIFICATION OF BEST MANAGEMENT PRACTICES (BMPs). GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORM WATER PRE-CONSTRUCTION MEETING WITH THE ENGINEER OF RECORD / TOWN AGENCIES, AND GROUND-DISTURBING CONTRACTOR BEFORE PROCEED WITH CONSTRUCTION.
 - 1.7. PERFORM PAVEMENT SAWCUTS.
 - 1.8. DEMOLISH AND REMOVE EXISTING STRUCTURES / FOUNDATIONS.
 - 1.9. REMOVE ALL EXISTING CURBING, BITUMINOUS CONCRETE PAVEMENT, CONCRETE PADS, AND FENCING.
 - 1.10. ESTABLISH MATERIAL STOCKPILE AREA AND INSTALL SEC BARRIER SURROUNDING PILE.
 - 1.11. BEGIN ROUGH GRADING OF THE SITE.

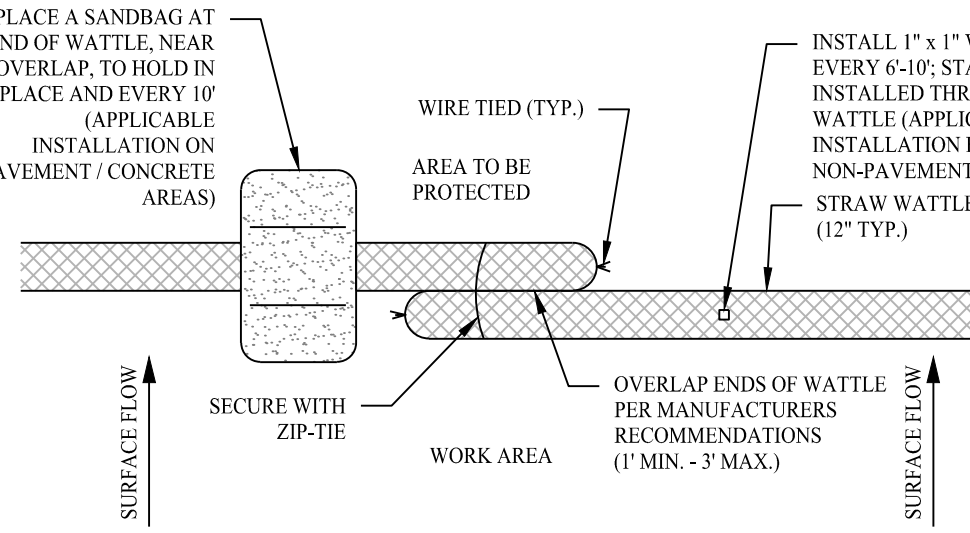
LEGEND

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJOINING LOT LINE
---	LIMIT OF EASEMENT
---	PAVEMENT SAWCUT
---	STRAW WATTLE BARRIER
---	CONCRETE WASHOUT AREA
---	CONSTRUCTION FENCE
---	CONCRETE SIDEWALK DEMOLITION
---	BITUMINOUS CONCRETE PAVEMENT DEMOLITION
---	CURB REMOVAL
---	CONCRETE WALL / CHAIN LINK FENCE REMOVAL
---	TREE PROTECTION / ORANGE CONSTRUCTION FENCE



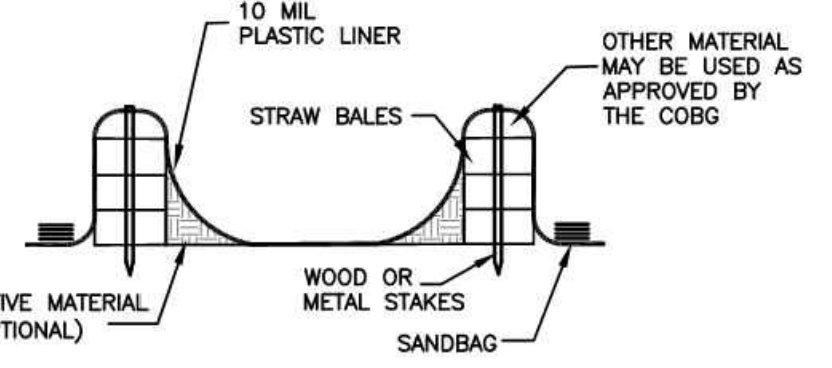
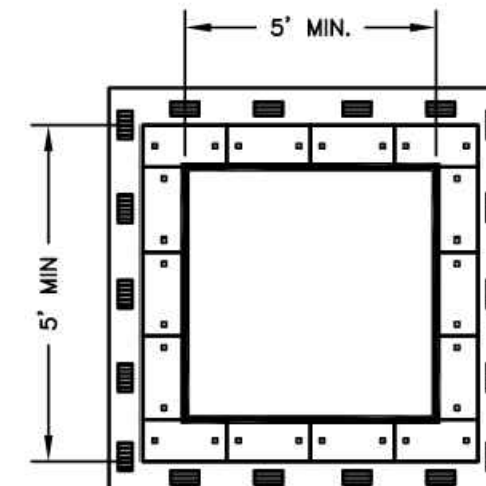
PAVEMENT SAWCUT DETAIL

SCALE: NTS



STAKED STRAW WATTLE

SCALE: NTS



- NOTES:
1. NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPING FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREETS OR STREAMS IS PERMITTED.
 2. EXCESS CONCRETE IS NOT PERMITTED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY WASHOUT AREAS (REFER TO SHEET 2.32).
 3. ONCE WASHOUT AREA IS 75% FULL, CONTRACTOR TO CLEAN OUT OR REPLACE AREA.
 4. PLASTIC LINING SHALL BE MINIMUM 10 MIL. POLYETHYLENE SHEETING AND WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
 5. HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF OFF-SITE. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.

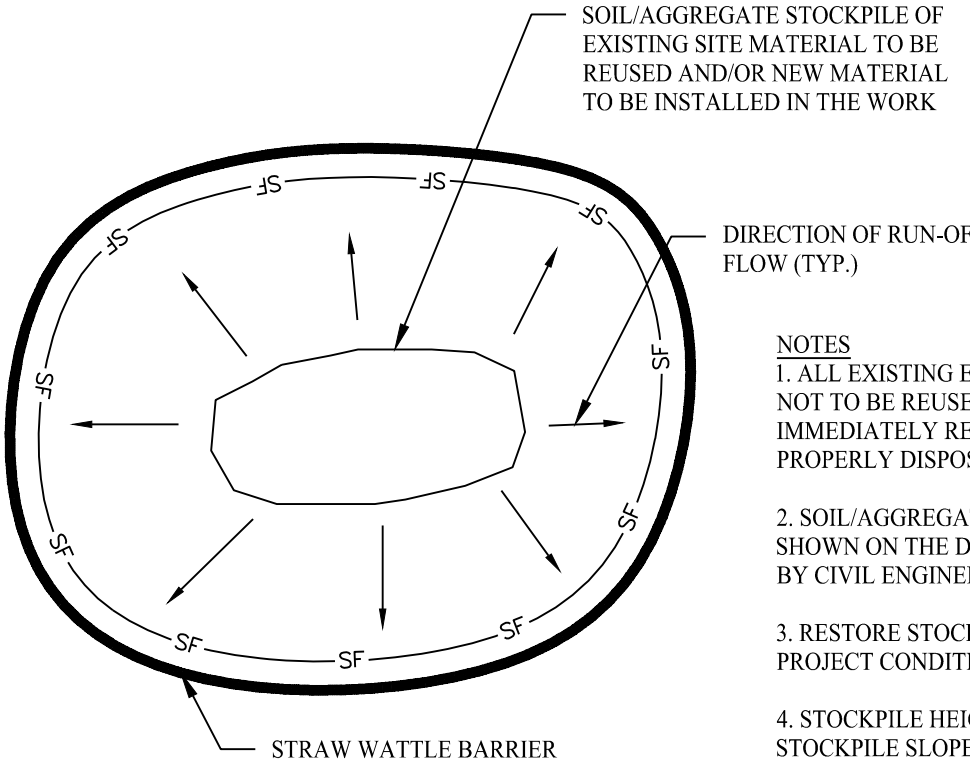
CONCRETE WASHOUT DETAIL

SCALE: NTS

REFER TO PROPOSED PLOT PLAN OF LAND FOR PROPOSED IMPROVEMENTS PREPARED BY CONTROL POINT ASSOCIATES, INC.

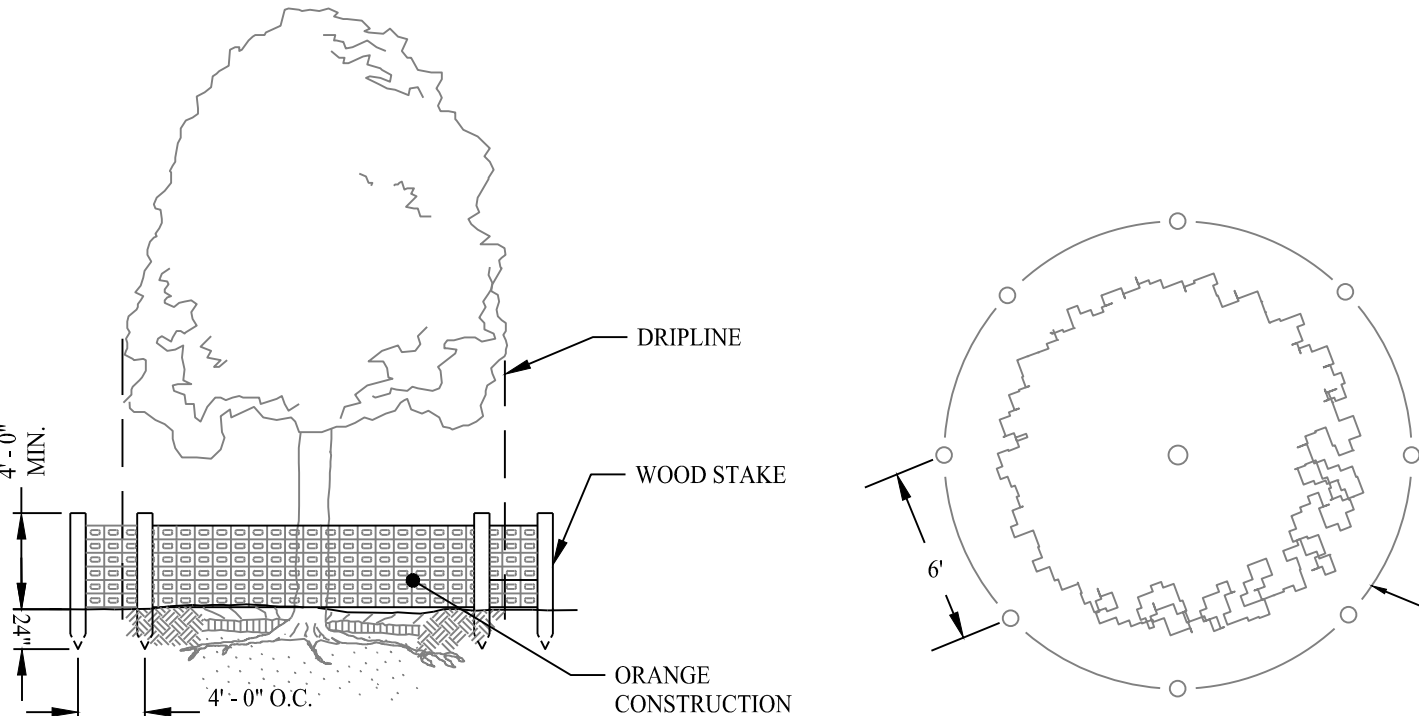
PHASE I - DEMOLITION & SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 20'



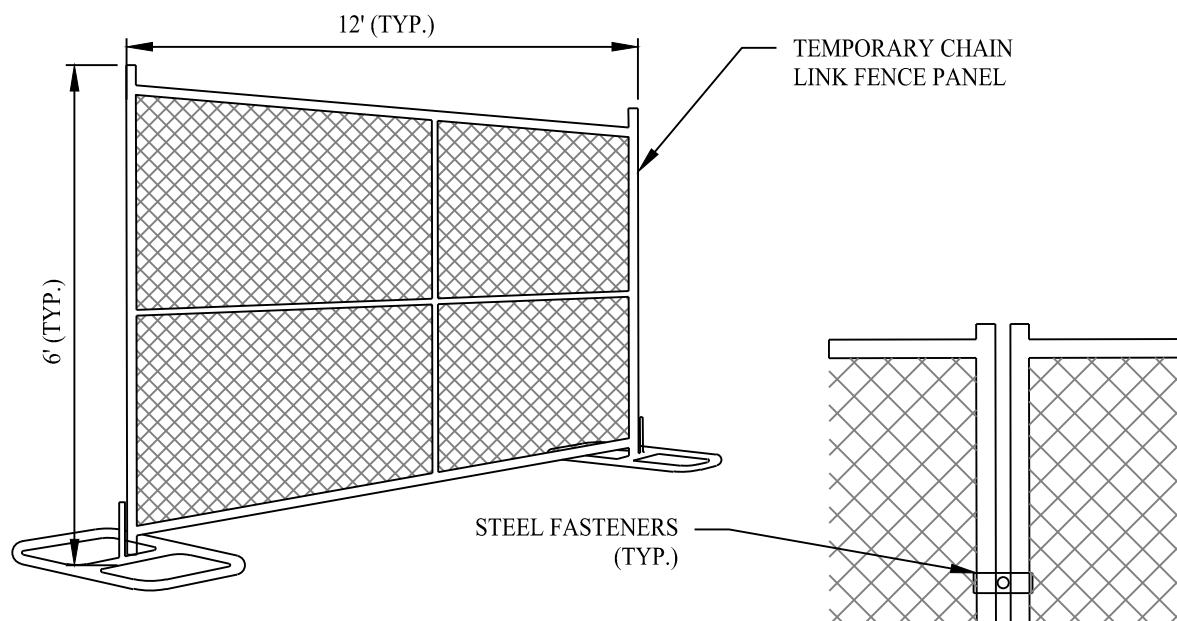
MATERIALS STOCKPILE DETAIL BARRIER

SCALE: NTS



TYPICAL TREE PROTECTION DETAIL

SCALE: NTS



TEMPORARY CONSTRUCTION FENCE DETAIL

SCALE: NTS

GENERAL NOTES

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
2. ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF ARLINGTON, MASSACHUSETTS FOR THIS PROJECT.
3. EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY; ABC BEER INC.", DATED JANUARY 21, 2025, SCALE: 1"=20'. PREPARED BY CONTROL POINT ASSOCIATES, INC.
- 3.1. FIELD SURVEY PERFORMED IN DECEMBER 2024.
- 3.2. THE VERTICAL DATUM IS NAVD83.
4. THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.049± ACRES (45,687± SF) LOCATED WITHIN THE TOWN OF ARLINGTON INDUSTRIAL (I) ZONING DISTRICT.
- 4.1. MAP 57 BLOCK 2 LOT 11 AS SHOWN ON THE TOWN OF ARLINGTON, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS ASSESSORS MAPS.
- 4.2. DEED REFERENCE: BK 78808 / PG 3
5. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE THE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITIES AND STORM DRAINAGE SYSTEM LOCATIONS. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
6. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND SECURITY OF THE SITE DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER OF RECORD HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
8. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
9. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS / PROPOSED PLOT PLAN FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, SIDEWALKS, PATIO AREAS AND ALL OTHER IMPROVEMENTS.
10. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER OF RECORD. DURING CONSTRUCTION CONTRACTOR IS TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS, AND OVERGROWN VEGETATION.
11. THE OWNER SHALL BE RESPONSIBLE TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS, AND OVERGROWN VEGETATION.
12. ACCORDING TO FLOOD MAP NUMBER 25025C0017K, PANEL 17 OF 176, DATED 07/03/2024, PRODUCED BY FEMA, A PORTION OF THE SITE LIES WITHIN A ZONE "X" SHADED, AREAS OF 0.2% ANNUAL CHANCE OF FLOOD (500-YR FLOOD PLAIN).

Rev. #: Date Description



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Drawn By: STM

Checked By: CJB

Approved By: KMS

Project #: 25200801

Plan Date: 01/25/25

Scale: 1" = 20'

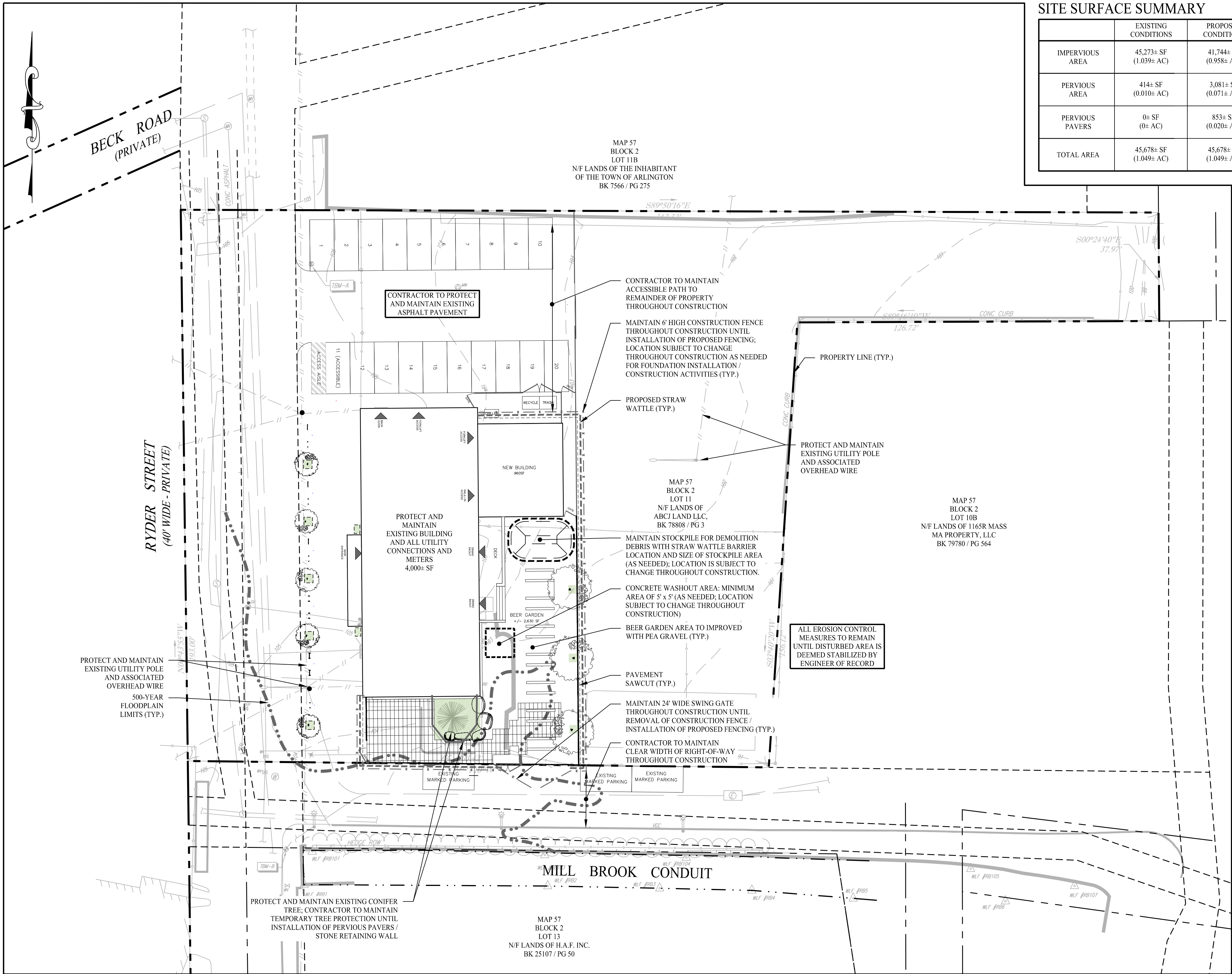
Project:
PROPOSED ARLINGTON BREWING COMPANY

15 RYDER STREET
ARLINGTON, MASSACHUSETTS
OWNER: ABCJ LAND LLC
MAP 57 BLOCK 2 LOT 11

Sheet Title:
**PHASE I
EROSION &
SEDIMENT
CONTROL PLAN**

Sheet #:

2.01



SITE SURFACE SUMMARY

	EXISTING CONDITIONS	PROPOSED CONDITIONS
IMPERVIOUS AREA	45,273± SF (1.039± AC)	41,744± SF (0.958± AC)
PERVIOUS AREA	414± SF (0.010± AC)	3,081± SF (0.071± AC)
PERVIOUS PAVERS	0± SF (0± AC)	853± SF (0.020± AC)
TOTAL AREA	45,678± SF (1.049± AC)	45,678± SF (1.049± AC)

CONSTRUCTION SEQUENCE (PHASE II)

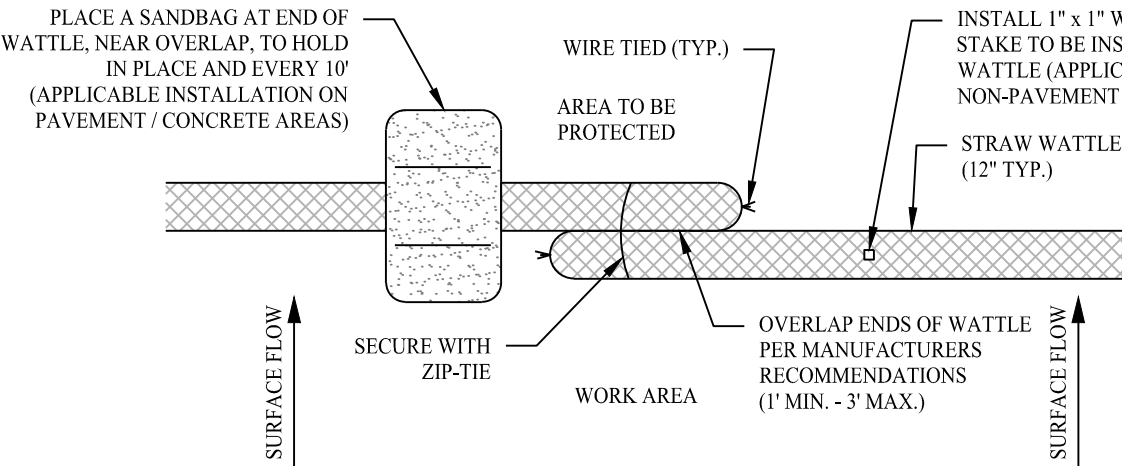
- PHASE II:**
 - INSTALL PROPOSED IMPROVEMENTS (SEE PROPOSED PLOT PLAN OF LAND FOR PROPOSED IMPROVEMENTS PREPARED BY CONTROL POINT ASSOCIATES, INC.).
 - INSTALL UTILITIES AS SHOWN ON PROPOSED PLOT PLAN OF LAND FOR PROPOSED IMPROVEMENTS PREPARED BY CONTROL POINT ASSOCIATES, INC.
 - START CONSTRUCTION OF BUILDING ADDITION, BEER GARDEN AREA, AND PAVER AREA.
 - INSTALL CURBS (AS NEEDED).
 - PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 - PREPARE SITE FOR FINAL GRADING.
 - CONSTRUCT CONCRETE PADS AND SIDEWALKS.
 - PAVE AREAS SHOWN ON PROPOSED PLOT PLAN OF LAND FOR PROPOSED IMPROVEMENTS PREPARED BY CONTROL POINT ASSOCIATES, INC.
 - CONTRACTOR / CONSTRUCTION MANAGER TO COORDINATE WITH ENGINEER OF RECORD TO OBTAIN STABILIZED SITE STATUS.
 - CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION REPORT IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED.

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	LIMIT OF EASEMENT
	PAVEMENT SAWCUT
	STRAW WATTLE BARRIER
	CONCRETE WASHOUT AREA
	CONSTRUCTION FENCE
	TREE PROTECTION / ORANGE CONSTRUCTION FENCE

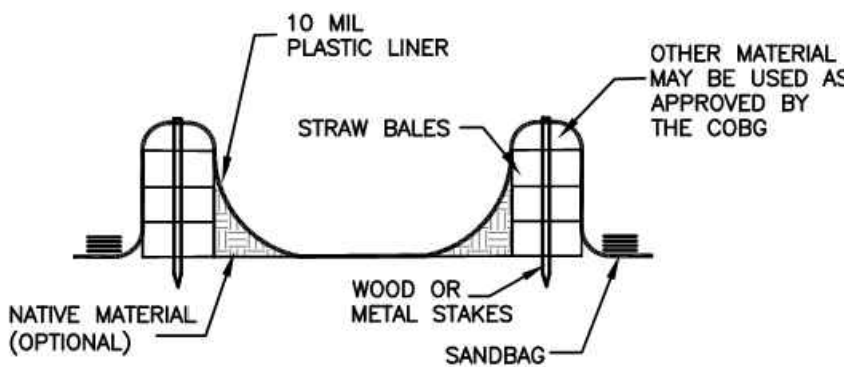
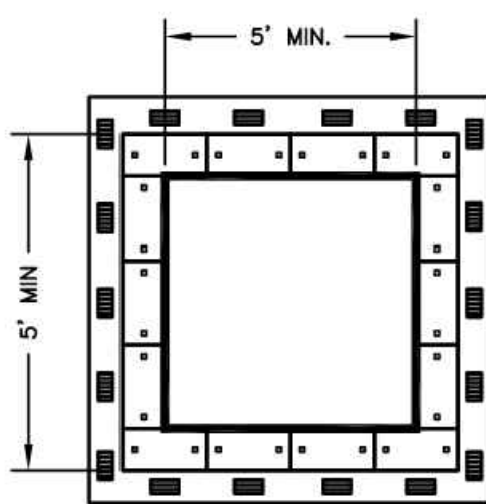
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- ACCORDING TO FLOOD MAP NUMBER 2502SC0017K, PANEL 17 OF 176, DATED 07/03/2024, PRODUCED BY FEMA, A PORTION OF THE SITE LIES WITHIN A ZONE "X" SHADED, AREAS OF 0.2% ANNUAL CHANCE OF FLOOD (500-YR FLOOD PLAIN).



STAKED STRAW WATTLE

SCALE: NTS



- NOTES:
- NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPING FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREETS OR STREAMS IS PERMITTED.
 - EXCESS CONCRETE IS NOT PERMITTED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY WASHOUT AREAS (REFER TO SHEET 2.32).
 - ONCE WASHOUT AREA IS 75% FULL, CONTRACTOR TO CLEAN OUT OR REPLACE AREA.
 - PLASTIC LINING SHALL BE MINIMUM 10 MIL. POLYETHYLENE SHEETING AND WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
 - HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF OFF-SITE. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.

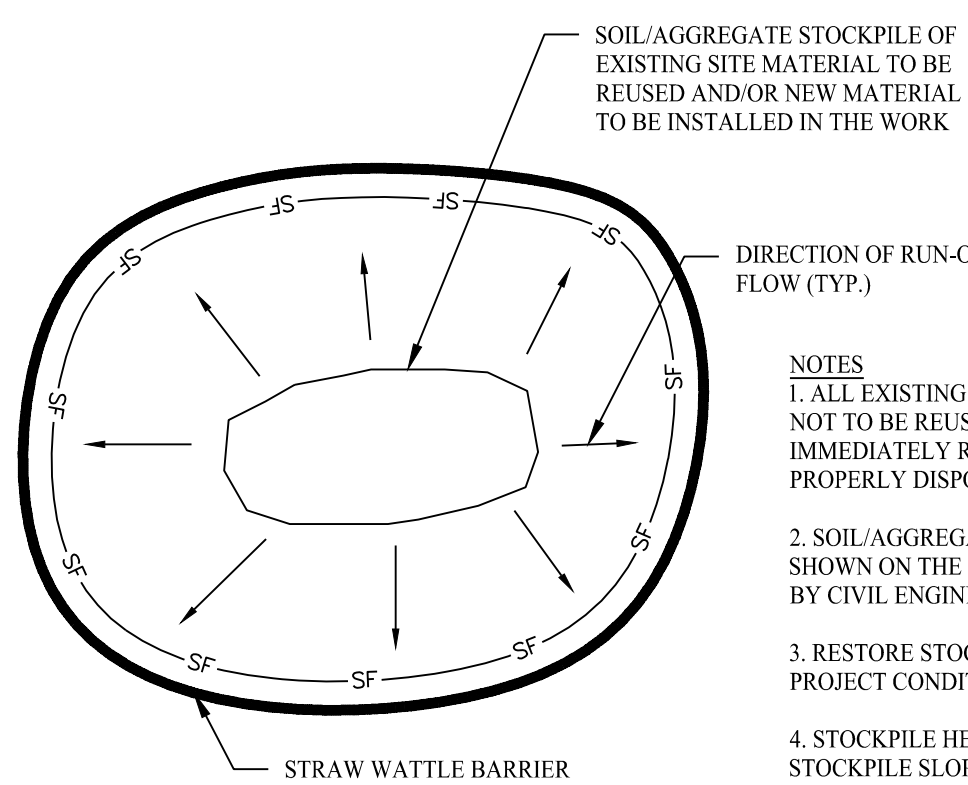
CONCRETE WASHOUT DETAIL

SCALE: NTS

REFER TO PROPOSED PLOT PLAN OF LAND FOR PROPOSED IMPROVEMENTS PREPARED BY CONTROL POINT ASSOCIATES, INC.

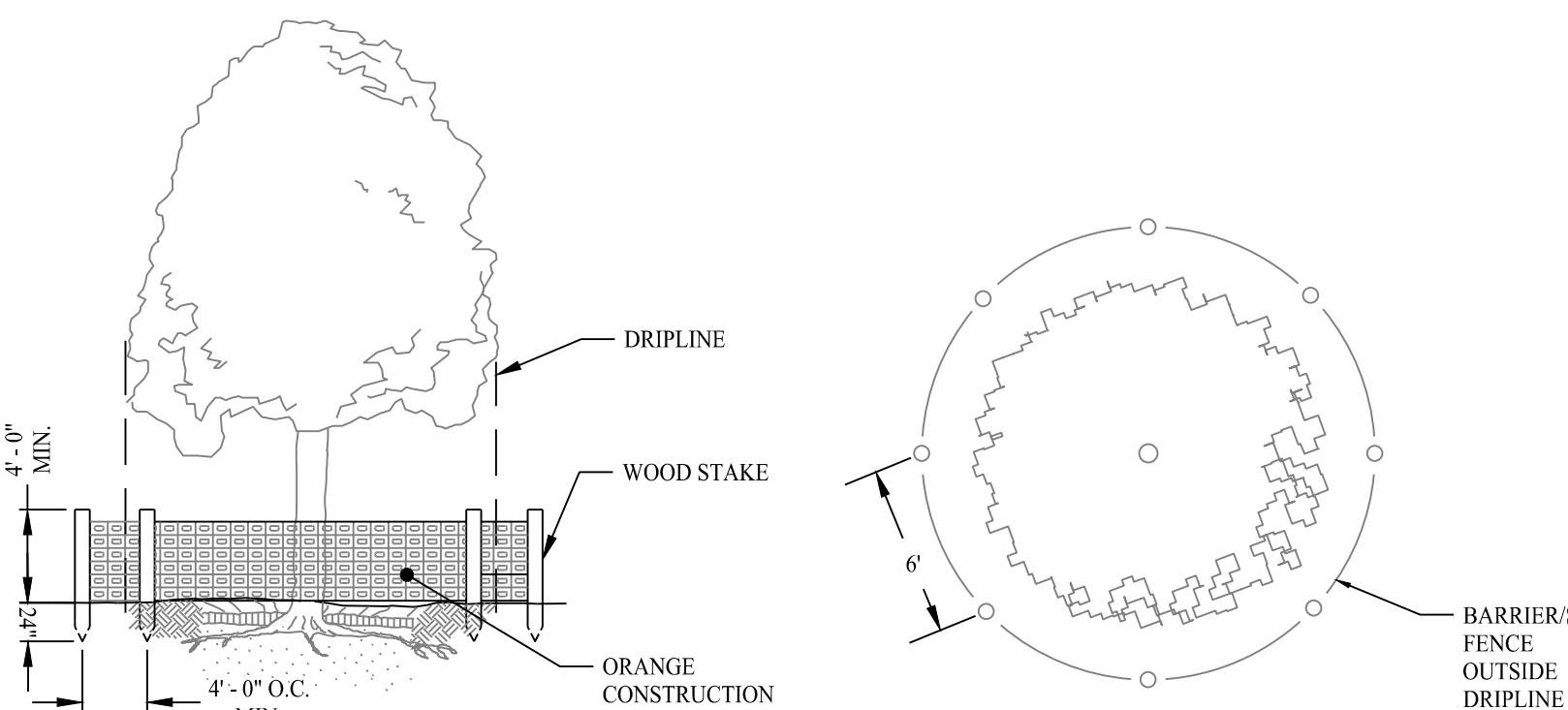
PHASE II - SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 20'



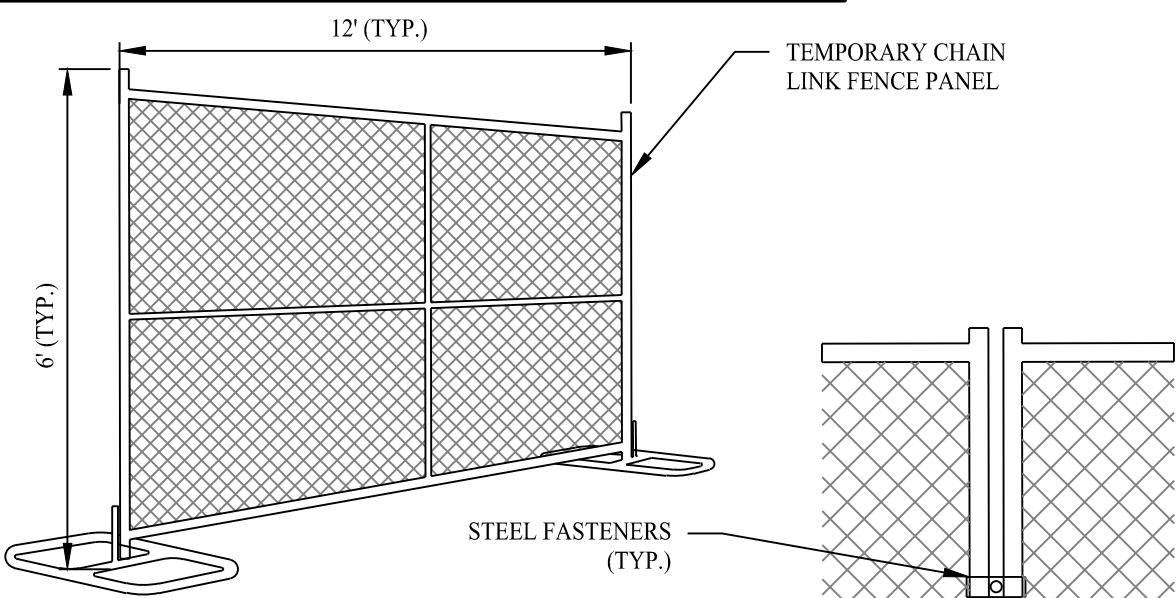
MATERIALS STOCKPILE DETAIL BARRIER

SCALE: NTS



TYPICAL TREE PROTECTION DETAIL

SCALE: NTS



TEMPORARY CONSTRUCTION FENCE DETAIL

SCALE: NTS

- NOTES:
- FENCING PANELS COMPLY WITH ASTM - A392-06 STANDARDS.
 - GALVANIZED STEEL, CORROSION-RESISTANT ZINC COATING.
 - 36" BASE STANDS FOR STABILITY, NO DIGGING OR POST SETTING REQUIRED. SAND BAGS TO BE USED FOR ADDED STABILITY.
 - TYPICAL FENCE WIDTH: 12". TYPICAL FENCE HEIGHT: 6".
 - SCREENING MADE OF RESILIENT HDPE POLYETHYLENE, WITH 88% BLOCKAGE.
 - REINFORCED SCREENING WITH HEMMED EDGES AND STEEL GROMMETS.
 - SCREEN HEIGHT: 5'-8" FOR 6' FENCE.
 - SCREEN COLORS: GREEN, TAN, BLUE, OR RED.

Rev. #: Date Description

Graphic Scale:



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Drawn By: STM

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Project #: 25200801

Plan Date: 01/25/25

Scale: 1" = 20'

Project:
PROPOSED ARLINGTON BREWING COMPANY

15 RYDER STREET
ARLINGTON, MASSACHUSETTS
OWNER: ABCJ LAND LLC
MAP 57 BLOCK 2 LOT 11

Sheet Title:
**PHASE II
EROSION &
SEDIMENT
CONTROL PLAN**

Sheet #:

2.02

