



Rojas

821 MASSACHUSETTS AVENUE

ARLINGTON REDEVELOPMENT BOARD SUBMISSION - NEW CONSTRUCTION



821 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476

SUBMISSION SET
03/10/2025



SHEET LIST	
Sheet Number	Sheet Title
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L- 02	PROPOSED SITE LAYOUT & MATERIALS PLAN
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C- 01	EXISTING CONDITIONS PLAN
C- 02	PROPOSED CONDITIONS DRAINAGE PLAN
	BOSTON LIGHT SOURCE - PHOTOMETRIC SITE PLAN

Owner

**Geoffrey Noyes
Noyes Realty, LLP**

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Marblehead MA 01945

(781) 631-1123

Architecture | Interior Design |
Landscape Architecture

Rojas Design, Inc.

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Boston MA 02118

(617) 720-4100

RD 2958

Surveyor

Rober Survey

1072 Massachusetts Avenue
Arlington MA 02476

(781) 648-5533

Civil Engineer

**Gala Simon Associates,
Inc.**

394 Lowell Street Suite 18
Lexington MA 02420

(781) 266-8179

821
MASSACHUSETTS
AVENUE
ARLINGTON MA
02476

ARLINGTON
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BOARD SUBMISSION

Job: 2958
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SITE PLAN WITH
EXISTING
BUILDING &
TREES

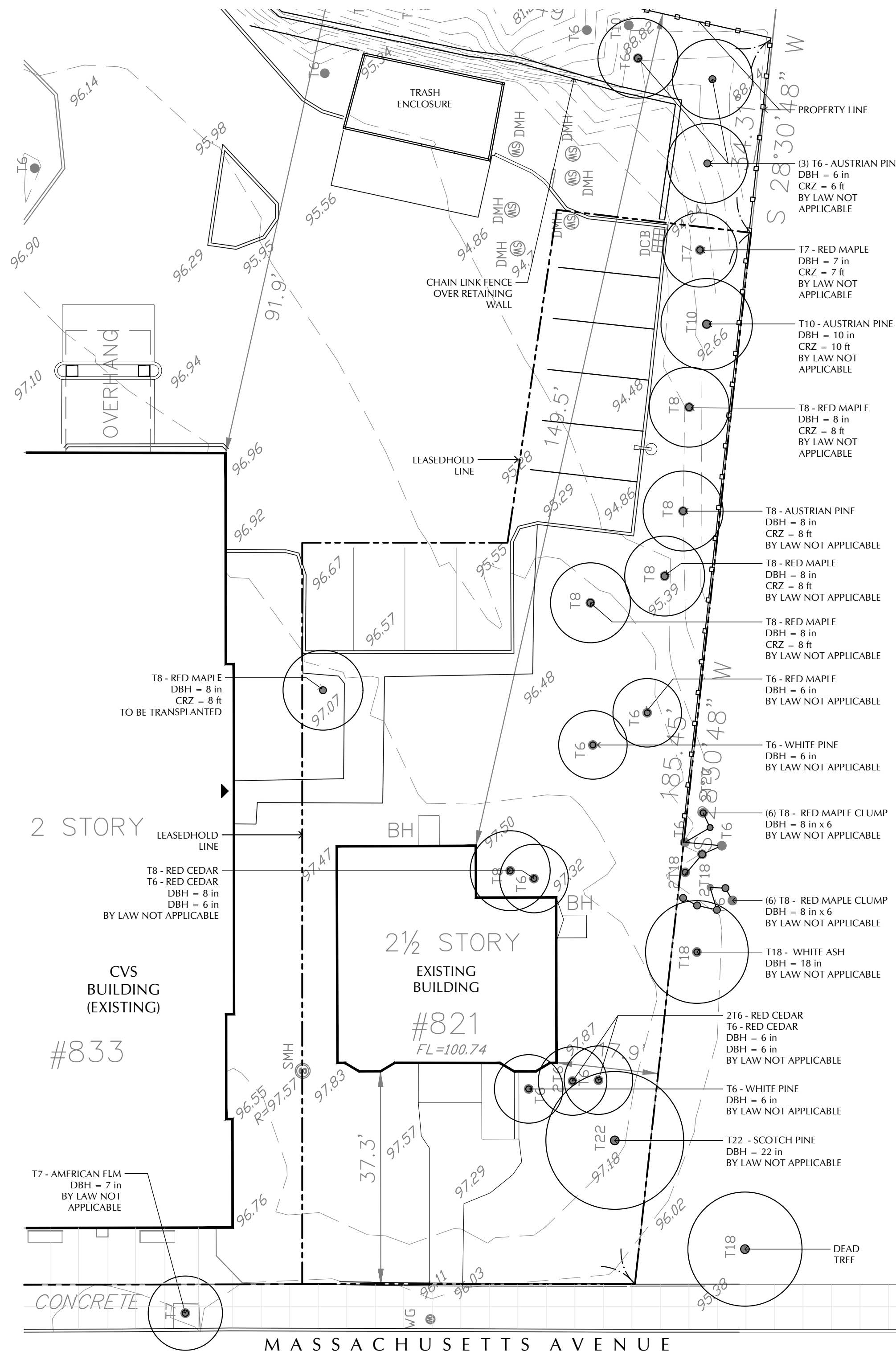
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EX-01



1 SITE PLAN WITH EXISTING BUILDING & TREES

SCALE: 1" = 15'-0"



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TREE
PROTECTION &
REMOVAL PLAN
& DETAILS

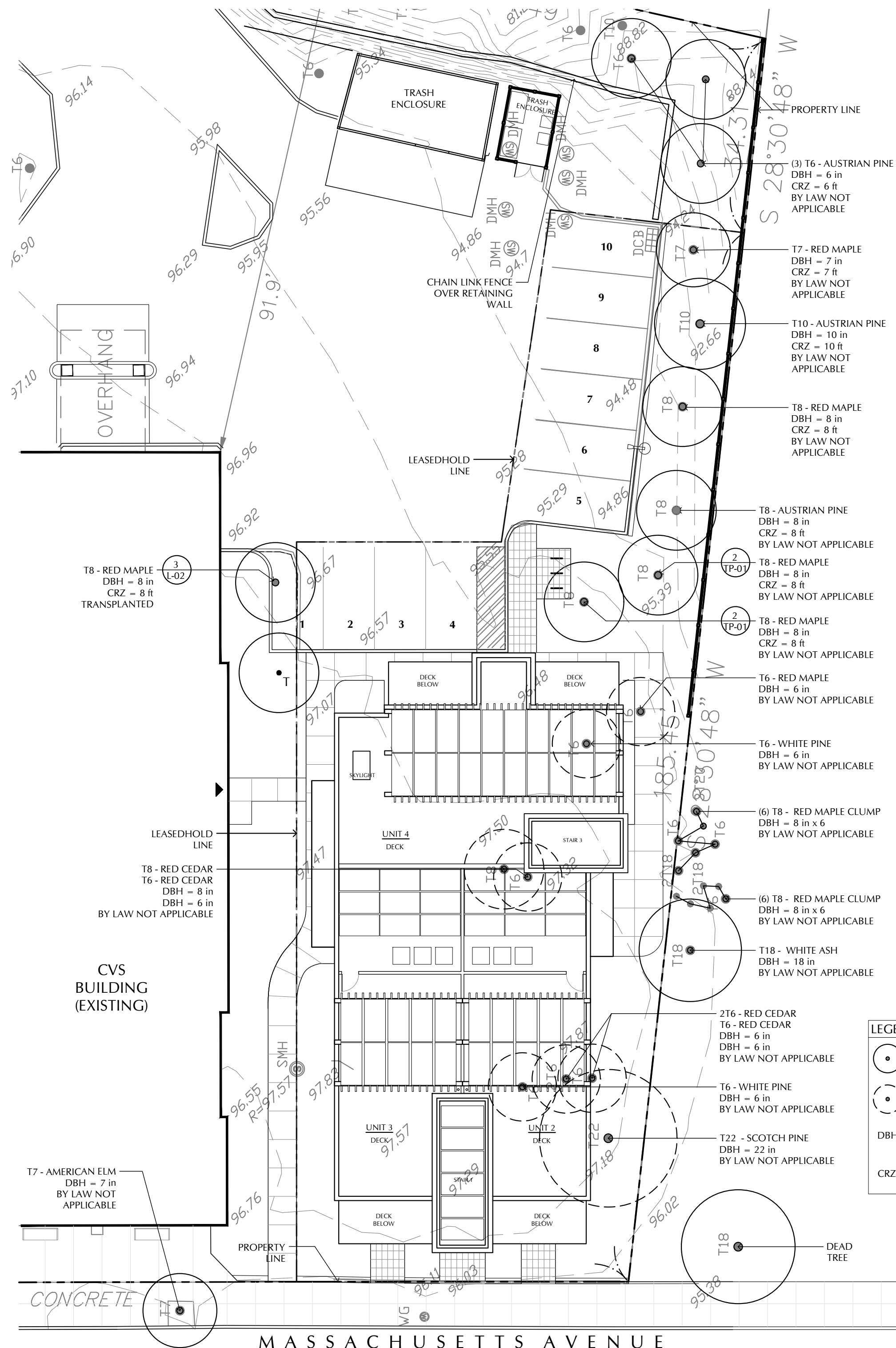
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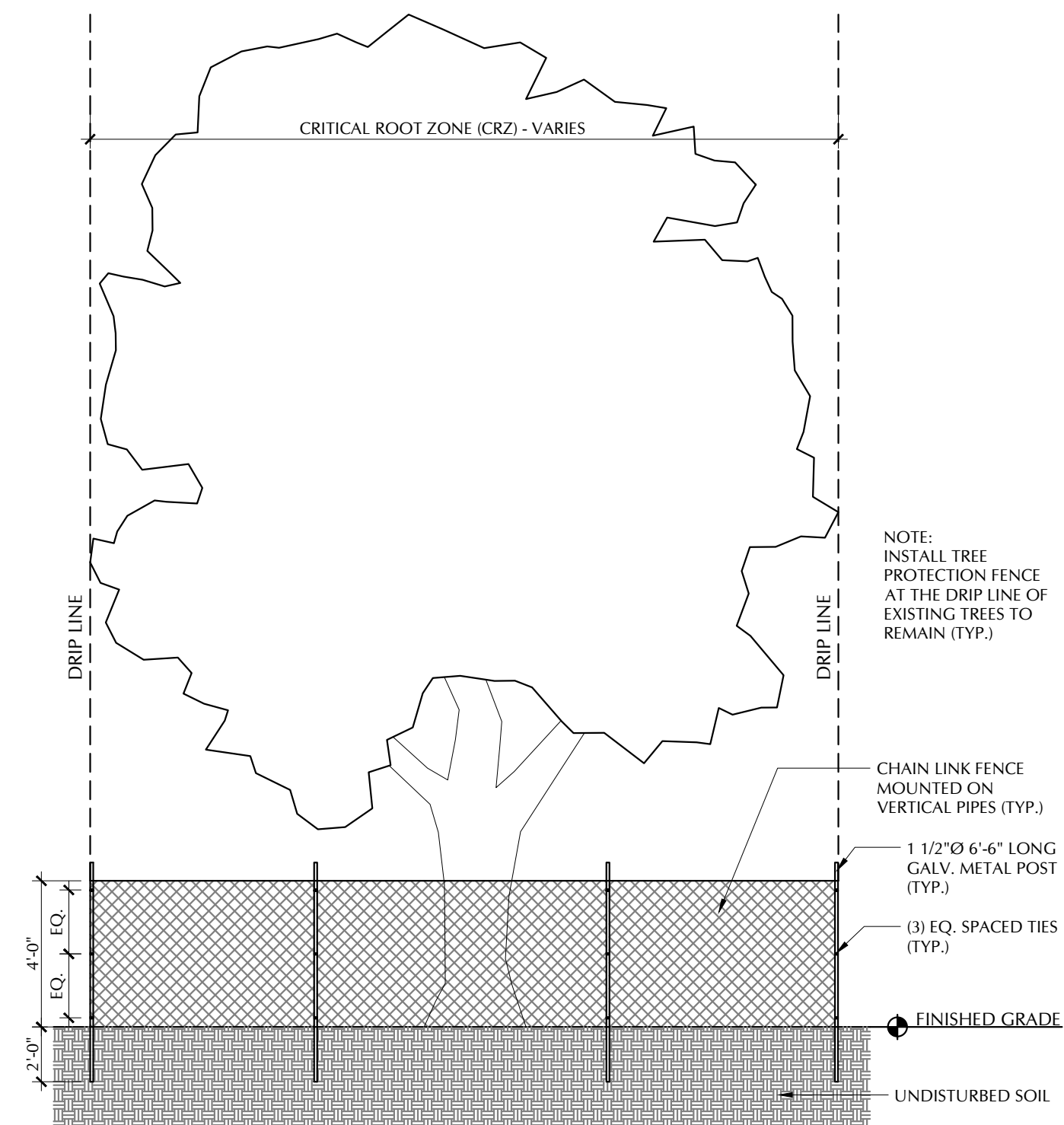
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TP-01

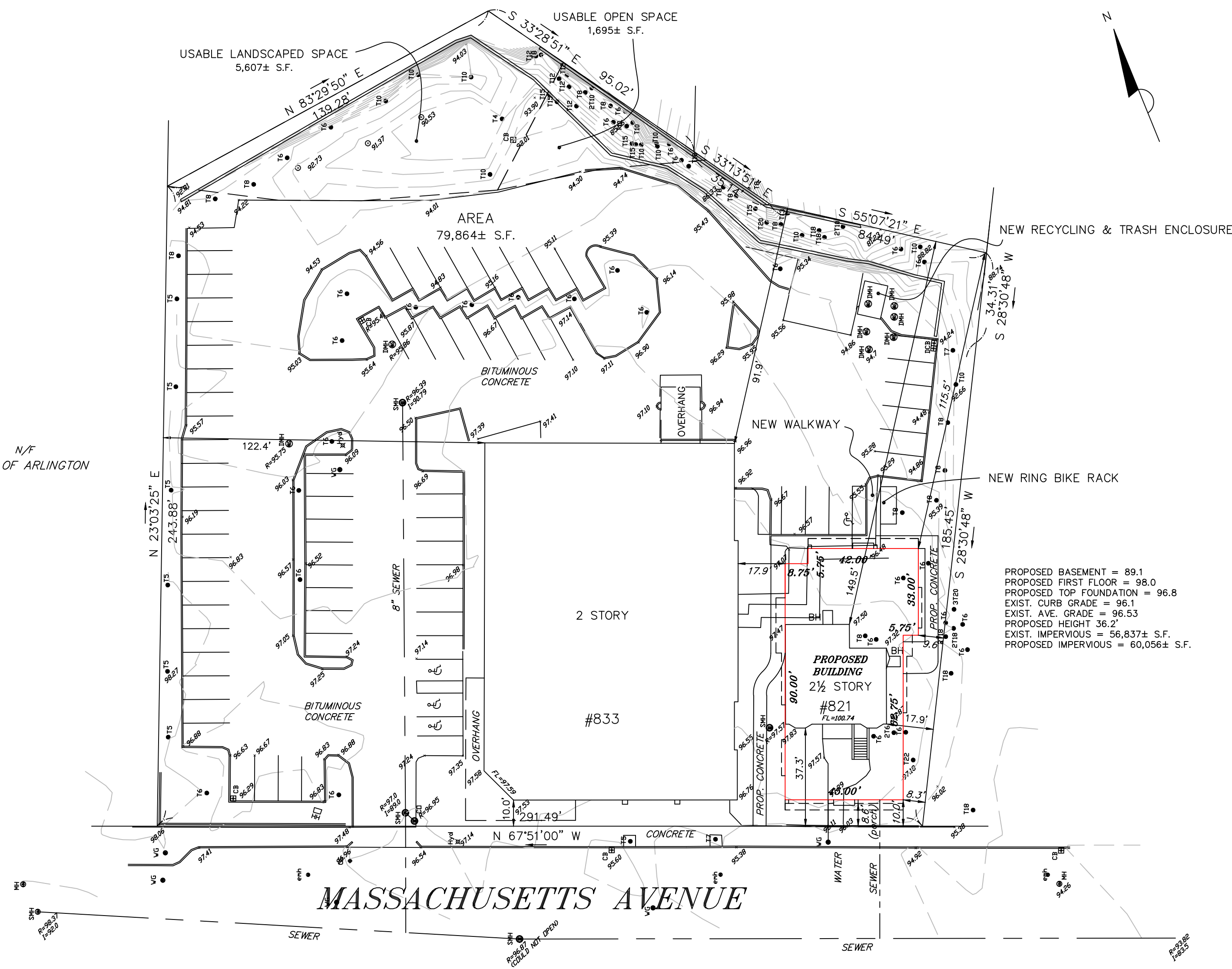


1 TREE PROTECTION & REMOVAL PLAN

SCALE: 1" = 15'-0"



2 TREE PROTECTION DETAIL



LEGEND	
BH	BULKHEAD
CB	CATCH BASIN
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
EMH	ELECTRIC MANHOLE
FL	FLOOR
GG	GAS GATE
HH	HANDHOLD
HYD	HYDRANT
SMH	SEWER MANHOLE
T8	8" TREE
WG	WATER GATE
HP	HANDICAP PARKING
SE	SPOT GRADE ELEVATION

I HEREBY CERTIFY THAT THE BUILDING IS LOCATED AS SHOWN.

Scott

7/25/2023

SCOTT LYNCH, PLS DATE
THIS PLAN MAY HAVE BEEN ALTERED IF THE SIGNATURE IS NOT SIGNED IN BLUE.



UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-800-322-4844. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

PREPARED FOR: GEOFFREY NOYES

PROPOSED PLOT PLAN
#821-833 MASSACHUSETTS AVENUE
IN
ARLINGTON, MA
(MIDDLESEX COUNTY)
SCALE: 1"= 30' DATE: 7/25/2023

ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
7239PP3.DWG

821
MASSACHUSETTS
AVENUE
ARLINGTON MA
02476

ARLINGTON
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BOARD SUBMISSION

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PROPOSED
PARTIAL
BLOCK PLAN
& ELEVATION

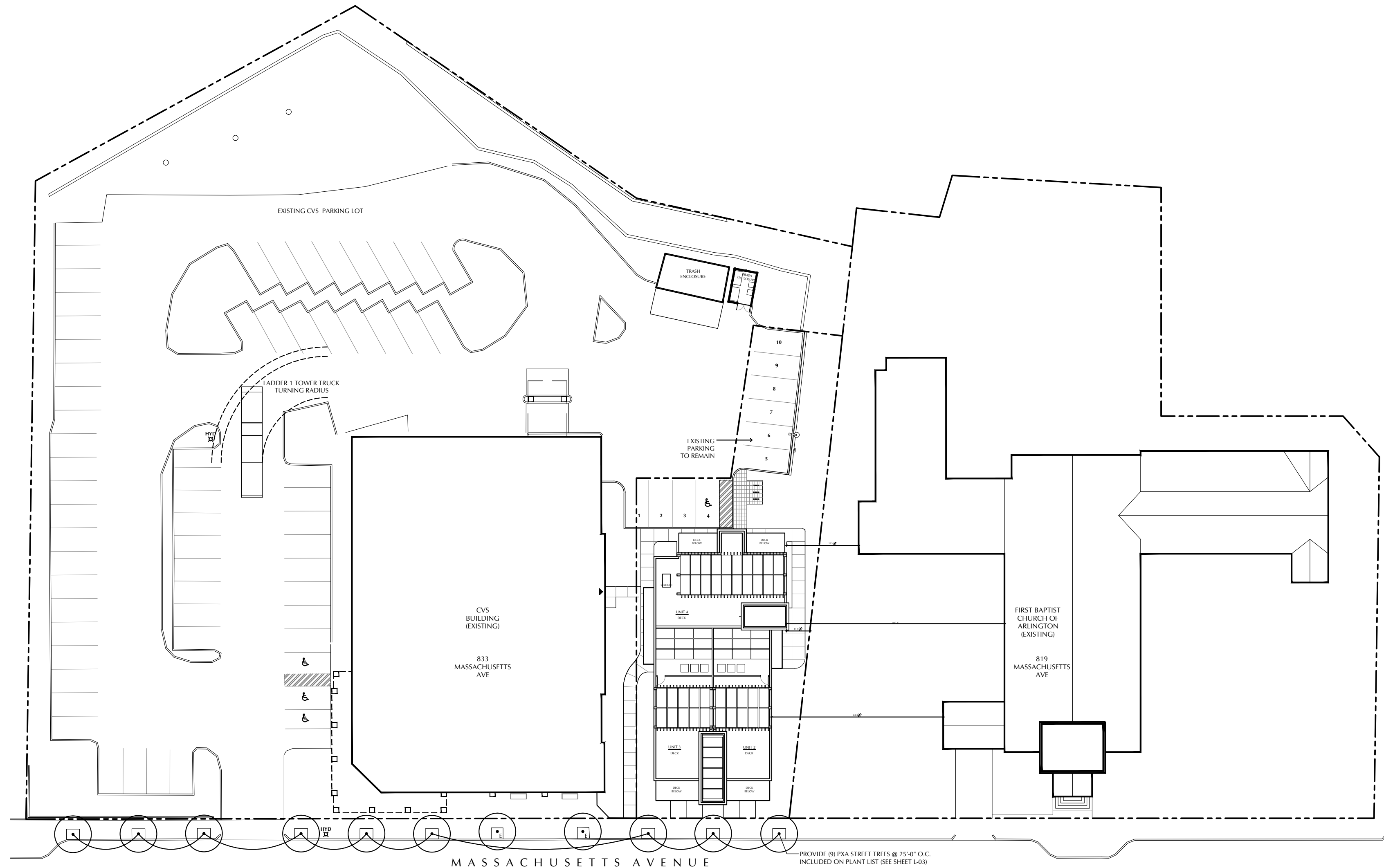
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L-01



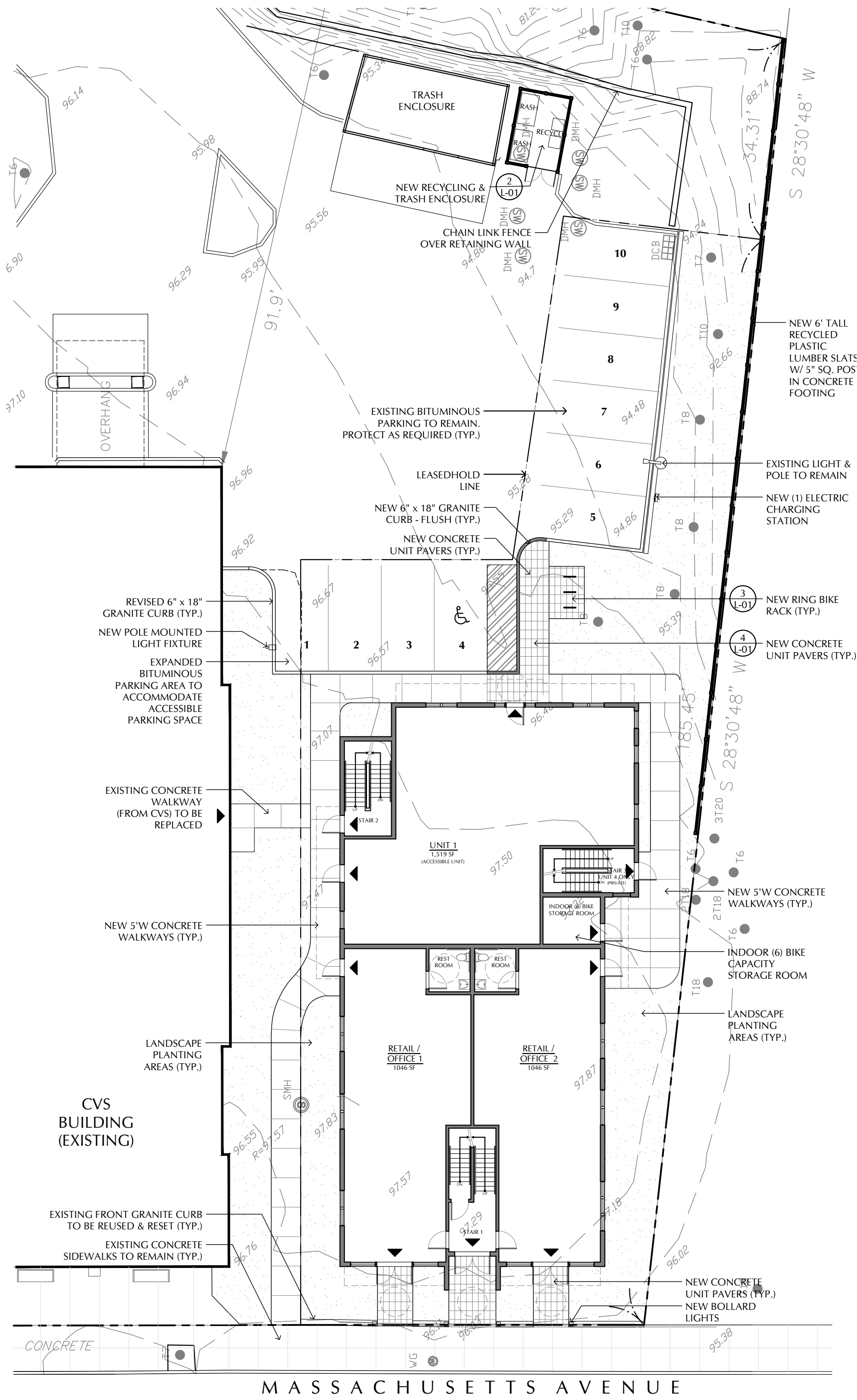
1 PROPOSED PARTIAL BLOCK PLAN

SCALE: 1" = 30'-0"
30' 15' 0 30'

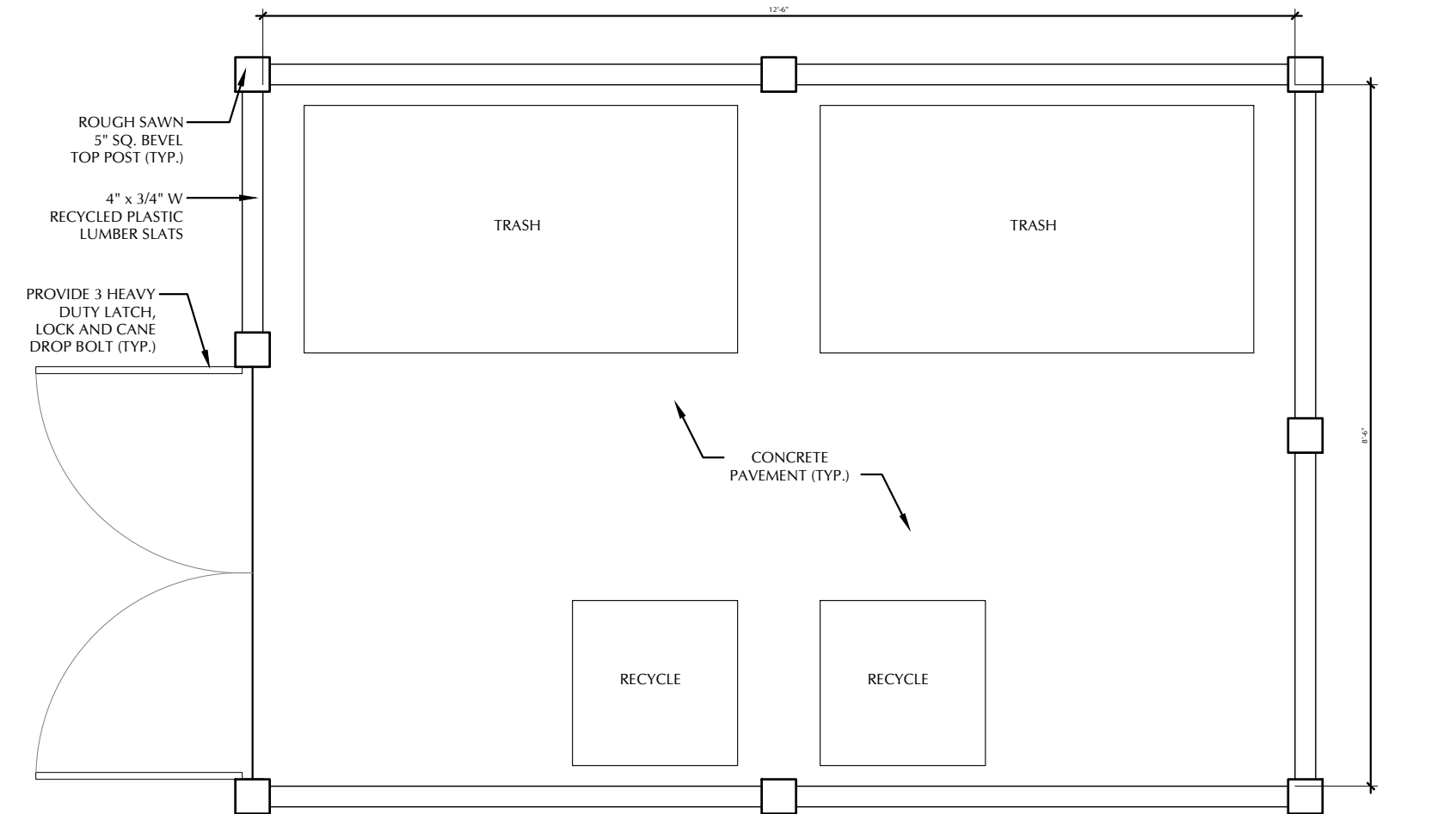
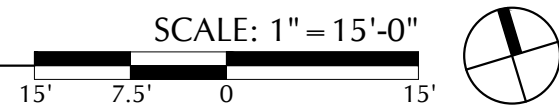


2 PROPOSED PARTIAL BLOCK ELEVATION

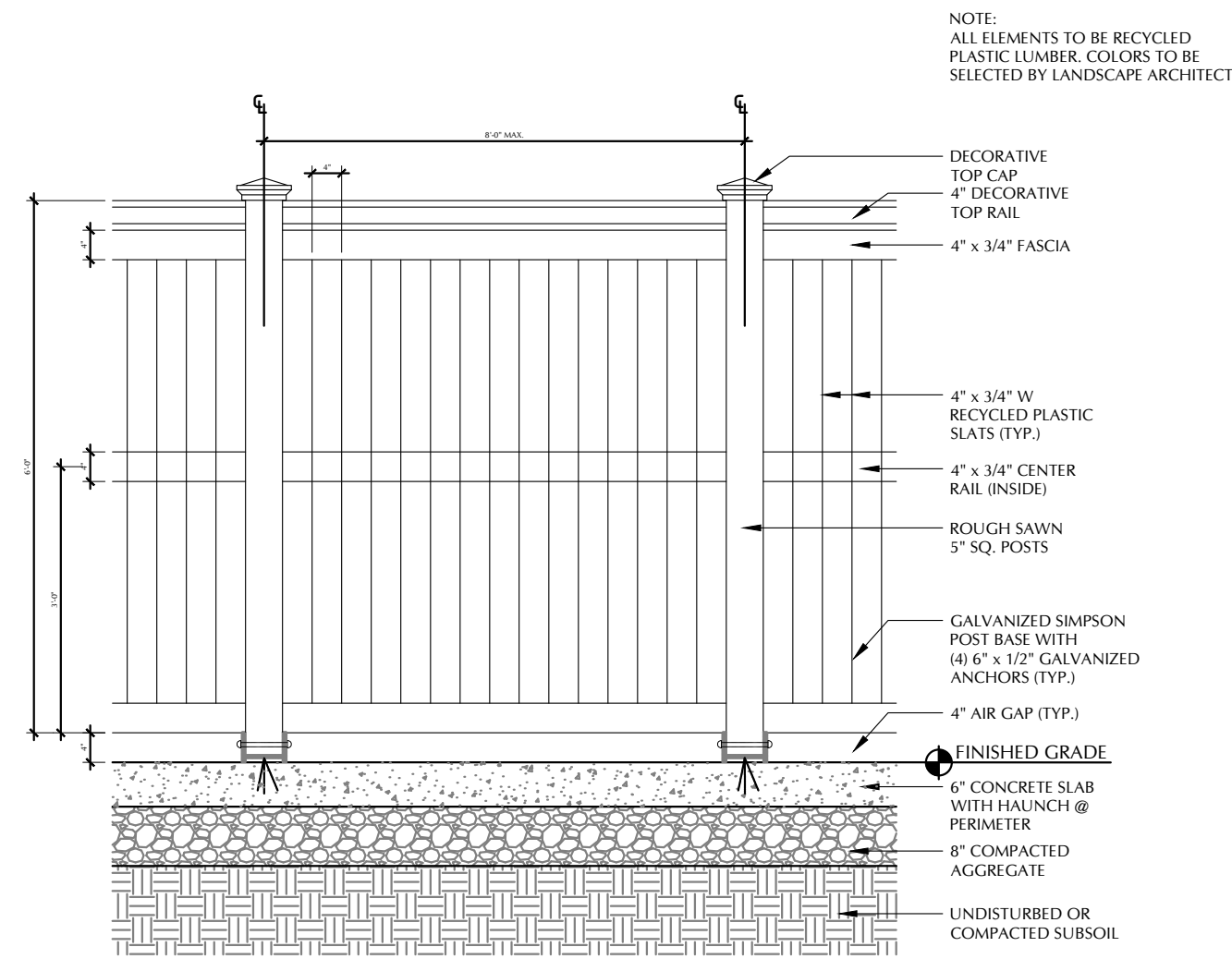
SCALE: 1" = 30'-0"
30' 15' 0 30'



1 PROPOSED SITE LAYOUT & MATERIALS PLAN



2 TRASH ENCLOSURE PLAN & ELEVATION



3 RING BIKE RACK DETAIL

NTS

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PROPOSED SITE
LAYOUT &
MATERIALS
PLAN & DETAIL

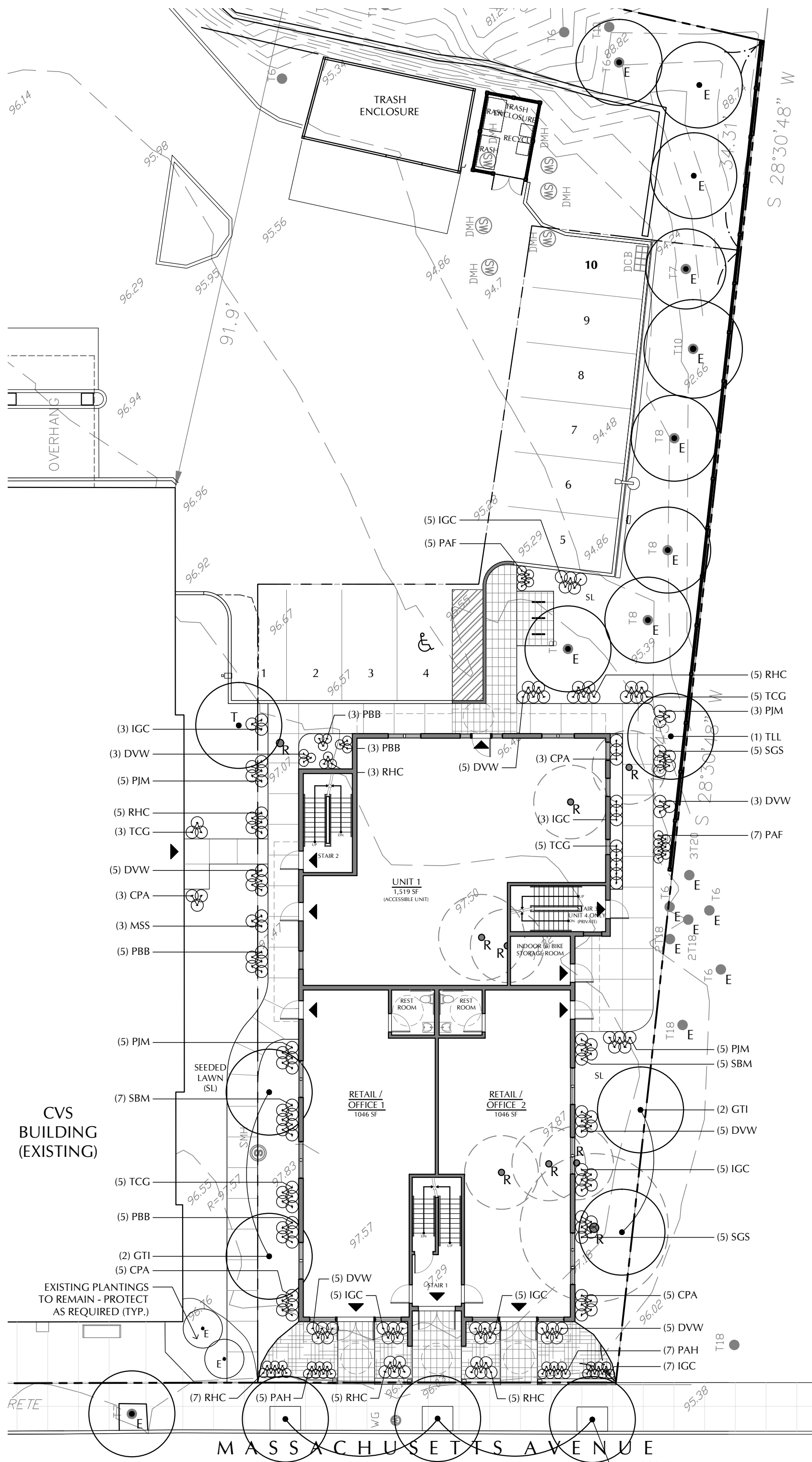
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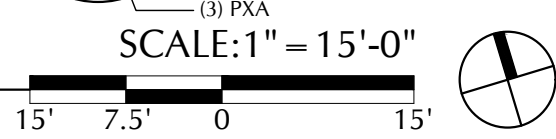
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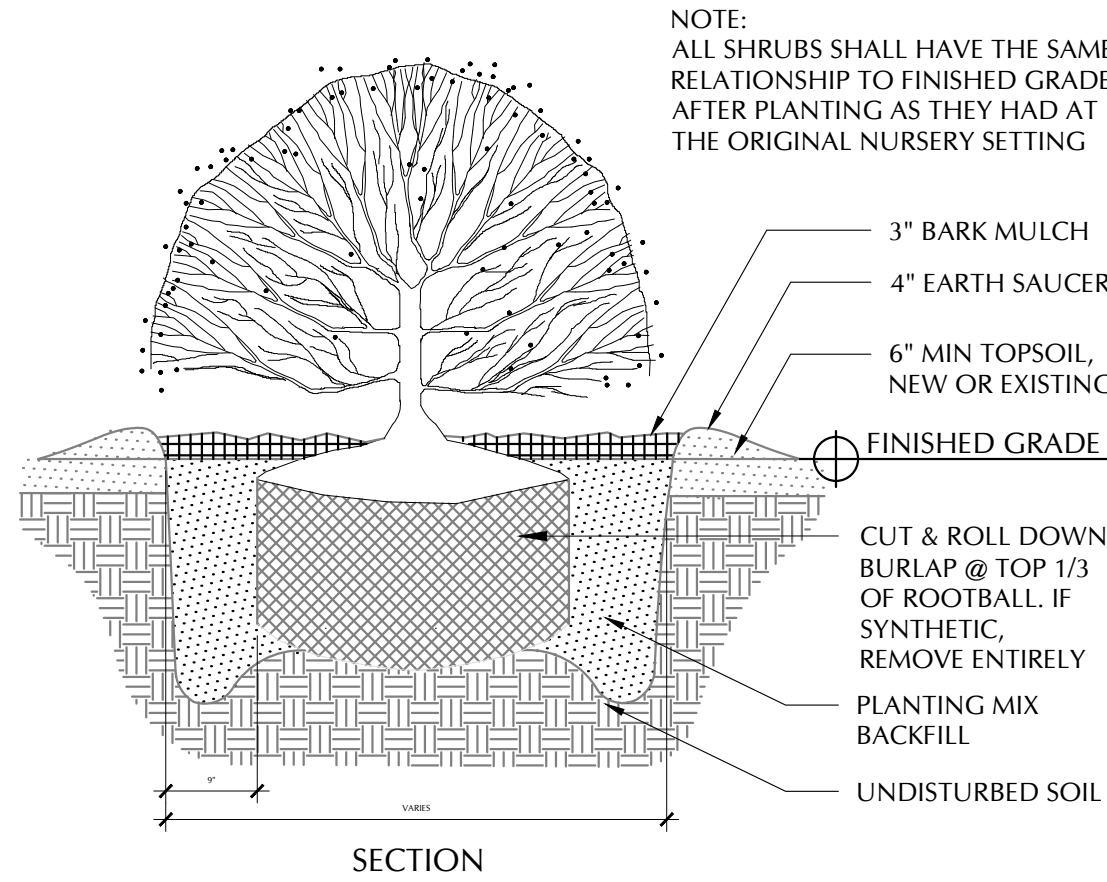
L-02



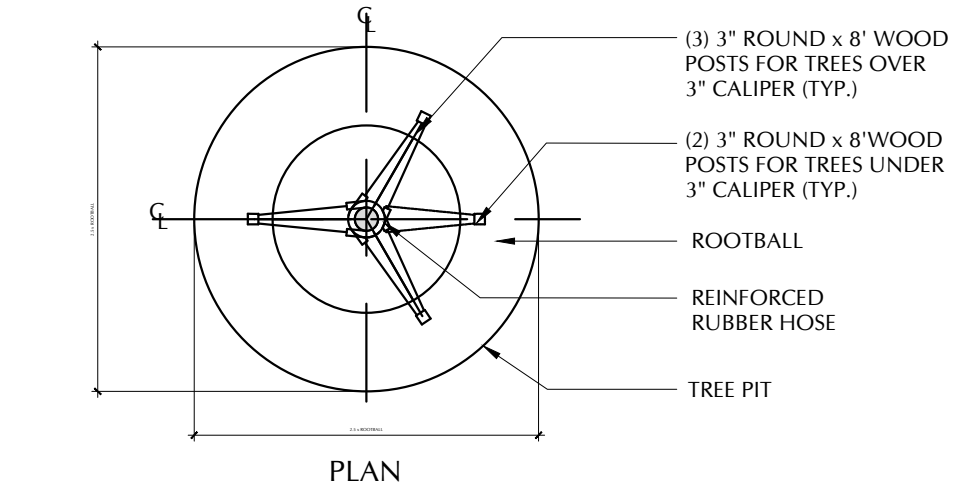
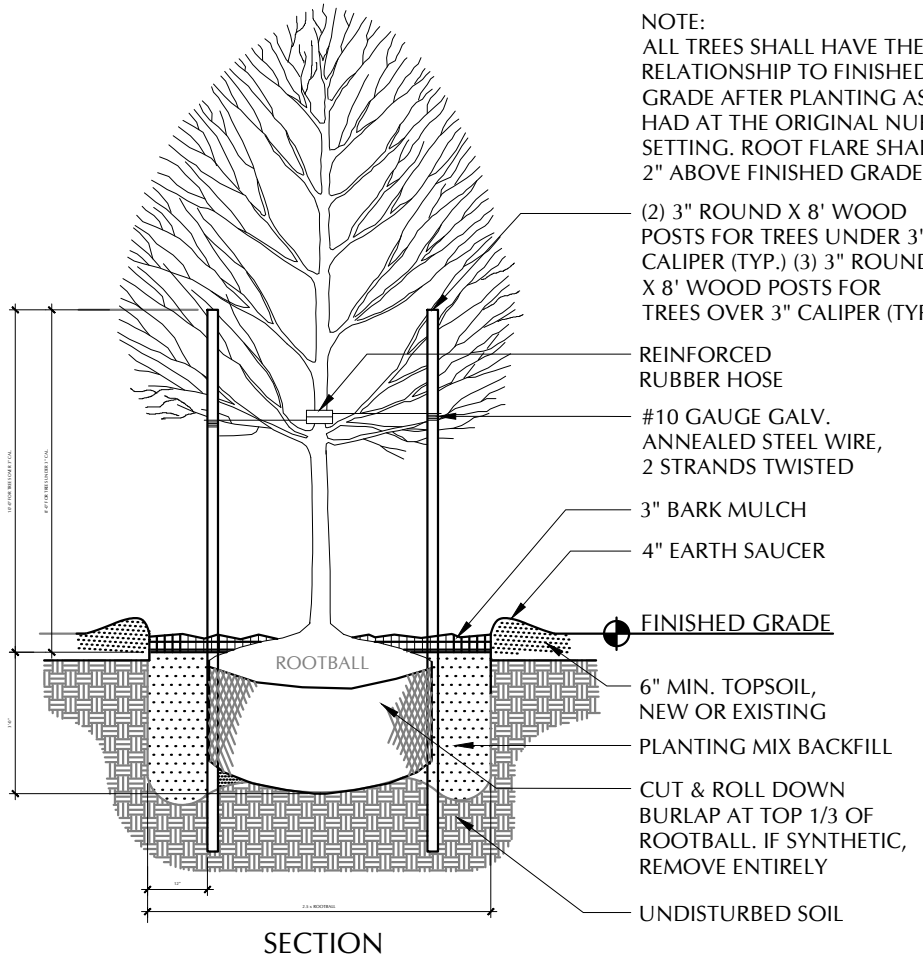
1 PROPOSED PLANTING PLAN



821 MASSACHUSETTS AVENUE, ARLINGTON MA			PLANT LIST		ROJAS DESIGN, INC.		RD 2958	12/27/2024										
TYPE	SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS											
	E	R	T	GTI	PXA	TLL	CPA	DVW	IGC	PBB	PJM	RHC	SBM	TCG	LSP	MSS	PAF	SGS
TREES	11	EXISTING TREE	EXISTING TREE	IN PLACE	TO REMAIN	PROTECT AS REQUIRED - PROVIDE CLASS 'A' PRUNING AS DIRECTED BY L.A.												
	8	REMOVE TREE	REMOVE TREE	EXISTING	REMOVE	REMOVE TREE AND STUMP IN THEIR ENTIRETY												
	1	TRANSPALNTED TREE - MAPLE TREE	TRANSPALNTED TREE	EXISTING	TRANSPALNTED	TRANSPALNT TREE, LOCATION AS SHOWN ON DRAWINGS												
	4	CLEDITSA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	3"-3 1/2" CAL.	B & B	PRUNE BRANCHING TO 6'-0" ABOVE FINISHED GRADE												
	9	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	3"-3 1/2" CAL.	B & B	PRUNE BRANCHING TO 6'-0" ABOVE FINISHED GRADE												
	1	TILIA CORDATA	LITTLE LEAF LINDEN	3"-3 1/2" CAL.	B & B	PRUNE BRANCHING TO 6'-0" ABOVE FINISHED GRADE												
	16	CHAMAECYPARIS PISIFERA 'FILIFERA AUREA'	GOLDEN THREADLEAF CYPRESS	2'-0" - 2'-6" SPREAD	B & B	YELLOW/GOLD COLOR YEAR-ROUND - BROAD DOME FORM - SPACING @ 2'-0" O.C. - EVERGREEN												
	31	RHODODENDRON 'DELAWARE VALLEY WHITE'	'DELAWARE VALLEY WHITE' AZALEA	2'-6" - 3'-0" TALL	B & B	WHITE FLOWERS - BLOOMS APRIL - MAY - SPACING AT 2'-6" O.C. - EVERGREEN												
	35	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	2'-6" - 3'-0" TALL	B & B	EVERGREEN DENSE MOUNDED FORM - SPACING AT 2'-6" O.C.												
	16	PIERIS 'BROWERS BEAUTY'	BROWERS BEAUTY ANDROMEDA	2'-6" - 3'-0" TALL	B & B	CREAMY WHITE FLOWER - BLOOMS LATE APRIL SPACING AT 2'-6" O.C.												
SHRUBS	18	RHODODENDRON 'PJM'	'PJM' RHODODENDRON	2'-6" - 3'-0" TALL	B & B	MAGENTA FLOWERS - BLOOMS LATE SPRING - EARLY SUMMER - SPACING AT 2'-6" O.C. - EVERGREEN												
	32	RHODODENDRON 'HINO-CRIMSON'	HINO-CRIMSON AZALEA	2'-6" - 3'-0" TALL	B & B	FUCHSIA FLOWERS - BLOOMS LATE SPRING EARLY SUMMER - SPACING AT 2'-6" O.C. - EVERGREEN												
	12	SPIRAEA X BUMALDA 'ANTHONY WATERER'	SPIREA BUMALDA 'ANTHONY WATERER'	2'-6" - 3'-0" TALL	B & B	SMALL WHITE FLOWERS - BLOOMS IN MAY SPACING AT 2'-6" O.C.												
	22	TAXUS CLUPIDATA 'GREENWAVE'	GREENWAVE JAPANESE YEW	2'-6" - 3'-0" SPREAD	B & B	EVERGREEN WITH LOW MOUNDED FORM SPACING AT 2'-6" O.C.												
	340	LIRIOPE SPICATA	CREEPIING LIRIOPE	12" SPREAD	1 GAL	FLOWERS LATE SUMMER WITH PALE VIOLET FLOWERS - SPACING 8 PLANTS PER 10 SF OF BED												
	3	MISCANTHUS SINENSIS 'STRICTUS'	ZEBRA GRASS	4'-0" - 7'-0" TALL	3 GAL	GREEN AND YELLOW BANDED BLADES WITH YELLOW FLOWERS - BLOOMS JULY - SEPTEMBER												
	12	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	2'-6" - 3'-0" TALL	3 GAL	FOUNTAIN SHAPED FORM WITH DARK GREEN BLADES AND BUFF WHITE FLOWERS IN JULY - OCTOBER												
	12	PENNISETUM ALOPECUROIDES 'HAMELIN'	DWARF EARLY ROSE FOUNTAIN GRASS	1'-6" - 2'-6" TALL	3 GAL	DENSE CLUMPED GROWTH WITH UPRIGHT MOUNDS OF PURPLE FLOWERS												
	10	MISCANTHUS SINENSIS 'GRACILLIMUS'	SILVER OR EULALIA GRASS	4'-0" - 7'-0" TALL	3 GAL	UPRIGHT FORM WITH FEATHERY CREAM FLOWERS - BLOOMS IN LATE SEPTEMBER - OCTOBER												
	GRASSES	SL	470 SY	SEEDD LAWN	PEARL'S PREMIUM SUN-SHADE MIX	6" CLEAM LOAM MIX	SLICE SEEDING OR HYDROSEEDING FOR FULL COVERAGE OF NOTED AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION AND LANDSCAPING (TYP.)											



2 SHRUB PLANTING DETAIL



3 TREE PLANTING PLAN

821
MASSACHUSETTS
AVENUE
ARLINGTON MA
02476

ARLINGTON
REDEVELOPMENT
BOARD SUBMISSION

Job: 2958
Date: 03/10/2025
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Drawn: ISP
Checked: ATR

PROPOSED
PLANTING PLAN
& PLANT LIST



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L-03

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PROPOSED
FIRST FLOOR &
SECOND FLOOR
PLANS

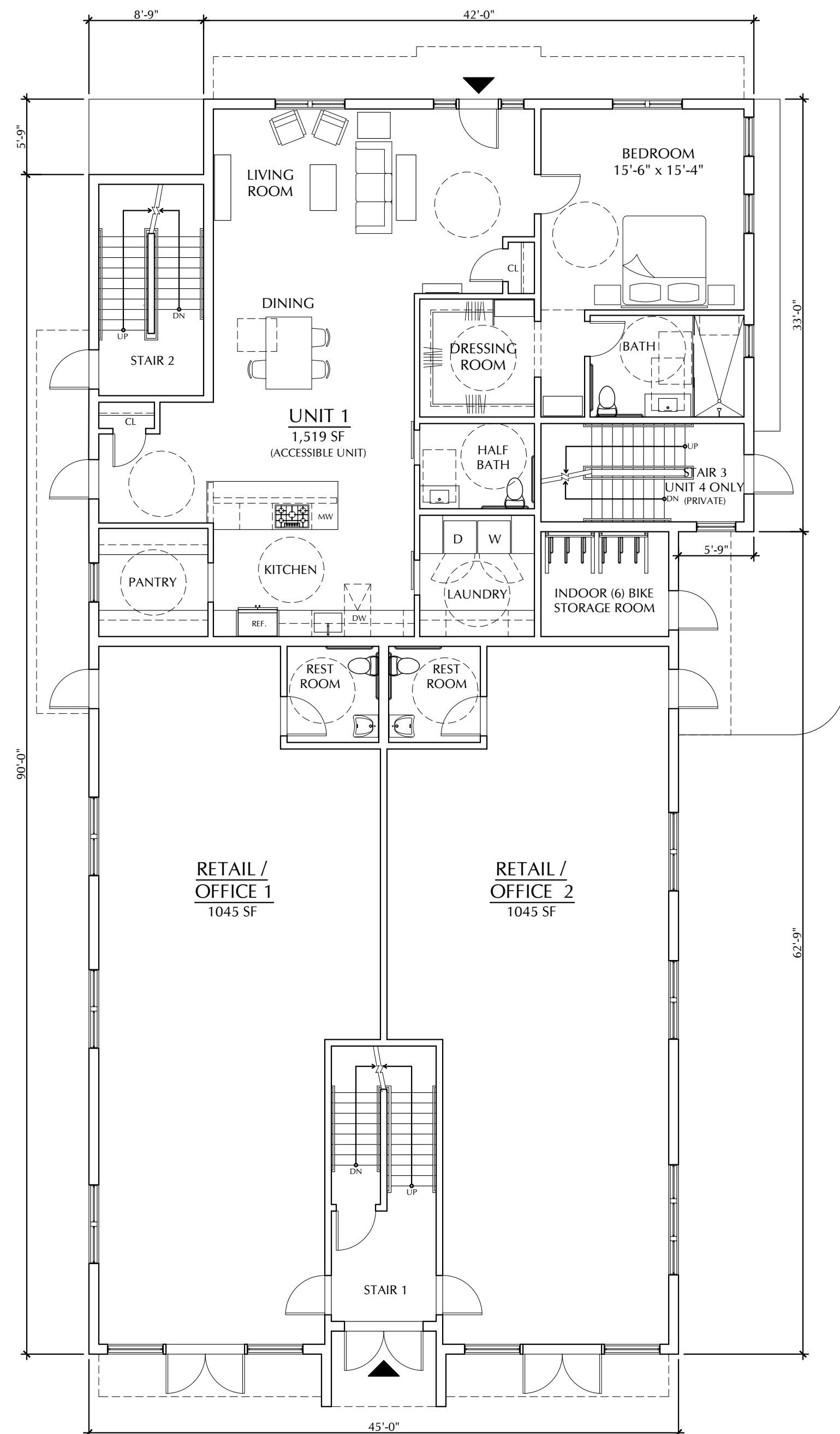
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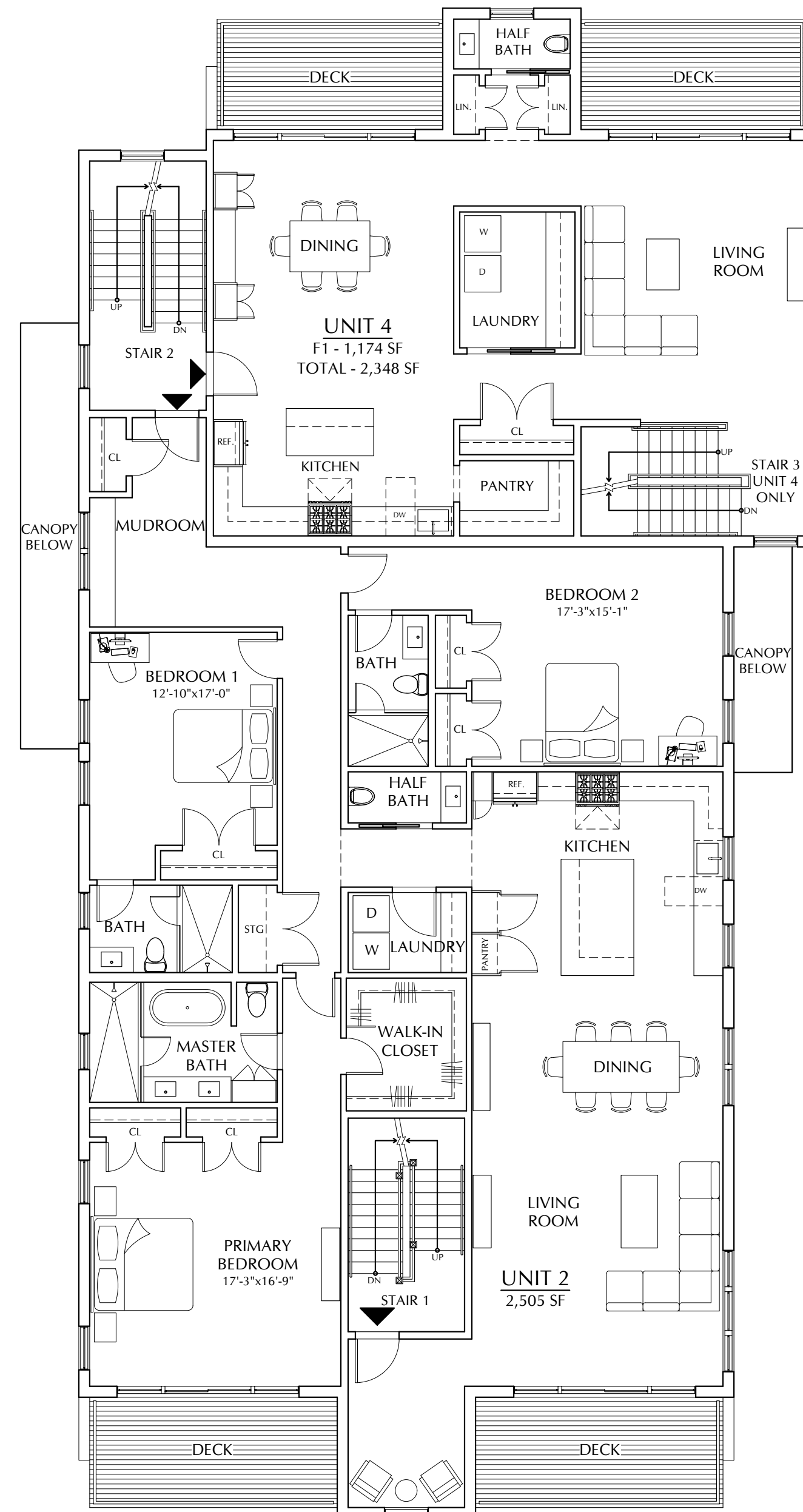
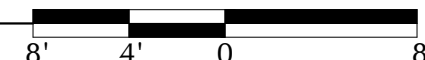
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A-01



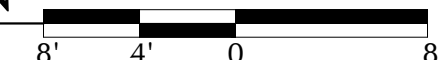
1 PROPOSED FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



Job: 2958
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PROPOSED
THIRD FLOOR
& ROOF PLAN

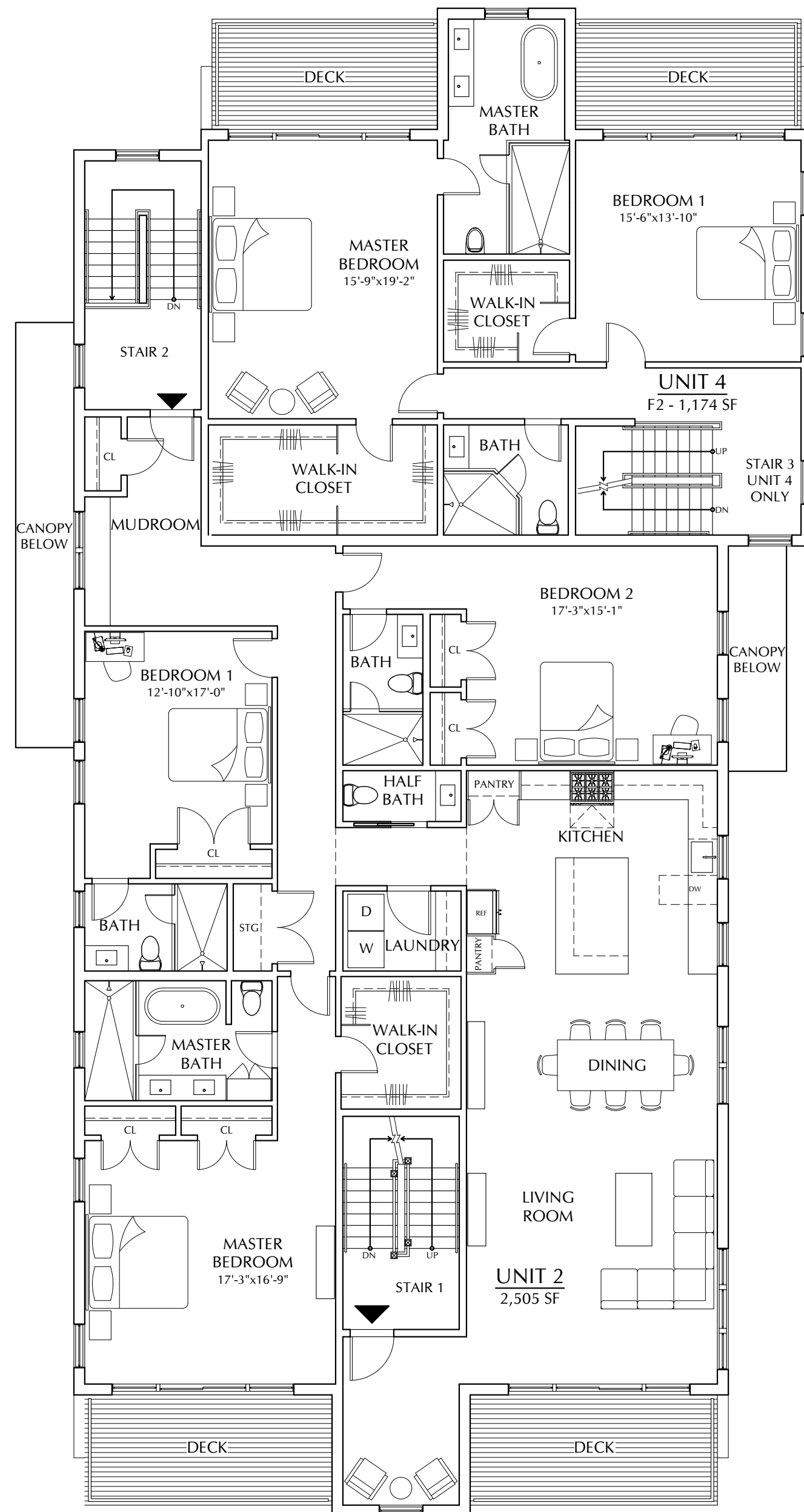
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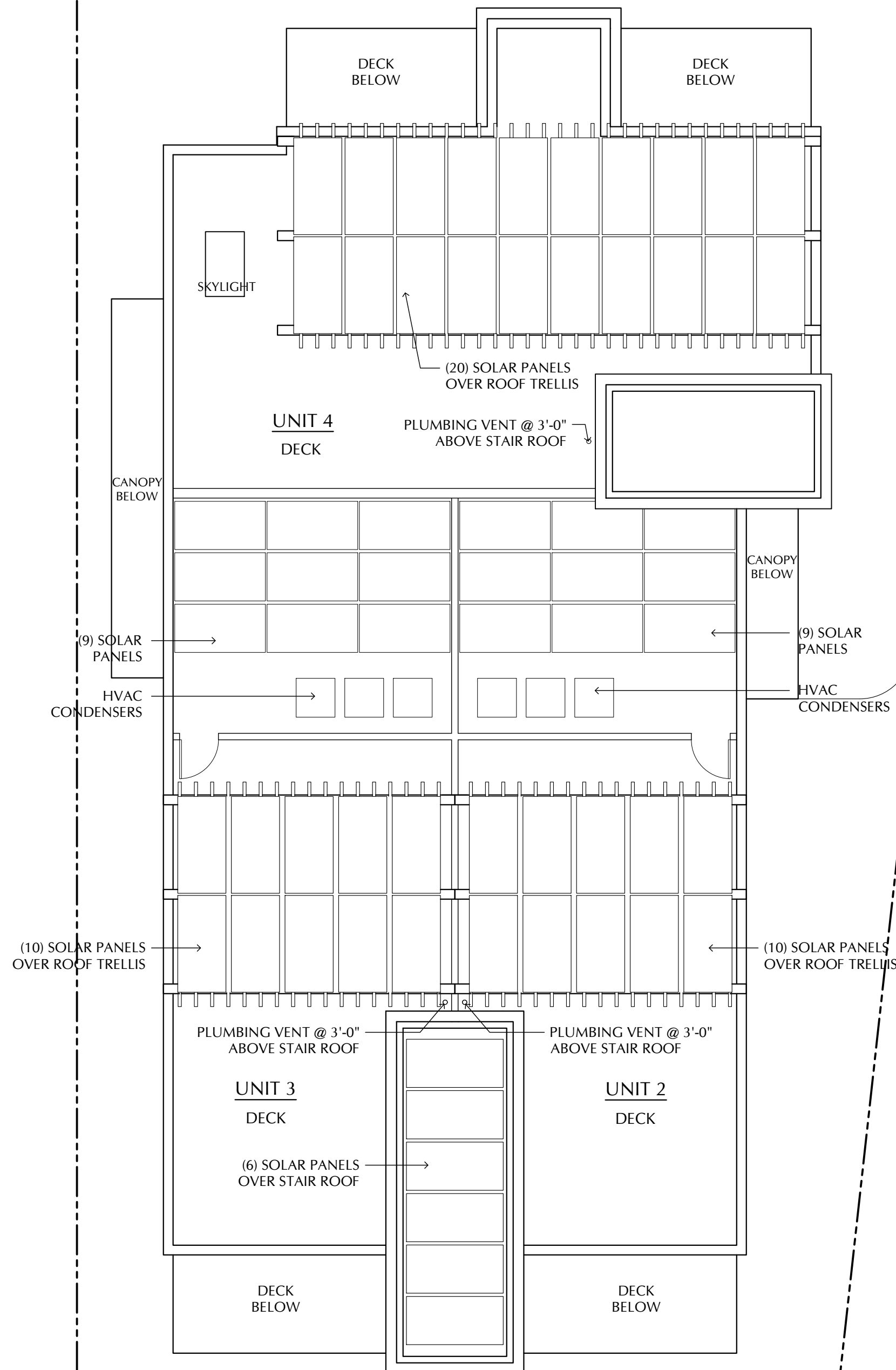
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A-02



1 PROPOSED THIRD FLOOR PLAN SCALE: 1/8" = 1'-0"



2 PROPOSED ROOF PLAN
REFER TO SOLAR PACKAGE FOR
PANEL & SYSTEM SPECIFICS SCALE: 1/8" = 1'-0"

821
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PROPOSED
BASEMENT PLAN,
FRONT (SOUTH)
ELEVATION &
REAR (NORTH)
ELEVATION

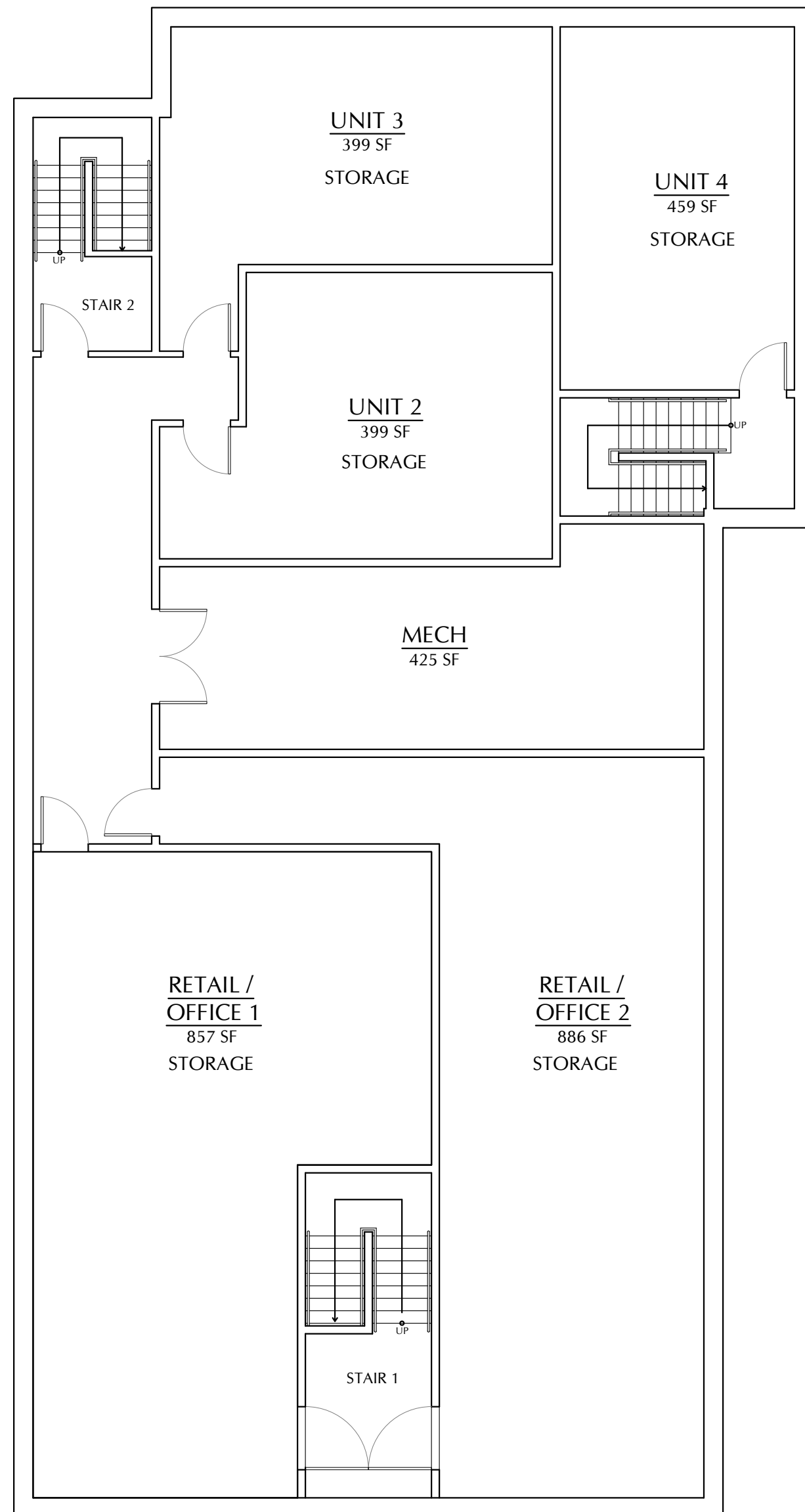
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A-03

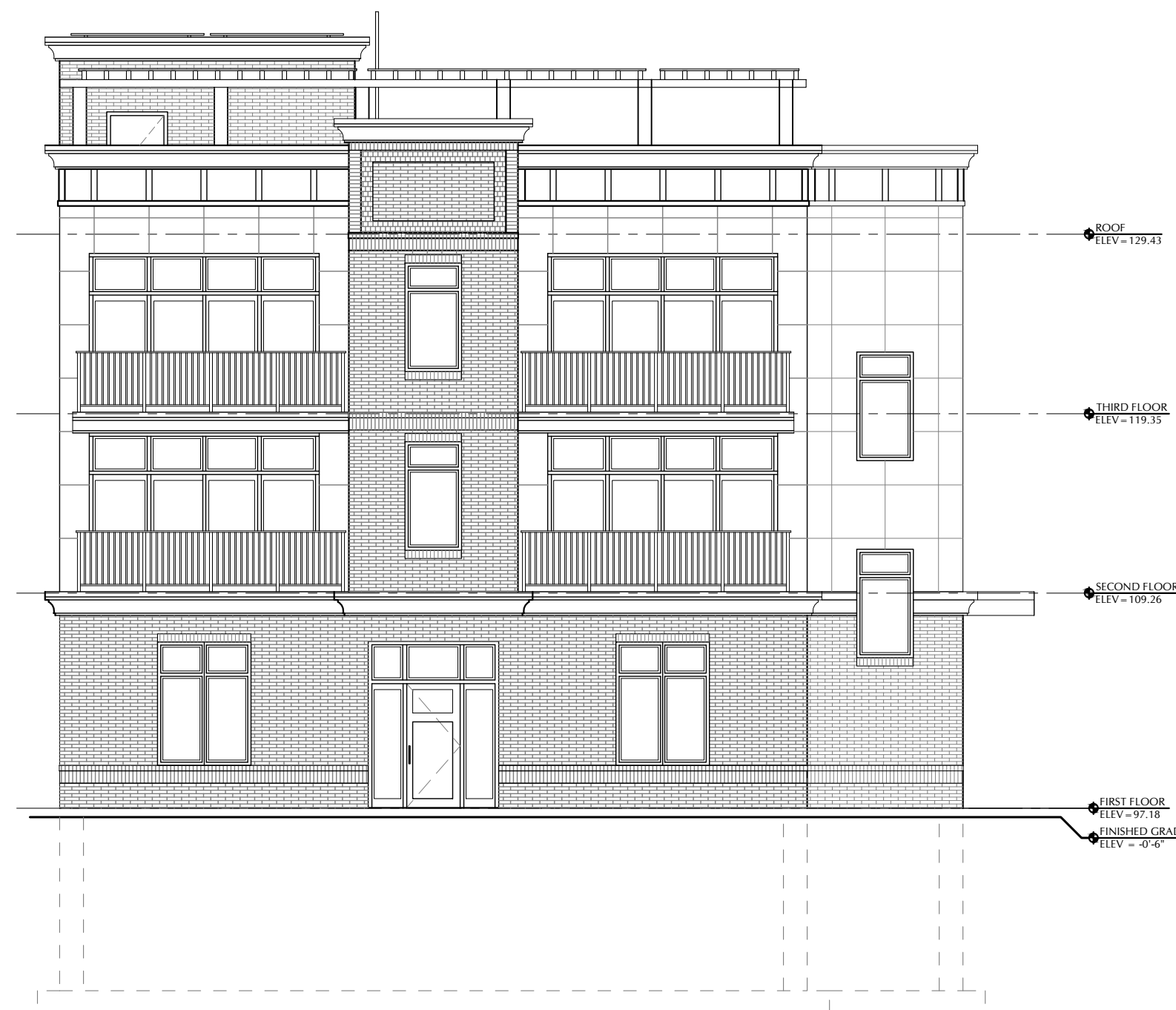


1 PROPOSED BASEMENT PLAN SCALE: 1/8" = 1'-0"



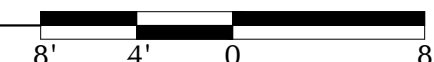
2 PROPOSED FRONT (SOUTH) ELEVATION
MASSACHUSETTS AVENUE

SCALE: 1/8" = 1'-0"



3 PROPOSED REAR (NORTH) ELEVATION

SCALE: 1/8" = 1'-0"



821
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PROPOSED
SIDE (EAST) &
SIDE (WEST)
ELEVATIONS

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A-04



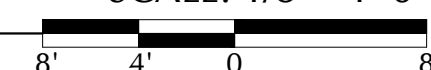
1 PROPOSED SIDE (EAST) ELEVATION

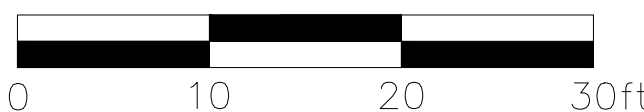
SCALE: 1/8" = 1'-0"



2 PROPOSED SIDE (WEST) ELEVATION

SCALE: 1/8" = 1'-0"



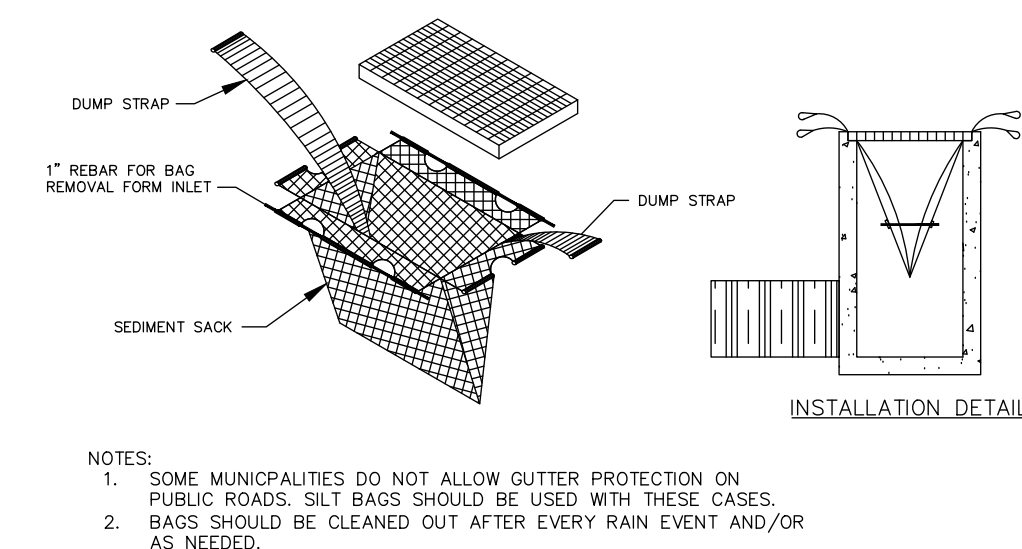


- EXISTING CONDITIONS SURVEY INFORMATION OBTAINED FROM ROBER SURVEY, ARLINGTON, MA.
OWNER/CLIENT ASSUMES ALL RESPONSIBILITY FOR SOURCES AND AUTHORIZATION TO USE ELECTRONIC AND RECORD FILES.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING INFORMATION ON THE GROUND AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION PRIOR TO CONSTRUCTION.
3. ALL AREAS OUTSIDE OF THE LIMIT OF WORK LINES SHALL NOT BE DISTURBED IN ANY MANNER BY THE CONTRACT OPERATIONS. THE CONTRACTOR SHALL KEEP OUT OF THESE AREAS AND PRESERVE THEIR EXISTING CHARACTER.
4. INSTALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION FOR APPROVAL BY THE DESIGN ENGINEER.
5. PROVIDE SMOOTH TRANSITION AT CHANGES IN GRADE EXCEPT AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ENGINEER.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNDERGROUND UTILITIES IN EXISTENCE OR NOT, AND SHALL MAINTAIN A CLOSE AND CONSTANT CONTACT WITH ALL UTILITY COMPANIES INVOLVED. CALL DIG-SAFE 888-344-7233
7. ALL ELEVATIONS ARE REFERENCED TO AN NAVD88 DATUM.
8. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS, PERMITTING, AND LICENSES ISSUED AT THE FEDERAL, STATE AND LOCAL AGENCIES.
9. CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH THE TOWN OF ARLINGTON OFFICIALS.
10. ENGINEER IS TO BE CONTACTED BY CONTRACTOR TO PERFORM AS BUILT MEASUREMENTS.
11. OWNER/DEVELOPER IS TO COMPLY WITH ALL OF MASSACHUSETTS DEP SITE DEVELOPMENT REGULATIONS.

1. CONTRACTOR IS RESPONSIBLE FOR THE VERTICAL AND HORIZONTAL CONTROLS OF THE PROJECT.
2. CONTRACTOR IS TO REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF BUILDING DOWNSPOUTS.
3. THE MINIMUM CLEARANCE FROM THE BOTTOM OF THE SUBSURFACE DRAINAGE SYSTEMS TO REFUSAL OR GROUNDWATER IS 24 INCHES.
4. SYSTEMS WILL REQUIRE PERIODIC INSPECTION.
5. STORMWATER RUNOFF SHALL NOT BE DIRECTED ACROSS ADJACENT PROPERTY LINES.

1. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
2. LOCATION OF EXISTING UTILITIES SHOWN ARE DIAGRAMMATIC ONLY. CONTRACTOR SHALL CONTACT THE PROPER AUTHORITIES IN WRITING TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE OCCURRED DURING CONSTRUCTION TO ANY UTILITY SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
3. CONTRACTOR TO REFER TO A SURVEYOR PLOT PLAN FOR ACCURATE OFFSETS TO PROPERTY LINE.

SOIL TEST DATA Performed by Gata Simon Associates, Inc., on 9/5/24						
TH1 (EL. 96.9)						
Horizon	Depth	Color	Texture	Mottles	Other	Elevation
C1	120"	N/A	FILL	-	-	86.9
C	128"	10YR5/4	LS	-	-	86.2
NO WATER, NO MOTTLING AND NO REFUSAL						
TH2 (EL. 96.5)						
Horizon	Depth	Color	Texture	Mottles	Other	Elevation
C1	114"	N/A	FILL	-	-	87.3
C	115"	10YR6/6	CS	-	-	86.9
NO WATER, NO MOTTLING AND NO REFUSAL						
TH3 (EL. 97.1)						
Horizon	Depth	Color	Texture	Mottles	Other	Elevation
A/B	25"	N/A	FILL	-	-	95.0
C1	77"	10YR5/4	LS	-	-	90.7
C2	100"	10YR5/3	CS	-	-	88.8
NO WATER, NO MOTTLING AND NO REFUSAL						



3 SILT SACK
C-0 SCALE: NTS

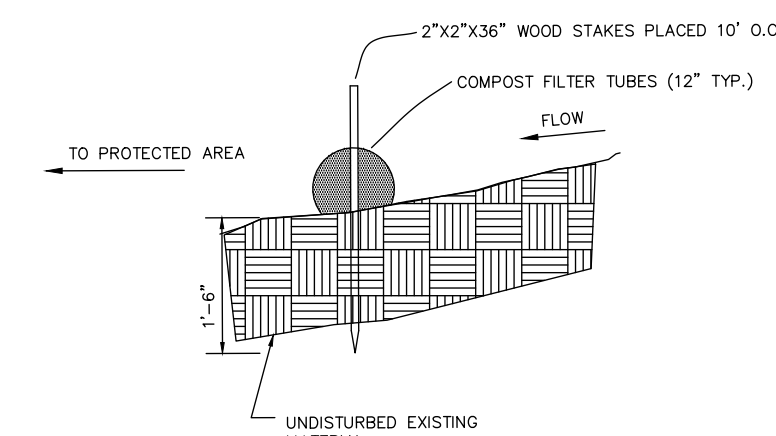
CONTRACTOR IS TO CONTACT ENGINEER FOR AS-BUILT MEASUREMENTS PRIOR TO BACK FILLING DRAINAGE SYSTEMS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THIS PLAN, PRIOR TO ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BEFORE PROCEEDING WITH THE WORK.

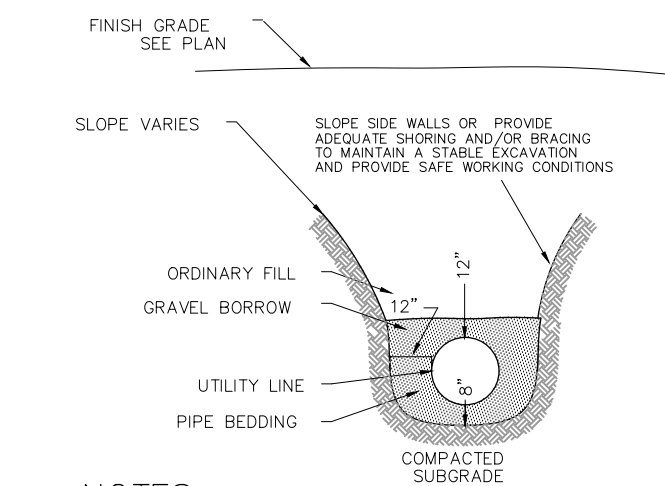
THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE, AND ARE BASED ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATERGATES, ETC. AND COMPILED FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, ALL UTILITY COMPANIES OR AGENCIES PRIOR TO ANY EXCAVATION WORK.

CALL DIGSAFE AT 1-800-322-4844

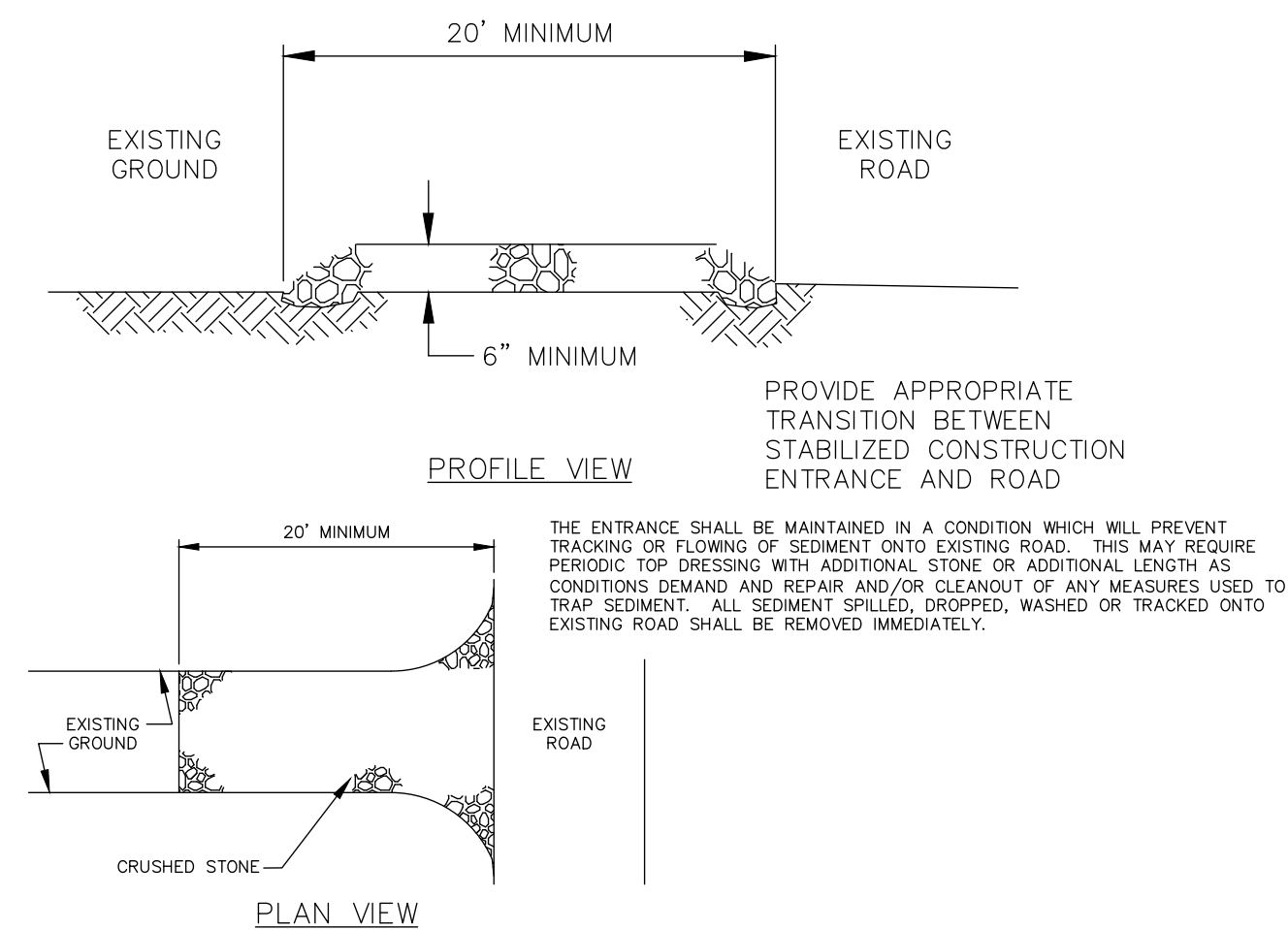
CONTRACTOR IS TO IMPLEMENT ALL NECESSARY SAFETY AND CONSTRUCTION MEASURES AND PROCEDURES FOR THE CONSTRUCTION OF THE PROJECT. STRICT COMPLIANCE WITH FEDERAL, STATE AND LOCAL SAFETY AND CONSTRUCTION REQUIREMENTS IS MANDATORY.



1	EROSION CONTROL
C-0	SCALE: NTS



2 TYP. UTILITY TRENCH
C-0 SCALE: NTS



4	STABILIZED CONSTRUCTION ENTRANCE
C-0	SCALE: NTS

NOT FOR CONSTRUCTION

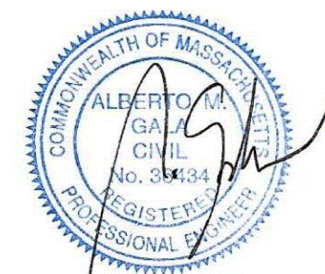
***Gala Simon
Associates Inc.***
394 LOWELL STREET, SUITE 200
LEXINGTON, MA 01846
Tel: (781) 676-5555

GSA
Civil Engineers

EXISTING CONDITIONS PLAN

**821 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS**

Job No. 2422	Date: 9/6/2024
Drawn By: AG	Scale: AS SHOWN
Rev#	Date: Description:



C-01

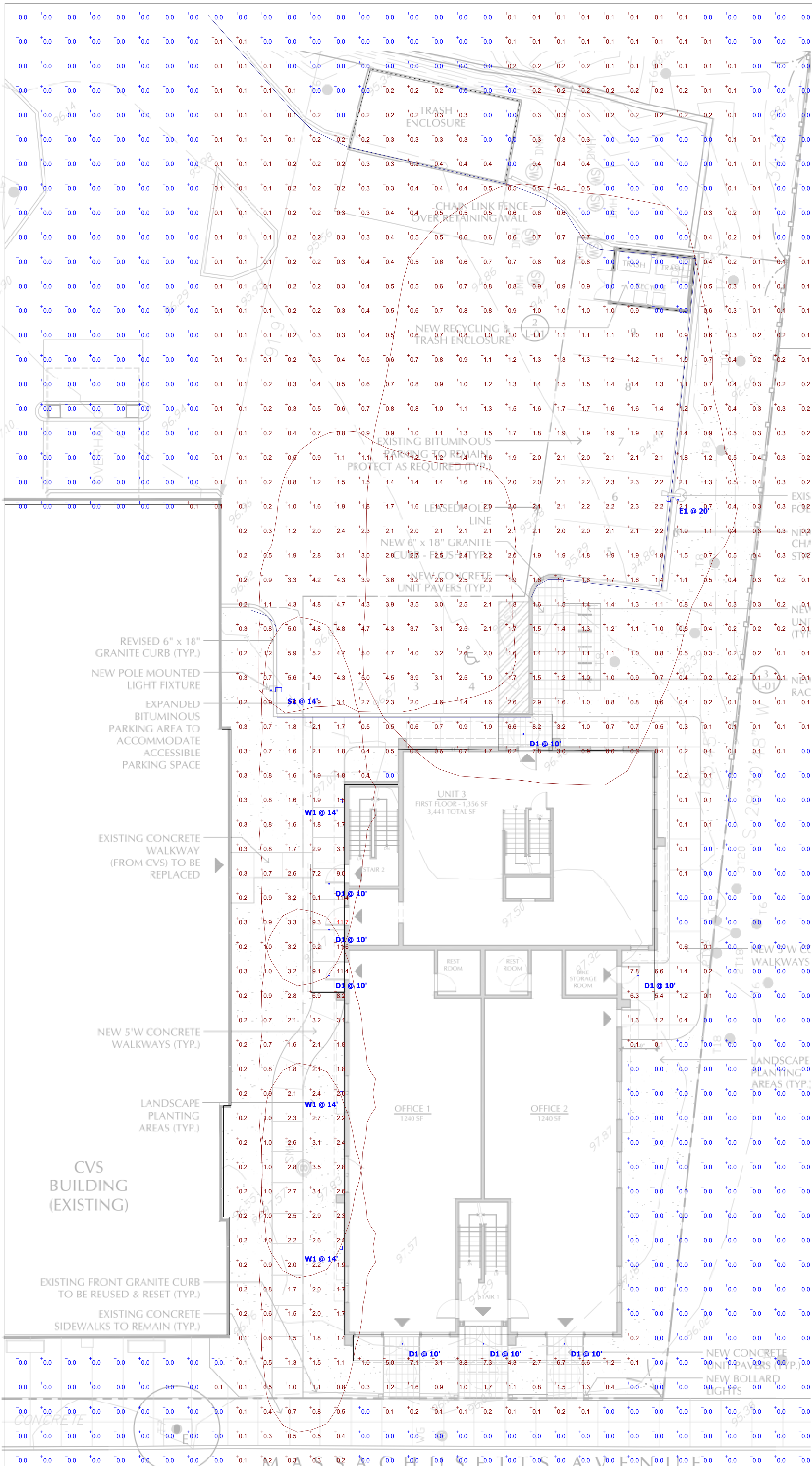


DISCLAIMER:
- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES ONLY
AND ARE NOT INTENDED FOR CONSTRUCTION. VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM MANUFACTURERS PHOTOMETRIC IN-HOUSE OR INDEPENDANT LAB TEST WITH DATA SUPPLIED BY LAMP MANUFACTURERS.

821 Massachusetts Ave
Arlington, MA
Exterior Lighting Calculation

Designer
Date
Scale
Drawing No.
Summary

1 of 1



Plan View
Scale - 1/8" = 1ft



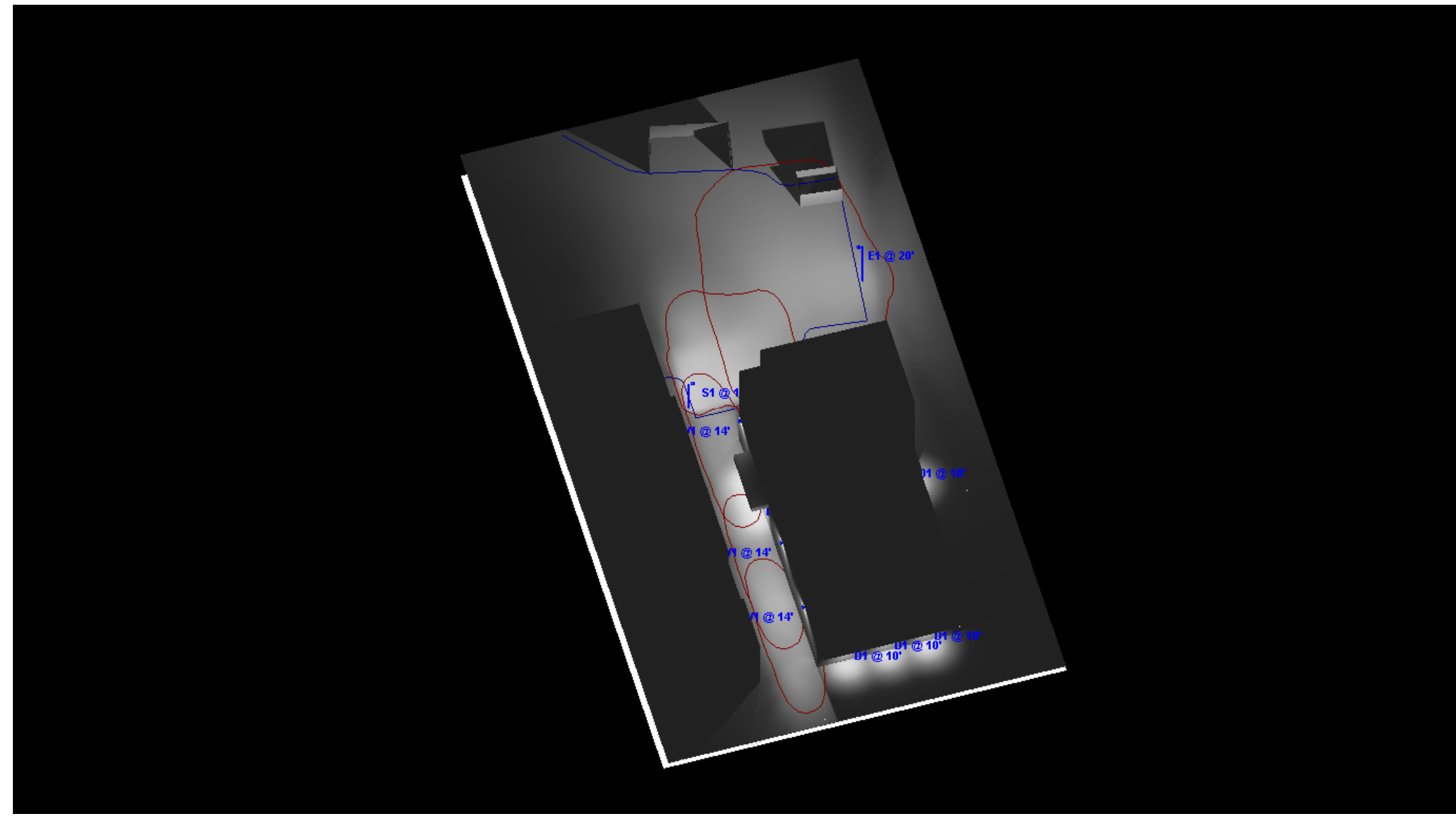
Lithonia DSX0 Series

NOTES:

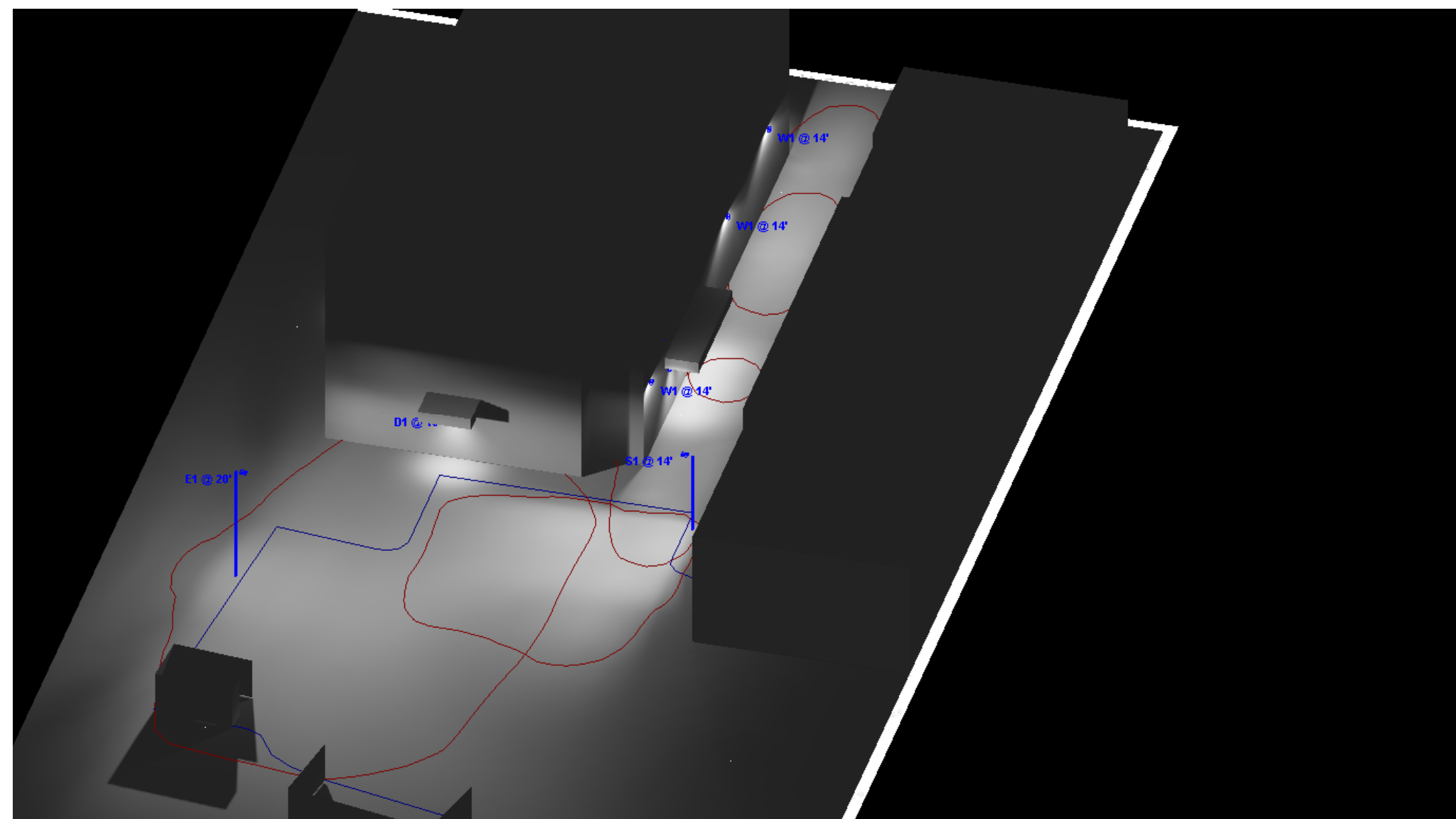
- Fixture Mounting Height:
 - E1 @ 20'
 - S1 @ 14'
 - S2 @ 3'
 - W1 @ 12'
 - D1 @ 10'
- Task Height: 0'-0" AFF
- Calculation Point Spacing: 4' x 4' oc

SCHEDULE

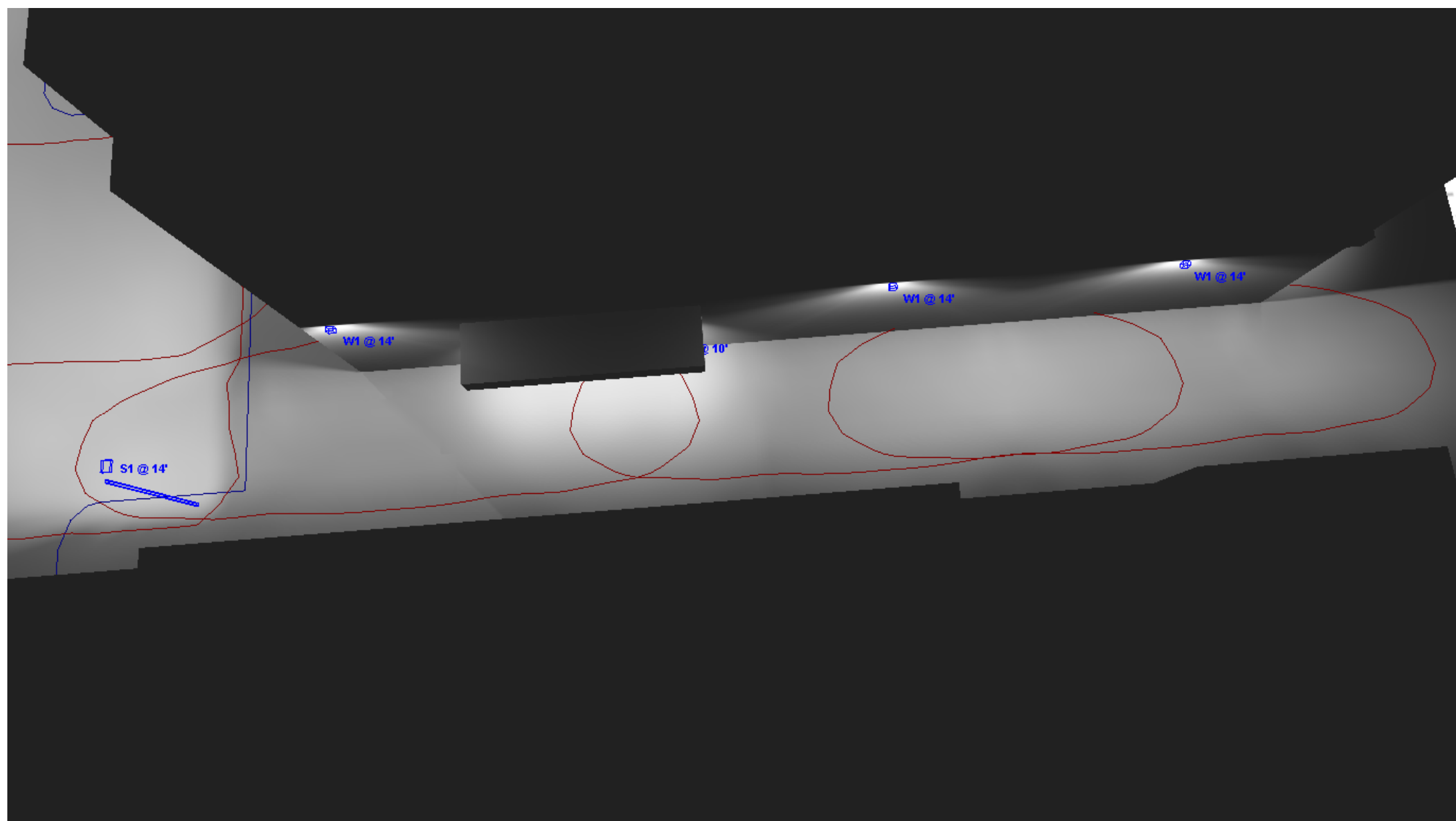
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Light Loss Factor	Wattage
	D1	8	Gotham	EVO2 40/07 AR LSS ND GZ10	Recessed 2" diameter LED downlight	0.9	9.6842
	E1	1	Lithonia	DSX0 LED P4 30K 80CRI T4M HS (assumed)	Existing Single head area light mounted at 20'	0.9	93.04
	S1	1	Lithonia	DSX0 LED P2 40K 80CRI RCCO	New Pole Mounted full cutoff area light with sharp right angle cutoff mounted at 14'	0.9	45.14
	W1	3	Lithonia	WDGE2 LED P3 40K 80CRI T1S	New Wall Mounted full cutoff wall pack with Type I optics	0.5	32.1375



View #1



View #2



View #3