



Arlington Zoning Board of Appeals

Date: Thursday, March 11, 2021
Time: 7:30 PM
Location: Conducted by remote participation
Additional Details:

Agenda Items

Administrative Items

1. Remote Participation Details

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Baker's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: <https://www.mass.gov/doc/open-meeting-law-order-march-12-2020/download>

You are invited to a Zoom meeting.

When: Mar 11, 2021 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

<https://town-arlington-ma-us.zoom.us/meeting/register/tJcscuihqjlsEtU-r5klxTa7gQiGnuiHMMks>

After registering, you will receive a confirmation email containing information about joining the meeting.

Meeting ID: 931 5194 9681

Find your local number: <https://town-arlington-ma-us.zoom.us/j/93151949681>

Dial by Location: 1-646-876-9923 US (New York)

2. Members Vote: Approval of Meeting Minutes from March 9, 2021

Comprehensive Permits

- 3. Thorndike Place - Proposed Draft Decision**
- 4. Thorndike Place New Documents**

5. **Thorndike Place - Senator Cindy Friedman letter dated 2-24-21**
6. **Thorndike Place - Letter from Select Board**
7. **Thorndike Place - BETA Stormwater Analysis 3-4-21**
8. **Thorndike Place - Draft Decision Comments**
9. **Thorndike Place - New Correspondence Received**

Meeting Adjourn



Town of Arlington, Massachusetts

Thorndike Place - Proposed Draft Decision

ATTACHMENTS:

Type	File Name	Description
▣ Reference Material	Thorndike_Place_Comprehensive_Permit_Draft_Decision_-_for_Release_21_0310.pdf	Thorndike Place Comprehensive Permit Draft Decision - for Release 21_0310.pdf

TOWN OF ARLINGTON

Zoning Board of Appeals

730 Massachusetts Avenue

Arlington, MA 02476

DECISION ON APPLICATION FOR COMPREHENSIVE PERMIT

G.L. c. 40B, §§ 20-23

APPLICANT: ARLINGTON LAND REALTY, LLC (“Applicant”)

PROPERTY: Off Dorothy Road and Parker Road (the “Property”)

ASSESSORS’ MAP: Assessors Parcels 17-6-6A, 16-8-8, 16-8-2, 16-8-3, 16-8-4, 16-8-5, 16-8-6, 16-8-7A, 13-12-5A, 14-2-8 and 14-2-5

DEVELOPMENT NAME: Thorndike Place

DATE: _____, 2021

I. PROCEDURAL HISTORY

1. An application for a Comprehensive Permit was received by the Town of Arlington Zoning Board of Appeals (“Board”) on or about August 31, 2016 (“Application”). The Application proposes the development of twelve (12) home ownership units in six (6) townhouse-style structures, and two hundred and seven (207) rental units in a single four-story structure for a total of two hundred and nineteen (219) units located at the Property (the “Project”).
2. The Board’s public hearing on the Application was duly opened on September __, 2016. On October 6, 2016 the Board submitted a notification to the Applicant pursuant to 760 CMR 56.03(8) that it met the 1.5% Land Area Minimum Safe Harbor. On October 21, 2016 the Applicant appealed the Board’s determination to the Department of Housing and Community Development (“DHCD”). On November 17, 2016 the DHCD issued a decision ruling that the Board’s Safe Harbor notification was in error, and determining that no such safe harbor was applicable. The Board timely appealed this decision to the Housing Appeals Committee (the “HAC”). On October 15, 2019 the HAC issued a decision upholding the determination of the DHCD, and remanding the matter back to the Board. At the request of the Applicant, the hearing was resumed on December 10, 2019. At the December 10, 2019 hearing, the Applicant requested a further delay of public hearings until April 14, 2020. Due to the onset of the COVID-19 pandemic, the hearing did not actually resume until August 25, 2020. Subsequent

sessions of the public hearing were held on October 13, 2020, November 24, 2020, December 8, 2020, December 22, 2020, January 26, 2021, February 16, 2021, March 11, 2021 and _____, 2021. The public hearing was closed on _____, 2021.

3. The Project is located on the Property, which is located off Dorothy Road and Parker Road, Arlington, Massachusetts.
4. The Property is located in the Planned Unit Development (PUD) Zoning District. Nearby uses consist of residential uses along Dorothy Road and Parker Road, Salem Street, and Thorndike Field, located to the west of the Property.
5. The Property consists of approximately 17.7 +/- acres, of which 11.5 acres consist of floodplains, while 5.6 acres consist of buildable upland.
6. The Applicant provided various materials, reports, studies, and revised plans throughout the course of the public hearing on the Application.
7. The Applicant submitted revised plans on November 3, 2020 reducing the number of units in the Project to one hundred and seventy-six (176) units. This revision also eliminated the six (6) two-family townhouse structures originally proposed by the Applicant, in favor of an all-rental development in a single structure.
8. The Applicant submitted revised architectural plans dated February 16, 2021, revising the proposed rental structure to step-back above the first two floors of the structure along Dorothy Road near abutting single-family residences.
9. During the public hearing, the Applicant was assisted primarily by its principals Gwen Noyes, Arthur Klipfel, its counsel Stephanie Kiefer of Smolak and Vaughan, LLP, its civil engineer John Hession, P.E., of BSC Group, and its traffic engineer Scott Thornton, P.E., of Vanasse and Associates, Inc.
10. The Board utilized the services of its review engineers BETA Group, Inc., with Marta Nover, P.E., Todd Undzis, P.E., and William McGrath, P.E. handling civil engineering and wetlands peer review, and Greg Lucas, P.E. for traffic. The Board also utilized the services of Town Counsel Douglas Heim, Esq., Planning Director Jenny Raitt, and other town staff. The Board was also represented during the course of the hearing by Special Town Counsel Jonathan Witten, Esq. of KP Law, and Paul Haverty, Esq., of Blatman, Bobrowski & Haverty, LLC as its Chapter 40B technical consultant through a grant from the Massachusetts Housing Partnership.

11. During the public hearing, there was significant public input. The Board heard input from abutters and other interested persons throughout the hearing process. The Board also heard significant input from town departments, including the Conservation Commission, the Department of Planning and Community Development, the Transportation Advisory Committee, Select Board, and Engineering Division. The Board also received significant input from the Arlington Land Trust and the Mystic River Watershed Association, both independent local non-profits.

II. JURISDICTIONAL FINDINGS

12. The Applicant has demonstrated its eligibility to submit an application for a Comprehensive Permit to the Board, and the development fulfills the minimum project eligibility requirements set forth in 760 CMR 56.04(1) as follows:
 - a. The Applicant is a limited liability company, and has indicated in its application that it will conform to the limited dividend requirements of G. L. 40B, §§ 20-23, thus establishing it is a limited dividend entity. The Applicant has a principal address of 222 Berkley Street, Boston, MA 02116.
 - b. The Applicant has received a written determination of Project Eligibility from MassHousing dated December 4, 2015 under the New England Fund Program, a copy of which was provided to the Board with the original application.
 - c. The Applicant provided deeds dated September 8, 2015, recorded in the Middlesex South in Book 1479, at Page 27. Thus, the Applicant has shown evidence of site control sufficient to qualify as an applicant for a Comprehensive Permit.
 - d. The Applicant has agreed to execute a Regulatory Agreement that limits its annual distributions in accordance with G. L. c. 40B and the regulations (760 CMR 56.00 et seq.) and guidelines adopted thereunder by DHCD.
13. The Town of Arlington ("Town") did not meet the statutory minima set forth in G. L. c. 40B, § 20 or 760 CMR 56.03(3) to 56.03(7) at the time the original application was filed, except as noted below:
 - a. At the time of the filing of the Application, the number of low or moderate income housing units in the Town constituted 5.64% of the total year-round housing units in the Town, based on the most recent publicly

available copy of the DHCD Subsidized Housing Inventory, dated _____ . Thus, the Town does not meet the ten percent (10%) statutory minimum.

- b. The Board has asserted a claim that there are existing affordable housing units that are on sites that comprise more than one and one half percent (1.5%) of the total land area of the Town that is zoned for residential, commercial or industrial use (excluding land owned by the United States, the Commonwealth of Massachusetts, or any political subdivision thereof). The Board timely asserted this claim pursuant to 760 CMR 56.03(8). The Applicant appealed this claim to the Department of Housing and Community Development, which issued a decision dated November 17, 2016, reversing the Board's Safe Harbor determination. The Board appealed this decision to the Housing Appeals Committee. On October 15, 2019, the Housing Appeals Committee upheld the decision of the Department of Housing and Community Development. Because this decision was not a final decision, the Board was not able to pursue an appeal pursuant to G. L. c. 30A, § 14 at this time. The Board reserves its rights regarding this Safe Harbor claim.
- c. The granting of this Comprehensive Permit will not result in the commencement of construction of low or moderate income housing units on a site comprising more than three tenths of one percent of land area in the Town or ten acres, whichever is larger, zoned for residential, commercial or industrial uses (excluding land owned by the United States, the Commonwealth of Massachusetts or any political subdivision thereof) in any one calendar year.
- d. The Town has an approved Housing Production Plan pursuant to 760 CMR 56.03(4), but is not currently within (or eligible for) certification.
- e. The Town has not achieved recent progress toward its housing unit minimum pursuant to 760 CMR 56.03(5).
- f. The Project as originally submitted does not constitute a Large Project pursuant to 760 CMR 56.03(6).
- g. The Applicant's Comprehensive Permit Application does not constitute a Related Application pursuant to 760 CMR 56.03(7).

III. FACTUAL FINDINGS

Location of Project

14. The Project is located on a 17.7 acre parcel of land located between Concord Turnpike (Route 2) to the south and residential neighborhoods to the north and east of the Property, off Dorothy Road and Parker Road. The Property is bordered to the east by Burch Street and the Arlington Thorndike playing fields. The Property is located within the Planned Unit Development (PUD) Zoning District.

Civil Engineering, Site Design, and Stormwater Impact

15. The Board engaged in review of potential civil engineering, site design, traffic, stormwater and floodplain impacts of the Project.
16. The Project will connect to the Arlington municipal water and sewer system.
17. The Applicant originally proposed 315 parking spaces for the Project, a ratio of 1.44 parking spaces per unit. The Applicant subsequently reduced the parking ratio to 193 spaces, or approximately 1.12 spaces per unit. The Arlington Transportation Advisory Committee recommended that, as a Transit Oriented Development, the Project should not have more than one (1) parking space per unit.
18. The Applicant did not originally propose bicycle parking. With the reduction in the number of units, the Applicant revised the number of proposed bicycle spaces to 176 interior spaces with additional exterior spaces.
19. On-site amenities will include recreational areas and structures as shown on the Approved Plans, referenced below.
20. Approximately ____% of the site will consist of impervious surface with the remainder consisting of pervious surface. The Board finds that the total amount of impervious area is _____.
21. The Board finds that the tree planting and landscaping details proposed by the Applicant, and as conditioned by this decision, is insufficient in light of the site disturbance that the Project will entail. Given the extent of vegetation proposed to be removed within a resource area (BLSF) and AURA, the Applicant must provide a Landscape Plan as described in Section 24 and should include the elements described in the guidance provided in Section 24 E as follows:
 - a. Narrative describing existing conditions, proposed plantings, list of existing and proposed species, size of existing species and proposed species, quantity plants before and after revegetation and the rational the

- removal and maintenance plan.
 - b. Affirmation of the Revegetation Activities, all plans must be accompanied by written testimony and scale diagram from a certified arborist or wetland scientist or landscape architect. The document must include at a minimum the necessity of vegetation removal, surface area to be removed, quantity of individual plants by species.
 - c. Planting Plan – drawn to scale, properly identified resource area and buffer zone and the project site, location of replacement species, comply with (AAN), erosion controls, estimated tree canopies after 15 years of growth, name, sizes and locations of trees to be planted, and total area of SF of the area shaded by the canopies.
 - d. Existing species list.
 - e. Replacement species list,
 - f. Rational for Removal,
 - g. Maintenance Plan.
 - h. The Plan shall include monitoring reports submitted annually in June for a three-year monitoring period. The reports shall include photo documentation, the health of new plantings and any mitigation. This report can be combined and submitted with the ISMP report.
22. Stormwater management has been designed in compliance with the Mass Stormwater management standards in accordance with 310 CMR 10.05(6)(k) through (q) and defined in detail in the MassDEP Stormwater Management Handbook. The system incorporates best management practices (BMP's) to facilitate total suspended solids (TSS) removal, infiltration and detention of stormwater flows.
23. The Board finds that the Applicant must provide a Compensatory Flood Storage Mitigation Plan for the proposed compensatory flood storage area to mitigate the negative environmental impacts associated with vegetation removal and grading to create this new flood storage area. Said Plan shall provide the following:
- a. A minimum ratio of 2:1 cubic feet of compensatory flood storage of a volume not previously used for flood storage and shall be incrementally equal to the theoretical volume of flood water at each elevation, up to and including the 100-year flood elevation, which would be displaced by the proposed project.
 - b. With at least a 3-year monitoring schedule with a 100% survival rate.
 - c. Only native non-cultivar species shall be planted on the site.
 - d. Plants shall be installed and maintained in accordance with standards of the American Association of Nurserymen (AAN).
 - e. A monitoring report shall be submitted annually in June for the three-year monitoring period. The report shall include the health of the new plantings

and the success of the invasive plant management. The report shall include photo documentation and yearly recommendations for future success.

24. The Board finds that the Applicant must provide adequate quantity of vegetation and that said vegetation shall be maintained to provide the resource area values protected by the Bylaw. Further, the Applicant shall submit an Invasive Species Management Plan for work in the AURA and other resource areas which identifies the location of invasive species management, species and quantities of invasive plants to be managed, and methods of removal and control of each species.
25. The Board finds that the Applicant must abide by the requirement that no work activities are authorized nor shall occur within the 25-foot No Disturb Zone of Isolated or Bordering Vegetated Wetlands on the Site.
26. The Project, as conditioned herein, will address the lack of affordable rental units in the Town.
27. The Board heard testimony from the Applicant and the Board's peer review traffic consultant, including the Applicant's Traffic Impact Study prepared by Vanesse Associates, Inc., that the Project is expected to result in approximately thirty-one (31) vehicle trips during the weekday morning peak hour and approximately thirty-eight (38) vehicle trips during the weekday afternoon peak hour. There will be an estimated four hundred, eighty-six (486) total vehicle trips on an average weekday. These figures are based upon the proposal for one hundred, seventy-six (176) units.
28. During the course of the hearing, the Applicant submitted a plan showing a reduction in the number of rental units to one hundred and seventy-six (176) units. The Applicant introduced further modifications to its design during the hearing process which further reduced the number of units to one hundred and seventy-two (172) units.
29. The Board finds that the conditions imposed in Section IV of this Decision are necessary in order to address Local Concerns. The Board finds that such conditions will not render the project uneconomic. To the extent that such conditions may render the project uneconomic (as defined in 760 CMR 56.02), the Board finds that the Local Concerns outweigh the potential benefits of the proposed affordable units.
30. The Board finds that granting certain waivers from local by-laws and regulations is acceptable even though granting waivers may have an adverse impact on Local Concerns.

31. The Board acknowledges concerns raised by abutters and other interested parties about the Project's potential incompatibility with abutting residential uses, particularly relating to stormwater and floodplain impacts, as well as traffic and parking impacts. The Board has addressed these concerns by the imposition of appropriate conditions. The Board further finds that conditions detailed below appropriately address these matters of local concern in a manner that outweighs the regional need for affordable housing. The Board finds that the conditions imposed below address local and regional housing needs while properly protecting valid issues of local concern.
32. The Board finds that the construction of the Project, as conditioned, will be consistent with local needs.
33. The Applicant has proposed that the portion of the Property outside of the development area, shown on the plans as containing approximately ____ acres will be either placed under a conservation restriction or deeded to the Town. The Applicant has proposed a one-time payment of \$100,000, plus annual payments of \$25,000 for a period of ten (10) years for cleaning up the existing debris and invasive species on this portion of the Property.

IV. CONDITIONS

A. **General**

- A.1 The holder of this Comprehensive Permit is Arlington Land Realty, LLC. The Property is defined as the property located between Concord Turnpike (Route 2) to the south and residential neighborhoods to the north and east of the Property, off Dorothy Road and Parker Road, shown on a plan entitled "Thorndike Place Comprehensive Permit, Dorothy Road, Arlington, Massachusetts" prepared by BSC Group, dated March 13, 2020, with revisions through November 3, 2020. The Project is defined as all features shown on the plans listed below in Condition A.2 or as otherwise required by this Comprehensive Permit.
- A.2 Except as may be provided for in the following Conditions or in the Final Plans referenced below, the Project shall be constructed substantially in conformance with the plans and drawings listed below in this Condition A.2, which for purposes of this Comprehensive Permit shall be considered the Approved Plans for the Project ("Approved Plans"). Minor changes to the Approved Plans (e.g., changes that do not materially affect the location of, or increase the height or massing of the structures, or increase the number of units contained in the residential buildings) shall be submitted to the Director of Planning and Community Development who shall have the authority to approve such changes

as immaterial changes. If the Director of Planning and Community Development determines that the proposed changes do not conform to the requirements of this Comprehensive Permit, they shall so notify the Applicant and the Applicant shall either bring the plans into conformance with this Decision or seek modification in accordance with 760 CMR 56.05(11). The Approved Plans consist of the following plan set from Millennium Engineering, Inc.:

“Thorndike Place Comprehensive Permit, Dorothy Road, Arlington, Massachusetts” dated March 13, 2020, with revisions through February 16, 2021, and consisting of the following sheets:

G-100	Title Sheet
G-101	General Notes and Legend
V-100	Existing Conditions Plan
C-100	Existing Environmental Resources Plan
C-101	Site Preparation Plan
C-102	Overall Site Plan
C-103	Layout and Materials Plan
C-104	Garage Level Plan
C-105	Grading and Drainage Plan
C-106	Utility Plan
L-100	Planting Plan
C-200-203	Civil and Landscape Details

Architectural details contained in the plans entitled Thorndike Apartments, 3D Visualization, Dorothy Road Looking West, Dated November 3, 2020, with revisions through February 16, 2021, prepared by Bruce, Ronayne, Hamilton Architects, and consisting of the following sheets:

Sheet 1	Cover Sheet
Sheet 2	Garage Plan
Sheet 3	Ground Floor Plan
Sheet 4	Typical Floor Plan
Sheet 5	Fourth Floor Plan
Sheet 6	East/West Elevation
Sheet 7	North Elevation
Sheet 8	South Elevation
Sheet 9	Schematic Building Section

- A.3 The Applicant shall be a Limited Dividend Entity as required by Chapter 40B and its successors and assigns shall comply with the limited dividend and other applicable requirements of Chapter 40B and the regulations adopted thereunder.

- A.4 The Project shall consist of not more than _____ (____) rental apartment units, located in a single residential structure, and other related residential amenities, all as shown on the Approved Plans. The Project shall consist of no more than _____ (____) bedrooms.
- A.5 There shall be _____ (____) vehicle parking spaces (inclusive of required handicap spaces).
- A.6 Pursuant to the revised Waiver List submitted to the Board and attached hereto as Exhibit A, the Applicant has requested, and the Board has granted, those waivers from the Arlington Zoning Bylaw and other local by-laws and regulations as specified therein. No waivers are granted from requirements that are beyond the purview of G.L. c. 40B, §§ 20-23. No waiver of permit or inspection fees has been granted. Any subsequent revision to the Approved Plans, including but not limited to revisions in the Final Plans, referenced below, that requires additional or more expansive waivers of any local by-laws or regulations, must be approved by the Board in accordance with 760 CMR 56.05(11).
- A.7 Except as otherwise specifically provided herein, where this Decision provides for the submission of plans or other documents for approval by the Director of Planning and Community Development or other Town Departments, the Director of Planning and Community Development or applicable Department Head will use reasonable efforts to review and provide a written response within forty-five (45) days following submission. For submissions that require assistance from an outside consultant, as determined by the Director of Planning and Community Development or applicable Department Head, the thirty-day time period shall not begin until the consultant's fee has been fully funded by the Applicant. Should forty-five (45) days elapse without a response as aforesaid, said plans or documents shall be deemed approved.
- A.8 This Comprehensive Permit may be subsequently assigned or transferred pursuant to 760 CMR 56.05(12)(b). The pledging of the Property as security under any conventional loan financing terms as set forth in the financing entity's Loan Documents or any foreclosure sale pursuant to the same shall not constitute an assignment or transfer under this paragraph.
- A.9 The provisions of this Comprehensive Permit Decision and Conditions shall be binding upon the successors and assigns of the Applicant, and the obligations shall run with the land. In the event that the Applicant sells, transfers, or assigns its interest in the development, this Comprehensive Permit shall be binding upon the purchaser, transferee, or assignee and any successor purchasers, transferees or assignees. The applicable limited dividend restrictions shall apply to the owner of the project regardless of sale, transfer, or assignment of the project.

- A.10 The sidewalks, driveways, roads, utilities, drainage systems, and all other on-site infrastructure shown on the Approved Plans as serving the Project shall remain private in perpetuity, and the Town shall not have, now or in the future, any legal responsibility for the operation or maintenance of the infrastructure, including but not limited to snow removal, landscape maintenance, and hydrant maintenance. In this regard, the proposed site access road within the Project shall not be dedicated to or accepted by the Town.
- A.11 Unless otherwise indicated herein, the Board may designate an agent to review and approve matters on the Board's behalf subsequent to this Decision.

B. Affordability

- B.1 Except as may otherwise be allowed by the Subsidizing Agency MassHousing or other Subsidizing Agency, pursuant to the applicable subsidy program, a minimum of twenty-five percent (25%) or _____ () units of the rental units shall be reserved for income-eligible households, meaning that they shall be rented to and occupied by households, as proposed by the Applicant, whose income (adjusted for household size) is not more than eighty percent (80%) of the Area Median Income ("AMI"), as determined by the United States Department of Housing and Urban Development ("HUD") and the Subsidizing Agency (the "Affordable Units"). Affordable Units shall, upon initial designation, be dispersed throughout the Project in accordance with the guidelines of the Subsidizing Agency, except for fluctuations based on changes of household eligibility income allowed by the Regulatory Agreement. The Applicant shall be responsible for maintaining records sufficient to comply with the Subsidizing Agency guidelines for the location of Affordable Units in the Project and occupancy of such Affordable Units by income-eligible households. As will be set forth more fully in the Regulatory Agreement, the location of the affordable units may change in the event that the income of a household occupying an affordable unit increases beyond allowable program limits. The Board acknowledges that affordable unit location is an issue within the exclusive jurisdiction of the Subsidizing Agency.
- B.2 All of the Project's Affordable Units shall be restricted for rental to households earning no more than the maximum allowable household income, adjusted for household size, as determined by MassHousing or any substitute Subsidizing Agency. The Affordable Units shall be maintained as affordable in perpetuity, which for the purposes of this Decision shall mean for so long as the Property does not comply with applicable zoning requirements without the benefit of this Comprehensive Permit.

- B.3 The Applicant shall obtain approval by the Subsidizing Agency of an Affirmative Fair Housing Marketing Plan (“AFHMP”) prior to the rental of any Affordable Units, and shall ensure that the Project complies with the Subsidizing Agency’s Fair Housing requirements.
- B.4 For the initial rent-up of the Project, the maximum number of Affordable Units allowed by law and the applicable subsidy program, but not more than seventy percent (70%) of the Affordable Units, shall be reserved for households that qualify under a local preference definition which must be approved by the Subsidizing Agency prior to any marketing efforts as part of the AFHMP. A lottery shall be established in a form approved by the Subsidizing Agency and/or the Project’s Monitoring Agent to effectuate this local preference, with an approved secondary lottery for all other Applicants. The Applicant shall assist the Department of Planning and Community Development in the submittal of any evidence required by the Subsidizing Agency to support this local preference requirement. The Board acknowledges that it will be required to provide evidence satisfactory to the Subsidizing Agency of the need for the foregoing local preference and to obtain approval of the categories of persons qualifying for the same, and in no event shall the Applicant be in violation of the terms of this Comprehensive Permit to the extent the Subsidizing Agency disapproves the local preference requirement or any aspect thereof. The Applicant shall provide reasonable and timely assistance to the Department of Planning and Community Development in providing this evidence. If the Board or its designee does not provide such information within sixty (60) days of a written request by the Applicant, its Lottery Agent, the Subsidizing Agency, then this condition shall be void unless the Applicant has failed to provide reasonable and timely assistance as described above.

C. Submission Requirements

- C.1 Prior to any construction or site development activities (including site clearing, tree removal, grading, etc.) on the Property, whether or not pursuant to a building permit (except as allowed by the Director of Planning and Community Development, as noted below), the Applicant shall:
- a. Deliver to the Board a check in a reasonable amount determined by the Director of Planning and Community Development to be used for staff to retain outside experts, if necessary, for technical reviews and inspections required under these conditions but at inception shall not exceed \$6,500 unless an alternate amount has been agreed upon by the Board and the Applicant. Said funds shall be deposited by the Board in an account pursuant to G. L. c. 44, § 53G and shall only be used for technical reviews and inspections associated with this Project. Any unspent funds shall be

returned to the Applicant with accrued interest at the completion of the project. If at any time the Board reasonably determines that there are insufficient funds to cover the costs of technical reviews, it shall inform the Applicant and the Applicant shall forthwith deliver additional funds as specified by the Board in a reasonable amount as may be determined by the Board. Said funds may be used by the Board to hire civil engineering, traffic engineering, and/or other professionals that the Board deems reasonably necessary to ensure compliance with the conditions hereof.

- b. Obtain and file a copy of a National Pollution Discharge Elimination System (NPDES) Permit from the U.S. Environmental Protection Agency (EPA), if necessary. The Board shall also be provided a copy of the Stormwater Pollution Prevention Plan (SWPPP) submitted along with the NPDES filing.
- c. Submit to the Board for review and administrative approval Final Engineering Drawings and Plans ("Final Plans"), such approval to be that the plans conform to the requirements of this Comprehensive Permit and incorporate the relevant conditions herein. The Final Plans shall also incorporate all relevant conditions and requirements of permitting agencies having jurisdiction. Applicable sheets of the Final Plans shall be signed and sealed by the Professional Land Surveyor of record, the Professional (Civil) Engineer of record, and a Registered Landscape Architect. Final Architectural Plans shall be stamped by a Registered Architect. The Final Plans shall be submitted to the Board at least forty-five (45) days prior to the anticipated date of commencement of building construction or submission of an application for building permits, whichever is earlier (the "Final Site Plan Submission Date").
- d. Submit to the Board for its administrative approval, a landscaping plan with the Final Plans, signed and sealed by a Registered Landscape Architect, depicting the following:
 - i. Overall planting plan that includes a demarcation of clearing and the limits of work;
 - ii. Planting plans for drives showing shade trees and lighting fixture locations;
 - iii. Plans of walkways in open space and recreation areas;

- iv. Prototype planting plans for each building that include shade trees (minimum caliper 3”), ornamental trees (minimum caliper 3”), shrubs, and groundcovers;
- v. Prototype screening plans for dumpsters, depicting plantings and fencing;
- vi. Planting details for coniferous and deciduous shade trees (minimum caliper 3”), ornamental trees (minimum caliper 3”), and shrubs;
- vii. Planting schedules listing the quantity, size, height, caliper, species, variety, and form of trees, shrubs, and groundcovers;
- viii. Tree protection and preservation plans
- ix. Construction fencing along abutting property lines; and
- x. Construction details.

All plantings shall consist of native, non-invasive, drought-tolerant species. Plantings installed along drives and walkways shall also be salt-tolerant. The final landscaping plans shall preserve the existing perimeter tree cover to the greatest extent practicable. Twelve (12) months after completion of plantings, the Applicant shall remove and replace any dead or diseased plantings and trees serving as screening. The contract with the Management Company shall address ongoing maintenance of landscaping features.

- e. Submit to the Director of Planning and Community Development a construction mitigation plan including, but not limited to, dust control measures, fill delivery schedules, stockpiling areas, and like matters. Other than site work and such other work as may be authorized in writing by the Director of Planning and Community Development, no other construction of units shall commence and no building permits shall be issued under this Comprehensive Permit until the Director of Planning and Community Development and other applicable staff has approved the Final Plans as being in conformance with this Decision. If no written response or comments have been given to the Applicant by the Building Commissioner and/or Director of Planning and Community Development concerning the Final Site Plans within forty-five (45) days after the Final Site Plan Submission Date, the Final Plans, as delivered, will be deemed to have been approved.

- f. The Applicant shall include on the Final Plans all of the various changes that have occurred during the hearing process. These plans should reflect the changes to number of units, site plan changes including but not limited to surface parking, proposed grading, stormwater systems, garage elevation, location of tot lot, and other relevant site features.
 - g. The Final Plans shall include final design and details for the proposed roof stormwater storage system. This is to include impacts from potential changes to the roofline along Dorothy Road and Littlejohn Street. The limits of rooftop storage shall be delineated and the outlet control for the rooftop storage is to be detailed.
 - h. The Final Plans shall have labeled the dimensions of the proposed rip-rap and provide a detail. The rip-rap dimensions shall be provided in calculations submitted as part of the Stormwater Report dated January, 2021.
 - i. The Final Plans shall show designated snow storage areas. The Applicant has indicated in their February 16, 2021 response letter that snow storage will be to the west of the surface parking and within the landscape areas at the courtyard entrance and adjacent to the courtyard entrance.
 - j. The Final Plans shall include the detail of the Outlet Control Structure shown on Sheet C-203 to be revised to more accurately depict that the invert of the 12" outlet pipe is at the top of the 30" inlet and to show the installation of the proposed backflow preventer.
 - k. Provide a Compensatory Flood Storage Mitigation Plan for the proposed compensatory flood storage areas, to mitigate the environmental impacts associated with vegetation removal and grading to create the new flood storage area.
 - l. The Applicant must provide notification to the Arlington Assessor's Office for address and unit numbering.
- C.2 Prior to the issuance of any building permits, the Applicant shall:
- a. Record this Comprehensive Permit and the Subdivision Plan endorsed by the Board with the Middlesex South Registry of Deeds, at the Applicant's expense, and provide proof of such recording with the Board.
 - b. Submit to the Board and the Director of Planning and Community Development evidence of Final Approval from the Subsidizing Agency

(DHCD), as required by the Project Eligibility letter and the Chapter 40B regulations.

- c. Submit to the Board a copy of the Regulatory Agreement and Monitoring Services Agreement for the Project. Execution and recording of such Regulatory Agreement with DHCD shall be complete prior to the issuance of any building permit. It is understood and agreed that Monitoring provisions may be included with the Regulatory Agreement, in lieu of a separate Monitoring Services Agreement.
- d. Submit to the Building Commissioner final Architectural Plans prepared, signed and sealed by an architect with a valid registration in the Commonwealth of Massachusetts ("Architectural Plans"). The Architectural Plans shall be submitted in such form as the Building Commissioner may request pursuant to the State Building Code.
- e. An automatic sprinkler system conforming with NFPA 13 and a fire alarm system conforming to NFPA 72 shall be required in all residential buildings. Both systems shall be monitored by a UL approved central station monitoring service.
- f. Obtain and file with the Building Commissioner a copy of all required Federal, State, and local permits and approvals required to begin construction of the Project.
- g. Obtain all necessary building, electrical, plumbing, and associated permits required to begin construction of the Project required by state law.
- h. The Applicant will be responsible for all applicable sewer permit, capacity impacts and privilege fees, as applicable.
- i. The Applicant will be responsible for all applicable water and sewer system fees as per officially promulgated fee schedules uniformly applicable to all other Town of Arlington projects.
- j. Submit to the Board a revised Stormwater Report documenting the various changes in design that have occurred during the hearing process.
- k. The Applicant shall perform additional test pits at the proposed stormwater basins to confirm groundwater elevations. These test pits shall be done during seasonal high groundwater conditions and shall be witnessed by the Town and/or its agent.

1. The Applicant shall provide calculations to confirm that the proposed trench drain gate at the drop-off area at the front of the proposed residential structure (Subcatchment 4S) has the capacity to capture all runoff without bypass to Dorothy Road. The stormwater design for the trench drain assumes that no runoff bypasses the drain and enters Dorothy Road. However, the calculated runoff for the 100-year storm is 1.3 cfs. If the Applicant is unable to provide calculations confirming that Subcatchment 4S does not have the capacity to capture all runoff without bypass to Dorothy Road, the Applicant shall revise the driveway grading so that it does not flow to Dorothy Road.

D. Construction Completion/Certificate of Occupancy

- D.1 Prior to issuance of a certificate of occupancy for any structure in the Project, the Applicant shall:
 - a. Submit engineer's interim certification of compliance with utilities plan and profiles for such Phase (as applicable) to the Building Commissioner.
 - b. Provide a letter to the Board, signed by the Applicant's civil engineer, certifying that the structure and supporting infrastructure has been constructed in compliance with the Final Plans in all material respects.
 - c. Obtain acceptance from the Arlington Fire Department of testing of all fire protection systems, fire alarm systems, fire sprinkler systems, and local smoke alarms within the dwelling units of the structure.
 - d. Obtain a sewer connection sign-off from the Arlington Department of Public Works for the structure.
- D.2 Prior to issuance of the certificate of occupancy for the Project, the Applicant shall:

- a. Submit to the Board, in digital file format and full-size paper copies, a final as-built plan including profiles, showing actual-in ground installation of all applicable utilities, rim and invert elevations, roadway, sidewalk and associated construction. The file format shall be in AutoCAD file delivery shall be in full model view and individual sheet views. The digital file shall include property boundaries, dimensions, easements, rights-of-way, edge of pavement, edge of sidewalk, edge of water bodies, wetland boundaries, topographic contours, spot elevations, parking areas, road centerline and associated text. Said digital data shall be delivered in the Massachusetts State Plane Coordinate System, North American Datum 1983 and North American Vertical Datum 1988, in U.S. Survey Feet.
- b. The Applicant shall provide to the Board evidence of a property management plan (if property management will be done in-house), or shall provide a copy of a contract with a Management Company if property management will be conducted by a third-party. The Applicant shall submit to the Board all information relating to the issues of building security, public access, pet policy, staffing, trash removal, and smoking policies, and other issues addressed in the conditions herein.

E. Project Design and Construction

- E.1 Prior to the commencement of any work on the Property, the Applicant and the site general contractor shall attend a preconstruction conference with representatives from the Arlington Fire Department, the Department of Public Works (Arlington Water and Sewer Division and Engineering Division), Planning and Community Development and other Town staff and consultants as may be determined. The Applicant and the site general contractor shall host a meeting open to all members of the public to review the construction schedule, hours, policies, procedures, and other neighborhood impacts at least fourteen (14) days prior to the start of construction.
- E.2 Prior to the pre-construction conference, the Applicant shall submit a Construction Management Plan (“CMP”) for administrative approval by the Board. The CMP shall provide documentation of various construction related activities, including:
 1. A Project Description and outline of primary construction tasks,
 2. A Project Schedule including hours of operation, duration of primary construction tasks and estimated completion date,
 3. Project logistics, including staging areas, truck routes, laydown areas, contractor parking, and construction traffic management,
 4. Site Management including noise mitigation, dust control and security,

5. Public Safety and Coordination, including contact information and site inspections.
- E.2 The Applicant shall permit representatives of the Board to observe and inspect the Property and construction progress until such time as the Project has been completed and the final occupancy permit issued.
- E.3 The proposed construction shall be in accordance with applicable Federal and State laws, rules and regulations.
- E.4 All site retaining walls four (4) feet or greater in height shall be designed by a Massachusetts Professional Structural Engineer.
- E.5 During construction, the Applicant shall conform to all local, State, and Federal laws and provide advance notice to abutters per the Town's Residential Construction Control Agreement regarding noise, vibration, dust, and blocking of Town roads in order to accommodate delivery of materials to the site or for other construction staging purposes. The Applicant shall at all times use all reasonable means to minimize inconvenience to residents in the general area. Adequate provisions shall be made by the Applicant to control and minimize dust on the site during construction in accordance with the construction mitigation plan. The Applicant shall keep all portions of any public way used as access/egress to the Project free of soil, mud or debris deposited due to use by construction vehicles associated with the Project.
- E.6 Appropriate signage shall be shown on the Final Plans, consistent with the sign information shown on the Approved Plans. A temporary sign including the name and address of the project and contact information for the Applicant, general contractor, engineers, architect, and other relevant parties shall be posted on site for the duration of construction operations. The sign must be legible and able to be read from Dorothy Road.
- E.7 The location of all utilities, including but not limited to electric, telephone, and cable, shall be shown on the Final Plans. All transformers and other electric and telecommunication system components shall be included on the Final Plans.
- E.8 The Applicant shall use natural gas for the Project, if reasonably available at the time of the submission of Final Plans. Gas service locations shall be included on the Final Plans.

- E.9 The Applicant shall install lighting on the site that conforms to the Town of Arlington's Zoning Bylaw and Town Bylaw. Lighting shall be down-lit/shielded to prevent light spillover onto surrounding properties and comply with dark sky requirements. Management of outdoor lighting shall be the responsibility of the Applicant.
- E.10 Utilities, including but not limited to telephone, electric, and cable, shall be located underground. The contract with the Property Management Company shall note that no satellite dishes shall be allowed. The general contractor shall be responsible for coordinating all subsurface work with Dig Safe prior to the commencement of any excavation.
- E.11 Soil material used as backfill for pipes, access drives, or structures shall be certified by the Geotechnical Engineer to the Building Commissioner as meeting design specifications, as applicable.
- E.12 The Applicant shall test the soil during construction to confirm soil types in the areas of the infiltration system. Such testing shall be witnessed by the Board's designee. All unsuitable material, if any, discovered in excavation for the infiltration system shall be removed and disposed of in accordance with State and local regulations.
- E.13 Construction activities shall be conducted between the hours of 8:00 a.m. and 6:00 p.m., Monday through Friday and between the hours of 9:00 a.m. and 5:00 p.m. on Saturdays, Sundays, or legal holidays. For purposes of this condition, construction activities shall be defined as: start-up of equipment or machinery, delivery of building materials and supplies; delivery or removal of equipment or machinery; removal of trees; grubbing; clearing; grading; filling; excavating; import or export of earth materials; installation of utilities both on and off the site; removal of stumps and debris; loading of construction dumpsters and erection of new structures. All off-site utility work shall be coordinated and approved by the Building Department and shall not be subject to the timing restrictions set forth above. Parking of all vehicles and equipment must be on the Property during construction.
- E.14 Burning or burial of construction or demolition debris on the site is strictly prohibited. All such materials are to be removed from the site in accordance with applicable law. During construction, the site shall be secured against unauthorized entry or vandalism by fencing, or other appropriate means, and all construction materials shall be stored or stockpiled in a safe manner. Any floodlights used during the construction period shall be located and directed so as to prevent spillover or illumination onto adjacent properties. All construction activities are to be conducted in a workmanlike manner.

- E.15 No building areas shall be left in an open, unstabilized condition longer than sixty (60) days. Temporary stabilization shall be accomplished by hay bales, hay coverings or matting. Final stabilization shall be accomplished by loaming and seeding exposed areas.
- E.16 All dumpsters serving the Project shall be enclosed and covered (with the exception of construction dumpsters used during construction). The Board shall review the dumpster location as part of the approval of the Final Plans if different from what has been shown on the Approved Plans.
- E.17 All retaining walls visible from a public way or direct abutters, as determined by the Building Commissioner based upon the time of year when such walls would be most visible, shall be constructed in an aesthetic manner. Specifically, retaining walls shall avoid the use of exposed concrete to the greatest extent practicable.
- E.18 Snow shall be stored within the areas of the Property designated on the Approved Plans. To the extent snowfall exceeds the capacity of the designated snow storage areas, the Applicant shall truck the excess snow off-site. Snow may not be placed in or adjacent to resource areas.
- E.19 The Applicant shall comply with all applicable local, state and federal requirements relating to noise from construction activities, including the regulations contained at 310 CMR 7.10 and the DEP's Noise Policy contained in DAQC Policy 90-001 as well as the Arlington Noise Abatement Bylaw contained at Title V, Section 12. The Applicant shall also implement all necessary controls to ensure that vibration from construction activities does not constitute a nuisance or hazard beyond the Property. Upon notification from appropriate municipal officials, the Applicant shall cease all construction activities creating noise in excess of state and federal standards, and shall implement such mitigation measures as is necessary to ensure the construction activity will comply with applicable State and Federal requirements.
- E.20 The Applicant is responsible for the sweeping, removal of snow and sanding of the internal roadways and driveways providing access to both the residents of the Project and emergency vehicles. Neither snow nor sand may be placed in or adjacent to resource areas.
- E.21 The Applicant shall maintain all portions of any public road, whether state or local roads, used for access to the Property by construction vehicles, free from soil, mud or debris deposited due to such use during the duration of construction.

- E.22 The Applicant shall comply with DPW requirements regarding curb-cut permits.
- E.23 To the extent earth removal is necessary, the Applicant shall prepare an earth removal plan, showing all necessary cuts and fills, and describing the number of truck trips necessary for the earth removal.
- E.24 Prior to commencing earth removal, the Applicant shall provide the Board with the results of a Phase I Site Assessment pursuant to G. L. c. 21E.
- E.25 All catch-basins shall have oil/water separators as shown on the Approved Plans.
- E. 26 Project sidewalks and pathways/walkways shall be compliant with the requirements of the Americans with Disabilities Act (“ADA”) and the requirements of the Massachusetts Architectural Access Board (“AAB”).
- E. 27 This Comprehensive Permit shall be a master permit which is issued in lieu of all other local permits or approvals that would otherwise be required, except for the issuance of Building Permits and Certificates of Occupancy by the Building Department under the State Building Code; provided, however, the Applicant shall pay all local fees for such permits or approvals as published in the Town regulations or bylaws, including but not limited to building permits, inspections, water and sewer connections, and curb cuts.

F. Traffic/Traffic Safety Conditions / Sidewalks

- F.1 Access and egress to the Project shall be via Dorothy Road, consistent with the Approved Plans.
- F.2 The Applicant shall implement an annual Transportation Demand Management monitoring program in consultation with the Department of Planning and Community Development.
- F.3 The Applicant shall provide bicycle repair stations with repair stands and air pumps in the bicycle storage area.
- F.4 The Applicant shall ensure that emergency vehicles can adequately maneuver through the site. The Arlington Fire Department shall review the Final Plans to ensure compliance with this condition.
- F.5 The Applicant shall provide ____ long-term bicycle parking spaces that are covered and secure.

- F.6 The Applicant shall provide ____ outdoor short-term bicycle parking spaces. These spaces shall be near a location of public building access, such as the courtyard area.
- F.7 The Applicant shall provide new residents with transportation information packets with information on getting around Arlington sustainably.
- F.8 The Applicant shall provide Transitscreen installation in the building lobby which depicts accurate real-time information for public transit, car sharing, and ride sharing services within one (1) mile of the site.
- F.9 The Applicant shall provide ____ parking spaces, for a ratio of 1.12 spaces per unit.
- F.10 With the exception of designated affordable housing units, parking for units shall be subject to an additional monthly fee, separate from rent, in order to discourage motor vehicle ownership in the Project.
- F.11 The Board shall review and administratively approve the parking fee structure. Any changes in the parking fee structure must be approved by the Board prior to fees becoming effective.
- F.12 The Applicant's property management team shall investigate paying for membership either with the 128 Business Council or the Alewife TMA, in order to provide ride matching opportunities for residents of the Project to regional transportation connections and places of employment in the region.
- F.13 The Applicant shall provide a one-month Charlie Card with an unlimited bus/subway service to each adult member of a unit, up to two per household.
- F.14 The Applicant or Property Management Company shall designate an on-site employee as the site's Transportation Coordinator to oversee marking and promoting of transportation options and monitoring and management of all related Transportation Demand Management requirements at the Property.
- F.15 The Applicant shall provide electric vehicle charging stations at 5% of the parking spaces in the garage. The Applicant shall provide for the expansion of the number of charging stations in accordance with tenant demand.

- F.16 The Applicant shall provide an annual update to the Arlington Department of Planning and Community Development. Such annual report shall include the number of leased/occupied units, the number of leased/occupied parking spaces, annual unit turnover, a summary of the parking fee structure, and any proposed changes to the parking fee structure.
- F.17 The Applicant shall provide for the installation of at least two (2) Bluebike stations, including purchase of the docks and installation costs pursuant to the Town's existing Bluebikes contract. Such Bluebikes stations shall be located in an area accessible to the public as well as to tenants of the Project.
- F.18 The Applicant shall design ADA-complaint sidewalk and curb ramp improvements along the primary route(s) expected to be used by pedestrians to access the Alewife T station. This shall include Dorothy Road and Margaret Street to the entrance of Thorndike Park. Plans shall be submitted to the Departments of Planning and Community Development and Public Works for review and administrative approval. Improvements shall be completed and fully funded by the Applicant.
- F.19 The Applicant shall provide tenants information regarding the existing weekday peak hour turn restrictions from Lake Street onto Wilson Avenue, Littlejohn Street and Homestead Road.

G. Police, Fire, and Emergency Medical Conditions

- G.1 The Applicant shall provide professional property management and maintenance personnel on the premises during typical business hours and an emergency contact name and number for tenants and the Arlington Police Department and Fire Department.
- G. 2 Stairwells and garages must be two-hour fire rated. Residential units must be one-hour fire rated.
- G.3 The residential structures shall be fully sprinklered to NFPA regulations.
- G.4 Compliance with all State Building Code and NFPA requirements relating to fire access and safety shall be met.
- G.5 All elevators must have emergency generator backup.
- G.6 The Project shall maintain fire access to all four sides of each residential structure at all times.

- G.7 The Project shall provide adequate external lighting to ensure safety of the residents of the Project. External lighting shall conform to the requirements of the local Regulation of Outdoor Lighting [Title V, Section 14].
- G.8 As proposed by the Applicant, the Project shall have a card access system with time stamps and shall have a superintendent on-site to address security concerns with the Police Department.
- G.9 During times of construction, the Project, including all structures shall be accessible to Fire Department and other emergency vehicles. Additionally, all hydrants shall be operational during construction in accordance with NFPA requirements. Standpipes shall be operational on each floor during construction, as required by the Building Code and the Fire Department.
- G.10 The Applicant shall consult with the Fire Department prior to the commencement of construction to provide an on-site emergency plan, which shall be updated as necessary throughout the construction process.

H. Water, Sewer and Utilities

- H.1 The Applicant shall be responsible for the design and installation of the utilities servicing the Project.
- H.2 All water and sewer infrastructure shall be installed in conformance with the Arlington Water and Sewer Division's technical requirements. The Applicant shall provide the Arlington Water and Sewer Division with calculations to ensure the distribution system for the area has the necessary capacity to meet system demand required prior to the commencement of construction.
- H.3 Fire hydrants shall be placed as shown on the Approved Plans in locations approved by the Arlington Fire Department. If the Arlington Fire Department approves different hydrant locations, such modification shall be accepted administratively as an insubstantial change pursuant to 760 CMR 56.05(11).
- H.4 The service size for the domestic water service should be verified by the Arlington Water and Sewer Division and information on the fire service size and requirements should be verified by the Arlington Fire Department. The Applicant shall submit information regarding the size of both the domestic and fire services as part of Final Plans, after consultation with the Arlington Water and Sewer Division. The Applicant shall replace the water main, hydrants and gate valves. Any connections to the Town water main shall be triple-gated and a tee connection.

- H.5 The water and sewer utilities servicing the buildings in the Project shall be installed and tested in accordance with applicable Town requirements and protocols, except as may be waived herein.
- H.6 Utilities shall be installed underground by the Applicant using methods standard to those installations. Utilities shall be defined as electric service lines, telephone lines, water service lines, CATV lines, municipal conduit and the like. The Applicant shall request a Grant of Location from the Select Board for any installation of new utility poles or underground conduit in the public right of way as needed.
- H.7 The Applicant shall be responsible for all trash and recycling removal from the Property. The Town of Arlington shall not have any responsibility for trash, recycling, compost, and/or yard waste pickup at the Property.
- H.8 Fire hydrants shall remain private, and shall be maintained by the Applicant.
- H.9 The Applicant shall design and provide a wider sewer easement beyond 10ft. to provide suitable room to perform all necessary work within the easement. The Applicant shall provide the Arlington Water and Sewer Division with up-gradient sewer flow, with peaking factor, and suitable capacity for proposed additional flow into the sewer system. Contingent upon the system suitability and capacity, the Application may be required to pay an Inflow/Infiltration (I/I) mitigation fee to reduce I/I of the Town sewer system in the amount equal to four (4) times the design flow of the Project. All sewer services should utilize 8" service lines and shall discharge into a sewer manhole when entering the Town sewer collection system. Upon completion of construction, the Applicant shall notify the Arlington Water and Sewer Division to conduct a post- construction evaluation of the sewer main.

I. Wetlands/Floodplain/Environmental Conditions

- I.1 The Applicant proposes work within the one hundred foot buffer zone to a bordering vegetated wetland. The Applicant will be required to obtain an Order of Conditions from the Arlington Conservation Commission, or a Superseding Order of Conditions from the Department of Environmental Protection.
- I.2 No uncovered stockpiling of materials shall be permitted within the 100 foot Wetland Buffer Zone or Adjacent Upland Resource Areas ("AURA") or other resource areas.

- I.3 No heavy equipment may be stored overnight within fifty feet (50') of resource areas and no refueling or maintenance of machinery shall be allowed within the one hundred foot (100') Buffer Zone, AURA, or within any Resource Area.
- I.4 There shall be no dumping of leaves, grass clippings, brush, or other debris into a wetland resource area or associated buffer zones. Dumping of snow into wetland resource areas is also prohibited.
- I.5 Any water discharged as part of any dewatering operation shall be passed through filters, on-site settling basins, settling tank trucks, or other devices to ensure that no observable sediments or pollutants are carried into any Resource Area, street drain, or adjacent property. Any catch-basins drains and outfalls to be used in dewatering operations shall be cleaned out before operations begin.
- I.6 The Applicant shall hire a qualified environmental monitor to be on-site during project construction. The environmental monitor shall submit an electronic report to the Board weekly during construction progress and relation to resource areas. During the duration of construction and mitigation plantings or other activities permitted, the qualified environmental monitor shall also submit an electronic report after every rain event exceeding .5 inches of rain in a 24-hour period to the Board regarding the condition of the Property during and after the rain event. Such report shall also include the status of erosion control measures and any additional measures to address stormwater management caused by said rain event.
- I.7 All work shall be conducted in accordance with the approved erosion and sedimentation control plan. Within one week of final grading, weather permitting, all disturbed areas located within wetland resource areas and buffer zones shall be stabilized against erosion. This shall be done either by sodding or by loaming, seeding and mulching according to Soil Conservation Service Standards and the Approved Plans. Stabilization will be completed when the surface shows complete vegetative cover. Temporary stabilization measures approved by the Board's inspectional engineer will be required should work be interrupted for more than ten (10) days.
- I.8 The applicant, successor or assigns shall ensure the cleanliness of all catch basins and roadway affected by the project related activity. All catch basins will be protected by a "Silt Bag Inlet Protection" device or equal during the project work period. The applicant shall inspect and clean as necessary, all catch basins and sweep the roadway at least weekly during construction. It may be required more frequently during rain events.
- I.9 There shall be no sedimentation into wetlands or water bodies from discharge pipes or surface runoff leaving the Property.

- I.10 The Board or its agent (which may be the Conservation Commission agent acting on behalf of the Board) shall have the right to enter the Property for inspections and to evaluate compliance with the wetlands conditions contained herein upon reasonable notice of not less than twenty-four (24) hours. Access shall be allowed without the need for advanced notice in emergency situations when necessary to prevent imminent harm to wetlands resource areas.
- I.11 Prior to the commencement of work within any resource areas, the Applicant shall, in addition to any other security or surety required by this Decision, provide the Town security in the amount of \$10,000 (via bond, passbook, cash or tripartite agreement) in order to provide security for the work and erosion control measures in or adjacent to resource areas. In the event that said work or erosion control measures have been deemed to have failed or require maintenance, the Applicant shall be given written notice of such deficiency, along with an opportunity to cure the same within seven (7) days, or longer as may be applicable. In the event that the Applicant does not timely cure the deficiency, said security may be accessed by the Board to pay expenses for replacement, repair or maintenance of erosion controls if the Applicant refuses to repair, replace or maintain such erosion control measures in a timely manner upon written notification from the Board or its agent. To the extent that Board is required to access and use this security, as aforesaid, the Applicant shall replenish said security to return it to \$10,000.
- I.16 Prior to any work commencing on-site, the applicant shall submit to the Board for review, proof that a Self-Verification Notification Form has been submitted to the US Army Corps of Engineers, if necessary.
- I.17 Prior to any work commencing on-site, the applicant shall submit to the Board review, proof that a NPDES Stormwater Permit is active for the project.
- I.18 Copies of all information and all required reports regarding a US EPA NPDES permit and Stormwater Pollution Prevention Plan (SWPPP) shall be forwarded to the Commission as both a paper and electronic copy.
- I.19 The Applicant shall submit for review and administrative approval to the Town Engineer design details confirming that the rooftop detention system will conform to the runoff assumptions and calculations in the Applicant's Stormwater Analysis. Any change to the rooftop detention system design will require the approval of the Board.

- I.20 The Applicant shall provide thorough documentation establishing seasonal high groundwater elevations at the Property to ensure that there is a minimum of a two-foot separation between the bottom of the stormwater management infiltration chambers and the seasonal high groundwater table. Such data shall be conducted in March or April. The Applicant shall provide the proposed locations and number of test pits and wells to the Board for review and administrative approval. After the site specific field data has been collected, the Frimpter Method or other methodology acceptable to the Board shall be used.
- I.21 The Board has retained BETA Group to conduct a review of the stormwater management system utilizing the rainfall totals using the NOAA Atlas 14+ data. This analysis shows that both Infiltration Basin 1 and Infiltration Basin 3 experience higher water surface elevations during the 100-year storm event, which may result in negative impacts to the site drainage. The Applicant shall revise both Infiltration Basin 1 and Infiltration Basin 3 to accommodate the increased flows using the NOAA Atlas 14+ data.
- I.22 The Applicant shall retain a qualified stormwater monitor civil engineer to oversee the installation of the stormwater system. A stormwater mitigation report shall be submitted to the Board within ten (10) days of the completion of the installation of the stormwater management system. Such stormwater mitigation report shall include as-built plans, photographs from installation, and a written summary of the installation of the stormwater management system, as well as stormwater best management practices (porous pavement, rain gardens, and porous paths and walkways throughout the Property).
- I.23 The Applicant shall only treat planted areas within resource areas with slow release nitrogen fertilizer. Application of this fertilizer is not permitted to occur during the summer months or after storm events. Lawn fertilizer may only be applied twice per year, once in the Spring and once in the Fall.
- I.24 The application of plant nutrients shall comply with 330 CMR 31.00. No other herbicides or treatment methods may be utilized on the Property. No pesticides or rodenticides shall be used to treat pest management issues within resource areas.
- I.25 No snow storage or sand/salt is allowed within one hundred feet (100') of resource areas.
- I.26 The Applicant shall protect all adjacent catch basins using silt socks during construction.
- I.27 The Applicant shall conduct catch basin sump cleanings at the end of construction of the Project.

- I.28 The Applicant shall provide compensatory flood storage at a minimum ratio of 2:1. Compensatory storage shall mean a volume not previously used for flood storage and shall be incrementally equal to the theoretical volume of flood water at each elevation, up to and including the 100-year flood elevation which would be displaced by the Project. Compensatory flood storage areas shall not be allowed within fifty feet (50') of any resource area.
- I.29 The Applicant shall submit for review and administrative approval by the Board a restoration plan for the proposed compensatory flood storage area(s) of the Site to mitigate for the negative environmental impacts of the vegetation removal and grading to create the compensatory flood storage area.
- I.30 The Applicant shall submit for review and administrative approval by the Board an invasive management plan for work within the AURA and other resource areas outlining all locations for invasive management, the species and quantities of invasive plants to be managed, and the method of management.
- I.31 All mitigation plantings and all plantings with resource areas shall be native, and shall be installed and maintained according to the standards of the American Association of Nurserymen (AAN). No cultivars of native plantings shall be allowed.
- I.32 All plantings planted and invasive species removed through the Project shall be monitored for three years. A survival rate of one hundred percent (100%) must be maintained for the approved plantings at the end of the third year of monitoring. If the survival rate is less than one hundred percent (100%) after the end of the third year, the Applicant must submit proposed recommendations for replacement to the Board for its review and administrative approval. A monitoring report shall be submitted annually in June for each of the years in the three-year monitoring period, reporting on the health of the new plantings and the success of the invasive plant management.
- I.33 No work shall be allowed within twenty-five feet (25') of any resource area.
- I.34 No disturbance shall be allowed within fifty feet (50') of any resource area.
- I.35 Limited activity only is allowed within fifty feet (50') to seventy-five feet (75') of any resource area. Mitigation must be provided for any work between fifty feet (50') to one hundred feet (100') of any resource area. Definitions of "work", "disturbance", "limited activity" and "mitigation" shall be as defined in the Arlington Regulations for Wetlands Protection (2015), Section 4 and 25.

- I.36 The Applicant shall revise the Long-Term Pollution Prevention & Operations and Maintenance Plan to include requirements for inspection and cleaning of trench drains and the roof stormwater outlet to ensure these are functional prior to significant rain events.
- I.37 The Applicant shall revise the Long-Term Pollution Prevention & Operations and Maintenance Plan to include provisions for maintenance and cleaning of compensatory flood storage areas to ensure these remain functional.

J. Other General Conditions

- J.1 This Decision will be deemed to be final upon the expiration of the appeal period with no appeal having been filed or upon the final judicial decision following the filing of any appeal, whichever is later, as per 760 CMR 56.05(12)(a). In accordance with 760 CMR 56.05(12)(c), this Comprehensive Permit shall expire three (3) years from the date that the permit becomes final, unless (i) prior to that time construction authorized by the Comprehensive Permit has commenced or (ii) the time period is otherwise tolled in accordance with law. The Applicant may timely apply to the Board for extensions to the Comprehensive Permit as permitted by law.
- J.2 The Applicant shall comply with all local regulations of the Town and its boards, commissions, and departments unless specifically waived herein or as otherwise addressed in these conditions.
- J.3 The Applicant shall copy the Board on all correspondence between the Applicant and any federal, state, or Town official, board, or commission concerning the conditions set forth in this Decision, including but not limited to all testing results, official filings, environmental approvals, and other permits issued for the Project.
- J.4 This Decision prohibits the parking or storage of any unregistered vehicle on the site, and likewise prohibits the service of any vehicles on the site, except during construction. Overnight parking of vehicles on public ways is prohibited in the Town of Arlington.

- J.5 In the event that the Applicant (or its Management Company) fails to maintain the stormwater management system for the Project in accordance with its operation and maintenance plan, within fourteen (14) days of notification by the Town to the Applicant/Management Company, the Town may conduct emergency maintenance and/or repair, as it deems necessary, and the Applicant shall, prior to the issuance of any certificates of occupancy, convey such easement or other rights in a form mutually acceptable to the Town and the Applicant as may be reasonably necessary to complete such repair and/or maintenance. In the event the Town opts to perform such maintenance in accordance with this paragraph, the Applicant shall reimburse the Town within forty-five (45) days for all of its reasonable expenses related to such work.
- J.6 The Project entrance way and interior roads, and drainage systems associated therewith shall remain private, and the Town shall not have any legal responsibility for the operation and maintenance of such. The Town shall also have no obligations relating to the proposed recreational areas on the Property, the construction and operation of which shall be the sole responsibility of the Applicant. The Applicant is required to maintain the sidewalk along Dorothy Road clear of snow per local ordinance.
- J.7 If any default, violation or breach of these conditions by the Applicant is not cured within thirty (30) days after notice thereof (or such longer period of time as is reasonably necessary to cure such a default so long as the Applicant is diligently and continuously prosecuting such a cure), then the Town may take one or more of the following steps: (a) enforcement by the Zoning Enforcement Officer pursuant to G. L. c. 40A, § 7; (b) by mandamus or other suit, action or other proceeding at law or in equity, require the Applicant to perform its obligations under these conditions; or (c) take such other action at law or in equity as may appear necessary or desirable to enforce these conditions. If the Town brings any claim to enforce these conditions, and the Town finally prevails in such claim, the Applicant shall reimburse the Town for its reasonable attorneys' fees and expenses incurred in connection with such claim.

DECISION

In consideration of all of the foregoing, including the plans, documents and testimony given during the public hearing, the Board hereby grants the Applicant a comprehensive permit for the construction of _____ rental apartment units pursuant to Chapter 40B, §§ 20-23, for the development described above.

RECORD OF VOTE

Decision on Application for Comprehensive Permit
Arlington Land Realty, LLC
Off Dorothy Road, Arlington, MA
_____, 2021
Page 33 of 40

The Board of Appeals voted _____, at its public meeting on March __, 2021, to grant a Comprehensive Permit subject to the above-stated Conditions, with this Decision as attested by the signatures below.

Dated: _____, 2021

Filed with the Town Clerk on _____, 2021.

Town Clerk

Notice: Appeals, if any, by any party other than the Applicant, shall be made pursuant to Massachusetts General Laws, Chapter 40A, s. 17, and shall be filed within twenty (20) days after the filing of this notice in the Office of the Town Clerk, Town Hall, Groveland, Massachusetts. Any appeal by the Applicant shall be filed with the Housing Appeals Committee pursuant to G. L. c. 40B, § 23, within twenty (20) days after the filing of this notice in the Office of the Town Clerk.

DECISION ON WAIVERS

The Board takes the following action on the waiver requests of local rules and regulations submitted by the Applicant as it has determined necessary for the construction of the Project as approved by the Board:

1. Town of Arlington Bylaws, Title III, Article I, Sections 1 and 2 “Use of Streets for Construction or Demolition Materials”: This section requires a permit from the Board of Public Works or Town Engineer, and included bond requirements, for work adjacent to public ways and for the use of public ways to place building materials and/or rubbish. The Applicant requests a waiver except from the bonding requirements.

Board Action: Waiver Denied. The Applicant has requested a waiver of the procedural requirements of this section, a waiver that is unnecessary for a comprehensive permit application, as all other local approval processes are subsumed into the comprehensive permit application. The Applicant has not set forth any substantive waiver requests of this section, therefore no such waivers are granted.

2. Town of Arlington Bylaws, Title V, Article 8, and Town Wetland Protection Regulations “Wetland Protection Bylaw” and “Wetland Regulations of the Town of Arlington Conservation Commission dated June 4, 2015): The Applicant requests a waiver of the procedures, jurisdictional requirements, applications, fees, costs, regulations, policies, and enforcement, consultant fees of the Wetlands Bylaws and Regulations.

Board Action: Waiver Denied. To the extent that this waiver request constitutes a request for a waiver of the procedural requirements under the Wetlands Bylaw and Wetlands Regulations, this request is denied as unnecessary, as the procedural requirements of other local permitting processes are subsumed into the comprehensive permit process. To the extent that this waiver request seeks substantive waivers (such as jurisdictional requirements, policies, etc.), this waiver request is overly-broad and is therefore denied.

3. Wetlands Protection Bylaw, Section 2, and Wetlands Regulation Sections 2(A)(5), 4(3) and 4(7), Areas Subject to jurisdiction under local bylaw/definitions of same: The Applicant requests a waiver of these sections to waive the Area Adjacent to Upland Resource Area “AURA” as a resource area, to allow portions of the AURA to be graded, completed as compensatory floodplain storage and/or emergency access areas, as shown on the Approved Plans.

Board Action: Waiver Granted to allow work within the AURA as shown on the Approved Plans. The request to waive the AURA as a resource area in general is

denied.

4. Town of Arlington Wetlands Regulations, Section 24 “Vegetation Removal and Replacement”: This section requires an application process in which the Applicant must list all species existing and all proposed replacement species within resource area, including specific requirements for deciduous trees, evergreen trees and shrubs. The Applicant requests a waiver to allow for the Applicant to provide a detailed re-vegetation plan of all areas not otherwise permanently altered for emergency access road or those portions of the southerly side of the building within the floodplain, and to allow a re-vegetation plan acceptable with industry standards.

Board Action:

5. Town of Arlington Wetlands Regulations, Section 25 “Adjacent Upland Resource Areas”: This section regulates the 100-foot buffer zone to resource areas. The Applicant requests a waiver to allow for grading and compensatory flood storage as shown on the Approved Plans, and for limited permanent impacts to the outer AURA area for emergency access road, and portions of the garage structure. No alteration will occur within 25’ to a state-listed wetland resource area.

Board Action:

6. Town of Arlington Bylaws, Title V (Regulations Upon Use of Private Property), Article 8, Section 11 “Bond to Secure Corrections of Flooding Conditions”: This section requires an applicant to post a bond where a structure in excess of 6,000 square feet in area is proposed within two hundred yards of an existing stream or wetland to post a proper bond sufficient in the opinion of the Commission to secure performance of measures necessary to correct any flooding conditions resulting from the construction. The Applicant requests a waiver of this provision.

Board Action:

7. Town of Arlington Bylaw, Title V, Section 8 “Wetlands Consultant Fees”: This section allows the Conservation Commission to impose fees upon an applicant to cover the cost of the Commission retaining an outside wetlands consultant to review the applicant’s submittals. The Applicant requests a waiver of this requirement.

Board Action: Waiver Granted. The Board does not require additional authority to impose a fee for the retaining of an outside wetlands consultant, which it has done for this Application.

8. Town of Arlington Bylaw, Title v, Article 9 “Placement of Dumpsters”: This section requires a permit to be issued by the Select Board for the placing of dumpsters or

portable storage containers. The Applicant does not request any substantive waivers of this provision, seeking only a waiver of the procedural requirement of obtaining a permit from the Select Board.

Board Action: Waiver Denied as unnecessary. The comprehensive permit subsumes all other local permitting processes, therefore no specific waiver of this provision is required. The Board acknowledges that approval of the dumpster locations is part of the comprehensive permit.

9. Town of Arlington Bylaw, Title V, Article 15, Sections 1-5 “Stormwater Mitigation” –

Board Action:

10. Town of Arlington Bylaws, Article 16 “Tree Protection and Preservation”: This section requires approval of the Tree Warden prior to commencement of site work. The Applicant requests a waiver of the procedural requirement of obtaining approval of the Tree Warden. The Applicant does not request any substantive waivers of the requirements of this section.

Board Action: Waiver Denied as unnecessary. Because all local permitting processes are subsumed into the comprehensive permit application, no waiver of this provision is required. The Applicant has agreed to comply with the substantive provisions of this bylaw.

11. Town of Arlington Bylaw, Title IX, Article 3, Sections 4A and 4B “Town Fees and Charges, Department of Community Safety and Office of Building Inspector”: These sections set forth local fees and charges. The Applicant requests a waiver of 25% of local fees to reflect the 25% affordable housing units for the Project.

Board Action: Waiver Denied.

12. Water Connection Fee Regulations “Water Privilege Fee”: This section details the required fees for water connections. The Applicant requests a waiver of 25% of these fees to reflect the 25% affordable housing units in the Project.

Board Action: Waiver Denied.

13. Sewer Privilege Fee: This section details the required fees for connection to the municipal sewer system. The Applicant requests a waiver of 25% of these fees to reflect the 25% affordable housing units in the Project.

Board Action: Waiver Denied.

14. Arlington Zoning Bylaws, Article 2 “Definitions”: The Applicant requests the waiver of various unspecified definitions in this section.

Board Action: Waiver Denied. The Applicant has not submitted sufficient information for the Board to make an informed decision on this waiver request, therefore a denial is required.

15. Arlington Zoning Bylaws, Article 4.02 “Application of Zoning Bylaws”: This section states that the Zoning Bylaws shall apply to the erection, construction, reconstruction, alteration of use of building structures or use of land. The Applicant requests a waiver to allow the erection of a multi-family residential structure, along with the accessory uses thereto, including parking, play area, terraces, landscaping and management office as shown on the Approved Plans.

Board Action: Waiver Granted.

16. Arlington Zoning Bylaws, Article 5, Sections 5.03 and 5.04 “Use Regulations”: The Applicant notes in its list of requested waivers that multi-family dwelling structures are allowed in the PUD Zoning District pursuant to the issuance of a special permit. The Applicant also notes that no waiver of special permit requirements are required for a comprehensive permit development. The Applicant has listed no substantive provisions of these sections that require waivers.

Board Action: Waiver Denied as unnecessary. Because G. L. c. 40B, §§ 20-23 subsumes all other local permitting processes, the Applicant is not required to obtain a special permit for the Project. Since the Applicant has detailed no substantive waivers of these sections that are necessary, the waiver request is denied.

17. Arlington Zoning Bylaws, Article 6, Section 6.00 “Dimensional and Density Regulations” This section regulations minimum lot size, frontage, maximum floor area, maximum lot coverage, minimum lot area, minimum lot depth (front, side and rear), maximum heights, minimum landscaped areas and useable open space.

Board Action: Waiver Denied. The Board addresses the more specific waiver requests below.

18. Arlington Zoning Bylaws Article 6 “Table of Dimensional and Density Regulations”: The Applicant requests a waiver of the Maximum Floor Area Ratio of .80 to allow a Floor Area Ratio of .87 (for the developed portion of the Site).

Board Action:

19. Arlington Zoning Bylaws, Article 6, Section 6.07 “Buildings in Floodplains”: This section requires the issuance of a special permit for buildings within floodplains. The Applicant requests a waiver of this special permit requirement. No substantive waivers of this bylaw were requested.

Board Action: Waiver Denied as unnecessary. Again, an applicant is not required to obtain waivers of special permit requirements, as all other local permits are subsumed into the comprehensive permit.

20. Arlington Zoning Bylaws, Article 6, Section 6.30 “Open Space Regulations for Planned Unit Developments”: This section sets forth a minimum requirement of 10% landscaped and 10% useable open space for apartments in the PUD Zoning District. The Applicant requests a waiver to allow for less than 10% useable open space.

Board Action:

21. Arlington Zoning Bylaws, Article 8, Section 1 “Off-Street Parking Requirements”: The Applicant requests a waiver of the minimum parking requirements (1 space per efficiency unit, 1 .5 spaces per two-bedroom unit and 2 spaces per three-bedroom unit) to allow for a parking ratio of 1.12 spaces per unit.

Board Action: Waiver Granted.

22. Arlington Zoning Bylaws, Article 8, Section 8.12 “Parking/Loading space standards”: This section limits the number of compact spaces to 20% (via special permit). The Applicant requests a waiver to allow up to 31% of the parking spaces to be compact spaces.

Board Action: Waiver Granted.

23. Arlington Zoning Bylaws, Article 10, Section 10.02: This section prohibits permits from being issued for structures that do not comply with the substantive provisions of the Arlington Zoning Bylaws. The Applicant requests a waiver to allow permits to issue for the structures as approved by the comprehensive permit decision.

Board Action: Waiver Granted to allow construction as shown on the Approved Plans.

24. Arlington Zoning Bylaws, Article 10.11 “Special Permits”: This section sets forth the special permit review requirements for the Board or the Arlington Redevelopment Board, and limits the duration of special permits to two (2) years. The Applicant requests a waiver of the procedural requirements for special permits, and also requests a waiver of the two (2) year lapse provision.

Board Action: Waiver Denied as unnecessary. Because a comprehensive permit subsumes all other local permitting processes, a waiver of the special permit process is not required. The Board grants the substantive waiver of the two-year lapse provision contained in Section 10.11, so that the comprehensive permit shall lapse if substantial use has not commenced within three (3) years, as set forth in 760 CMR 56.05(12)(c).

25. Arlington Zoning Bylaws, Article 10, Section 10.12 “Variances”: This section sets forth the criteria for the grant of variances pursuant to G. L. c. 40A, § 10. The Applicant requests a waiver of the variance process.

Board Action: Waiver Denied as unnecessary. The Applicant is not required to obtain variances as part of a comprehensive permit application, therefore the provisions of Section 10.12 are not applicable to this application.

26. Arlington Zoning Bylaws, Article 11, Section 11.04(a-g) “Floodplain District”: This section imposes a special permit requirement upon uses within the Floodplain District. The Applicant requests a waiver of this special permit requirement.

Board Action: Waiver Granted.

27. Arlington Zoning Bylaws, Article 11, Section 11.05(b), (d) and (f): This section requires a special permit for specific uses and structures in the Inland Wetland District. The Applicant requests a waiver of this special permit requirement.

Board Action: Waiver Granted.

28. Arlington Zoning Bylaws, Article 11, Sections 11.06(b), (d)(1), (4), (5), and (6)(e) and (f) “Environmental Design Review”: This section sets forth a special permit process for projects subject to Environmental Design Review. The Applicant requests a waiver of the special permit process and review standards. The Applicant also requests a substantive waiver of the signage requirements to allow for temporary construction signage as allowed by the Building Inspector.

Board Action: Waiver denied as unnecessary. The Applicant is not required to obtain waivers of the procedural requirements for special permits pursuant to 760 CMR 56.05(7). The substantive waiver for temporary construction signage is granted.

29. Arlington Zoning Bylaws, Article 11, Section 11.08 “Affordable Housing Requirements”: This section requires 15% of new residential units be restricted as affordable units. The Applicant requests a waiver to allow compliance with the

requirements of the Subsidizing Agency.

Board Action: Waiver Granted.

30. Zoning Board of Appeals Comprehensive Permit Regulations, Section 3.1 and 3.2 “Application and Documentation”: The Applicant requests a waiver to allow for an application that does not comply with the requirements of Section 3.0.

Board Action:

END OF DECISION



Town of Arlington, Massachusetts

Thorndike Place New Documents

ATTACHMENTS:

Type	File Name	Description
Reference Material	Attachment_B_architectural_elevations_perspectives_2_16_21update_(00191203xBC4F6).pdf	Attachment B_architectural elevations_perspectives_2_16_21update (00191203xBC4F6)
Reference Material	Attachment_C_MassHousing_Ltr_Jan.2019_Abbyville_(00191194xBC4F6).pdf	Attachment C_MassHousing Ltr Jan.2019_Abbyville (00191194xBC4F6)
Reference Material	Attachment_D_MassHousing_Ltr_Oct.2018_Goodridge_Estates_(00191193xBC4F6).pdf	Attachment D_MassHousing Ltr_Oct.2018_Goodridge Estates (00191193xBC4F6)
Reference Material	Attachment_A.1__2020-11-03_Thorndike_Place_Plan_Set_(00191190xBC4F6).pdf	Attachment A.1_ 2020-11-03 Thorndike Place Plan Set (00191190xBC4F6)
Reference Material	Attachment_A.2_2021-01-21_Thorndike_Revised_Plan_Sheets_(00191191xBC4F6).pdf	Attachment A.2_2021-01-21 Thorndike Revised Plan Sheets (00191191xBC4F6)
Reference Material	MassHousing_Notice_3_8_2021_Thorndike_(00191204xBC4F6).pdf	MassHousing Notice 3_8_2021_Thorndike (00191204xBC4F6)



THORNDIKE APARTMENTS
3D VISUALIZATION
DOROTHY ROAD LOOKING WEST
JANUARY 26, 2021



THORNDIKE PLACE
3D VISUALIZATION
DOROTHY ROAD 46 OF 147 LOOKING WEST
FEBRUARY 16, 2021



THORNDIKE PLACE
47 of 147
3D VISUALIZATION ENTRY COURTYARD
FEBRUARY 16, 2021



THORNDIKE PLACE
3D VISUALIZATION
LITTLEJOHN STREET LOOKING SOUTHEAST
FEBRUARY 16, 2021

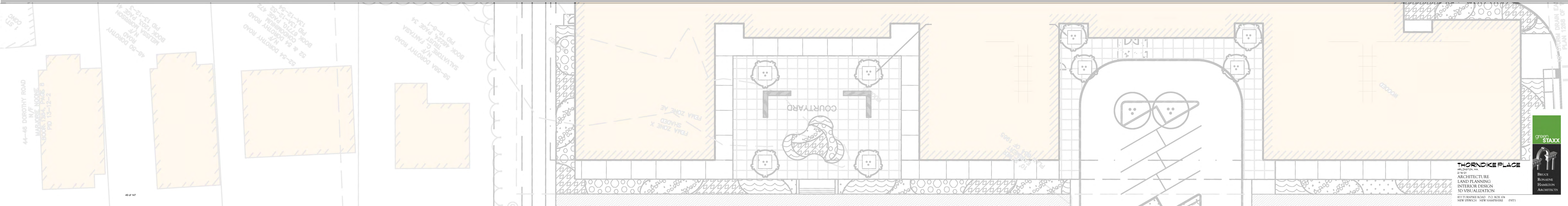
green
STAXX



BRUCE
RONAYNE
HAMILTON
ARCHITECTS



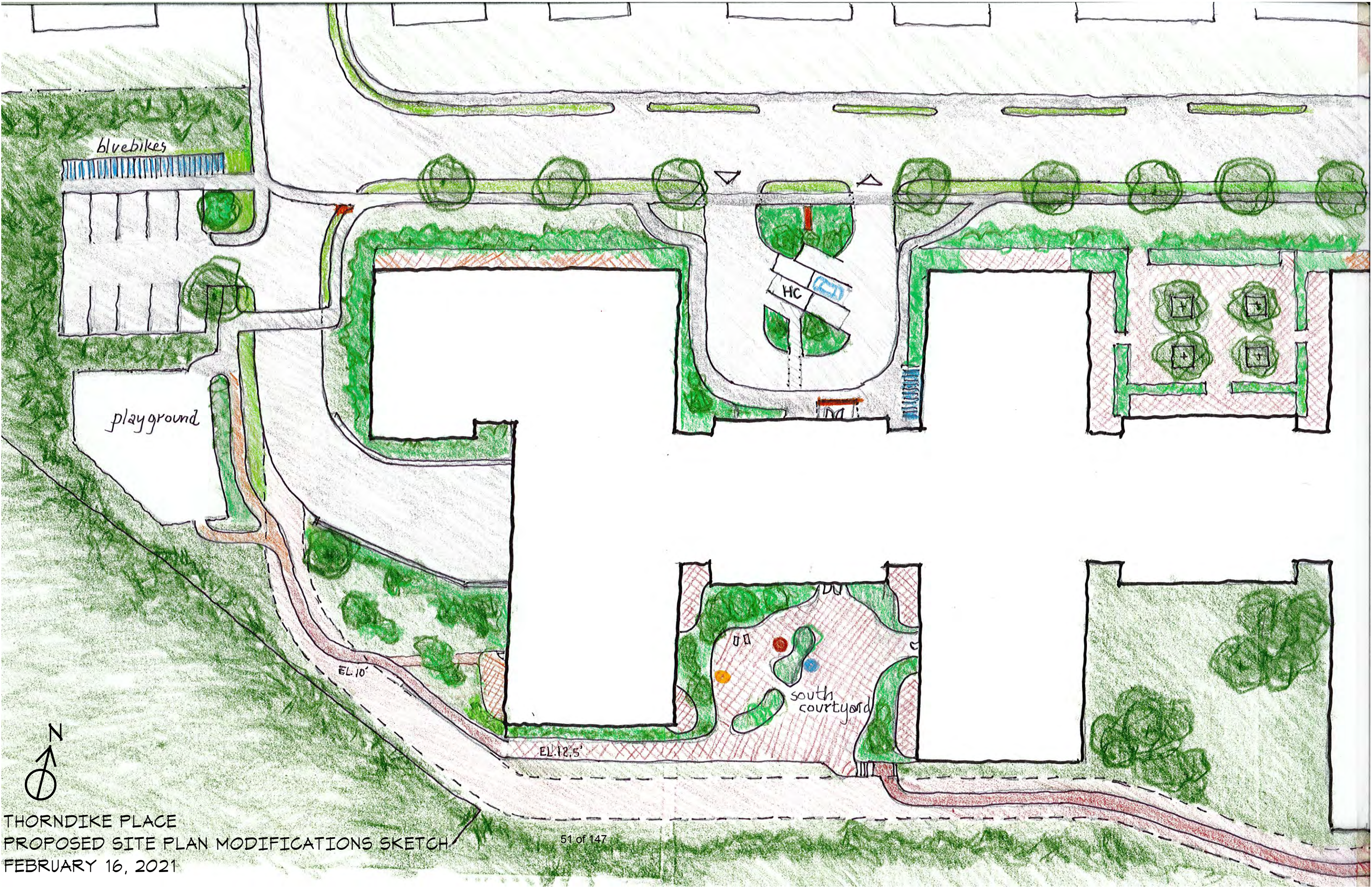
STREETSCAPE ELEVATION - DOROTHY ROAD





**WETLAND EXHIBIT
LEGEND**

- WETLAND
- 25' WETLAND BUFFER
- 100' WETLAND BUFFER
- FLOODPLAIN / FLOODWAY



bluebikes

playground

HC

south courtyard

EL. 10'

EL. 12.5'

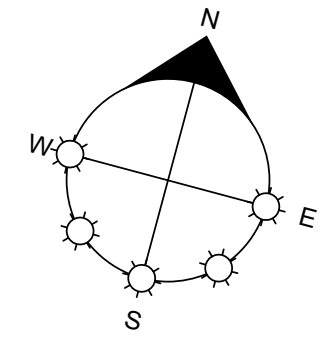
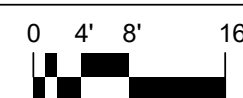


THORNDIKE PLACE
PROPOSED SITE PLAN MODIFICATIONS SKETCH
FEBRUARY 16, 2021



172 TOTAL UNITS
GROUND FLOOR: 51,497 SF

GROUND FLOOR PLAN



THORNDIKE PLACE

ARLINGTON, MA.
2/16/21

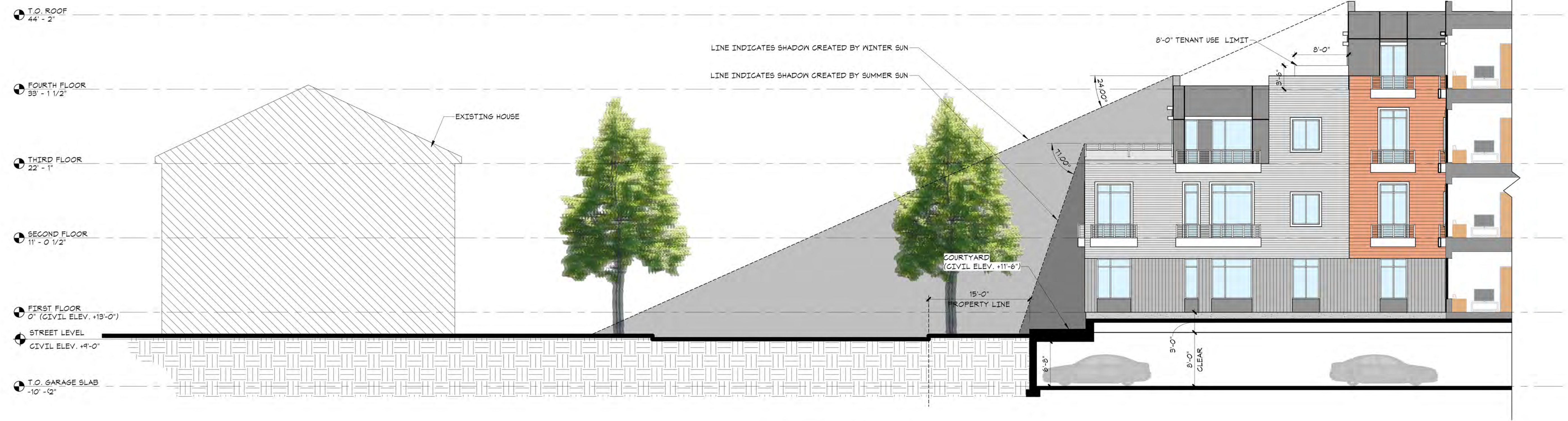
ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

833 TURNPIKE ROAD P.O. BOX 104
NEW IPSWICH NEW HAMPSHIRE 03071

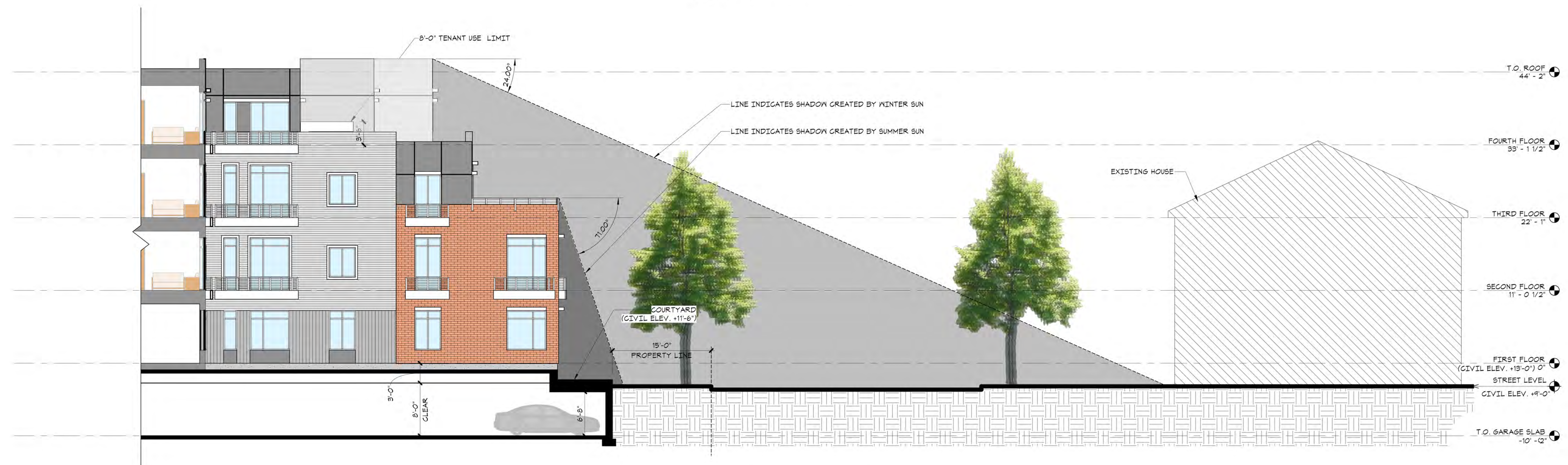
green
STAXX



BRUCE
RONAYNE
HAMILTON
ARCHITECTS

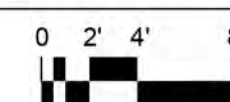


SHADOW DIAGRAM AT
DOROTHY ROAD
2
1/8" = 1'-0"



SHADOW DIAGRAM AT
LITTLEJOHN STREET
1
1/8" = 1'-0"

SHADOW/SOLAR DIAGRAMS



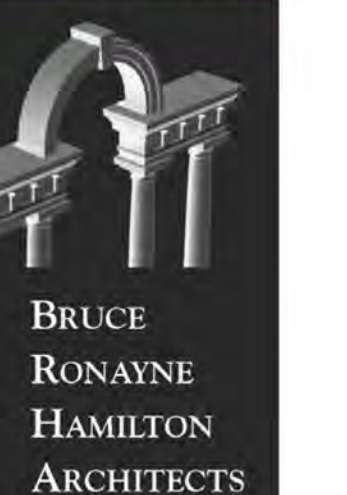
THORNDIKE PLACE

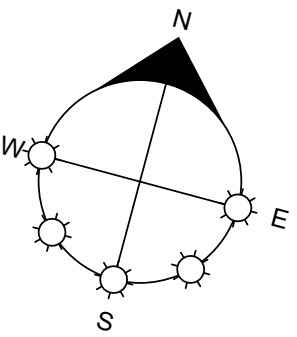
ARLINGTON, MA.
2/16/21

ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

833 TURNPIKE ROAD P.O. BOX 104
NEW IPSWICH NEW HAMPSHIRE 03071

green
STAXX

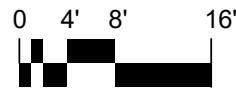




172 TOTAL UNITS
2ND FLOOR: 51,497 SF

PROJECT KEY & UNIT COUNTS		
UNIT KEY	QUANTITY	AVG. SQ. FT.
ONE BEDROOM	88	779 FT ²
TWO BEDROOM	55	1044 FT ²
THREE BEDROOM	18	1085 FT ²
STUDIO	11	505 FT ²
TOTAL =	172	

SECOND FLOOR PLAN



THORNDIKE PLACE

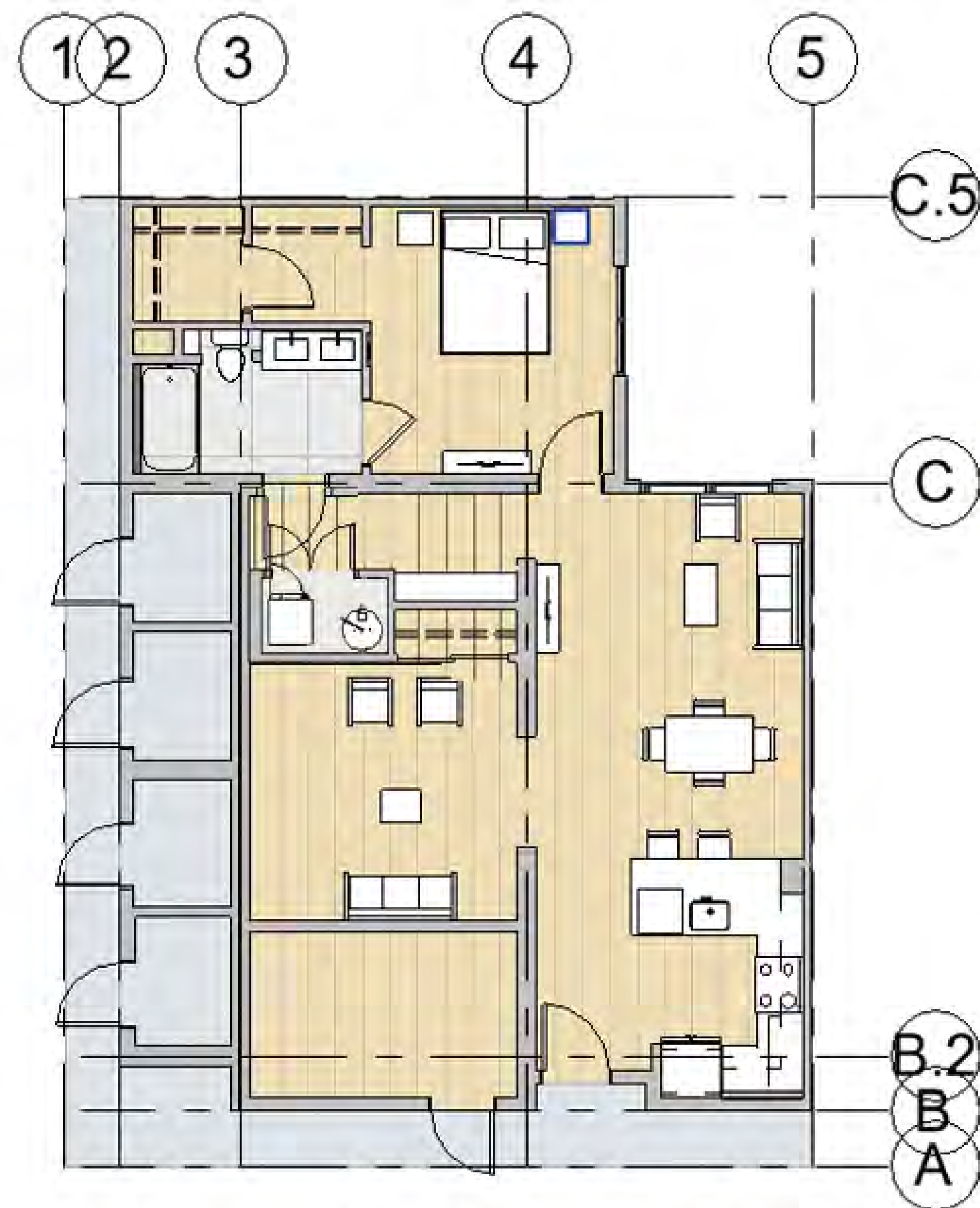
ARLINGTON, MA.
2/16/21

ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

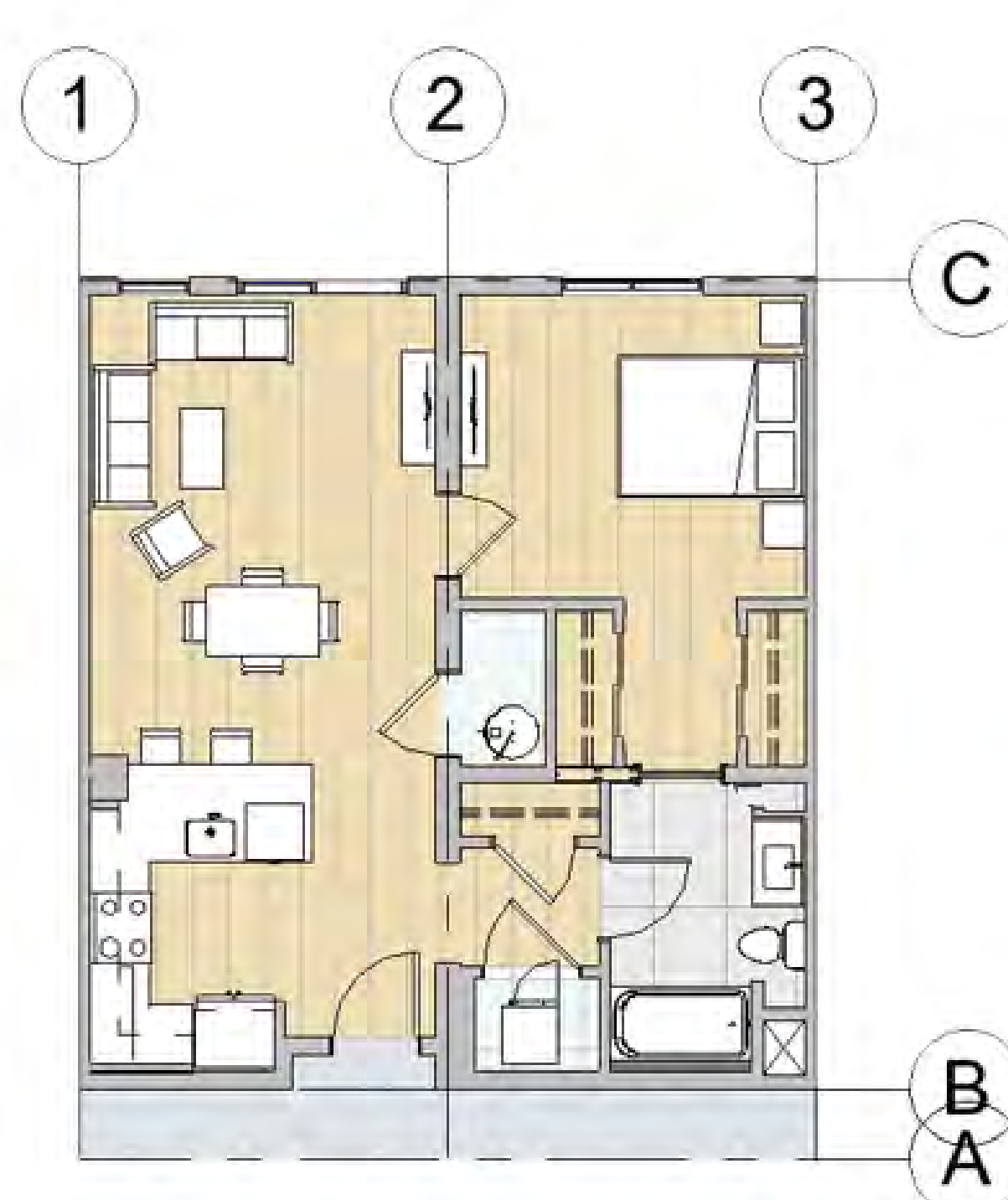
833 TURNPIKE ROAD P.O. BOX 104
NEW IPSWICH NEW HAMPSHIRE 03071

green
STAXX

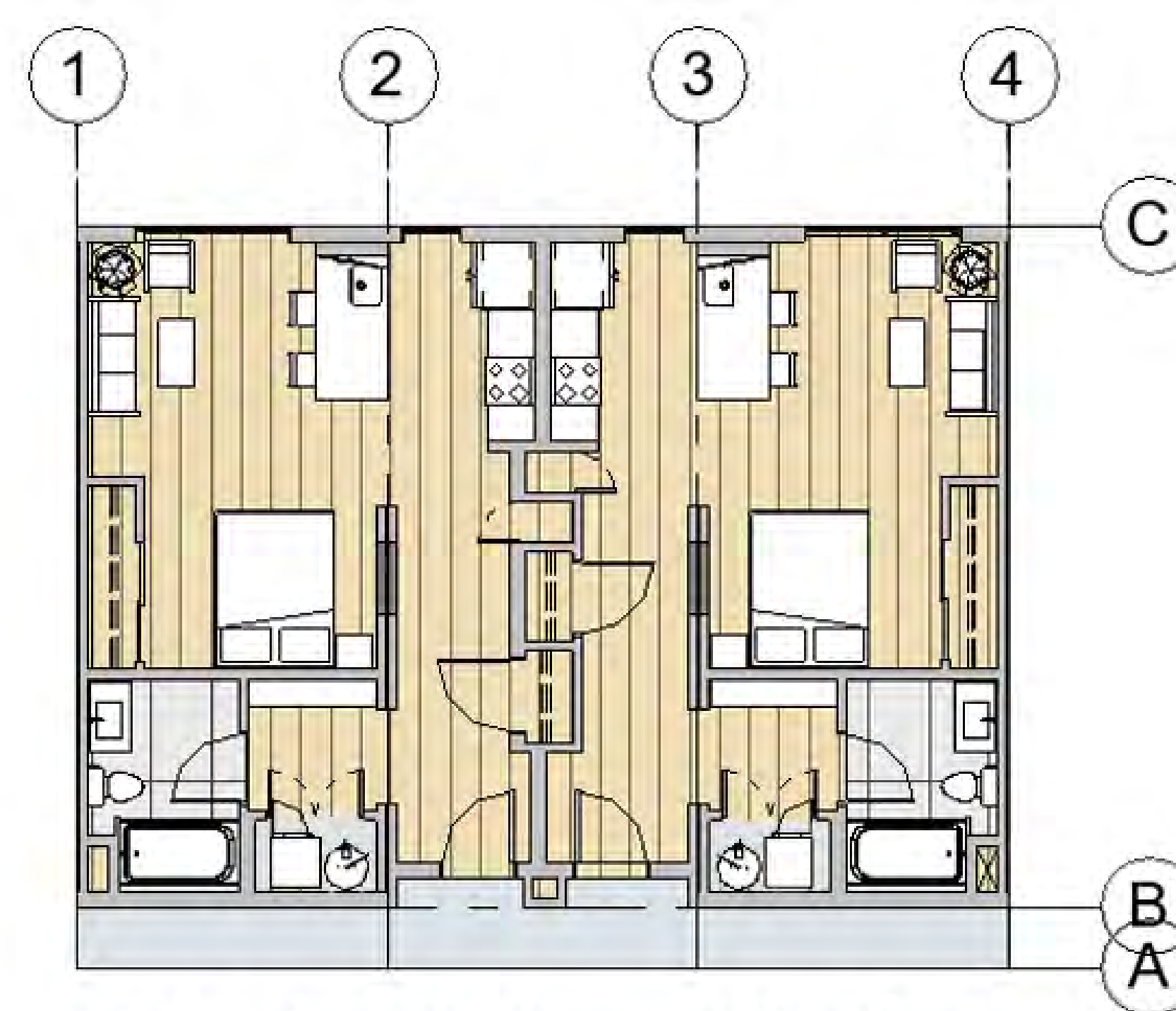
BRUCE
RONAYNE
HAMILTON
ARCHITECTS



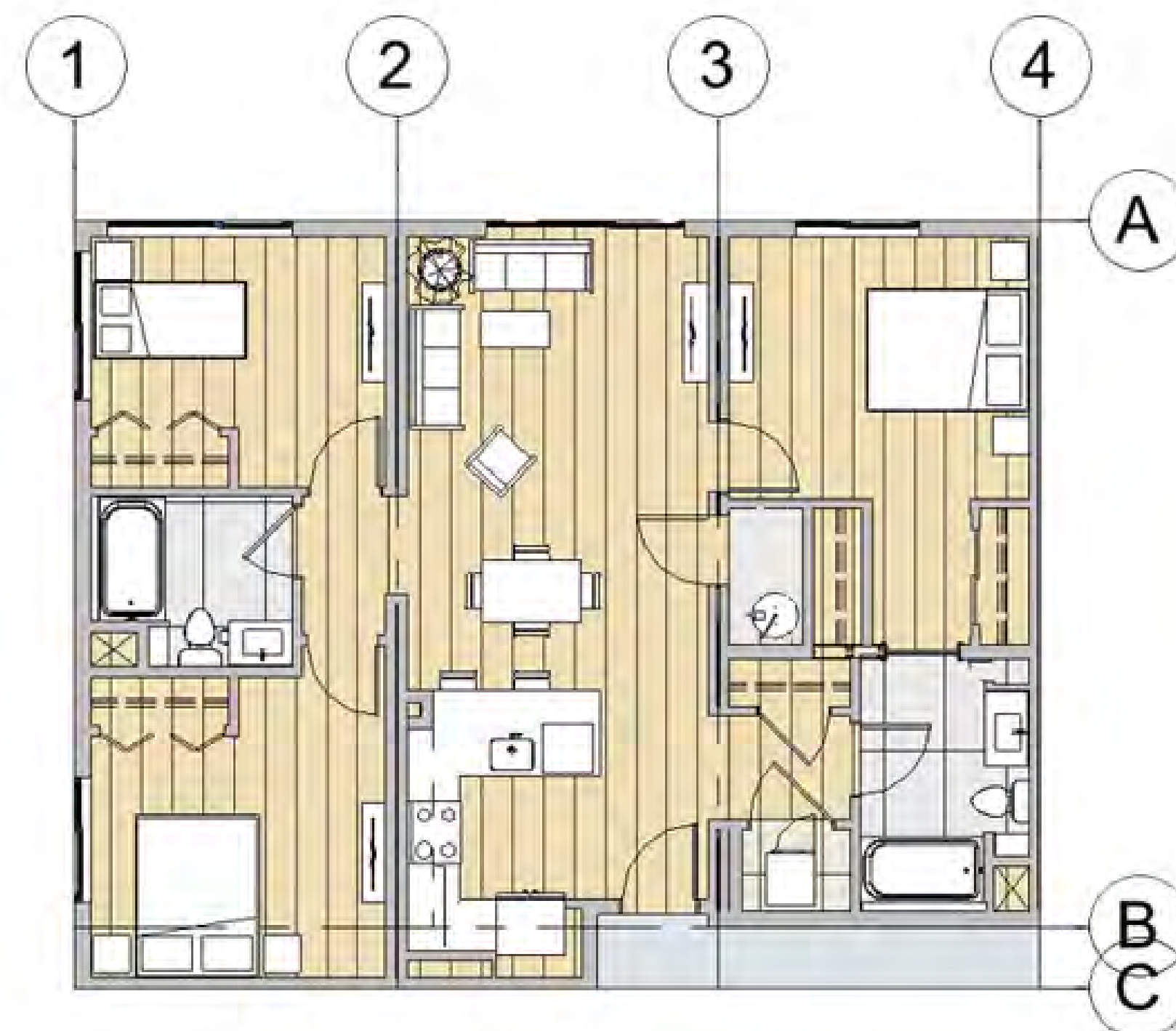
IC-101 (a) 865sf



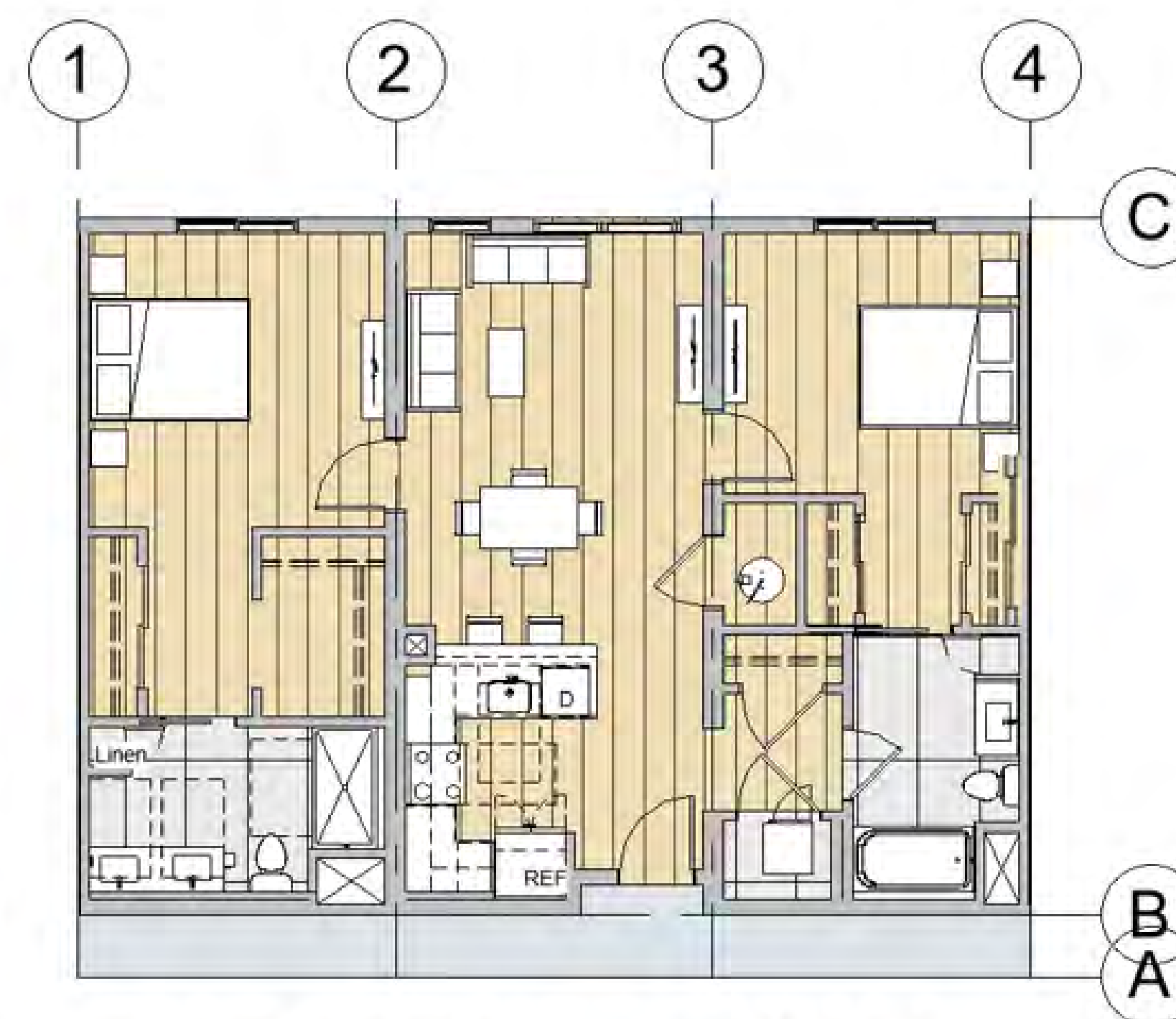
CR-101 (a) 693sf
Standard



CR-001 (a) 505sf each

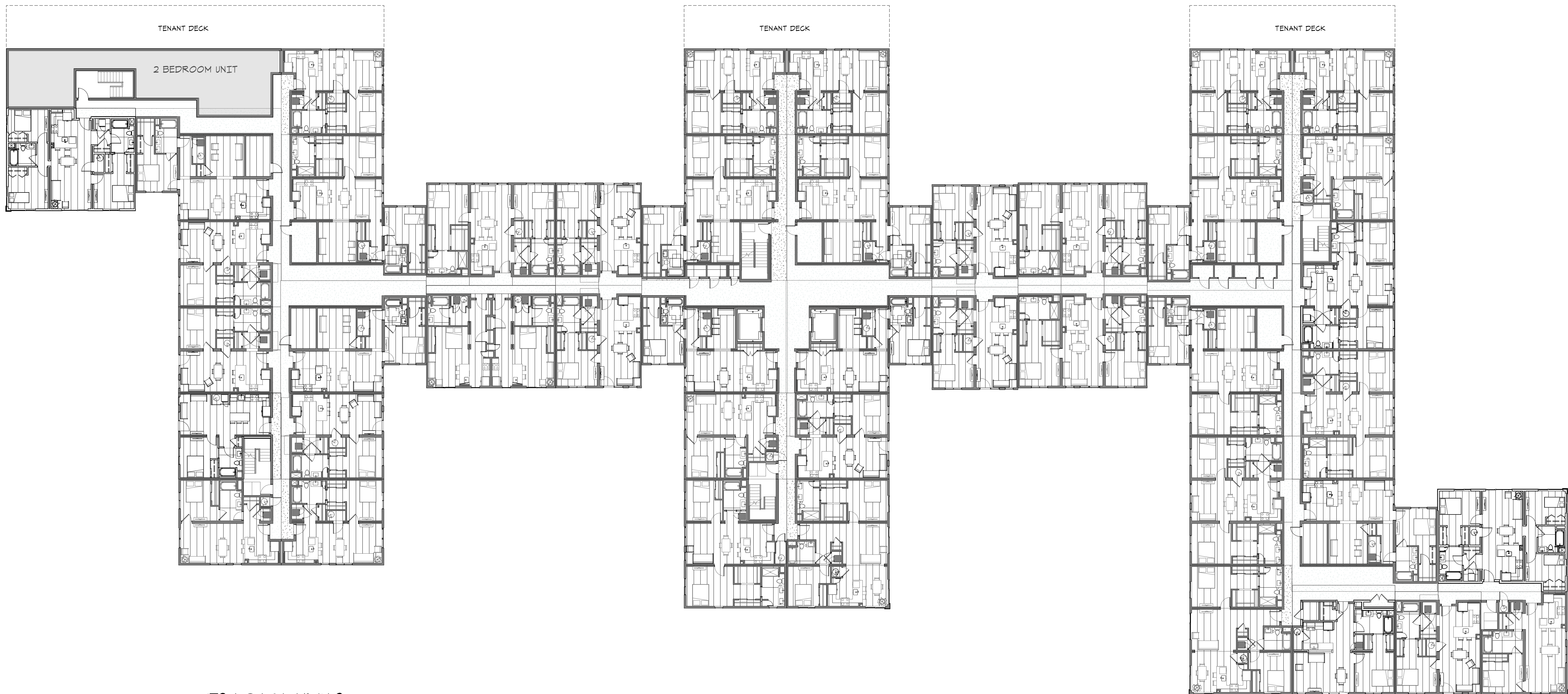


OC-301 1,085sf
Standard



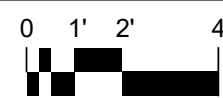
CR-201 (a) 1044sf
Standard

TYPICAL UNIT EXAMPLE PLANS



172 TOTAL UNITS
3RD FLOOR: 48,403 SF

THIRD FLOOR PLAN



THORNDIKE PLACE

ARLINGTON, MA.
2/16/21

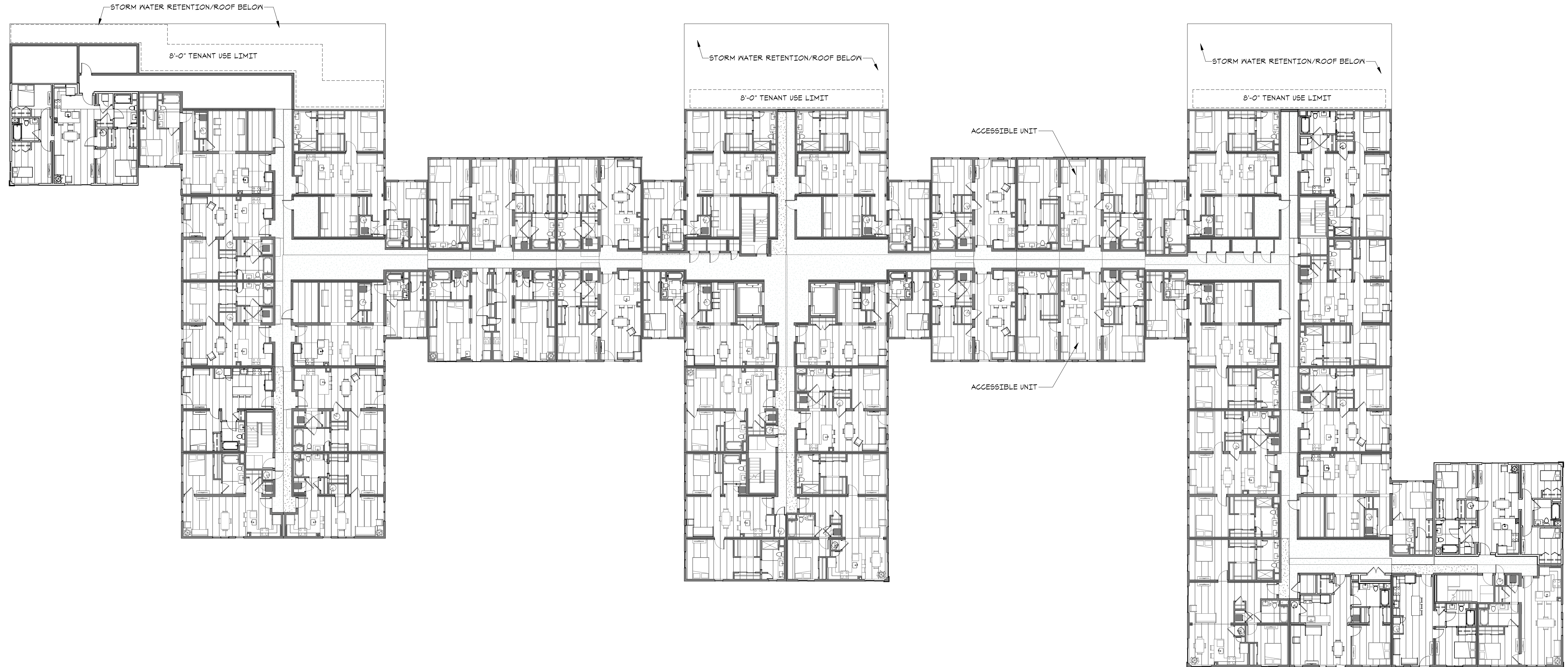
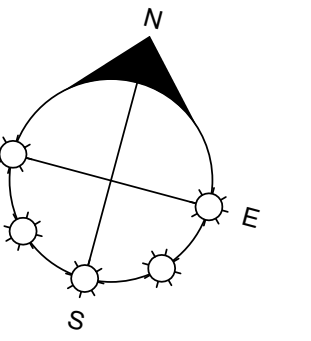
ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

833 TURNPIKE ROAD P.O. BOX 104
NEW IPSWICH NEW HAMPSHIRE 03071

green
STAXX

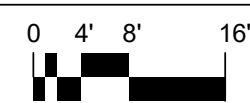


BRUCE
RONAYNE
HAMILTON
ARCHITECTS



172 TOTAL UNITS
FOURTH FLOOR: 43,518 SF

FOURTH FLOOR PLAN



THORNDIKE PLACE

ARLINGTON, MA.
2/16/21

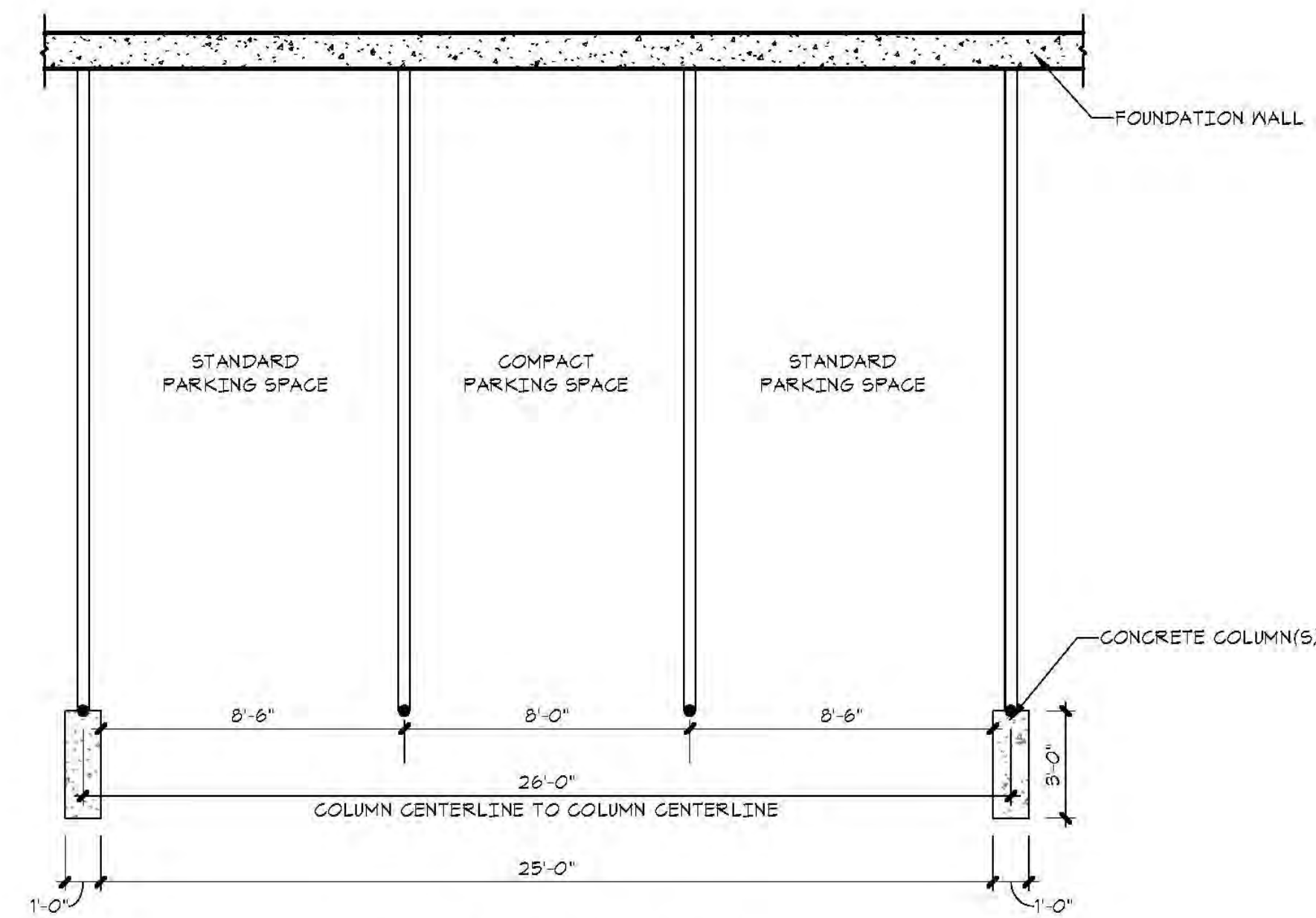
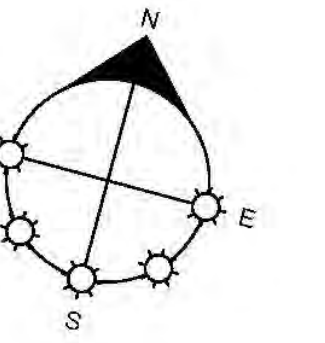
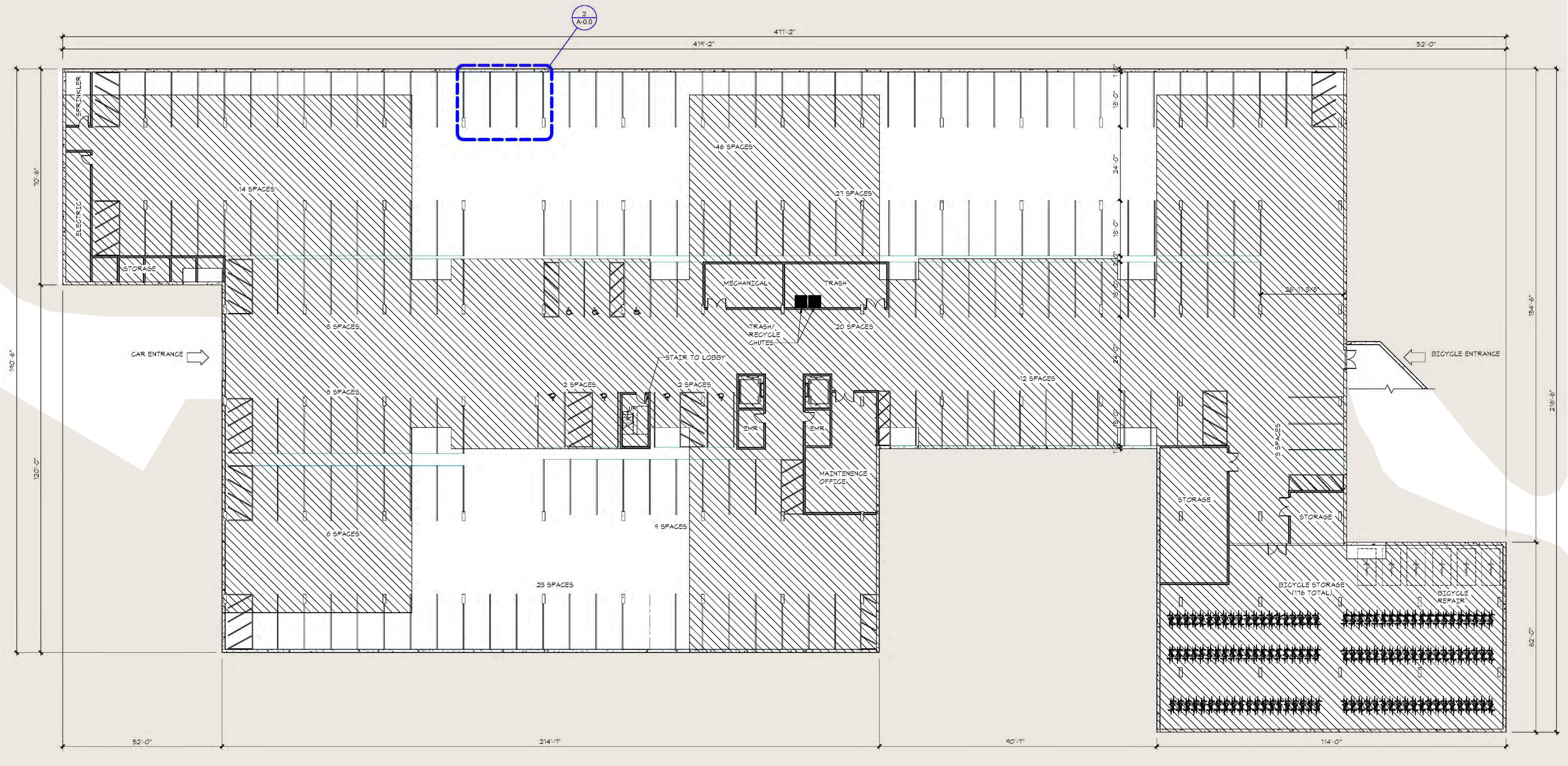
ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

833 TURNPIKE ROAD P.O. BOX 104
NEW IPSWICH NEW HAMPSHIRE 03071

green
STAXX

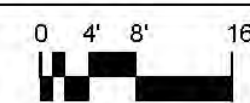


BRUCE
RONAYNE
HAMILTON
ARCHITECTS



**ENLARGED PARKING
CONFIGURATION**
1/4" = 1'-0"

GARAGE PLAN



**TOTAL: 179 SPACES
GARAGE: 72,423 SF**

THORNDIKE PLACE

ARLINGTON, MA.
2/16/21

ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

833 TURNPIKE ROAD P.O. BOX 104
NEW IPSWICH NEW HAMPSHIRE 03071

green
STAXX





THORNDIKE PLACE
59 of 147
3D VISUALIZATION ENTRY COURTYARD
FEBRUARY 16, 2021



**NORTH ELEVATION - WEST
END**
1/8" = 1'-0"

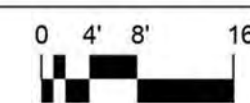


**NORTH ELEVATION - EAST
END**
1/8" = 1'-0"

MATERIAL LEGEND

A1	CEMENTITIOUS HORIZONTAL SIDING, COLOR BY ARCHITECT	C	COMPOSITE TRIMS, COLOR BY ARCHITECT
A2	CEMENTITIOUS HORIZONTAL ACCENT SIDING, COLOR BY ARCHITECT	D	INSULATED WINDOW & DOOR UNIT, WITH OPERABLE PANELS AS INDICATED
A3	CEMENTITIOUS HORIZONTAL ENTRY ACCENT SIDING, COLOR BY ARCHITECT	E	JULIET BALCONY
B1	CEMENTITIOUS PANEL ACCENT SIDING, COLOR BY ARCHITECT	F	CONCRETE FOUNDATION WALL W/ FARGE COATING STUCCO FINISH, COLOR BY ARCHITECT
B2	CEMENTITIOUS PANEL ACCENT SIDING, COLOR BY ARCHITECT	G	VERTICAL BATTEN SIDING, COLOR BY ARCHITECT
B3	PANEL ACCENT SIDING, COLOR BY ARCHITECT	H	CEMENTITIOUS BRICK SIDING, COLOR BY ARCHITECT
B4	PANEL JOINT	J	AWNING WITH CABLE ROD SUPPORTS
		K	OVERHEAD DOOR

NORTH ELEVATION



NOTE: BUILDING CONSTRUCTION TYPE

1-STORY UNDERGROUND PARKING
PER IBC 2015, SECTION 510.2 "HORIZONTAL BUILDING SEPARATION ALLOWABLE", A BUILDING OF USE TYPE S-1(PARKING GARAGE PER) AND TYPE 1A CONSTRUCTION AND PROTECTED THROUGHOUT BY AN AUTOMATIC SPRINKLER SYSTEM AND SEPARATED FROM CONSTRUCTION ABOVE BY A HORIZONTAL ASSEMBLY WITH A 3 HOUR FIRE RESISTANCE RATING IS ALLOWED TO BE CONSIDERED A SEPARATE BUILDING.

4-STORY RESIDENTIAL APARTMENTS
PER IBC 2015, TABLE 504.4 "ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE", A BUILDING OF USE TYPE R-2 AND TYPE 5A CONSTRUCTION AND PROTECTED THROUGHOUT BY AN AUTOMATIC SPRINKLER SYSTEM IS ALLOWED TO BE 4 STORIES.
PER TABLE 504.4 "ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE", A BUILDING OF USE TYPE R-2 AND TYPE 5A CONSTRUCTION AND PROTECTED THROUGHOUT BY AN AUTOMATIC SPRINKLER SYSTEM IS ALLOWED TO BE 4 STORIES.

THORNDIKE PLACE

ARLINGTON, MA.
2/16/21

ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

833 TURNPIKE ROAD P.O. BOX 104
NEW IPSWICH NEW HAMPSHIRE 03071

green
STAXX

BRUCE
RONAYNE
HAMILTON
ARCHITECTS



WEST ELEVATION
1/8" = 1'-0"

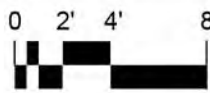


EAST ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

A1	CEMENTITIOUS HORIZONTAL SIDING, COLOR BY ARCHITECT	C	COMPOSITE TRIMS, COLOR BY ARCHITECT
A2	CEMENTITIOUS HORIZONTAL ACCENT SIDING, COLOR BY ARCHITECT	D	INSULATED WINDOW & DOOR UNIT, WITH OPERABLE PANELS AS INDICATED
A3	CEMENTITIOUS HORIZONTAL ENTRY ACCENT SIDING, COLOR BY ARCHITECT	E	JULIET BALCONY
B1	CEMENTITIOUS PANEL ACCENT SIDING, COLOR BY ARCHITECT	F	CONCRETE FOUNDATION WALL W/ PARGE COATING STUCCO FINISH, COLOR BY ARCHITECT
B2	CEMENTITIOUS PANEL ACCENT SIDING, COLOR BY ARCHITECT	G	VERTICAL BATTEN SIDING, COLOR BY ARCHITECT
B3	PANEL ACCENT SIDING, COLOR BY ARCHITECT	H	CEMENTITIOUS BRICK SIDING, COLOR BY ARCHITECT
B4	PANEL JOINT	J	ANNING WITH CABLE ROD SUPPORTS
		K	OVERHEAD DOOR

EAST / WEST ELEVATION



NOTE: BUILDING CONSTRUCTION TYPE

1-STORY UNDERGROUND PARKING
PER IBC 2015, SECTION 510.2 "HORIZONTAL BUILDING SEPARATION ALLOWABLE", A BUILDING OF USE TYPE S-1(PARKING GARAGE PER) AND TYPE 1A CONSTRUCTION AND PROTECTED THROUGHOUT BY AN AUTOMATIC SPRINKLER SYSTEM AND SEPARATED FROM CONSTRUCTION ABOVE BY A HORIZONTAL ASSEMBLY WITH A 3 HOUR FIRE RESISTANCE RATING IS ALLOWED TO BE CONSIDERED A SEPARATE BUILDING.

4-STORY RESIDENTIAL APARTMENTS
PER IBC 2015, TABLE 504.4 "ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE", A BUILDING OF USE TYPE R-2 AND TYPE 5A CONSTRUCTION AND PROTECTED THROUGHOUT BY AN AUTOMATIC SPRINKLER SYSTEM IS ALLOWED TO BE 4 STORIES.
PER TABLE 504.4 "ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE", A BUILDING OF USE TYPE R-2 AND TYPE 5A CONSTRUCTION AND PROTECTED THROUGHOUT BY AN AUTOMATIC SPRINKLER SYSTEM IS ALLOWED TO BE 4 STORIES.

THORNDIKE PLACE

ARLINGTON, MA.
2/16/21

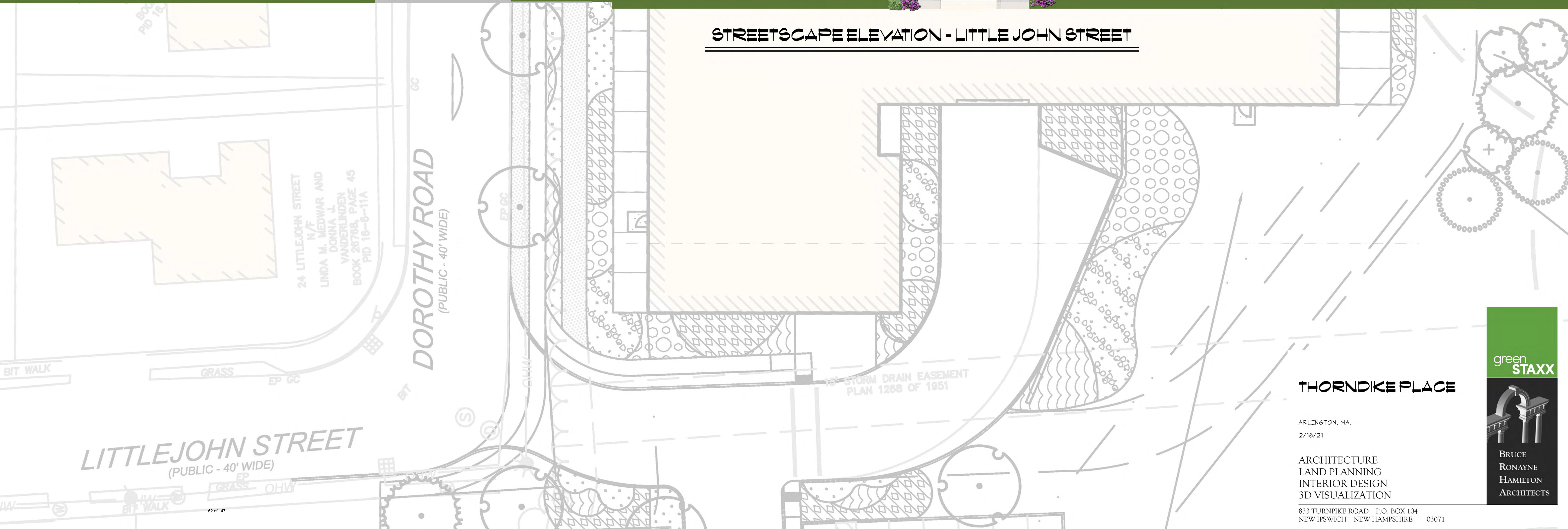
ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

833 TURNPIKE ROAD P.O. BOX 104
NEW IPSWICH NEW HAMPSHIRE 03071





STREETSCAPE ELEVATION - LITTLE JOHN STREET



THORNDIKE PLACE

ARLINGTON, MA.
2/16/21

ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

833 TURNPIKE ROAD P.O. BOX 104
NEW IPSWICH NEW HAMPSHIRE 03071



BRUCE
RONAYNE
HAMILTON
ARCHITECTS



Massachusetts Housing Finance Agency
One Beacon Street, Boston, MA 02108

TEL: 617.854.1000
FAX: 617.854.1091 | www.masshousing.com
Videophone: 857.366.4157 or Relay: 711

January 30, 2019

Abbyville Residential, LLC
Abbyville Development, LLC
200 Stonewall Boulevard, Suite 4
Wrentham, MA 02903
Attn: Thomas DiPlacido, Manager

Re: The Preserve at Abbyville; MH ID No. 910
Abbyville Commons; MH ID No. 911
Project Change

Dear Mr. DiPlacido:

We have received your letter of January 16 (attached as Exhibit A) describing a proposed modification to the above-captioned proposed 40B developments located off Lawrence Street in Norfolk, Massachusetts, known as The Preserve at Abbyville and Abbyville Commons (the "Projects"). Both projects received a Determination of Project Eligibility (Site Approval) from MassHousing on March 8, 2018 and are currently under deliberation by the Norfolk Zoning Board of Appeals (the "Board of Appeals") following the filing of an application for a Comprehensive Permit pursuant to M.G.L Chapter 40B.

You have requested a determination as to whether the proposed modifications to each project, including a change in tenure for Abbyville Commons from rental to homeownership, would be considered a Substantial Change in accordance with 760 CMR 56.04 (5).

MassHousing has reviewed the revised plans included and has determined that the proposed changes are, in fact, substantial in accordance with 760 CMR 56.04 (5). MassHousing has also reviewed the revised Site Plan with attention to the project eligibility requirements set forth in 760 CMR 56.04(1). Since compliance with those requirements will not be affected by the proposed changes, MassHousing can confirm that a new Project Eligibility Letter is **not** required in this instance.

You have also inquired about the possibility of merging the two proposed projects (The Preserve at Abbyville and Abbyville Commons) into a single project, now that both projects are proposed to be homeownership. It is MassHousing's interpretation that both The Preserve at Abbyville and Abbyville Commons can be merged as a single project for review by the Town of Norfolk Zoning Board of Appeals as a consolidated project consisting of 176 residential homeownership units. Such combined project would fall below the Large Project provisions described under 760

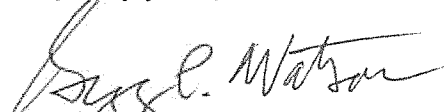
CMR 56.03(6) since the Town of Norfolk has between 2,500 and 5,000 housing units and, therefore, the number of units proposed under the combined project would be less than the 200-unit Large Project threshold.

It is MassHousing's interpretation of the Comprehensive Permit Regulations that Subsidizing Agencies should normally not update Project Eligibility Letters as a project develops but should, rather, consider whether the initial proposal is eligible for a subsidy program at the project eligibility stage and then consider whether the final proposal is eligible directly before construction at the Final Approval stage. Any other approach could interfere with Chapter 40B's goal of expedited permitting. It is for this reason that a Project Eligibility Letter issued pursuant to the comprehensive permit regulations shall, pursuant to 760 CMR 56.04(6), be conclusive evidence that the project and the applicant have satisfied the project eligibility requirements.

Please be assured that MassHousing will carefully review the approved plans once the Project comes back to us for Final Approval, and at that point will determine whether the approved plans still meet the requirements of the 40B regulations and guidelines.

If you have any further questions regarding this project, please contact Jessica Malcolm in this office at (617) 854-1201.

Very truly yours,



Gregory P. Watson
Manager, Planning and Programs

cc: Norfolk Zoning Board of Appeals (via e-mail)

**Abbyville Residential LLC
& Abbyville Development LLC
200 Stonewall Boulevard, Suite 4
Wrentham, Massachusetts, 02093**

January 16, 2019

Mr. Gregory Watson
Manager of Comprehensive Permit Programs
MassHousing
One Beacon Street
Boston, Massachusetts, 02108

Re: The Preserve at Abbyville (PEL ID#910) and Abbyville Commons, Norfolk (PEL ID# 911)

Greg,

At this time I would like to update you to the status of The Preserve at Abbyville, a Homeownership Comprehensive Project and Abbyville Commons, a Rental Comprehensive Project. Both are located within the same locus in the Town of Norfolk and both were granted Project Eligibility Letters from MassHousing on March 8, 2018. Both PELs are attached.

The Preserve at Abbyville

The Preserve at Abbyville, was granted a Project Eligibility Letter for 148 homes. This was comprised of 32 two-bedroom homes, 60 three-bedroom homes and 56 four-bedroom homes situated on approximately 190.67 acres of land. The project proposed to dedicate 140 acres of the 190.67 acres as Open Space for passive recreation.

The current proposal is 88 detached single family 4-bedroom homes on approximately 185 acres of land. The Open Space is now planned to be 131.60 acres which will still be dedicated for passive recreation.

The original proposal had single family homes sited on lots that averaged 10,000sf, but could be as small as 6,000sf. The average continuous frontage was 80 feet but at least one lot had only 20 feet of continuous feet. The homes were also only setback from the street a minimum of 20' in most instances while there were zero side yard setbacks for the 32 two bedroom homes.

The current proposal has 23,000sf average single family lot sizes with the minimum lot size being 15,000sf. The frontage for each lot averages 114 feet, but the minimum frontage would be 100 feet with a proposed minimum front yard setback of 40 feet and side yard setbacks of no less than 10 feet. This side yard setback would allow homes to be closer to one lot line thus allowing for side entry garages on the opposite lot line. The home plans are similar in style, but no longer offer 2 and 3 bedroom options. Please see Attachment "A," Floor Plans & Elevations for The Preserve at Abbyville to see the revised Architectural Styles.

There has also been a significant reduction of proposed public infrastructure from the initial submittal. The total public road length has been reduced from approximately 11,000 feet to 6,000 feet. This will significantly reduce impervious areas and enhance infiltration. Lastly, in lieu of individual septic systems on each lot, the 88 homes of the Preserve at Abbyville will be part of a Homeowners Association in conjunction with the Abbyville Commons Condominiums. Together they will operate a Wastewater Treatment Plant that will be constructed as part of the Project. This will provide additional treatment to protect the underlying Zone II Aquifer.

Abbyville Commons

Abbyville Commons was granted a Project Eligibility Letter to develop 48 rental units. This was comprised of 11 one-bedroom units, 32 two-bedroom units, 5 three-bedroom units and 2 buildings with 10 garages in each. These units were situated on 8.84 acres of land that included a large common green.

As a result of input from the community we were encouraged to eliminate the rental units and to develop the site with homeownership units. This has created a development of 88 three-bedroom duplex-style condominiums each with its own two-car attached garage. The total area of this developed site is now 14.6 acres with a similar common green that is approximately 1.25 acres. The total combined land area of The Preserve at Abbyville and Abbyville Commons is still approximately 200 acres and the land areas for each project have been modified slightly although the entire property area for the combined projects has not changed. Please see Attachment "B" Floor Plans & Elevations for Abbyville Commons to see the proposed Condominiums.

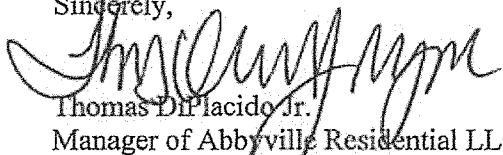
The Condominiums would be centrally located within the overall site to create an "inner core of development." This allows the larger lot sizes and homes of The Preserve at Abbyville to be a buffer around the perimeter of the property. Thereby blending more closely with the existing neighborhood and creating a buffer to the more densely developed condominiums. The distance between each duplex condominium building is no less than 10 feet and the setback line from any building to the property line is 20 feet. An enhanced landscape buffer is proposed along these property lines to create privacy between the Condominiums and the Single Family Homes. Please see Attachment "C" Revised Landscape Plans to review the new layout of both projects.

Lastly, the most significant revision of both projects is the significant reduction in earth removal. The project originally proposed significant cuts and fills which resulted in 1,482,000 cubic yards of removal. With significantly less road infrastructure and larger lots we have been able to reduce that amount by 832,000 cubic yards to 650,000 cubic yards. This is a reduction of over 68,500 truck trips in and out of the site. This reduces construction traffic, emissions, dust and noise significantly over the development of the project. Please see Addendum "D", The Preserve at Abbyville and Abbyville Commons Combined Progression/Analysis/Comparison 12/20/2018 Matrix. This chart summarizes the project from where it began to where it is currently and compares it to our other conventional developments in The Town of Norfolk.

For each of these revised projects, the Zoning Board of Appeals is asking for MassHousing clarification concerning the process by which the proposed changes for each project would be handled, and whether MassHousing can provide assurances that the proposed project modifications for each could be reviewed and adjusted at the final approval stage for each project as there may be questions about land value, adjustments to the pro forma, and other "process" questions. The Board of Appeals will likely want assurances that new PELs will not be required to be issued for each project, and that a conversion of the Abbyville Commons Project from rental to ownership is the type of change that can be accommodated that the final approval process stage. Based upon other projects you have reviewed having similar circumstances, I assume there may be other matters that might be appropriately addressed in such a letter.

If you have any questions or comments please feel free to contact me by email or mobile phone (508-726-9573)

Sincerely,

A handwritten signature in black ink, appearing to read 'Thomas DiPlacido Jr.', written over the printed name.

Thomas DiPlacido Jr.
Manager of Abbyville Residential LLC
Manager of Abbyville Development LLC



Massachusetts Housing Finance Agency
One Beacon Street, Boston, MA 02108

Tel: 617.854.1000

Fax: 617.854.1091 www.masshousing.com

Videophone: 857.366.4157 or Relay: 711

October 29, 2018

Matthew J. Mayo, Chairman
Zoning Board of Appeals
Lancaster Town Offices
701 Main Street
Lancaster, MA 01523

Re: Goodridge Brook Estates, PE-963

Dear Mr. Mayo:

Thank you for your email dated October 10, 2018 regarding proposed changes to the site plan for the homeownership portion of Goodridge Brook Estates (the "Project"). This letter is intended to reaffirm the findings made by MassHousing regarding the Determination of Project Eligibility (Site Approval) letter dated March 28, 2018 (the "Project Eligibility Letter").

In accordance with 760 CMR 56.04(5) MassHousing has reviewed preliminary information regarding the proposed changes to the Project and has determined that, while they are substantial, they do not alter any of the findings required to be made by MassHousing when it issued the Project Eligibility Letter.

Since the changes outlined in your letter have been proposed prior to the issuance or denial of a Comprehensive Permit, 760 CMR 56.04(5) narrowly limits the Subsidizing Agency's review to changes which affect the project eligibility requirements set forth at 760 CMR 56.04(1). Since compliance with those eligibility requirements will not be affected by the proposed changes, MassHousing is able to reaffirm the Project Eligibility Letter.

Please be assured that MassHousing will carefully review the plans approved by the ZBA once the applicant comes back to us for Final Approval, and at that point, will determine whether the approved plans still meet the requirements of the 40B regulations and guidelines.

If you have any further questions regarding this project, please contact me at 617-854-1880.

Very truly yours,

Gregory P. Watson
Manager, Planning and Programs

From: Michael Busby
Sent: Thursday, October 25, 2018 9:55 AM
To: Matthew J. Mayo
Subject: RE: GBE Permit Application Lancaster MA

Yes, the Applicant sent us the proposed revisions to the homeownership portion of the development and are currently reviewing the plan.

From: Matthew J. Mayo
Sent: Thursday, October 25, 2018 9:50 AM
To: Michael Busby
Subject: RE: GBE Permit Application Lancaster MA

Thanks Mike,

Have you been provided any additional information from the application regarding the request below?

-M

Matthew J. Mayo, M.S.,

From: Michael Busby
Sent: Friday, October 12, 2018 11:18 AM
To: Matthew J. Mayo

Subject: RE: GBE Permit Application Lancaster MA

Hi Matt,

We will request from the Applicant the proposed changes to the original site plan and determine whether they are a substantial change from the original proposal as presented at the time of Site Eligibility in accordance with Regulation 760 CMR 56.04 (5) that covers making important changes to projects in the course of a Permit Hearing. Thank you.

Mike

From: Matthew J. Mayo
Sent: Wednesday, October 10, 2018 7:50 AM
To: Michael Busby
Cc: 'Orlando Pacheco'
Subject: GBE Permit Application Lancaster MA

Mike,

I have been asked to contact you on behalf of the Town of Lancaster ZBA to inquire about the homeownership portion of the project (see below). While they have decreased the number of units from the

original proposal, they have increased the number of building footprints. Could you review this situation and let us know if you feel this change would be deemed significant in the eyes of MassHousing.

Any information/advice you could provide will be helpful.

Regards,

Dear Matt,

The Applicant for Goodridge Brook has changed the home ownership portion of the project to a new proposal that is outside of MassHousing's Project Eligibility Letter dated March 28, 2018. I spoke about this on public record at the last Board of Appeals meeting held Thursday, September 27. A large number of Lancaster residents are very concerned about this switch. We are respectfully asking that the home ownership portion of the proposal remain within the eligibility parameters established in writing by MassHousing on March 28, 2018.

After you brought to light that the rental units were in excess of the 120 cap, MassHousing instructed the Applicant to go back to the submission MassHousing had reviewed – and they did. So we are now appropriately reviewing the 120 apartments (not 136) – right on the same page with MassHousing.

However, the home ownership portion is still a very different project from what MassHousing reviewed and issued preliminary eligibility for. MassHousing reviewed 40 duplexes – and notably that are set back from Sterling Road on an interior site road. The condos in the original application are 3 bedrooms, with a master bedroom on the ground floor.

What the Applicant has switched to is a different building type – 4 bedroom houses – and 62 footprints – instead of 40. Notably, the new proposal also calls for houses with direct driveway access to Sterling Road – so much greater visual impact and a significant traffic safety consequence with more curb cuts coming right on to Sterling Road (already a dangerous road). The 40 duplexes set back in to the site make much more sense for public safety.

IMPORTANT: Regulation 760 CMR 56.04 (5) that covers making important changes to projects in the course of a Permit Hearing is very clear. A developer can not simply change 40 duplexes to 62 4 bedroom houses without notifying MassHousing. We are currently reviewing a home ownership project that is outside of preliminary eligibility approval.

—
Matthew J. Mayo, M.S., GISP, CPG, P.G.

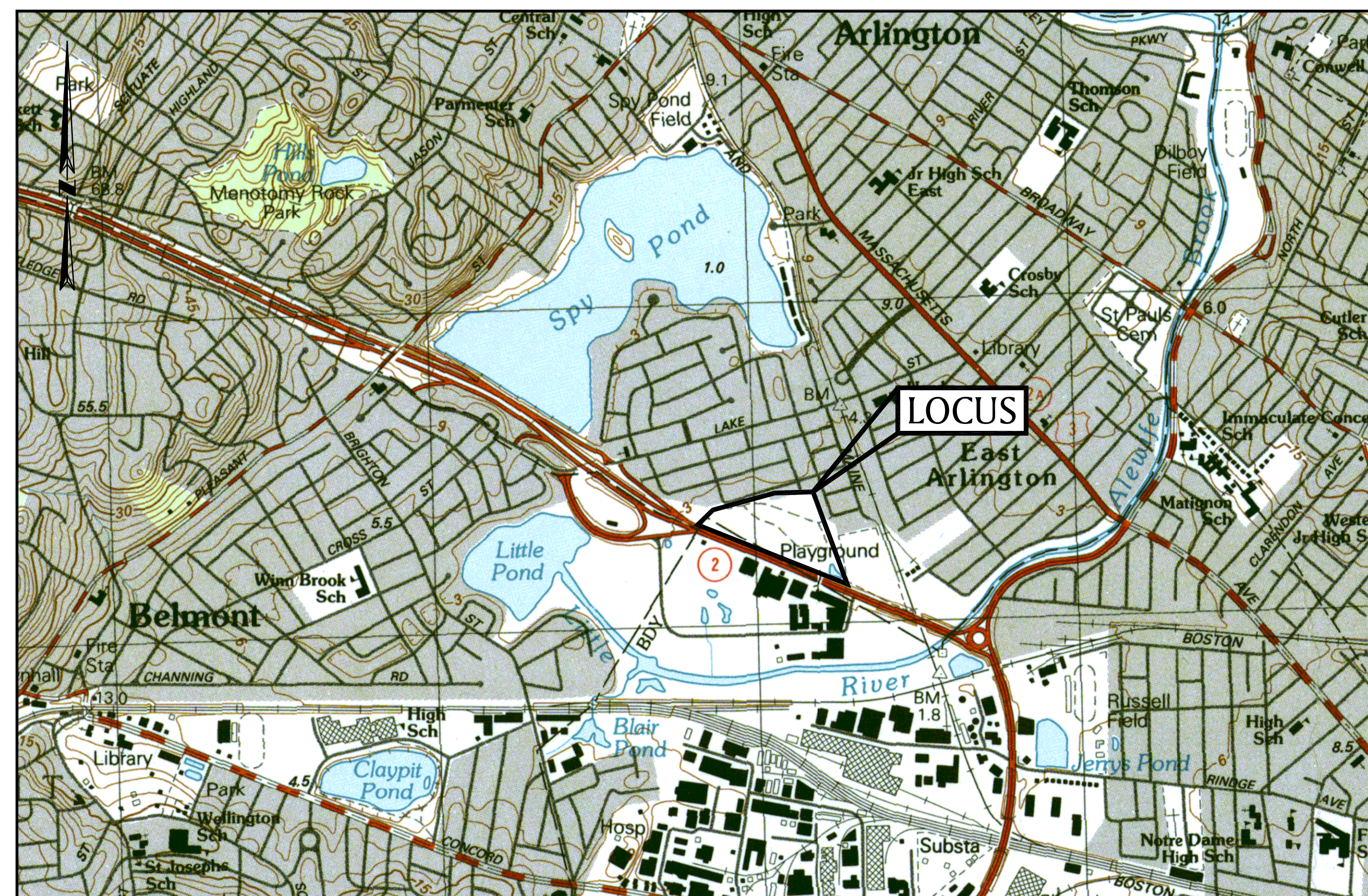
This message contains information that may be confidential or privileged. Unless you are the addressee (or authorized to receive for the addressee), you may not use, copy, or disclose to anyone this message or any information contained in the message. If you have received this message in error, please advise the sender by reply e-mail, and delete all copies of this message and its attachment(s).

THORNDIKE PLACE COMPREHENSIVE PERMIT

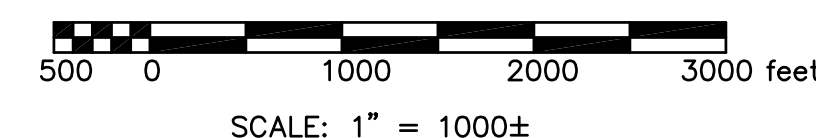
DOROTHY ROAD
ARLINGTON, MASSACHUSETTS

MARCH 13, 2020

REVISED: NOVEMBER 3, 2020



LOCUS MAP



PREPARED FOR:

ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

PREPARED BY:



BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

INDEX OF DRAWINGS

- G-100 TITLE SHEET
- G-101 GENERAL NOTES & LEGEND
- V-100 EXISTING CONDITIONS PLAN
- C-100 EXISTING ENVIRONMENTAL
RESOURCE PLAN
- C-101 SITE PREPARATION PLAN
- C-102 OVERALL SITE PLAN
- C-103 LAYOUT & MATERIALS PLAN
- C-104 GARAGE LEVEL PLAN
- C-105 GRADING & DRAINAGE PLAN
- C-106 UTILITY PLAN
- L-100 PLANTING PLAN
- C-200-203 CIVIL & LANDSCAPE DETAILS

1. EXISTING CONDITIONS SURVEY INFORMATION WAS PREPARED BY BSC GROUP, INC. SURVEY IS BASED ON AN ON-THE-GROUND SURVEY CONDUCTED BY BSC GROUP IN DECEMBER 2019-FEBRUARY 2020.
2. REVIEW ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
3. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DISGAGE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
4. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE CONTRACTOR/ENGINEER FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.

1. AREAS DESIGNATED FOR CLEARING SHALL BE CLEARED ONLY.
2. THE SUBCONTRACTOR(S) IS/ARE RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO SUBCONTRACTOR(S) OPERATIONS.
3. ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE SUBCONTRACTOR(S).
4. THE SUBCONTRACTOR(S) SHALL BE RESPONSIBLE FOR COORDINATING THEIR EFFORTS WITH ALL TRADES.
5. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
6. THE SUBCONTRACTOR(S) SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MAN HOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE CONTRACTOR/ENGINEER.
7. TEMPORARY CONSTRUCTION Haul ROADS (IF REQUIRED) SHALL BE EXCAVATED AND THE SUB-BASE COMPACTED TO 95% SPMD. THE USE OF SEPARATION FABRICS MAY BE USED TO FACILITATE FUTURE REMOVAL AND RECOVERY OF GRANULAR MATERIALS. Haul ROAD SHALL HAVE AT LEAST 9" OF 6-INCH MINUS STONE AND SHALL BE MAINTAINED DURING CONSTRUCTION.

1. EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE SEQUENCE OF STAGED CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED EROSION CONTROL PLAN INCLUDING SCHEDULE FOR APPROVAL BY THE TOWN OF ARLINGTON. A COPY OF THE APPROVED NPDES – EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE.
2. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR DISTURBANCE AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
3. SEDIMENT TRAPS SHALL BE INSTALLED AT DRAINAGE STRUCTURES IN PUBLIC STREET IN THE PROJECT AREA. STRAW BALE BARRIERS AND SILTATION FENCES ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE BEEN STABILIZED.
4. SEDIMENT BARRIERS SHALL BE INSPECTED AND APPROVED BY THE TOWN OF ARLINGTON BEFORE CONSTRUCTION CAN START.
5. STRAW BALES AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE OF NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY WHEN INSTALLED.
6. THE UNDERSIDE OF STRAW BALES SHOULD BE KEPT IN CLOSE CONTACT (TRENCHED IN 3-INCHES MINIMUM) WITH THE EARTH AND RESET AS NECESSARY.
7. DISTURBED AREAS SHALL BE BLANKETED OR SEEDED AND MULCHED AS SOON AS PRACTICAL AFTER CONSTRUCTION ACTIVITIES IN THAT AREA HAVE CONCLUDED. ALL ERODABLE/BARE AREAS SHALL BE BLANKETED OR SEEDED AND MULCHED WITHIN 7 DAYS WITH TEMPORARY EROSION CONTROL SEEDING.
8. STABILIZE SLOPES GREATER THAN 3:1 (HORIZONTAL:VERTICAL) WITH SEED, SECURED GEOTEXTILE FABRIC, SPRAYED COMPOST BLANKET, OR RIP-RAP AS REQUIRED TO PREVENT EROSION DURING CONSTRUCTION.
9. SEDIMENT BARRIERS SHALL BE CONSTRUCTED AROUND ALL SOIL STOCKPILE AREAS.
10. CLEAN OUT DRAINAGE FEATURES AND STRUCTURES AFTER COMPLETION OF CONSTRUCTION.
11. SEDIMENT COLLECTED DURING CONSTRUCTION BY THE VARIOUS TEMPORARY EROSION CONTROL SYSTEMS SHALL BE DISPOSED OF ON THE SITE ON A REGULAR BASIS. SEDIMENT SHALL BE REMOVED FROM EROSION CONTROL SYSTEMS WHEN THE HEIGHT OF THE SEDIMENT EXCEEDS ONE-HALF OF THE HEIGHT OF THE SEDIMENT CONTROL MEASURE.
12. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE SUBCONTRACTOR(S) SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AT THE CONTRACTOR/ENGINEER DIRECTION.
13. AFTER THE REMOVAL OF TEMPORARY EROSION CONTROL MEASURES, THE SUBCONTRACTOR(S) SHALL GRADE AND SEED AREA OF TEMPORARY EROSION CONTROL MEASURE.
14. DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION OR AS DIRECTED BY THE CONTRACTOR/ENGINEER.
15. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR DAILY INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES. THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES EVERY SEVEN (7) CALENDAR DAYS OR ONCE EVERY FOURTEEN (14) DAYS AND WITHIN 24 HOURS OF ANY STORM EXCEEDING 1/2 INCH PRECIPITATION. DAMAGED AND INEFFECTIVE EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS.
16. PIPE OUTLETS (IF ANY) SHALL BE STABILIZED WITH STONE.
17. TEMPORARY SEEDING SHALL BE AT A RATE OF 45 LBS PER ACRE. ERODABLE AREAS OUTSIDE AND DOWN SLOPE FROM THE CONSTRUCTION LIMITS SHALL BE SIMILARLY SEED.
18. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED. DEWATERING PLAN SHALL BE SUBMITTED FOR APPROVAL BY THE ENGINEER.
19. WHEN TEMPORARY DRAINAGE IS ESTABLISHED, EROSION/SEDIMENTATION CONTROL MEASURES MAY BE REQUIRED BY CONTRACTOR/ENGINEER.
20. GRAVEL CONSTRUCTION ROADS AND CONSTRUCTION PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASH DOWN FACILITIES, SHALL BE PROVIDED TO PREVENT SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY AND AS NEEDED.
21. NECESSARY MEASURES SHALL BE TAKEN TO CONTAIN ANY FUEL OR POLLUTION RUNOFF. LEAKING EQUIPMENT OR SUPPLIES SHALL BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE.
22. THE COST OF REPAIRING OR REMOVING SEDIMENT FROM EROSION CONTROL SYSTEMS SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE APPLICABLE EROSION CONTROL ITEM.
23. ALL EROSION CONTROL MEASURES SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL. CONTRACTOR SHALL PROVIDE TO THE CONSERVATION COMMISSION MEASURES (EROSION AND SEDIMENTATION CONTROL) FOR WORK DURING WINTER CONDITIONS.
24. CONTRACTOR SHALL SPRAY WATER FROM A WATER TRUCK ON DRY AND WINDY DAYS TO PREVENT DUST FROM FORMING.
25. EROSION CONTROL MEASURES AS SHOWN ON THESE DRAWINGS IS INTENDED TO CONVEY MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS NECESSARY TO PREVENT SOIL EROSION AND TO COMPLY WITH THE PROJECT'S STORMWATER POLLUTION PREVENTION PLAN.
26. SOILS ON SLOPES THAT ARE 3:1 OR STEEPER SHOULD BE ROUGHENED PER THE EPA'S NPDES SOIL ROUGHENING FACT SHEET IF THEY ARE TO BE SEED WITHIN 2 WEEKS OF DISTURBANCE. IF NOT, EROSION

1. THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 - a. ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
 - b. DISTANCES AND DIMENSIONS ARE IN DECIMAL FEET.
2. SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED. AMBIGUITIES IN THE PLANS SHALL BE CLARIFIED BY THE ENGINEER OR SITE SUPERINTENDENT.

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE APPLICANT. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
2. THE PROJECT APPLICANT SHALL OBTAIN ALL NECESSARY STREET-OPENING PERMITS, WATER AND SEWER CONNECTION PERMITS AND PAY REQUIRED FEES PRIOR TO COMMENCING WORK ON THESE UTILITIES.
3. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY COORDINATION WITH THE TOWN OF ARLINGTON.
4. ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES SHALL BE MADE BY THE PROJECT APPLICANT.
5. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
6. WHERE PROPOSED GRADES MEET EXISTING GRADES, SUBCONTRACTOR(S) SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
7. POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL STRUCTURES.
8. SUBCONTRACTOR(S) SHALL VERIFY EXISTING GRADES AND NOTIFY THE CONTRACTOR/ENGINEER OF ANY DISCREPANCIES.
9. PRIOR TO ANY WORK OVER EXISTING TOWN-OWNED UTILITIES, CONTRACTOR TO EVALUATE CONDITION OF SUBSURFACE UTILITIES PRIOR TO CONSTRUCTION. A POST-CONSTRUCTION EVALUATION SHALL ALSO BE PERFORMED TO IDENTIFY ANY DAMAGE CAUSED DURING CONSTRUCTION.
10. ANY INSTALLATION OF UTILITY POLES OR UNDERGROUND CONDUIT WITHIN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A GRANT OF LOCATION FROM THE BOARD OF SELECTION.

1. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
2. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
3. MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
4. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE PLANTINGS SHOWN ON THE DRAWINGS.
5. MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
6. PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
7. PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
8. AREAS PLANTED WITH EVERGREEN TREES SHALL BE COVERED WITH A MINIMUM 3" OF MULCH. MULCH FOR PLANTED AREAS TO BE ACED PINE BARK; PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
9. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
10. PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
11. PLANT SPECIES AS INDICATED IN THE PLANT LIST ARE SUGGESTIONS ONLY. FINAL SELECTION OF SPECIES SHALL OCCUR AT THE TIME OF PLANT PURCHASE, DEPENDING ON AVAILABILITY. PLANT SIZE AND QUANTITY SHALL NOT CHANGE WITHOUT APPROVAL OF CONTRACTOR/LANDSCAPE ARCHITECT.

BC	BOTTOM OF CURB
BIT CONC	BITUMINOUS CONCRETE
BWV	BORDERING VEGETATED WETLANDS
CB	CATCH BASIN
CB/DH	CONC. BOUND/DRILL HOLE
CLF	CHAIN LINK FENCE
DIP	DUCTILE IRON PIPE
DMH	DRAIN MANHOLE
ECB	EROSION CONTROL BARRIER
FES	FLARED END SECTION
FH	FIRE HYDRANT
FOC	FACE OF CURB
FD	FOUND
GG	GAS GATE
HW	HEADWALL
ILSF	ISOLATED LAND SUBJECT TO FLOODING
IP	IRON PIPE
ISW	ISOLATED WETLANDS
LA	LANDSCAPED AREA
LOW	LIMIT OF WORK
N/F	NOW OR FORMERLY
NTS	NOT TO SCALE
OCS	OUTLET CONTROL STRUCTURE
PCC	PRECAST CONCRETE CURB
RW	RETAINING WALL
RCP	REINFORCED CONCRETE PIPE
SLC	STREET LIGHT CIRCUIT
SMH	SEWER MANHOLE
TC	TOP OF CURB
TEL	TELEPHONE CABLE
VGC	VERTICAL GRANITE CURB
WG	WATER GATE

	STONE BOUND W/DRILL HOLE		WATER VALVE
	STONE BOUND W/ESCUTCHEON PIN		CATCH BASIN
	CONCRETE BOUND		FIRE HYDRANT
	SEWER MANHOLE		TREE FILTER
	DRAIN MANHOLE		# OF PARKING SPACES
	WATER MANHOLE		SEWER MANHOLE
	ELECTRIC MANHOLE		
	TELEPHONE MANHOLE		
	CABLE MANHOLE		
	MANHOLE		
	CATCH BASIN		
	HYDRANT		
	WATER GATE		FENCE LINE
	GAS GATE		PROPERTY LINE
	UTILITY POLE		WETLAND LINE/FLAG
	UTILITY POLE W/LIGHT		(E) MAJOR CONTOUR
	UTILITY POLE W/TRANSFORMER		(E) MINOR CONTOUR
	LIGHT POLE		PROPOSED MAJOR CONTOUR
	ELECTRIC HANDHOLE		PROPOSED MINOR CONTOUR
	HANDHOLE		100' WETLAND BUFFER ZONE
	SIGN		25' NO DISTURB ZONE
	WETLANDS FLAG		
	BIT		
	CONC		WATER QUALITY UNIT/INLET
	EP		WATER QUALITY UNIT
	GC		
	WC		
	I= AND IN=		
	(R)		
	RECORD INFORMATION		
	S		
	D		
	W		
	G		
	OHW		
	X		
	STOCKADE FENCE		
	STEEL GUARDRAIL		
	TREELINE		
	BRUSHLINE		
	SURVEYED BUILDING LOCATION		
	GIS BUILDING LOCATION		



ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



PROFESSIONAL ENGINEER _____ DATE _____

THORNDIKE PLACE

DOROTHY ROAD

IN

ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

GENERAL NOTES AND LEGEND

MARCH 13, 2020

NO.	DATE	DESC.
1	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140



803 Summer Street
Boston, Massachusetts
02127

617 896 4300

© 2020 BSC Group, Inc

SCALE: NONE

FILE: 2340700\C\D\2340700-LN

DWG.:	SHEET G-101
JOB. NO: 23407.00	

PLAN REFERENCES

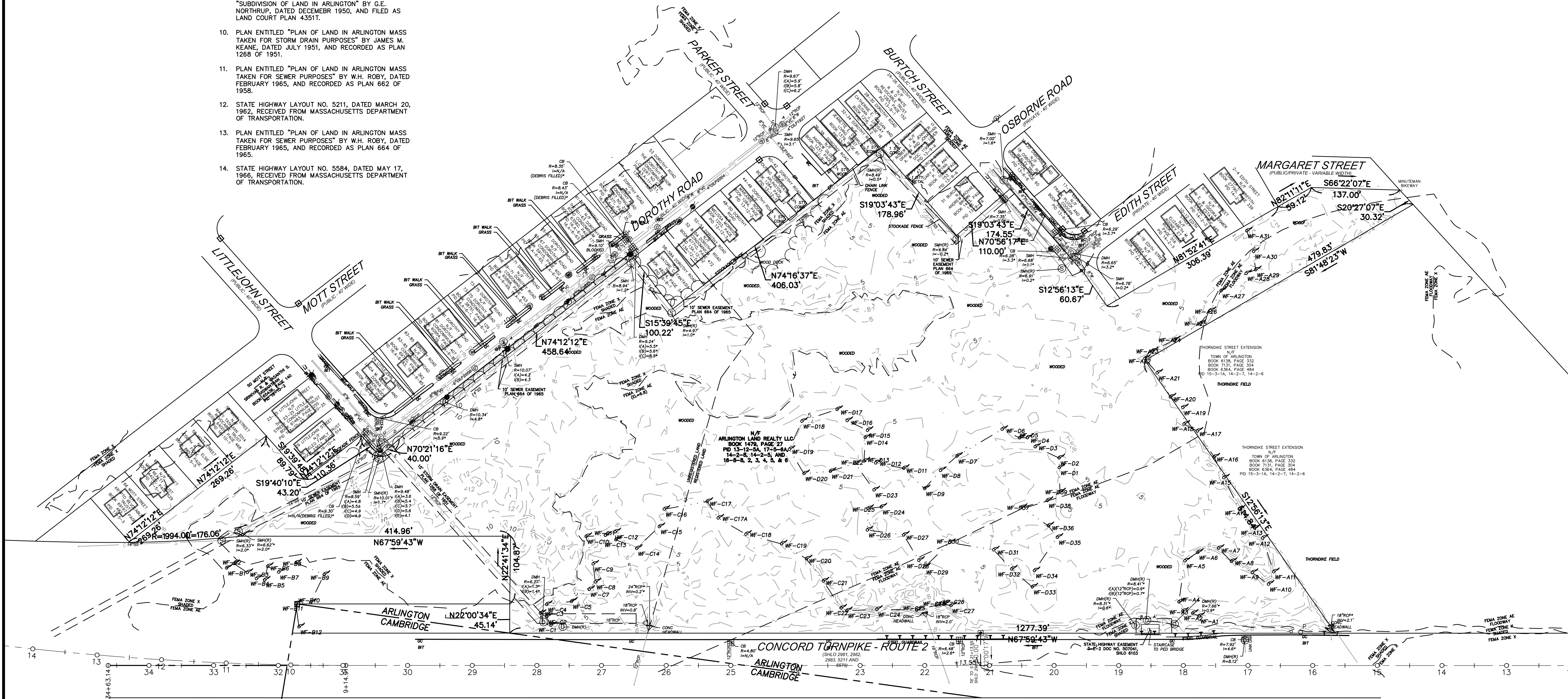
1. PLAN ENTITLED "PLAN AND PROFILE OF LITTLEJOHN STREET" BY FRANK AND DANIEL WYMAN, DATED DECEMBER 1926, AND RECEIVED FROM THE TOWN OF ARLINGTON.
2. PLAN ENTITLED "SUBDIVISION OF LAND IN ARLINGTON" BY BREMER W. POND, DATED APRIL 28, 1927, AND FILED AS LAND COURT PLAN 4351C.
3. PLAN ENTITLED "SUBDIVISION OF LAND SHOWN ON PLAN 4351A" BY J.M. KEANE, DATED OCTOBER 20, 1930, AND FILED AS LAND COURT PLAN 4351G.
4. PLAN ENTITLED "SUBDIVISION OF LAND SHOWN ON PLAN 4351A" BY J.M. KEANE, DATED APRIL 14, 1931, AND FILED AS LAND COURT PLAN 4351H.
5. STATE HIGHWAY LAYOUT NO. 2981, DATED JANUARY 17, 1933, RECEIVED FROM MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
6. STATE HIGHWAY LAYOUT NO. 2983, DATED JANUARY 17, 1933, RECEIVED FROM MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
7. PLAN ENTITLED "PLAN OF LAND IN ARLINGTON, MASS" BY C. H. GANNETT CO. CIVIL ENGINEERS, DATED APRIL 30, 1941, AND FILED AS LAND COURT PLAN 18030A.
8. PLAN ENTITLED "SUBDIVISION OF LAND IN ARLINGTON MASS" BY G.E. NORTHRUP, DATED DECEMBER 1948, AND RECORDED AS PLAN 1784 OF 1948.
9. PLAN ENTITLED "SUBDIVISION OF LAND IN ARLINGTON" BY G.E. NORTHRUP, DATED DECEMBER 1950, AND FILED AS LAND COURT PLAN 4351T. PLAN ENTITLED "SUBDIVISION OF LAND IN ARLINGTON" BY G.E. NORTHRUP, DATED DECEMBER 1950, AND FILED AS LAND COURT PLAN 4351T.
10. PLAN ENTITLED "PLAN OF LAND IN ARLINGTON MASS TAKEN FOR STORM DRAIN PURPOSES" BY JAMES M. KEANE, DATED JULY 1951, AND RECORDED AS PLAN 1268 OF 1951.
11. PLAN ENTITLED "PLAN OF LAND IN ARLINGTON MASS TAKEN FOR SEWER PURPOSES" BY W.H. ROBY, DATED FEBRUARY 1965, AND RECORDED AS PLAN 662 OF 1965.
12. STATE HIGHWAY LAYOUT NO. 5211, DATED MARCH 20, 1962, RECEIVED FROM MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
13. PLAN ENTITLED "PLAN OF LAND IN ARLINGTON MASS TAKEN FOR SEWER PURPOSES" BY W.H. ROBY, DATED FEBRUARY 1965, AND RECORDED AS PLAN 664 OF 1965.
14. STATE HIGHWAY LAYOUT NO. 5584, DATED MAY 17, 1966, RECEIVED FROM MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.

GENERAL NOTES

1. THIS PLAN IS BASED UPON AN ON-THE-GROUND SURVEY PERFORMED BY BSC GROUP, INC. IN DECEMBER, 2019 AND JANUARY, 2020.
2. HORIZONTAL DATUM IS BASED UPON NAD '83 (12B) AS DERIVED VIA GPS OBSERVATIONS PERFORMED BY BSC GROUP, INC. IN DECEMBER 2019.
3. VERTICAL DATUM IS BASED UPON NAVD '88 AS DERIVED VIA GPS OBSERVATIONS PERFORMED BY BSC GROUP, INC. IN DECEMBER, 2019.
TBM 18-1 ELEV=9.13'
DESC: BACK LEFT BOLT ON HYDRANT ON OSBORNE
TBM 18-2 ELEV=11.61'
DESC: FRONT BOLT ON HYDRANT ACROSS FROM UTILITY POLE # 8
TBM 18-3 ELEV=11.71'
DESC: BACK LEFT BOLT ON HYDRANT BETWEEN UNITS
4. LOCUS IS LOCATED WITHIN ZONES ZONES AE, AE FLOODWAY, X AND X SHADED AS GRAPHICALLY DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010.
5. WETLAND RESOURCE AREAS SHOWN HEREON WERE DELINEATED BY BSC GROUP, INC. IN JANUARY AND OCTOBER 2020.
6. UTILITY RECORDS HEREON DENOTED WITH "*" ARE FROM EXISTING CONDITIONS SURVEY PREPARED BY PRECISION LAND SURVEYING OF SOUTHBOROUGH, MA IN 2009.
7. CONTOURS SHOWN WITHIN WOODED AREAS ARE BASED UPON AERIAL LIDAR COLLECTED UNDER USGS CONTRACT DURING 2013-2014. DATA MEETS OR EXCEEDS Q12 USGS SPECIFICATIONS. BSC GROUP FOUND A MEAN ERROR OF 0.20(OBSERVED) & 0.16(UNOBSERVED) ACROSS 15 LOCATIONS SAMPLED DURING THE ON-THE-GROUND SURVEY IN DECEMBER 2019.
8. TOWN LINE LOCATIONS ESTABLISHED FROM MASSACHUSETTS STATE HIGHWAY LAYOUTS 2981, 2982, 2983, 5211 AND 5579.
9. ABUTTING BOUNDARY LINES ARE APPROXIMATE.
10. RECORD UTILITY INFORMATION WAS NOT RECEIVED FROM VERIZON, TENNESSEE GAS AND MCI.

UTILITY NOTE

EXISTING UTILITIES, WHERE SHOWN HEREON, ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE COMMONWEALTH OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40, AT 1-888-344-7233. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERTS OR UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.



THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

EXISTING
CONDITIONS

MARCH 13, 2020

REVISIONS:

NO.	DATE	DESC.
1	10/22/20	WETLAND DELINEATION

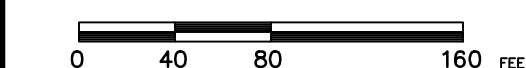
PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140



803 Summer Street
Boston, Massachusetts
02127
617 896 4300

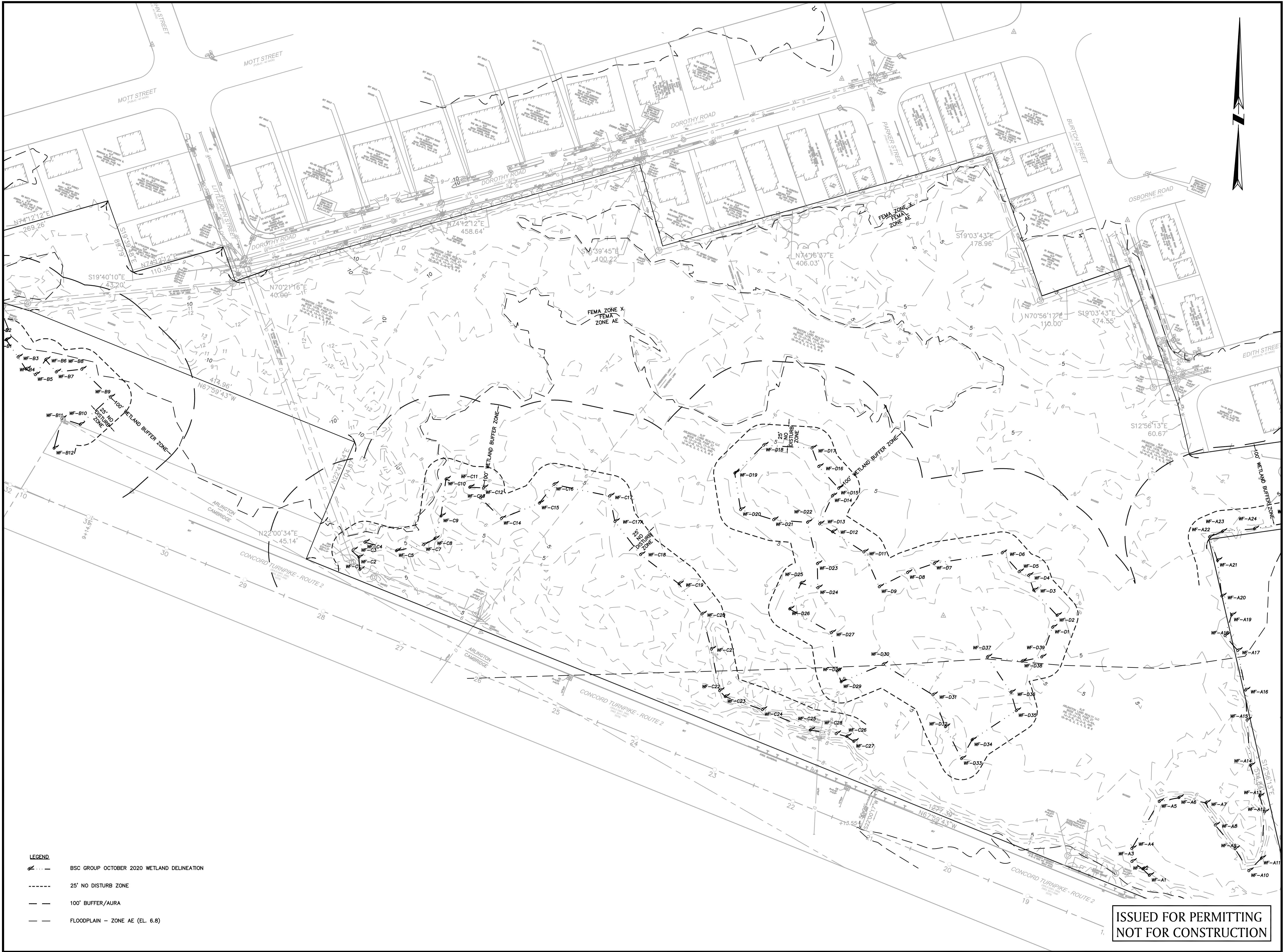
© 2020 BSC Group, Inc.

SCALE: 1" = 80'



FILE: \\Civil\\Drawings\\2340700-EC-COPY

DWG: SHEET V-100
JOB. NO: 23407.00



ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



PROFESSIONAL ENGINEER DATE

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

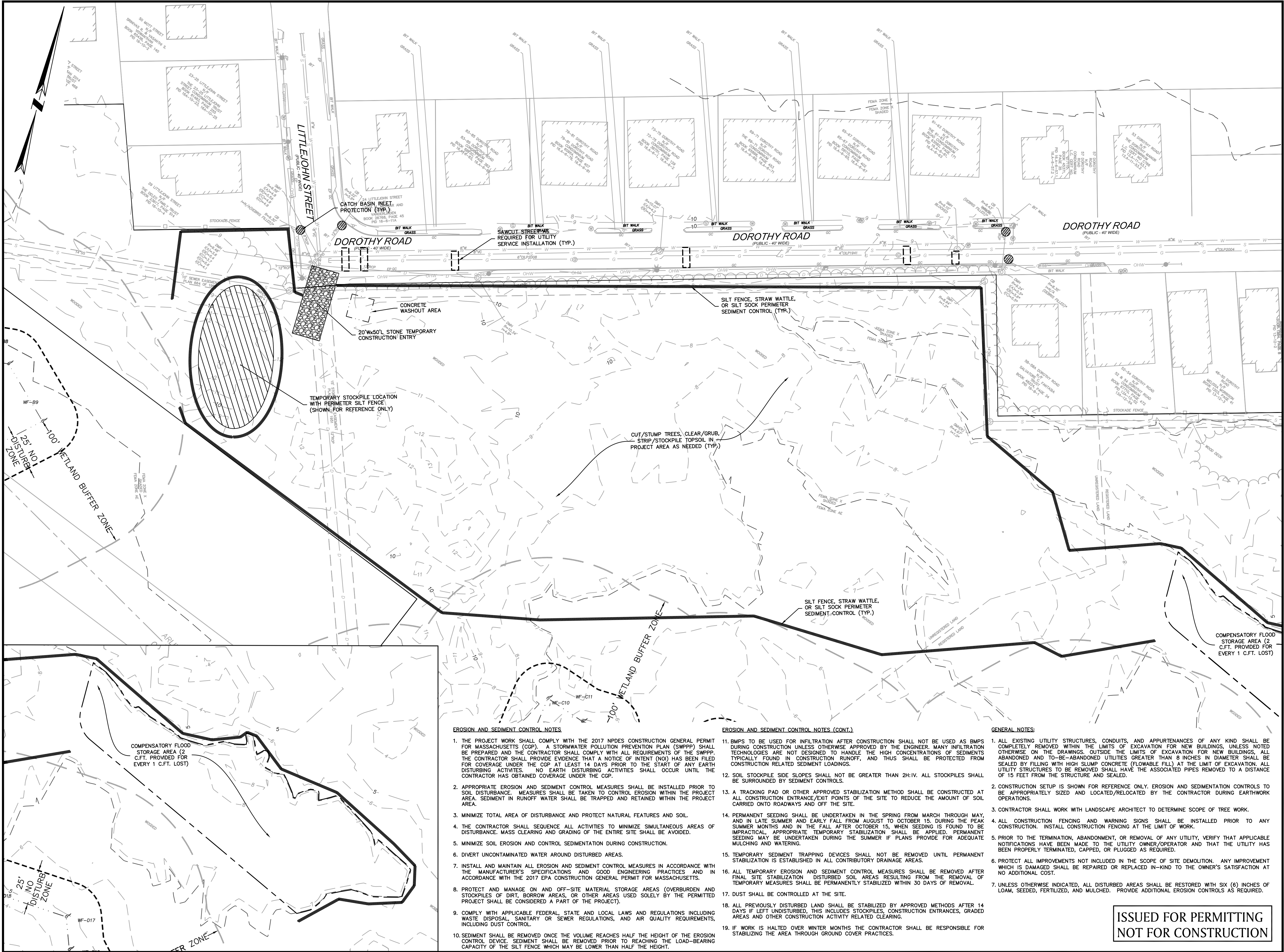
EXISTING
ENVIRONMENTAL
RESOURCES PLAN
MARCH 13, 2020

REVISIONS:		
NO.	DATE	DESC.
1	10/22/20	WETLAND DELINEATION

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 50'
0 25 50 100 FEET
FILE: \Civil\Drawgs\2340700-CONSTRAINTS
DWG.:
JOB. NO: 23407.00 SHEET C-100



EROSION AND SEDIMENT CONTROL NOTES

1. THE PROJECT WORK SHALL COMPLY WITH THE 2017 NPDES CONSTRUCTION GENERAL PERMIT FOR MASSACHUSETTS (CGP). A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED AND THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE SWPPP. THE CONTRACTOR SHALL PROVIDE EVIDENCE THAT A NOTICE OF INTENT (NOI) HAS BEEN FILED FOR COVERAGE UNDER THE CGP AT LEAST 14 DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITIES. NO EARTH DISTURBING ACTIVITIES SHALL OCCUR UNTIL THE CONTRACTOR HAS OBTAINED COVERAGE UNDER THE CGP.
2. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA.
3. MINIMIZE TOTAL AREA OF DISTURBANCE AND PROTECT NATURAL FEATURES AND SOIL.
4. THE CONTRACTOR SHALL SEQUENCE ALL ACTIVITIES TO MINIMIZE SIMULTANEOUS AREAS OF DISTURBANCE. MASS CLEARING AND GRADING OF THE ENTIRE SITE SHALL BE AVOIDED.
5. MINIMIZE SOIL EROSION AND CONTROL SEDIMENTATION DURING CONSTRUCTION.
6. DIVERT UNCONTAMINATED WATER AROUND DISTURBED AREAS.
7. INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES AND IN ACCORDANCE WITH THE 2017 EPA CONSTRUCTION GENERAL PERMIT FOR MASSACHUSETTS.
8. PROTECT AND MANAGE ON AND OFF-SITE MATERIAL STORAGE AREAS (OVERBURDEN AND STOCKPILES OF DIRT, BORROW AREAS, OR OTHER AREAS USED SOLELY BY THE PERMITTED PROJECT SHALL BE CONSIDERED A PART OF THE PROJECT).
9. COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY OR SEWER REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST CONTROL.
10. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES HALF THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN HALF THE HEIGHT.

EROSION AND SEDIMENT CONTROL NOTES (CONT.)

11. BMPs TO BE USED FOR INFILTRATION AFTER CONSTRUCTION SHALL NOT BE USED AS BMPs DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE ENGINEER. MANY INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND THUS SHALL BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS.
12. SOIL STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2H:1V. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
13. A TRACKING PAD OR OTHER APPROVED STABILIZATION METHOD SHALL BE CONSTRUCTED AT ALL CONSTRUCTION ENTRANCE/EXIT POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
14. PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, APPROPRIATE TEMPORARY STABILIZATION SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
15. TEMPORARY SEDIMENT TRAPPING DEVICES SHALL NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS.
16. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
17. DUST SHALL BE CONTROLLED AT THE SITE.
18. ALL PREVIOUSLY DISTURBED LAND SHALL BE STABILIZED BY APPROVED METHODS AFTER 14 DAYS IF LEFT UNDISTURBED. THIS INCLUDES STOCKPILES, CONSTRUCTION ENTRANCES, GRADED AREAS AND OTHER CONSTRUCTION ACTIVITY RELATED CLEARING.
19. IF WORK IS HALTED OVER WINTER MONTHS THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE AREA THROUGH GROUND COVER PRACTICES.

GENERAL NOTES:

1. ALL EXISTING UTILITY STRUCTURES, CONDUITS, AND APPURTENANCES OF ANY KIND SHALL BE COMPLETELY REMOVED WITHIN THE LIMITS OF EXCAVATION FOR NEW BUILDINGS. UNLESS NOTED OTHERWISE ON THE DRAWINGS, OUTSIDE THE LIMITS OF EXCAVATION FOR NEW BUILDINGS, ALL ABANDONED AND TO-BE-ABANDONED UTILITIES GREATER THAN 8 INCHES IN DIAMETER SHALL BE SEALED BY FILLING WITH HIGH SLUMP CONCRETE (FLOWABLE FILL) AT THE LIMIT OF EXCAVATION. ALL UTILITY STRUCTURES TO BE REMOVED SHALL HAVE THE ASSOCIATED PIPES REMOVED TO A DISTANCE OF 15 FEET FROM THE STRUCTURE AND SEALED.
2. CONSTRUCTION SETUP IS SHOWN FOR REFERENCE ONLY. EROSION AND SEDIMENTATION CONTROLS TO BE APPROPRIATELY SIZED AND LOCATED/RELOCATED BY THE CONTRACTOR DURING EARTHWORK OPERATIONS.
3. CONTRACTOR SHALL WORK WITH LANDSCAPE ARCHITECT TO DETERMINE SCOPE OF TREE WORK.
4. ALL CONSTRUCTION FENCING AND WARNING SIGNS SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. INSTALL CONSTRUCTION FENCING AT THE LIMIT OF WORK.
5. PRIOR TO THE TERMINATION, ABANDONMENT, OR REMOVAL OF ANY UTILITY, VERIFY THAT APPLICABLE NOTIFICATIONS HAVE BEEN MADE TO THE UTILITY OWNER/OPERATOR AND THAT THE UTILITY HAS BEEN PROPERLY TERMINATED, CAPPED, OR PLUGGED AS REQUIRED.
6. PROTECT ALL IMPROVEMENTS NOT INCLUDED IN THE SCOPE OF SITE DEMOLITION. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION AT NO ADDITIONAL COST.
7. UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.

**ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION**



DATE
PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD

IN

**ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)**

SITE PREPARATION PLAN

MARCH 13, 2020

REVISIONS:

NO.	DATE	DESC.
1	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140



803 Summer Street
Boston, Massachusetts
02127

617 896 4300

© 2020 BSC Group, Inc.

SCALE: 1" = 30'

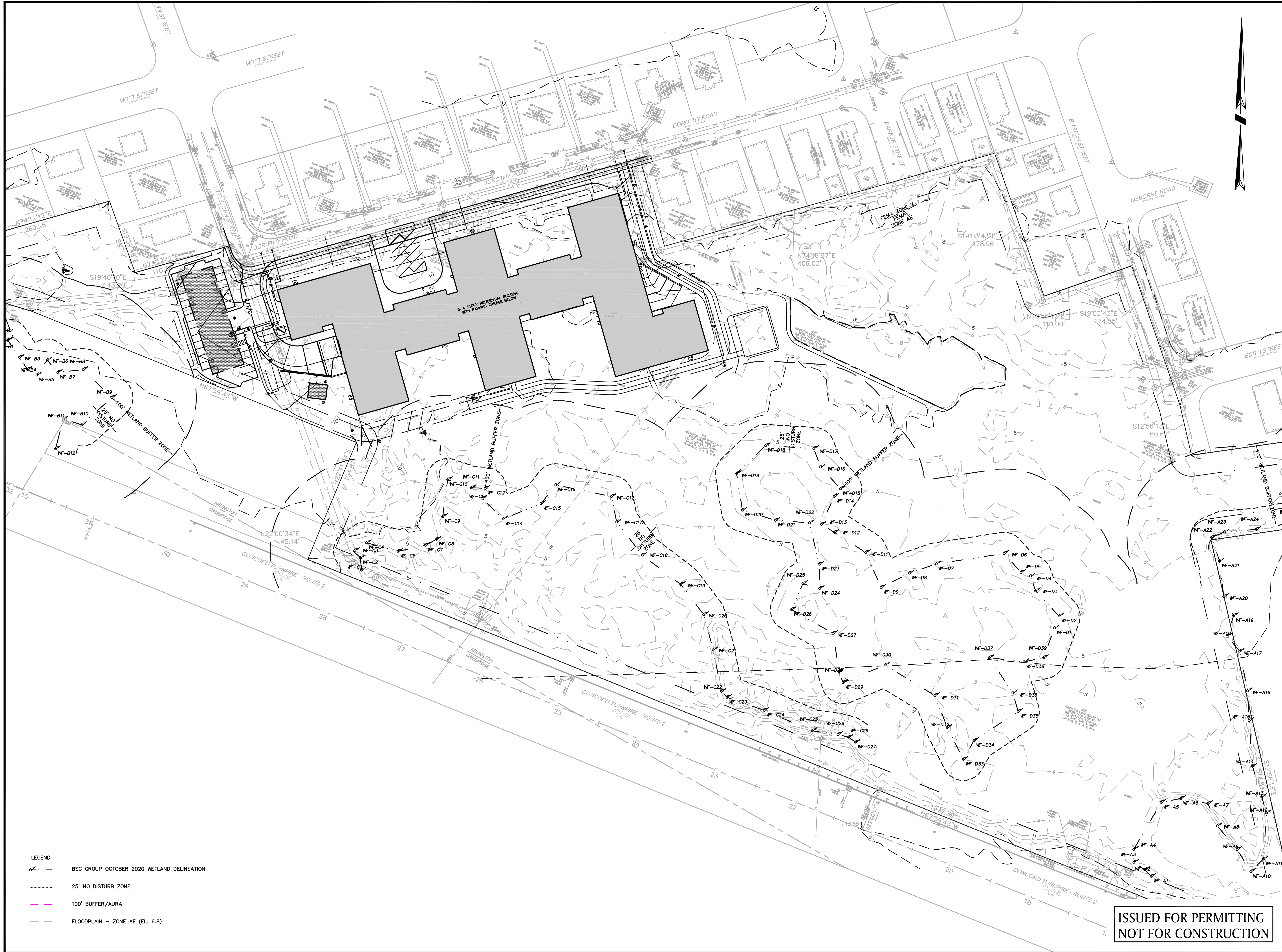
0 15 30 60 FEET

FILE: \Civil\Drawings\2340700-DEM

DWG.:

JOB. NO: 23407.00

SHEET C-101



DATE
PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

OVERALL SITE PLAN

MARCH 13, 2020

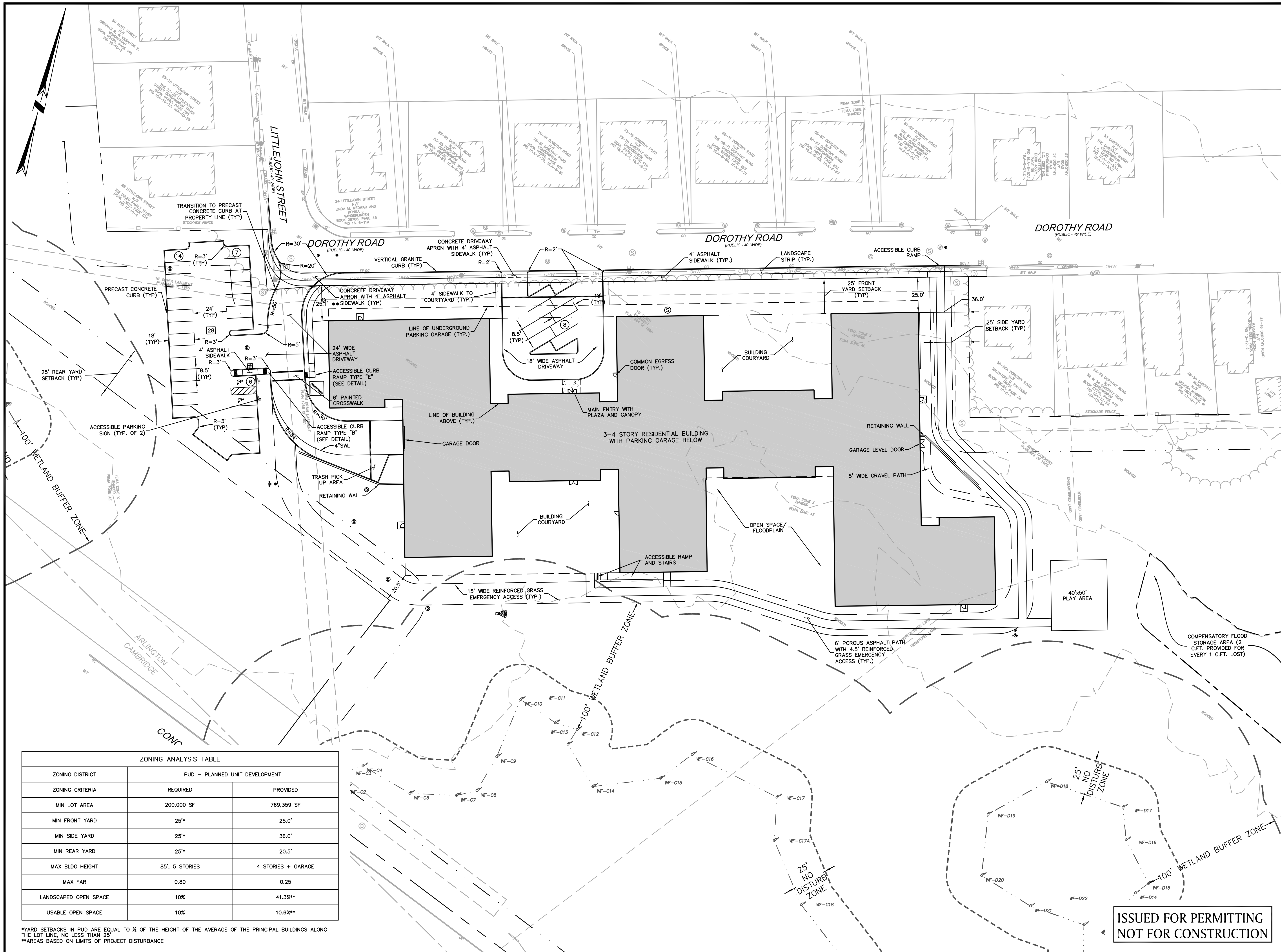
REVISIONS:		
NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	10/22/20	WETLAND DELINEATION
3	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 50'
0 25 50 100 FEET
FILE: 2340700\C\2340700-SP
DWG.:
JOB. NO: 23407.00 SHEET C-102

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



ZONING ANALYSIS TABLE		
ZONING DISTRICT	PUD - PLANNED UNIT DEVELOPMENT	
ZONING CRITERIA	REQUIRED	PROVIDED
MIN LOT AREA	200,000 SF	769,359 SF
MIN FRONT YARD	25'*	25.0'
MIN SIDE YARD	25'*	36.0'
MIN REAR YARD	25'*	20.5'
MAX BLDG HEIGHT	85', 5 STORIES	4 STORIES + GARAGE
MAX FAR	0.80	0.25
LANDSCAPED OPEN SPACE	10%	41.3%**
USABLE OPEN SPACE	10%	10.6%**

*YARD SETBACKS IN PUD ARE EQUAL TO 1/4 OF THE HEIGHT OF THE AVERAGE OF THE PRINCIPAL BUILDINGS ALONG THE LOT LINE, NO LESS THAN 25'

**AREAS BASED ON LIMITS OF PROJECT DISTURBANCE



DATE
PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

LAYOUT & MATERIALS
PLAN

MARCH 13, 2020

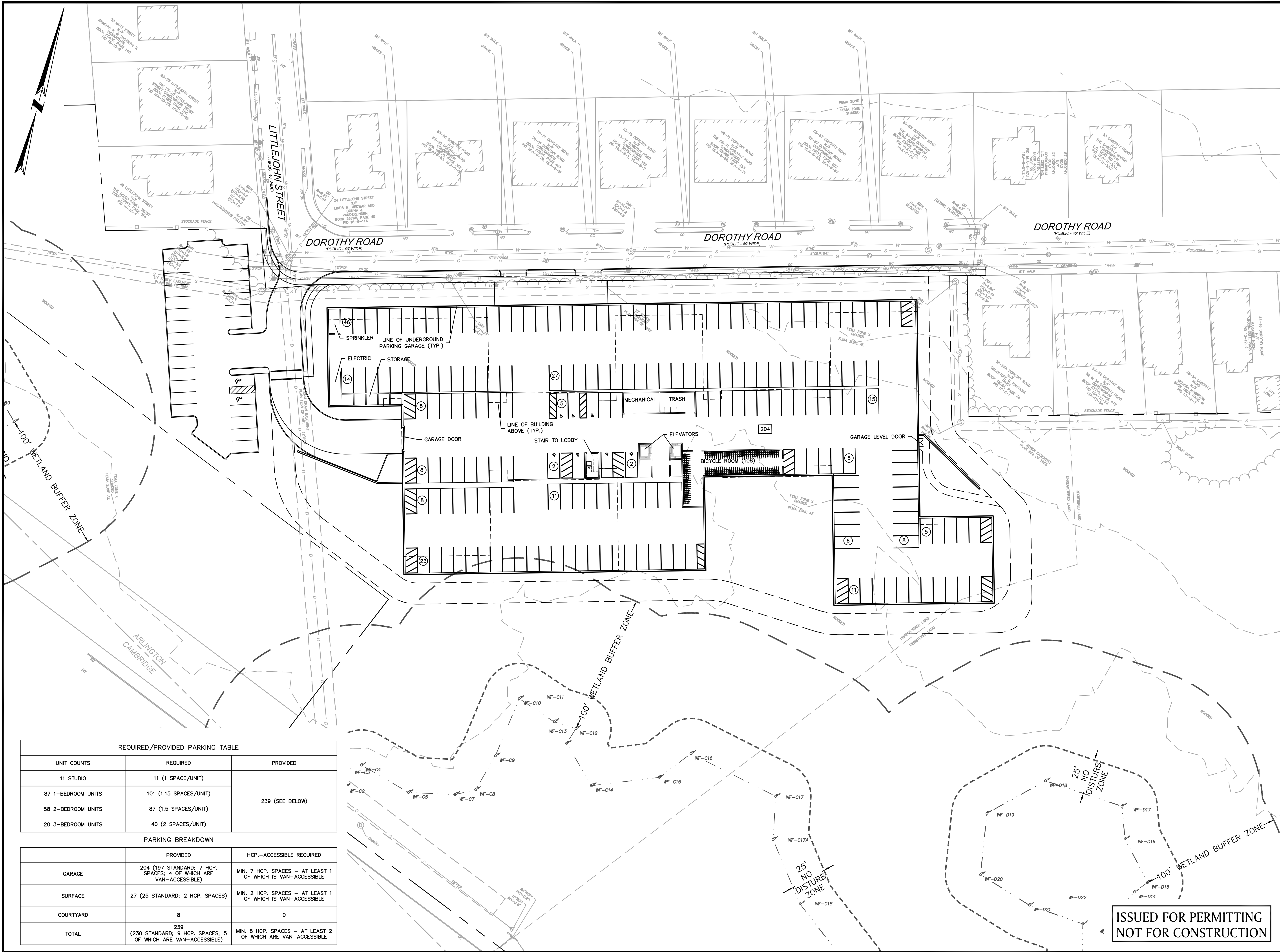
REVISIONS:		
NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	10/22/20	WETLAND DELINEATION
3	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 30'
0 15 30 60 FEET
FILE: \Civil\Drawings\2340700-LM
JOB. NO: 23407.00 SHEET C-103

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



REQUIRED/PROVIDED PARKING TABLE		
UNIT COUNTS	REQUIRED	PROVIDED
11 STUDIO	11 (1 SPACE/UNIT)	239 (SEE BELOW)
87 1-BEDROOM UNITS	101 (1.15 SPACES/UNIT)	
58 2-BEDROOM UNITS	87 (1.5 SPACES/UNIT)	
20 3-BEDROOM UNITS	40 (2 SPACES/UNIT)	

PARKING BREAKDOWN		
	PROVIDED	HCP.-ACCESSIBLE REQUIRED
GARAGE	204 (197 STANDARD; 7 HCP. SPACES; 4 OF WHICH ARE VAN-ACCESSIBLE)	MIN. 7 HCP. SPACES - AT LEAST 1 OF WHICH IS VAN-ACCESSIBLE
SURFACE	27 (25 STANDARD; 2 HCP. SPACES)	MIN. 2 HCP. SPACES - AT LEAST 1 OF WHICH IS VAN-ACCESSIBLE
COURTYARD	8	0
TOTAL	239 (230 STANDARD; 9 HCP. SPACES; 5 OF WHICH ARE VAN-ACCESSIBLE)	MIN. 8 HCP. SPACES - AT LEAST 2 OF WHICH ARE VAN-ACCESSIBLE



PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

GARAGE LEVEL PLAN

MARCH 13, 2020

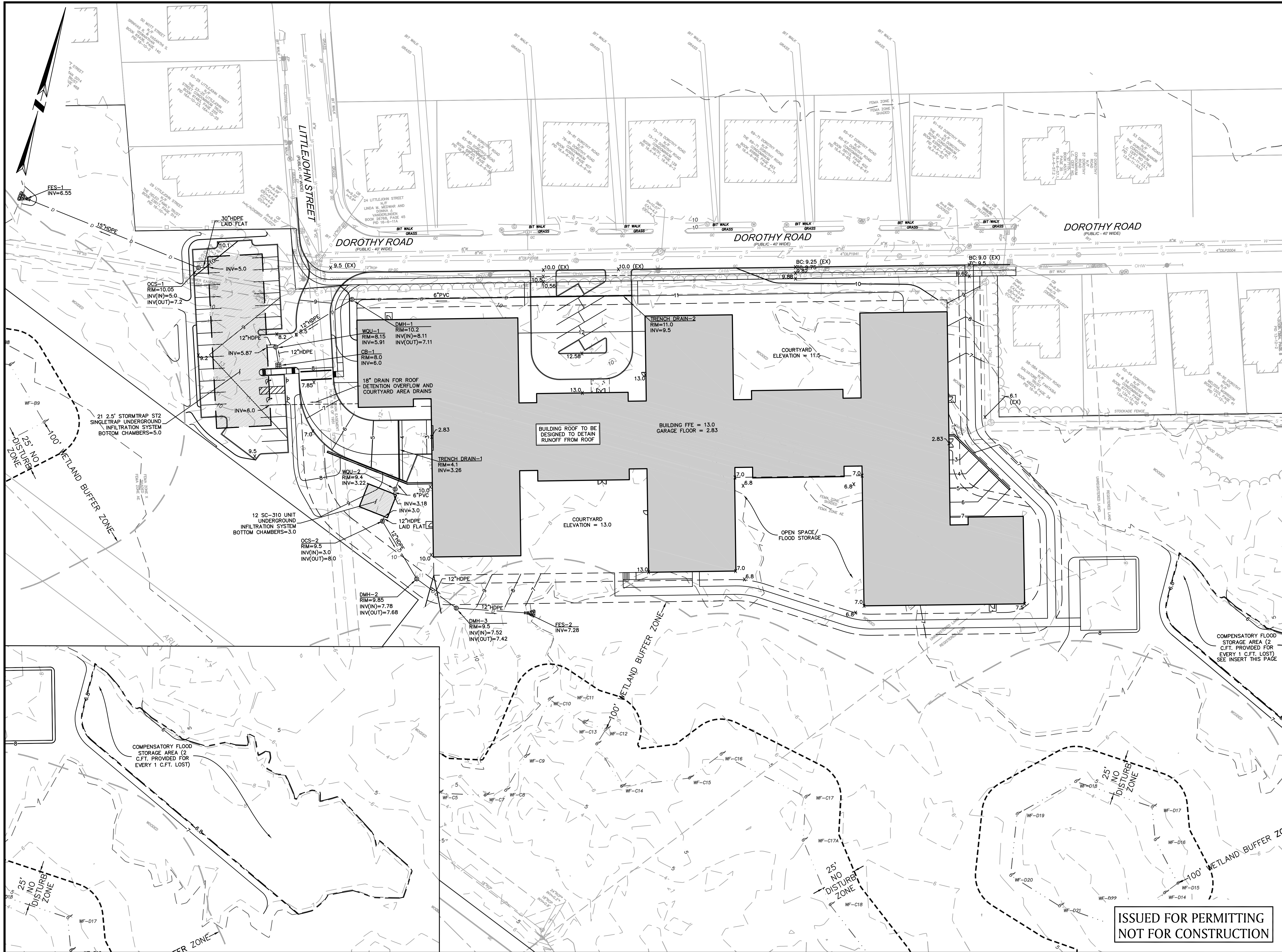
REVISIONS:		
NO.	DATE	DESC.
1	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 30'
0 15 30 60 FEET
FILE: C:\Civil\Drawings\2340700-GARAGE
DWG.:
JOB. NO: 23407.00 SHEET C-104

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



DATE
PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

GRADING &
DRAINAGE PLAN

MARCH 13, 2020

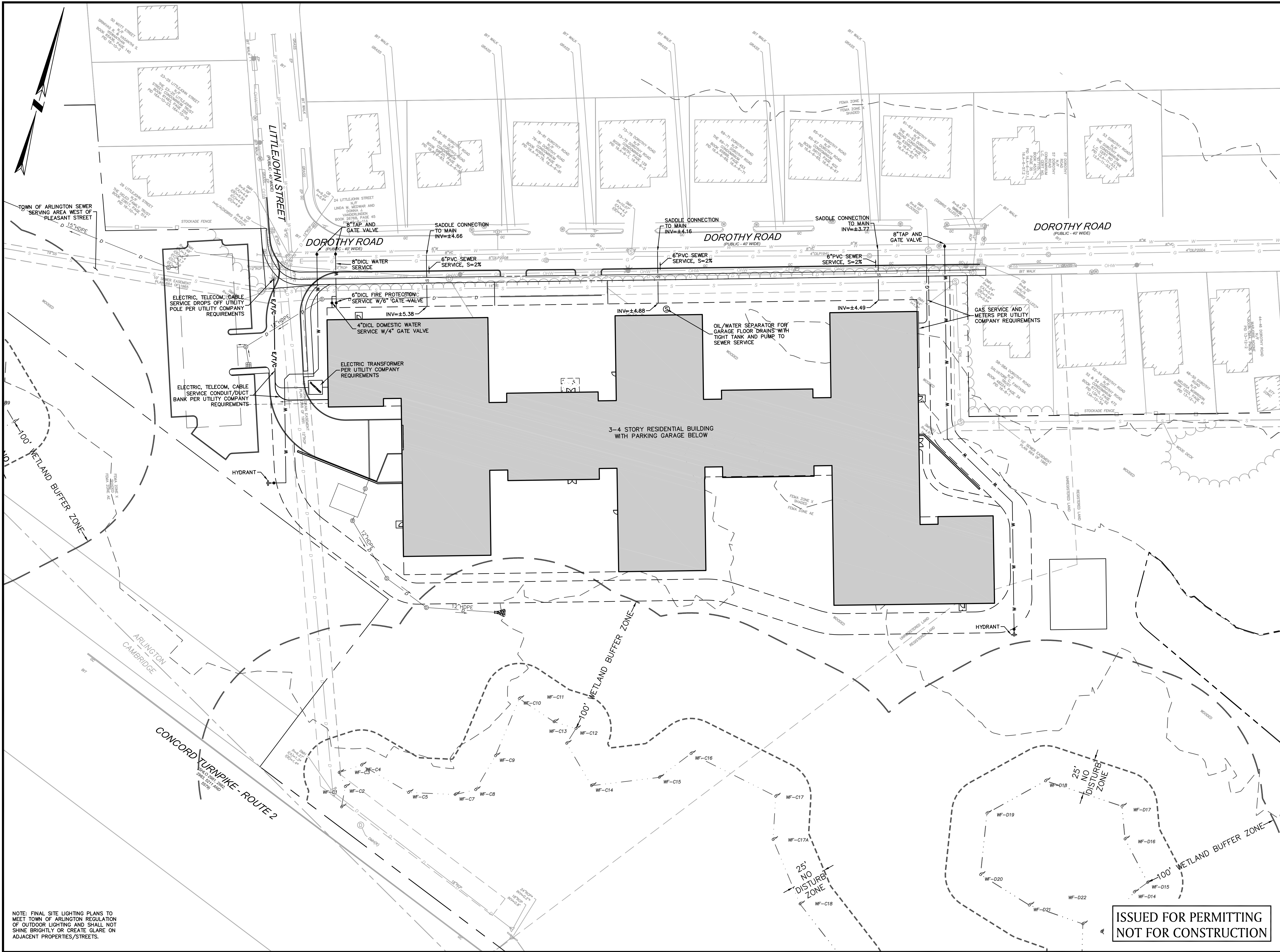
REVISIONS:		
NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	10/22/20	WETLAND DELINEATION
3	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 30'
FILE: \\Civil\\Drawings\\2340700-GR
DWG.:
JOB. NO: 23407.00 SHEET C-105

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



DATE
PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

UTILITY PLAN

MARCH 13, 2020

REVISIONS:

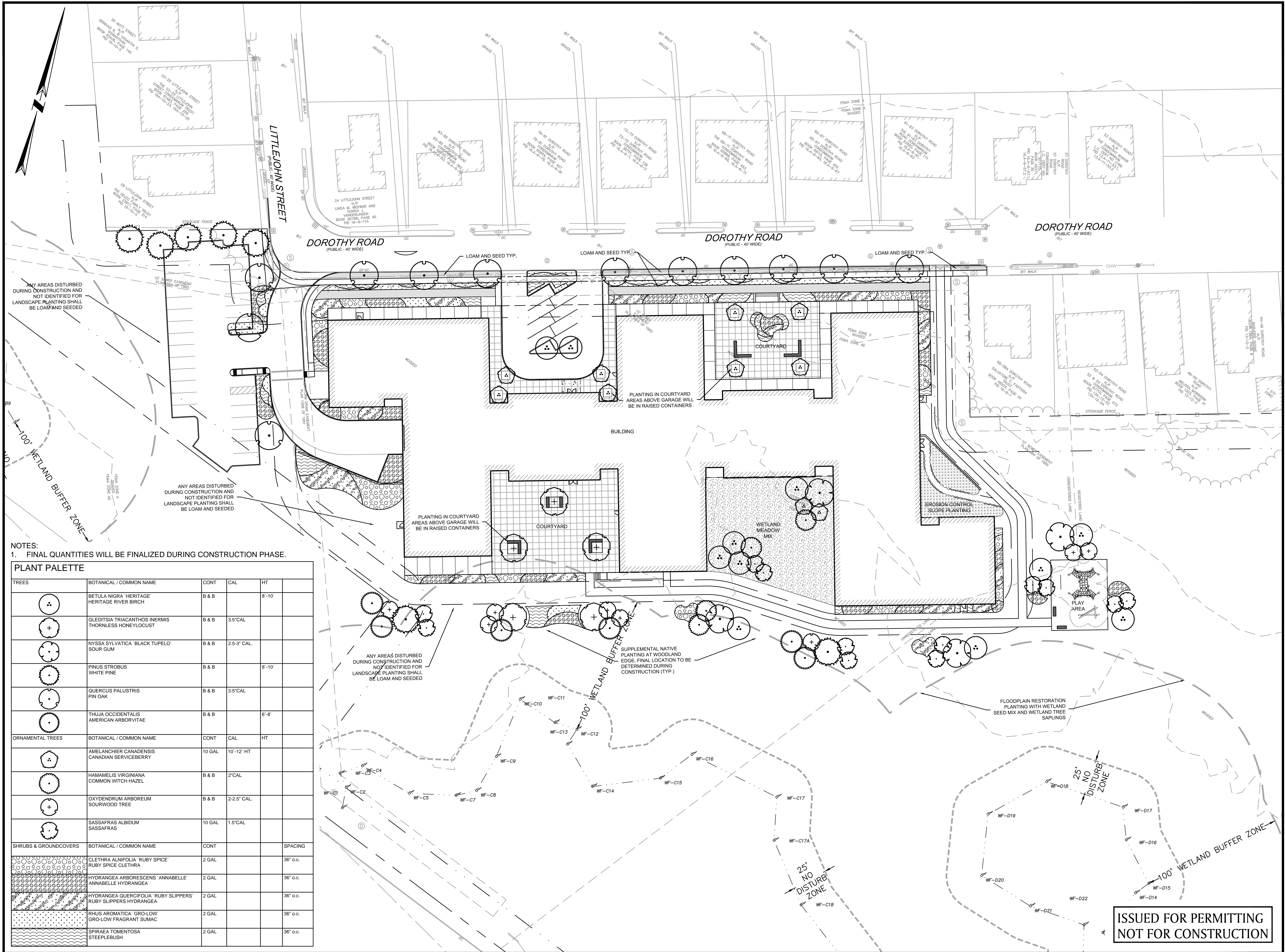
NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	10/22/20	WETLAND DELINEATION
3	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 30'
0 15 30 60 FEET

FILE: \Civil\Drawings\2340700-UT
DWG: C104
JOB. NO: 23407.00
SHEET C-106



NOTES:
1. FINAL QUANTITIES WILL BE FINALIZED DURING CONSTRUCTION PHASE.

PLANT PALETTE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT
	BETULA NIGRA 'HERITAGE' HERITAGE RIVER BIRCH	B & B		8'-10'
	GLEITSIA TRIACANTHOS INERMIS THORNLESS HONEYLOCUST	B & B	3.5" CAL	
	NYSSA SYLVATICA 'BLACK TUPELO' SOUR GUM	B & B	2.5-3" CAL	
	PINUS STROBUS WHITE PINE	B & B		8'-10'
	QUERCUS PALUSTRIS PIN OAK	B & B	3.5" CAL	
	THUJA OCCIDENTALIS AMERICAN ARBORVITAE	B & B		6'-8'
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT
	AMELANCHIER CANADENSIS CANADIAN SERVICEBERRY	10 GAL	10'-12' HT	
	HAMAMELIS VIRGINIANA COMMON WITCH HAZEL	B & B	2" CAL	
	OXYDENDRUM ARBOREUM SOURWOOD TREE	B & B	2-2.5" CAL	
	SASSAFRAS ALBIDUM SASSAFRAS	10 GAL	1.5" CAL	
SHRUBS & GROUNDCOVERS	BOTANICAL / COMMON NAME	CONT		SPACING
	CLETHRA ALNIFOLIA 'RUBY SPICE' RUBY SPICE CLETHRA	2 GAL		36" o.c.
	HYDRANGEA ARBORESCENS 'ANNABELLE' ANNABELLE HYDRANGEA	2 GAL		36" o.c.
	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS' RUBY SLIPPERS HYDRANGEA	2 GAL		36" o.c.
	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	2 GAL		36" o.c.
	SPIRAEA TOMENTOSA STEEPLEBUSH	2 GAL		36" o.c.

REGISTERED LANDSCAPE ARCHITECT
DATE 2020/11/03

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

PLANTING PLAN

MARCH 13, 2020

REVISIONS:

NO.	DATE	DESC.

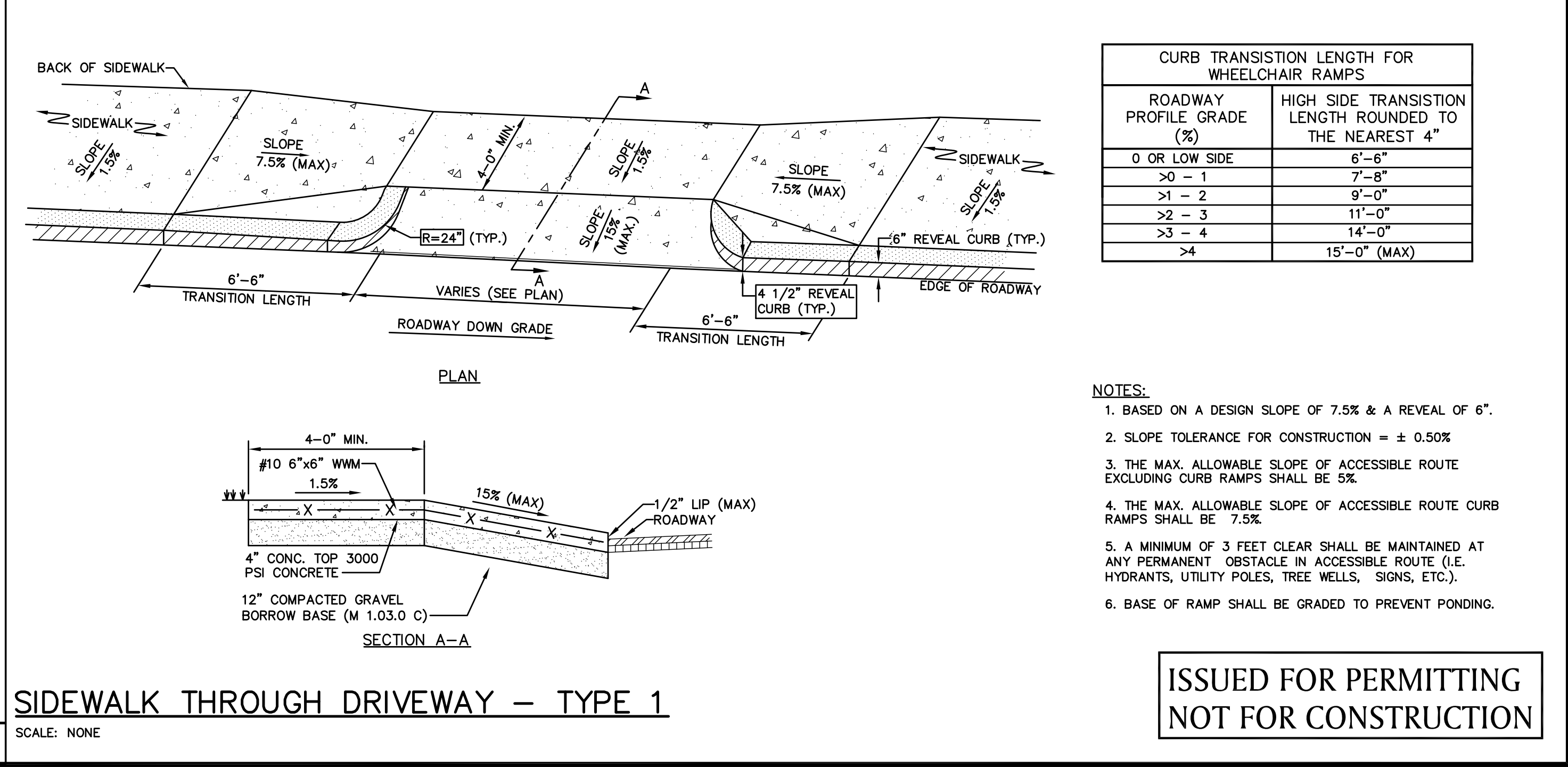
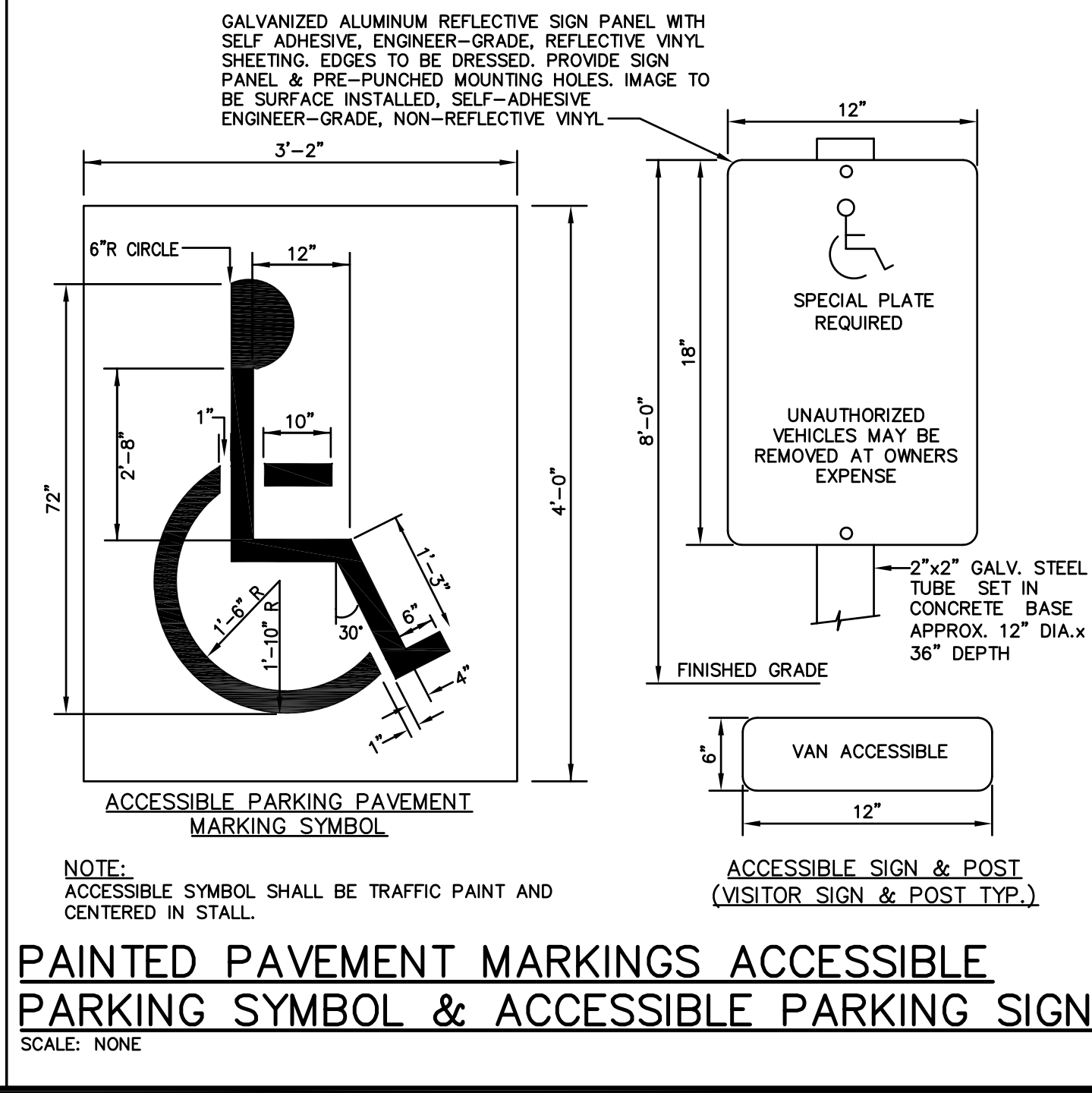
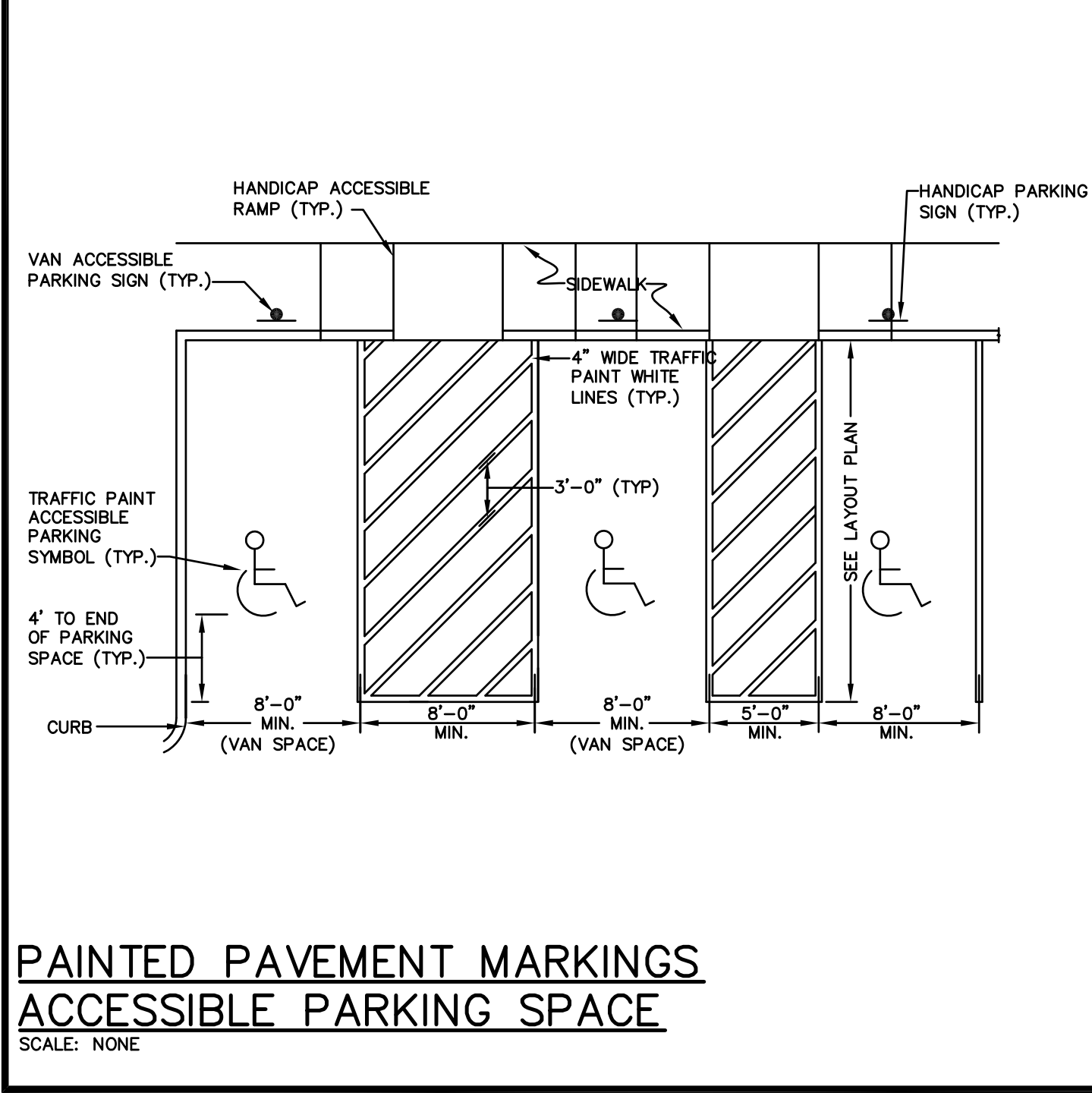
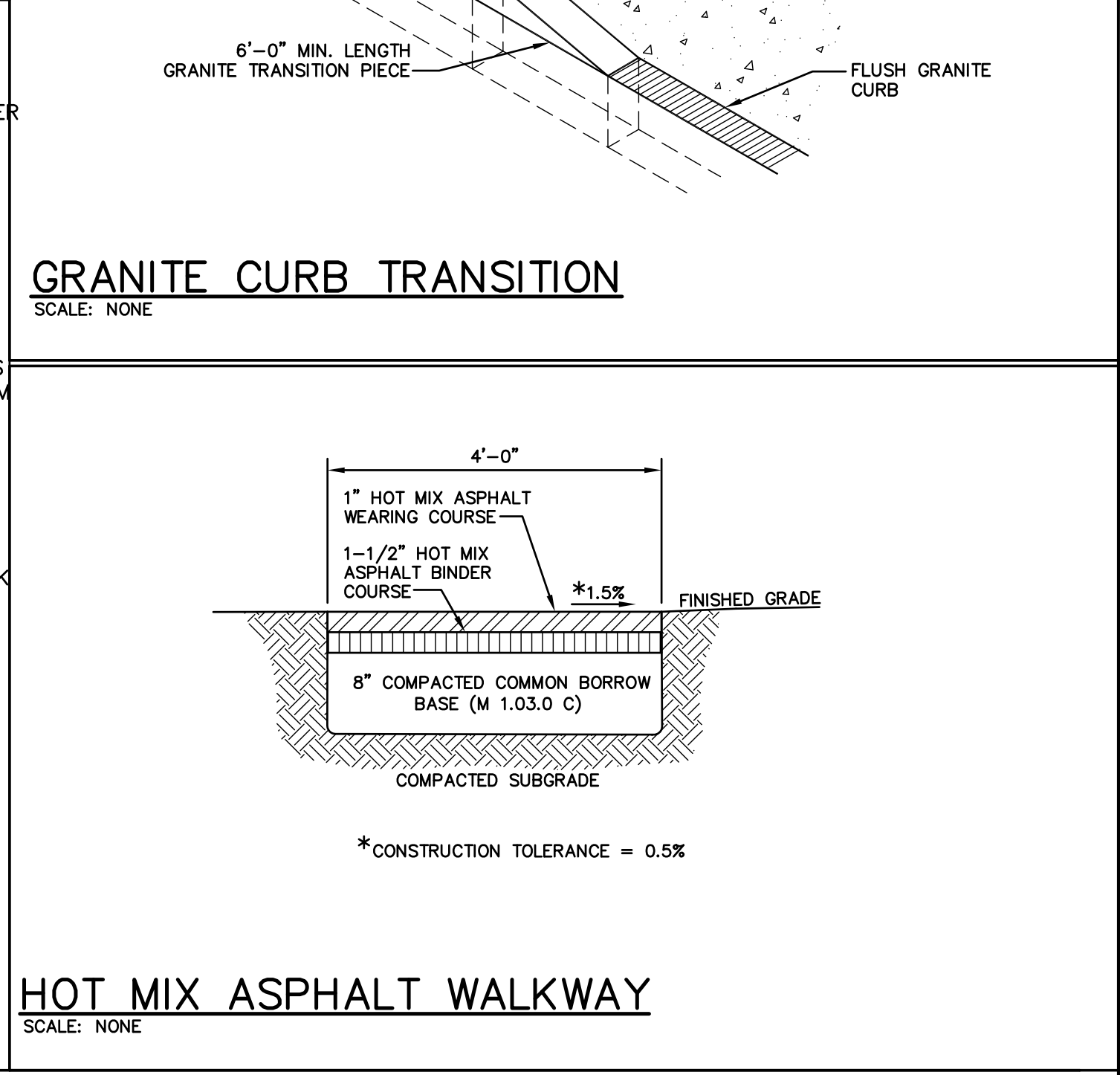
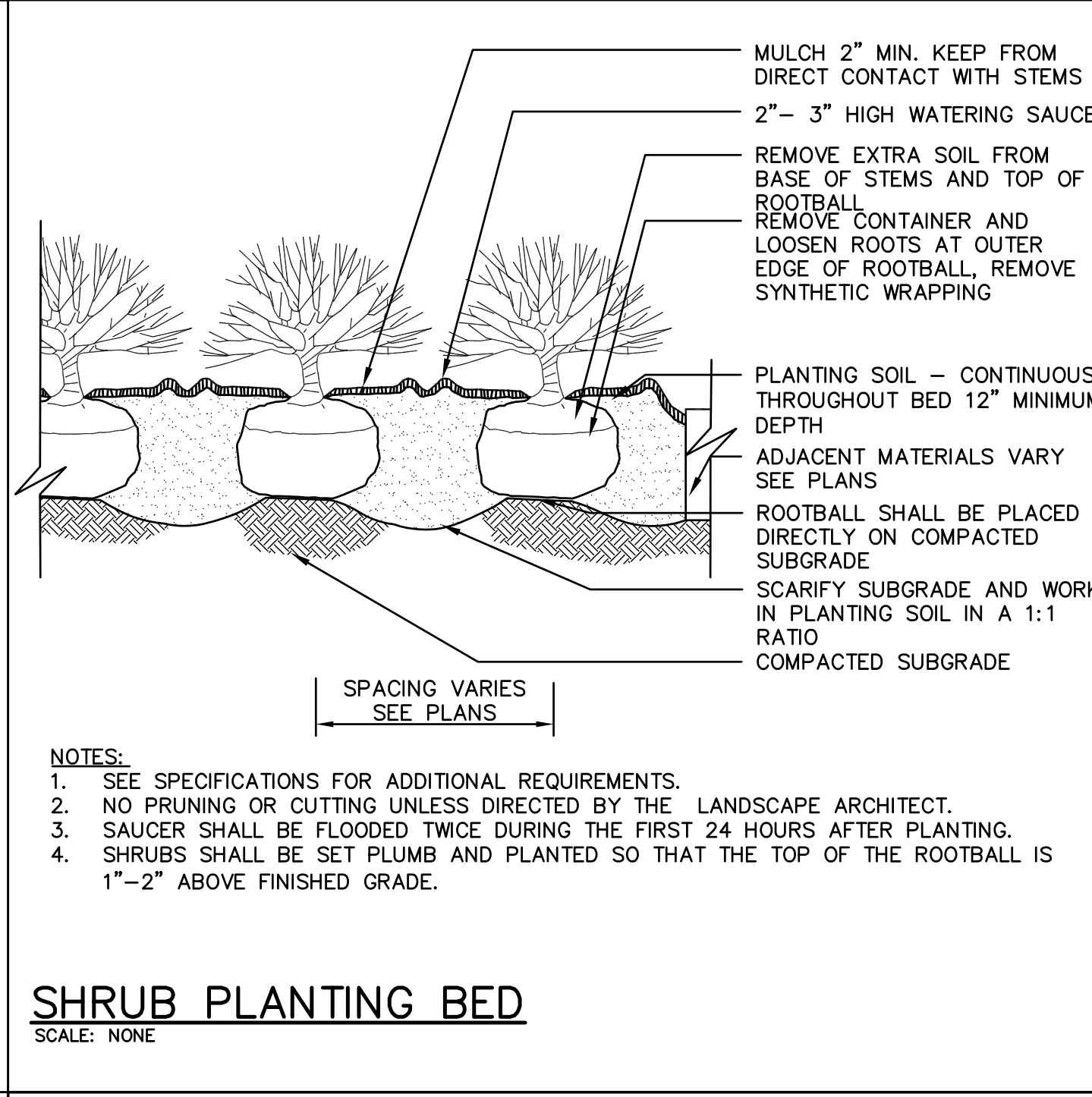
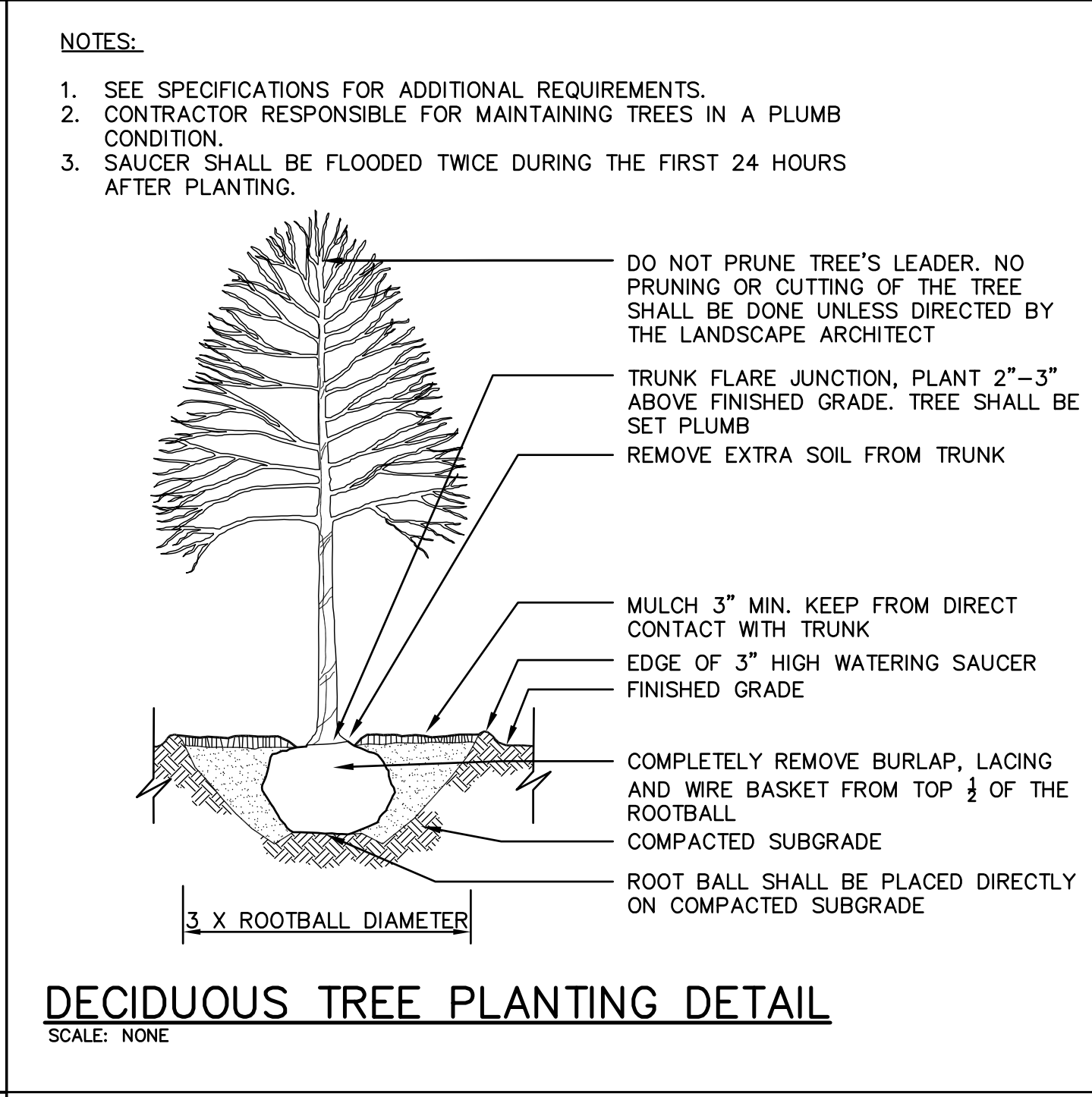
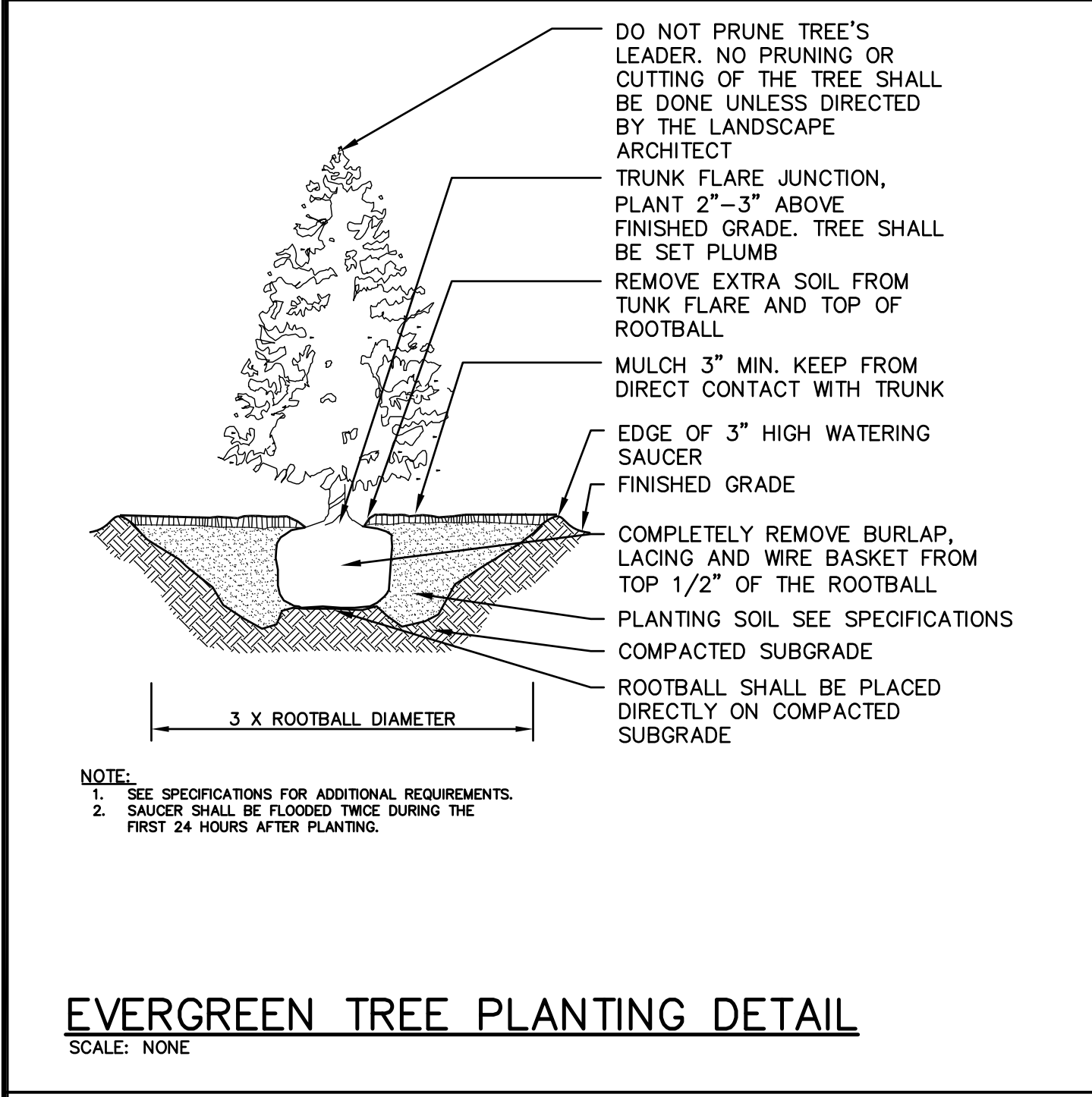
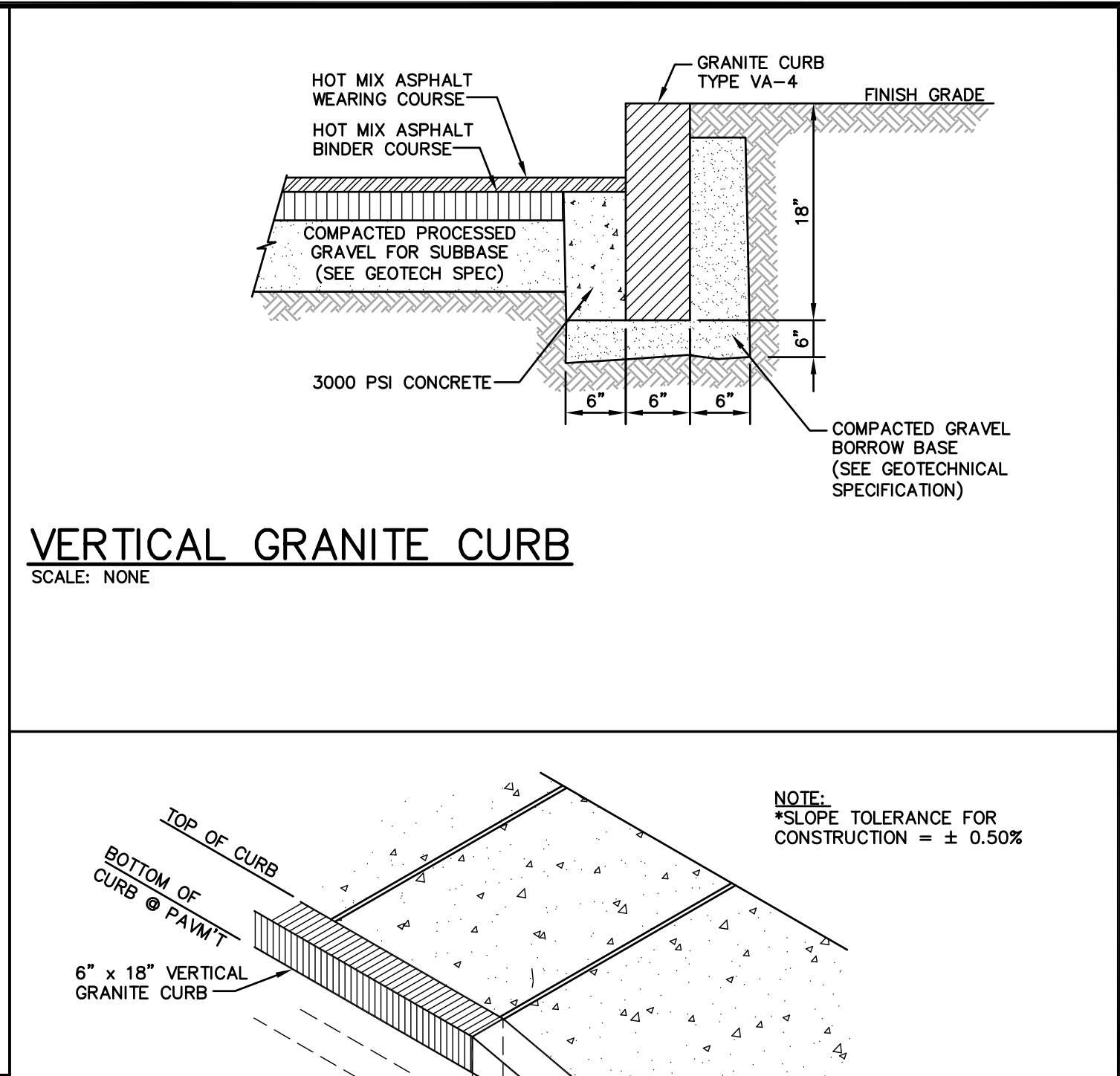
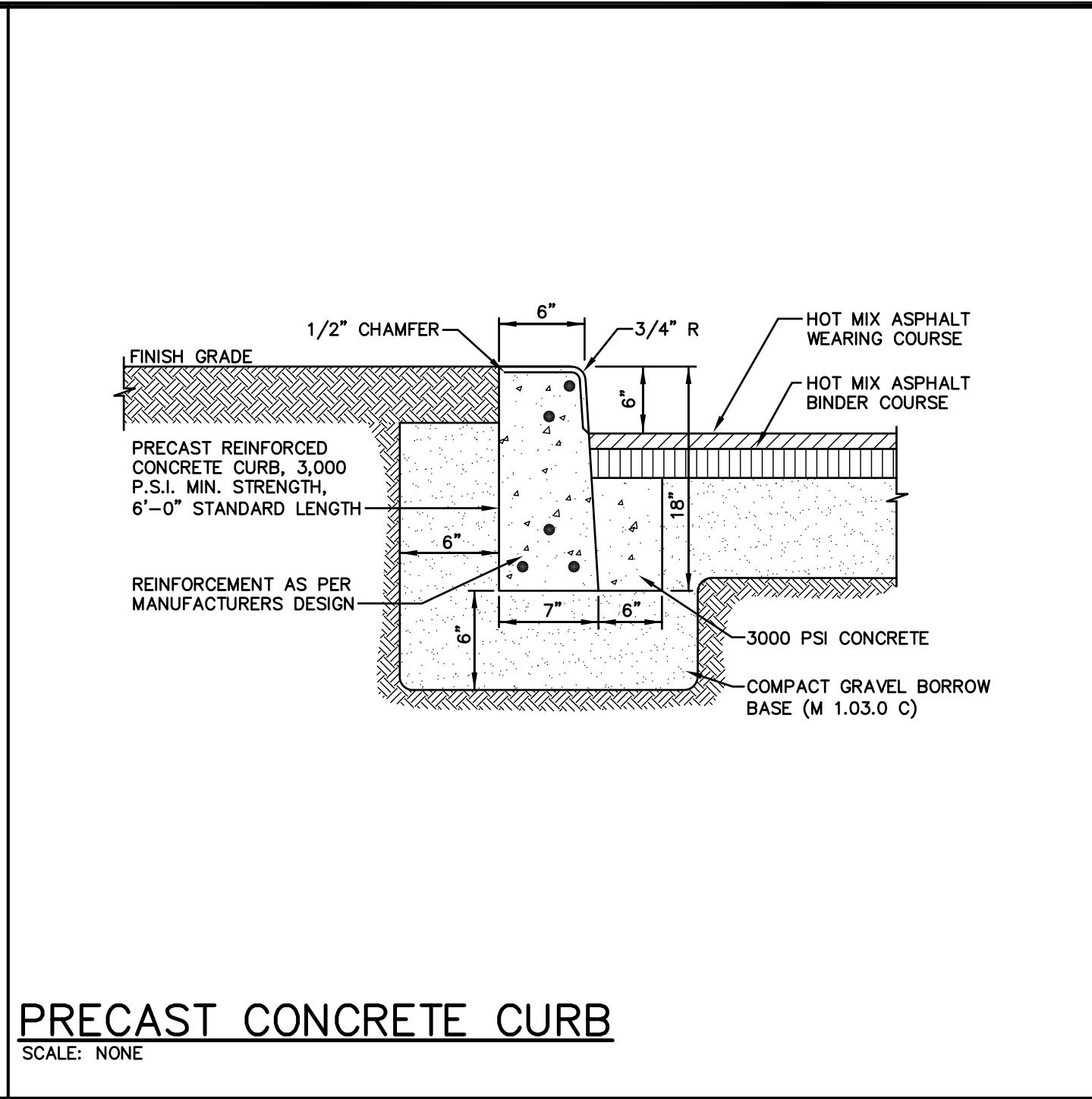
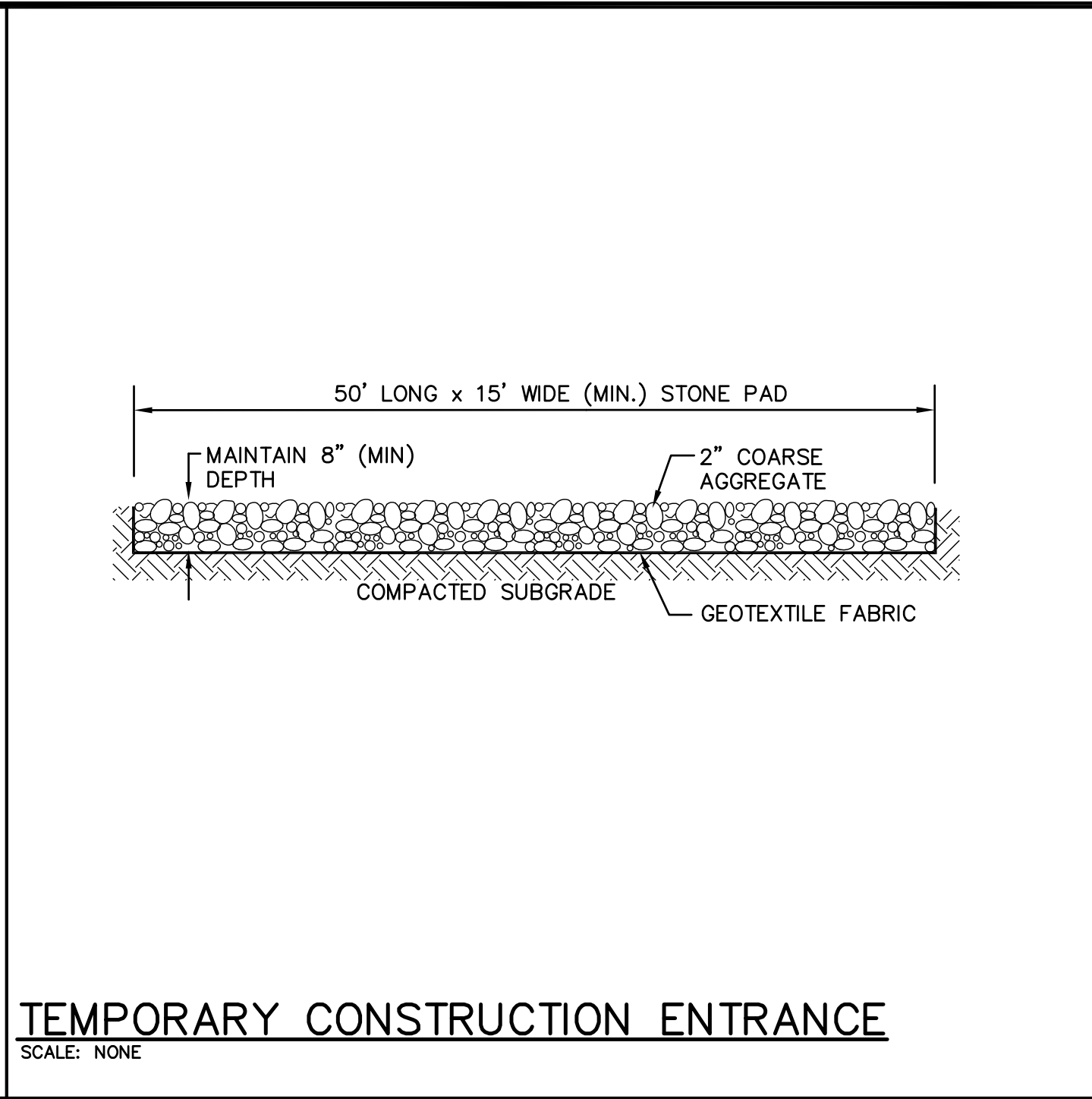
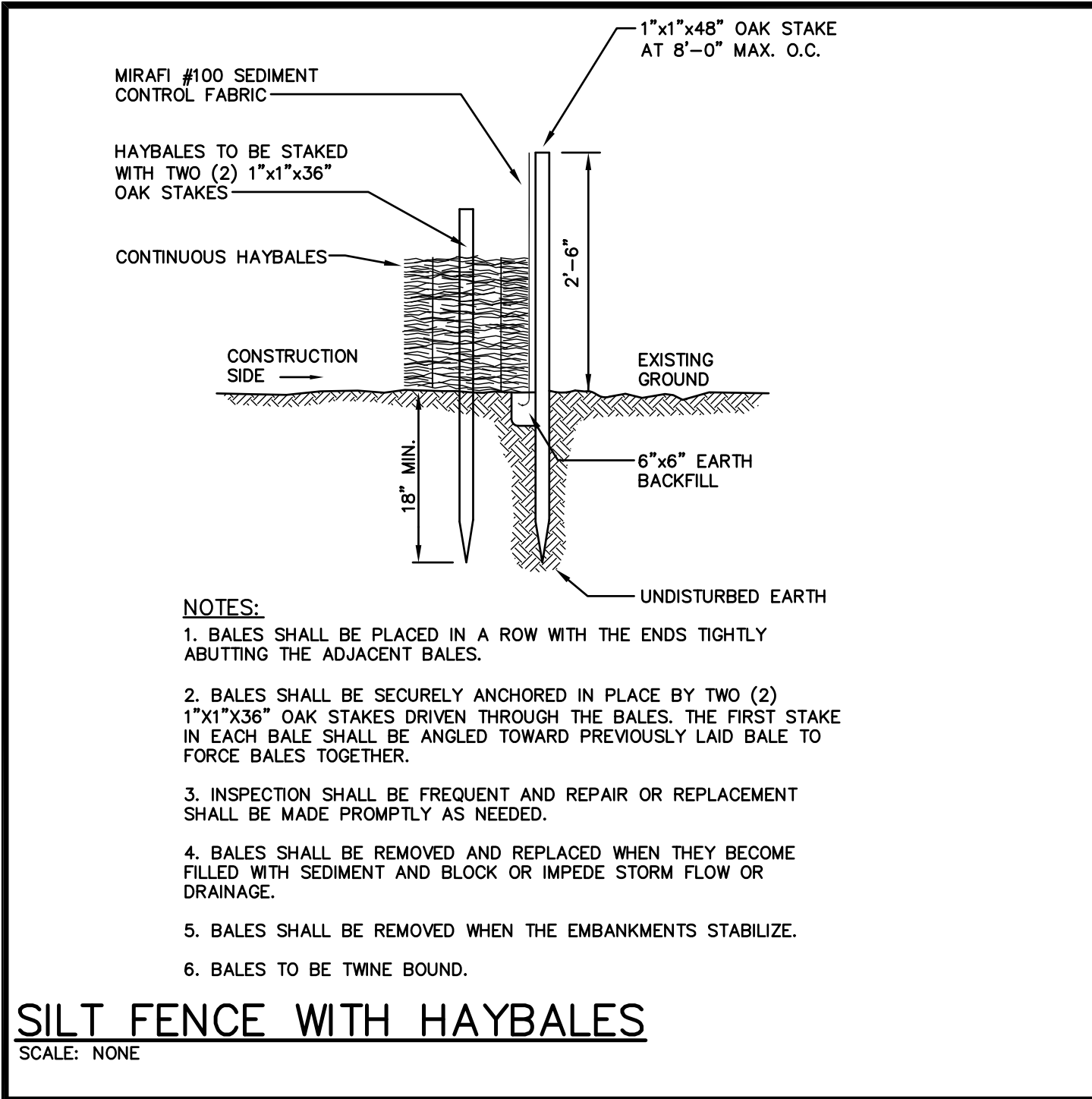
PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 30'
0 15 30 60 FEET

FILE: \Civil\Drawings\2340700-LM
DWG: SHEET L-100
JOB: NO: 23407.00

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



DATE
PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

**CIVIL & LANDSCAPE
DETAILS**

MARCH 13, 2020

REVISIONS:		
NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	11/03/20	REVISED BUILDING

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: AS NOTED

FILE: 2340700\CD\2340700-DET
DWG.:
JOB. NO: 23407.00
SHEET C-200

NOTES:

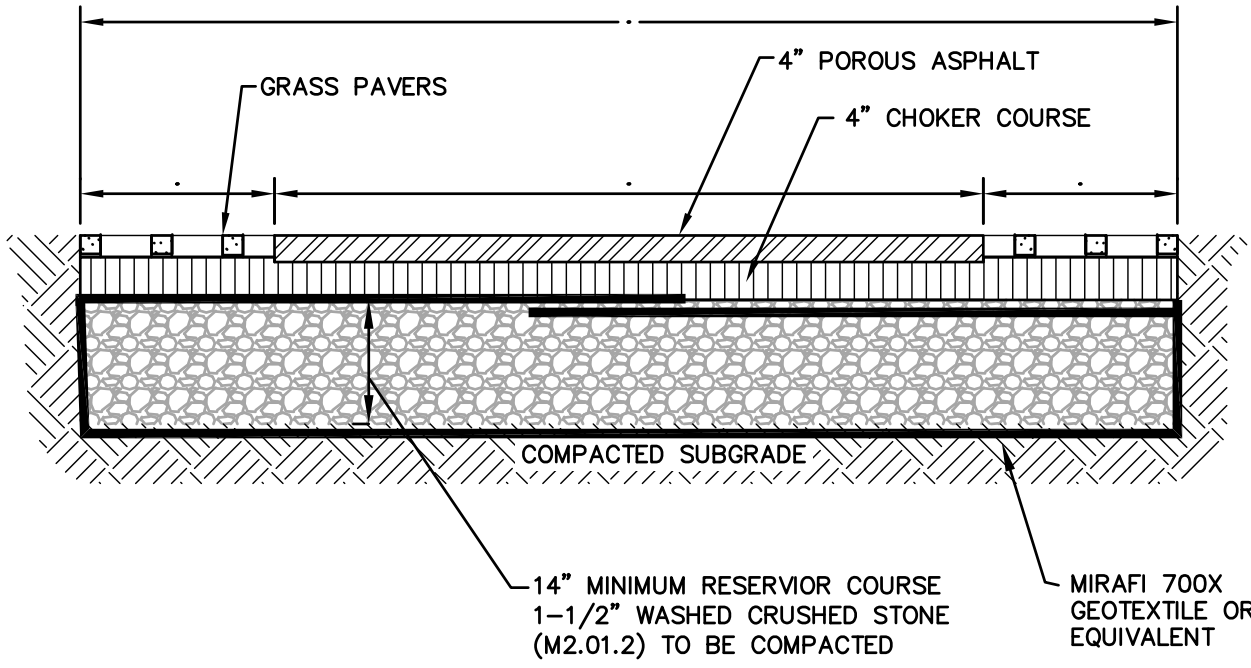
1. POROUS ASPHALT AND CHOKER COURSES SHALL MEET THE FOLLOWING REQUIREMENTS:

4" POROUS ASPHALT - SHALL BE POST-BLENDED PG 64-28 SBR WITH 5 POUNDS OF FIBER PER TON OF ASPHALT MIX.

- 3/4" = 100%
- 1/2" = 85-100%
- 3/8" = 55-75%
- #4 = 10-25%
- #8 = 5-10%
- #200 = 2-4%
- AIR VOID CONTENT = 16-22%

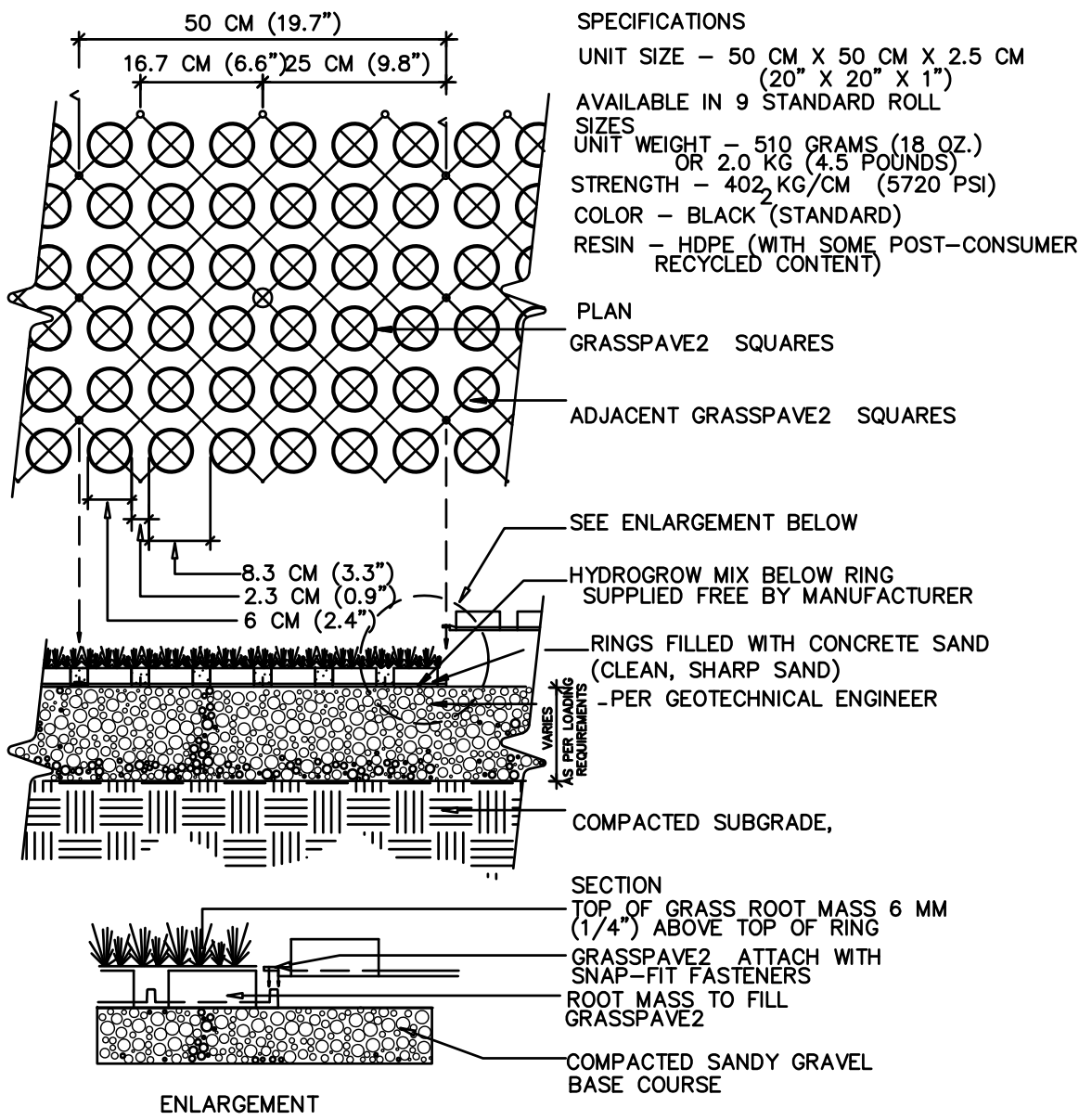
4" CHOKER COURSE SHALL MEET THE FOLLOWING GRADUATION REQUIREMENTS:

- 1-1/2" = 100%
- 1" = 95-100%
- 1/2" = 25-60%
- #4 = 0-10%
- #8 = 0-5%
- 95% COMPACTION



EMERGENCY ACCESS ROAD

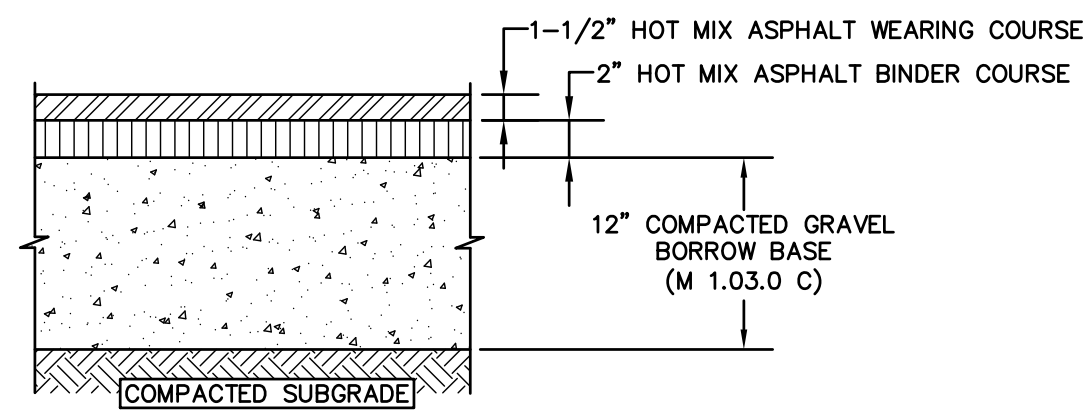
SCALE: NONE



NOTE: SEE LANDSCAPE PLANS FOR PLANT MIX

GRASSPAVE PRODUCT (OR APPROVED EQUAL)

SCALE: NONE

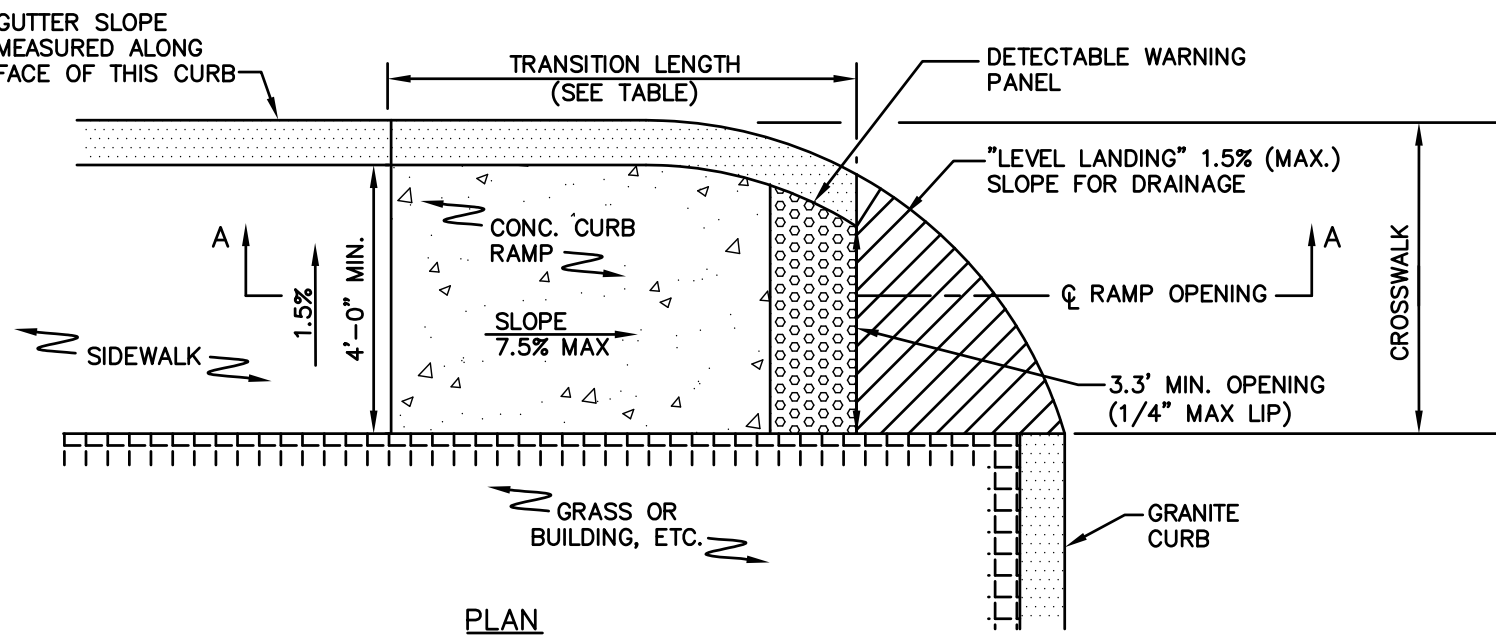


STANDARD DUTY FLEXIBLE PAVEMENT

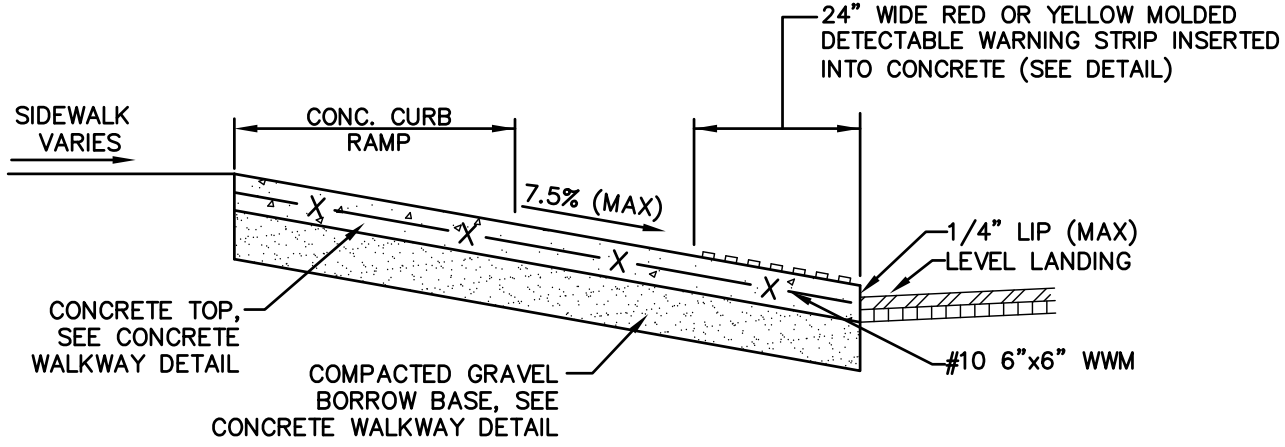
NOTE: PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF GEOTECHNICAL INVESTIGATIONS

HOT MIX ASPHALT PAVEMENT SECTIONS

SCALE: NONE



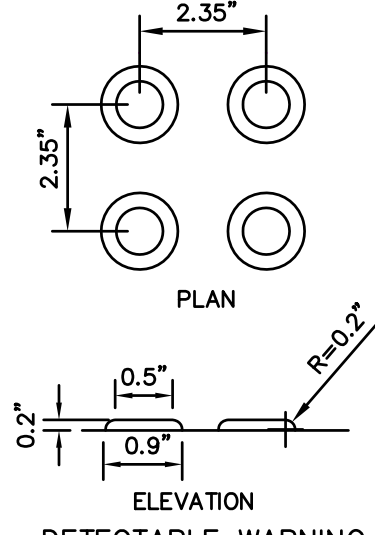
PLAN



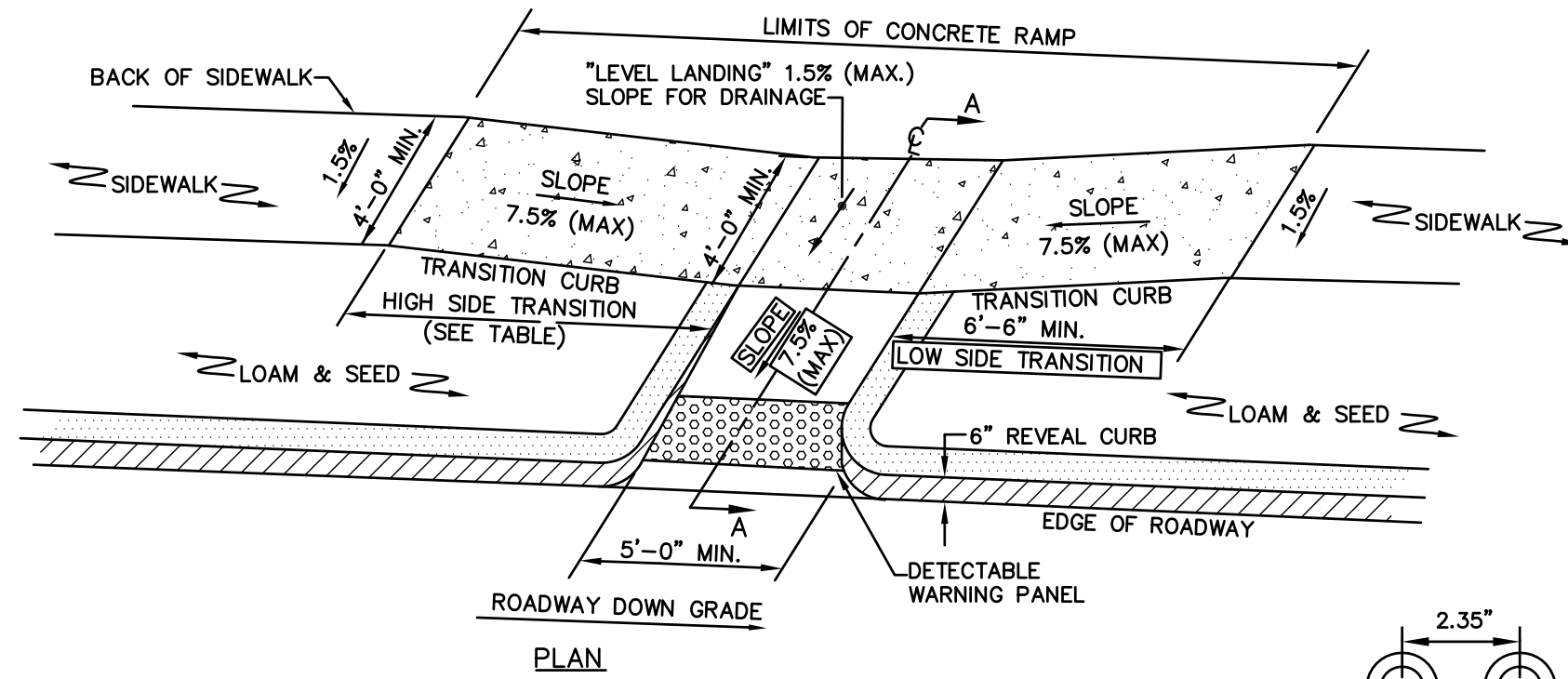
SECTION A-A

ACCESSIBLE CURB RAMP TYPE 'B' - SINGLE DIRECTION WITH LEVEL ENTRANCE

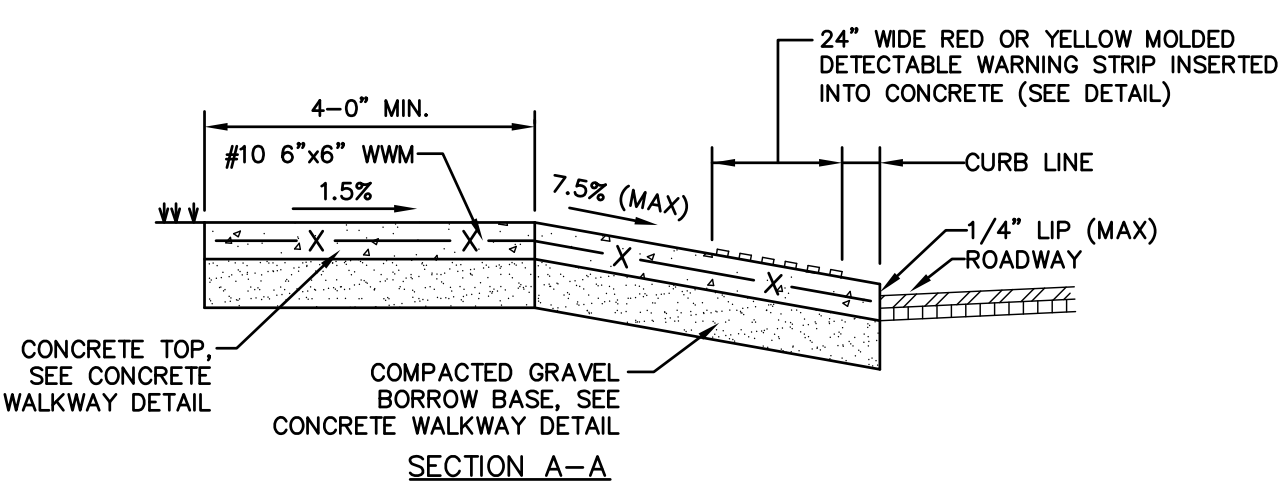
SCALE: NONE



DETECTABLE WARNING STRIP



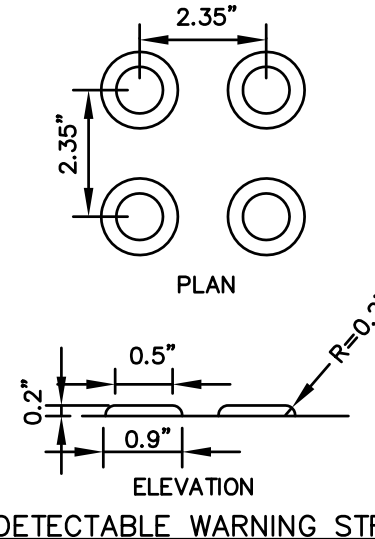
PLAN



SECTION A-A

ACCESSIBLE CURB RAMP TYPE 'E' - PARALLEL PERPENDICULAR WITH LANDSCAPING STRIP

SCALE: NONE



DETECTABLE WARNING STRIP

CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS	
ROADWAY PROFILE GRADE (%)	TRANSITION LENGTH ROUNDED TO THE NEAREST 4"
0 OR LOW SIDE	6'-6"
>0 - 1	7'-8"
>1 - 2	9'-0"
>2 - 3	11'-0"
>3 - 4	14'-0"
>4	15'-0" (MAX)

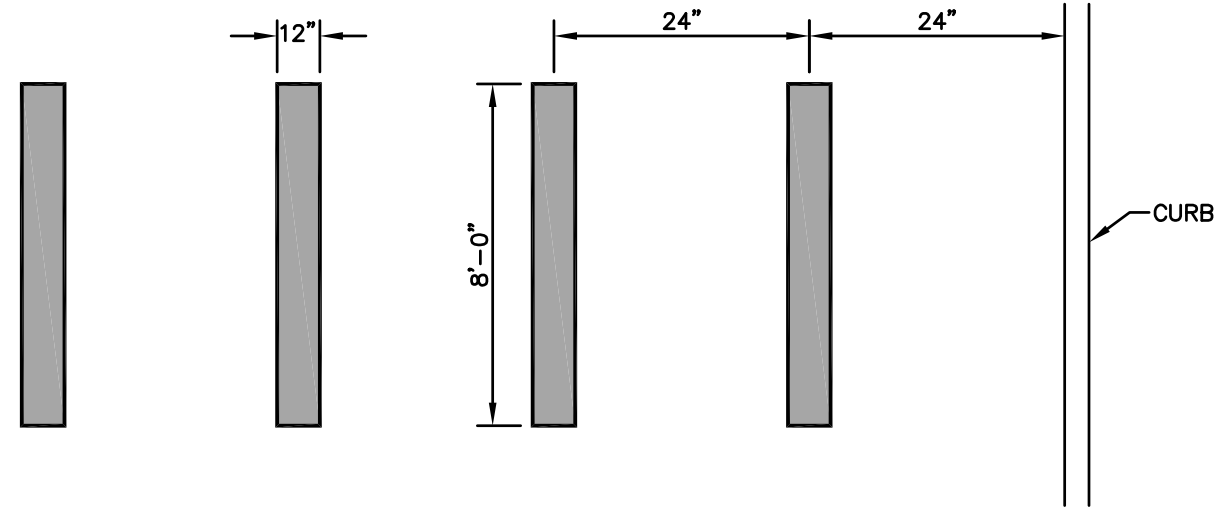
NOTES:

1. SLOPE TOLERANCE FOR RAMP AND SIDEWALK CONSTRUCTION = $\pm 0.50\%$
2. THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.

CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS	
ROADWAY PROFILE GRADE (%)	HIGH SIDE TRANSITION LENGTH ROUNDED TO THE NEAREST 4"
0 OR LOW SIDE	6'-6"
>0 - 1	7'-8"
>1 - 2	9'-0"
>2 - 3	11'-0"
>3 - 4	14'-0"
>4	15'-0" (MAX)

NOTES:

1. SLOPE TOLERANCE FOR RAMP AND SIDEWALK CONSTRUCTION = $\pm 0.50\%$
2. THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.

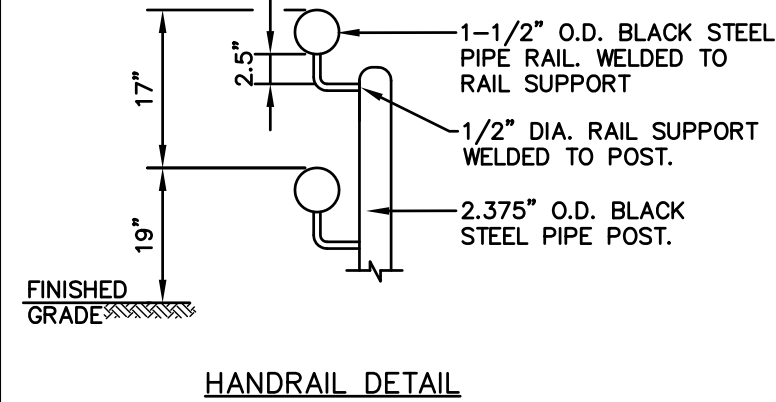
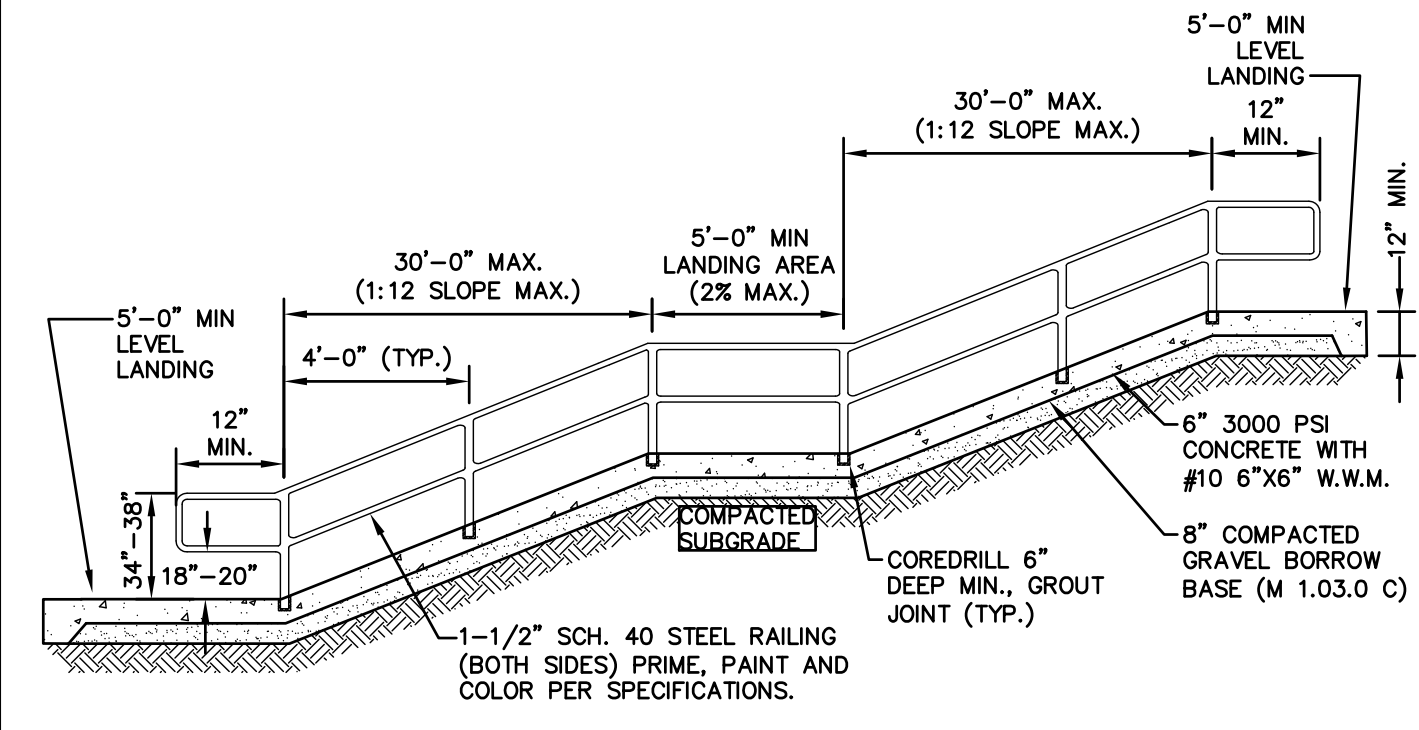


NOTES:

1. ALL TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
2. ALL PAVEMENT MARKING MATERIALS WHETHER THERMOPLASTIC OR WATERBORNE PAINT TO BE REFLECTORIZED WITH GLASS BEADS.
3. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
4. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY DRESSED.
5. STRIPES TO BE SOLID WHITE.

PEDESTRIAN CROSSWALK MARKINGS

SCALE: NONE



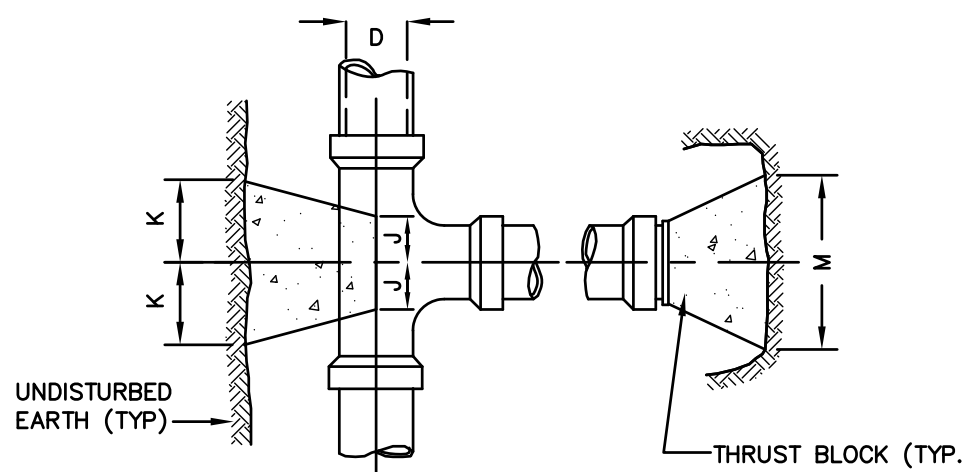
HANDRAIL DETAIL

MULTI-TIER RAMP

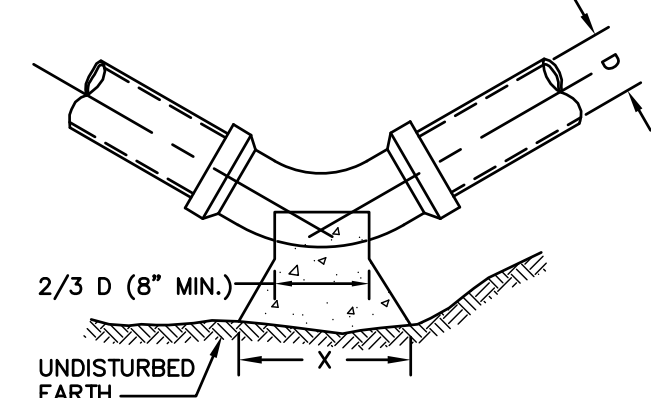
SCALE: NONE

NOTES:

1. EXPOSED SURFACES TO BE BRUSHED FINISH TROWELED EDGES.
2. MINIMUM WIDTH TO BE 48" CLEAR HANDRAIL TO HANDRAIL.



PLAN - TEE AND PLUG



PLAN - HORIZ. AND VERT. BEND

SIZE OF BRANCH	J	K	L	M	N	O
4" THRU 8"	10"	10"	1'-0"	2'-0"	1'-6"	10"
10" THRU 16"	1'-0"	1'-6"	1'-8"	3'-10"	2'-10"	1'-8"
24"	1'-4"	2'-0"	2'-6"	5'-0"	3'-6"	1'-8"

TEES AND PLUGS

	90 & 45 BENDS	22 1/2 & 11 1/4
D	4"108"10"1016"	24"4"10"1016"
X	1'-8"	3'-4"
Y	1'-2"	1'-8"

BENDS

NOTES:

1. PROVIDE 3000 PSI CONCRETE THRUST BLOCKS AT ALL BENDS, DEAD ENDS, & TEES UNLESS OTHERWISE DIRECTED. CONCRETE FOR ALL THRUST BLOCKS TO BE PLACED AGAINST FIRM, UNDISTURBED SOIL. PROVIDE APPROVED ANCHOR HARNESS RODS & SOCKET CLAMPS AS SPECIFIED & IN ACCORDANCE WITH PIPE MANUFACTURERS RECOMMENDATIONS WHERE SOIL HAS BEEN DISTURBED OR THRUST BLOCKS CANNOT BE USED, AS DIRECTED BY THE ENGINEER.
2. ALL SOCKET CLAMP METAL SHALL BE COATED WITH BLACK ASPHALTUM OR OTHER WATER DEPARTMENT APPROVED COATINGS.
3. CONCRETE THRUST BLOCKS POURED BEHIND 3-WAY TEE & HYDRANT SHOE TO BE USED WITH SOCKET CLAMPS.
4. NO CONCRETE SHALL COVER PIPE JOINTS, FITTING JOINTS, BOLTS OR HYDRANT DRAINS.

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



PROFESSIONAL ENGINEER DATE

THORNDIKE PLACE

DOROTHY ROAD

IN

ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

CIVIL & LANDSCAPE
DETAILS

MARCH 13, 2020

REVISIONS:

NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	11/03/20	REVISED BUILDING

PREPARED FOR:

ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140



803 Summer Street
Boston, Massachusetts
02127

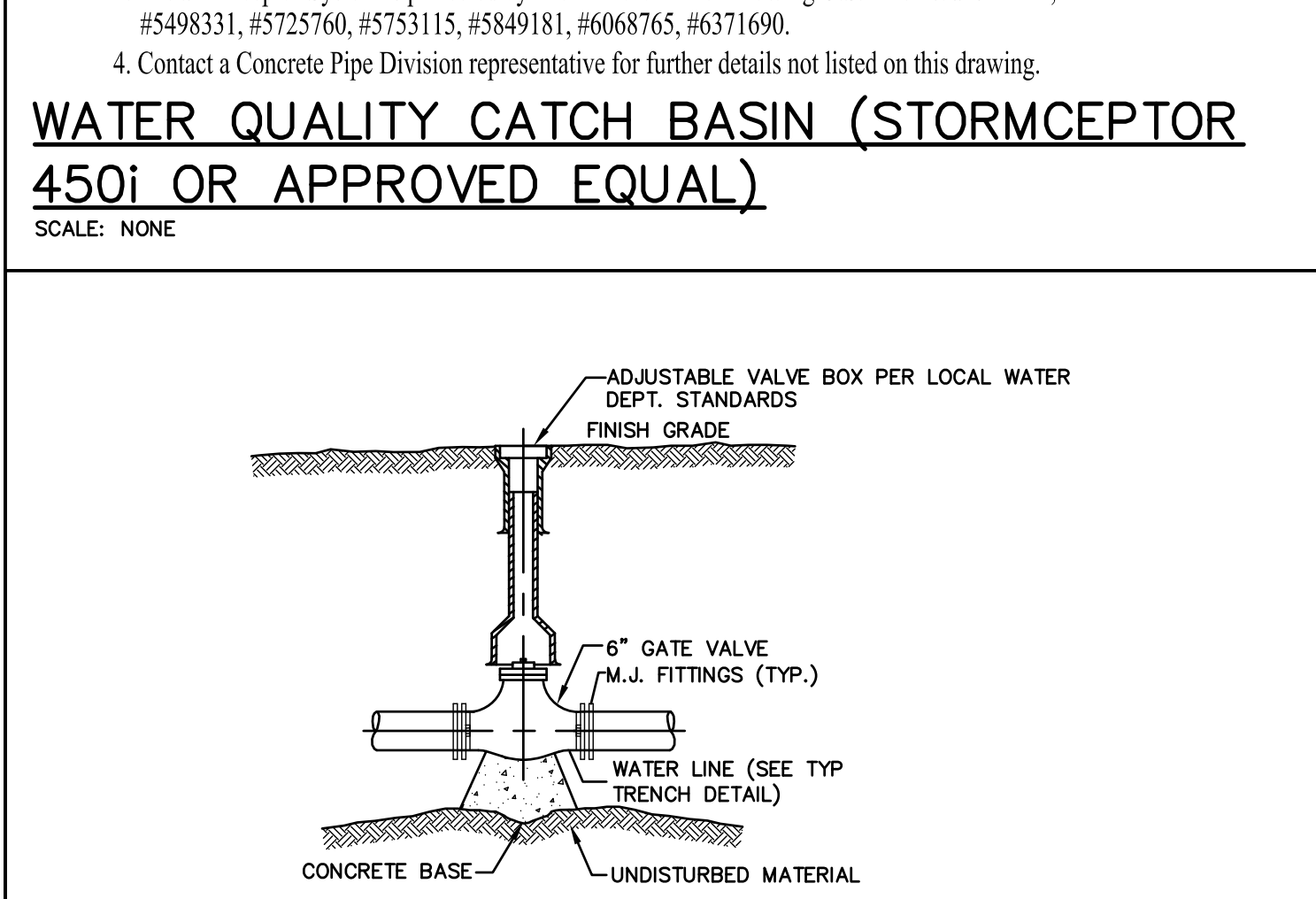
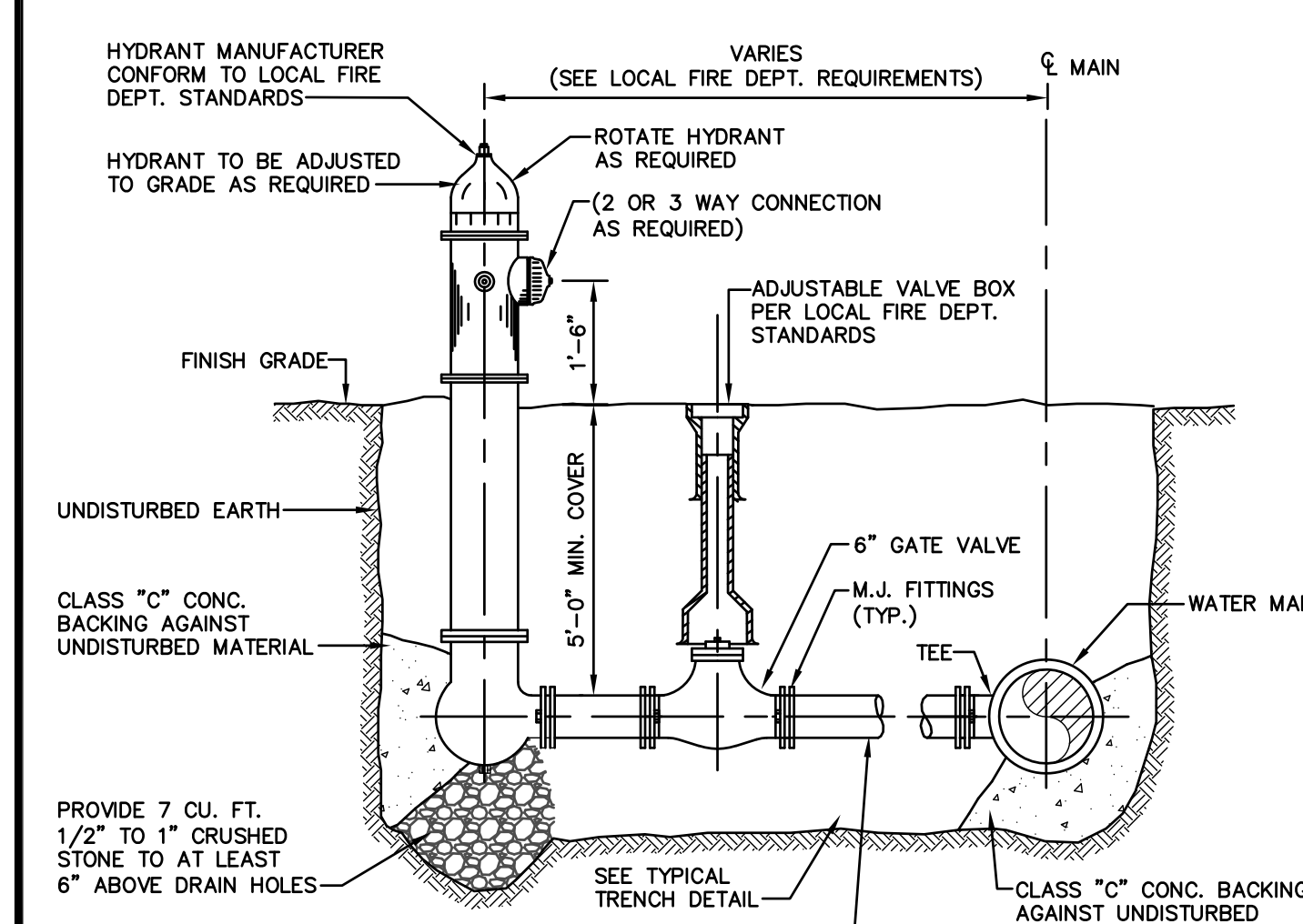
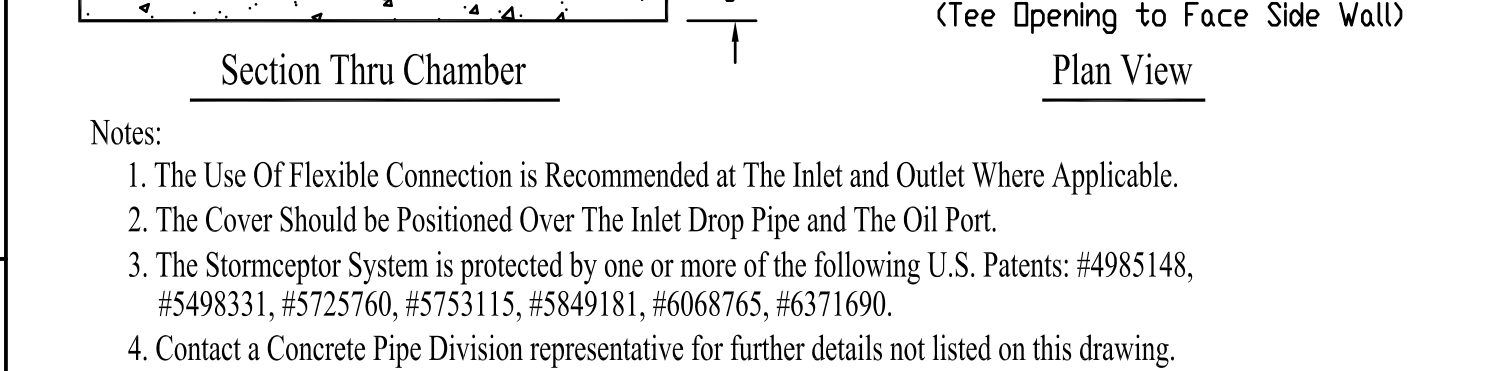
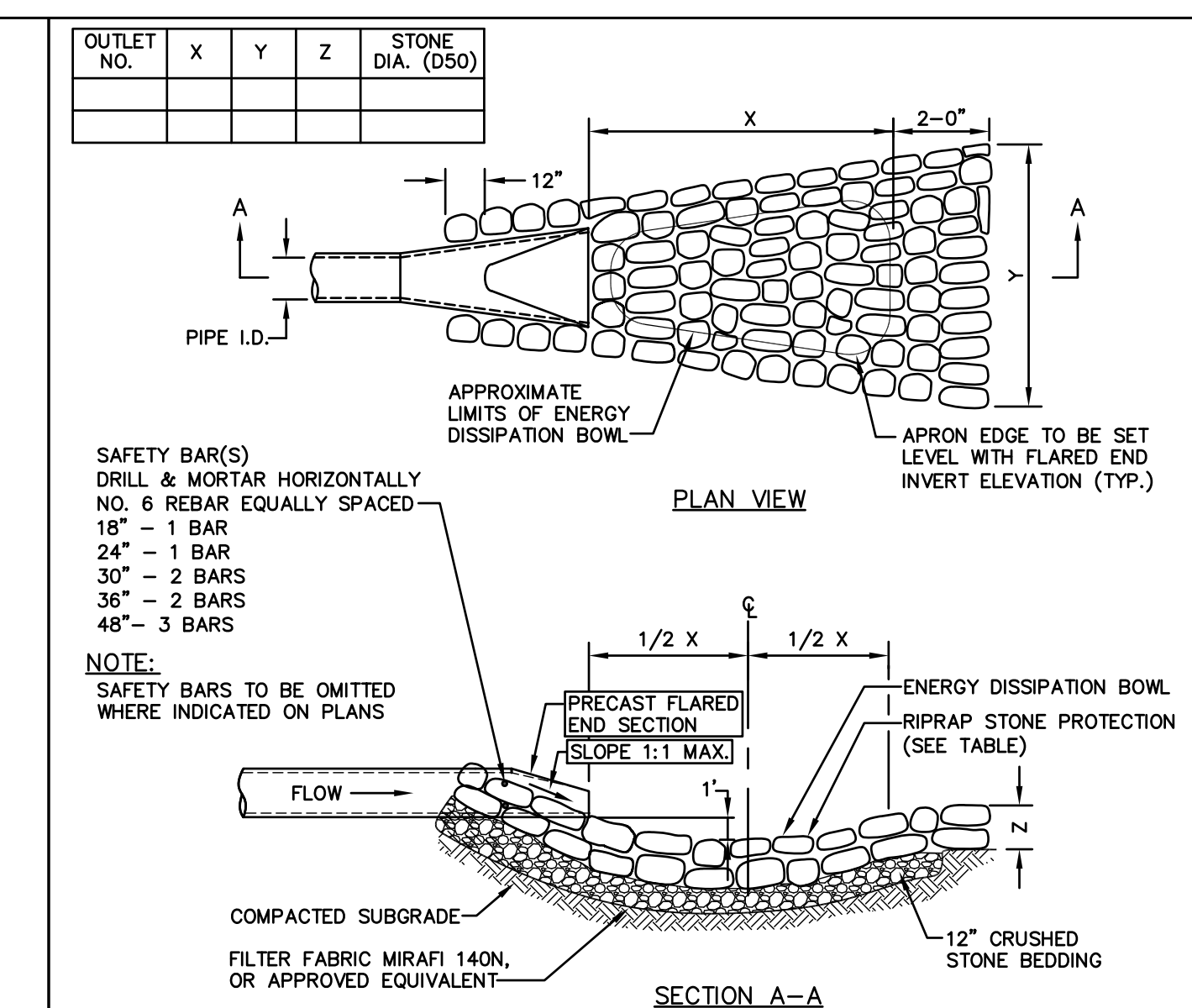
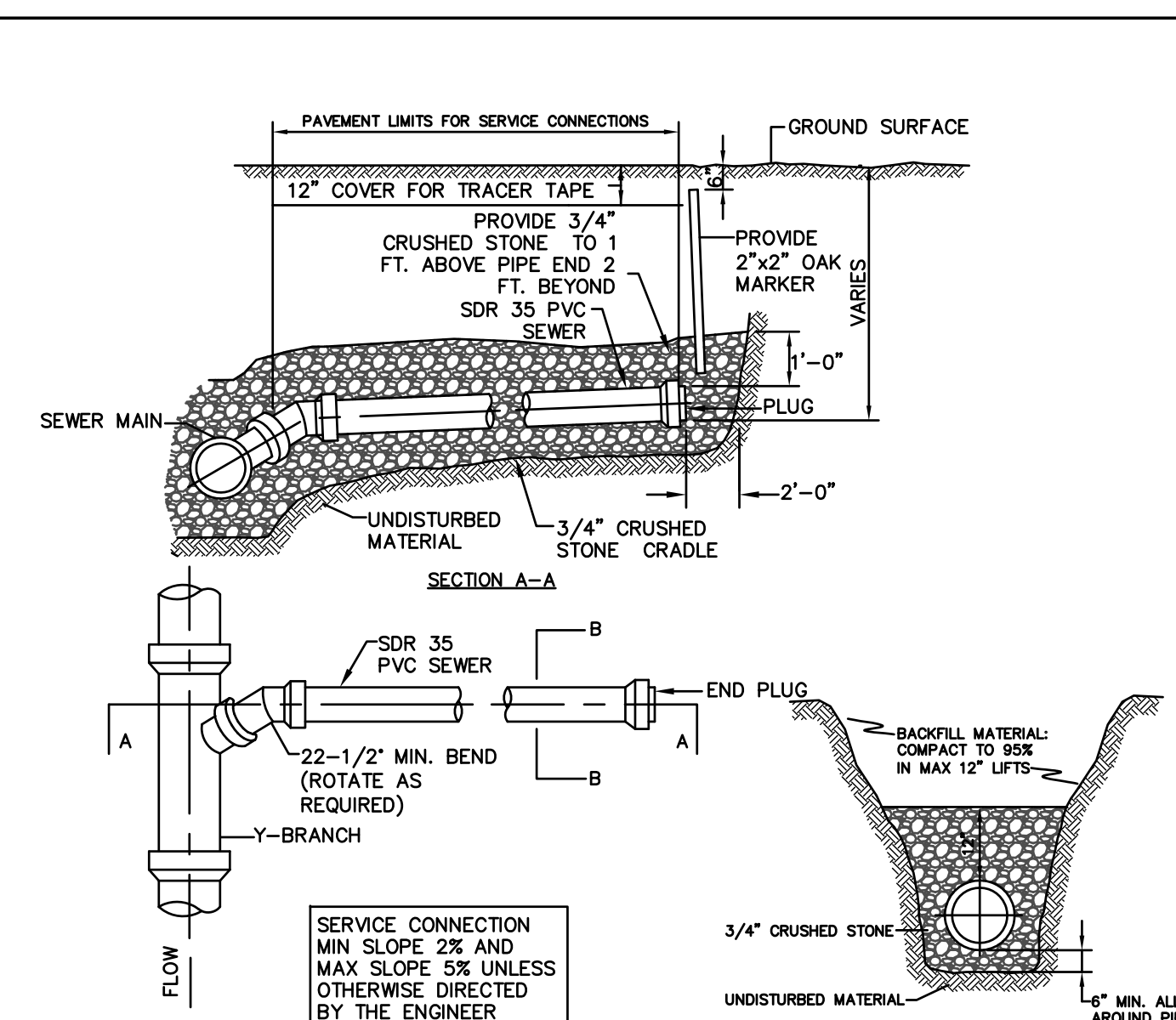
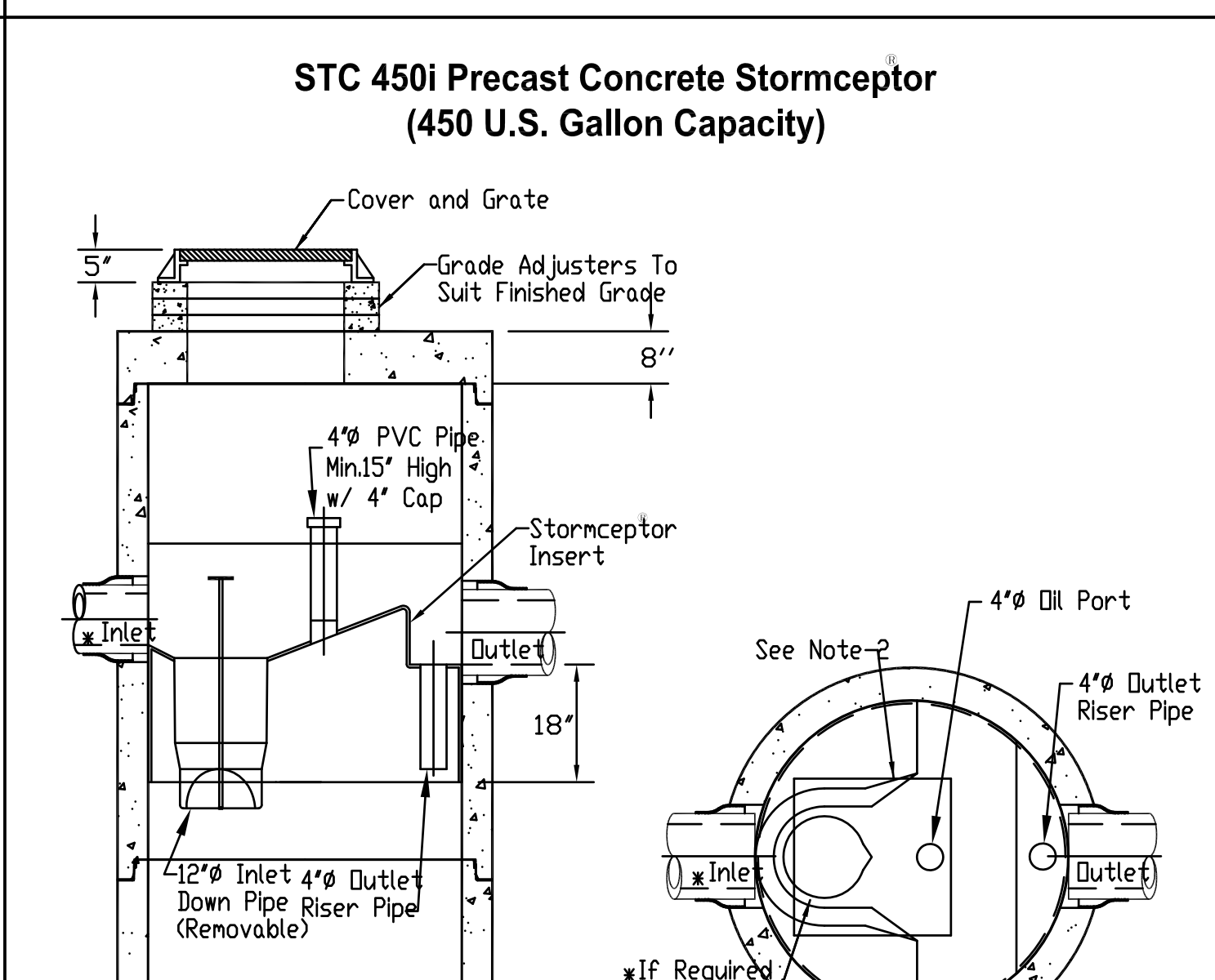
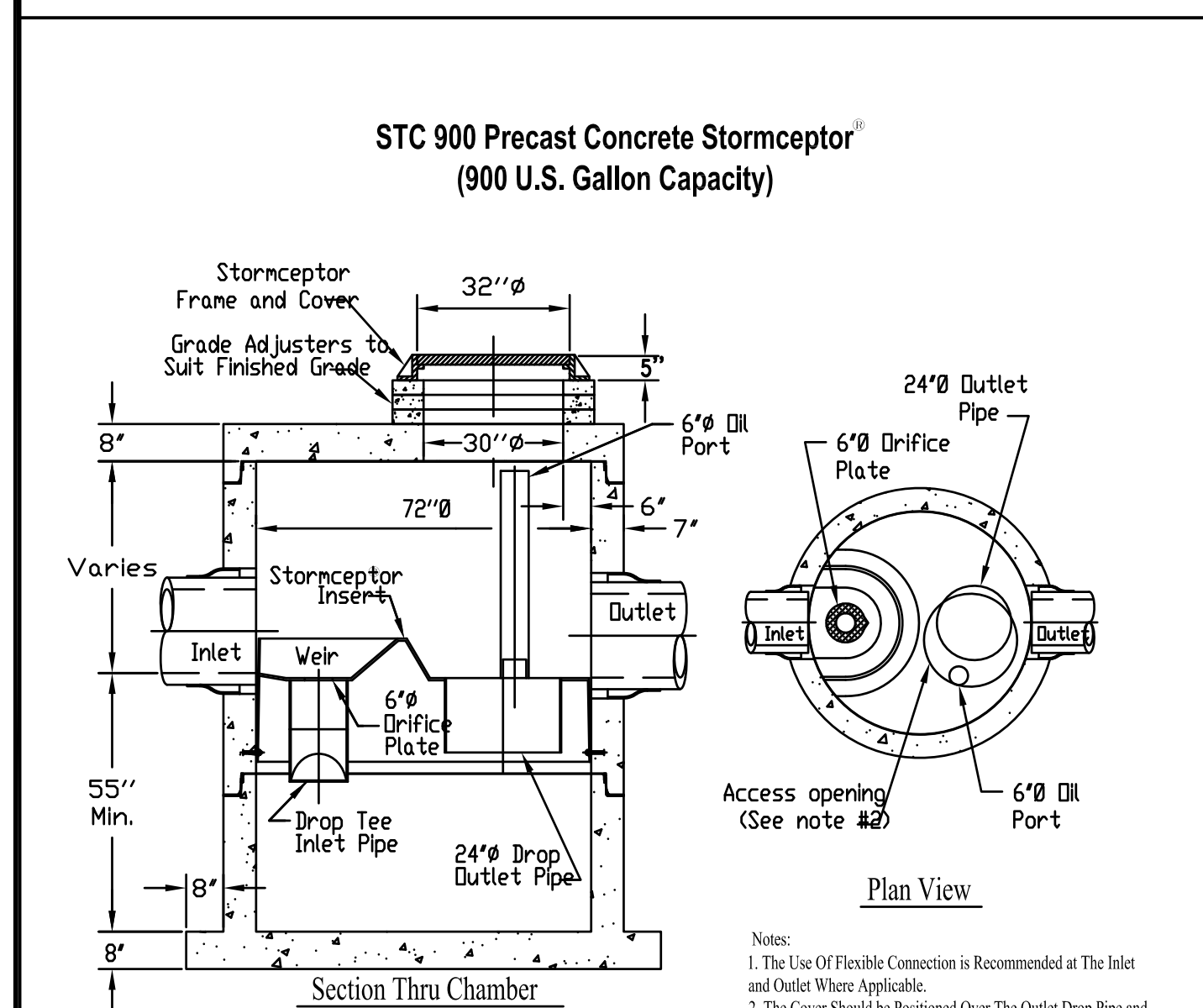
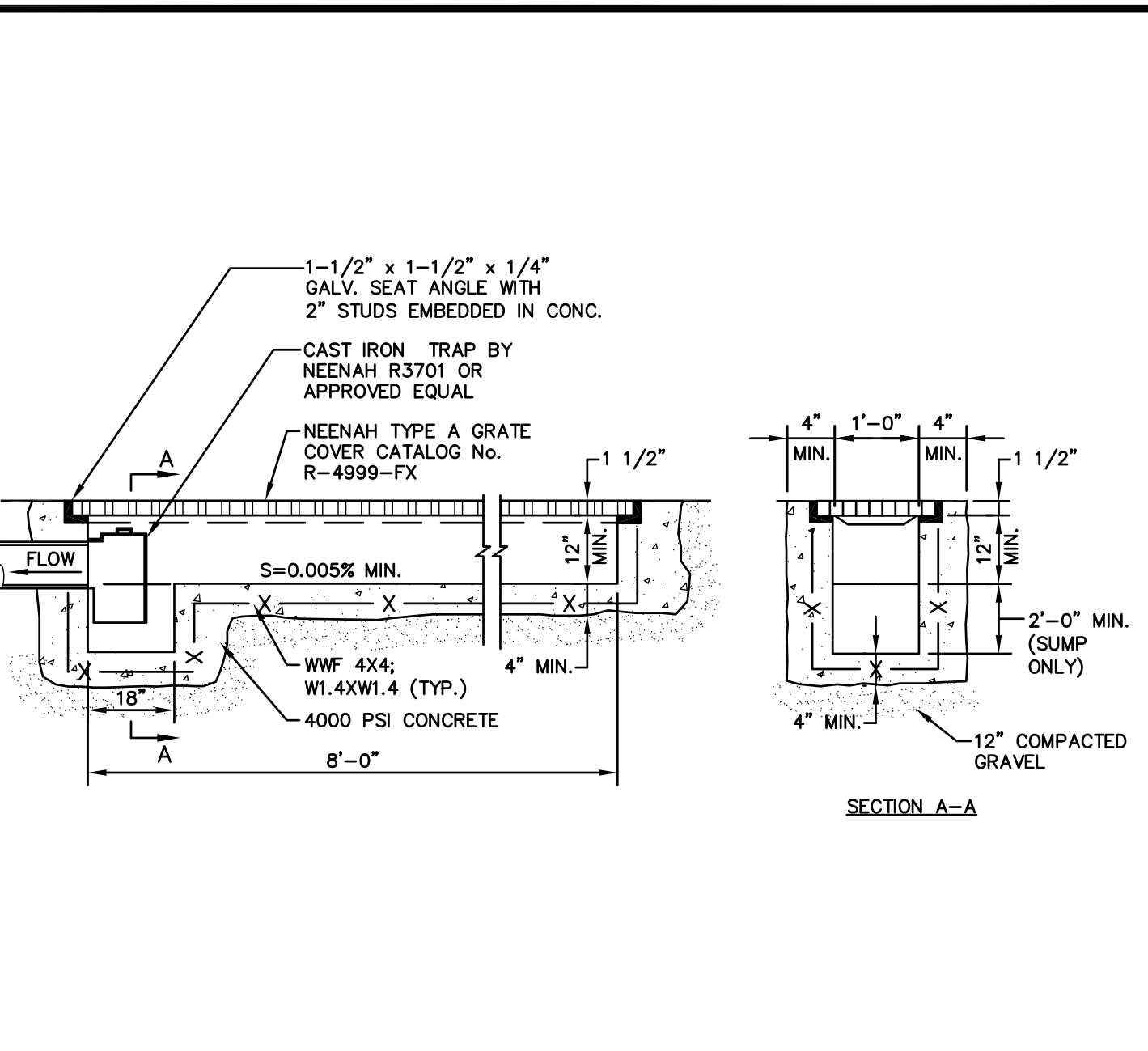
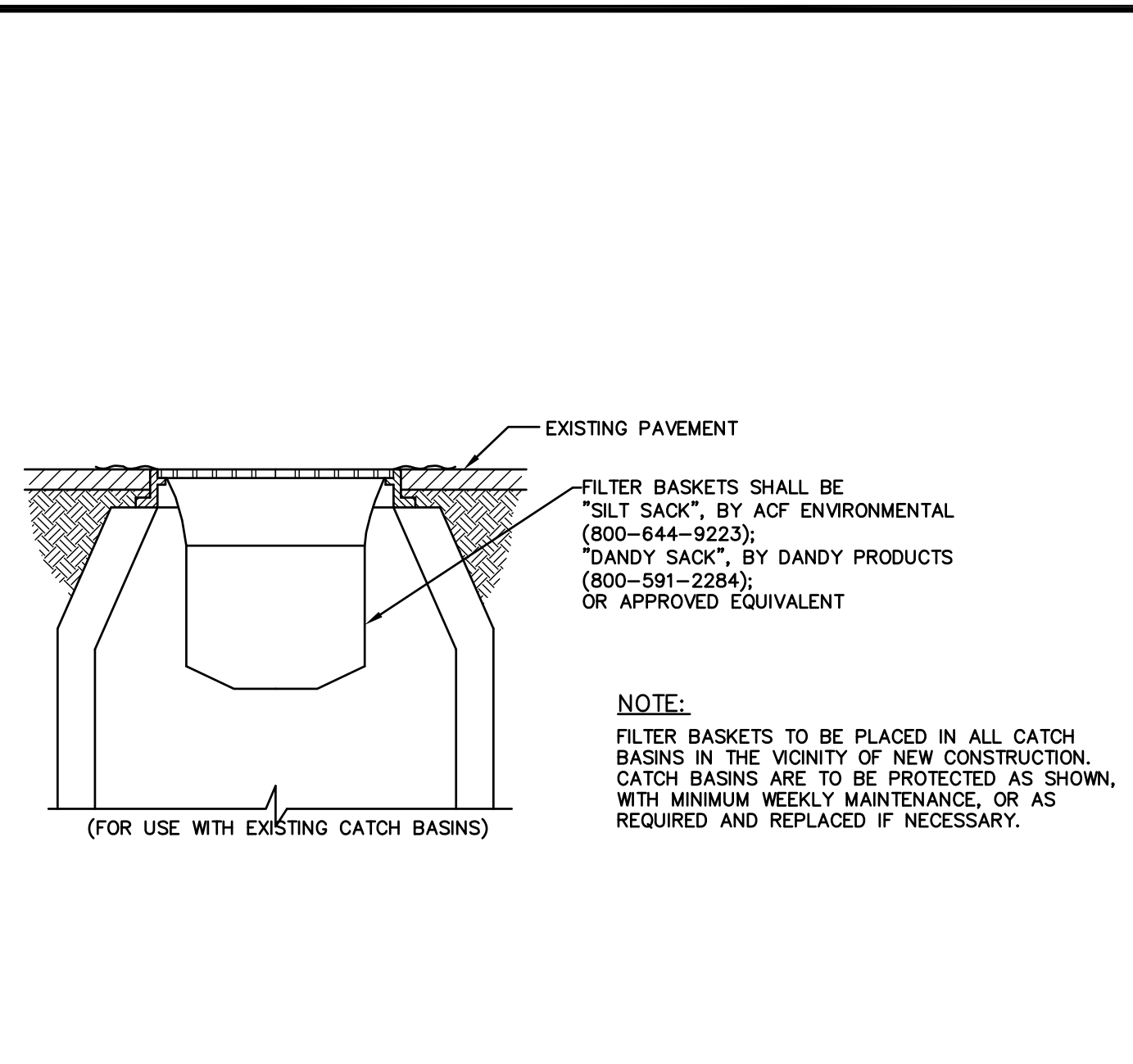
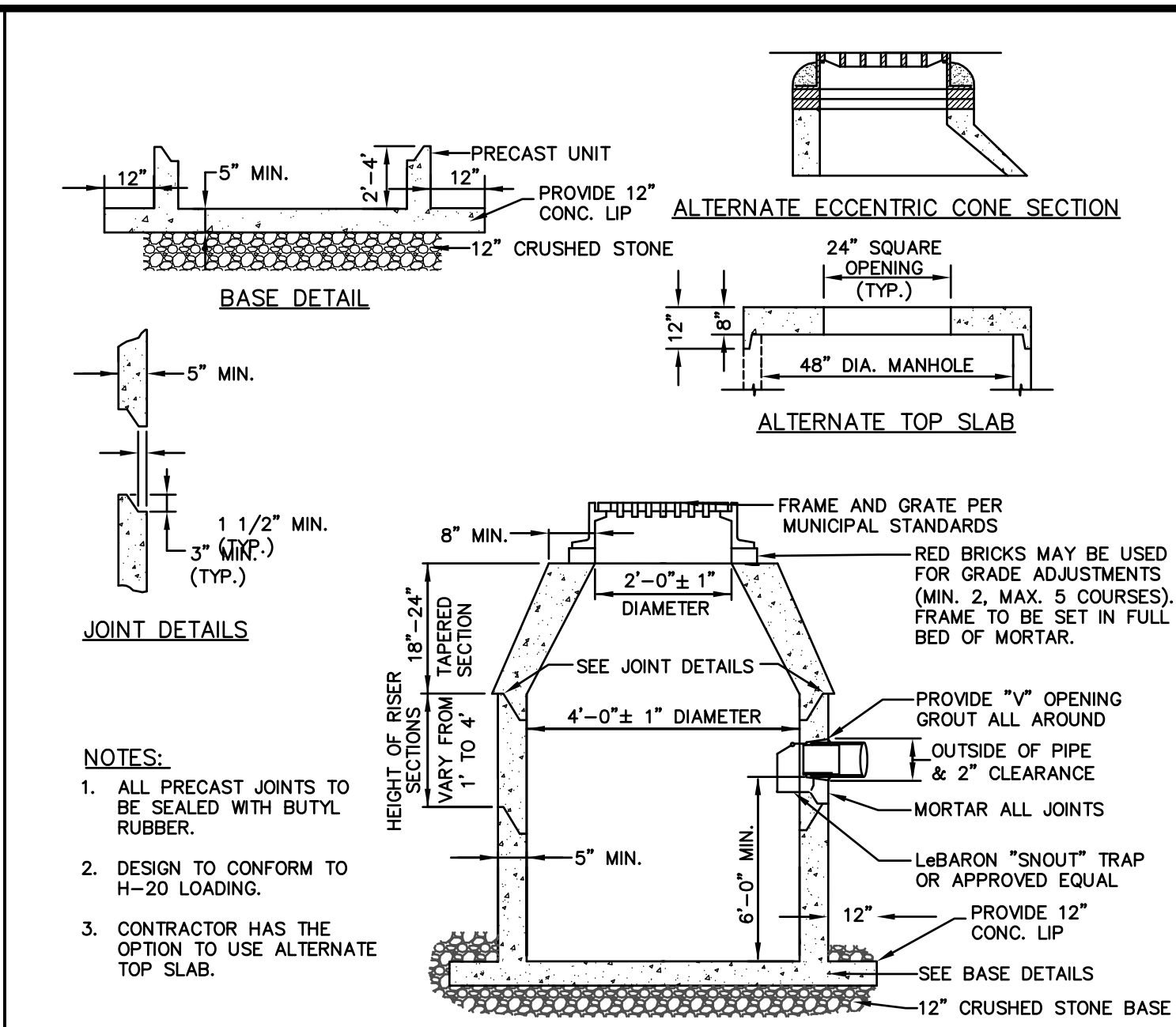
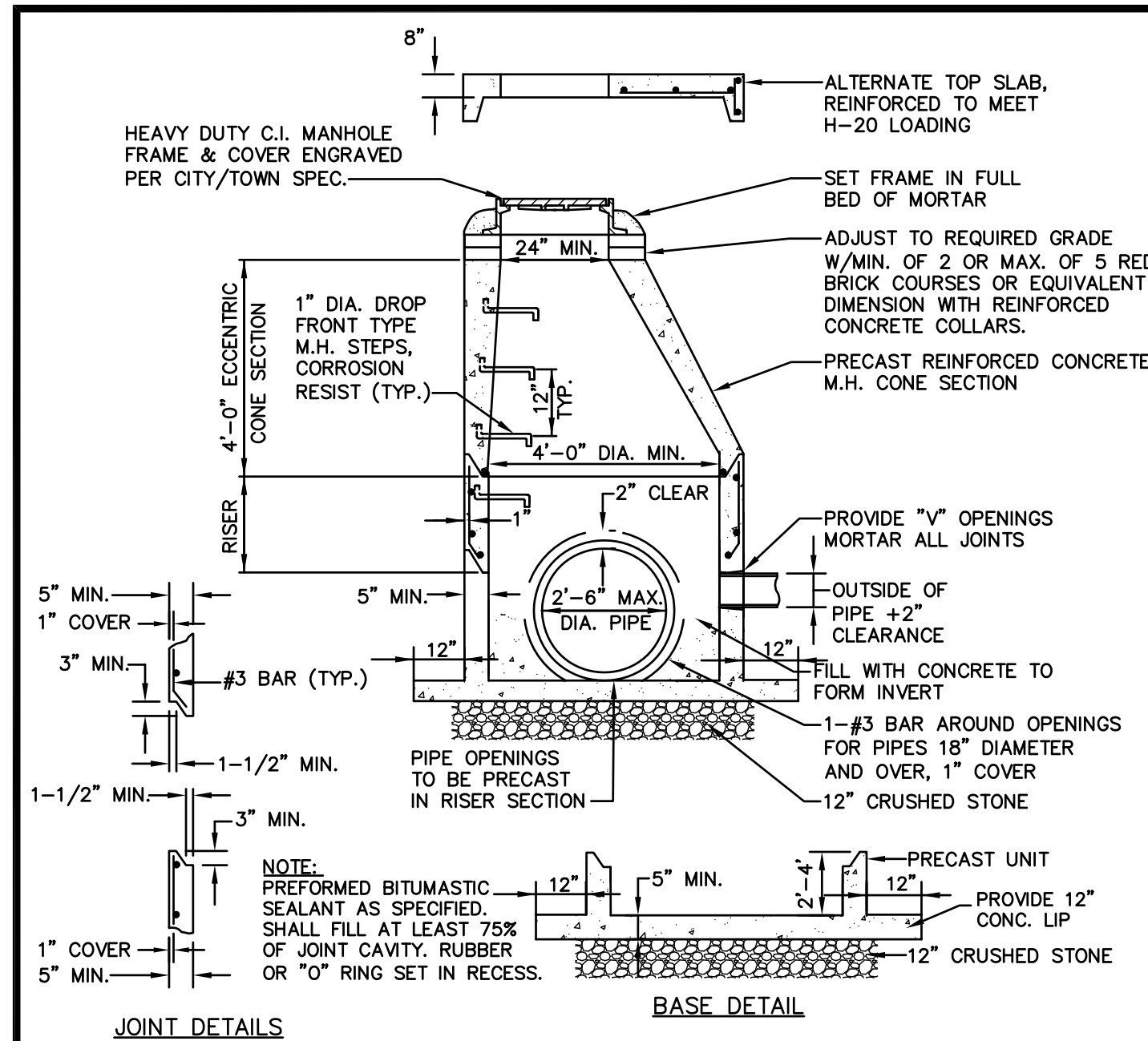
617 896 4300

© 2020 BSC Group, Inc.

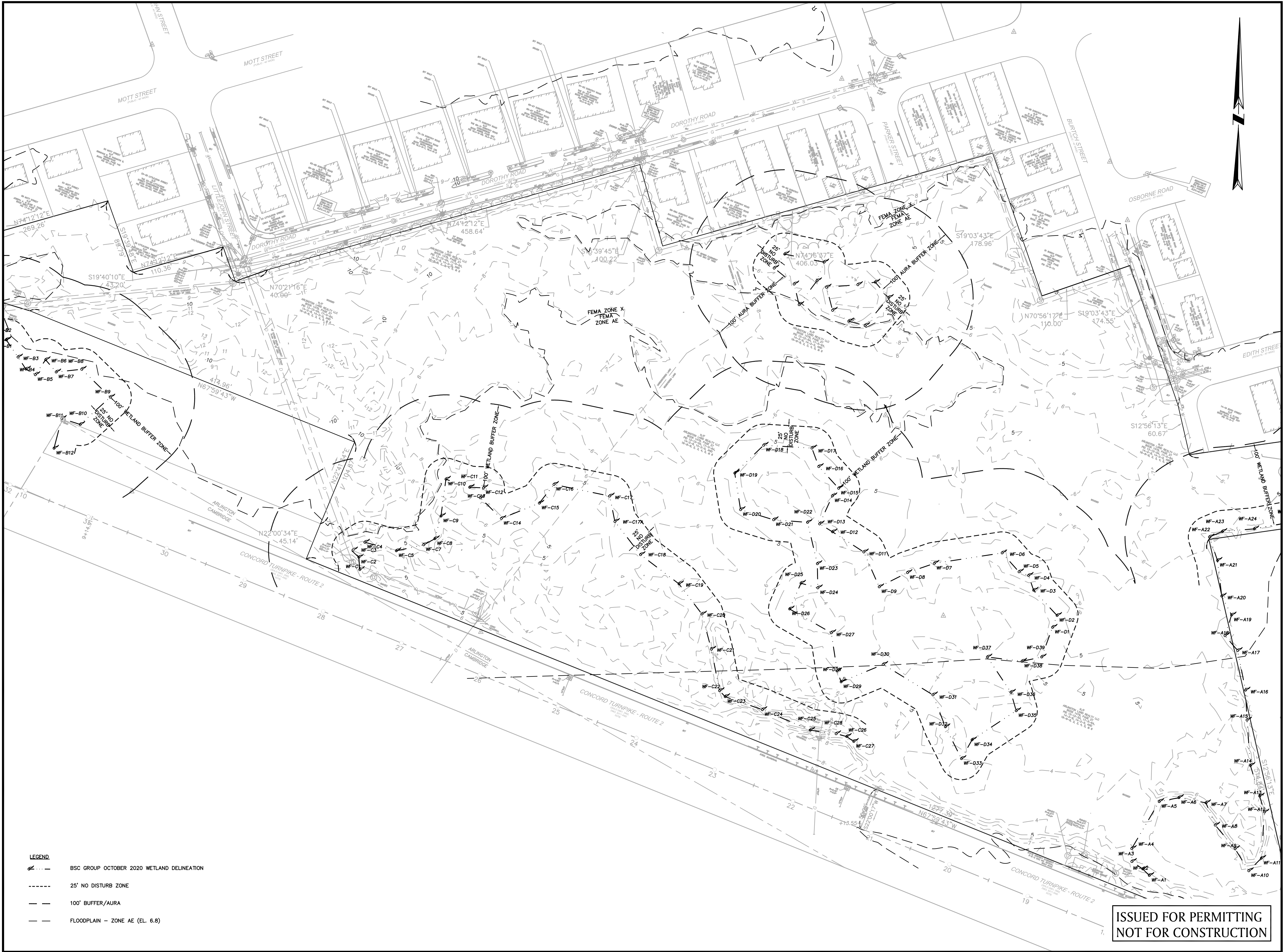
SCALE: AS NOTED

FILE: 2340700\c\2340700-DET

DWG: SHEET C-201
JOB. NO: 23407.00



ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



DATE
PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

EXISTING ENVIRONMENTAL RESOURCES PLAN

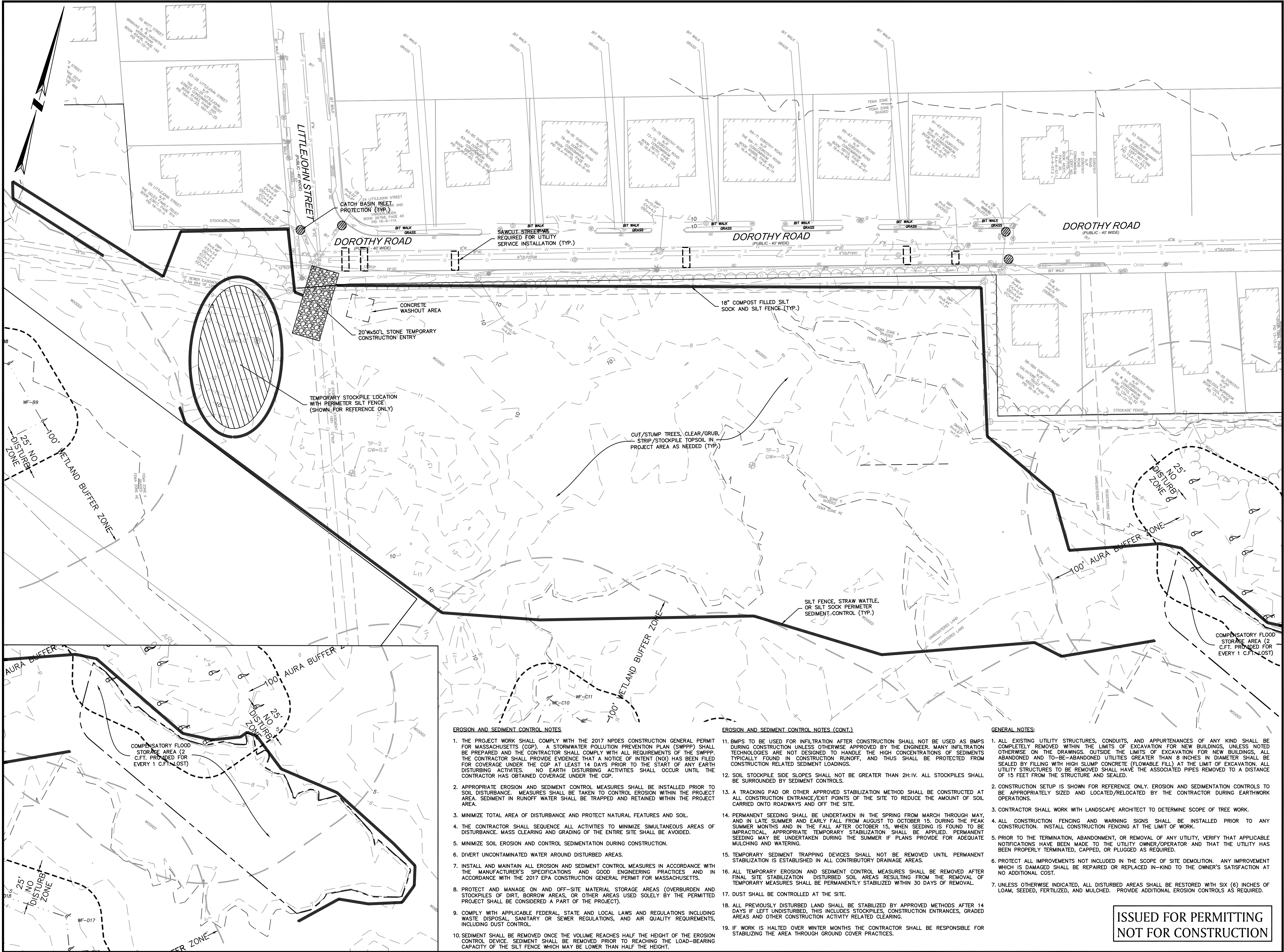
MARCH 13, 2020

REVISIONS:		
NO.	DATE	DESC.
1	10/22/20	WETLAND DELINEATION
2	1/21/21	VW DELINEATION

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 50'
0 25 50 100 FEET
FILE: \Civil\Drawgs\2340700-CONSTRAINTS
DWG.:
JOB. NO: 23407.00 SHEET C-100



DATE
PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

SITE PREPARATION PLAN

MARCH 13, 2020

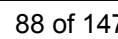
REVISIONS:		
NO.	DATE	DESC.
1	11/03/20	REVISED BUILDING
2	1/21/21	RESPONSE TO PEER REVIEW

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

© 2020 BSC Group, Inc.
SCALE: 1" = 30'
0 15 30 60 FEET
FILE: \Civil\Drawings\2340700-DEM
DWG.:
JOB. NO: 23407.00
SHEET C-101

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



PROFESSIONAL ENGINEER

DOROTHY ROAD

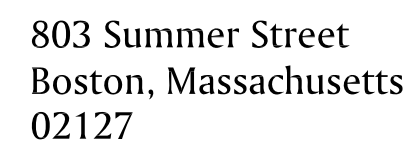
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

GRADING & DRAINAGE PLAN

MARCH 13, 2020

REVISIONS:

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140



617 896 4300

© 2020 BSC Group, Inc.

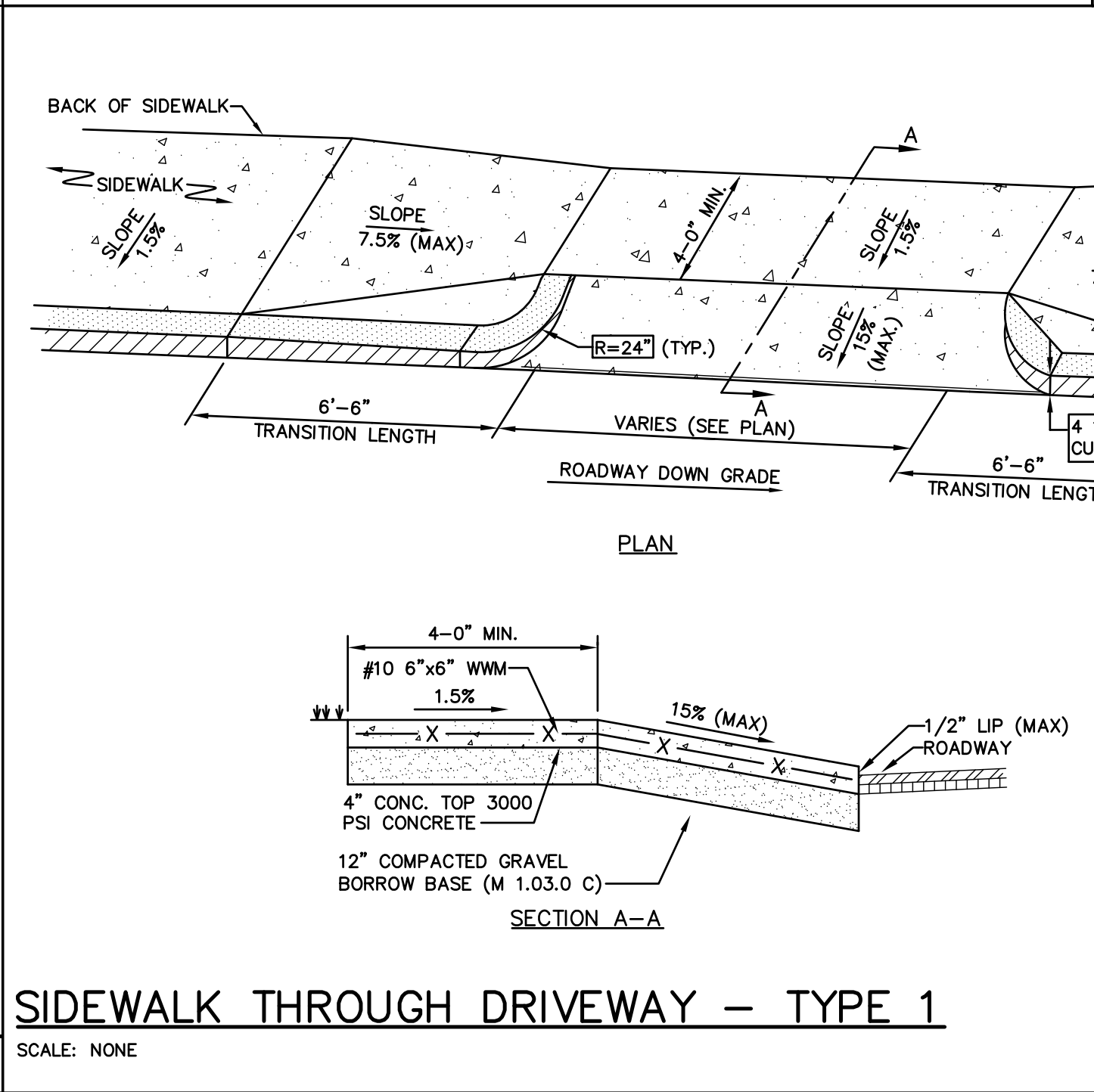
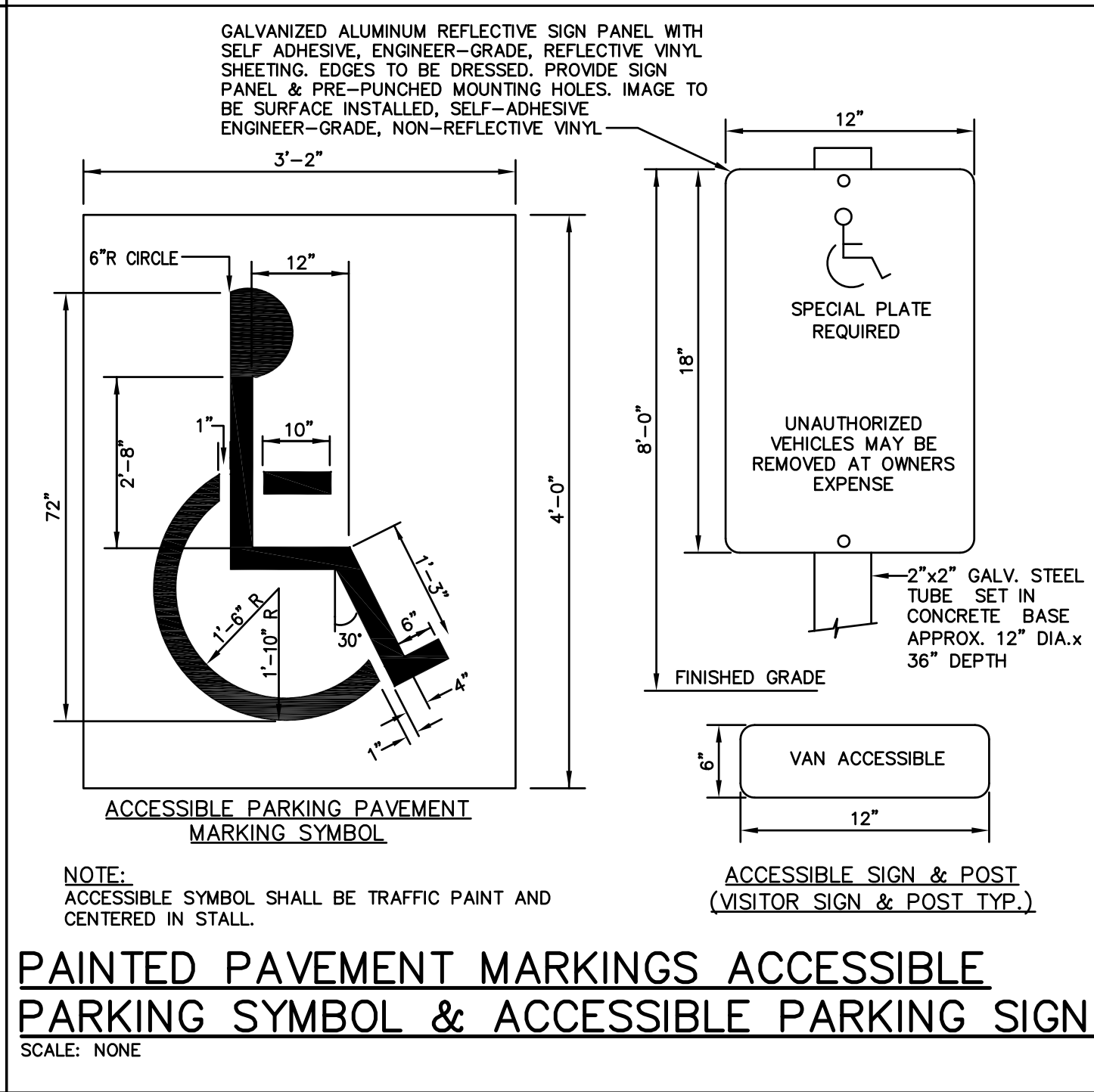
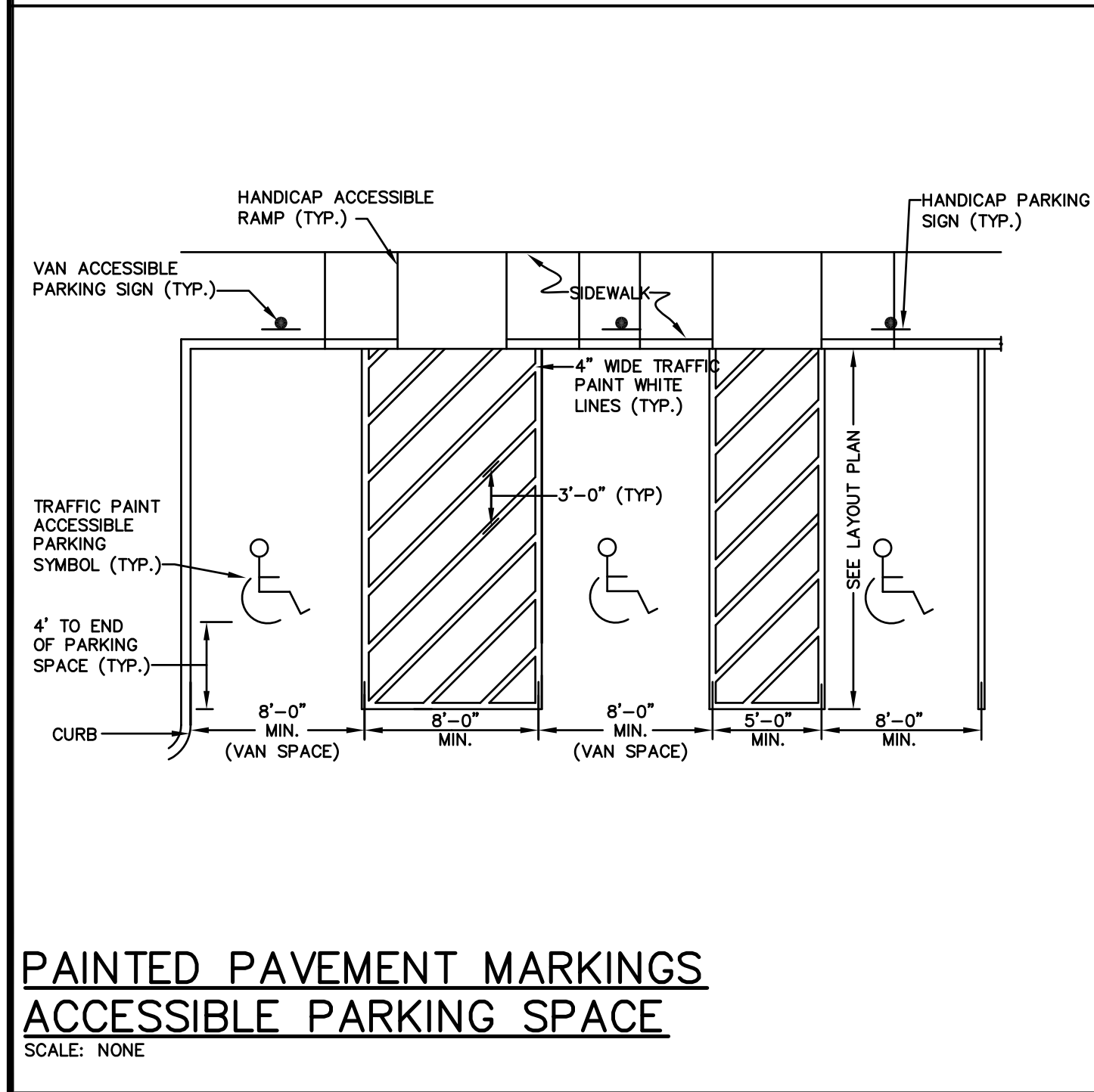
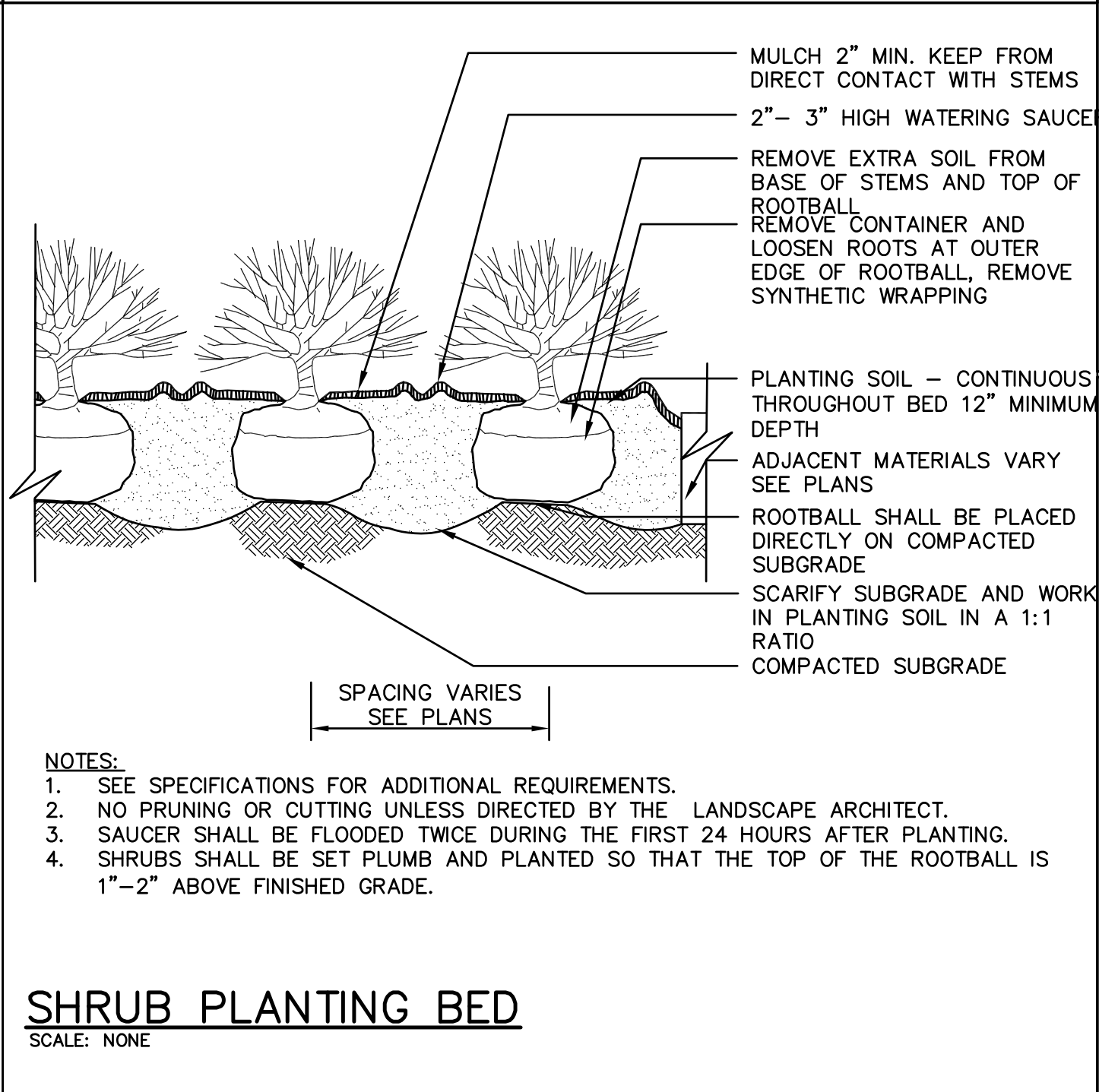
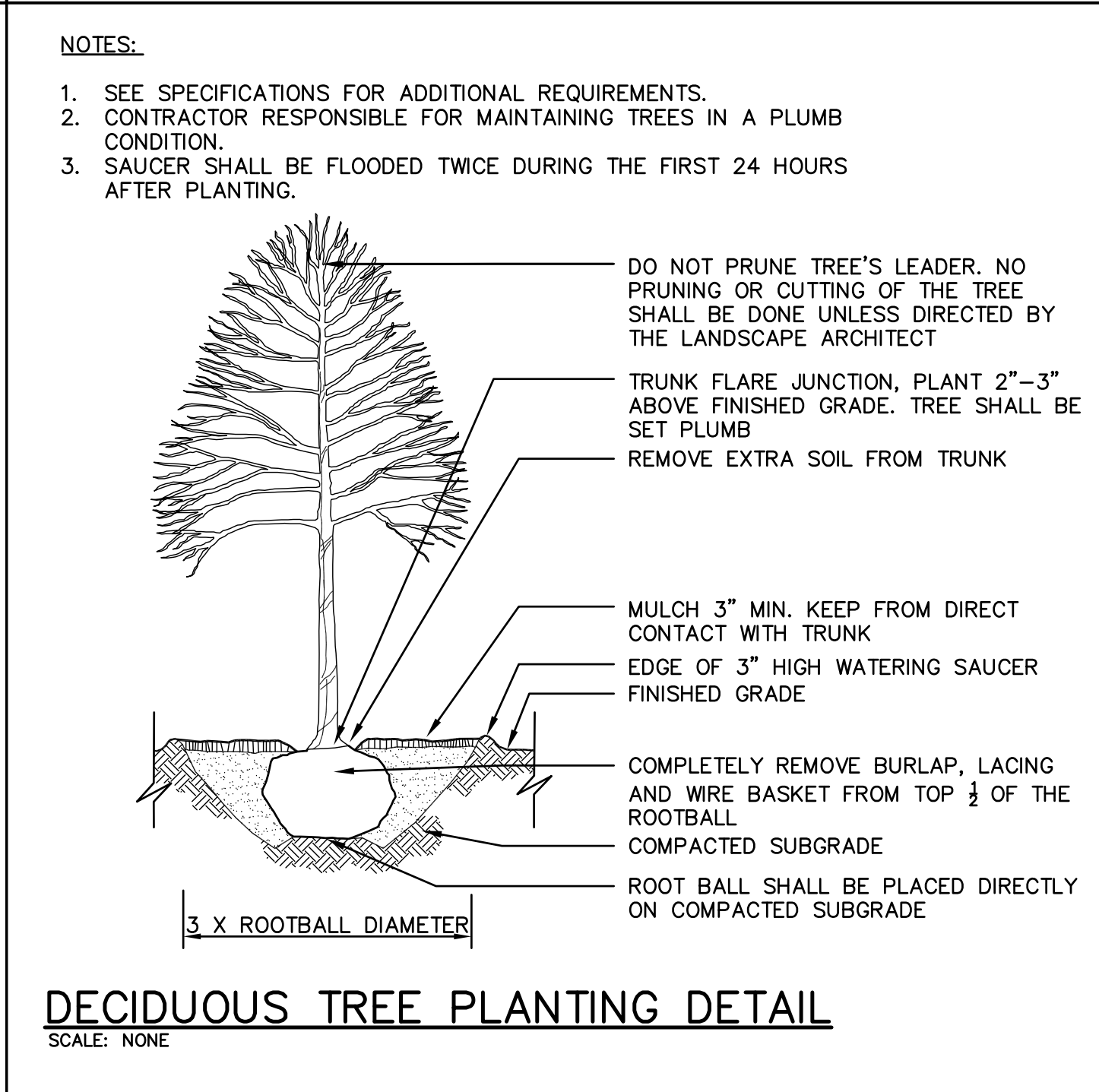
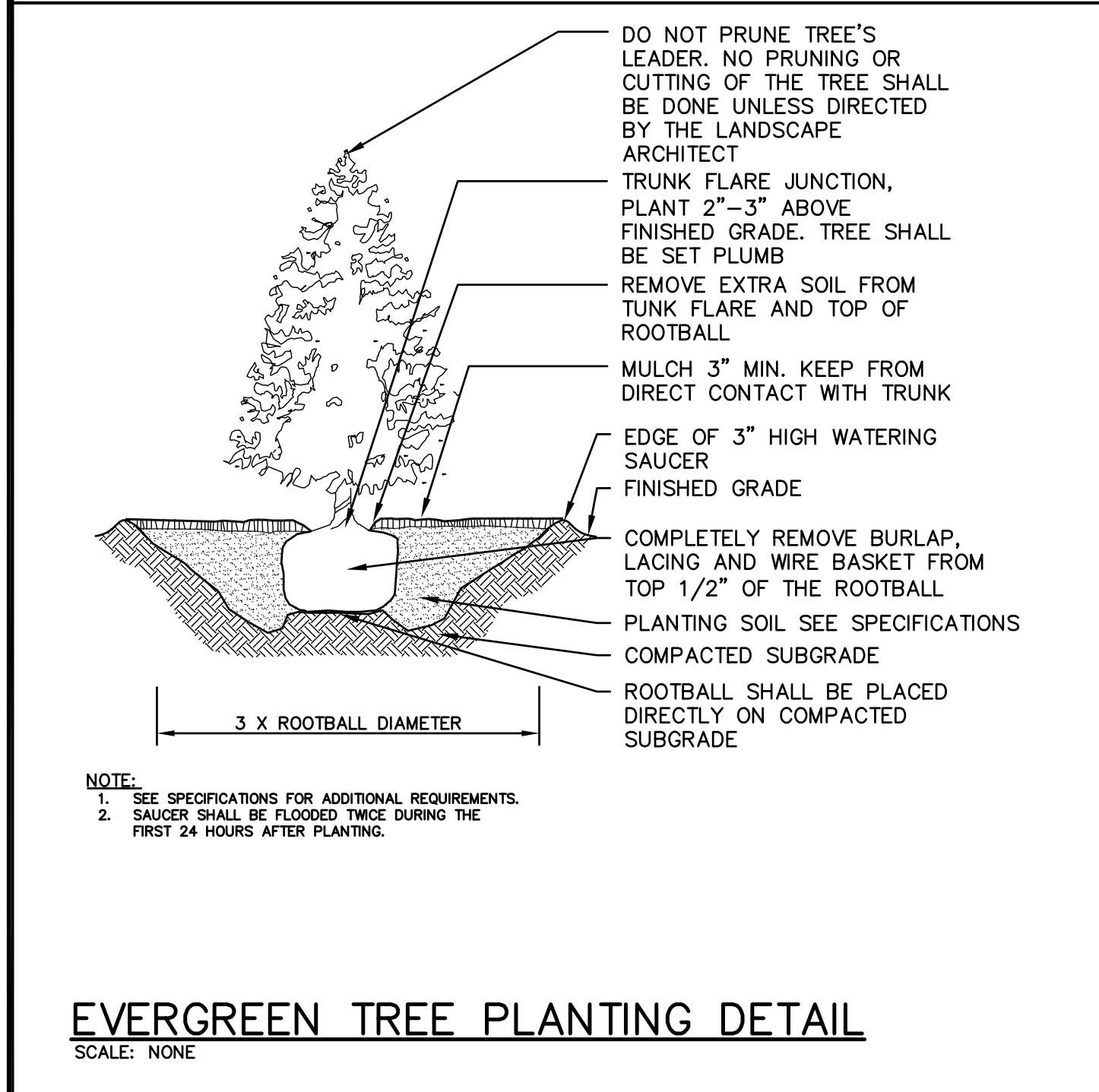
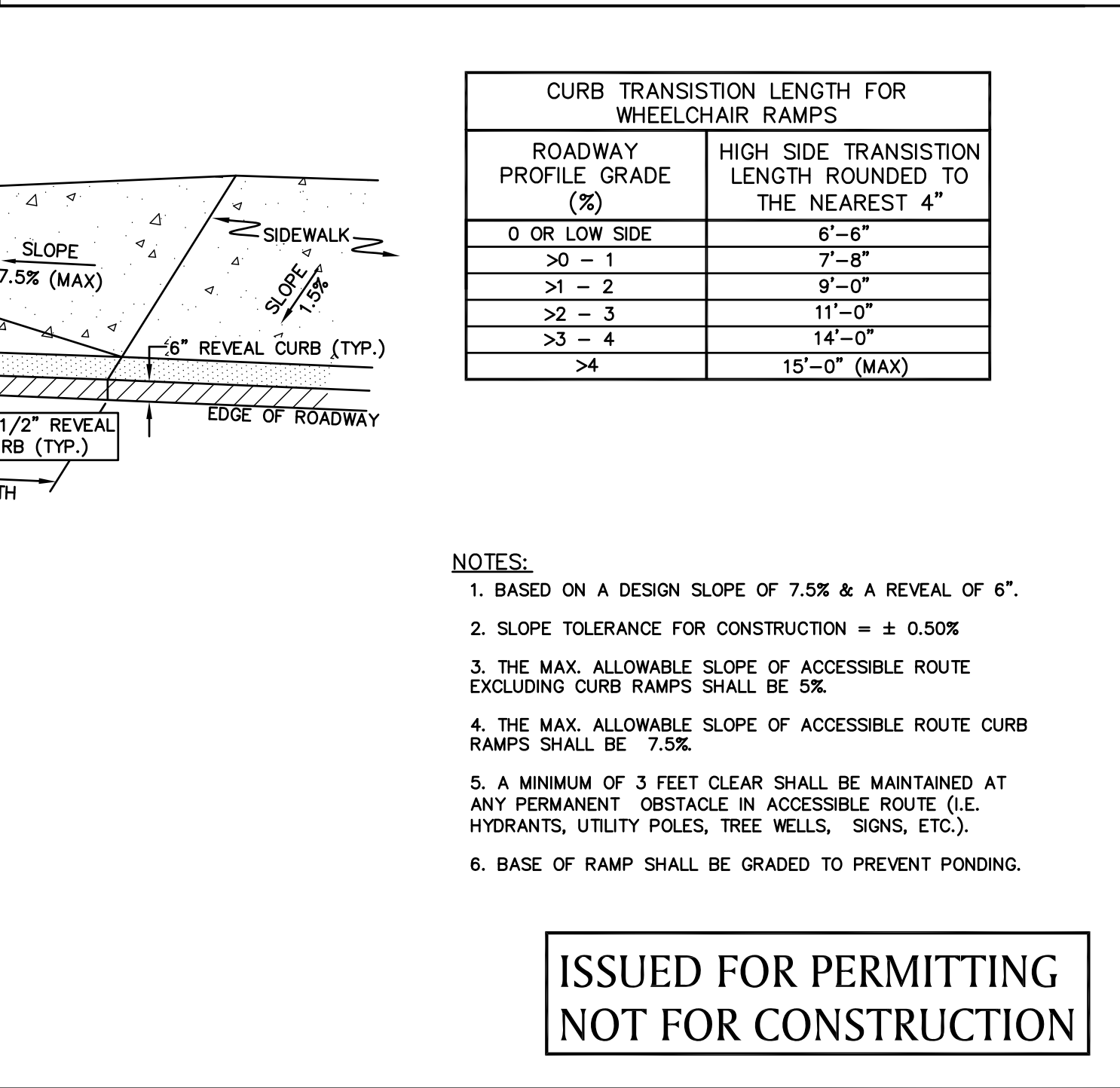
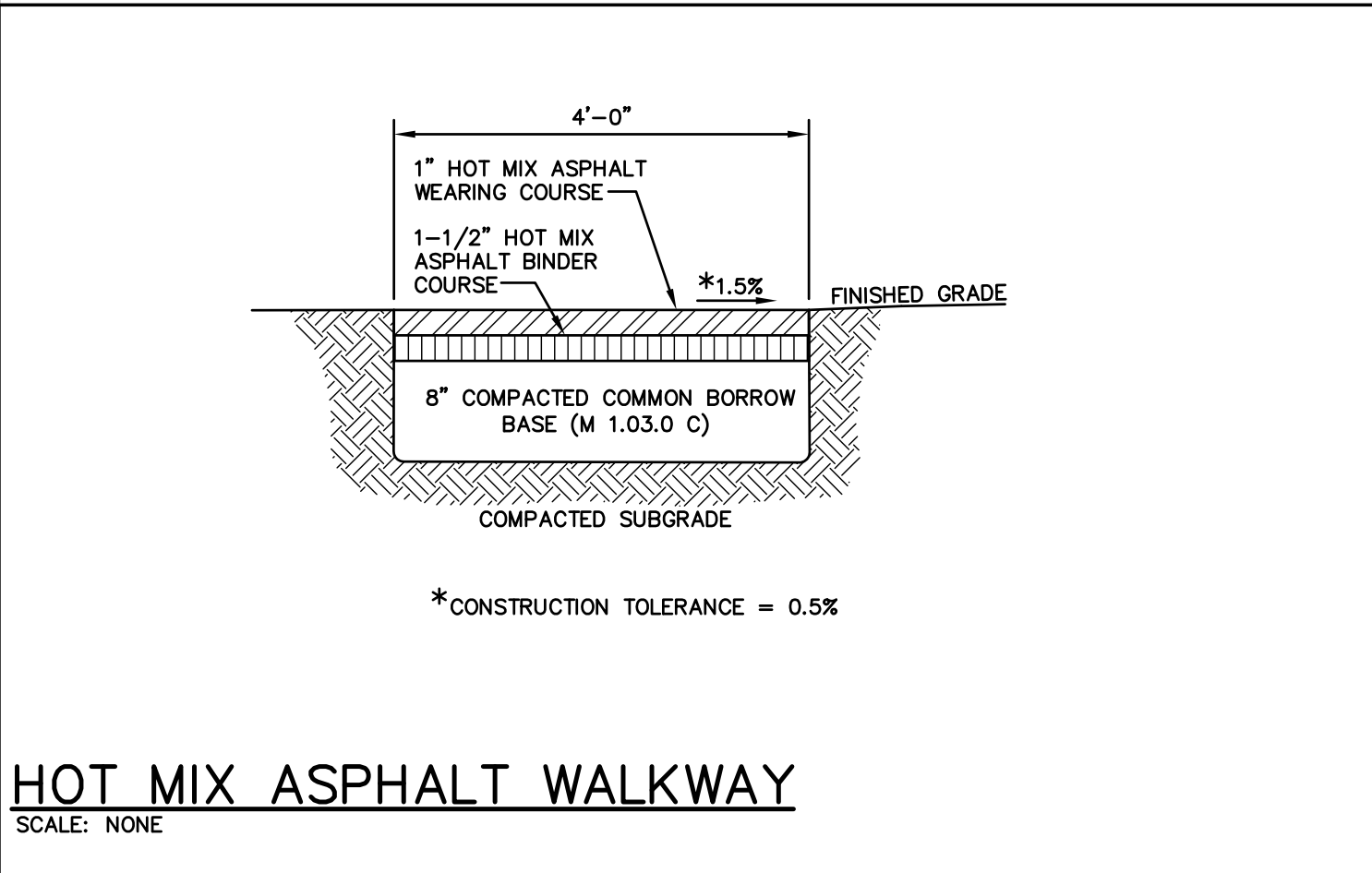
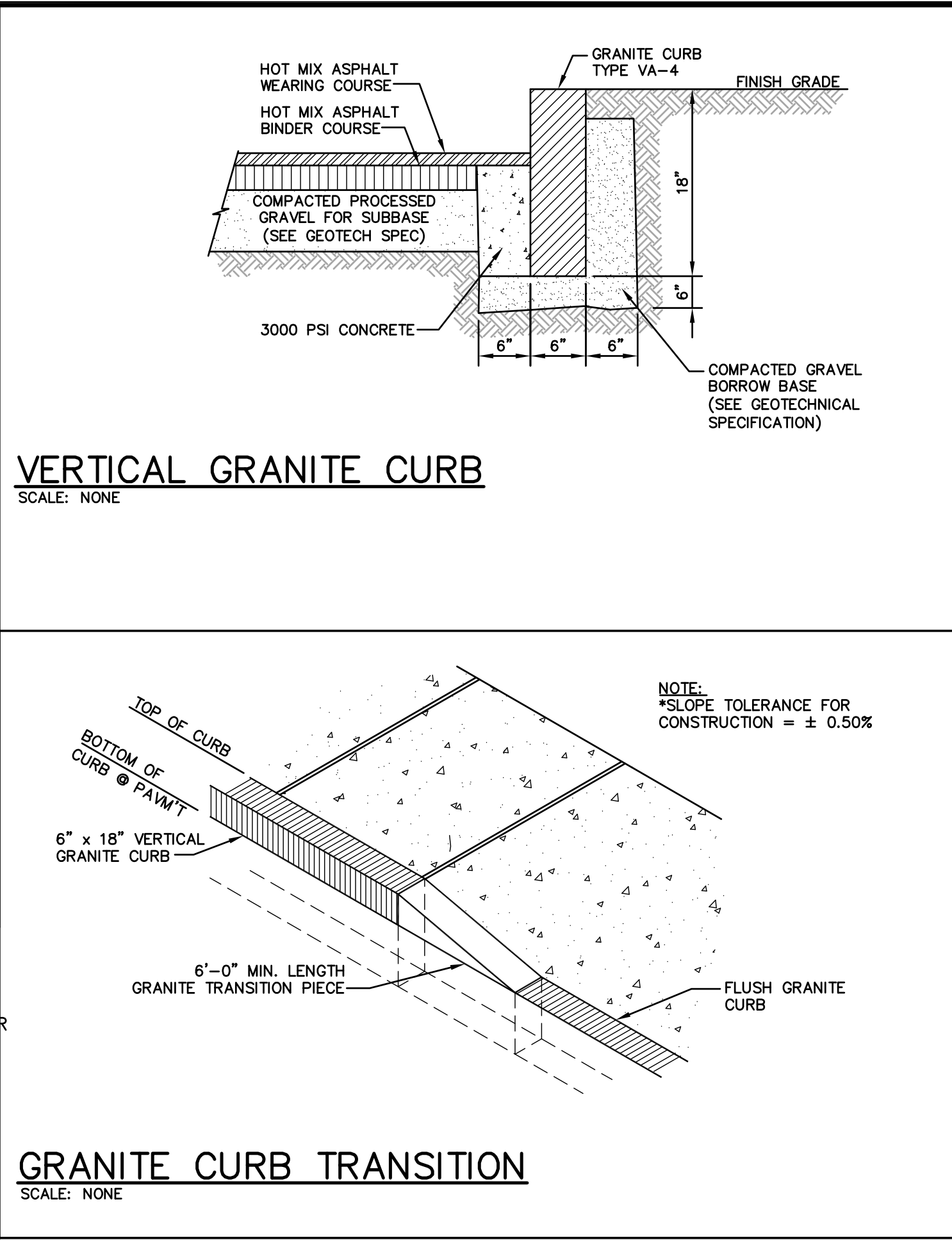
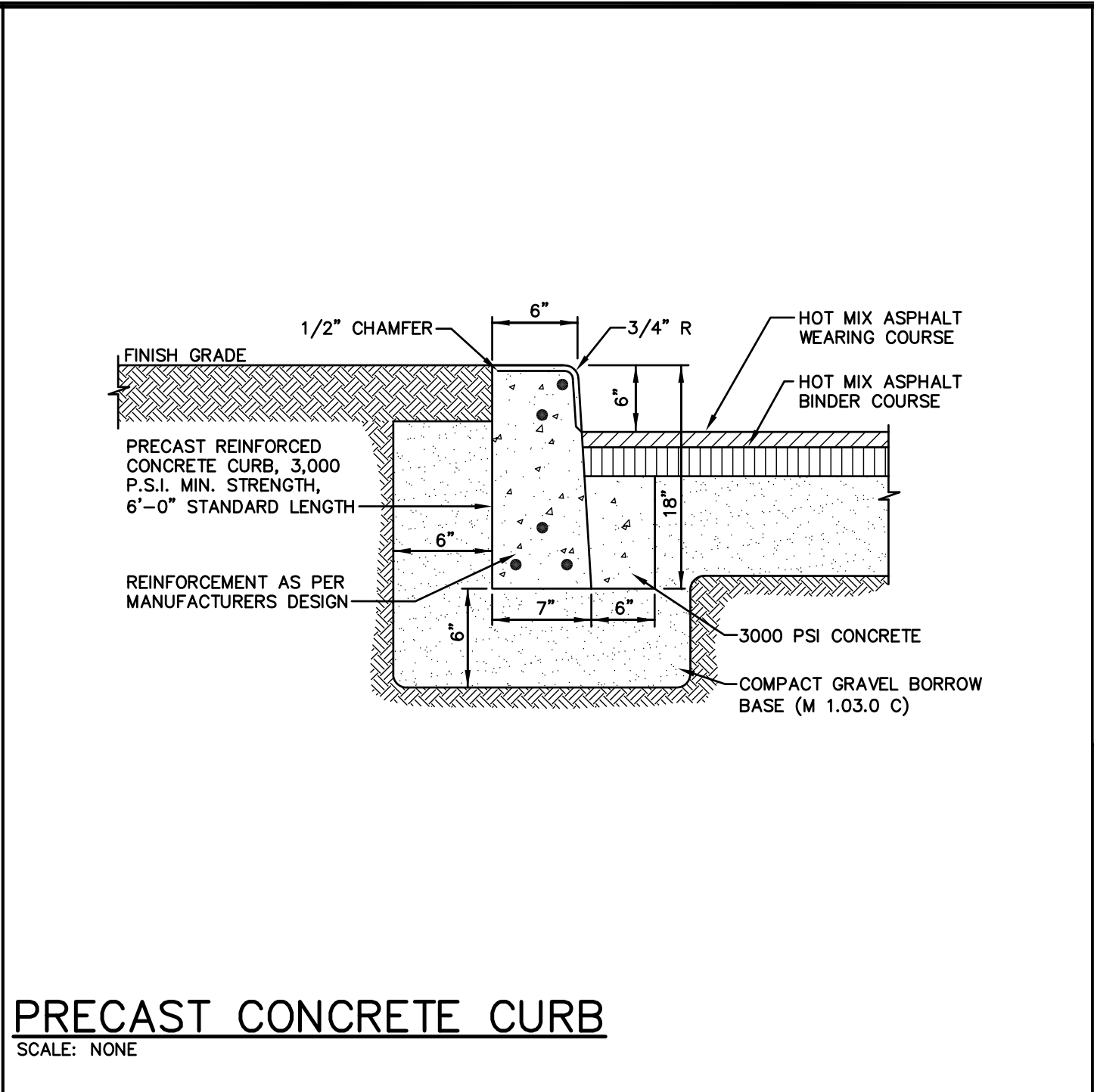
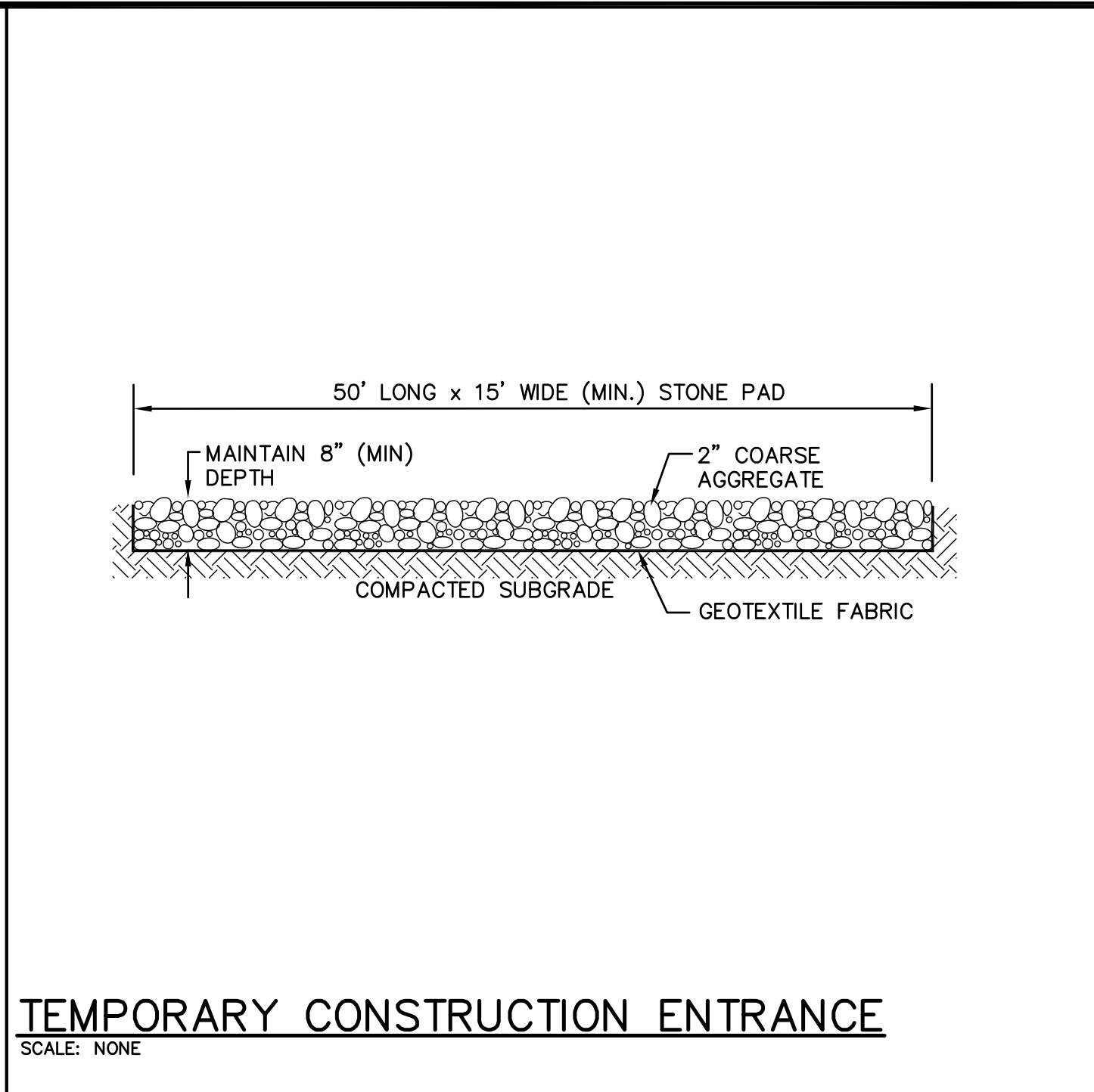
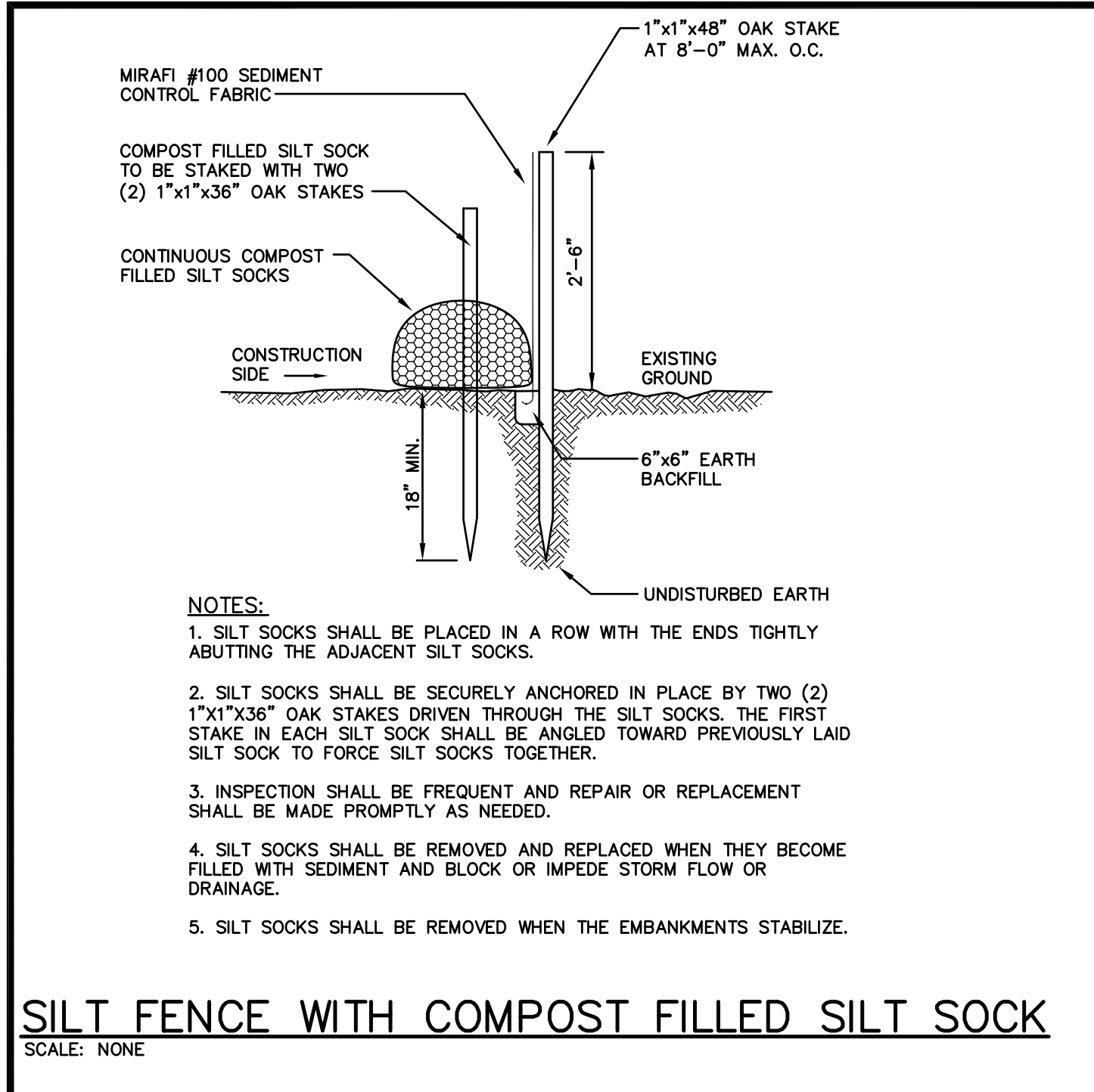
SCALE: 1" = 30'

FILE: \Civil_Drawings\2340700-GR

DWG.:

--	--

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS	
ROADWAY PROFILE GRADE (%)	HIGH SIDE TRANSITION LENGTH ROUNDED TO THE NEAREST 4"
0 OR LOW SIDE	6'-6"
>0 - 1	7'-8"
>1 - 2	9'-0"
>2 - 3	11'-0"
>3 - 4	14'-0"
>4	15'-0" (MAX)

- NOTES:
1. BASED ON A DESIGN SLOPE OF 7.5% & A REVEAL OF 6".
 2. SLOPE TOLERANCE FOR CONSTRUCTION = ± 0.50%
 3. THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 4. THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
 5. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



DATE
PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

CIVIL & LANDSCAPE
DETAILS

MARCH 13, 2020

REVISIONS:		
NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	11/03/20	REVISED BUILDING
3	1/21/21	RESPONSE TO PEER REVIEW

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

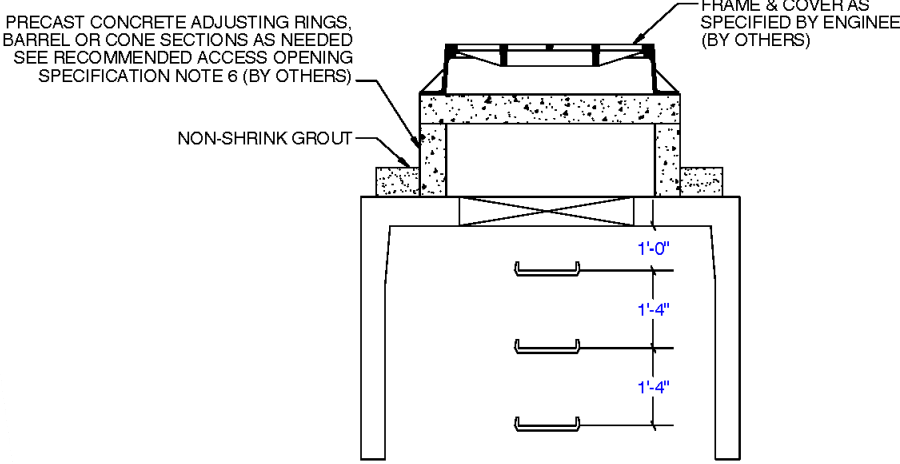
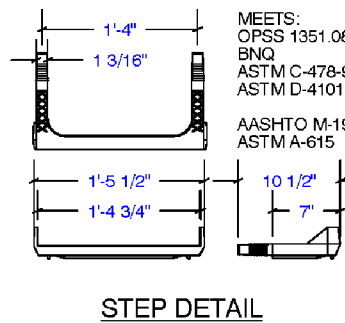
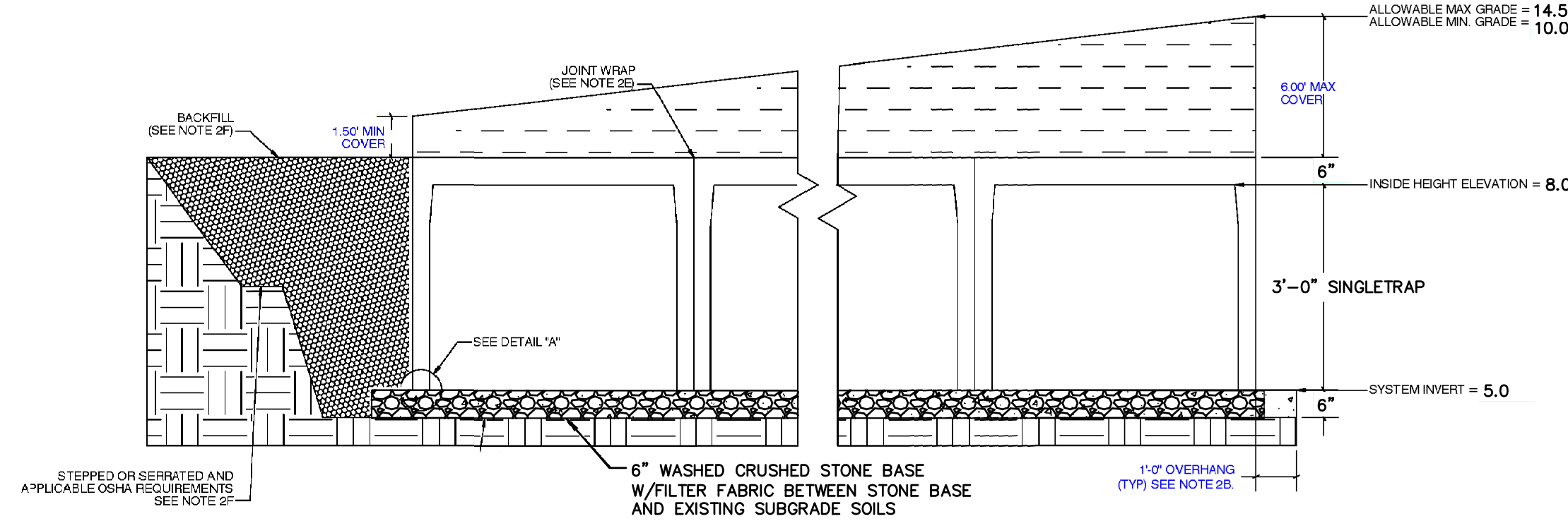
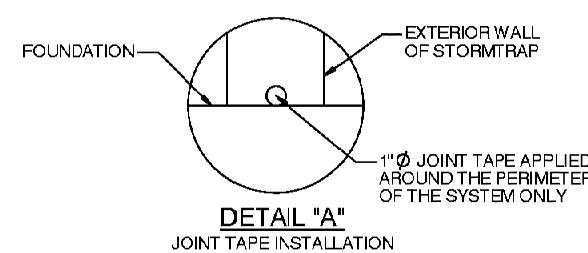
© 2020 BSC Group, Inc.
SCALE: AS NOTED

FILE: 2340700\CD\2340700-DET
DWG.:
JOB. NO: 23407.00
SHEET C-200

1. STORMTAP MODULES SHALL BE MANUFACTURED ACCORDING TO SHOP DRAWINGS APPROVED BY THE INSTALLING CONTRACTOR AND ENGINEER. THE SHOP DRAWINGS SHALL SHOW THE LOCATION AND JOINT OF EACH STORMTAP AND THE LOCATION OF THE OPENINGS.
2. STORMTAP MODULES SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C919, STANDARD SPECIFICATION FOR TEST METHOD OF FIELD AND LABORATORY TESTING OF UNREINFORCED CONCRETE STRUCTURES. THE FOLLOWING ADDITIONS AND MODIFICATIONS SHALL APPLY:
 - a. STORMTAP MODULES SHALL BE PLACED IN JOINT FOUNDATION BASE SHEET S1 WITH A 1" OVERHANG ON ALL SIDES THAT SHALL BE FOUNDED IN PLACE BY THE CONTRACTOR.
 - b. THE STORMTAP MODULES SHALL BE PLACED SUCH THAT THE MAXIMUM JOINT SPACING SHALL BE 12" AND THE MAXIMUM JOINT OVERHANG SHALL BE 12". JOINT SPACE EXCEEDS 8", THE MODULES SHALL BE SET WITH APPROPRIATE REINFORCEMENT IN ACCORDANCE TO THE REINFORCEMENT SCHEDULE AND JOINT SPECIFICATION.
 - c. THE JOINTS HORIZONTAL, JOINT OF THE STORMTAP MODULES SHALL BE SEALED TO THE FOUNDATION WITH PERFORMED MASTIC JOINT SEALER.
 - d. THE JOINTS VERTICAL SHALL BE SEALED WITH POLYURETHANE JOINT SEALANT.
 - e. ALL EXTERIOR JOINTS BETWEEN ADJACENT STORMTAP MODULES SHALL BE SEALED WITH PERFORMED, COLLOIDAL, SELF-HEALING ELASTOMERIC BENTONITE COMPOUND JOINT SEALANT. THE JOINT SEALANT SHALL BE APPROVED BY THE BOARD OF SUPERVISORS. THE JOINT SEALANT SHALL BE APPLIED TO THE EXTERIOR JOINT SURFACE OF THE STORMTAP MODULES. THE JOINT SEALANT SHALL BE APPROVED BY THE BOARD OF SUPERVISORS.
3. a. A BRUSH OR NET SHALL BE USED TO THOROUGHLY CLEAN THE OUTSIDE SURFACE AT THE JOINT WHERE THE JOINT SEALANT TO BE APPLIED.
4. a. REMOVE PAPER PROTECTS THE ADHESIVE SIDE OF THE JOINT WRAP.
5. a. THE ADHESIVE SIDE OF THE JOINT WRAP SHALL BE APPLIED TO THE JOINT SURFACE. THE RELEASE PAPER SHOULD BE REMOVED. THE RELEASE PAPER SHOULD GO. PRESS THE JOINT WRAP AGAINST THE JOINT SURFACE.

1. PIPE OPENINGS SHALL MAINTAIN A MINIMUM 1'-0" OF CLEARANCE FROM A VERTICAL EDGE OF THE STORMWATER UNIT.
2. MAXIMUM OPENING SIZE TO BE DETERMINED BY UNIT HEIGHT. PREFERRED OPENING SIZE @ 36" OR 48" OR 60". AN OPENING NEEDED THAT DOES NOT FIT THIS CRITERIA SHALL BE BROUGHT TO THE ATTENTION OF STORMWATER FOR REVIEW.
3. CONNECTING PIPES SHALL BE INSTALLED WITH A 1'-0" CONCRETE COLLAR, AND A AGGREGATE CRADLE FOR AT LEAST ONE PIPE LENGTH, AS SHOWN. A STRUCTURAL GRADE CONCRETE GROUT WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI SHALL BE USED.
4. THE ANNULAR SPACE BETWEEN THE PIPE AND THE HOLE SHALL BE FILLED WITH NON-SHRINK GROUT.

1. CLEAN AND LIGHTLY LUBRICATE ALL OF PIPE TO BE INSERTED INTO STORMTRAP.
2. IF PIPE IS CUT, CARE SHOULD BE TAKEN TO ALLOW NO SHARP EDGES. BEVEL AND LUBRICATE LEAD END OF PIPE.
3. ALIGN CENTER OF PIPE TO CORRECT ELEVATION AND INSERT INTO OPENING.



3. TYPICAL ACCESS OPENINGS FOR THE STORMDRAIN SYSTEM ARE 2' IN DIAMETER. ACCESS OPENINGS LARGER THAN 2' IN DIAMETER NEED TO BE APPROVED BY STORMDRAIN DESIGNER. ACCESS OPENINGS SHOULD BE LOCATED IN CLEARANCE AREA IN ALL DIRECTIONS FROM THE EDGE OF THE STORMDRAIN TUNNELS.

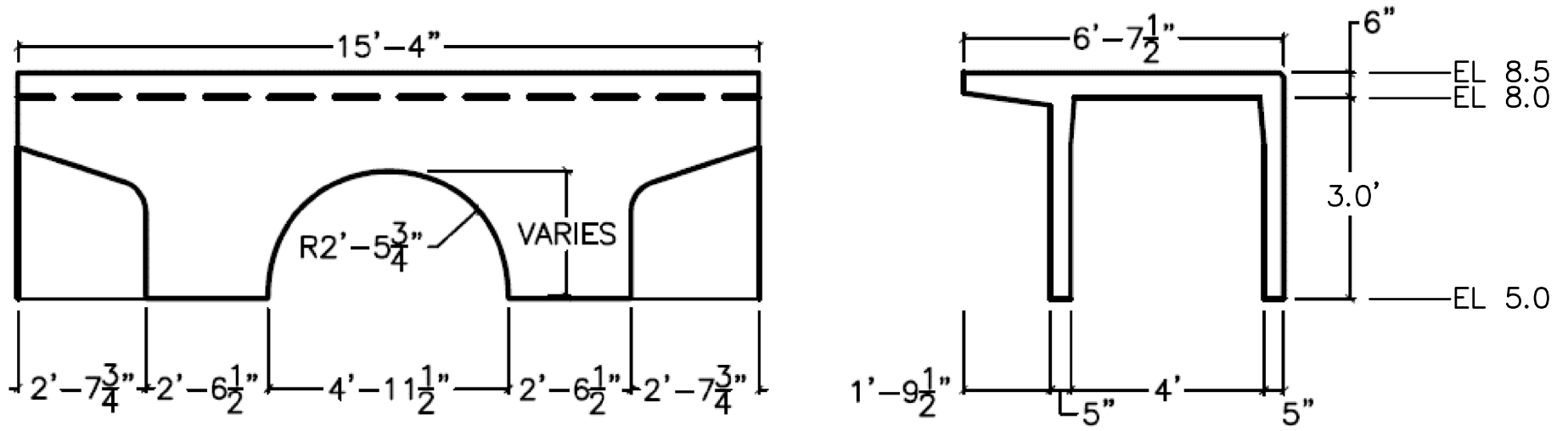
4. PLASTIC COATED STEEL STEPS PRODUCED BY M.A. INDUSTRIES PART #PS30P (SEE ATTACHED DRAWING) ARE TO BE USED FOR ALL ACCESS OPENINGS. THE STEPS MUST BE HIGHER STEP IN THE UNIT IS TO BE PLACED A DISTANCE OF 1' FROM THE INSIDE EDGE OF THE STORMDRAIN TUNNEL. THE OTHER STEP IS TO BE PLACED AT THE MAXIMUM DISTANCE OF 1'-6" BETWEEN THEM. STEPS MAY BE MOVED OR ALTERED TO ACCOMMODATE THE STORMDRAIN TUNNELS.

5. STORMDRAIN LIFTING INSERTS MAY BE RELOCATED TO ACCORDANCE WITH THE ACCESS OPENINGS OR THE CENTER OF GRAVITY OF THE UNIT AS REQUIRED.

6. ALL ACCESS OPENINGS SHOULD BE LOCATED TO AVOID INTERFERENCE WITH RULE AND/OR OUTLET PIPE OPENINGS SO PLACEMENT OF STEPS IS ATTAINABLE.

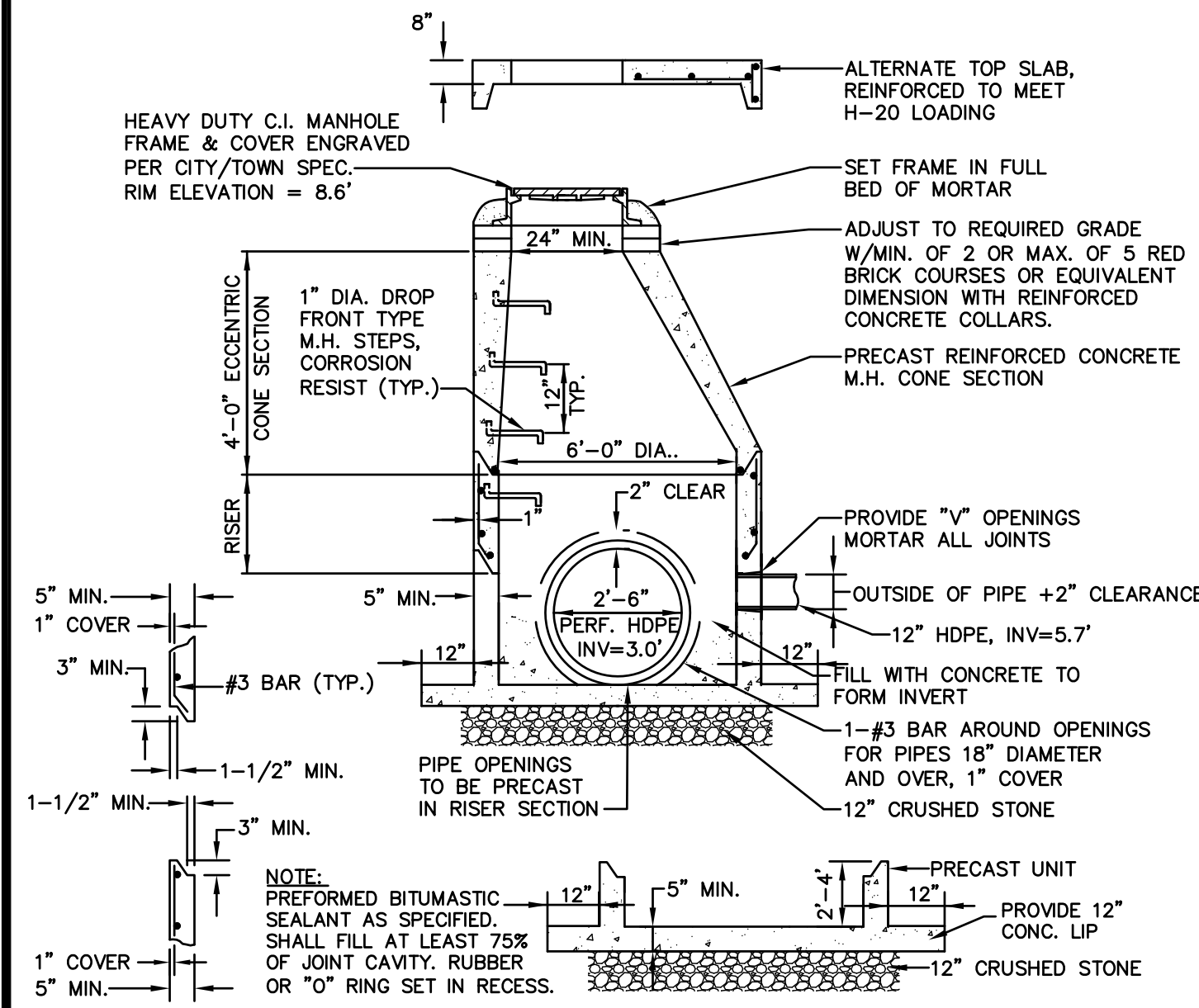
7. ACCESS OPENINGS SHOULD BE LOCATED IN ORDER MEET THE APPROPRIATE MINIMUM CLEARANCE OPENING DISTANCE REQUIREMENTS AS STATED BY THE CITY DESIGNER FOR ALL SYSTEMS FOR ACCESS AND INSPECTION.

8. USE PRECAST ALUMINUM RINGS AS NECESSARY TO MEET GRADE. STORMDRAIN RECOMMENDATIONS FOR THE USE OF PRECAST ALUMINUM RINGS ARE AS FOLLOWS:



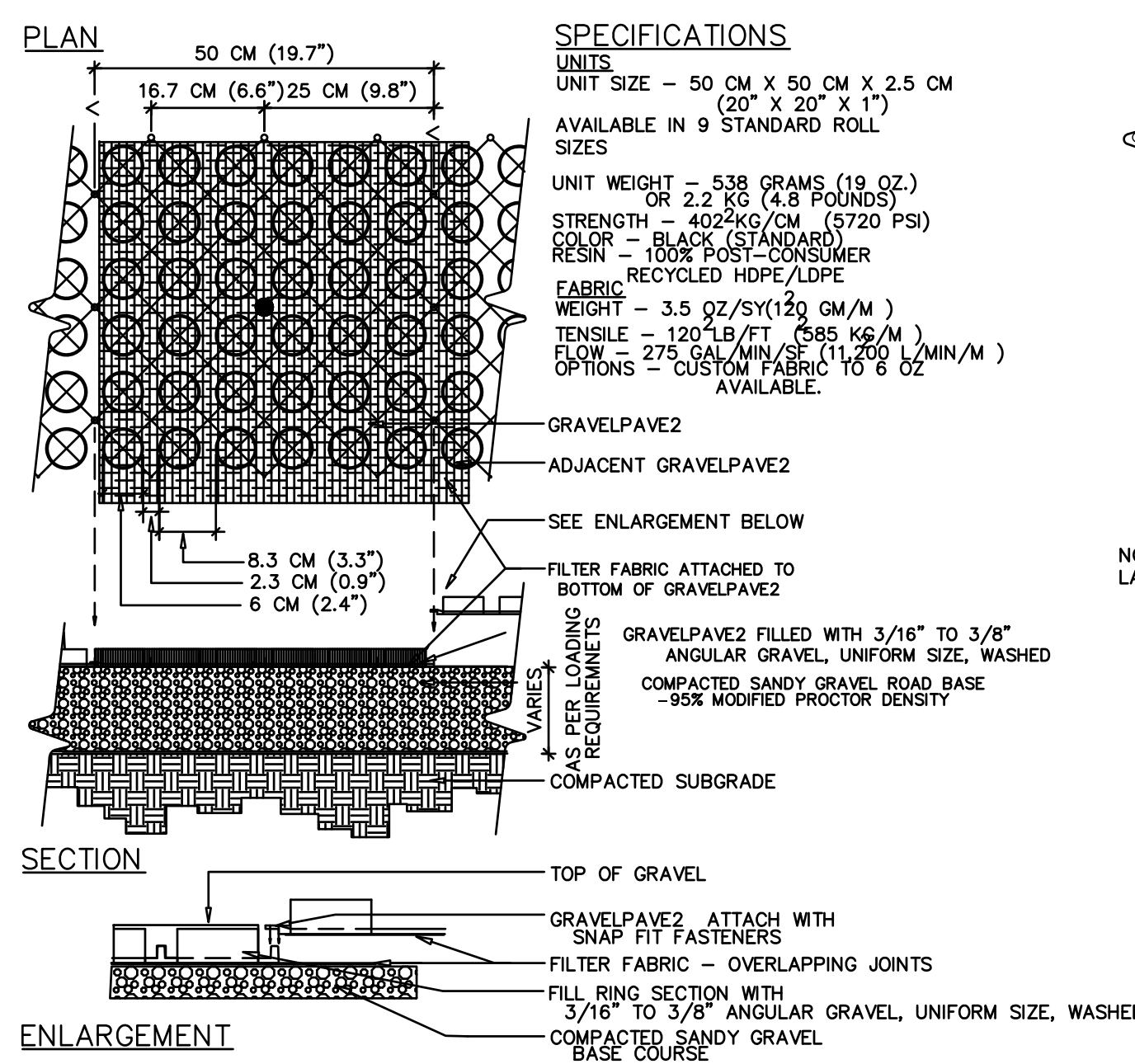
STORMTRAP SINGLE TRAP (SECTION VIEW)

SCALE: NONE



JOINT DETAILS

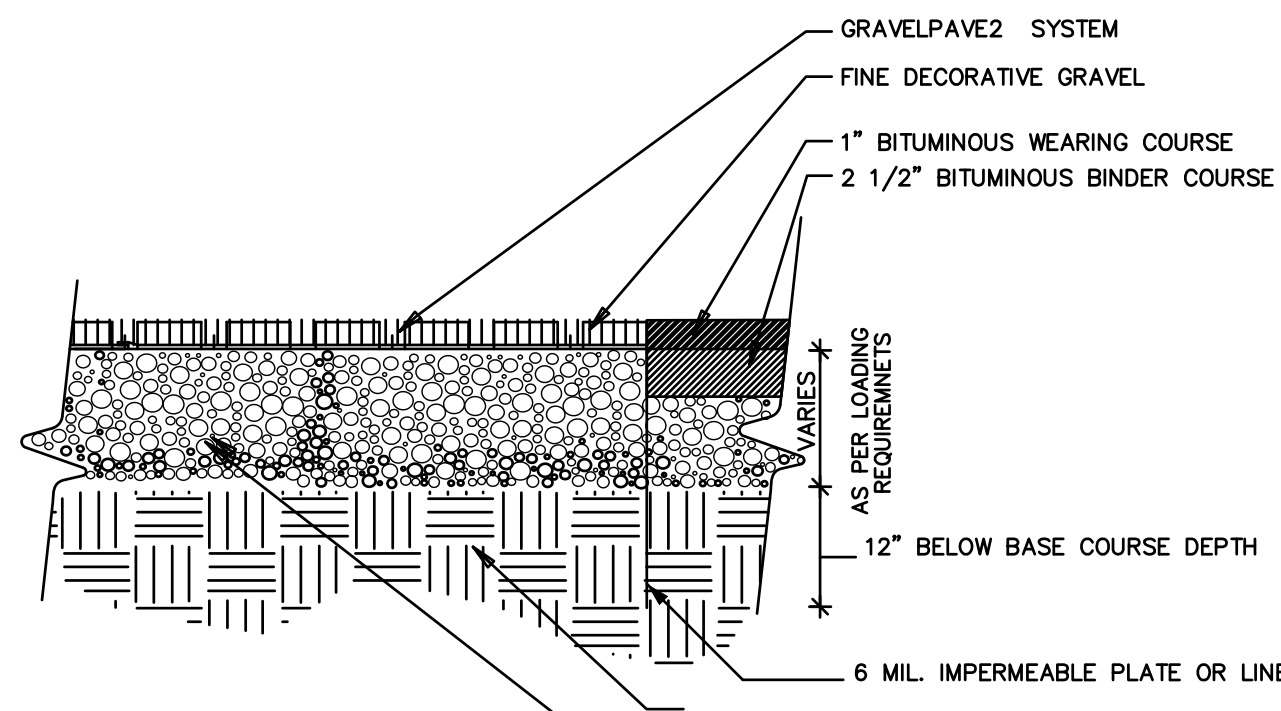
OCS
SCALE: NONE



NOT TO SCALE CHOOSE THIS PRODUCT FOR REINFORCING GRAVEL WEARING SURFACES

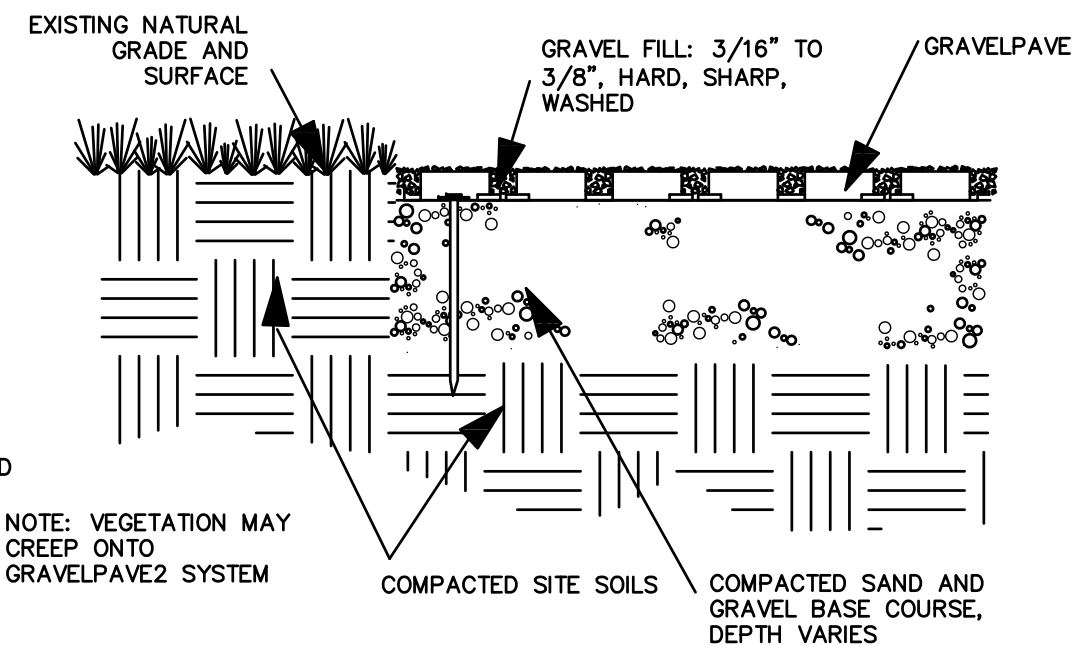
Invisible
Structures, Inc.
Gvdet.dwg

1600 Jackson Street, SUITE 100
GOLDEN, COLORADO 80401
800-233-1510 OR 303-233-8383
FAX: 303-233-8282



GRAVELPAVE2 AT ASPHALT EDG

NOTE: GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER



NOTE: VEGETATION MAP

FLUSH, NATURAL (EXISTING) EDGING



DATE _____

PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD

IN

ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

CIVIL & LANDSCAPE DETAILS

MARCH 13, 2020

REVISIONS

NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	11/03/20	REVISED BUILDING
3	01/21/21	ADD OCS-1 DETAIL

PREPARED FOR:

ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140



803 Summer Street
Boston, Massachusetts
02127

617 896 4300

© 2020 BSC Group, Inc.

SCALE: AS NOTED

FILE: 2340700\C\D\2340700-DET

DWG.:	SHEET C-203
JOB. NO: 23407.00	

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

March 8, 2021

Via Email

Jessica Malcolm, Manager of Planning and Programs
Massachusetts Housing Finance Agency
One Beacon Street
Boston, Massachusetts 02108

Re: Thorndike Place, Arlington (MassHousing ID #778/#779)
Notice of Project Revision Under 760 CMR 56.04(5)

Dear Jessica:

On behalf of the Applicant, Arlington Land Realty LLC, and in accordance with 760 CMR 56.04(5), we are notifying MassHousing, as the Subsidizing Agency, of the desire of the Applicant to change certain aspects of its respective project known as Thorndike Place. As more fully described herein, the revisions come about in light of feedback from the Zoning Board and others within the public hearings on the Applicant's Comprehensive Permit Application.

Original Proposal and Permitting Process Background:

The Applicant was granted a Project Eligibility Letter ("PEL") from MassHousing for Thorndike Place on December 4, 2015. At that time, the Thorndike Place project proposal included a total of 219 dwelling units, twelve (12) of which were townhouse homeownership units together with 207 units of rental housing situated on a triangular parcel consisting of 17.8+/- acres of land (5.6 +/- buildable acres), located on Dorothy Road, in Arlington, Massachusetts. The described project included six (6) duplex-style townhouses (2.5 stories/32 feet) and one (1) multifamily apartment building (4 stories/53 feet). The project's unit mix included 104 one-bedroom units, 92 two-bedroom units and 23 three-bedroom units.

The project locus is within the Planned Unit Development ("PUD") zoning district under the Arlington Zoning Bylaw, for which duplex homes are allowed as of right and multifamily housing is conditionally allowed. In the PUD district, the maximum building height is 85 feet and residential housing is limited to five (5) floors. As described in the Project Eligibility application, the developed portion of the site would be along Dorothy Road and would extend along the length of Dorothy Road, including surface parking and the easternmost third of the four-story apartment building located behind six lots on Dorothy Road. Off-street parking for the apartment building was proposed both via surface parking (102 spaces) and parking under the apartment building (178 spaces). As an amenity, not just to the Thorndike Place community but to the Town itself, the Applicant proposed to set aside approximately 10+ acres of the site as open space.

The original project design included eight driveway entrances off Dorothy Road, seven of which were associated with the townhouse duplexes and a main access drive near the intersection of Littlejohn Street and Dorothy Road, leading to the surface and garage parking associated with the multifamily building. In addition, the original Project included a secondary access drive at the intersection of Burch Street and Edith Street at the eastern boundary of the site.

Mass Housing's PEL was issued on December 4, 2015. On September 1, 2016, the Applicant filed a Comprehensive Permit application with the Arlington Zoning Board of Appeals ("ZBA"). On September 27, 2016, the ZBA opened the public hearing on the Application and by letter dated October 6, 2016, the ZBA notified the Applicant that the ZBA sought protection under the General

Land Area Minimum Safe Harbor, asserting its belief that the Town had 1.5% or more of its General Land Area dedicated to Subsidized Housing Inventory (“SHI”) eligible housing. The Applicant submitted a challenge to the DHCD pursuant to 760 CMR 56.03(8), noting that the Town had double discounted land area associated by water bodies, thereby inaccurately calculating the general land area in performing its calculations. On November 21, 2016, DHCD issued its written determination finding that the ZBA had not achieved safe harbor status. In December 2016, the ZBA filed an interlocutory appeal with the Housing Appeals Committee (“HAC”). The HAC decision was issued on October 15, 2019,¹ again determining that the Town did not establish qualifying for the safe harbor.

Project Revisions

Subsequent to the HAC’s Decision on the interlocutory appeal, the Application was remanded to the ZBA in late fall 2019. Due to Covid19, the ZBA did not conduct public hearings for a number of months and it was not until late September 2020 that public hearings, via Zoom, were reestablished on the application. With input from the ZBA as to the size, scale and location of buildings near or within resource areas, the Applicant presented revised plans to the ZBA in November 2020. The revised plans, reduced the density by removing the standalone duplex buildings and shifting the multifamily building to the north, away from resource areas as defined in the Massachusetts Wetlands Protection Act and the Arlington Wetlands Bylaw.

Since that time, the Applicant and the ZBA have conducted continued public hearings in November, December, January and February together with multiple work sessions with the Applicant’s professional team, the ZBA’s peer review professionals, the Conservation Commission, the Transportation Advisory Committee (“TAC”) and Town staff. As a result of the feedback provided to the Applicant by the ZBA, the Town Planner, Town Engineer, the Conservation Commission and its agent, the ZBA’s Peer Review professionals from BETA Group as well as the public, the current proposal is as follows:

- One multifamily building, which consists of 172 dwelling units, consisting of 88 one-bedroom units, 55 two-bedroom units, 18 three-bedroom units and 11 studios.
- The six 2.5 story duplex-style townhouses, and the associated seven access drives to enter the private garages off Dorothy Road, are no longer included in the project.²

¹ In large part, the length of time (nearly three years) for a decision in the HAC interlocutory appeal was attributable to the ZBA’s request to stay the appeal and subsequent pursuit of a separate civil lawsuit brought by the ZBA against the DHCD, Department of Mental Health and Department of Developmental Services, seeking confidential address information as to special needs housing. Ultimately, the ZBA never sought to use this information within the underlying HAC appeal.

² In other projects, MassHousing has concluded that a change in tenure does not justify revisiting a PEL. For instance, with respect to the Abbyville Commons 40B proposal in Norfolk, subsequent to obtaining site approval for a 48-unit rental project, the Developer notified MassHousing that due to input from the community, the proposal was changed from a rental project located in two buildings to 88 duplex-style condominiums. In response to the Section 56.04(5) notice, MassHousing affirmed that no new project eligibility letter was required, stating, “[i]t is MassHousing’s interpretation of the Comprehensive Permit Regulations that Subsidizing Agencies should normally not update Project Eligibility Letters as a project develops but should rather, consider whether the initial proposal is eligible for a subsidy project at the project eligibility stage and then consider with the final approval is eligible directly before the construction at the Final Approval state. Any other approach could interfere with a Chapter 40B’s goal of expedited permitting. It is for this reason that a Project Eligibility Letter issued pursuant to the comprehensive permit regulations shall, pursuant to 760 CMR 56.04(6) be conclusive evidence that the project and the applicant have satisfied the project eligibility requirements.” A copy of the MassHousing letter is attached as Attachment C (Emphasis added).

- The developed portion of the site is largely confined to an approximately 5.15-acre limit of work, with the balance of the site to remain as open space/conservation land. This is largely consistent with the original proposal, but it is noted that by condensing the overall length of the apartment building and adjusting its location further to the north on the site, the building and all infrastructure are outside of vegetated wetland areas to the east and south, with only limited impacts to the wetland buffer for a small portion of the subsurface garage under the southwest courtyard, grading, stormwater management systems and a portion of the permeable emergency access road around the back of the building.
- Garage parking under the multifamily building for 179 vehicles plus 176 secured bicycle parking spaces. (The original proposal as set out in the Project Eligibility application included garaged parking for 178 vehicles in the multifamily building garage).
- The building adheres to the PUD zoning district use and dimensional regulations; in particular multifamily use is allowed by special permit in the PUD district, the project is far below the maximum height in the PUD district (which maximum height is set at 85 feet/5 floors for residential uses), the project meets or exceeds the setbacks of the PUD district and it is below the allowable FAR for the site (.80 FAR).

Attached hereto, please find the updated site drawings prepared by BSC Group, revised November 3, 2020 and January 21, 2021 (Attachments A.1 and A.2) and updated architectural elevations and perspective drawings by Oaktree/Bruce Hamilton Architects, as presented to the ZBA at the February 16, 2021 hearing (Attachment B).

The present building design retains the four-story apartment building, but has revised its layout such that there is a central building spine set back approximately 90+ feet from Dorothy Road. Extending northerly (toward Dorothy Road) are three separate wings, or building tabs, the width of each approximate the width of the townhomes on the opposite side of Dorothy Road. These front portions of the building will be two stories tall (approximately 25 feet in height) and set back 25 feet from Dorothy Road.³ In between the building's northerly wings are two large courtyards, one which provides access to the building entry and allows temporary parking/drop offs and the other to be landscaped open space. The courtyards further create a less crowded/more open feel along Dorothy Road. The building graduates to three floors and thereafter to four floors along the central building spine and the building wings to the south of the site, substantially removed from Dorothy Road and any abutting property.

As opposed to the eight driveway curb cuts proposed on Dorothy Road under the original proposal, the revised design streamlines the access off Dorothy Road to one main driveway which provides access to the surface parking lot to the west and to the garaged parking under the building.

³ It is noted that the height of the currently revised building wings (25 feet) closest to Dorothy Road are actually lower than the height of the previously proposed townhouses, which were 2.5 stories/32 feet in height. By the use of low, two-story front wings of the building set back 25 feet off Dorothy Road, the architecture of the building is consistent with the setbacks, width and heights of the surrounding townhomes on the opposite side of Dorothy Road and to the east of the site. The revised design has incorporated the municipal input with respect to massing, scale, topography and environmental resources.

For short-term or drop-off/deliveries, there is a second semi-circular access drive located closer to the center of the building at the location of the building's lobby entrance.

Further, in response to requests by the ZBA and the TAC for a reduction in parking, the revised design incorporates a reduced number of parking spaces and corresponding commitments to a number of transportation demand management (TDM) measures, further enhancing the transit-oriented nature of the Project. Representative TDM measures include: a 23-dock Bluebikes station, a transit-screen display in the building entrance lobby, first month MBTA passes to new residents, a designated transportation coordinator as part of building management staff; secured parking for up to 176 bicycles and a bicycle repair area within the garage; and transportation information packages to be provided to all residents.

The revised design not only reduces impervious access drives and parking areas, but also avoids direct impact to wetland areas and limits permanent project improvements to the outer edges of the 100-foot buffer. Further, the revised proposal significantly limits the amount of work within the floodplain as compared to the original application. Impacts to floodplain are limited to two shallow fingers of the floodplain with the revised plans providing for the creation of compensatory storage at a ratio of 2:1, as consistent with the Arlington Wetlands Regulations.

The ZBA has expressed interest in having MassHousing's clarification concerning the process through which these project changes may be handled. In accordance with 760 CMR 56.04(5), the Applicant provides written notification to the Subsidizing Agency of these project changes. As stated in Section 56.04(5), only changes affecting project eligibility requirements as set forth in Section 56.04(1) are to be assessed.⁴ These described changes do not impact the Applicant's qualification as a limited dividend entity under Section 56.04(1)(a). Similarly, as the proposed changes address density, scale and environmental concerns that had been raised within the public review process, the changes are specifically responsive to otherwise enhance the project and its consistency with the existing environmental resources and topography and do not adversely impact the project or its fundability in accordance with Section 56.04(1)(b). Lastly, there has been no change to site control as Applicant continues to own the site. *See* Section 56.04(1)(c).

⁴ The limits of MassHousing's review under 760 CMR 56.04(5) is similarly described in prior requests submitted to the agency directly on behalf of a Zoning Board. For instance, with respect to the Goodridge Brook Estate's 40B proposal in Lancaster (PEL-963) in which the ownership portion of the proposed development (120 apartments/40 duplexes) was revised by developer (from 40 duplexes to 62 four-bedroom homes), the Lancaster ZBA Chair requested MassHousing to review the changes. By letter dated October 29, 2018, MassHousing reaffirmed the conclusiveness of its prior project eligibility determination in writing to the Lancaster ZBA Chair, stating "[s]ince the changes outlined in your letter have been proposed prior to issuance or denial of a Comprehensive Permit, 760 CMR 56.04(5) narrowly limits the Subsidizing Agency's review to changes which affect the project eligibility requirements set forth in Section 56.04(1)." *See* Attachment D (Emphasis supplied).

SMOLAK & VAUGHAN LLP

Jessica Malcolm, Manager
Comprehensive Permit Programs

We thank you for your review of this matter and request that MassHousing reaffirm its prior PEL. Please feel free to contact me should you have any additional questions. Thank you.

Sincerely,

/s/ Stephanie A. Kiefer

Stephanie A. Kiefer

sak/

Encl.

cc: Peter Mugar, Arlington Land Realty LLC
Gwen Noyes/Arthur Klipfel, Oaktree Development
Robert Engler, SEB Housing Consultants
Christian Klein, Chairman, Arlington Zoning Board of Appeals (via email)
John V. Hurd, Chairman, Arlington Board of Selectmen (via first class mail)
Jennifer Maddox, Undersecretary for Housing and Community Development (via first class mail)



Town of Arlington, Massachusetts

Thorndike Place - Senator Cindy Friedman letter dated 2-24-21

ATTACHMENTS:

Type	File Name	Description
▣ Reference Material	Friedman_Letter_to_ZBA_re_Mugar_2-24-21.pdf	Friedman Letter to ZBA re Mugar 2-24-21



The Commonwealth of Massachusetts
MASSACHUSETTS SENATE

SENATOR CINDY F. FRIEDMAN
Fourth Middlesex District

STATE HOUSE, ROOM 208
BOSTON, MA 02133-1053
TEL: (617) 722-1432
FAX: (617) 722-1004

CINDY.FRIEDMAN@MASENATE.GOV
WWW.MASENATE.GOV

Chair
JOINT COMMITTEE ON
HEALTH CARE FINANCING

Vice Chair
SENATE COMMITTEE ON
WAYS AND MEANS

February 24, 2021

Arlington Board of Zoning of Appeals
51 Grove Street
Arlington, MA 02476

RE: Thorndike Place at the Mugar Wetlands

Dear Sirs:

I write to reiterate my strong opposition to the proposed Thorndike Place development at the site in East Arlington owned by the Mugar Family. This site serves as a critical area of flood retention that has helped mitigate the constant flooding that occurs in this neighborhood. Without it, it is clear that the neighborhood will experience increased levels of flooding further jeopardizing their homes, safety and health. The problem is only exacerbated by the effects of climate change which we now understand causes greater and more often severe weather events. Increased storm activity will also affect the already fragile Amelia Earhart Dam. A breach of the Dam will cause the Alewife Brook to back up and will in turn have an additional negative impact on a neighborhood already experiencing serious flooding.

I understand that the developer has offered to donate a piece of the land to the Town. Besides the fact that the wet land being offered has had waste dumped on it for decades and now is home to an ever-growing homeless population, it does not in any way mitigate the problems that a development like the one being proposed will impose on the neighborhood, town and ecosystem of the area.

In addition, while the traffic issues along Lake Street and the surrounding narrow feeder streets have been lessened during the pandemic, the bumper-to-bumper traffic and high-speed cut throughs through

our neighborhoods will become an even greater reality and problem for neighbors once the pandemic is over if this development is built.

I am a proponent of smart development and transit-oriented housing. Allowing any housing to be built regardless of whether or not an area can environmentally sustain it without causing hardship to the greater community, however, is neither smart nor wise. And having been involved in this issue for quite some time, I do not believe any conditions that the town may put on the developers will be enough to mitigate the harm the project will cause.

My office has worked on this issue since I became a Senator and before that I was involved as chief of staff to the late Senator Donnelly. As a private citizen and town meeting member I voted against the project at least three times. Nothing I have seen so far has changed that position.

It is time to come to a decision to clean up the site, make it an educational place for children to learn about their environment and climate change, and move on.

I truly appreciate the serious consideration that you are bringing to this project. Thank you for your time and commitment and I urge you to reject the Thorndike Place project proposal.

Sincerely,

A handwritten signature in cursive script that reads "Cindy F. Friedman". The signature is written in dark ink and is positioned above the printed name.

Cindy F. Friedman
State Senator
4th Middlesex



Town of Arlington, Massachusetts

Thorndike Place - Letter from Select Board

ATTACHMENTS:

Type	File Name	Description
Reference Material	Select_Board_Letter_to_ZBA_re._Thorndike_Place.pdf	Select Board Letter to ZBA re. Thorndike Place
Reference Material	Medfield_Meadows_Denial_Letter.pdf	Medfield Meadows Denial Letter

OFFICE OF THE SELECT BOARD

JOHN V. HURD, CHAIR
JOSEPH A. CURRO, JR., VICE CHAIR
DIANE M. MAHON
STEPHEN W. DECOURCEY
LENARD T. DIGGINS



730 MASSACHUSETTS AVENUE
PHONE
781-316-3020
781-316-3029 FAX

TOWN OF ARLINGTON
MASSACHUSETTS 02476-4908

RE: Application for a comprehensive permit for "Thorndike Place"

Dear Members of the Zoning Board of Appeals:

As the Zoning Board of Appeals ("ZBA") continues its work in considering the "Thorndike Place" comprehensive permit application, we write to supplement our previous comments submitted to you in light of three developments: 1) Arlington Land Realty's (hereinafter "The Applicant") most recent revised proposals for a reconfigured project that is slightly smaller than its initial proposal; 2) information provided to this Board by the Arlington Land Trust; and 3) the observations and concerns of members of this Board who have been following the proceedings. In short, while the Applicant's revised proposals address some discrete concerns and presents a modest reduction in the overall scale of the project, this Board does not believe these measures go nearly far enough toward relieving the many fundamental concerns we hold about this development given obvious constraints of the site and its impact on the surrounding neighborhood. As such, we continue to urge the ZBA to continue to scrutinize this application with all available tools and to consider all conditions and qualifications under which any development of this parcel would be truly feasible within the bounds of the law.

Foremost, we note that the Applicant has twice updated its architectural and site plans, reducing the overall number of proposed units to 172 rental units, chiefly by eliminating their previously proposed twelve (12) Townhouse ownership units. To our understanding, the Applicant has also modestly reduced the overall size of the proposed apartment building and moved most of its parking spaces underground in order to re-site the building further away from the delineated wetlands. While this revised plan reduces the scope of the proposed project, the overall project remains far too large for this Board's comfort, principally due to continued concerns about the impacts of a 172-unit building with parking in a wetlands-sensitive neighborhood prone to flooding before adding the significant development of what is now open space.

It bears noting that the piece removed from earlier proposals – 12 townhouses – removes the only aspect of the project consistent with the character of the neighborhood, and removes a pathway to affordable ownership in Arlington, as opposed to affordable rental units. This change also raises serious doubt whether the project as currently revised would have received approval

from MassHousing if it was the subject of the initial project eligibility submission given the lack of any continuity with the neighborhood and the massing that is now proposed on Dorothy Road.

In its project eligibility letter dated December 4, 2015, MassHousing cited the presence of the townhouses extensively in support of its finding that the then proposed project design was “generally appropriate for the Site.”¹ Without the townhouses, no justification exists for any finding of compatability with the surrounding neighborhood. Moreover, the proposed relocation of the apartment building with direct frontage on Dorothy Road only magnifies incompatibility.² Accordingly, the Select Board urges the ZBA to consider incorporating in its decision any revisions the Applicant made to the proposed project since initial submission that conflict with the project eligibility approval findings.

With respect to traffic, this Board recalls that in the project eligibility phase, the Applicants represented both to the Select Board and MassHousing, that their plans included off-ramp access on Route 2. However, at this juncture, it is clear that such a proposal is not now (and perhaps never was) feasible and remains absent from the application before you. Instead, nothing has been done to address the fact that every car accessing Thorndike Place will navigate two narrow residential streets – Littlejohn Street and Dorothy Road (the locus approximately 42 total two-family and single-family homes) in order to access Lake Street, one of Arlington’s busiest streets during commuting times. While the Applicant has stressed the proximity to Alewife as a means of reducing the additional vehicular traffic on these streets, the means by which such direct access will be made available without requiring the Town to accept and maintain undevelopable portions of the so-called Mugar woods remains unclear.³ As proposed at this juncture, common sense dictates that the increased level of traffic and the uncertainties over how residents of the proposed project will access to public transport persist as serious health and safety concerns for your deliberations.

With respect to this Board’s deep and persistent concerns about the impact of this project on the wetlands and therefore flooding conditions in East Arlington, we are encouraged by your refusal to waive many of the Wetlands Bylaw requirements, including flood water storage requirements. However, we remain highly skeptical of the Applicant’s claims that development will not negatively impact surrounding homes and natural resources. Significantly, we recall that the Applicants had previously claimed that remediation of a berm and other conditions in the wetlands would significantly improve conditions for both the project site and the neighborhood

¹ For example, at Page 8 of the Eligibility Letter, MassHousing found that “Buildings have been sited with the goal of minimizing impacts on the surrounding streetscape, with the townhouses located along Dorothy Road, closest to the Site entrance, and the larger building set back to minimize its observable bulk.” That is no longer the case following the recent revisions.

² We note that MassHousing denied a request for project eligibility in 2017 for a similarly sized project to Thorndike Place on grounds that included the lack of continuity and compatibility with the surrounding neighborhood. (See attached Medfield Meadows denial letter dated January 31, 2017).

³ The Applicant has suggested that it is gifting property to the Town in the interests of conservation efforts, but as this Board has noted to the Applicants, such parcels are in very poor condition for pedestrian access or any of other purpose and, due to the presence of hazardous materials, in need of significant remediation, which would be absolutely necessary before the Town could entertain acceptance of such land in this Board’s view.

generally, but no mention of these remedial measures has been made within their revised proposal.

Furthermore, while it is our understanding that the ZBA cannot apply standards or regulations not in place at the time of the application's filing in 2016, the concerns expressed by the Arlington Land Trust, the Conservation Commission, and members of the public, particularly with respect to expected worsening flooding conditions due to climate change are shared by this Board.⁴ We therefore, continue to hope that you will strenuously apply all legally permitted tools to examine this revised proposal's impacts on the wetlands, habitats therein, and the surrounding area. We also believe that a site visit for members of your Board would be valuable to your examination and framing the issues presented by the stie.

Finally, the Select Board must continue to stress its support for enhancing access to affordable housing. Indeed, this Board recently provided a letter of support to MassHousing for a similarly-scaled c. 40B project located off of Massachusetts Avenue. However, in contrast with the revised proposal before you, the site locus of that project *decreases* the amount of impervious surface in the area, creates more green space, has ready access to Massachusetts Avenue (and public transportation), and incorporates, rather than circumvents, many of the Town's long-term planning documents.

As with our previous comments to the ZBA, we re-affirm our respect for the authority of the ZBA, its processes, and your service in light of the difficult tasks before you. As such we submit these additional comments as an expression of our collective opinion in the interests of informing your questions, contemplation of conditions, and development of the best decision possible. We trust that you will continue to avail yourselves of all the resources needed to support your process and your eventual decision, and continue to direct Town officials, through the Town Manager, to provide whatever you need in furtherance of same as appropriate.

In conclusion, we respectfully register our continued concern that the Applicant's original, revised, and further revised submissions fail to reassure this Board that a project of this scope on such a problematic site is feasible or appropriate for Arlington. We ask you continue your efforts to enforce all applicable rules and regulations to ensure that the laudable goal of increasing access to affordable housing is consistent with the health and safety needs of the Town.

Thank you for your consideration of the above comments and your continued service to the Town.



John V. Hurd, Select Board Chair

⁴ In addition to concerns over flooding of the LittleJohn and Dorothy neighborhood, the scale and locus of this proposal also raises regional environmental and traffic concerns about flooding on Rt. 2.



Massachusetts Housing Finance Agency
One Beacon Street, Boston, MA 02108

TEL: 617.854.1000 | FAX: 617.854.1091
VP: 866.758.1435 | www.masshousing.com

January 31, 2017

VIA CERTIFIED MAIL

Medfield Meadows LLC
18 Forest Street
Dover, MA 02052
Attention: John Kelly, Principal

RE: Medfield Meadows
Medfield, MA (MH# 873)
Project Eligibility (Site Approval) Application

Dear Mr. Kelly:

This letter is in response to your application for a determination of Project Eligibility ("Site Approval") pursuant to Massachusetts General Laws Chapter 40B ("Chapter 40B"), 760 CMR 56.00 and the Comprehensive Permit Guidelines issued by the Department of Housing and Community Development ("DHCD") (the "Guidelines" and, collectively, the "Comprehensive Permit Rules"), under the following program (the "Program"):

- New England Fund ("NEF") Program of the Federal Home Loan Bank of Boston.

The original application proposed to build two hundred (200) units of rental housing in two (2) buildings on individual parcels separated by North Meadow Road (Route 27) (the "Project") at 39-41 Dale Street and 49 Dale Street (the "Site") in Medfield, Massachusetts (the "Municipality"). Subsequent to an initial review of the Site and the proposed plans and comments from the Municipality regarding the site plan, MassHousing requested that the applicant reconsider the Project and its compatibility with adjacent uses and compliance with 760 CMR 56.04(4)(c), the applicable regulations that govern the design elements of a 40B proposal.

On January 5, 2017 the Applicant submitted a revised proposal to MassHousing that purported to respond to concerns regarding the original site plan, reduced the proposed height of the buildings and the number of units from two hundred (200) to one hundred eighty two (182) rental apartments units in three separate three and four-story buildings on a total of 6.24 acres of land, which only reduced the density from 32 units per acre to 29.17 units per acre on the Site.

MassHousing staff has performed an on-site inspection of the Site, which local boards and officials were invited to attend, then revised the Site in connection with the revised application, and has reviewed the pertinent information from both the original and the revised applications for the Project submitted by the Applicant, and comments submitted by the Municipality and others in accordance with the Comprehensive Permit Rules.

As a result of MassHousing's evaluation of the information that was presented, and the Agency's evaluation of the Site, MassHousing is unable to approve your application for a determination of Project Eligibility. While it is expected that a Project proposal submitted in accordance with the zoning and regulatory relief available under Chapter 40B will differ from the surrounding context in many fundamental ways, the Subsidizing Agency must also address matters regarding the Project's relationship to existing development patterns in the surrounding area. This Site appears to be generally appropriate for residential development and while municipal actions to date have not yet resulted in the production of housing required, "to meet the municipality's need for affordable housing as measured by the Statutory Minima"; nevertheless MassHousing has determined that the conceptual project design for the proposed development is not appropriate for this Site.

The reasons for MassHousing's denial of your applications are as follows:

MassHousing considers the design of the building and the proposed site layout to be inconsistent with the design requirements outlined in 760 CMR 56.04(4)(c) and the related Guidelines dated May, 2013. Specifically:

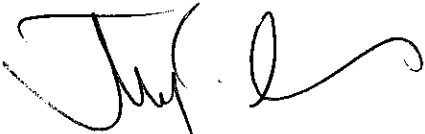
- The proposed apartment structure is inconsistent with nearby existing residential building typology. This is particularly true for the rear portion of the north parcel and the proposed building's relationship to the existing neighborhoods closest to the Site along Joseph Pace Road, John Crowder Road and Dale Street. The applicant's revised site plans do not adequately mitigate the impact of the proposed building's connection to the existing neighborhood from the initial proposal; the Project still fails to make a reasonable transition to this well established residential neighborhood.
- The proposed three to four-story apartment structures are not compatible with nearby structures in terms of height, mass and scale. Building elevations indicate that the proposed buildings (the three proposed buildings range in height from 60' to 77.5' tall depending on the topography of the Site) are at least triple the height of most surrounding 1-2 story structures. The building massing in the original submission was entirely inappropriate for both the Site and its relationship to the adjacent residential neighborhood. While the revised site plan, particularly that of the north parcel, has addressed some of the most glaring impacts to its closest abutters, the overall perception of the massing has not been adequately reduced to make the findings required under the regulations. The proposed massing on the south parcel is not significantly improved by the revised site plans and the presence of wetlands on that portion of the overall development Site is a constraint to a more logical relationship to the Grove Street neighborhood.

- Appropriate density of residential development depends on a number of different factors, and must be reviewed on a case by case basis. In this case, however, it appears that the Project is simply too dense for the lot on which it is located; nearly the entire Site is occupied by the proposed building program and the limited areas for open space are not sufficient to mitigate the project's effective density. While there are no maximum density thresholds, it is advisable to develop at a density that takes some cues from the existing community context. The nearest rental development is the Parc at Medfield which has a considerably lower density of approximately 10 units/acre as compared to the almost 30 units/acre proposed for this Project.
- The site plan does not provide a satisfactory design treatment of the edge between the Site and the surrounding streetscape and does little to enhance the visual quality of the streetscape. The northern and southern building facades face Route 27, which is the principal access to downtown Medfield, and create a poor visual relationship to this adjacent roadway.

In MassHousing's review of any application for Site Approval under Chapter 40B, the Agency does not consider any one factor in isolation. Rather, the site as a whole is considered as well as whether the development proposal is consistent with applicable Regulations and Guidelines. After a thorough review of your application, MassHousing does not find that your proposal is able to meet all of the required findings. Therefore, your application is denied.

If you have any questions concerning this matter, please contact Greg Watson, Manager of Comprehensive Permit Programs, at 617-854-1880.

Sincerely,



Timothy C. Sullivan
Executive Director

cc: Chrystal Kornegay, Undersecretary, Department of Housing and Community Development
The Honorable James Timilty
The Honorable Denise C. Garlick
The Honorable Shawn Dooley ✓
Mark L. Fisher, Chairman, Medfield Board of Selectmen
Michael J. Sullivan, Medfield Town Administrator
Sarah Raposa, Medfield Town Planner



Town of Arlington, Massachusetts

Thorndike Place - BETA Stormwater Analysis 3-4-21

ATTACHMENTS:

Type	File Name	Description
☐ Reference Material	NOAA_14_analysis_Thorndike_Place_20210304.pdf	NOAA 14 analysis Thorndike Place 20210304.pdf

March 04, 2021

Christian Klein, Zoning Board of Appeals

Town of Arlington
50 Pleasant Street
Arlington, MA 02476

Re: Thorndike Place - Arlington, MA
Comprehensive Permit NOAA 14+ Stormwater Analysis

Dear Mr. Klein:

As requested, BETA Group, Inc. (BETA) has conducted an analysis of the proposed stormwater management system for the Thorndike Place development using National Oceanic and Atmospheric Administration (NOAA) 14+ rainfall data. The stormwater analysis submitted with the current application uses rainfall data from the National Resource Conservation Service (NRCS). Use of the NRCS data is consistent with the current requirements of the Massachusetts Stormwater Policy. The Massachusetts Stormwater Management Advisory Committee is considering revising the rainfall data requirement to utilize NOAA 14+ data.

Section 31 of Arlington's local Wetland Regulations require addressing the impact of climate change on surface runoff. Section 31, B.2 states "Describe project stormwater surface runoff, which may increase due to storm surges and extreme weather events, and how this will be managed / mitigated to prevent pollution (including nutrients from fertilizers, roadway runoff, etc.) from entering the resource area with consideration of eliminating impervious surfaces as feasible." Using NOAA 14+ rainfall data in the analysis could be considered as addressing this requirement.

Analysis

The Applicant has provided a stormwater model as part of the site stormwater analysis. The latest model was included with the revised Stormwater Report dated January 2021 submitted to the Board on January 22, 2021. The proposed stormwater design incorporates three (3) separate stormwater BMP's to mitigate increases in peak runoff rates and volumes from the development. Infiltration Basin 1 is a subsurface system located under the proposed surface parking located on the west side of the site. BMP 2 is proposed detention utilizing the building roof area. Infiltration Basin 3 is a subsurface basin located south of the underground garage entrance.

BETA re-created the stormwater model using HydroCAD software, the same software used for the Applicant's model. Both Predevelopment and Post development models were re-created. The models were calibrated using the NRCS rainfall data in the Applicant's model to ensure that the results were the same. The models were then run using the NOAA 14+ rainfall data for the 2-year, 10-year, 25-year, 50-year and 100-year storm events. No changes to the model design input were made except that the invert for the discharge from Infiltration Basin 3 was adjusted to match the invert shown on the plan of elevation 5.70. The Applicant's model incorrectly showed the invert as elevation 7.38.

The following table provides a comparison of the NRCS rainfall data used in the Applicant's analysis and the NOAA 14+ data.

Storm Frequency	NRCS Rainfall (inches)	NOAA 14+ Rainfall (inches)
2-year	3.23	3.64
10-year	4.90	5.79
25-year	6.20	7.49
50-year	7.43	8.72
100-year	8.89	10.35

The results of both predevelopment and post development analysis were compared to evaluate the functionality of the system and to determine if post development peak flow rates and volumes were mitigated to predevelopment rates.

The following table provides the results of the analysis and compares the NRCS results and the NOAA 14+ results for overall flow from the site to the adjacent wetlands.

Storm - Frequency	Rainfall (inches)		1S - Existing flow to Wetlands		1L - Proposed Flow to Wetlands		Proposed to existing comparison	
			Runoff (cfs)		Runoff (cfs)			
	NRCS	NOAA+	NNRCS	NOAA +	NRCS	NOAA +	NCRR	NOAA+
2	3.23	3.64	2.13	2.86	2.12	2.68	-0.01	-0.18
10	4.9	5.79	5.4	7.39	4.5	5.89	-0.9	-1.5
25	6.2	7.49	8.3	11.41	6.5	8.6	-1.8	-2.81
50	7.43	8.72	11.3	14.44	8.5	10.98	-2.8	-3.46
100	8.89	10.35	14.86	18.52	11.36	15.69	-3.5	-2.83

As shown in the table, overall post development peak flow rates from the site using the NOAA 14+ rainfall data are reduced below existing predevelopment conditions for both NRCS data and NOAA 14+ data.

In addition to the overall site comparison, each BMP was evaluated to assess any potential issues with the design using NOAA 14+ data. The analysis indicates that the proposed stormwater systems function adequately for storms up to the 100-year event. The peak water surface elevation within Infiltration Basin 1 and Infiltration Basin 3 remains below the top of the Stormtrap chambers. This indicates that sufficient storage is available within the systems for these storms.

The analysis for the 100-year storm indicates that the peak water surface elevation for both infiltration Basin 1 and Infiltration Basin 3 exceeds the top elevation of the Stormtrap chambers. The potential impact of this includes:

- Potential surcharging of runoff above the rim elevation at CB-1 resulting in ponding in the driveway and surface parking area.
- Potential surcharging above the rim elevation at Trench Drain-1 (underground garage entrance) resulting in additional storm runoff entering the garage.
- Higher peak flows and velocities at the outfall from Infiltration Basin 1 resulting in increased potential for scour and erosion at FES-1.
- It is unclear how the increase water surface elevation in Infiltration Basin 1 might affect the roof detention as limited detail is available for the roof design.

Conclusion

The proposed stormwater management system for the Thorndike Place development was analyzed using NOAA 14+ rainfall data. NOAA 14+ rainfall data is higher than the NRCS rainfall data used in the Applicant's stormwater analysis. The revised analysis indicates that overall post development peak flows continue to be mitigated below predevelopment runoff rates. However, both Infiltration Basin 1 and Infiltration Basin 3 experience higher water surface elevations during the 100-year storm that may result in negative impacts to the site drainage.

It appears that both Infiltration Basin 1 and Infiltration Basin 3 would need design revisions to accommodate increased flows using the NOAA 14+ analysis.

If you have questions about any of these comments, please feel free to contact us.

Very truly yours,
BETA Group, Inc.



William P. McGrath, P.E.
Senior Associate

cc: Jenny Raitt, Arlington
Paul Haverty



Town of Arlington, Massachusetts

Thorndike Place - Draft Decision Comments

ATTACHMENTS:

Type	File Name	Description
▣ Reference Material	C_Loreti_Draft_Decision_comments_3-10-21.pdf	C Loreti Draft Decision comments 3-10-21.pdf

Dear ZBA Chair Klein:

I am writing to provide the following comments regarding the Thorndike Place Draft Decision, which the ZBA will be discussing tomorrow evening. I ask that these comments be entered into the docket for the hearing and be shared with all members of the ZBA.

The draft decision contains a number of waivers to the requirements of Arlington's Zoning Bylaw. The references to the bylaw sections are incorrect, however. For example, the draft decision waivers refer to Section 4.02, 10, and 11 of the zoning bylaw. No such sections exist in the current Arlington Zoning Bylaw.

Apparently, whoever wrote the waivers used an out of date version of the zoning bylaw, one that has not existed for more than three years. The ZBA should require that all of the zoning bylaw references in the decision be corrected to reflect the current zoning bylaw, to the extent it is still relevant.

In addition, should the erroneous zoning bylaw references be the result of work paid for by anyone working for the town, I ask that the ZBA ensure that the corrections are made at no cost to Arlington taxpayers.

Thank you for considering these comments.

Christopher Loreti
Adams St. Arlington



Town of Arlington, Massachusetts

Thorndike Place - New Correspondence Received

ATTACHMENTS:

Type	File Name	Description
Reference Material	E_Segal_letter_2-27-21.pdf	E Segal letter 2-27-21
Reference Material	Dorothy_Rd_pic1.pdf	Dorothy Rd pic1
Reference Material	Dorothy_Rd_pic2.pdf	Dorothy Rd pic2
Reference Material	Dorothy_Rd_pic3.pdf	Dorothy Rd pic3
Reference Material	P_Fiore_letter_3-6-21.pdf	P Fiore letter 3-6-21.pdf
Reference Material	J_Yurewicz_letter_3-8-21.pdf	J Yurewicz letter 3-8-21.pdf
Reference Material	B_Rowland_letter_3-11-21.pdf	B Rowland letter 3-11-21.pdf
Reference Material	C_Beckwith_letter_3-11-21.pdf	C Beckwith letter 3-11-21.pdf
Reference Material	R_DiBiasi_email_3-10-21.pdf	R DiBiasi email 3-10-21.pdf
Reference Material	R_DiBiasi_letter_3-10-21.pdf	R DiBiasi letter 3-10-21.pdf
Reference Material	2.pdf	rjdibiase photo 2
Reference Material	3.pdf	rjdibiase photo 3
Reference Material	4.pdf	rjdibiase photo 4
Reference Material	1.pdf	rjdibiase photo 1
Reference Material	IMG_1065_(1).jpeg	rjdibiase photo 5
Reference Material	IMG_1065.jpeg	rjdibiase photo 6
Reference Material	IMG_1993.jpeg	rjdibiase photo 7
Reference Material	IMG_1994.jpeg	rjdibiase photo 8
Reference Material	IMG_1996.jpeg	rjdibiase photo 9
Reference Material	IMG_1998.jpeg	rjdibiase photo 10
Reference Material	IMG_2001.jpeg	rjdibiase photo 12
Reference Material	A_Kukharskyy_letter_3-10-21.pdf	A Kukharskyy letter 3-10-21.pdf
Reference Material	P_Miller_letter_3-10-21.pdf	P Miller letter 3-10-21.pdf
Reference Material	R_DiBiasi_email_3-10-21.pdf	R DiBiasi email 3-10-21.pdf

I am writing to encourage the Arlington ZBA to approve development at the Mugar site, with conditions.

I've lived off of Lake Street for over 25 years, so I am very familiar with the traffic and flooding issues that opponents have brought up. But I was also one of the people on Mass Ave last year holding a Black Lives Matter sign, and I know that the construction of affordable housing is an issue of Racial Justice. People of color have been denied opportunities to accumulate capital in the United States for hundreds of years, and subsidized housing is one way to address that injustice. The proposed affordable units here will be life changing for more than 40 families.

I do know that some people consider the potential flooding from this development to be an issue of environmental justice, with a disproportionate impact on low income people. However, the house that sold most recently in this neighborhood sold for \$1.8 million, so if there is flooding, it will not fall in a low income neighborhood!

I know some Arlingtonians are quite opposed to this development, but law and precedent are unquestionably on the developers side and the development will be approved, if not by the ZBA then by the HAC.

Instead of pretending that the state's committee will do what some Arlingtonians want, let's live in the real world. Right now, Arlington has leverage. Let's use that leverage to negotiate for traffic mitigation, better affordability and anti-flood measures, and then approve the application with those conditions. Once the developers appeal to the HAC, all of our leverage will be gone, and some of our biggest worries about the development may come true. Let's negotiate now, and get the best deal we can.

Sincerely,

Eric Segal







Mr. Christian Klein
Chair, Zoning Board of Appeals
Arlington, MA 02474

March 6, 2021

Dear Mr. Klein,

Please accept for consideration another concern about the most recent Thorndike Place design change.

The above ground parking lot originally abutting 29 Littlejohn Street is now separated from that home by a 30-foot-wide buffer. This happens to be the approximate width of Dorothy Road. If I correctly recall, the area of that buffer is a “paper street”: a street on an original street plan that was never built or completed. It also happens to lead into the area of the Mugar property behind the homes on Littlejohn and Mott Streets. This area was not included in the property proposed to be deeded to Arlington for conservation land.

The developers have been recorded on a Zoom meeting as saying that there is no Phase Two to the proposed project. If there is no further development beyond what is proposed than there is no need for this section of the property to be retained by the owner who would continue to pay property taxes.

If this section is being retained for future development that is something the residents of Arlington should be told. If it is not deeded to the town there is nothing to stop another development including another 40B proposal being sited there.

If I have missed something about this, I ask all parties to please accept my apology. Unfortunately, the present proposal causes me overwhelming concern.

Sincerely,

Peter Fiore

58 Mott Street

Arlington, MA 02474

Hello,

My name is John Yurewicz. I am a 53 year resident of the town, 45 of those years in East Arlington, and 36 of those years as residing property owner at the corner of Mott and Littlejohn Streets. I love my neighborhood and I love Arlington.

It was mentioned recently by a prominent, local political figure that he has never seen such concentrated, fervent opposition to such a development as Thorndike Place. That speaks volumes for the community and all of its residents and what we hold dear. The residents of the Lake Street corridor and a large portion of East Arlington do oppose the development of Thorndike Place for a wide variety of good, logical reasons, all of which have been brought forward over the past many months and years.

All that said, presence at the last couple of ZBA meetings I witnessed discussions about the trash chutes from the floors down to the trash bins, the number of bicycle parking spaces, the building signage at the main entrance, and sun/shade angles of the building on to Dorothy Road, and so many more 'design' criteria. These type of conversations are more like what one would hear if the development had already been approved! It sounds that way!

I was informed recently of some sort of payment to the town by (?) if the town does give a final approval for the buildings and grounds to be built. To me, that says all of us opponents in the Lake Street corridor would be sold out to raise some funds! Our quiet, tranquil neighborhood was not important enough to town officials? I was appalled to learn that there is a dollar value on our lifestyle. Hopefully, I am wrong as I find that to be deplorable, especially when one considers all the very public negativity regarding this development generated by so many residents over so many years!

Next: At the last ZBA 'Zoom' meeting it was announced that the owner was going to contribute \$350,000 to the town over ten years to maintain the property surrounding the proposed development. WHERE has all this civic neighborhood duty or pride on the part of the owner been for the last several decades? Any 'good neighbor' would voluntarily take some pride in their property and provide maintenance and policing. Why try to use that as a bargaining chip now and offer money to the town for THE TOWN to then do that maintenance?

We already know that the **Select Board** is opposed to the Thorndike Place development. At this point I'm more that a little suspect of the ZBA position in all this development given the tac of all the discussions at the zoom meetings. And I would really like to learn where the **Conservation Commission** stands in all this. Our neighborhood being so close to the Mugar wetlands and green space it would be a very tough loss both to the neighborhood and the town if it were to get mowed down and trucked away to make room for more (Kendall Square and Seaport District style) brick and mortar walls! I hope the Conservation Commission flexes its muscles and weighs the proposed losses we would all suffer to see the wealthy get more wealthy at the cost of ruining a neighborhood and green space!

I would also be interested to learn where the **Town Meeting Members** stand on this development.

At the last ZBA zoom meeting, I believe it was Mr. Ford who pointed out (a few times!) the probable parking dilemma that would be created by the many residents who would park in Dorothy Road and Littlejohn Street as a convenience rather than do the 'in and out' of their parking garage a few times daily. Combine that with the probable number of visitors who would also take advantage of the easy parking in the street rather than the distant spaces provided for said visitors. This recognizable number of cars every day would clog the narrow streets and become a nuisance! Think emergency vehicles and space needed to drive through.

What Mr. Ford did not mention was the influx of many dozens of contractor employee cars, vans, and pick-up trucks clogging Dorothy Road and Littlejohn street during the long construction period. And we all know that these people arrive for work early in the morning and will generate enormous noise affecting all the neighbors.

At the last ZBA zoom meeting, Ms. Noyes (Oak Tree Dev.) pointed out that they are planning to use 'Aggregate Piles' for the building foundation instead of driven piles. I would like to have that point be made CERTAIN. We all know that driven piles would do considerable damage to all the houses so close to construction causing those home owners considerable financial pain!

With so much opposition from local residents, the Select Board, and hopefully the Conservation Commission, toward this proposed development I would hope that **OUR TOWN** would stand beside **HER RESIDENTS** and finally deny this development once and for all. The residents will suffer. The wealthy will get wealthier. And the town will get, what? More headaches?

Thank you for reading.

Respectfully submitted,

John C. Yurewicz

PS: I use the emails found attached to several Mugar Wetland communications. I any of you would like me to delete your email from my listing please let me know. I respect your privacy and will accommodate your request.

Thorndike Place is strongly apposed by the neighbors and members of the community. The current proposed mega development of 172 units does not belong in a neighborhood of one and two family homes.

Dorothy Road is 25 feet wide and floods. Traffic is reduced to one lane when a vehicle is parked on the street anywhere in this neighborhood. This project is a huge deviation from the original proposal. The only aspect that was not opposed were the 12 affordable housing, owner owned, townhouses along the front of the Mugar's property, which are no longer included.

Tonight please address:

Why the ZBA is not requiring the applicant to reapply for a new 40B from the State.

When did the ZBA board make a site visit?

Please allow more time for public comments.

Thank you.

Barbara Rowland
10 Mott Street, 1
Arlington, MA 02474

Chairman Klein,

The following are my comments on the proposed apartment building.

Problem 1: Flooding will be worse by this large building partly in floodplain and removal of vegetation and soils that act like a sponge.

Recommendation 1: Build a smaller building (100 units) not in the floodplain at all. **Remove the SE wing.**

Problem 2: The garage will flood with 2 feet of water every spring.

Recommendation 2: **Raise the garage** (by at least 5 feet).

Problem 3: The building will be too tall.

Recommendation 3: Take off the top floor of the apartments, **3 floors** (instead of 4) over the garage.

Problem 4: Infiltration units will not work when it is needed most, when groundwater is high.

Problem 5: Traffic will be terrible. Don't believe that 170 apartments will only generate 30 car trips in and out.

Recommendation 5: **Remove more of the parking spaces** to encourage alternative travel. Set parking rent/fee high and have it go into Town fund to repair/maintain public roads.

Problem 6: There will be significant wildlife impacts with this building, the woods are home to them.

Recommendation 6: Invasive plant control, trash/debris removal, native plantings, habitat creation/wildlife park creation, should be responsibility of landowner.

-Cori Beckwith, 26 Parker St

From: "Zoning Board of Appeals" <ZBA@town.arlington.ma.us>
To: "Vincent Lee" <VLee@town.arlington.ma.us>
Date: 03/11/2021 10:48 AM
Subject: Fwd: Thorndike Place

Post

From: rjdibiase@aol.com
To: "zba@town.arlington.ma.us" <zba@town.arlington.ma.us>
Date: Thu, 11 Mar 2021 03:45:54 +0000 (UTC)
Subject: Thorndike Place

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "< >" brackets) and you know the content is safe.

This photo was taken 2-17-21 and shows how tight Dorothy rd is with one small moving truck on it.



We have listened to Oaktree reference the Concord Development. Today I took a ride out to Brookside Square Concord MA. This site is set in a commercial setting with NO residential homes surrounding it at all. These photos show all directions around the building.







Mr. Christian Klein
Chair, Zoning Board of Appeals
Arlington, MA 02474

March 10, 2021

RE: Thorndike Place

Dear Mr. Klein,

I would like to ask for the time to speak prior to the closing of public comments tomorrow night. At the last meeting, I was one of two abutters left to speak during the public comments. As I live at 29 Littlejohn Street, putting me at the entrance to this questionable project, I have serious concerns with its feasibility.

1. We have heard from many local abutters about parking concerns. Oaktree has referred to The VOX during traffic studies as well as discussions regarding parking. The Vox currently has NO under ground parking as the land it sits on was built with piles. The proposed underground parking of this development will displace large volumes of water to be mitigated. This will now increase our water table significantly around the immediate area. When asking for the direct depth of excavation we always get an answer of curb height, floor height and street grade.

We want the depth of the excavation, from today's grade to bottom of the concrete footings.

2. I have looked at many of the developments that Oaktree has completed in the Cambridge area. I could not find any that mirrored the impact it would have on this location. With this area being a thickly settled residential district of one & two-family dwellings, it is easy to see the dramatic impact of its topography. Oaktree has mentioned the West Concord development "Brookside Square" this property is in a major commercial setting with not even a single home abutting.

The major changes to remove the town houses alone change the entire demographics of the neighborhood and now put a commercial building in the middle of a R-1/R-2 setting.

3. The direct height has been talked about on several occasions with Oaktree stating that 32 feet is the allowable building height for homes. Please let us not forget at 32 feet sits the peak and the roof lines all descend from that height. Many homes in Arlington have a dormer on the third floor, but all are restricted to amount of living space allowed. Oaktree has described the set back off Dorothy Rd as a concession of sort. The fact remains that the original plans had a buffer zone between the large development and the residents. ***The heights as illustrated in the Oaktree plans show how the massive building sits to its existing neighbors.***

4. I have been involved in the buildings of modular units for the past several years, and I can speak from experience that you need working space to equipment. This site has NONE, when you look at the conservation commission's "order of conditions" and the footprint of the structure you are reduced to a small area for construction. If this building were to be constructed, we would be looking at a major impact on the ability come and go from all our homes. A large crane would be needed to be set up in the street for the offloading of modular units. This making it impossible for family and neighbors to maintain a normal right of passage to our homes. ***The approval process should include an impact study of the ability to access our homes daily. As well as a guarantee that we never be restricted from doing so.***

These are a few of my concerns for board to review. I have also included several pictures of the area for the record.

Robert DiBiase
29 Littlejohn Street
Arlington, MA























Dear Honorable Members of the Zoning Board of Appeals,

I am writing to express my strong objection to Oaktree Development's application to build "Thorndike Place" on the wetland region behind Dorothy Road in East Arlington. The plans to build a large apartment complex and parking garage on one of the last remaining parcels of open land in town, in an area that is densely populated, highly trafficked, routinely floods, and environmentally sensitive, is absolutely not suitable for development in a time of rapid climate change based on the following key issues:

Flooding—

After multiple public hearings, there has still not been a precise diagram provided by the developers of clear measurements of the underground garage in an area surrounded by wetlands which routinely experiences flooding. This lack of transparency in their building plans has become a pattern for Oaktree development. It is well known that the basement of Vox on 2 apartments experience frequent flooding on the other side of the wetland region, and their parking garage is even above ground. If these units are meant for affordable housing for seniors or lower income populations based on the 40B restrictions, it is unethical to place vulnerable people in a building where flooding of their belongings is a real hazard.

Additionally, the 2020 FEMA guidelines and updated environmental regulations with recent measures on climate change activity are not being followed in this project since the initial application was from 2015. Why is it legal to make environmental decisions without the most up to date scientific evidence? Especially when it is also a health and safety hazard to future residents?

Traffic—

This neighborhood already experiences debilitating traffic congestion, but the developers conducted their traffic study during a pandemic—another misrepresentation by Oaktree which ignores the actual effect on the citizens of the town of Arlington. The data generated was also inconsistent, for example it considered turning right on Lake Street and not left, in addition to using traffic data from the Cambridge apartment complex Vox 2 which has a completely different traffic flow than Lake Street since it is situated on the other side of the highway in a different town.

Increased traffic on Lake St. as well as all streets in the neighborhood will be a safety concern for the many children who play in the neighborhood. Currently there are only about 30-40 cars total on the street, and the proposal of 300 more cars is completely out of proportion with the current capacity.

The graphics of Dorothy Road provided by the developers have also been routinely distorted to make the road look wider and the proposed development smaller than it actually is. Currently the street is barely enough for 2 cars to pass, and if cars are parked on the side of the road it quickly reduces to 1. The streets may also be closed during construction, and it is a safety hazard if there was an accident or fire for emergency vehicles to access the area.

The developers also have not accounted for any guest parking (given the ban on overnight parking in Arlington) in their parking garage plans and have reduced to the minimal amount of parking spots claiming that the location is perfect for public transportation. However, they fail to report that the location of the development is nowhere near any grocery store, and residents would be compelled to use a car. This was my personal experience, as I moved to the area planning that a car would be unnecessary, but eventually realized that it was absolutely impossible to manage the basic necessities such as getting groceries without a car.

The developers also failed to note that the Boston transit system is already completely overwhelmed by the current population, with repairs backlogs and aging infrastructure that cannot keep up even with the current demands. Adding more residents to crowd the Alewife T station and trains which are already unable to accommodate the current residents is untenable and will only result in more disgruntled residents and infrastructure complaints.

Inconsistency of developers—

In addition to the abovementioned misrepresentations by Oaktree development, they have been repeatedly inconsistent about their plans and this current proposal does not reflect the original 40B application. The project initially proposed townhouses as a "buffer zone" and a ramp to Route 2 to alleviate traffic congestion, both now eliminated. The current large apartment complex is in no way consistent with the character of the neighborhood (mandated by the 40B statute) of single unit and duplex homes.

Cost to Arlington—

This ill-designed building development based on inconsistent environmental metrics will make flooding and litigation associated with flood damage increase cost for the town of Arlington. There may also be increased costs for maintaining or upgrading the local sewage system and other Arlington town services. In addition, doubling of the neighborhood may result in an enrollment increase at Hardy School, which is already an overcrowded and ancient building, and increased flooding may decrease the use of Thorndike Field for school sports. The value of housing in East Arlington will decrease as the character of the neighborhood will lead to less pathways to ownership and therefore less long-term investment and community involvement in the town of Arlington.

I thank you for your consideration of the issues above and for your dedication to the town of Arlington, both present and future generations. I also kindly ask that you allow public comment in the beginning of your meetings, as public comments left to the end do not allow for the full participation of citizens which would be personally affected on a daily basis by these for-profit decisions.

Anna Kukharskyy
Mott Street, Arlington

To Members of the Arlington Zoning Board of Appeals

Please accept the following comments concerning the proposed Mugar development from an almost 20 year Arlington resident and abutter to the Mugar property.

A variety of factors have been identified as negative impacts of the development on the neighborhood and town. They include increased flooding, excessive traffic, environmental disruption, school overcrowding, loss of open space, restrictions on the use of Thorndike field for town sports, increased town service costs, and surrounding home damage during construction. All valid and legitimate concerns expressed by a wide range of town officials, organizations, surrounding communities, and residents. The developer and Mugar have dismissed these concerns under the pretense of providing a necessary affordable housing solution with environmentally-friendly commuting options. It is obvious from their presentations and responses that ego and greed are their primary motivators. Perhaps the developer expects that as a Burch Street abutter, I would be pleased with and impressed by the modified plan. Not so – I am more opposed now than previously when I would have been looking at a parking lot and large building.

Some things I envision the neighborhood will be like if the development exists:

- Building size overwhelming Dorothy Road and the surrounding woods. Instead of a parking lot, we are looking at a mega structure compared to the homes
- Repairing cracks and repainting walls after construction
- No longer hearing my neighbor's kids and friends playing basketball on Dorothy Road
- No street hockey, skateboarding, pickleball, playing catch, walking with children/friends/dog on Dorothy Rd, Littlejohn St, Wilson Ave, Homestead Rd, Mott St, Mary St, Parker St, Burch Street, Margaret St, White St, Osborne Rd, Edith St
- Footpaths cut across Thorndike field to the development
- Visitors unable to park in front of my house or close by
- Garbage trucks unable to turn onto streets; instead drive backwards on narrowed street
- Unable to drive down Dorothy Road because only one lane available due to cars parked on one side
- Post-game backups from Thorndike Field to all streets leading to Lake St
- At least five traffic lights from Rte 2 to Mass Ave
- Waiting 10 minutes to turn westward onto Lake Street after trying to avoid getting hit by Dorothy Road and Mary Street cross traffic
- Trying to find an alternate route from the west to home. Pleasant Street backed up onto Rte 2 bypass and to Mass Ave; Park Street backed up from Rte 2 exit to Mass Ave; side streets leading to Mass Ave backed up
- Slowdowns on flooded Rte 2 before exiting onto Lake Street or heading east to Fresh Pond
- Continuing to be concerned about falling trees/limbs when high winds are forecast and piles of debris polluting the wetlands
- No more rabbits, turkeys, hawks, birds – no place for them to nest and forage

There are several remaining questions about the developer's proposal. The town and others committed opposition and diligence with following procedures is appreciated and commendable. Allowing the Mugar's to build the development would result in long term damage to not only East Arlington but all of Arlington and surrounding neighborhoods. It's time to demand clear answers, use all legal means possible to stop the development, and create the open space we all need.

Thank you for your consideration.

Pama Miller

43 Burch St

Stay safe, healthy, and positive



From: "Zoning Board of Appeals" <ZBA@town.arlington.ma.us>
To: "Vincent Lee" <VLee@town.arlington.ma.us>
Date: 03/11/2021 10:48 AM
Subject: Fwd: Thorndike Place

Post

From: rjdibiase@aol.com
To: "zba@town.arlington.ma.us" <zba@town.arlington.ma.us>
Date: Thu, 11 Mar 2021 03:45:54 +0000 (UTC)
Subject: Thorndike Place

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "< >" brackets) and you know the content is safe.

This photo was taken 2-17-21 and shows how tight Dorothy rd is with one small moving truck on it.



We have listened to Oaktree reference the Concord Development. Today I took a ride out to Brookside Square Concord MA. This site is set in a commercial setting with NO residential homes surrounding it at all. These photos show all directions around the building.





