



## Arlington Zoning Board of Appeals

**Date:** Tuesday, October 26, 2021  
**Time:** 7:30 PM  
**Location:** Conducted by remote participation  
**Additional Details:**

### Agenda Items

#### Administrative Items

1. **Remote Participation Details**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Baker's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: <https://www.mass.gov/doc/open-meeting-law-order-march-12-2020/download>

You are invited to a Zoom meeting.

When: Oct 26, 2021 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

<https://town-arlington-ma-us.zoom.us/join>  
[https://town-arlington-ma-us.zoom.us/meeting/register/tZYscuCsrtGqH9dPsafkjqRTrQ\\_O12a0ArVz](https://town-arlington-ma-us.zoom.us/meeting/register/tZYscuCsrtGqH9dPsafkjqRTrQ_O12a0ArVz)

After registering, you will receive a confirmation email containing information about joining the meeting.

Meeting ID: 821 5943 3053

Find your local number: <https://town-arlington-ma-us.zoom.us/join>

Dial by Location: 1-646-876-9923 US (New York)

2. **Members Vote: Approval of Meeting Minutes - July 13, 2021**
3. **Members Vote: Approval of Meeting Minutes - July 26, 2021**
4. **Members Vote: Approval of Meeting Minutes - October 5, 2021**
5. **Members Vote: Approval of Decision for 20-20A Lafayette Street**
6. **Members Vote: Approval of Decision for 24 Ottawa Road**

7. **Members Vote: Approval of Decision for 43 Foxmeadow Lane**
8. **Members Vote: Approval of Decision for 18 Heard Road**

#### **Hearings**

9. **Docket # 3666: 14-16 Egerton Road**
10. **Docket # 3670: 5 Cheviot Road**
11. **Docket # 3674: 9-11 Adams Street**
12. **Docket # 3672: 43 Cutter Hill Road**
13. **Docket # 3668: 125-127 Webster Street**

#### **Meeting Adjourn**



## Town of Arlington, Massachusetts

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**Docket # 3666: 14-16 Egerton Road**

**ATTACHMENTS:**

Type	File Name	Description
▣ Reference Material	ZBA_Package__14-16_Egerton_Road_(2).pdf	ZBA Package, 14-16 Egerton Road (2)
▣ Memorandum	3666_14-16_Egerton_Rd.pdf	DPCD Memo re: 3666 - 14-16 Egerton Rd



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

#### LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Sean Lyons** of Arlington, Massachusetts on August 20, 2021, a petition seeking permission to alter his property located at **14-16 Egerton Road - Block Plan 003.0-0002-0027.0** Said petition would require two (2) Special Permits under **Section 8.1.3 (B) and Section 6.1.10 (A)** respectively of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening October 12, 2021 at 7:30 P.M or as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

**[https://town-arlington-ma-us.zoom.us/meeting/register/tZlsd-usrDgqHNAnU6BIRDmH\\_H6h9L-RPu5](https://town-arlington-ma-us.zoom.us/meeting/register/tZlsd-usrDgqHNAnU6BIRDmH_H6h9L-RPu5)** for documentation relating to this petition, visit the ZBA website at **[www.arlington.gov/zba](http://www.arlington.gov/zba)**.

**DOCKET NO 3666**

**Zoning Board of Appeals**  
**Christian Klein, RA, Chair**

Please direct any questions to: **[ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)**





BOARD OF APPEALS  
**Town of Arlington**  
Arlington, Massachusetts 02476

51 Grove Street  
Telephone (781) 316-3396

**Administrators note regarding 14 – 16 Egerton Road.**

The Applicant is seeking two Special Permits.

He would like to increase the Gross Floor Area by way of a 28' dormer and add some living space in the basement as well.

The lot lacks sufficient Usable Open Space and a Special Permit would be required to extend the non-conformity.

In addition, he would like to install a second driveway as shown on the plot plan.

This would also require a Special Permit.

**TOWN OF ARLINGTON**  
 Dimensional and Parking Information  
 For Applications to the Zoning Board of Appeals

1. Property Location: 14-16 Egerton Road Zoning District: R-2
2. Present Use/Occupancy: Two Family No. of dwelling units 2
3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
2740 Sq. Ft.
4. Proposed Use/Occupancy: Two Family No. of dwelling units 2
5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
3485 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	4500	4500	min. 6000
7. Frontage (Ft.)	50'	50'	min. 60'
8. Floor area ratio	NA	NA	max. —
9. Lot Coverage (%)	34.02 <sup>65</sup>	34.02 <sup>65</sup>	max 35 %
10. Lot Area per Dwelling Unit (Sq. Ft.)	NA	NA	min. —
11. Front Yard Depth (Ft.)	14.1'	14.1'	min. 20'
12. Left Side Yard Depth (Ft.)	5.7'	5.7'	min. 10'
13. Right Side Yard Depth (Ft.)	14.5'	14.5'	min. 10'
14. Rear Yard Depth (Ft.)	22'	22'	min. 20'
15. Height (Stories)	2.5	2.5	max. 2.5
16. Height (Ft.)	33'	33'	max. 35'
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	660 <sup>4</sup>	660 <sup>45</sup>	10 %
17A. Landscaped Open Space (% of GFA)	24.09%	18.94%	min.
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	0	0	
18A. Usable Open Space (% of GFA)	0	0	min. 30 %
19. Number of Parking Spaces	3	4	min. 2
20. Parking area setbacks (if applicable)	NA	NA	min.
21. Number of Loading Spaces (if applicable)	NA	NA	min.
22. Type of construction	5	5	N/A
23. Slope of proposed roof(s) (in. per ft.)	> 3/12	> 3/12	min. 2/12

**TOWN OF ARLINGTON**  
 Open Space / Gross Floor Area Information  
 For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 14-16 ELBERTON RD Zoning District: R-2

<b>OPEN SPACE*</b>	<b>EXISTING</b>	<b>PROPOSED</b>
Total lot area	<u>4500</u>	<u>4500</u>
Open Space, Usable	<u>0</u>	<u>0</u>
Open Space, Landscaped	<u>660 # 24.09 %</u>	<u>660 # 18.94 %</u>

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

**GROSS FLOOR AREA (GFA) †**

Accessory Building	<u>NA</u>	<u>NA</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>0</u>	<u>585</u>
1 <sup>st</sup> Floor	<u>1170</u>	<u>1170</u>
2 <sup>nd</sup> Floor	<u>1170</u>	<u>1170</u>
3 <sup>rd</sup> Floor	<u>          </u>	<u>          </u>
4 <sup>th</sup> Floor	<u>          </u>	<u>          </u>
5 <sup>th</sup> Floor	<u>          </u>	<u>          </u>
Attic (greater than 7'-0" in height, excluding elevator machinery; or mechanical equipment)	<u>400</u>	<u>560</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u>          </u>	<u>          </u>
All weather habitable porches and balconies	<u>          </u>	<u>          </u>
<b>Total Gross Floor Area (GFA)</b>	<u>2740 #</u>	<u>3485 #</u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

**REQUIRED MINIMUM OPEN SPACE AREA**

Landscaped Open Space (Sq. Ft.)	<u>274 #</u>	<u>348 #</u>
Landscaped Open Space (% of GFA)	<u>24.09 %</u>	<u>18.94 %</u>
Usable Open Space (Sq. Ft.)	<u>822 #</u>	<u>1045 #</u>
Usable Open Space (% of GFA)	<u>0</u>	<u>0</u>

This worksheet applies to plans dated 7-16-21 designed by Roscoe

Reviewed with Building Inspector: RJV Date: 10-3-21

**REQUEST FOR SPECIAL PERMIT**

**TOWN OF ARLINGTON**

In the matter of the Application of Sean Lyons, 14-16 Egerton Road  
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

Two (2) Special Permit Requests  
Section 8.1.3 (B) Lack of Usable Open Space  
Section 6.1.10 (A) Request For Second Driveway

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 14-16 Egerton Road with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

Addition Living Space is desired. Due to Usable Open Space Restrictions A Special Permit is Required.  
A Second Driveway is desired for Safety and Convenience

E-Mail: Lyons@lyonsfcl.com Signed: Sean Lyons Date: 10-1-21  
Telephone: 781 697 5853 Address: 6 Dooly Ct, Arlington

**Special Permit Criteria:** Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board's determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

The Use is Allowed By Right. This Property Will  
Remain A Two Family Dwelling.

B). Explain why the requested use is essential or desirable to the public convenience or welfare.

The Second Dwelling Will Be Safe And  
More Convenient

C). Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.

No Change, Use Is The Same

D). Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.

No Change, Use Is The Same

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

Use will remain a Two Family Dwelling

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

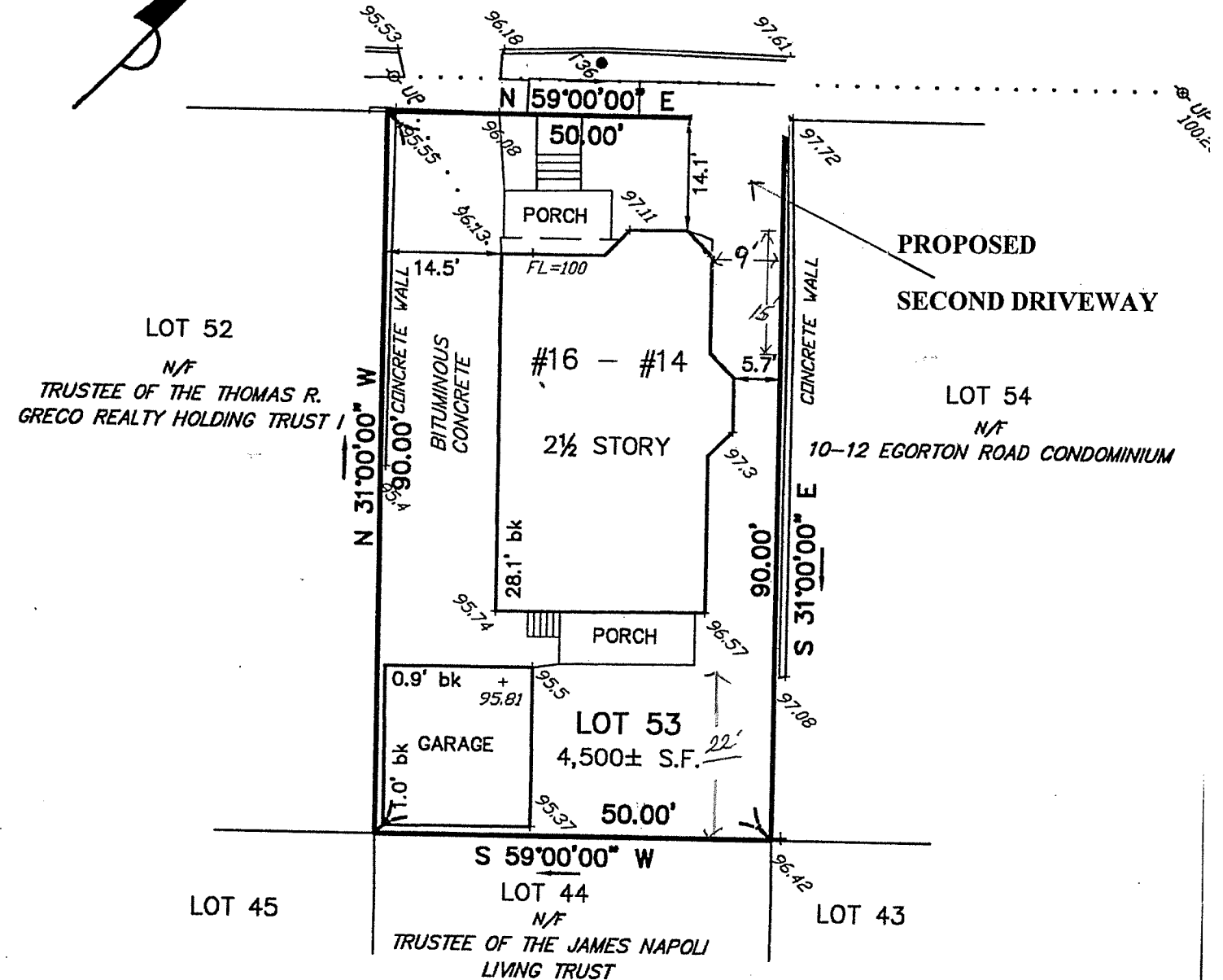
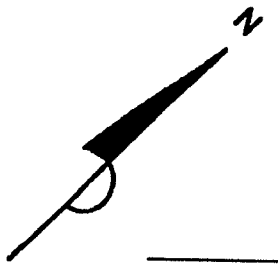
Proposed use will blend with the neighborhood

G). Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.

There is no proposed change in use.

BRENDEN 781 648 0388

# EGERTON ROAD



I HEREBY CERTIFY THAT THE BUILDING IS LOCATED AS SHOWN.

PREPARED FOR: SEAN LYONS

**PROPOSED PLOT PLAN**  
**#14-16 EGERTON ROAD**  
 IN  
**ARLINGTON, MA**  
 (MIDDLESEX COUNTY)

SCALE: 1" = 20'    DATE: 6/1/2021



**ROBER SURVEY**  
 1072A MASSACHUSETTS AVENUE  
 ARLINGTON, MA 02476  
 (781) 648-5533 of 109  
 6473PP1.DWG

CLIFFORD E. ROBER, PLS    DATE  
 THIS PLAN MAY HAVE BEEN ALTERED IF  
 THE SIGNATURE IS NOT SIGNED IN BLUE.

# Proposed Renovation 14-16 Egerton Road Arlington, MA

Brendan  
781-697-5853

Proposed Renovation  
14-16 Egerton Road  
Arlington, MA

DATE: 09/06/20  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

## DRAWING INDEX

T-1	COVER SHEET
D-1	DEMO PLANS
A-1	PROPOSED PLANS
A-2	PROPOSED PLANS
A-3	PROPOSED ELEVATIONS
S-1	ROOF FRAMING PLAN
S-2	CONSTRUCTION DETAILS
S-3	FRAMING DETAILS



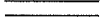
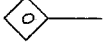




## SCOPE OF WORKS

PROPOSED RENOVATION OF EXISTING 2 FAMILY HOUSE.  
REMOVE / REVENT EXISTING CHIMNEY RENOVATE BOTH  
KITCHENS AND BATHROOMS AND INSTALL NEW SHED  
DORMER ON THE THIRD FLOOR. NEW FRONT PORCH ON  
NEW SONOTUBE FOOTINGS.

## GENERAL NOTES

1. THE CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
3. ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
4. ALL ELECTRICAL & PLUMBING WORKS SHALL BE PERFORMED BY LICENSE ELECTRICIAN & LICENSE PLUMBER IN PERFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE.
5. PRIOR TO SUBMITTING A BID, THE GENERAL CONTRACTOR SHALL VISIT AND THOROUGHLY AQUATINTED WITH THE PROJECT.
6. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
7. THE CONTRACTOR SHALL MAKE APPLICATION FOR ALL UTILITIES AND SERVICES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF HIS WORK. KEEP THE SITE CLEAR FOR ACCESS BY THE OWNER AND HIS FORCES DURING THE COURSE OF THE JOB.
9. THE CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT WHEN THE WORK IS READY FOR A FINAL PUNCH LIST.
10. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
11. THE CONTRACTOR SHALL WARRANTEE HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.
12. DESIGN: IT IS INCUMBENT UPON THE CONTRACTOR TO BUILD THE PROJECT AS DESIGNED. ATTENTION SHOULD BE PAID TO THE DETAILS AS WELL AS THE OVERALL DESIGN. IF THERE ARE ANY QUESTIONS OR CHANGES TO BE MADE TO THE DESIGN THE ARCHITECT IS TO BE NOTIFIED BEFORE SAID CHANGES ARE MADE.

## GRAPHIC SYMBOL LEGEND

	NEW WALL TO BE CONSTRUCTED
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	PARTITION TYPE
	DOOR SYMBOL
	WINDOW SYMBOL
	SMOKE DETECTOR
	SECTION DETAIL REFERENCE

**SMOKE/CO/HEAT  
DETECTORS ALL  
HARDWIRED AND  
INTERCONNECTED  
PER CODE**

**ARLINGTON FIRE DEPT.  
REVIEWED: *RPM*  
DATE: *4-8-21***

**H AZEIH AZEIH P.E.**  
PROFESSIONAL ENGINEERING  
47 Manfield Street  
Everett, MA 02149  
(857) 312 9212



REVISION:      DATE:

DRAWING TITLE:

COVER PAGE

SHEET NUMBER:

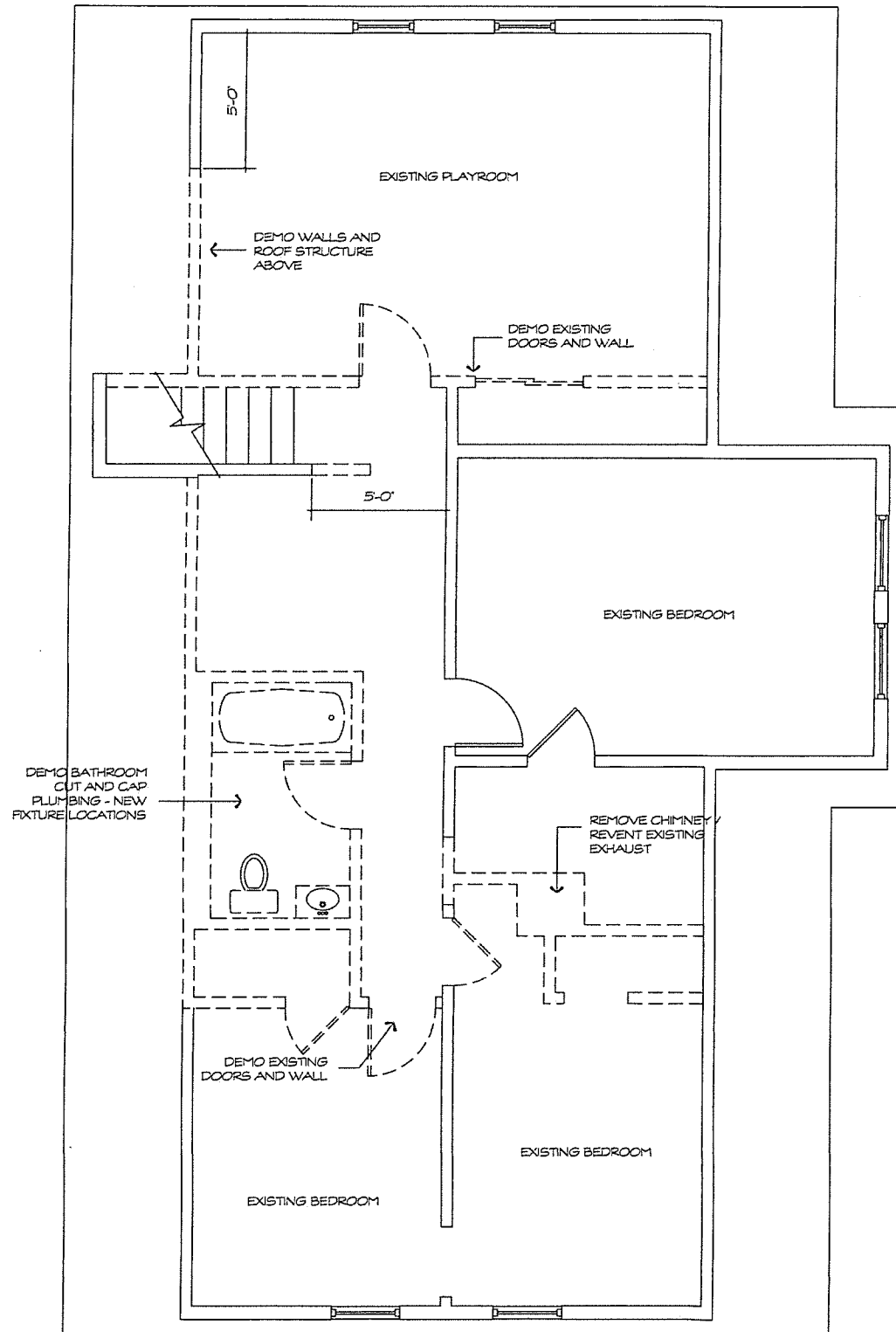
**T-1**



**DEMOLITION NOTES**

1. REMOVE EXISTING FINISHES, INCLUDING BUT NOT LIMITED TO: CARPET, CERAMIC TILE, RESILIENT FLOORING, BASE AND WALL COVERINGS WHERE INDICATED AND AS REQUIRED. PREPARE SURFACES TO RECEIVE NEW FINISHES.
2. REMOVE EXISTING DOORS, FRAMES, STANDING AND RUNNING TRIM, EQUIPMENT, ACCESSORIES AND CASEWORK. PATCH FLOOR, WALLS AND CEILINGS AS REQUIRED TO RECEIVE NEW FINISHES.
3. REMOVE EXISTING PLUMBING FITTINGS WHERE APPLICABLE.
4. REMOVE ALL EXISTING ELECTRICAL DISTRIBUTION, RECEPTACLES AND FIXTURE WHERE APPLICABLE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF HIS WORK. KEEP THE SITE CLEAR FOR ACCESS BY THE OWNER AND HIS FORCES DURING THE COURSE OF THE JOB.
6. SHORING & BRACING ARE REQUIRED PRIOR TO ANY BEARING WALLS TO BE REMOVED. PROPERLY SHORE & BRACE ALL BEARING WALLS AS REQUIRED WHICH ARE TO BE REMOVED.
7. LEGALLY DISPOSE OF ALL DEBRIS.

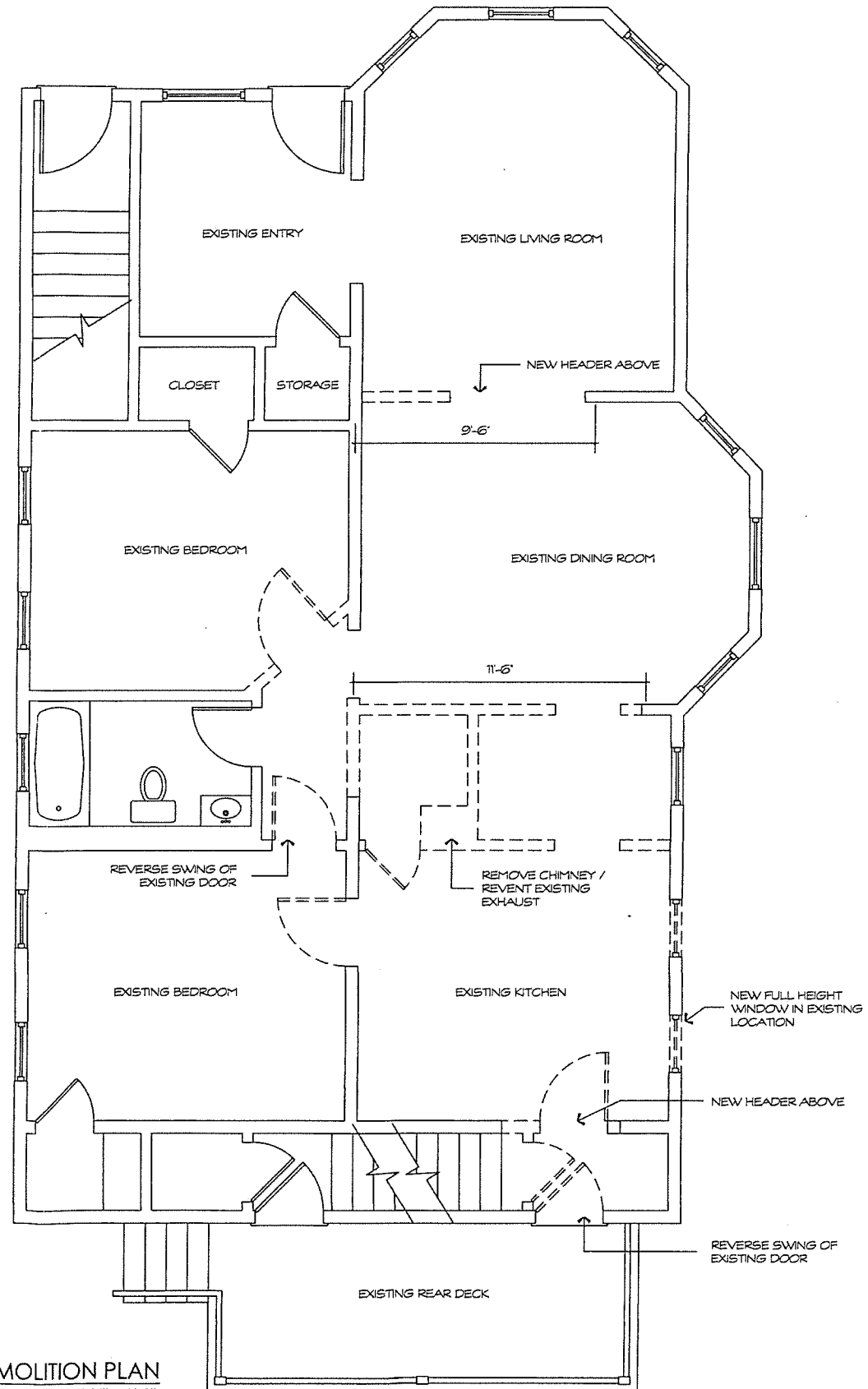
NOTE: ONCE DEMOLITION IS COMPLETED, THE CONTRACTOR IS TO REVIEW ALL EXISTING STRUCTURE AND REPORT ANY CONDITIONS THAT SEEM PROBLEMATIC.



**THIRD FLOOR DEMO PLAN**  
SCALE: 1/4" = 1'-0"

13 of 109

**TYPICAL DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"



Proposed Renovation  
14-16 Egerton Road  
Arlington, MA

DATE: 09/06/20  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

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PROFESSIONAL ENGINEERING  
47 Manfield Street  
Everett, MA, 02149  
(857) 512 9212

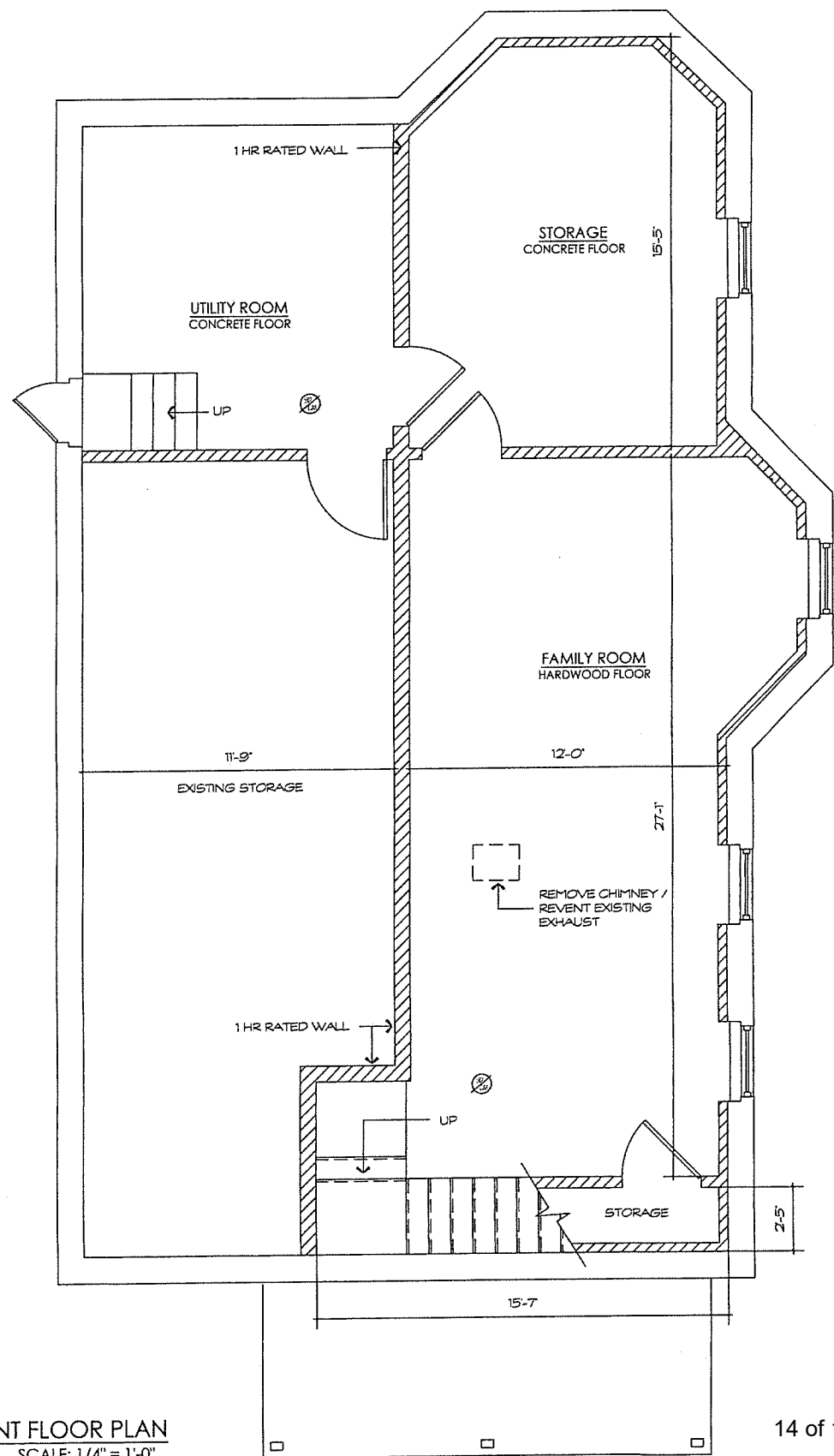


REVISION:      DATE:

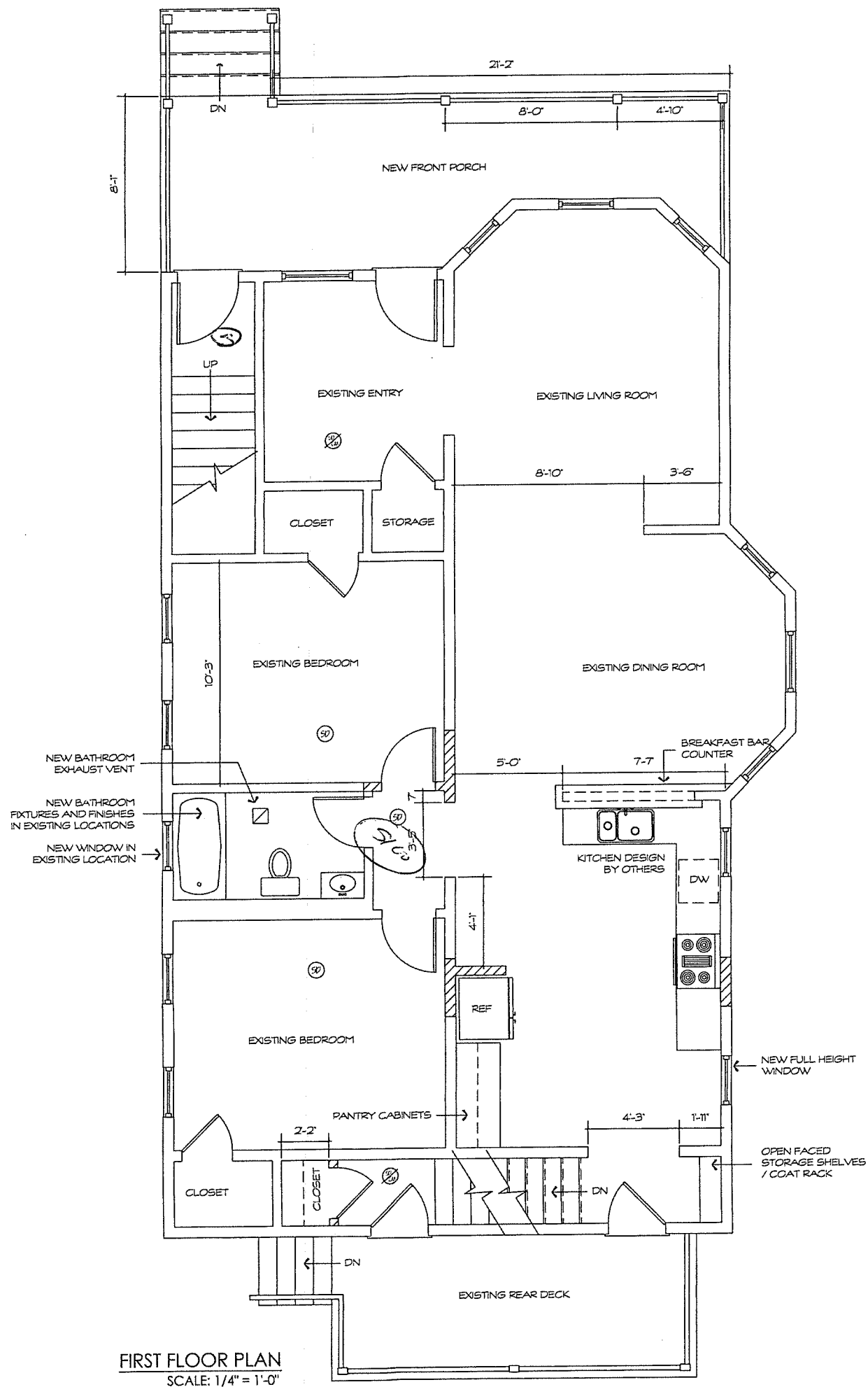
DRAWING TITLE:  
**DEMOLITION PLANS, NOTES,**

SHEET NUMBER:

**D-1**



**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

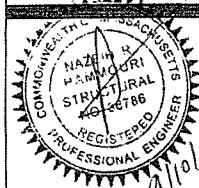


**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

Proposed Renovation  
14-16 Egerton Road  
Arlington, MA

DATE: 09/06/20  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

**N AZEH HAMMOURI P.E.**  
PROFESSIONAL ENGINEERING  
47 Manfield Street  
Everett, MA 02149  
(857) 312 9212



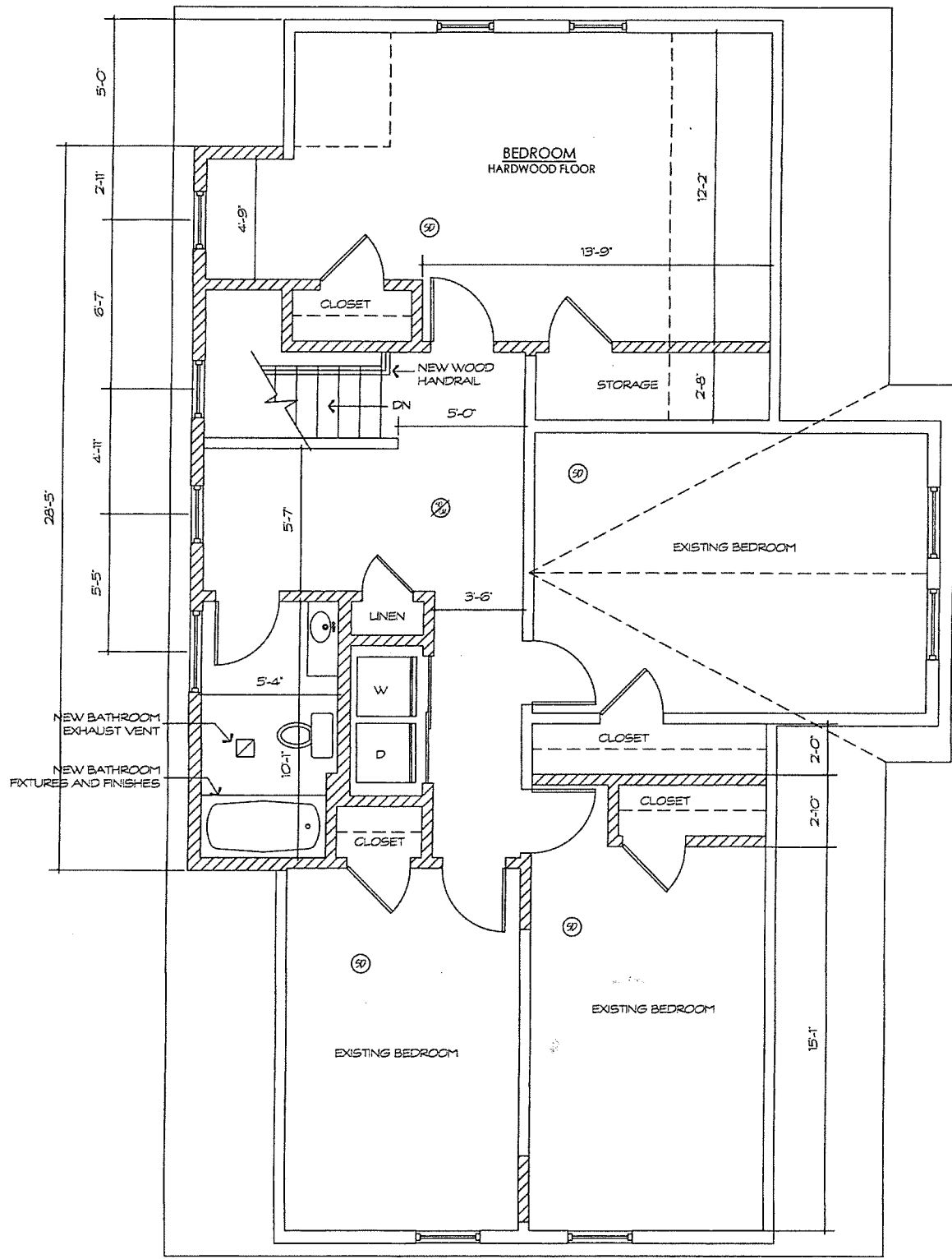
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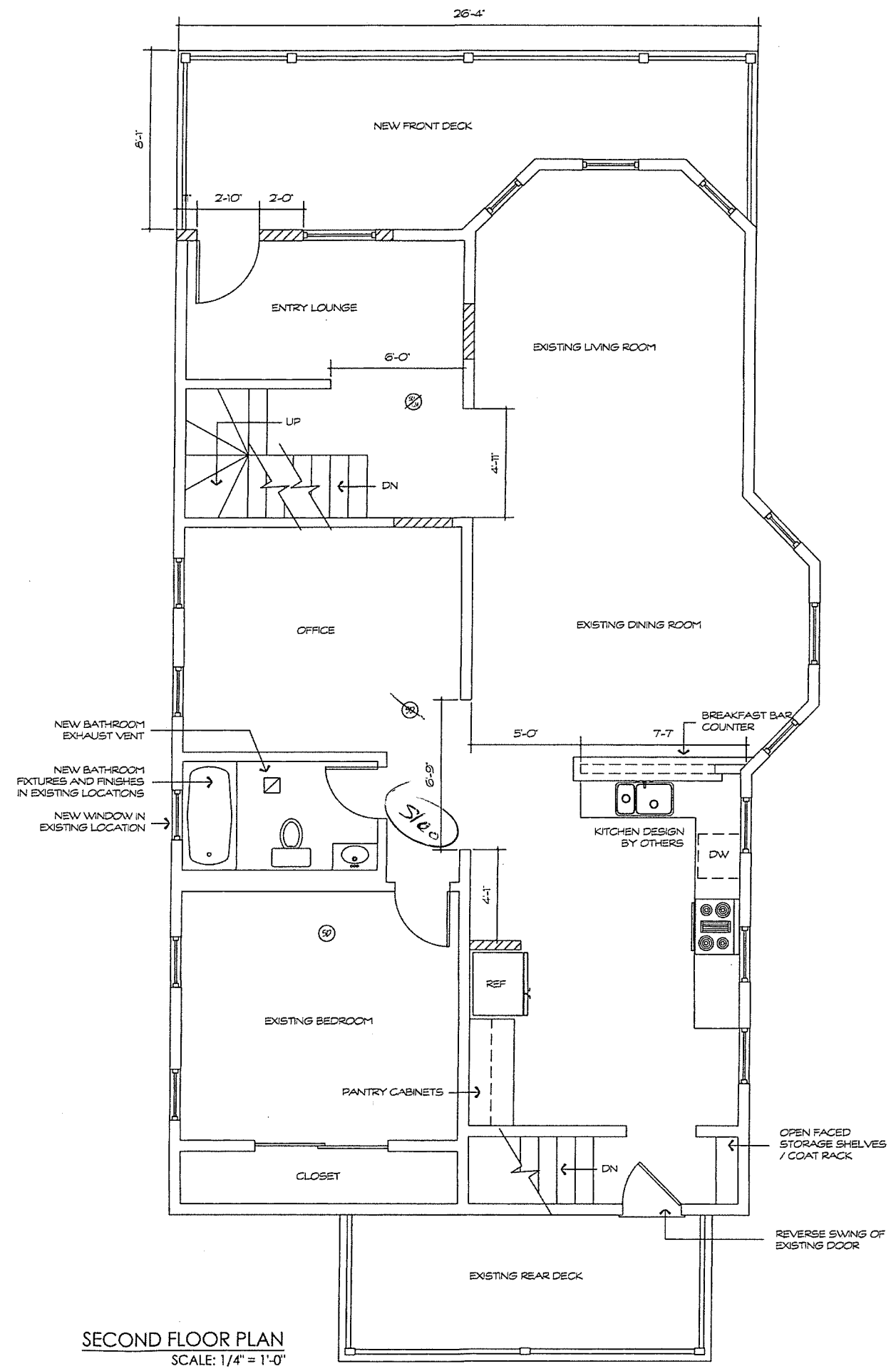
PROPOSED PLANS

SHEET NUMBER:

**A-1**



THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"

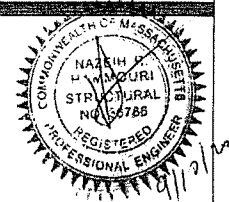


SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

Proposed Renovation  
14-16 Egerton Road  
Arlington, MA

DATE: 09/06/20  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

**HAZEH AMMOURI P.E.**  
PROFESSIONAL ENGINEERING  
47 Manfield Street  
Everett, MA 02149  
(857) 312-9212



REVISION:      DATE:

DRAWING TITLE:

FLOOR PLANS

SHEET NUMBER:

**A-2**

Proposed Renovation  
 14-16 Egerton Road  
 Arlington, MA

DATE: 09/06/20  
 SCALE: AS NOTED  
 DRAWN BY: SK  
 CHECKED BY: NRH

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 PROFESSIONAL ENGINEERING  
 47 Manfield Street  
 Everett, MA 02149  
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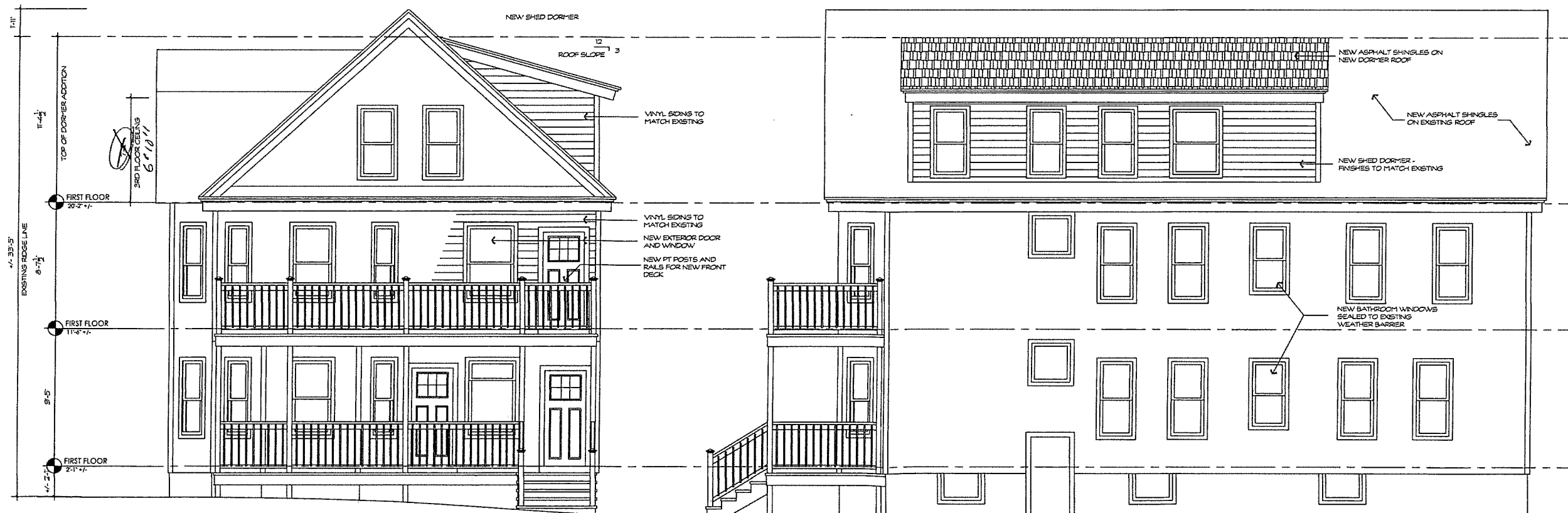
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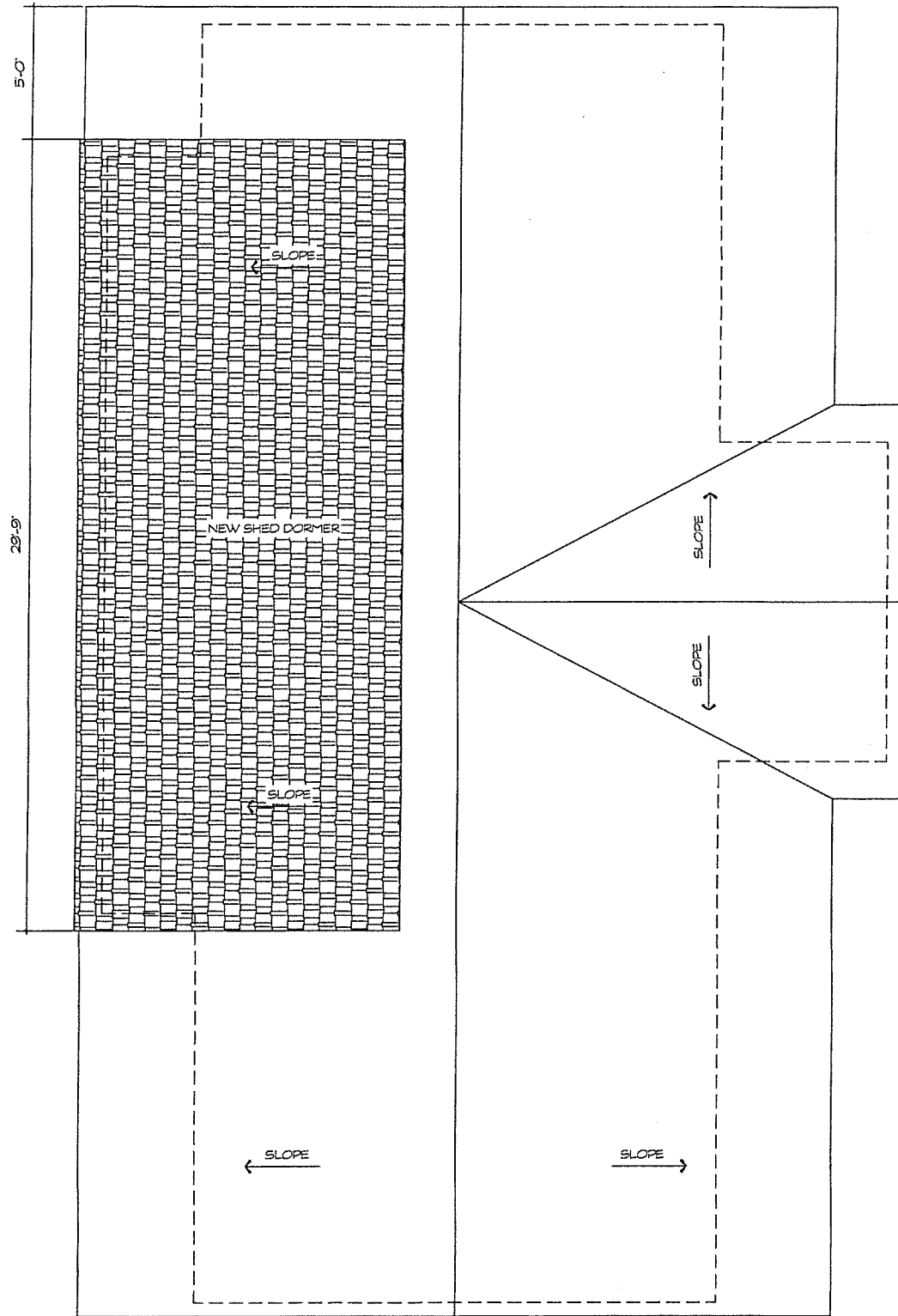
DEMOLITION PLANS,  
 NOTES,

SHEET NUMBER:

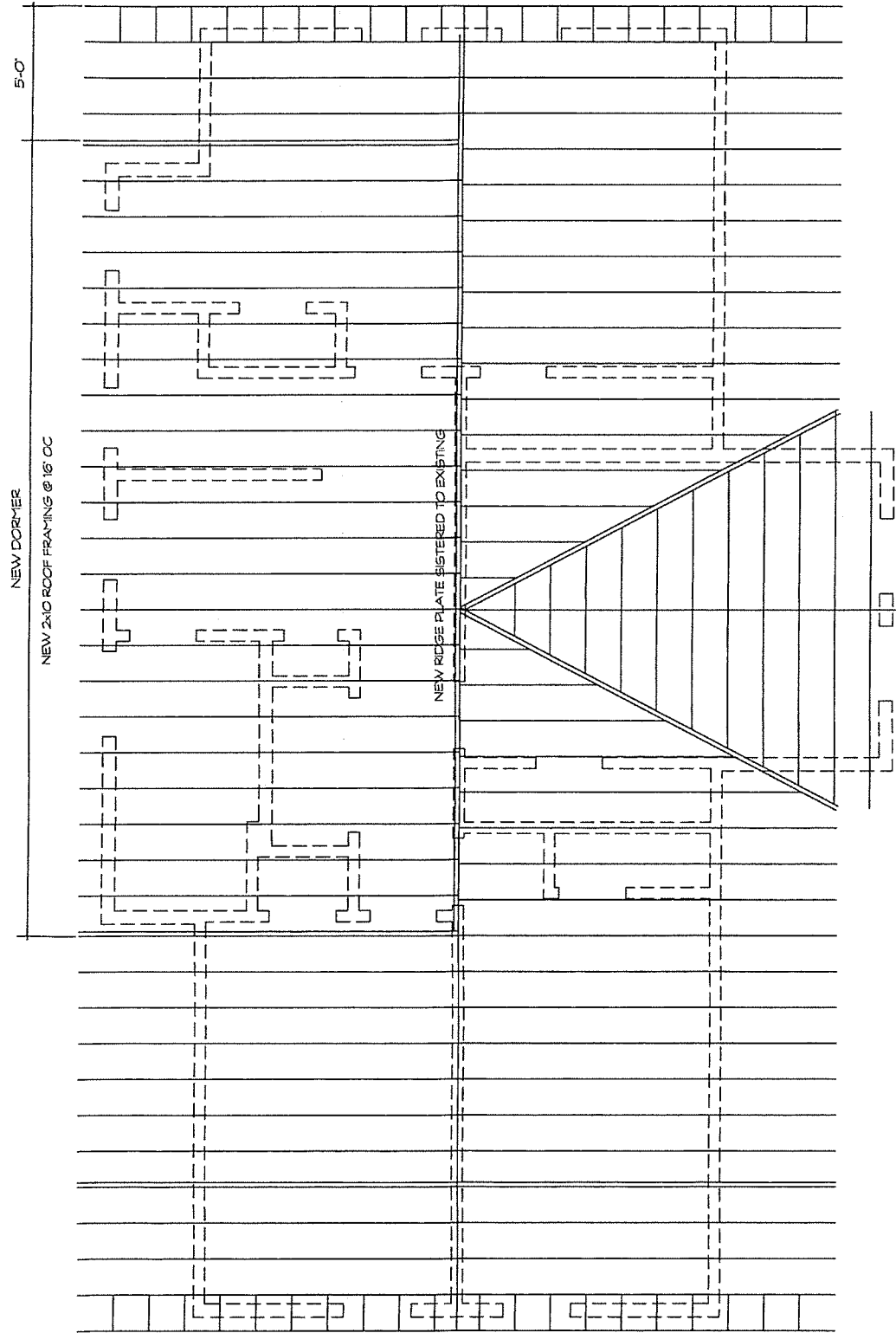
**A-3**



THIRD FLOOR DEMO PLAN  
 SCALE: 1/4" = 1'-0"



ROOF PLAN  
SCALE: 1/4" = 1'-0"

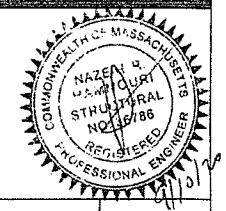


ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

Proposed Renovation  
14-16 Egerton Road  
Arlington, MA

DATE: 09/06/20  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

**N** AZEIH **H** AMMOURI P.E.  
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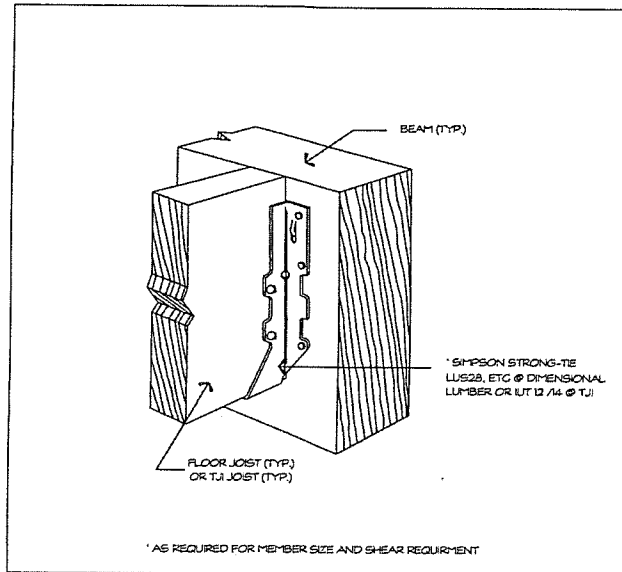
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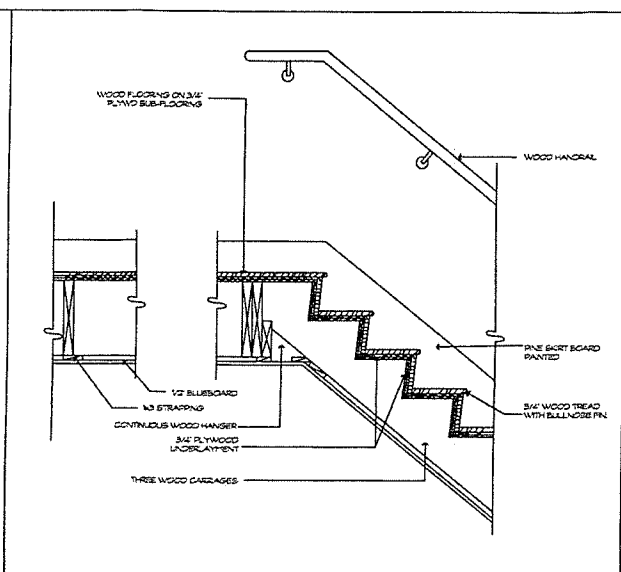
DEMOLITION PLANS,  
NOTES,

SHEET NUMBER:

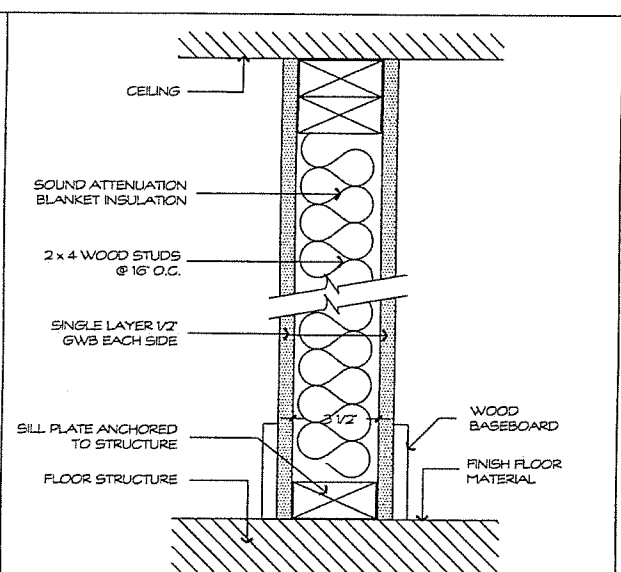
**S-1**



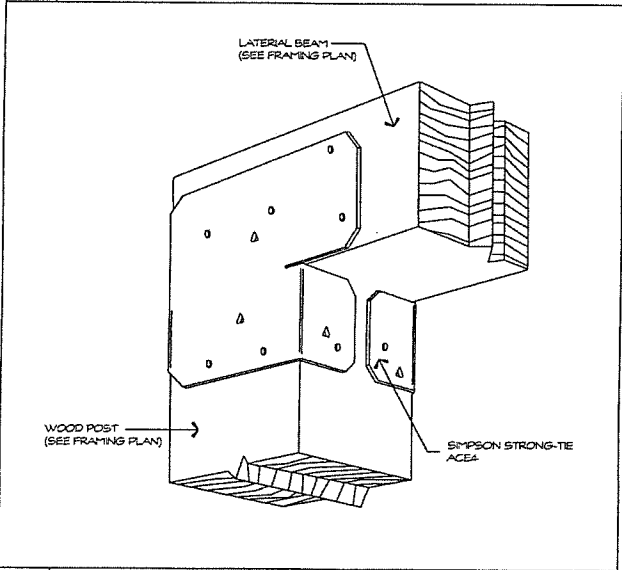
**D** JOIST HANGER DETAIL - FLUSH MOUNT HANGER  
SCALE: NTS



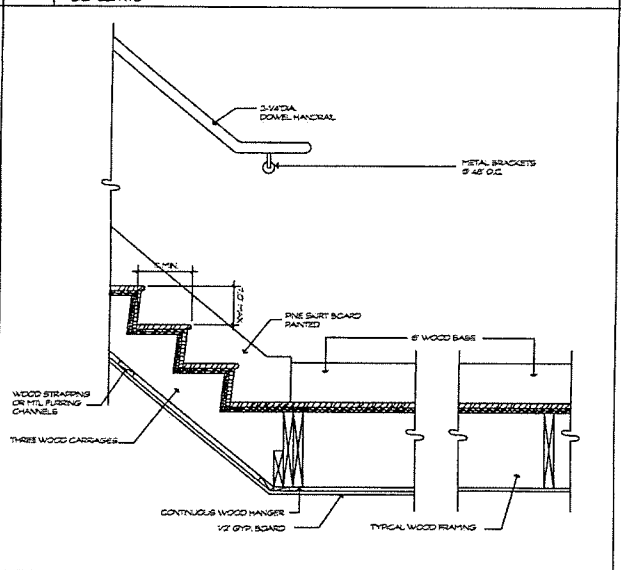
**A** HURRICANE TIE DETAIL - H2.5 CLIP  
SCALE: NTS



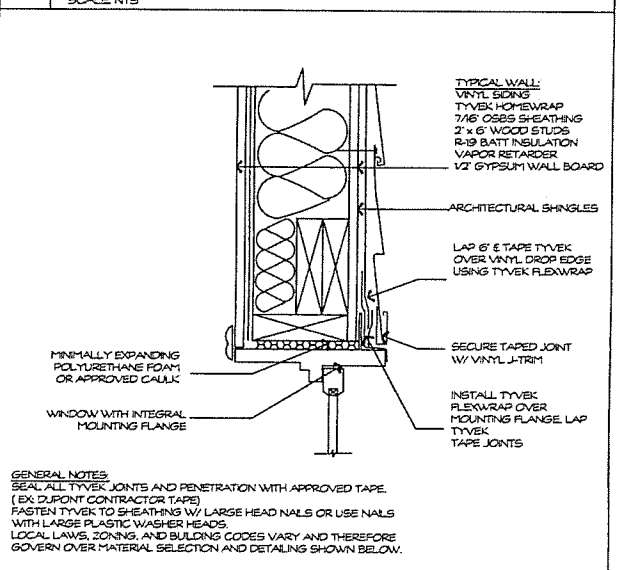
**O** PARTITION WALL DETAIL  
SCALE: NTS



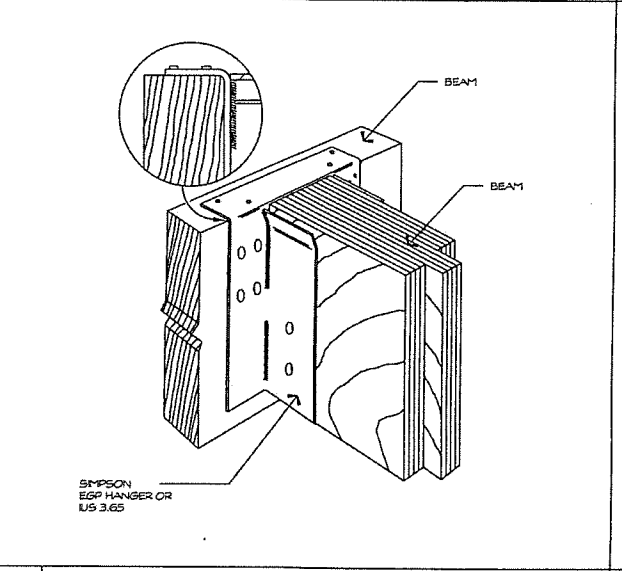
**E** POST CAP DETAIL - ACE4  
SCALE: NTS



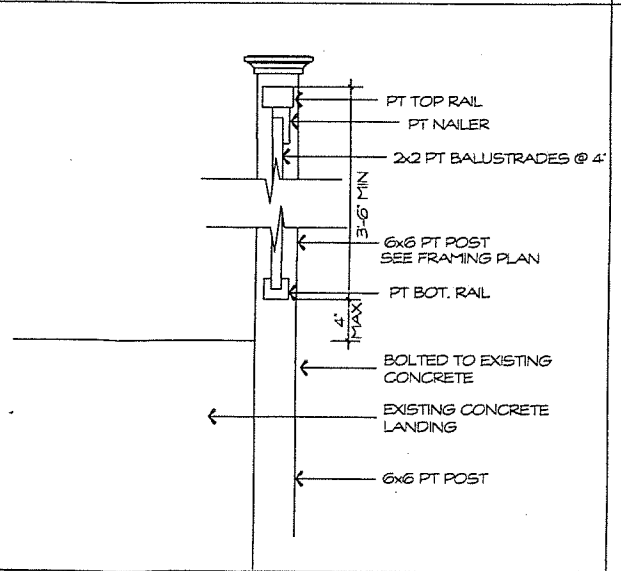
**B** RIDGE VENT DETAIL  
SCALE: NTS



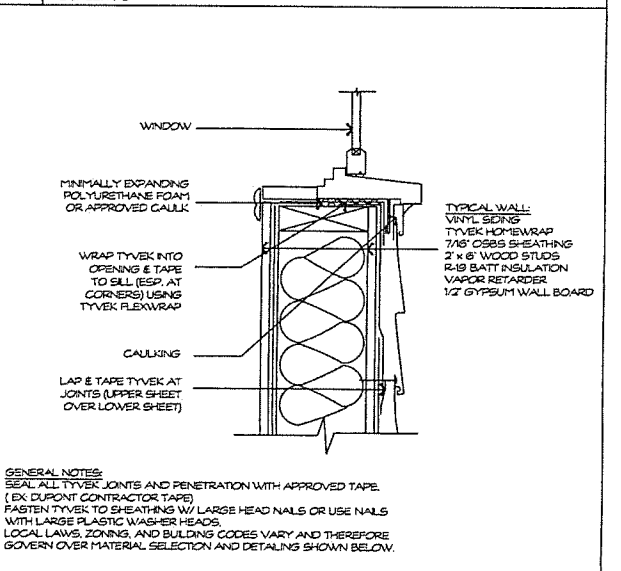
**1** WINDOW HEAD DETAIL  
SCALE: NTS



**F** SIMPSON EGP BEAM HANGER  
SCALE: NTS



**C**



**2** WINDOW SILL DETAIL  
SCALE: NTS

Proposed Renovation  
14-16 Egerton Road  
Arlington, MA

DATE: 09/06/20  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

**N** AZEIH  
**H** AMMOURI, P.E.  
PROFESSIONAL ENGINEERING  
47 Manfield Street  
Everett, MA 02149  
(857) 312 9212



REVISION:	DATE:

DRAWING TITLE:

CONSTRUCTION  
DETAILS

SHEET NUMBER:

**S-2**

**STRUCTURAL NOTES**

**GENERAL**

1. ALL DESIGN AND CONSTRUCTION REQUIRED OF THE CONTRACTORS BY THE CONTRACT DOCUMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ADOPTED STATE AND LOCAL BUILDING CODES AND OSHA REGULATIONS, SUPPLEMENTED BY THE CONTRACT DOCUMENTS. THE GOVERNING BUILDING CODE USED IN THE STRUCTURAL DESIGN IS THE MASSACHUSETTS BUILDING CODE 9th EDITION WITH THE LATEST ADOPTED AMENDMENTS AND SUPPLEMENTS.
2. STRUCTURAL CONTRACT DOCUMENTS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, EQUIPMENT AND SITE CONTRACT DOCUMENTS, THE PROJECT SPECIFICATIONS AND THE SHOP DRAWINGS.
3. ALL DIMENSIONS, ELEVATIONS AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
4. UNLESS OTHERWISE NOTED, DETAILS, SECTIONS AND NOTES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.

**SHOP DRAWINGS**

1. SUBMIT SHOP DRAWINGS, REVIEWED AND APPROVED BY THE GENERAL CONTRACTOR, FOR CONCRETE AND GROUT MIX DESIGNS, CONCRETE AND MASONRY REINFORCING, STRUCTURAL STEEL, AND WOOD TRUSSES SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE FABRICATION, MANUFACTURE, DELIVERY AND ERECTION CAN PROCEED.

**CAST-IN-PLACE CONCRETE**

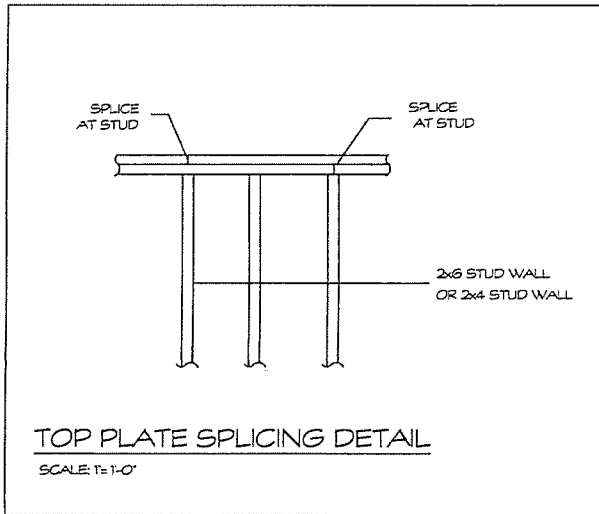
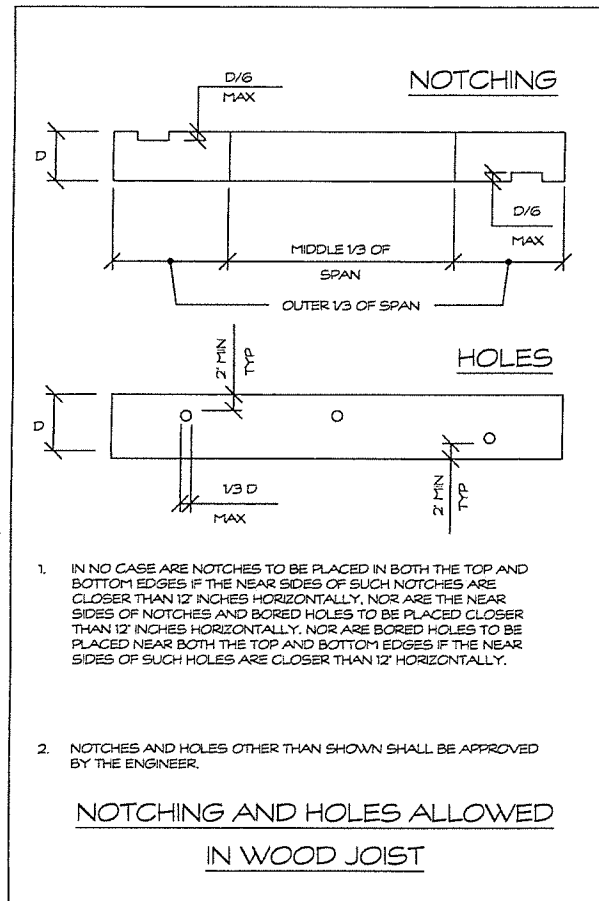
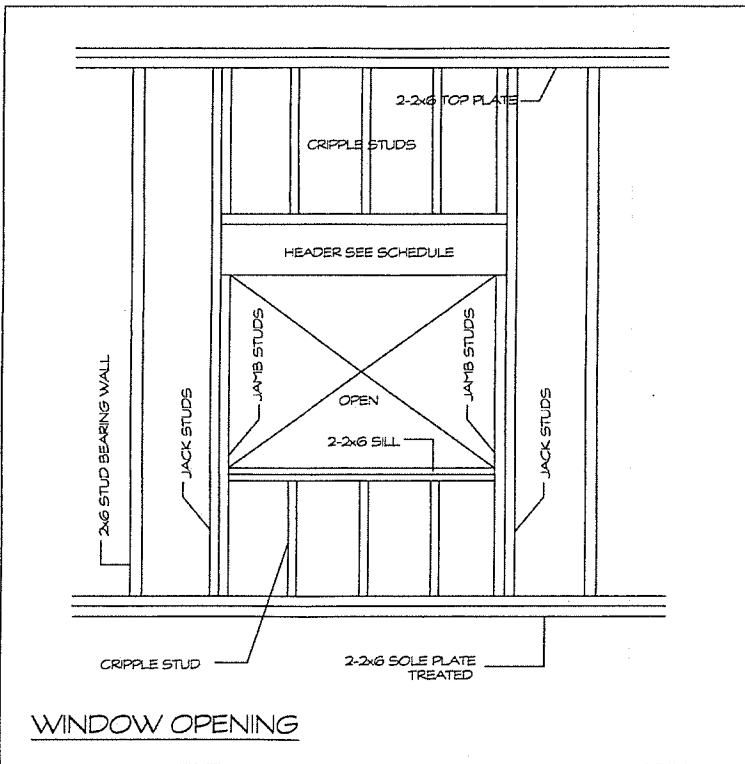
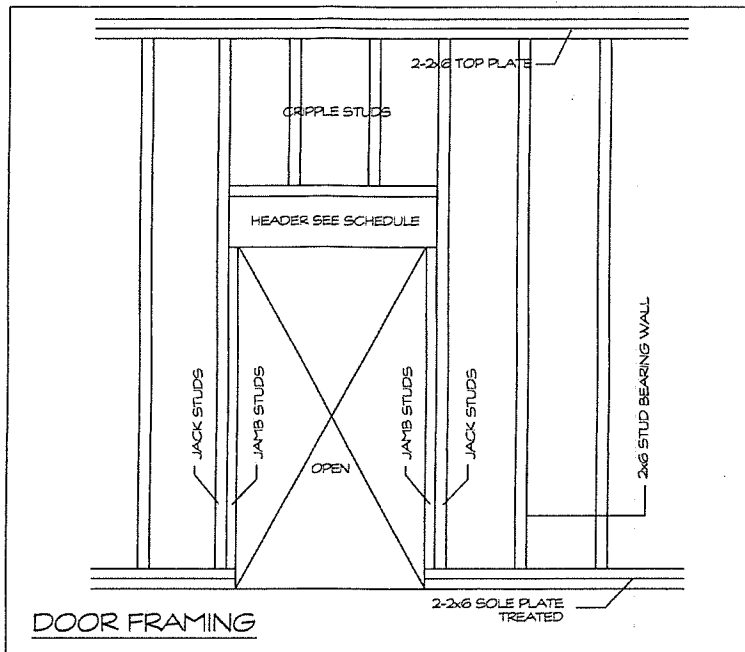
1. ALL CONCRETE SHALL BE READY MIX COMPLYING WITH THE REQUIREMENTS OF ASTM C94, AND SHALL BE NORMAL WEIGHT AND ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT THE END OF 28 DAYS AS DETERMINED BY ASTM C39.

**CONCRETE AND MASONRY REINFORCING**

1. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60. ALL WELDED WIRE MESH (WWM) SHALL BE SMOOTH BARS CONFORMING TO ASTM A185.

**CONVENTIONAL WOOD FRAMING**

1. ALL SAWN LUMBER FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR WITH THE FOLLOWING MINIMUM GRADES:
  - A. JOISTS, RAFTERS, SOLID AND BUILT-UP BEAMS, WALL STUDS AND LINTELS; NO. 1& NO.2 GRADE.
  - B. SILLS AND PLATES; STUD GRADE.
  - C. SOLID WOOD POSTS; NO. 1 GRADE.
  - D. BRIDGING, BLOCKING AND NAILERS; STUD GRADE.
2. ALL "MICROLAM" MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
  - A.  $E = 2,000,000$  PSI
  - B.  $F_b = 2800$  PSI
  - C.  $F_t = 1850$  PSI
  - D.  $F_c$  (perpendicular) = 500 PSI
  - E.  $F_c$  (parallel) = 2700 PSI
  - F.  $F_v = 285$  PSI
3. UNLESS OTHERWISE NOTED, ALL NAILING AND FASTENING SHALL BE IN ACCORDANCE WITH TABLE 2305.2, FASTENING SCHEDULE, 1993 BOCA BUILDING CODE.
4. WOOD SILLS BENEATH ALL INTERIOR AND EXTERIOR BEARING WALLS AND ALL MEMBERS EXPOSED TO WEATHER OR MOISTURE SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE 'AMERICAN WOOD PRESERVERS ASSOCIATION, STANDARD C1'.
5. ALL STUD WALLS, BEARING AND NON-BEARING, SHALL HAVE ONE ROW OF CONTINUOUS 2X SOLID BLOCKING BETWEEN STUDS AT MID-HEIGHT. BLOCKING SIZE TO MATCH STUD SIZE.
6. FRAMING MEMBERS SHALL NOT BE NOTCHED, CUT OR ALTERED IN THE FIELD WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.
7. ALL METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE HOT-DIPPED GALVANIZED METAL SHAPES AS MANUFACTURED BY 'SIMPSON STRONG-TIE COMPANY, INC.' AND BE ATTACHED BY THE GENERAL CONTRACTOR AS PER THE 'SIMPSON STRONG-TIE' SPECIFICATIONS.
8. ALL EXTERIOR WALL SHEATHING SHALL BE 5/8 INCH O. S. B. EXTERIOR SHEATHING.
9. ALL ROOF SHEATHING SHALL BE 5/8 INCH APA RATED PLYWOOD SHEATHING 32/16. USE EXPOSURE 1 PANELS, EXCEPT USE EXTERIOR PANELS FOR STARTER STRIPS ALONG EAVES AND WHEN LONG CONSTRUCTION DELAYS ARE ANTICIPATED. APPLY PANELS WITH FACE GRAIN PERPENDICULAR TO THE RAFTERS OR TRUSSES AND CONTINUOUS OVER TWO OR MORE SPANS. INSTALL PANEL CLIPS ALONG PANEL ENDS BETWEEN EACH RAFTER OR TRUSS. ATTACH PANELS WITH GLUE AND 6d RING OR SCREW SHANK NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTER-MEDIATE SUPPORTS.
10. LEAD HOLES FOR WOOD SCREWS AND LAG BOLTS SHALL BE DRILLED 7/8 OF THE SHANK DIAMETER FOR THE DEPTH OF SHANK EMBEDMENT AND 7/8 OF THE THREADED PORTION DIAMETER FOR THE DEPTH OF THE THREAD EMBEDMENT.



HEADER SCHEDULE AT INTERIOR BEARING WALLS (UNLESS OTHERWISE NOTED ON DRAWINGS)										INTERIOR WALLS
SPAN	SUPPORTING ROOF			SUPPORTING ROOF+ 1 FLOOR			SUPPORTING ROOF+ 2 FLOORS			
	HEADER	JACK	JAMB	HEADER	JACK	JAMB	HEADER	JACK	JAMB	
0'-0" TO 3'-0"	3-2x6	1-2x6	1-2x6	3-2x8	1-2x6	1-2x6	3-2x8	1-2x6	1-2x6	
3'-1" TO 5'-0"	3-2x10	1-2x6	1-2x6	3-2x12	2-2x6	1-2x6	3-2x12	2-2x6	3-2x6	
5'-1" TO 8'-0"	3-2x12	1-2x6	1-2x6	3-1 3/4X 7 1/4" ML	2-2x6	2-2x6	3-1 3/4X 9 1/2" ML	3-2x6	3-2x6	

HEADER SCHEDULE AT EXTERIOR BEARING WALLS (UNLESS OTHERWISE NOTED ON DRAWINGS)										EXTERIOR WALLS
SPAN	SUPPORTING ROOF			SUPPORTING ROOF+ 1 FLOOR			SUPPORTING ROOF+ 2 FLOORS			
	HEADER	JACK	JAMB	HEADER	JACK	JAMB	HEADER	JACK	JAMB	
0'-0" TO 3'-0"	3-2x6	1-2x6	1-2x6	3-2x8	1-2x6	1-2x6	3-2x8	1-2x6	1-2x6	
3'-1" TO 5'-0"	3-2x10	1-2x6	1-2x6	3-2x12	2-2x6	2-2x6	3-2x12	2-2x6	3-2x6	
5'-1" TO 8'-0"	3-2x12	1-2x6	2-2x6	3-1 3/4X 7 1/4" ML	2-2x6	2-2x6	3-1 3/4X 9 1/2" ML	3-2x6	3-2x6	

Proposed Renovation  
14-16 Egerton Road  
Arlington, MA

DATE: 09/06/20  
SCALE: AS NOTED  
DRAWN BY: SK  
CHECKED BY: NRH

**HAZEH AMMOURI P.E.**  
PROFESSIONAL ENGINEERING  
47 Manfield Street  
Everett, MA, 02149  
(857) 312-9212



REVISION: DATE:

DRAWING TITLE:

FRAMING DETAILS

SHEET NUMBER:

**S-3**



**TOWN OF ARLINGTON**  
DEPARTMENT OF PLANNING and  
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE  
ARLINGTON, MASSACHUSETTS 02476  
TELEPHONE 781-316-3090

**MEMORANDUM**

To: Zoning Board of Appeals  
From: Jennifer Raitt, Director, Dept. of Planning and Community Development/kl  
Date: 10/5/2021  
RE: Docket 3666 – 14-16 Egerton Rd; Special Permit under Zoning Bylaw Sections 8.1.3(B) (Nonconforming Single-Family or Two-Family Dwellings) and 6.1.10 (A) (Location of Parking Spaces)

---

The applicant, Sean Lyons, seeks a Special Permit in accordance with Sections 8.1.3(B) (Nonconforming Single-Family or Two-Family Dwellings) and 6.1.10 (A) (Location of Parking Spaces) of the Zoning Bylaw. The applicant seeks construct a half-story addition by expanding their existing attic with a shed dormer on the northeast side of the structure. The addition would increase the total square footage of the structure from 2,740 to 3,485 square feet (+745 square feet). It is unclear if addition meets the definition of a half story, as the applicant has not identified in the plans or elevations what proportion of the third story will have a height greater than seven feet.

The applicant also seeks to add a second driveway along Egerton Road to create a second driveway along the northeast side of the structure, although a site plan indicating the design, complete dimensional details, and total number of parking spaces to be added through the proposed parking area has not been provided.

The property is in the R2 Zoning District, and is nonconforming with the Zoning Bylaw's lot area, frontage, front and left side yard depths, and usable open space requirements. If the dimensions of the proposed half story exceed the dimensional requirements needed to meet the definition of a half story, the addition could create a new nonconformity in the maximum height in stories. No other existing nonconformities would be created or increased by this proposal.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted in the R2 Zoning District through the granting of a Special Permit if less than one half the floor area measured from the underside of the roof framing to the finished floor below has a clear height of 7 feet 0 inches or more. The applicant has not provided dimensional details that would indicate if the proposal meets this definition.

The proposed second driveway is permitted in the R2 Zoning District through the granting of a Special Permit.



Criterion #2: Public Convenience/Welfare

The proposal would provide additional living space. The second proposal would provide a second driveway for the property and create two distinct parking areas. It is unclear whether adding a second driveway along Egerton Road would present a hazard to pedestrian, bicycle, or vehicular safety.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

As mentioned in Criterion #2, it is unclear whether adding a second driveway along Egerton Road would present a hazard to pedestrian, bicycle, and vehicular safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

Shed dormer additions are prevalent throughout the area and along Egerton Road. Although not required by zoning, the applicant is encouraged to explore the potential for minor adjustments to the location of the dormer windows to align them with existing windows on the side façade or setting back the dormer further from the front façade so it is balanced with the projection on the northeast side of the structure.<sup>1</sup> These changes would improve the renovated structure's contribution to the existing streetscape.

Regarding the second driveway, it appears that the property at 19-21 Egerton Road has two driveways. The applicant has not provided information supporting the need for an additional parking space beyond what is provided by the existing driveway, which locates parking to the rear and side of the structure. By introducing a second paved area, the proposal creates a condition where in much of the front yard of the property would be paved, which is discouraged for aesthetic reasons and because it adds to the impermeable area on the property.<sup>2</sup>

Criterion #7: Detrimental Excess in Particular Use

This proposal would not cause any detrimental excesses.

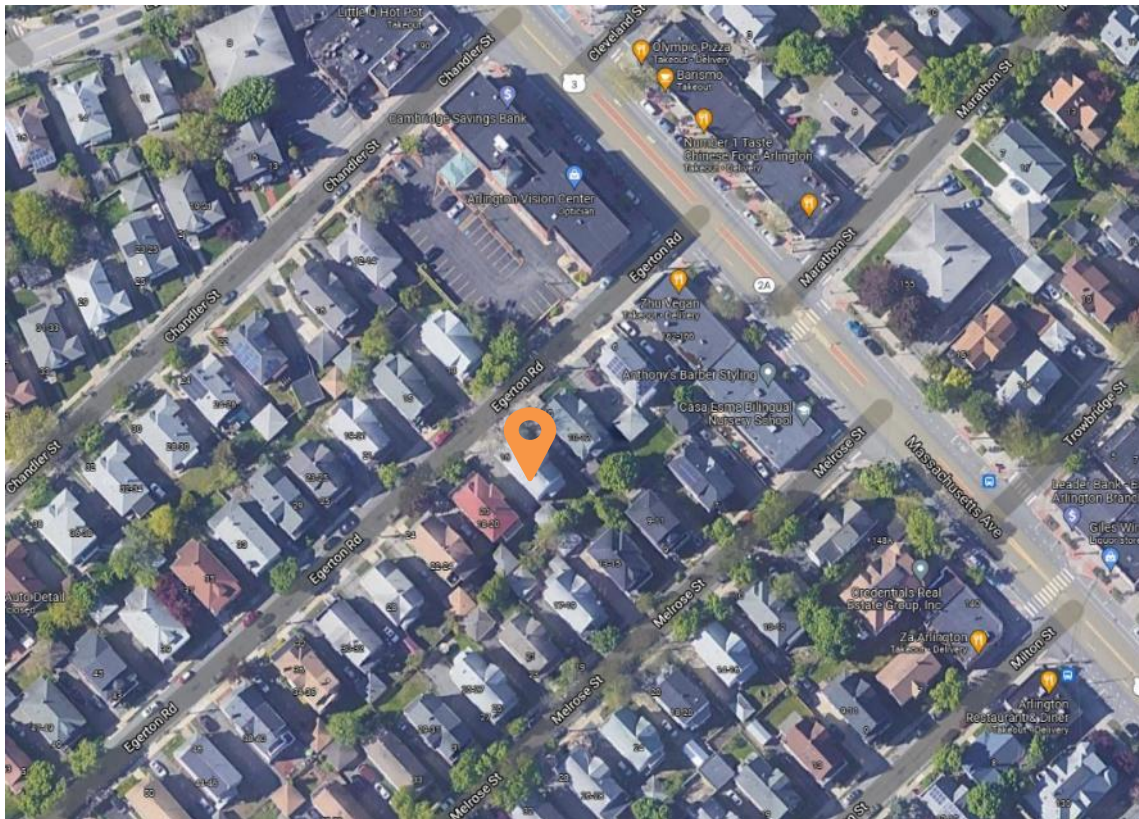
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<sup>1</sup> Residential Design Guidelines, Principle C-1, pg. 36.

<https://www.arlingtonma.gov/home/showpublisheddocument?id=54518>

<sup>2</sup> Residential Design Guidelines, Principle A-2 (pg. 18 and 21).

Below are on-street and aerial photos of the current building:



Recommendation:

The Department of Planning and Community Development (DPCD) recommends that the applicant consider the described aesthetic improvements to the plans. DPCD also recommends that the Zoning Board of Appeals requests details regarding the following:

- Details regarding the dimensions of the third story of the structure to ensure that the addition meets the Zoning Bylaw's definition of a half story.
- A site plan indicating location and dimensions of the proposed second parking area and curb cut, as well as identification of any existing landscaped or usable open space.

DPCD notes that the current structure meets the minimum number of parking spots required by the Zoning Bylaw and recommends that the applicant consider reconfiguring the existing parking area to provide additional spaces, should they be required.



## Town of Arlington, Massachusetts

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### Docket # 3670: 5 Cheviot Road

#### ATTACHMENTS:

Type	File Name	Description
▣ Reference Material	ZBA_Package__5_Cheviot_Road_(2).pdf	ZBA Package, 5 Cheviot Road (2)
▣ Memorandum	3670_5_Cheviot_Rd.pdf	DPCD Memo re: Docket 3670--5 Cheviot Rd



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

### LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Charlotte Nunez** of Arlington, MA. on August 26, 2021, a petition seeking permission to her property located at **5 Cheviot Road - Block Plan 075.0-0005-0002.0** Said petition would require a Special Permit under **Section 5.3.9 (A) (Projections into Minimum Yards)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening October 26, 2021 at 7:30 P.M or as soon thereafter as the petitioner may be heard.** To join the meeting, please register using the following URL: <https://town-arlington-ma-us.zoom.us/join/64868577909> for documentation relating to this petition, visit the ZBA website at [www.arlington.gov/zba](http://www.arlington.gov/zba).

**DOCKET NO 3670**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **[ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)**



**REQUEST FOR SPECIAL PERMIT**

**TOWN OF ARLINGTON**

In the matter of the Application of Porch Extension - 5 Cheviot Road, Arlington, MA 02474  
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

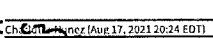
District Regulations, Section 5.3 – Dimensional Regulations Applicable in All or Multiple Districts

5.3.9. - Projections into Minimum Yards

B. Unenclosed steps, decks, and the like, which do not project more than 10 feet in the front yard, or more than five feet in the side yard beyond the line of the foundation wall may extend beyond the minimum yard regulations otherwise provided for the district in which the structure is built. Unenclosed steps, decks, and the like which do not project more than 10 feet into the required rear yard and are not closer to the lot line than half the size of the required yard, may extend beyond the minimum yard regulations otherwise provided for the district in which the structure is built

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 5 Cheviot Road, Arlington, MA 02474 with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

The Proposed porch renovation comprises of rebuilding the front portico and deck, so as to not encroach into the Front yard setback any further than the existing deck. The new porch extension is to match the existing design elements in scale and materials.

E-Mail: cnnunez@yahoo.com Signed:  Date: 8/17/21  
Telephone: 617-750-6214 Address: 5 Cheviot Rd Arlington, MA 02474

**Special Permit Criteria:** Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board's determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

District Regulations, Section 5.3 – Dimensional Regulations Applicable in All or Multiple Districts  
5.3.9. - Projections into Minimum Yards

B). Explain why *the requested use is essential or desirable to the public convenience or welfare.*

The proposed front porch extension strengthens the social relationship with the streetscape as a welcoming gesture.

C). Explain why *the requested use will not create undue traffic congestion,-or unduly impair pedestrian safety.*

The proposed porch extension reinforces the pedestrian experience of the neighborhood as well as opening up the front of the house as being more inviting.

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The proposed porch extension would not alter the existing drainage patterns within the property or the street.

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

There are no additional special regulations for the use. The provisions of Section 8 have been addressed.

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The porch extension would enhance the character of the district and neighborhood experience.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The proposed porch extension would not be detrimental to the character of the neighborhood, on the contrary, it would strengthen the neighborhood experience and reinforce a more pedestrian environment.



**TOWN OF ARLINGTON**  
 Open Space / Gross Floor Area Information  
 For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

**Address:** 5 Cheviot Road, Arlington, MA 02474 **Zoning District:** R1

<u><b>OPEN SPACE*</b></u>	<b>EXISTING</b>	<b>PROPOSED</b>
Total lot area	6,172 SQ. FT.	6,172 SQ. FT.
Open Space, Usable	3,548 SQ. FT.	3,192 SQ. FT.
Open Space, Landscaped	3,433 SQ. FT.	2,988 SQ. FT.

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

**GROSS FLOOR AREA (GFA) †**

Accessory Building	400 SQ. FT.	400 SQ. FT.
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	948 SQ. FT.	948 SQ. FT.
1 <sup>st</sup> Floor	948 SQ. FT.	948 SQ. FT.
2 <sup>nd</sup> Floor	768 SQ. FT.	768 SQ. FT.
3 <sup>rd</sup> Floor	-	-
4 <sup>th</sup> Floor	-	-
5 <sup>th</sup> Floor	-	-
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	-	-
Parking garages (except as used for accessory parking or off-street loading purposes)	-	-
All weather habitable porches and balconies	216 SQ.FT.	
<b>Total Gross Floor Area (GFA)</b>	<b>3,280 SQ. FT.</b>	<b>3,280 SQ. FT.</b>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

**REQUIRED MINIMUM OPEN SPACE AREA**

Landscaped Open Space (Sq. Ft.)	3,433 SQ. FT.	2,988 SQ. FT.
Landscaped Open Space (% of GFA)	55%	48%
Usable Open Space (Sq. Ft.)	3,548 SQ. FT.	3,192 SQ. FT.
Usable Open Space (% of GFA)	57%	52%

This worksheet applies to plans dated June 15, 2021 designed by PionArch LLC

Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_

**TOWN OF ARLINGTON**  
 Dimensional and Parking Information  
 For Applications to the Zoning Board of Appeals

1. Property Location: 5 Cheviot Road, Arlington, MA 02474 Zoning District: R1
2. Present Use/Occupancy: Single Family No. of dwelling units 1
3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
3,200 Sq. Ft.
4. Proposed Use/Occupancy: Single Family No. of dwelling units 1
5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
3,200 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	6,172 SQ. FT.	6,172 SQ. FT.	min. 6,000 SQ. FT.
7. Frontage (Ft.)	97'-0"	97'-0"	min. 60'-0"
8. Floor area ratio	.53	.53	max. .35
9. Lot Coverage (%)	25%	25%	Max 35%
10. Lot Area per Dwelling Unit (Sq. Ft.)	-	-	min. -
11. Front Yard Depth (Ft.)	21'-0" +/-	21'-0" +/-	min. 25'-0"
12. Left Side Yard Depth (Ft.)	8'-0"	8'-0"	min. 10'-0"
13. Right Side Yard Depth (Ft.)	9'-6"	9'-6"	min. 10'-0"
14. Rear Yard Depth (Ft.)	37'-0"	33'-0"	min. 20'-0"
15. Height (Stories)	-	-	max. 2.5
16. Height (Ft.)	-	-	max. 35'-0"
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	3,433 SQ. FT.	2,988 SQ. FT.	10%
17A. Landscaped Open Space (% of GFA)	55%	48%	min. 10%
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	3,548 SQ. FT.	3,192 SQ. FT.	30%
18A. Usable Open Space (% of GFA)	57%	52%	min. 30%
19. Number of Parking Spaces	-	-	min. -
20. Parking area setbacks (if applicable)	-	-	min. -
21. Number of Loading Spaces (if applicable)	-	-	min. -
22. Type of construction	N/A	N/A	N/A
23. Slope of proposed roof(s) (in. per ft.)	N/A	N/A	min. N/A

# CHEVIOT ROAD

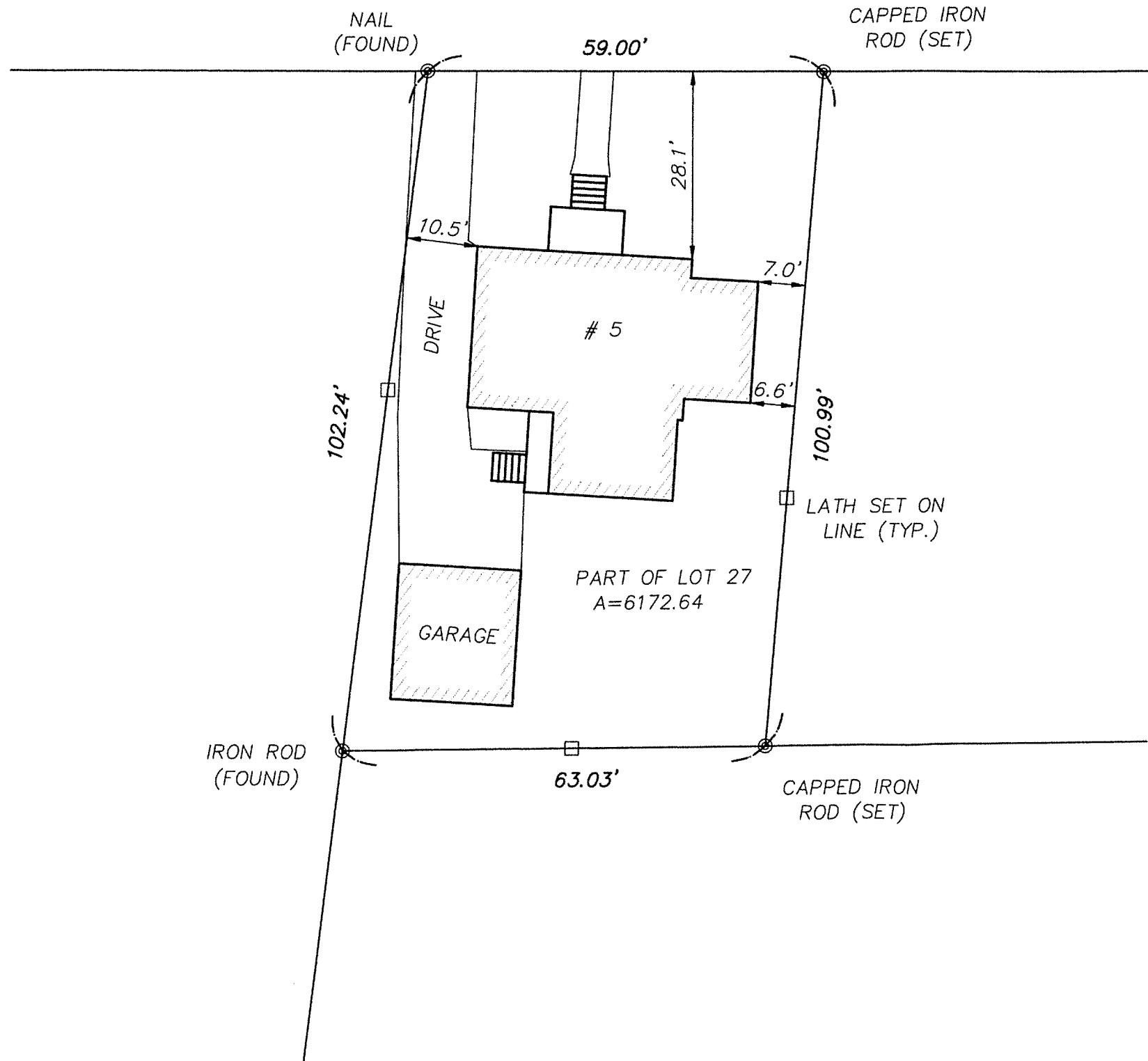
## OWNER OF RECORD

CHARLOTTE NUNEZ

BOOK 65821 PAGE 314 M.S.R.D.

## PLAN REFERENCES

PLAN BOOK 259 PLAN 27



I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL INSTRUMENT SURVEY.

EDWARD J. FARRELL P.L.S.

DATE

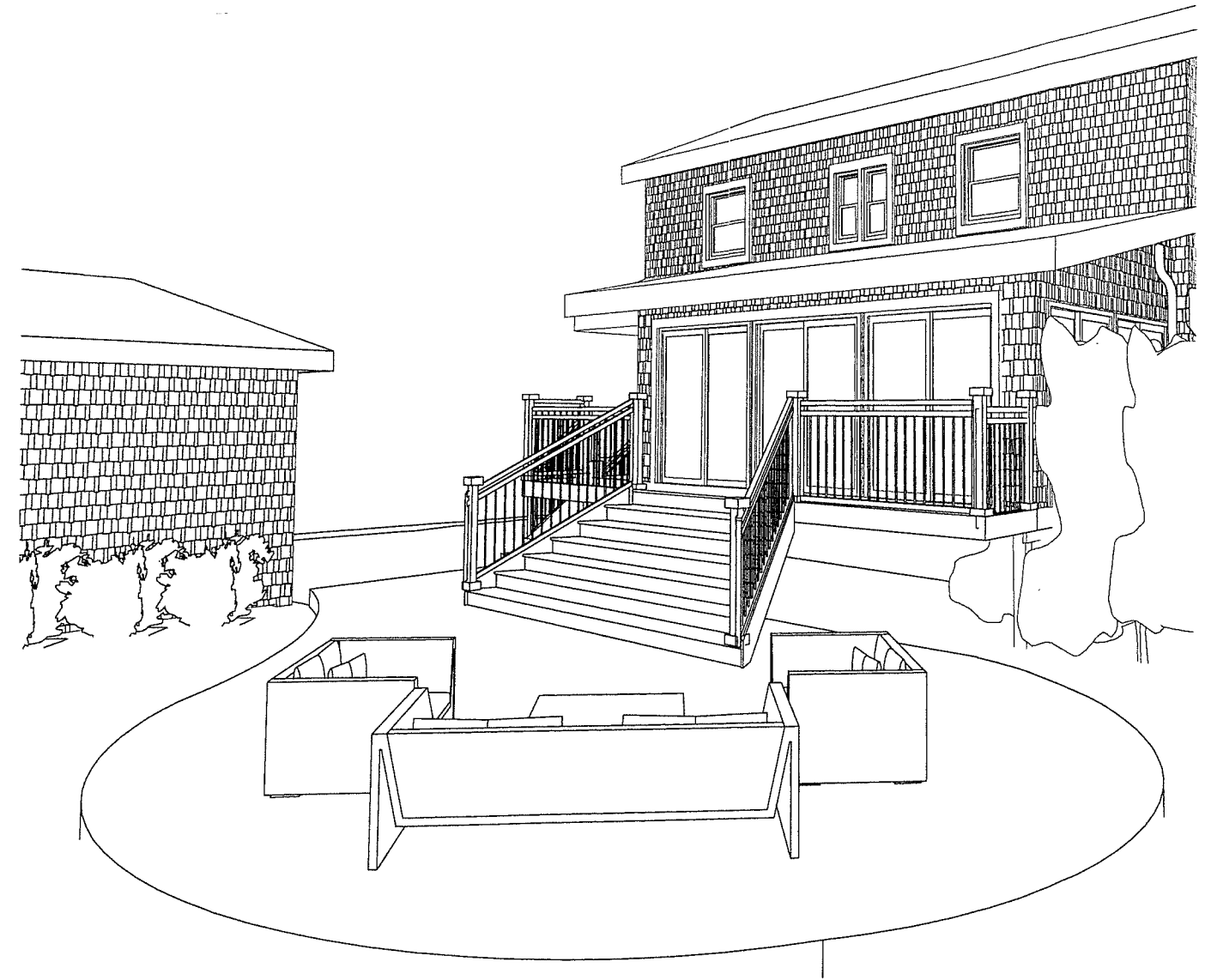
**PLOT PLAN**  
**5 CHEVIOT ROAD**  
**ARLINGTON, MASS.**  
SCALE: 1" = 20' AUGUST 25, 2020  
Prepared By  
**EDWARD J. FARRELL**  
PROFESSIONAL LAND SURVEYOR  
110 WINN STREET ~ SUITE 203 ~ WOBURN, MA.  
(781)-933-9012

# NUNEZ PORCH RENOVATION AND LANDSCAPE

5 Cheviot Rd, Arlington, Ma 02474

A0.1	COVER SHEET
A0.2	ZONING TABLE
D0.1	DEMOLITION
A1.0	EXISTING SITE PLAN
A1.2	NEW FIRST FLOOR PLAN
A1.3	FOUNDATION PLAN
A1.5	SITE PLAN LANDSCAPE
A2.0	PORCH ELEVATION
A2.1	DECK ELEVATION
A2.3	SIDE ELEVATION

Grand total: 10



## PERMIT SET

Jun. 15th, 2021



**Architectural Firm**  
**PIONARCH, LLC**  
**Lidia Szydłowska, AAIA**

501 Cabot St., Ste. 8C  
Beverly MA, 01915

P: (978) - 887 - 2900  
e-mail: lidia@pionarch.com

www.pionarch.com

**CONTRACTOR**  
**PIONARCH, LLC**

**Michał Szydłowski**  
CSL# 099318

501 Cabot St., Ste. 8C  
Beverly MA, 01915

P: (978) - 887 - 2900  
e-mail: michal@pionarch.com

www.pionarch.com

## ZONING TABLE

ITEM:	REQUIRED BY CODE:	EXISTING CONDITION:	NEW CONDITION:
ZONE:	R1	R1	R1
MIN. LOT AREA:	6,000 SQ. FT.	6,172 SQ. FT.	6,172 SQ. FT.
MIN. LOT FRONTAGE:	60'	97' - 0" +/-	97' - 0" +/-
FLOOR AREA RATIO:	.35 max.	.53	.53
LOT COVERAGE (%):	35% max.	25%	25%
MIN. SETBACKS:	FRONT - 25' SIDE - 10' REAR - 20'	FRONT 21' - 0" +/- SIDE 8' - 0" +/- L. 9' - 6" +/- R. REAR 37' - 0" +/-	FRONT 21' - 0" +/- SIDE 8' - 0" +/- L. 9' - 6" +/- R. REAR 33' - 0" +/-
MAX. HEIGHT:	35'	----	----
MAX. HEIGHT (STORIES):	2.5	----	----
LANDSCAPED OPEN SPACE:	10% min.	3,433+/- SQ FT (55% OF LOT AREA)	2,988 +/- SQ FT (48% OF LOT AREA)
USABLE OPEN SPACE:	30%	3,548+/- SQ FT (57% OF LOT AREA)	3,192 +/- SQ FT (52% OF LOT AREA)
MAXIMUM LOT COVERAGE :	35%	22% OF LOT COVERAGE)	25% OF LOT COVERAGE)

# NUNEZ PORCH RENOVATION AND LANDSCAPE

5 Cheviot Rd, Arlington, Ma 02474

PERMIT SET

**A0.2**

## ZONING TABLE

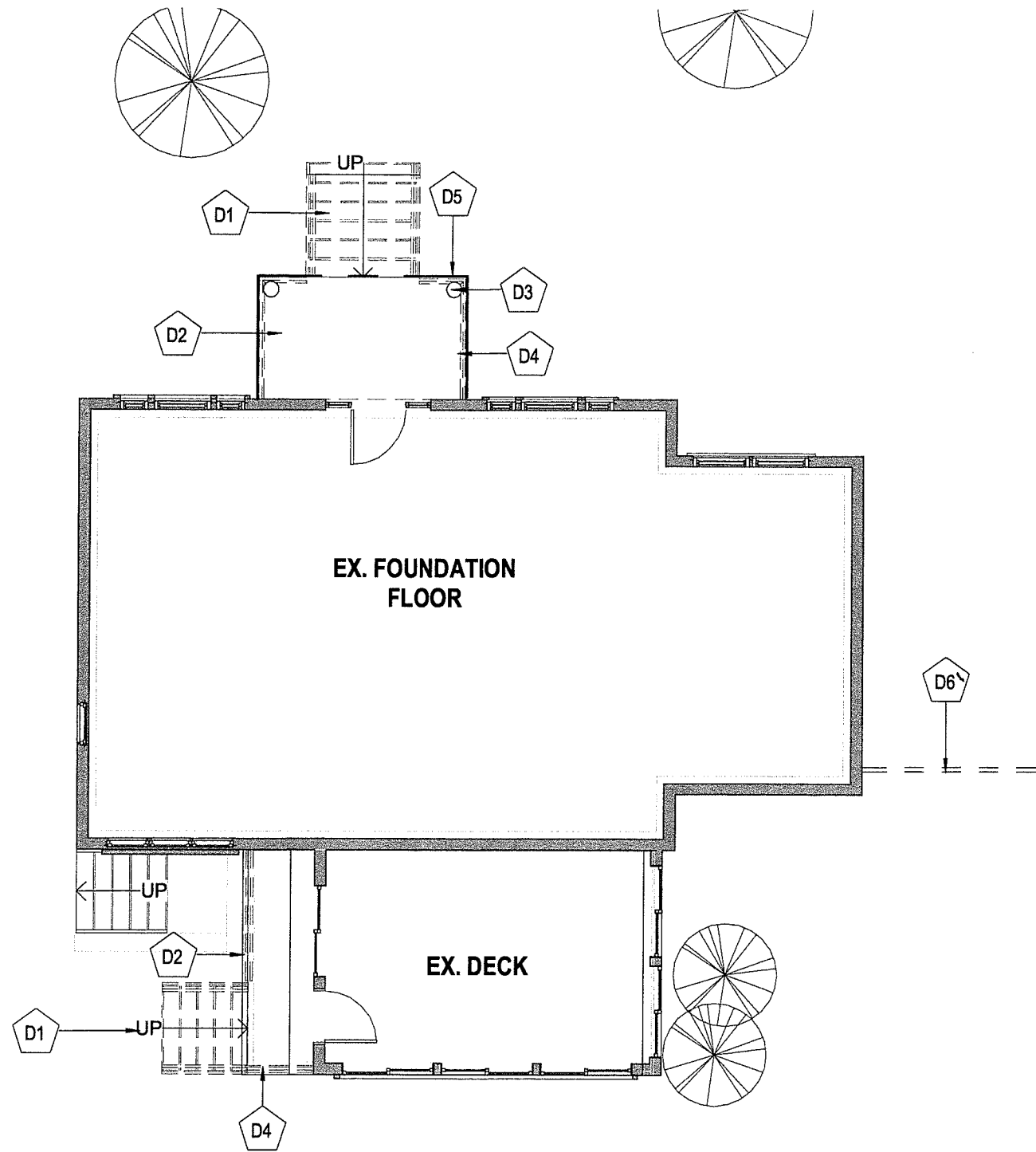


21.014.01

Jun. 15th, 2021

Note: Scale May Change When Copied or Faxed

SHEET SIZE 11"X17"



### DEMOLITION LEGEND

	DEMOLITION KEYNOTE
<b>ROOM NAME</b> 	ROOM NUMBER
	CONSTRUCTION TO REMAIN
	CONSTRUCTION TO BE DEMOLISHED
	DOOR/ FRAME TO BE REMOVED. "R" INDICATES DOOR/FRAME TO BE SAVED FOR RE-USE.
	EXISTING DOOR TO REMAIN

KEYNOTES - DEMOLITION	
D1	EXISTING STAIRS TO BE DEMOLISHED
D2	EXISTING DECKING TO DEMOLISHED
D3	EXISTING COLUMN TO BE DEMOLISHED
D4	EXISTING RAILING TO BE REMOVED
D5	EXISTING ROOF TO BE DEMOLISHED
D6	EXSITING FENCE TO BE DEMOLISHED

1 DEMOLITION PLAN  
D0.1 1/8" = 1'-0"

# NUNEZ PORCH RENOVATION AND LANDSCAPE

5 Cheviot Rd, Arlington, Ma 02474

PERMIT SET

D0.1

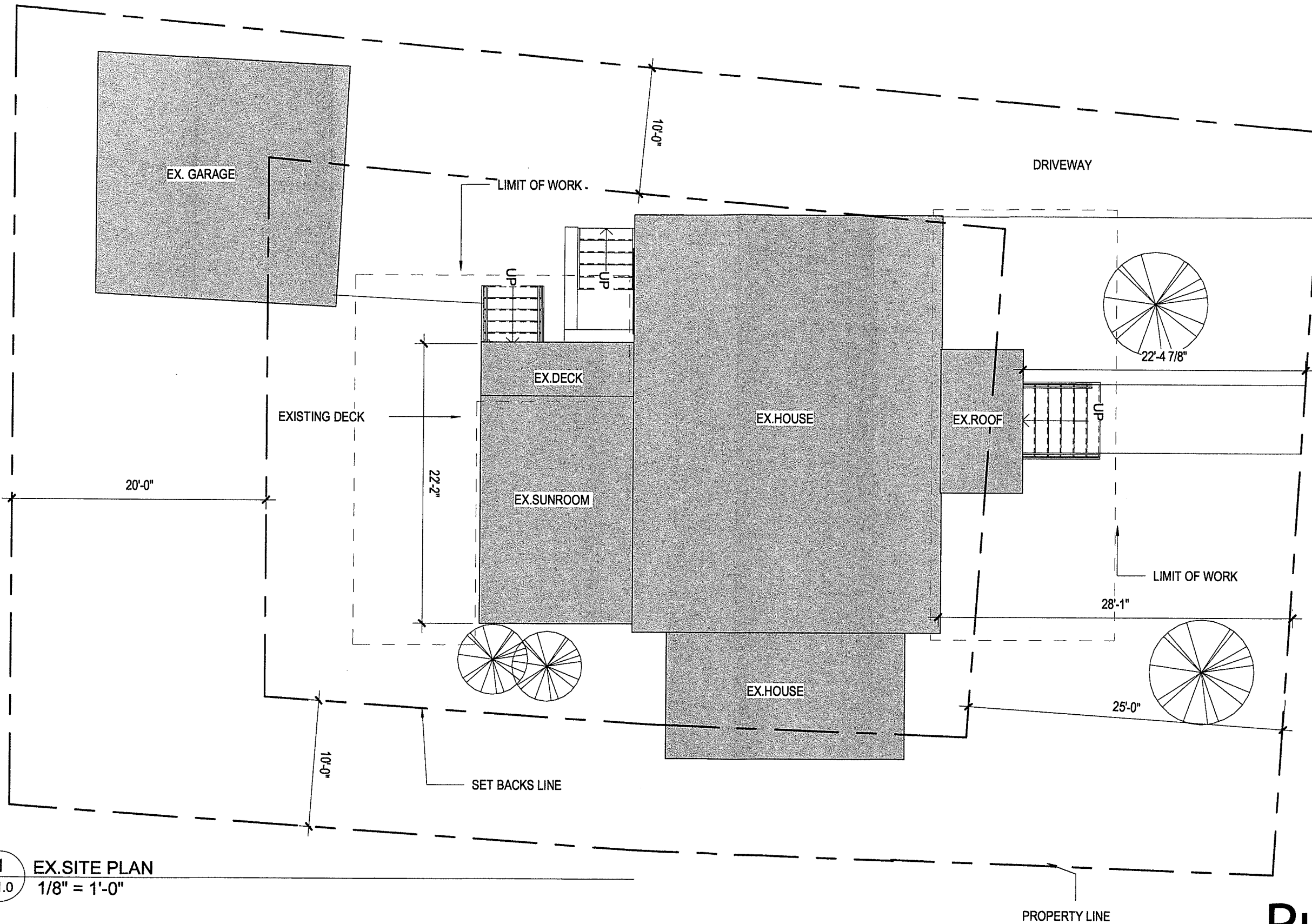
DEMOLITION



21.014.01

Jun. 15th, 2021

Note: Scale May Change When Copied or Faxed



1 EX.SITE PLAN  
 A1.0 1/8" = 1'-0"

# NUNEZ PORCH RENOVATION AND LANDSCAPE

5 Cheviot Rd, Arlington, Ma 02474

PERMIT SET  
**A1.0**

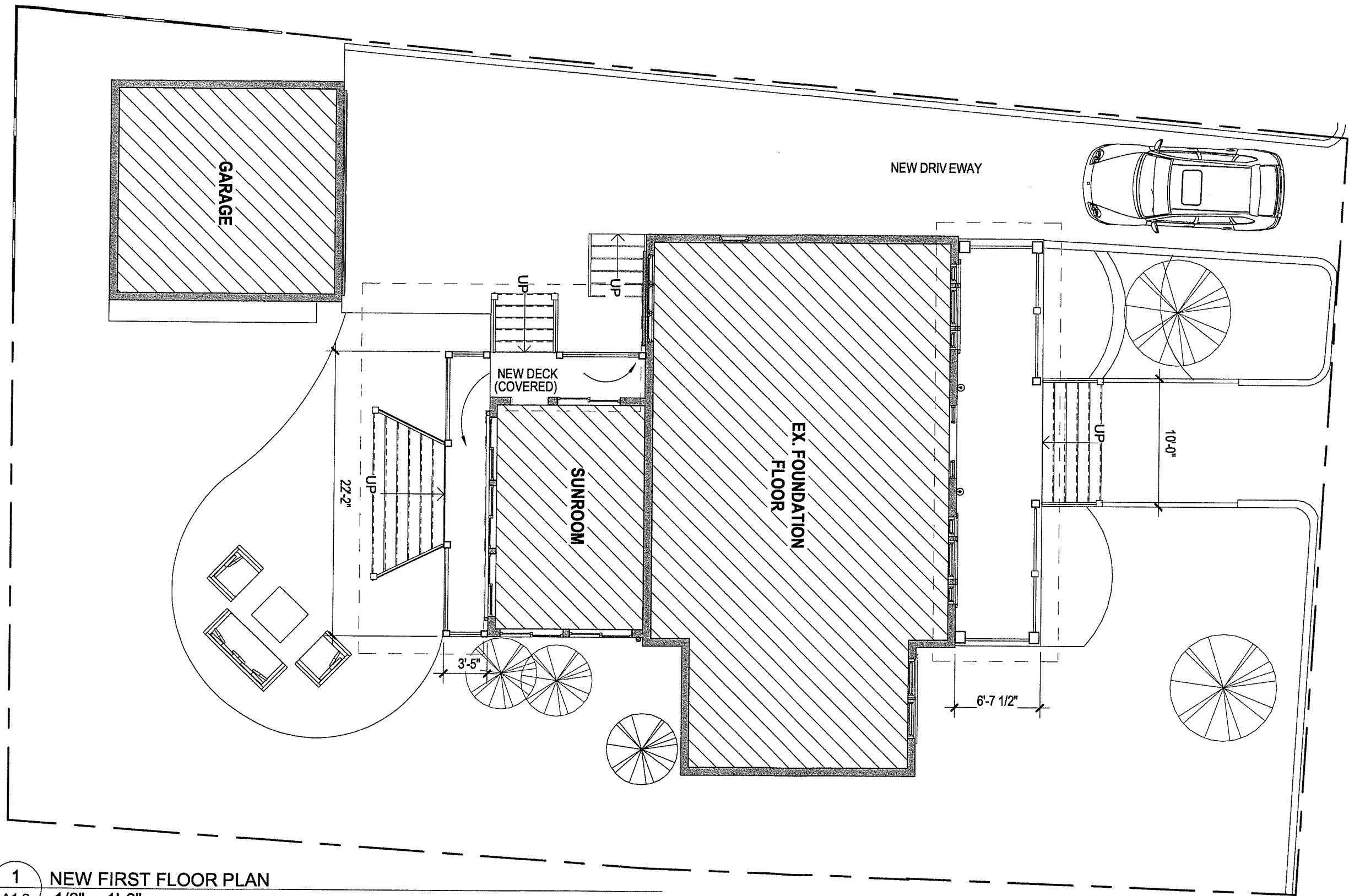
## EXISTING SITE PLAN



21.014.01  
 Jun. 15th, 2021

Note: Scale May Change When Copied or Faxed

SHEET SIZE 11"X17"



1 NEW FIRST FLOOR PLAN  
 A1.2 1/8" = 1'-0"

SHEET SIZE 11"X17"

# NUNEZ PORCH RENOVATION AND LANDSCAPE

5 Cheviot Rd, Arlington, Ma 02474

PERMIT SET  
**A1.2**

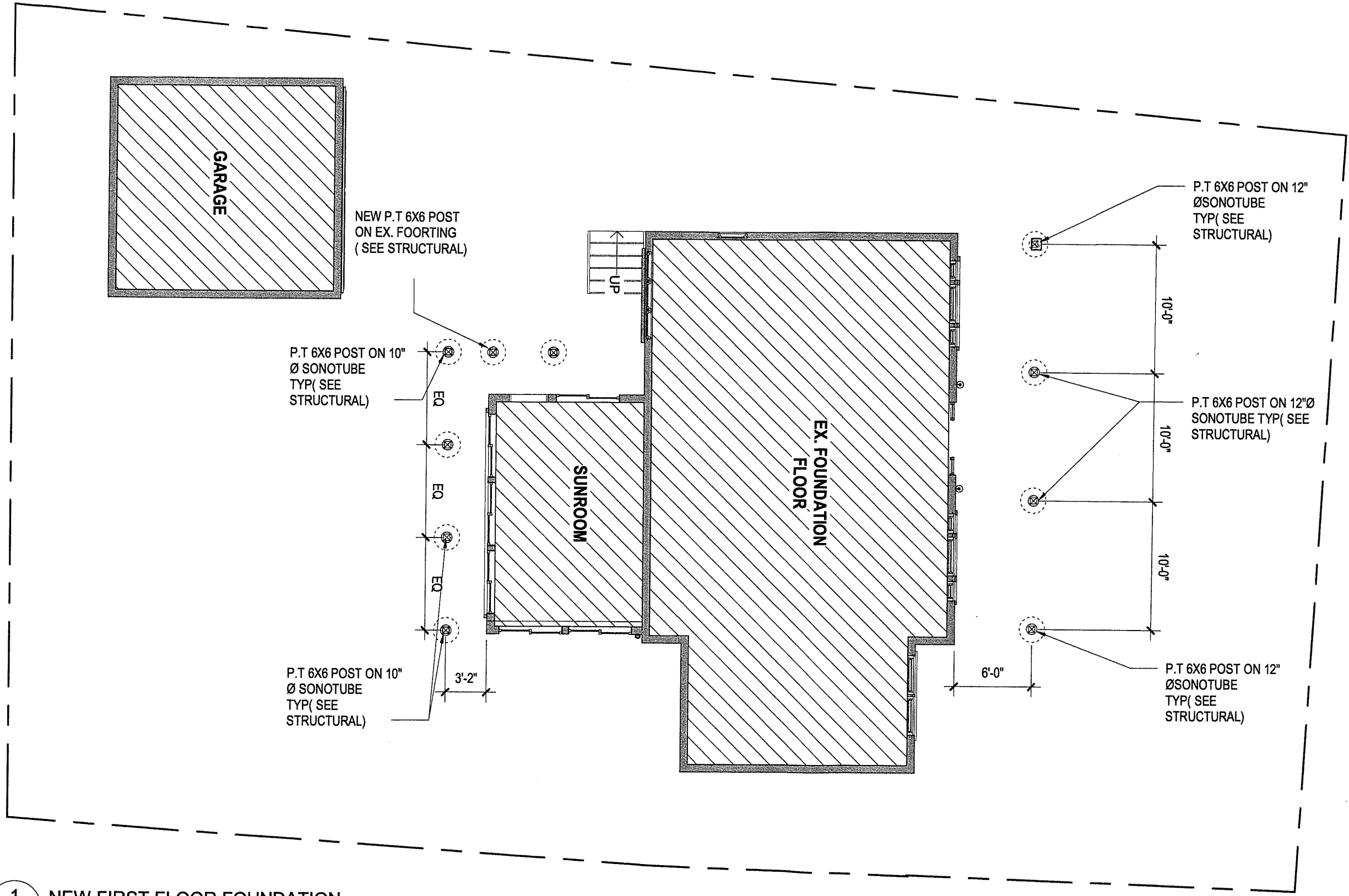
## NEW FIRST FLOOR PLAN



21.014.01  
 Jun. 15th, 2021

Note: Scale May Change When Copied or Faxed





1 NEW FIRST FLOOR FOUNDATION  
 A1.3 1/8" = 1'-0"

SHEET SIZE 11"X17"

# NUNEZ PORCH RENOVATION AND LANDSCAPE

5 Cheviot Rd, Arlington, Ma 02474

PERMIT SET

## A1.3

# FOUNDATION PLAN

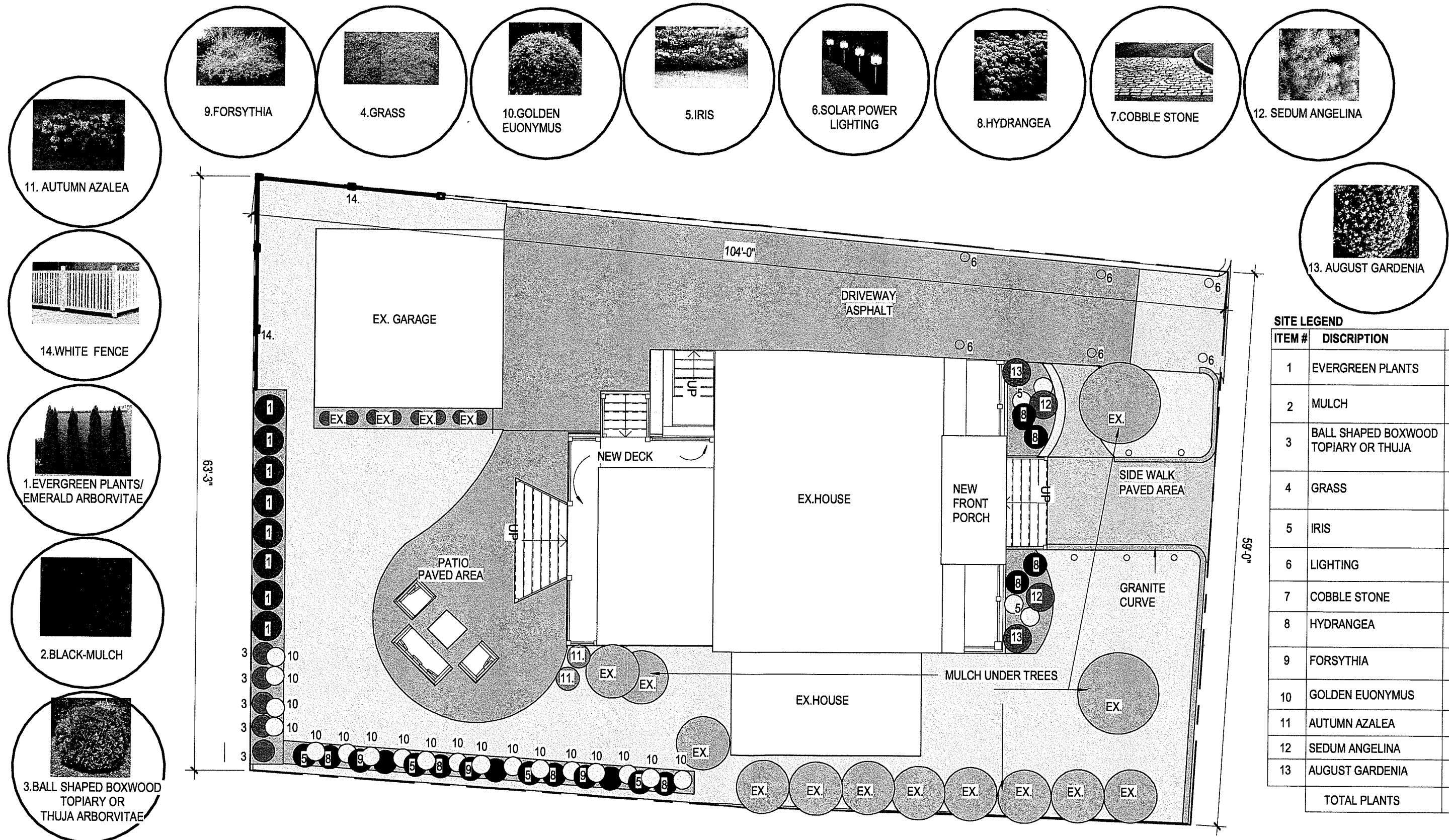
Note: Scale May Change When Copied or Faxed



21.014.01

Jun. 15th, 2021

SHEET SIZE 11"X17"



# NUNEZ PORCH RENOVATION AND LANDSCAPE

5 Cheviot Rd, Arlington, Ma 02474

PERMIT SET  
**A1.5**

## SITE PLAN LANDSCAPE



21.014.01

Jun. 15th, 2021

Note: Scale May Change When Copied or Faxed



1 Elevation 1 - a  
 A2.0 1/4" = 1'-0"

# NUNEZ PORCH RENOVATION AND LANDSCAPE

5 Cheviot Rd, Arlington, Ma 02474

PERMIT SET

A2.0

## PORCH ELEVATION



21.014.01

Jun. 15th, 2021

Note: Scale May Change When Copied or Faxed

SHEET SIZE 11"X17"



1 NEW PATIO ELEVATION  
 A2.1 1/4" = 1'-0"

# NUNEZ PORCH RENOVATION AND LANDSCAPE

5 Cheviot Rd, Arlington, Ma 02474

PERMIT SET

A2.1

## DECK ELEVATION



21.014.01

Jun. 15th, 2021

Note: Scale May Change When Copied or Faxed

SHEET SIZE 11"X17"

1 of 109



1 SIDE ELEVATION  
A2.3 1/4" = 1'-0"

# NUNEZ PORCH RENOVATION AND LANDSCAPE

5 Cheviot Rd, Arlington, Ma 02474

PERMIT SET

A2.3

SIDE ELEVATION

PionArch 

21.014.01

Jun. 15th, 2021

Note: Scale May Change When Copied or Faxed

SHEET SIZE 11"X17"



**TOWN OF ARLINGTON**  
DEPARTMENT OF PLANNING and  
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE  
ARLINGTON, MASSACHUSETTS 02476  
TELEPHONE 781-316-3090

**MEMORANDUM**

To: Zoning Board of Appeals  
From: Jennifer Raitt, Director, Dept. of Planning and Community Development/kl  
Date: 10/20/2021  
RE: Docket 3670 – 5 Cheviot Rd; Special Permit under Zoning Bylaw Section 5.3.9  
Projections into Minimum Yards (A)

---

The applicant, Charlotte Nunez, seeks a Special Permit in accordance with Section 5.3.9 (Projections into Minimum Yards (A)). The applicant seeks to replace their current front porch with a wider portico and deck extending the width an existing structure. The proposed portico and deck are approximately 200 square feet, which exceeds the maximum 25 square foot projection into a minimum yard allowable by right in the zoning bylaw. The applicant has not provided dimensions of the existing front porch. The purpose of the project is to improve the aesthetics of the existing structure by introducing design elements from the principal structure into the design of the front façade and entry.

The structure is in the R1 zoning district, and is nonconforming with the Zoning Bylaw's front, left, and right yard setback. The proposed portico and deck would project forward 6 feet 7.5 inches into the front yard setback, which would maintain the depth of the existing front yard setback. None of the existing nonconformities would be increased by the proposal.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted in the R-1 Zoning District through the granting of a special permit.

Criterion #2: Public Convenience/Welfare

This proposal would improve the convenience and safety of the owner's entrance to their home.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.



Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

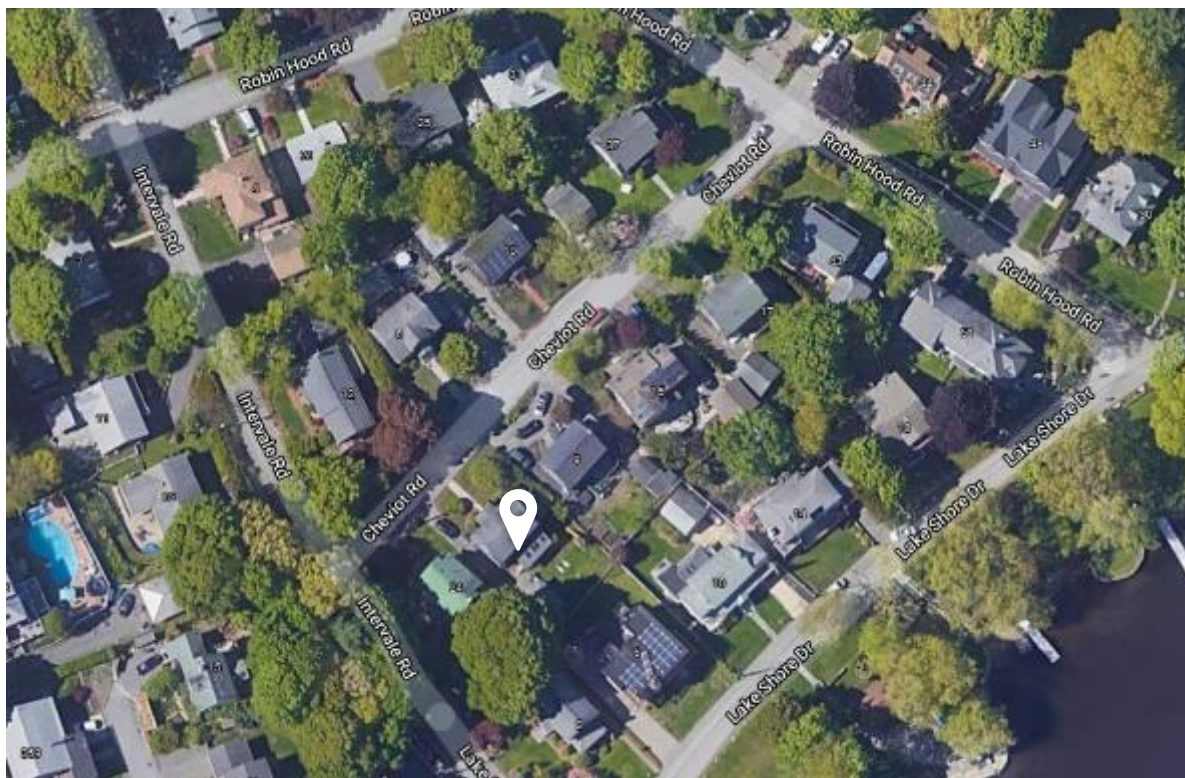
While the proposed portico and deck exceeds the maximum square footage allowable by right, the overall proposal is not substantially more detrimental to the neighborhood than the existing structure. Nearly all the structures along Cheviot Road are Dutch Colonials with covered porticos, although none have a front deck that spans the full width of the structure. Nearby examples of full-width front decks can be found on Robbin Hood Road.

The proposed open decks and foyer complement the architecture of the principal structure. The features will introduce human-scaled architectural variation to the overall streetscape and add visual interest to the front façade of the structure<sup>1</sup>. Overall, this proposal would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

This proposal would not cause any detrimental excesses.

Below are aerial and street-based photos of the current building:



<sup>1</sup> Principle B-1 (pg. 26) and C-1 (pg. 34), Residential Design Guidelines (pg. 34), available at <https://www.arlingtonma.gov/home/showpublisheddocument/54518/637472609831970000>



**Recommendation:**

The Department of Planning and Community Development maintains that this proposal is consistent with the Zoning Bylaw and recommends that the Zoning Board of Appeals approve this application.

**Related Dockets:**

- #3654: 14 Nicod St—Applicant sought a special permit to add a front porch extending the width of a newly constructed house in the R1 Zoning District, citing convenience, safety, and improved design aesthetics.
- #3641: 69 Epping St—Applicant sought a special permit to add a mudroom and portico within the minimum front yard setback in an R1 district, citing safety and weather concerns. Approved on 1/12/21.
- #3608: 68 Margaret St—Applicant sought a special permit to increase the size of the existing entryway to 43 square feet, citing the need for weather protection and other structures on their street with entryways larger than 25 square feet. Approved on 10/29/19.





## Town of Arlington, Massachusetts

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### Docket # 3674: 9-11 Adams Street

#### ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	ZBA_Package__9-11_Adams_Street.pdf	ZBA Package, 9-11 Adams Street
▢ Memorandum	3674_9-11_Adams_St.pdf	DPCD Memo re: 3674--9-11 Adams St
▢ Reference Material	9-11_adams_-_front_back_elevations.jpg	9-11 adams - front back elevations
▢ Reference Material	9-11_adams_-_left_right_elevations.jpg	9-11 adams - left right elevations
▢ Reference Material	Garage_Materials_List_-_9_Adams_St_-_30Sep2021.doc	Garage Materials List - 9 Adams St - 30Sep2021
▢ Reference Material	Rober_Survey_-_Garage_doc.pdf	Rober Survey - Garage doc



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

### LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Heidi Wettach and Greg Walters** of Arlington, Massachusetts on March 23, 2021, a petition seeking permission to alter their property located at **9-11 Adams Street- Block Plan 031.0-0005-0003.0** Said petition would require a Special Permit under **Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening October 26, 2021 at 7:30 P.M or as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

[https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDlrH9BzpU\\_mQMF2y5Ys20gtlBP9](https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDlrH9BzpU_mQMF2y5Ys20gtlBP9) **for documentation relating to this petition, visit the ZBA website at [www.arlington.gov/zba](http://www.arlington.gov/zba).**

**DOCKET NO 3674**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: [ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)

**REQUEST FOR SPECIAL PERMIT**

**TOWN OF ARLINGTON**

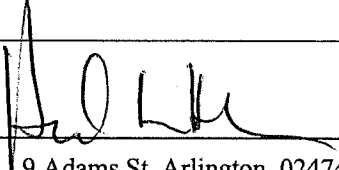
In the matter of the Application of Heidi Wettach & Greg Walters  
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

Request to demolish existing garage and reconstruct new garage with an additional 125 sqft on an existing undersized lot.

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 9-11 Adams St. with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

Existing structure has failed roof/envelope and is an undersized garage which cannot hold 2 cars.  
Proposed new garage will keep similar design, roof and aesthetic, while adding 125 sqft to accommodate 2 cars as well as keep yard/snow equipment out of view. Additional sqft will not be noticeable from the street.

E-Mail: hlwettach@yahoo.com Signed:  Date: 09/24/2021  
Telephone: 781-883-6566 Address: 9 Adams St. Arlington, 02474

**Special Permit Criteria:** Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board's determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

Section 5.4.2 - Dimensional and Density requirements

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B). Explain why *the requested use is essential or desirable to the public convenience or welfare.*

Allows for storage of 2 cars and all yard/snow equipment and recreational equipment which will promote a cleaner and more presentable street view/appearance.

---

C). Explain why *the requested use will not create undue traffic congestion; or unduly impair pedestrian safety.*

No change to public right of way.

It will remove vehicles from driveway parking.

---

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

No connections to the systems and replacing existing structure.

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E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

No special regulations pertain to this lot.

---

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F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

Will be reconstructed with similar design/aesthetic. Will remove cars/yard equipment from driveway.

---

---

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G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

Will be similar to neighborhood architecture and keep the yard uncluttered.

---

---

---

**TOWN OF ARLINGTON**  
 Dimensional and Parking Information  
 For Applications to the Zoning Board of Appeals

1. Property Location: 9-11 Adams Street Zoning District: R2

2. Present Use/Occupancy: 2-Family No. of dwelling units 2

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
3545 Sq. Ft.

4. Proposed Use/Occupancy: 2-Family No. of dwelling units 2

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
3670 Sq. Ft.

- 6. Lot size (Sq. Ft.)
- 7. Frontage (Ft.)
- 8. Floor area ratio
- 9. Lot Coverage ( %)
- 10. Lot Area per Dwelling Unit (Sq. Ft.)
- 11. Front Yard Depth (Ft.)
- 12. Left Side Yard Depth (Ft.)
- 13. Right Side Yard Depth (Ft.)
- 14. Rear Yard Depth (Ft.)
- 15. Height (Stories)
- 16. Height (Ft.)
- 17. Landscaped Open Space (Sq. Ft.)  
Refer to Section 2 in the Zoning Bylaw.
- 17A. Landscaped Open Space (% of GFA)
- 18. Usable Open Space (Sq. Ft.)  
Refer to Section 2 in the Zoning Bylaw.
- 18A. Usable Open Space (% of GFA)
- 19. Number of Parking Spaces
- 20. Parking area setbacks (if applicable)
- 21. Number of Loading Spaces (if applicable)
- 22. Type of construction (garage)
- 23. Slope of proposed roof(s) (in. per ft.)

Present Conditions	Proposed Conditions	Min. or max Required by Zoning
4500	4500	min. 6000
50	50	min. 60
78%	81%	max.
33%	33%	max 35%
N/A	N/A	min.
7.8	7.8	min.
16.5	16.5	min.
5.7	5.7	min.
22.9	22.9	min.
2.5	2.5	max. 2.5
		max.
1875	1750	
53%	48%	min. 10%
0	0	
0	0	min.
4	4	min.
N/A	N/A	min.
N/A	N/A	min.
Type I	Type I	N/A
1 inch/ft	1 inch/ft	min.

**TOWN OF ARLINGTON**  
 Open Space / Gross Floor Area Information  
 For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

**Address:** 9-11 Adams Street                      **Zoning District:** R2

<b><u>OPEN SPACE*</u></b>	<b>EXISTING</b>	<b>PROPOSED</b>
Total lot area	<u>4500</u>	<u>4500</u>
Open Space, Usable	<u>0</u>	<u>0</u>
Open Space, Landscaped	<u>1875</u>	<u>1750</u>

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

<b><u>GROSS FLOOR AREA (GFA) †</u></b>		
Accessory Building	<u>430</u>	<u>555</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>0</u>	<u>0</u>
1 <sup>st</sup> Floor	<u>1222</u>	<u>1222</u>
2 <sup>nd</sup> Floor	<u>1222</u>	<u>1222</u>
3 <sup>rd</sup> Floor	<u>          </u>	<u>          </u>
4 <sup>th</sup> Floor	<u>          </u>	<u>          </u>
5 <sup>th</sup> Floor	<u>          </u>	<u>          </u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u>299</u>	<u>299</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u>          </u>	<u>          </u>
All weather habitable porches and balconies	<u>372</u>	<u>372</u>
<b>Total Gross Floor Area (GFA)</b>	<b><u>3545</u></b>	<b><u>3670</u></b>

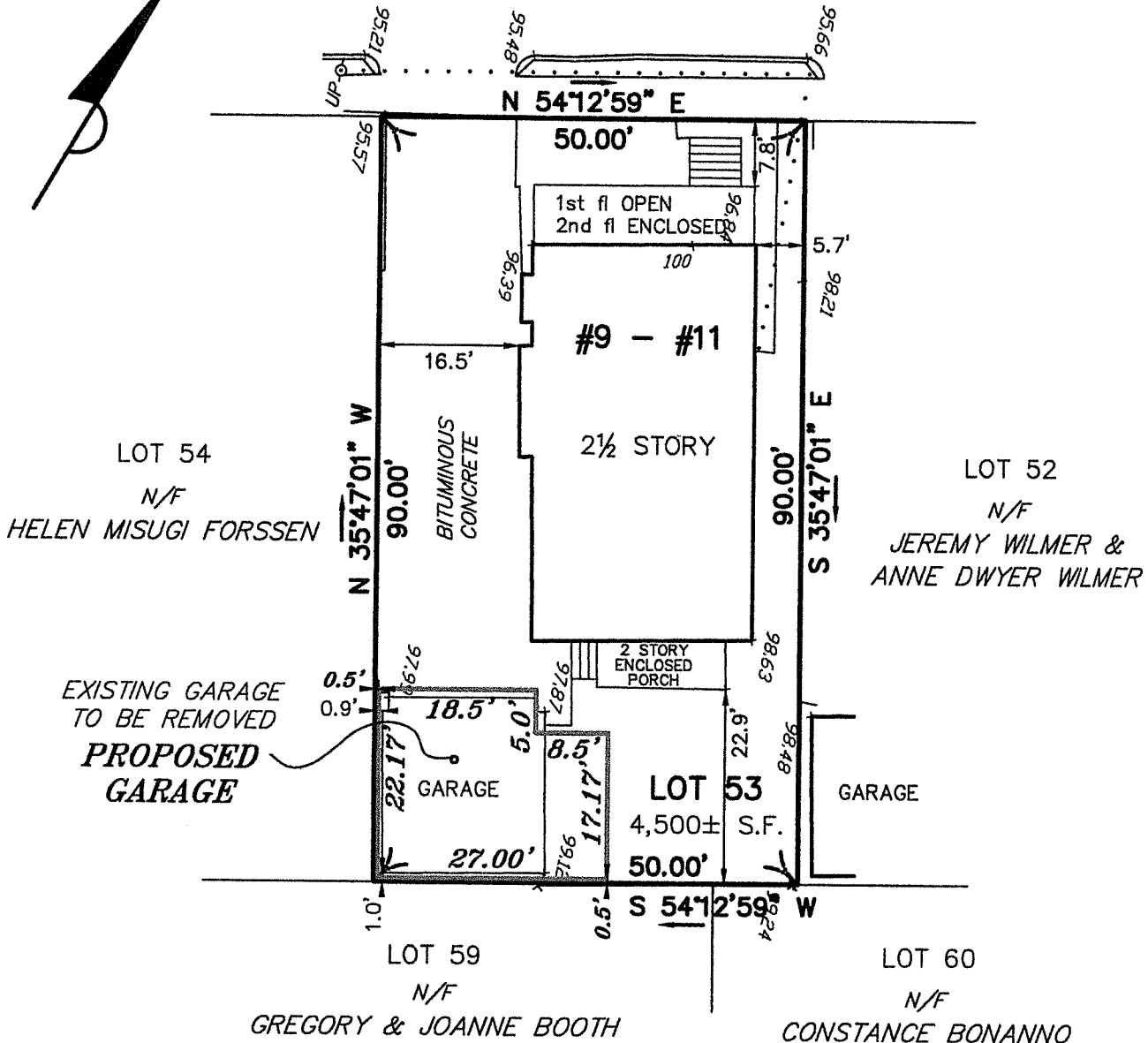
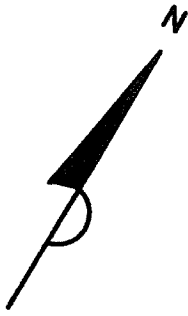
† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

<b><u>REQUIRED MINIMUM OPEN SPACE AREA</u></b>		
Landscaped Open Space (Sq. Ft.)	<u>1875</u>	<u>1750</u>
Landscaped Open Space (% of GFA)	<u>53%</u>	<u>48%</u>
Usable Open Space (Sq. Ft.)	<u>0</u>	<u>0</u>
Usable Open Space (% of GFA)	<u>0</u>	<u>0</u>

This worksheet applies to plans dated 07/22/2021 designed by Rober Survey

Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_

# ADAMS STREET



OWNER: GREGORY WALTERS & HEIDI WETTACH

I HEREBY CERTIFY THAT THE BUILDING IS LOCATED AS SHOWN.



*Clifford E. Rober* 7/22/21  
**CLIFFORD E. ROBER, PLS**      **DATE**

THIS PLAN MAY HAVE BEEN ALTERED IF THE SIGNATURE IS NOT SIGNED IN BLUE.

**PROPOSED PLOT PLAN  
 #9 ADAMS STREET  
 IN  
 ARLINGTON, MA  
 (MIDDLESEX COUNTY)**

SCALE: 1" = 20'      DATE: 7/22/2021



**ROBER SURVEY**  
 1072A MASSACHUSETTS AVENUE  
 ARLINGTON, MA 02476  
 (781) 648-5533  
 6516PP1.DWG      52 of 109





**TOWN OF ARLINGTON**  
DEPARTMENT OF PLANNING and  
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE  
ARLINGTON, MASSACHUSETTS 02476  
TELEPHONE 781-316-3090

**MEMORANDUM**

To: Zoning Board of Appeals  
From: Jennifer Raitt, Director, Dept. of Planning and Community Development/kl  
Date: 10/5/2021  
RE: Docket 3674 – 9-11 Adams St; Special Permit under Zoning Bylaw Section 8.1.3(B)  
(Nonconforming Single-Family or Two-Family Dwellings)

---

The applicants, Heidi Wettach and Greg Walters, seek a Special Permit in accordance with Section 8.1.3(B) (Nonconforming Single-Family or Two-Family Dwellings) of the Zoning Bylaw. The applicants seek to replace their existing garage with a new, larger garage with Type 1 construction. The proposed accessory structure would increase the total square footage of the accessory structure from 430 to 555 square feet (+125 square feet).

The property is in the R2 Zoning District, and is nonconforming with the Zoning Bylaw's lot area, frontage, front and right side yard depths, lot coverage, and usable open space requirements. Section 5.4.2.B(7) of the Zoning Bylaw notes that a Type 1 private detached garage does not need to conform to side or rear yard setbacks so long as the garage is entirely located within the rear or side yard. The proposed garage would be located entirely within the rear yard, and therefore a rear or side yard setback is not required. The proposed garage would increase the lot coverage from 40% to 44% (+4%).

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted in the R2 Zoning District through the granting of a Special Permit.

Criterion #2: Public Convenience/Welfare

The proposal would provide additional enclosed parking and storage space.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

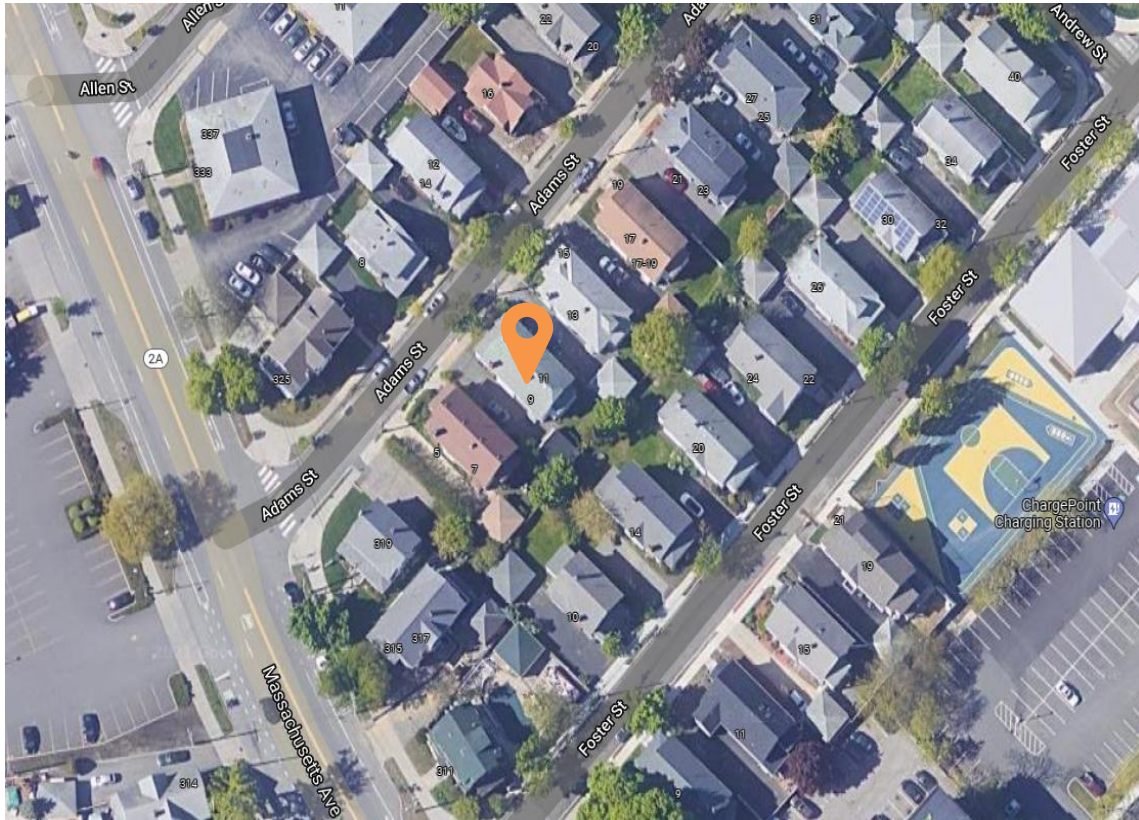
Properties along this portion of Adams Street have either no garage, a one-stall detached garage, or a two-stall detached garage (a portion of which is typically obscured from the street view due to their location in the rear yard setback of a structure). No garage typology predominates. This proposal would not detrimentally impact the neighborhood character, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

This proposal would not cause any detrimental excesses.

Below are on-street and aerial photos of the current building:

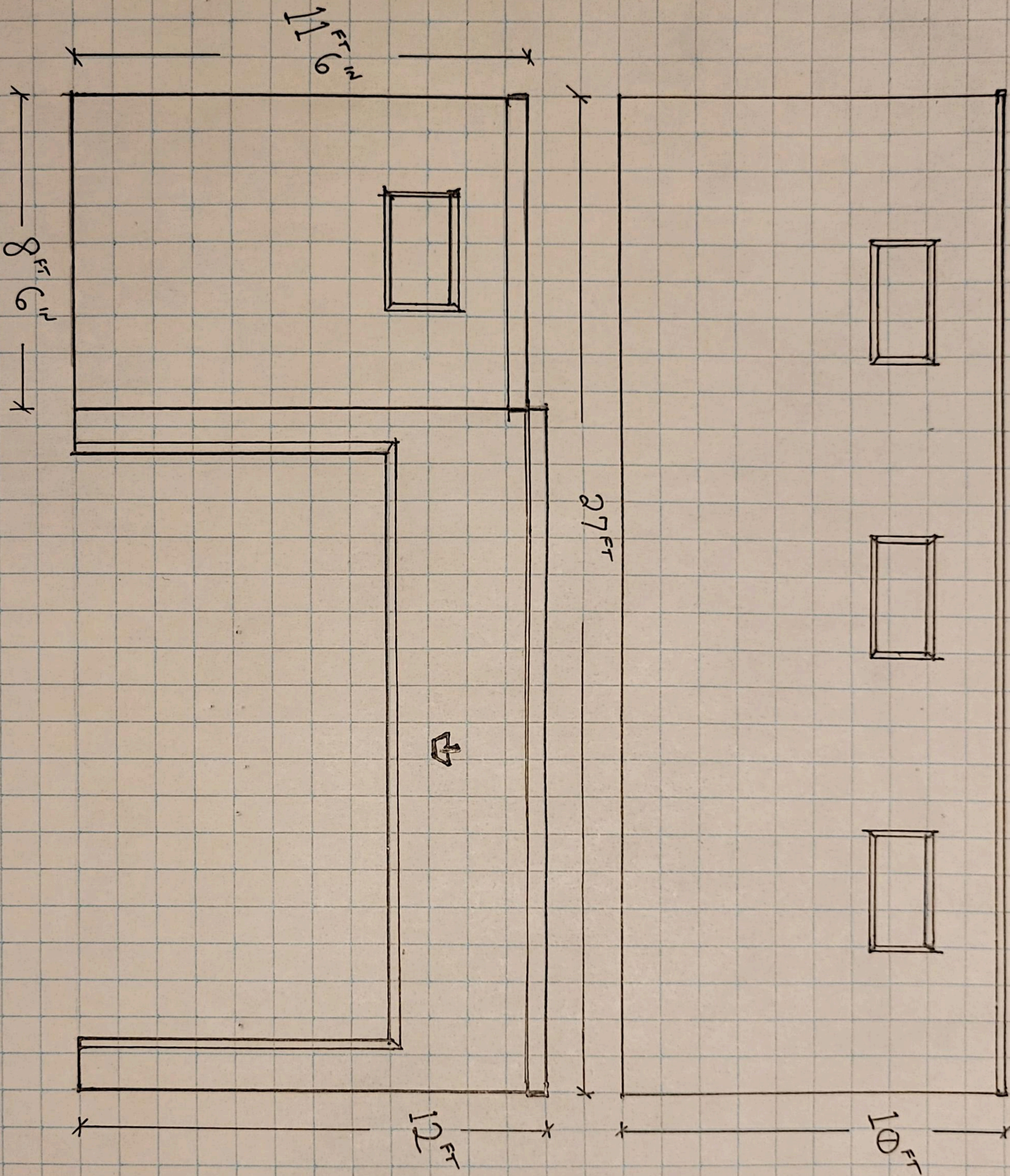




**Recommendation:**

The Department of Planning and Community Development (DPCD) maintains that this proposal is consistent with the Zoning Bylaw and recommends that the Zoning Board of Appeals approve this application.





FRONT  
ELEVATION

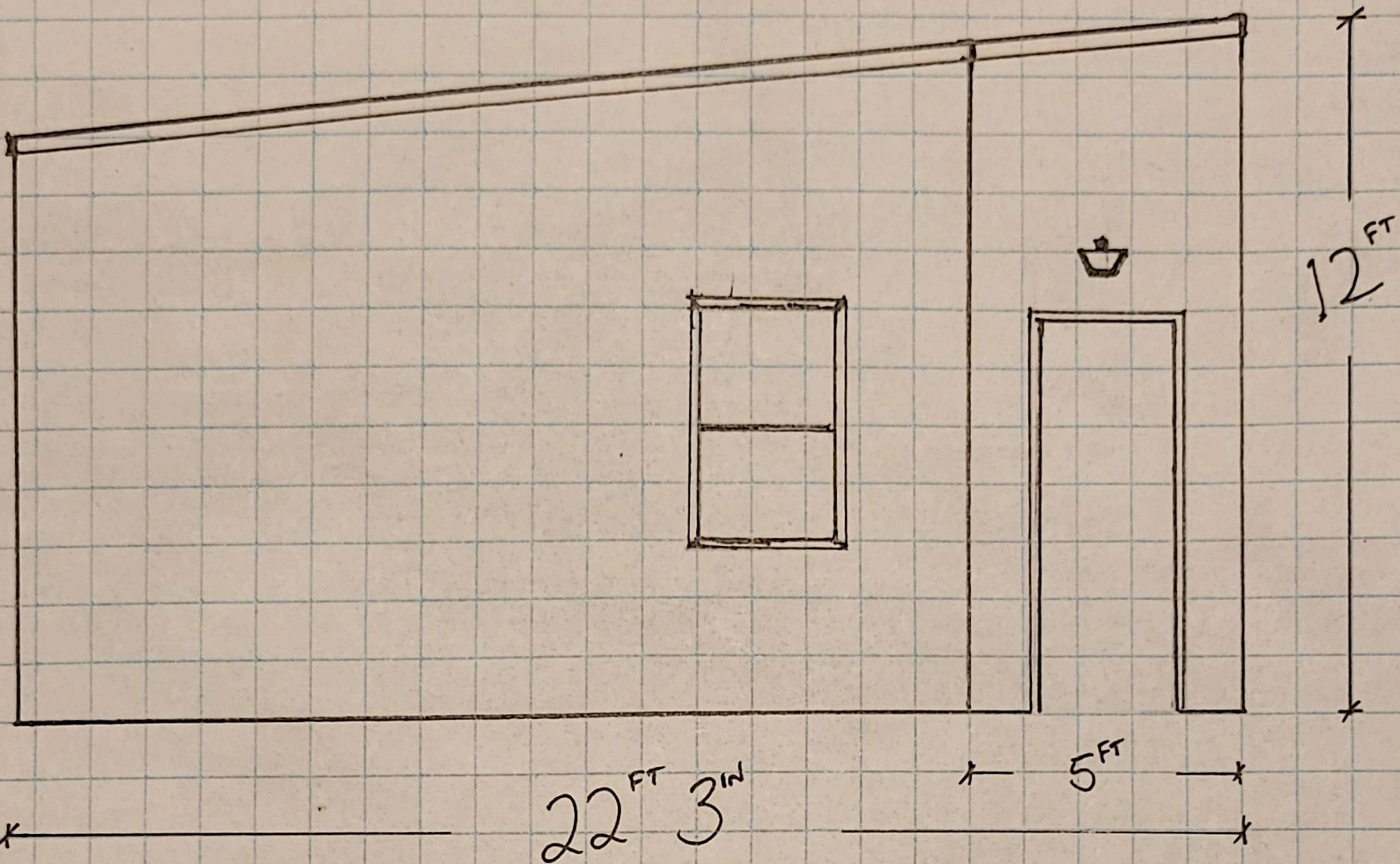
9 ADAMS ST

REAR  
ELEVATION

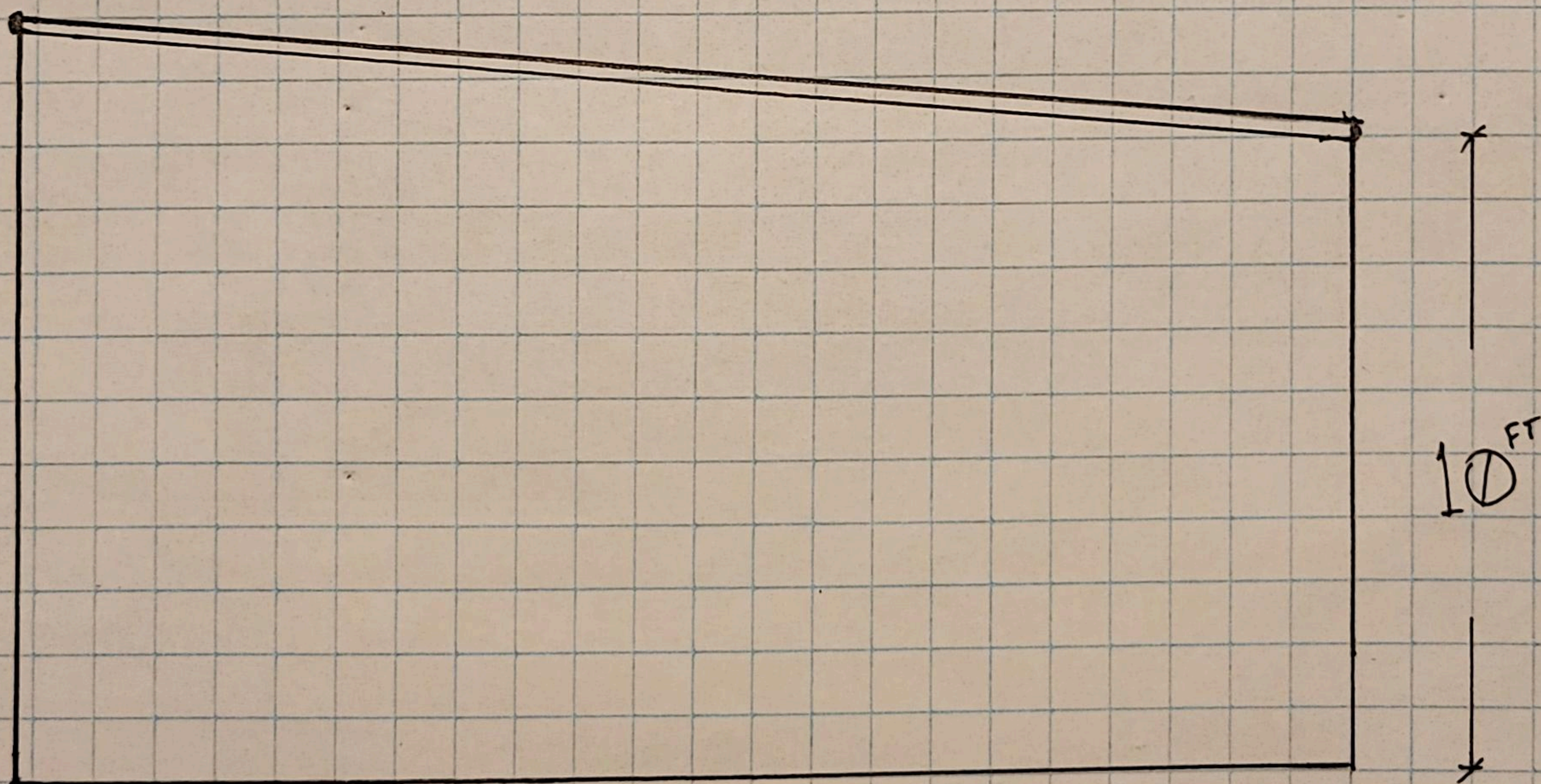
□ = 1 ft



LEFT  
ELEVATION



RIGHT  
ELEVATION





**9 Adams St.**  
**Garage Construction Overview**  
Materials and General Scope

**Foundation/Site Work:**

- Excavation as needed (remove existing structure)
- All form work for walls & footings
- All concrete, rebar to support wood frame garage structure
- Backfill & loam
- Ready for seed

**Framing:**

- Stud walls to be constructed with 2x6 studs
- Pressure treated to be arsenic and chromium free for all ext. framing and sills
- Roof sheathing to be 5/8 inch
- Walls to be ½ inch
- Fire blocking as required by code
- All framing lumber will be installed as required by MA State Code
- Frame for windows, door, and overhead door

**Roofing:**

- EDPM/PVC roofing to meet non combustible construction requirement
- New gutter and downspouts will be installed as needed
- All roofing perimeters will have drip edge

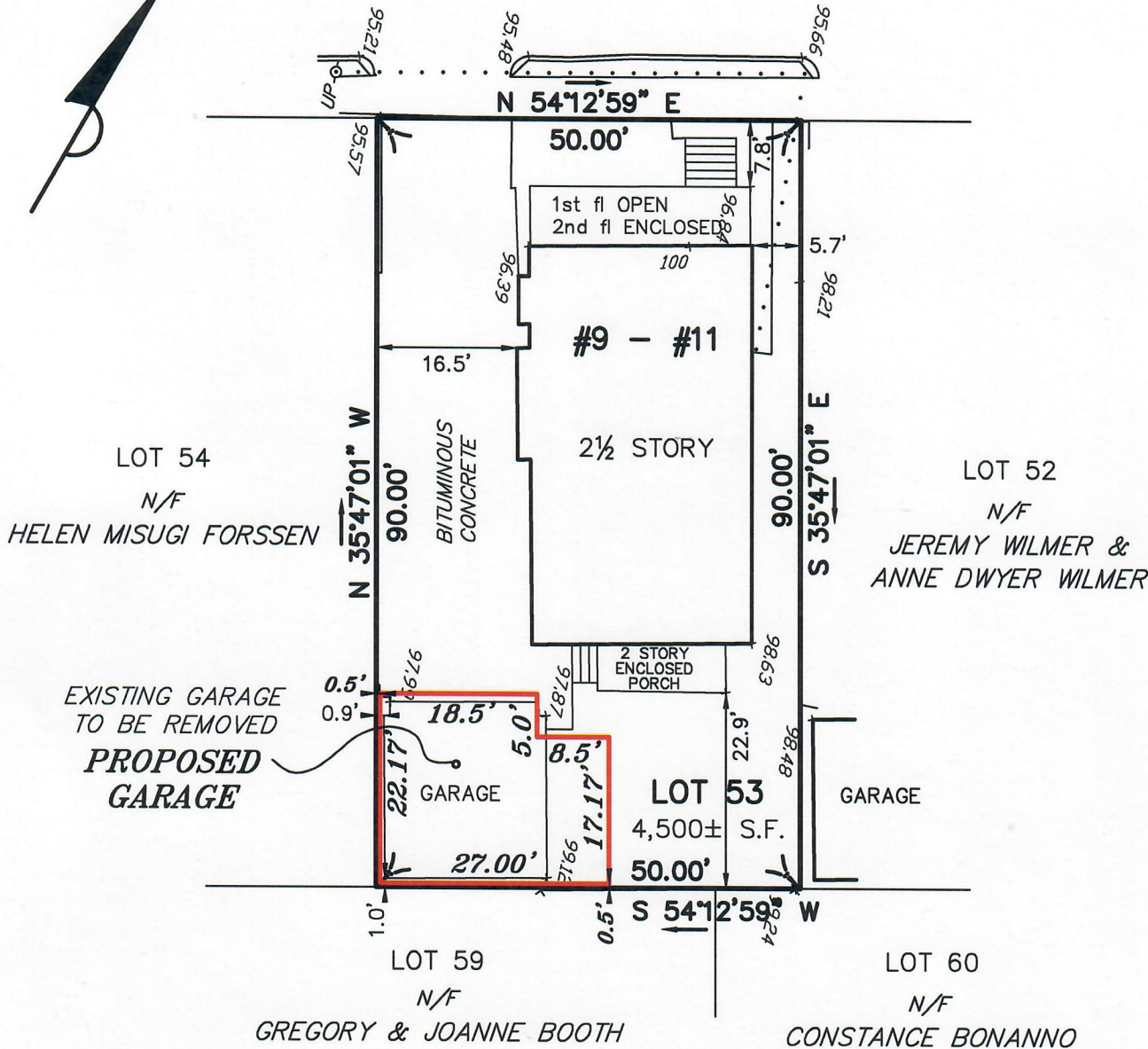
**Siding & Exterior trim:**

- Hardie Plank Lap siding, Hardie fiber cement siding and trim materials

**Electrical:**

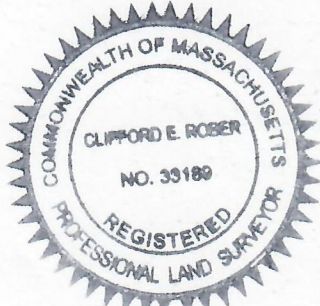
- Service connected to house service
- lighting (exterior/interior), outlets, door openers.

# ADAMS STREET



OWNER: GREGORY WALTERS & HEIDI WETTACH

I HEREBY CERTIFY THAT THE BUILDING IS LOCATED AS SHOWN.



*Clifford E. Rober*  
**CLIFFORD E. ROBER, PLS**      **DATE** 7/22/21

THIS PLAN MAY HAVE BEEN ALTERED IF THE SIGNATURE IS NOT SIGNED IN BLUE.

**PROPOSED PLOT PLAN  
#9 ADAMS STREET  
IN  
ARLINGTON, MA  
(MIDDLESEX COUNTY)**

**SCALE: 1" = 20'      DATE: 7/22/2021**



**ROBER SURVEY**  
1072A MASSACHUSETTS AVENUE  
ARLINGTON, MA 0247659 of 109  
(781) 648-5533  
6516PP1.DWG



## Town of Arlington, Massachusetts

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**Docket # 3672: 43 Cutter Hill Road**

**ATTACHMENTS:**

Type	File Name	Description
▢ Reference Material	ZBA_Package__43_Cutter_Hill_Road.pdf	ZBA Package, 43 Cutter Hill Road
▢ Memorandum	3672_43_Cutter_Hill_Rd.pdf	DPCD Memo re: 3672--43 Cutter Hill Rd





Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

#### LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Sai Lee** of Arlington, MA. on August 26, 2021, a petition seeking permission to alter her property located at **43 Cutter Hill Road - Block Plan 066.0-0004-0007.A** Said petition would require a Special Permit under **Section 5.3.9 (A) (Projections into Minimum Yards)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening October 26, 2021 at 7:30 P.M or as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**  
<https://town-arlington-ma-us.zoom.us/join/register/tZ0udu6hrz4iEtcR6s2r9eZiaorRAsgbMh>

**For documentation relating to this petition, visit the ZBA website at [www.arlington.gov/zba](http://www.arlington.gov/zba).**

**DOCKET NO 3672**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **[ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)**

**REQUEST FOR SPECIAL PERMIT**

**TOWN OF ARLINGTON**

In the matter of the Application of 43 Cutter Hill  
to the Zoning Board of Appeals for the Town of Arlington:


Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

Section 5.3.9. Part A

Enclosed entrances larger than that allowed above (25 sf) may extend into the minimum yard regulation otherwise provided for the district by special permit.

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 43 Cutter Hill Road with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

Sai K Lee

E-Mail: sailee425@gmail.com Signed:  Date: 8/19/2021  
Telephone: 508-521-0980 Address: 43 Cutter Hill Road, Arlington, MA 02474

**Special Permit Criteria:** Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board's determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

Section 5.3.9. Projections into Minimum Yards

Part A and Part B

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B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*

The new proposed front porch will provide shelter for mail and package delivery.

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C). Explain why *the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The proposed front porch will be built within the property lines and will not create undue traffic congestion, or unduly impair pedestrian safety.

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D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The proposed front porch is an fully open and does not equip with any plumbing fixture.

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E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

Section 5.3.9. Part B

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F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The new proposed front porch will be built with the same materials as existing house and will be seen as part of, not separate from the existing house. The new proposed front porch will provide shelter for mail and package delivery.

---

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The new proposed front porch will be built with the same materials as existing house and will be seen as part of, not separate from the existing house. The new proposed front porch will in fact enhance the look and feel of the neighborhood.

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**TOWN OF ARLINGTON**  
 Dimensional and Parking Information  
 For Applications to the Zoning Board of Appeals

1. Property Location: 43 Cutter Hill Road Zoning District: R-1

2. Present Use/Occupancy: Residential/Single Family No. of dwelling units 1

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
2193 Sq. Ft.

4. Proposed Use/Occupancy: Residential/Single Family No. of dwelling units 1

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
2301 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	8038	8038	min. 6000
7. Frontage (Ft.)	60	86.71	min. 60
8. Floor area ratio	21%	21%	max. N/A
9. Lot Coverage ( %)	15.5	16.8	max 35
10. Lot Area per Dwelling Unit (Sq. Ft.)	N/A	N/A	min. N/A
11. Front Yard Depth (Ft.)	23	19.3	min. 25
12. Left Side Yard Depth (Ft.)	25.4	25.4	min. 10
13. Right Side Yard Depth (Ft.)	37.6	37.6	min. 10
14. Rear Yard Depth (Ft.)	15.7	15.7	min. 14.86'
15. Height (Stories)	1	1	max. 2.5
16. Height (Ft.)	13	13	max. 35
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	5779	5699	
17A. Landscaped Open Space (% of GFA)	71.9	70.9	min. 10
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	6318	6221	
18A. Usable Open Space (% of GFA)	78.6	77.4	min. 30
19. Number of Parking Spaces			min.
20. Parking area setbacks (if applicable)			min.
21. Number of Loading Spaces (if applicable)			min.
22. Type of construction		IV-B	N/A
23. Slope of proposed roof(s) (in. per ft.)			min.

**TOWN OF ARLINGTON**  
 Open Space / Gross Floor Area Information  
 For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

**Address:** 43 Cutter Hill Road                      **Zoning District:** R-1

<b><u>OPEN SPACE*</u></b>	<b><u>EXISTING</u></b>	<b><u>PROPOSED</u></b>
Total lot area	8038	8038
Open Space, Usable	6318	6221
Open Space, Landscaped	5779	5699

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

<b><u>GROSS FLOOR AREA (GFA) †</u></b>	<b><u>EXISTING</u></b>	<b><u>PROPOSED</u></b>
Accessory Building	49	49
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	1034	1034
1 <sup>st</sup> Floor	1110	1110
2 <sup>nd</sup> Floor		
3 <sup>rd</sup> Floor		
4 <sup>th</sup> Floor		
5 <sup>th</sup> Floor		
Attic (greater than 7'-0" in height, excluding elevator machinery; or mechanical equipment)		
Parking garages (except as used for accessory parking or off-street loading purposes)		
All weather habitable porches and balconies		108
<b>Total Gross Floor Area (GFA)</b>	<b>2193</b>	<b>2301</b>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

<b><u>REQUIRED MINIMUM OPEN SPACE AREA</u></b>	<b><u>EXISTING</u></b>	<b><u>PROPOSED</u></b>
Landscaped Open Space (Sq. Ft.)	5779	5699
Landscaped Open Space (% of GFA)	71.9	70.9
Usable Open Space (Sq. Ft.)	6318	6221
Usable Open Space (% of GFA)	78.6	77.4

This worksheet applies to plans dated 08/01/2021 designed by SHAWN LIANG

Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_

NOTE. UNDERGROUND, AS WELL AS OVERHEAD UTILITY DATA INDICATED IS PLOTTED FROM VISIBLE FIELD LOCATIONS AND AVAILABLE RECORDS. THE LOCATIONS ARE APPROXIMATE ONLY AND VERIFICATION MUST BE MADE IN THE FIELD. DIAL 1-888-DIG-SAFE PRIOR TO CONSTRUCTION.

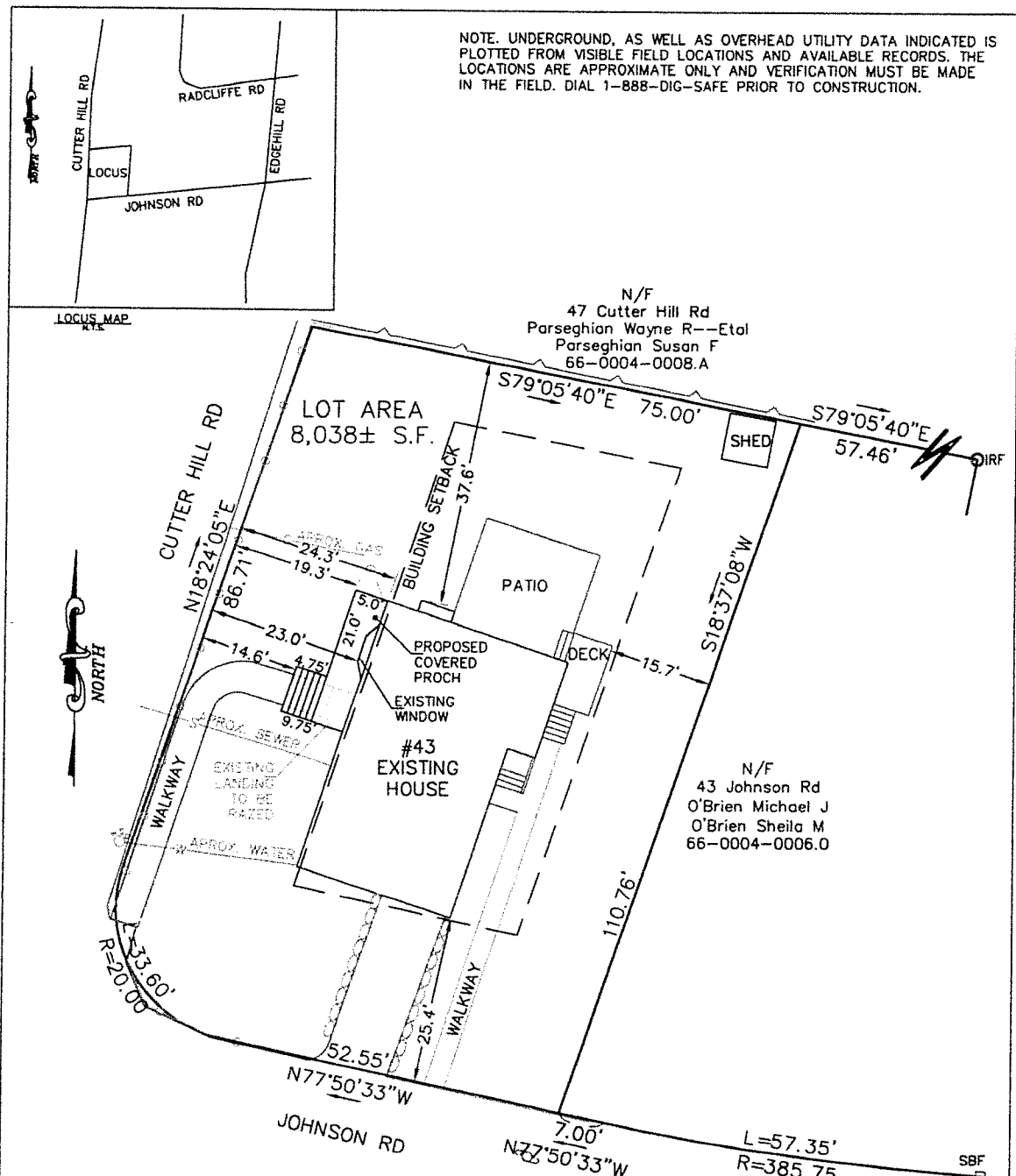
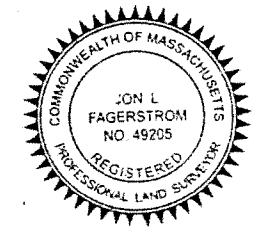


TABLE OF AREAS:	REQ.	EXISTING.	PROP.
FRONT SETBACK	25 FT	23.0 FT	19.3 FT
SIDE SETBACK	10 FT	37.6 FT	37.6 FT
REAR SETBACK	14.86 ft	15.7 FT	15.7 FT
BUILDING HEIGHT	35 (2.5)	EXIST.	EXIST.
LANDSCAPED OPEN SPACE	10%	71.9± %	70.7± %
USABLE OPEN SPACE	30%	78.6± %	77.4± %
MAX. LOT COVERAGE	35%	15.5± %	16.8± %

PROPOSED ADDITION  
 PLOT PLAN  
 LOCATED ON  
 43 CUTTER HILL ROAD  
 ARLINGTON, MA  
 PREPARED FOR & OWNED BY  
 SAI K. LEE  
 SCALE: 1"=20'  
 08-02-2021

I CERTIFY THAT THE EXISTING BUILDING IS LOCATED AS SHOWN HEREON AND THAT THE PROPOSED ADDITION LOCATION DOES NOT CONFORM TO THE DIMENSIONAL SETBACK REQUIREMENT OF THE ZONING BYLAW OF THE TOWN OF ARLINGTON, MA.



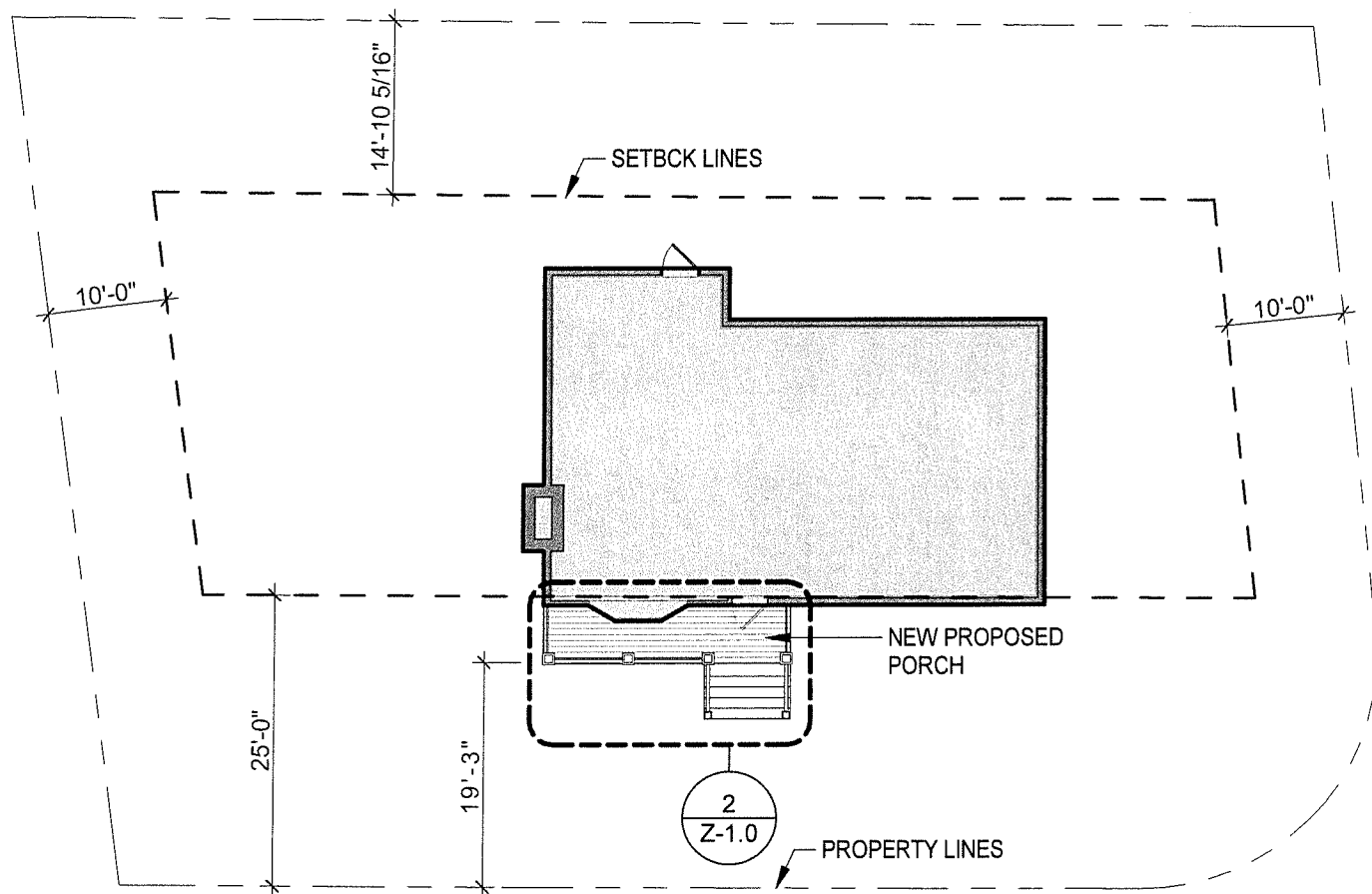
SURVEY BY: R. Mankaryous    DESIGN BY: R. Mankaryous    REVIEW BY: JON L. FAGERSTROM    SHEET #: 1

The structure is not located within a Federal Flood Zone per HUD Map # 25017C Community # 0416E dated 06/04/2010  
 ZONING: B1  
 FRONT YARD: 25  
 SIDE YARD: 10  
 REAR YARD: 14.86 (20% LOT DEPTH)  
 BUILDING HEIGHT: 35 (2.5 STORIES)

**ALPHA OMEGA ENGINEERING INC**  
 ENVIRONMENTAL CONSULTANTS  
 CIVIL ENGINEERS & LAND SURVEYORS  
 25 HIGHLAND VIEW DR  
 SUTTON, Massachusetts 01590  
 (508) 865-9551  
 info@alphaomegaeng.net

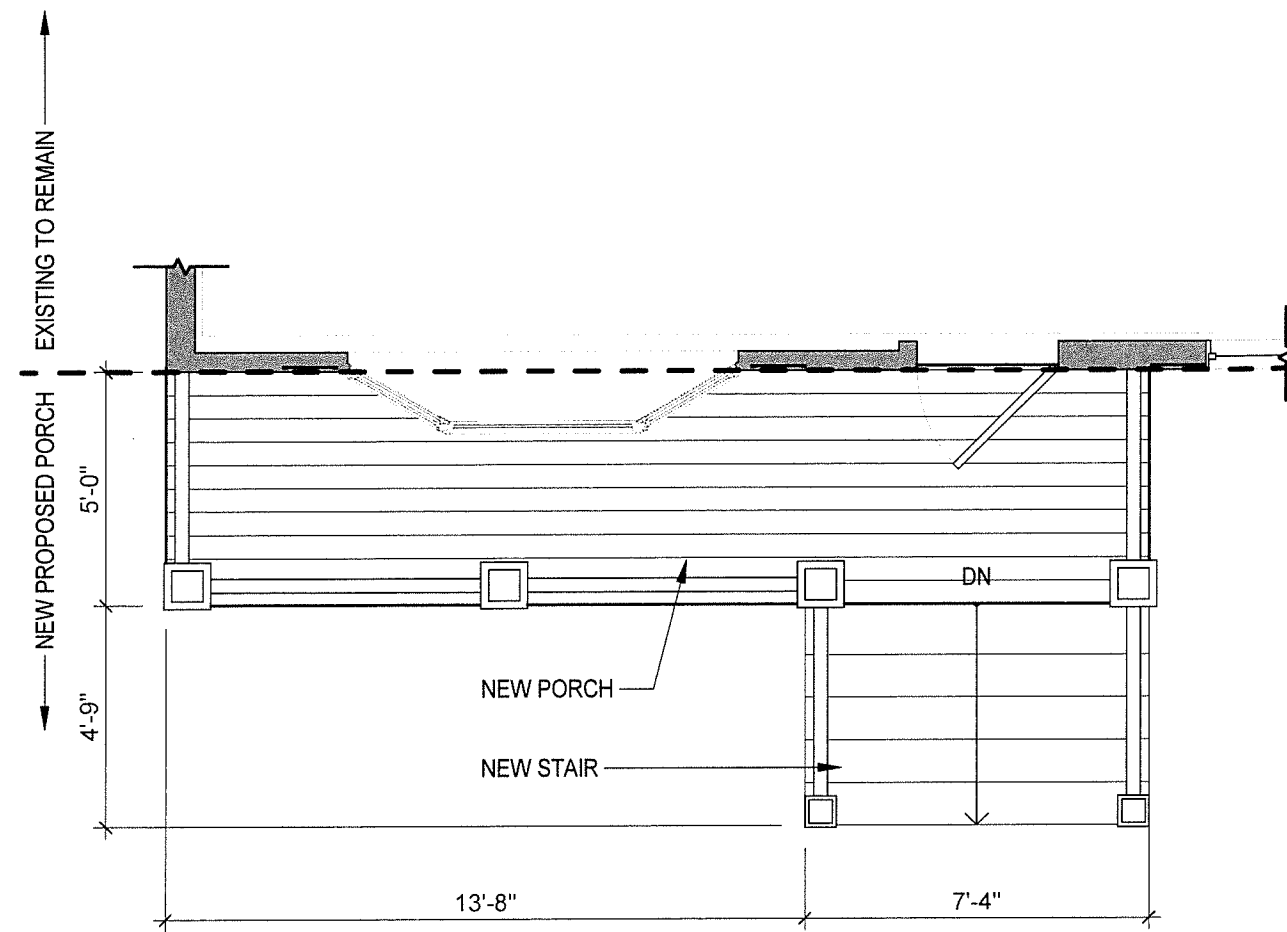
ASSESSORS ID: 66-004-0007.A  
 DEED REF. BOOK: 75569 PAGE: 504  
 RECORDED @ S. MIDDLESEX REGISTRY OF DEEDS

JON L. FAGERSTROM    P.L.S. #49205

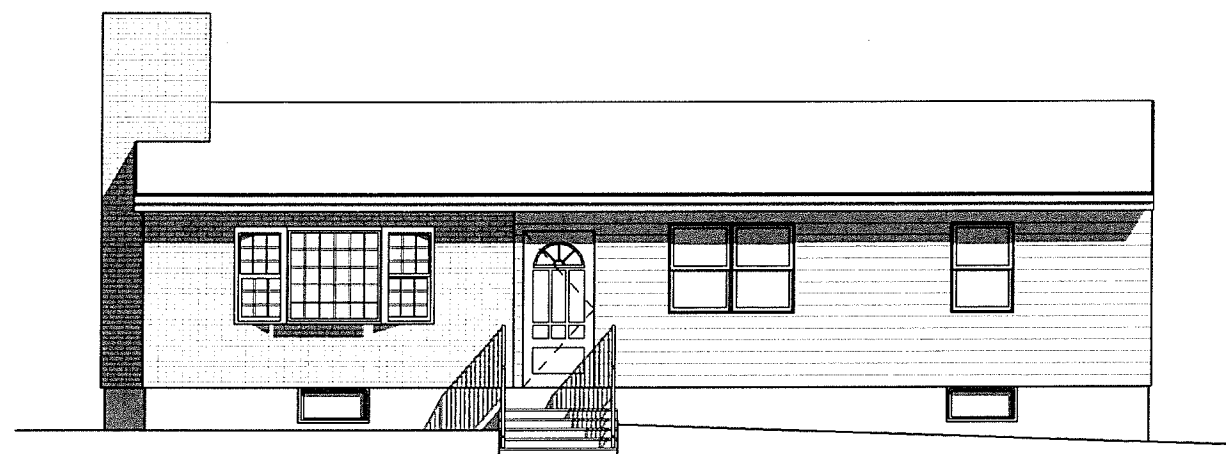


\*REFER PLOT PLAN FOR COMPLETE LOT DIMENSION AND SITE INFORMATION.

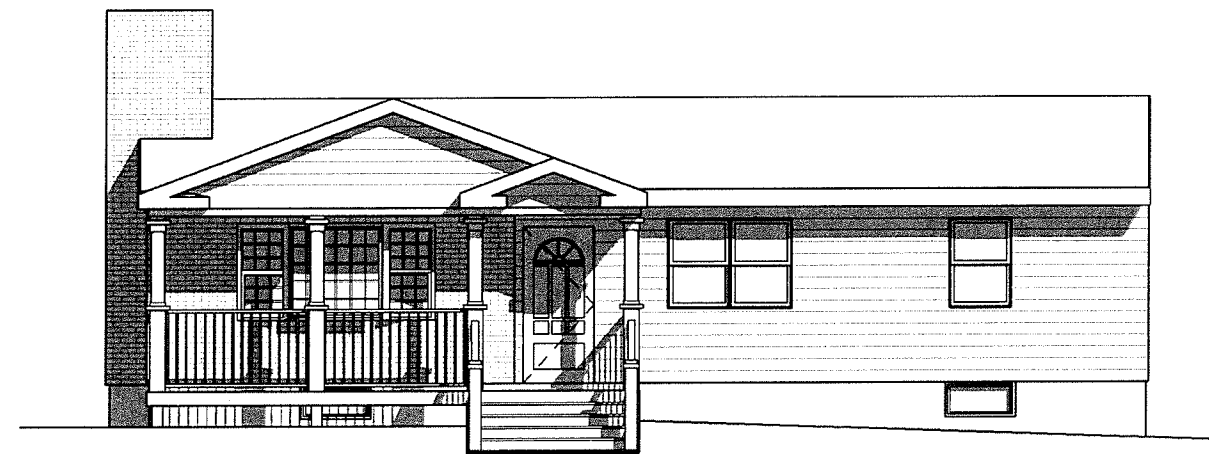
1 SITE PLAN  
1/16" = 1'-0"



2 NEW PORCH PLAN  
1/4" = 1'-0"

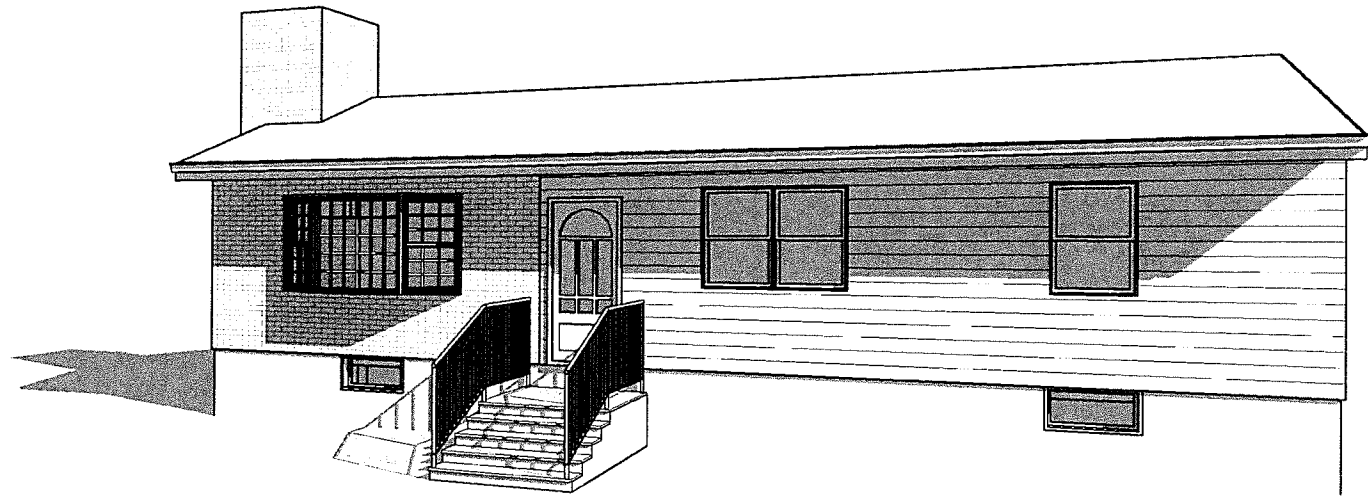


3 FRONT ELEVATION - EXISTING  
1/8" = 1'-0"

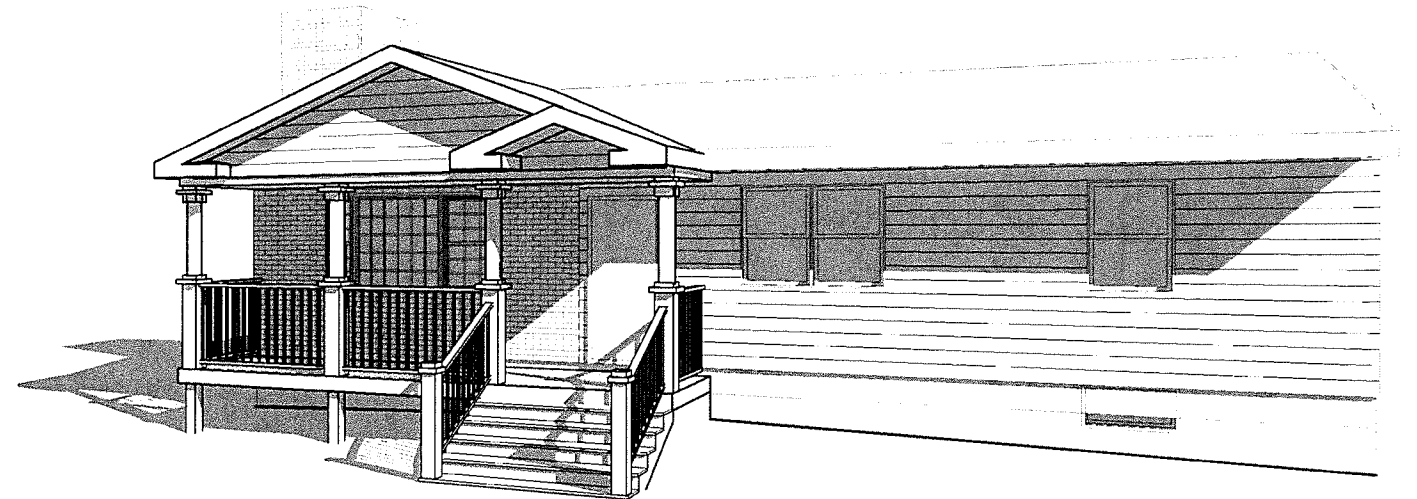


4 FRONT ELEVATION - NEW  
1/8" = 1'-0"

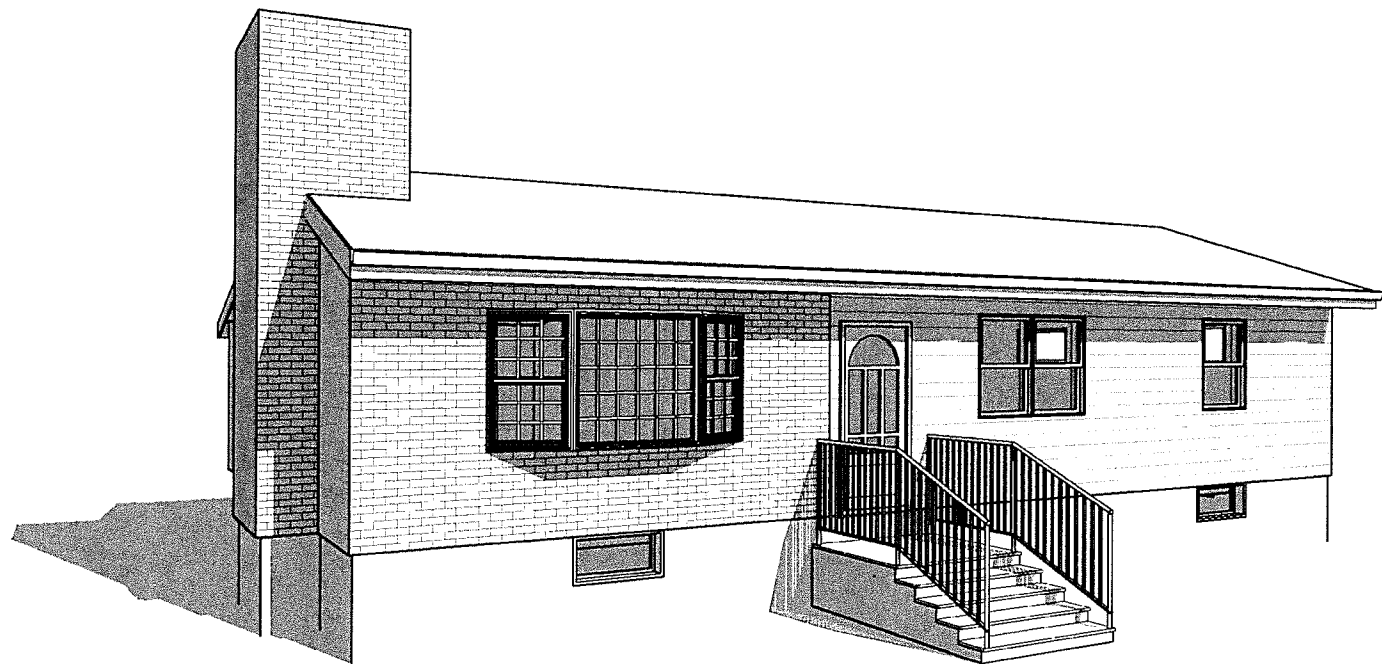




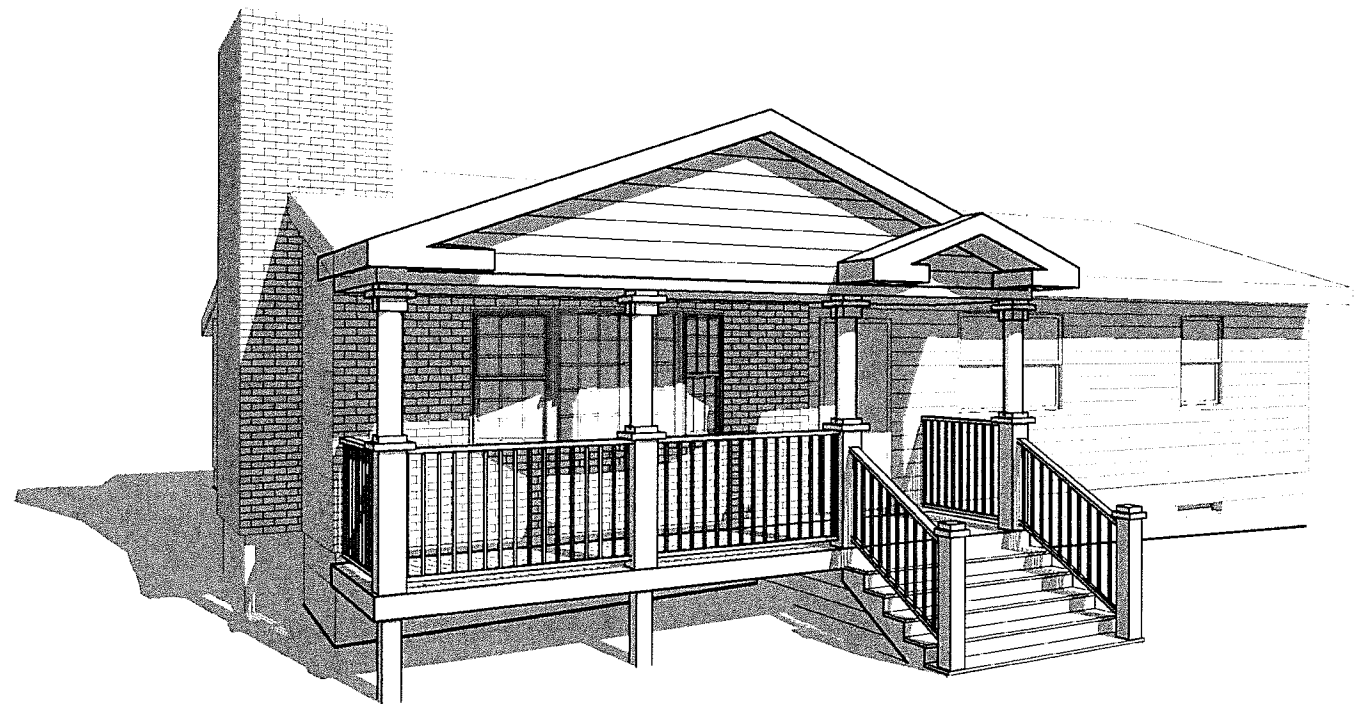
3D VIEW 1 - BEFORE



3D VIEW 2 - EXISTING



3D VIEW 2 - BEFORE



3D VIEW 2 - NEW



**TOWN OF ARLINGTON**  
DEPARTMENT OF PLANNING and  
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE  
ARLINGTON, MASSACHUSETTS 02476  
TELEPHONE 781-316-3090

**MEMORANDUM**

To: Zoning Board of Appeals  
From: Jennifer Raitt, Director, Dept. of Planning and Community Development/kl  
Date: 10/20/2021  
RE: Docket 3672 – 43 Cutter Hill Rd; Special Permit under Zoning Bylaw Section 5.3.9  
Projections into Minimum Yards (A)

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The applicant, Sai Lee, seeks a Special Permit in accordance with Section 5.3.9 (Projections into Minimum Yards (A)). The applicant seeks to construct a covered front porch and replace an existing front stairway in the front yard setback of an existing structure. The proposed porch is approximately 105 square feet, which exceeds the maximum 25 square foot projection into a minimum yard allowable by right in the zoning bylaw. The purpose of the project is to improve the convenience and safety of the front primary entrance to the dwelling and provide shelter from inclement weather.

The structure is on a corner lot in the R1 zoning district and is nonconforming with the Zoning Bylaw's front yard setback on the Cutter Hill façade. The proposed porch would project forward five feet into the front yard setback, and the new entry stair would project forward another 4.75 feet.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted in the R-1 Zoning District through the granting of a special permit.

Criterion #2: Public Convenience/Welfare

This proposal would improve the convenience and safety of the owner's entrance to their home.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

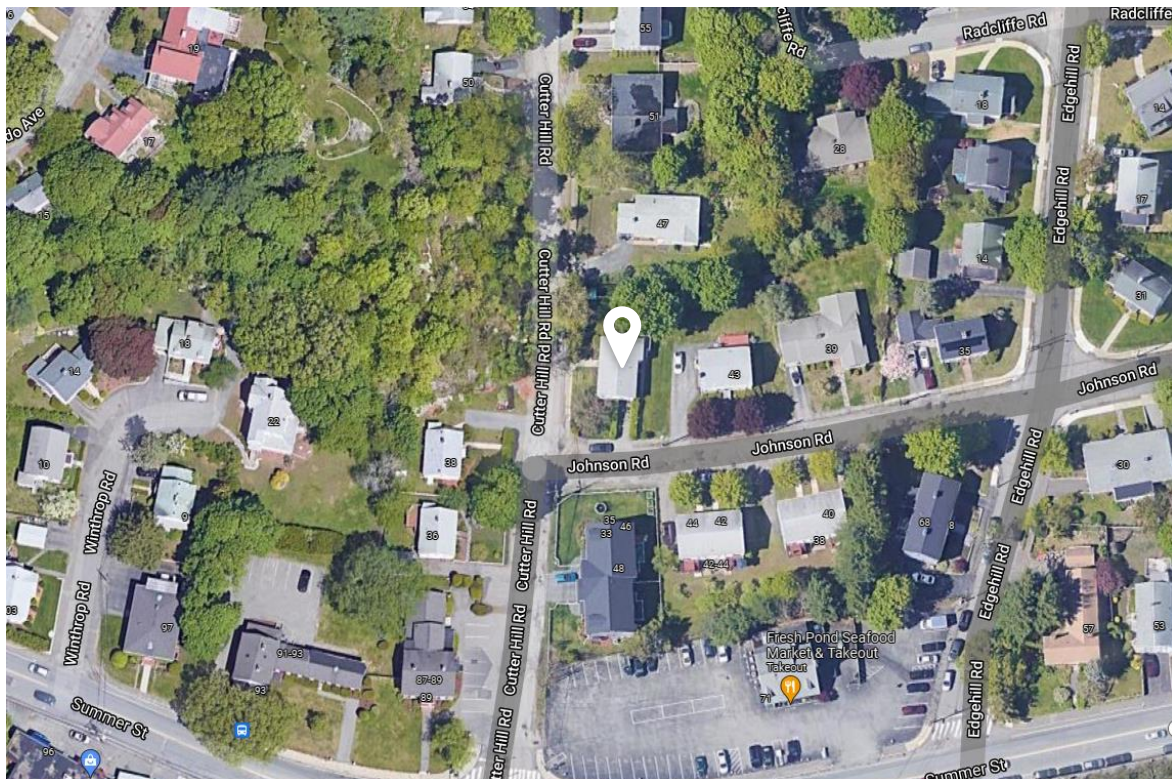
The area includes a mix of old and new construction; no single architectural style predominates. Most older structures along Johnson Road and Cutter Hill Road lack a front porch or covered entry, and while new construction and additions to structures on Cutter Hill Road typically features porches and covered entries. Additionally, this property is visually separated from others along Cutter Hill Road by a thick stand of trees and a road narrowing in the area where the private way transitions to a public way. While the proposed deck exceeds the maximum square footage allowable by right, the overall proposal is not substantially more detrimental to the neighborhood than the existing structure.

The proposed covered porch is both functional and adds visual interest to the front façade of the existing structure. The features will introduce human-scaled architectural variation to the overall streetscape and add visual interest to the front façade of the structure<sup>1</sup>. Overall, this proposal would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

This proposal would not cause any detrimental excesses.

Below are aerial and street-based photos of the current building:



<sup>1</sup> Principle B-1 (pg. 26) and C-1 (pg. 34), Residential Design Guidelines (pg. 34), available at <https://www.arlingtonma.gov/home/showpublisheddocument/54518/637472609831970000>





Recommendation:

The Department of Planning and Community Development maintains that this proposal is consistent with the Zoning Bylaw and recommends that the Zoning Board of Appeals approve this application.

Related Dockets:

- #3654: 14 Nicod St—Applicant sought a special permit to add a front porch extending the width of a newly constructed house in the R1 Zoning District, citing convenience, safety, and improved design aesthetics.
- #3641: 69 Epping St—Applicant sought a special permit to add a mudroom and portico within the minimum front yard setback in an R1 district, citing safety and weather concerns. Approved on 1/12/21.
- #3608: 68 Margaret St—Applicant sought a special permit to increase the size of the existing entryway to 43 square feet, citing the need for weather protection and other structures on their street with entryways larger than 25 square feet. Approved on 10/29/19.



## Town of Arlington, Massachusetts

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**Docket # 3668: 125-127 Webster Street**

**ATTACHMENTS:**

Type	File Name	Description
▢ Reference Material	BMcKenna_VarianceApplication_Oct26.pdf	BMcKenna_VarianceApplication_Oct26.pdf
▢ Reference Material	signatures.pdf	signatures.pdf
▢ Reference Material	BMcKenna_SpecialPermitApplication_Oct26.pdf	BMcKenna_SpecialPermitApplication_Oct26.pdf

**REQUEST FOR VARIANCE**  
**TOWN OF ARLINGTON**

In the matter of the Application of **Bruce McKenna**  
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Variance is herewith made, in accordance with Section 3.2 of the Zoning Bylaw of the Town of Arlington, Massachusetts seeking relief from the following specific provisions of the Zoning Bylaw, and as described more fully in the attached form, *Variance Criteria*:

Seeking relief from Zoning Bylaw limiting homes in Zone R2 from completing a 3rd  
story over 1/2 the square footage of the current footprint as cited in chart  
R District Building Height and Floor Area Ratio Regulations PAGE 61.

The Petitioner/Applicant states he/she/they is/are the owner-occupant of the land in Arlington located at 125/127 Webster St. with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

To increase the living space of the second floor apartment with a construction that  
would increase the square footage of the 3rd floor above a 1/2 story while maintaining  
the current peak height. All construction will be done within the confines of the current  
footprint of the house.

E- Mail: bmckenna50@yahoo Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
Telephone: 781-696-3939 Address: 125/127 Webster St. Arlington, MA 0

**1. Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.**

Due to the layout of the existing structure and the desire to create the most environmentally friendly, energy efficient and cost effective expansion, a variance is needed in order to expand beyond the limit of 2.5 stories.

**2. Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.**

The Petitioner seeks permission for a variance on this project for several reasons; A.) The main purpose of the extension is to allow for a multi-generational family to continue to live together in a more comfortable space. B.) The design also considers the environmental factor of energy efficiency in regards to insulation, heating and cooling. The simple framing proposed allows for a well insulated and sealed addition and also allows for a substantial solar array to be placed on the roof with room for future array for electric vehicle charging. These factors combined allow for a more sustainable and energy efficient space to be created.

In conclusion, the enforcement of the provisions could firstly limit the possibility of the homeowner's son to continue to live in the house, and thus the town he grew up in along with his fiancée. This puts a financial and emotional strain on the family unit as a whole as due to increased housing costs, it is harder for working class families to stay in the town of Arlington.

Secondly, any limit or contingency placed upon the proposed design could impede the efficiency and efficacy of the space, thus causing issues in the future in regards to roof damage, water issues, lack of heating/cooling efficiency or an inefficient solar array - all of which could negatively impact the homeowner(s) financially in the future.

**3. Describe how the desirable relief may be granted without substantial detriment to the public good.**

The desired relief has no detriment to the public good as the plan does not impede on any other properties, it does not change the makeup of the neighborhood and it will not change the number of inhabitants in the home.

If anything, the proposal has potential to be a boon to the community as it allows for a long-term Arlington family to remain in the home that they own, keeping the property from being bought by developers or potential rental agencies. It also allows for the growth of the family within their home, keeping the neighborhood family oriented and thus maintaining the character of the area.

**4. Describe how desirable relief may be granted ... without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.**

While we cannot be sure of the original intent of this Zoning Bylaw, we presume it was either to ensure that builders created ample pitch to the roof to protect homeowners from the weight of snow in winter or to prevent turning a neighborhood of primarily two-family homes into triple decker rental units. In either scenario our current plan does not derogate from the intent of this bylaw.

In response to the former, modern building techniques can allow for more shallowly pitched rooflines that can still withstand snow weight in the winter, and current roof membranes are now suited to deal with the snow melt and rain runoff as well. (See answer to Question 2 for explanation as to why our plan addresses structural issues and the integrity of the house through the future.)

In response to the latter, as has been mentioned before, we are a family unit with three generations and a potential fourth not far away. In order for the current youngest generation to stay in Arlington, we are trying to create more living space for them to remain and also develop a future family in the neighborhood, and there is no intent of subdividing this house into condominiums or to turn it into multiple rentals.

Lastly, there is a new provision for accessory dwelling unit 8.1.3 E which states that the creation of such a unit, "will not result in any additional nonconformity as long as it does not increase the footprint or height of said building." If we were to adjust our plan very slightly, it would appear to fall within this exemption.



**TOWN OF ARLINGTON**  
Dimensional and Parking Information  
For Applications to the Zoning Board of Appeals

1. Property Location: 125/127 WEBSTER ST. Zoning District: R2

2. Present Use/Occupancy: TWO-FAMILY No. of dwelling units 2

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
5,429 Sq. Ft.

4. Proposed Use/Occupancy: 2 FAMILY No. of dwelling units 2

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
5,962 Sq. Ft.

- 6. Lot size (Sq. Ft.)
- 7. Frontage (Ft.)
- 8. Floor area ratio
- 9. Lot Coverage (%)
- 10. Lot Area per Dwelling Unit (Sq. Ft.)
- 11. Front Yard Depth (Ft.)
- 12. Left Side Yard Depth (Ft.)
- 13. Right Side Yard Depth (Ft.)
- 14. Rear Yard Depth (Ft.)
- 15. Height (Stories)
- 16. Height (Ft.)
- 17. Landscaped Open Space (Sq. Ft.)  
Refer to Section 2 in the Zoning Bylaw.
- 17A. Landscaped Open Space (% of GFA)
- 18. Usable Open Space (Sq. Ft.)  
Refer to Section 2 in the Zoning Bylaw.
- 18A. Usable Open Space (% of GFA)
- 19. Number of Parking Spaces
- 20. Parking area setbacks (if applicable)
- 21. Number of Loading Spaces (if applicable)
- 22. Type of construction
- 23. Slope of proposed roof(s) (in. per ft.)

Present Conditions	Proposed Conditions	Min. or max Required by Zoning
4,934	4,934	min. 6,000
68.72	68.72	min. 60
NA	NA	max. NA
35%	35%	max 35%
NA	NA	min. NA
9	9	min. 20
16	16	min. 10
10 1/2	10 1/2	min. 10
19	19	min. 20
2.5	2.5	max. 2.5
34	34	max. 35
1,923	1,923	
35.4%	32.2%	min.
623	683	
0.00%	0.00%	min. 0.00%
5	5	min. 2
NA	NA	min. NA
NA	NA	min. NA
WOOD	WOOD	N/A
9.5/12	2 5/8 /12	min. /

**TOWN OF ARLINGTON**  
 Open Space / Gross Floor Area Information  
 For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 125/127 WEBSTER ST. Zoning District: R2

<u>OPEN SPACE*</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Total lot area	<u>4,934</u>	<u>4,934</u>
Open Space, Usable	<u>623</u>	<u>683</u>
Open Space, Landscaped	<u>1,923</u>	<u>1,923</u>

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

**GROSS FLOOR AREA (GFA) †**

Accessory Building	<u>—</u>	<u>—</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>1242</u>	<u>1242</u>
1 <sup>st</sup> Floor	<u>1580</u>	<u>1580</u>
2 <sup>nd</sup> Floor	<u>1756</u>	<u>1756</u>
3 <sup>rd</sup> Floor	<u>—</u>	<u>901</u>
4 <sup>th</sup> Floor	<u>—</u>	<u>—</u>
5 <sup>th</sup> Floor	<u>—</u>	<u>—</u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u>634</u>	<u>266</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u>—</u>	<u>—</u>
All weather habitable porches and balconies	<u>217</u>	<u>217</u>
<b>Total Gross Floor Area (GFA)</b>	<u><b>5,429</b></u>	<u><b>5,962</b></u>

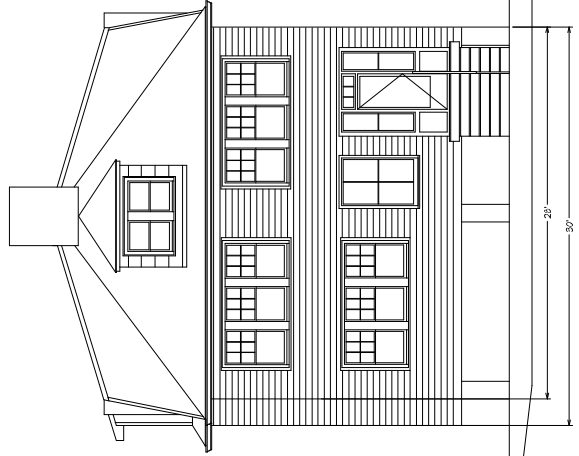
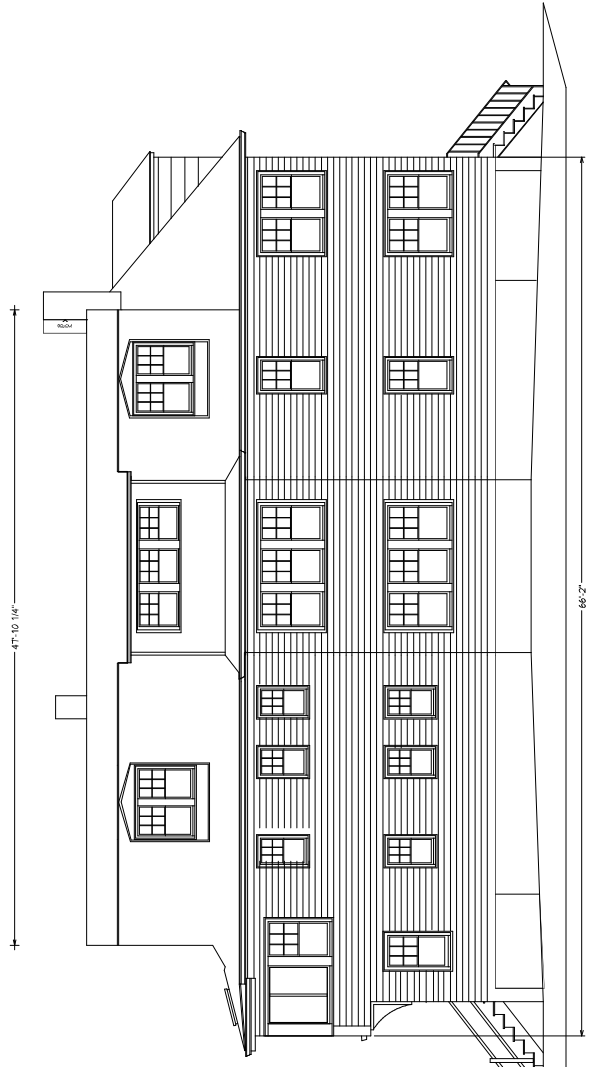
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**REQUIRED MINIMUM OPEN SPACE AREA**

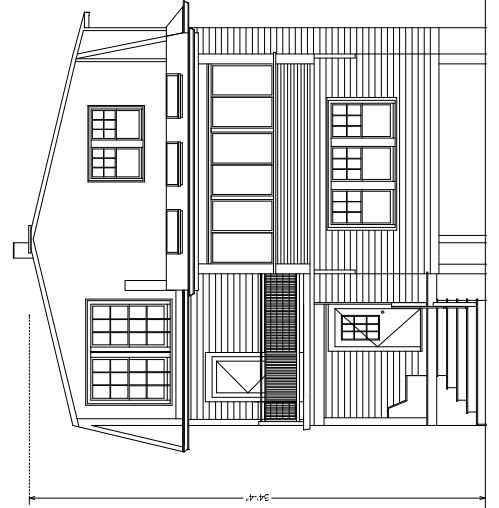
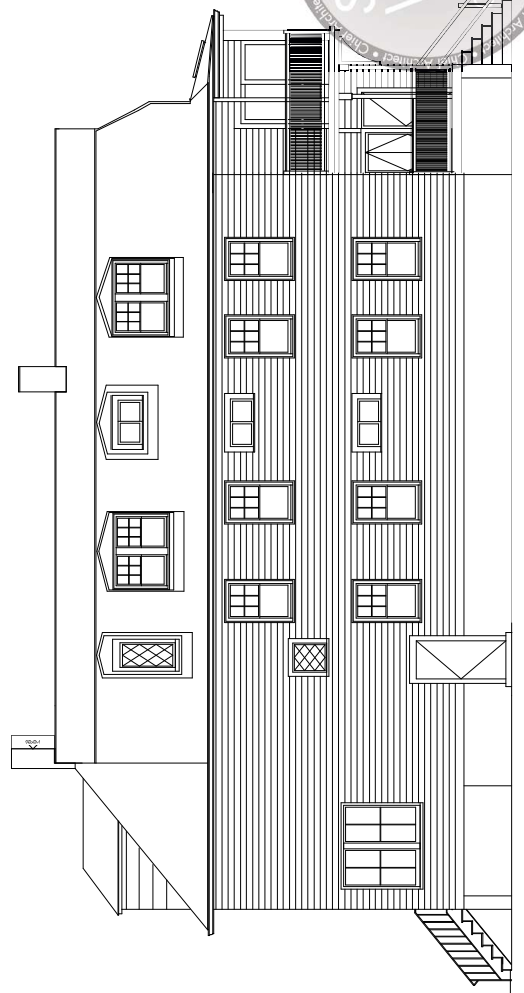
Landscaped Open Space (Sq. Ft.)	<u>1,923</u>	<u>1,923</u>
Landscaped Open Space (% of GFA)	<u>35.4%</u>	<u>32.2%</u>
Usable Open Space (Sq. Ft.)	<u>623</u>	<u>683</u>
Usable Open Space (% of GFA)	<u>11.5%</u>	<u>11.5%</u>

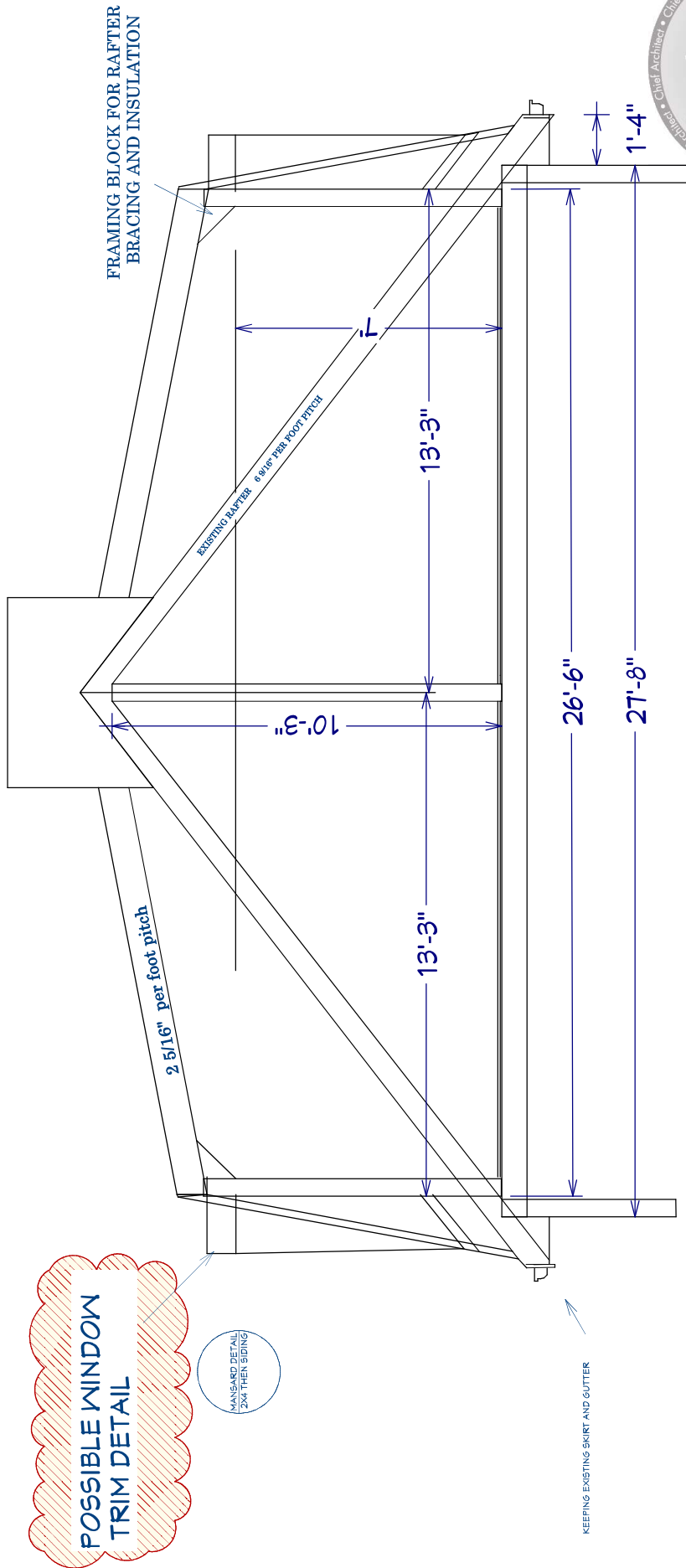
This worksheet applies to plans dated \_\_\_\_\_ designed by \_\_\_\_\_

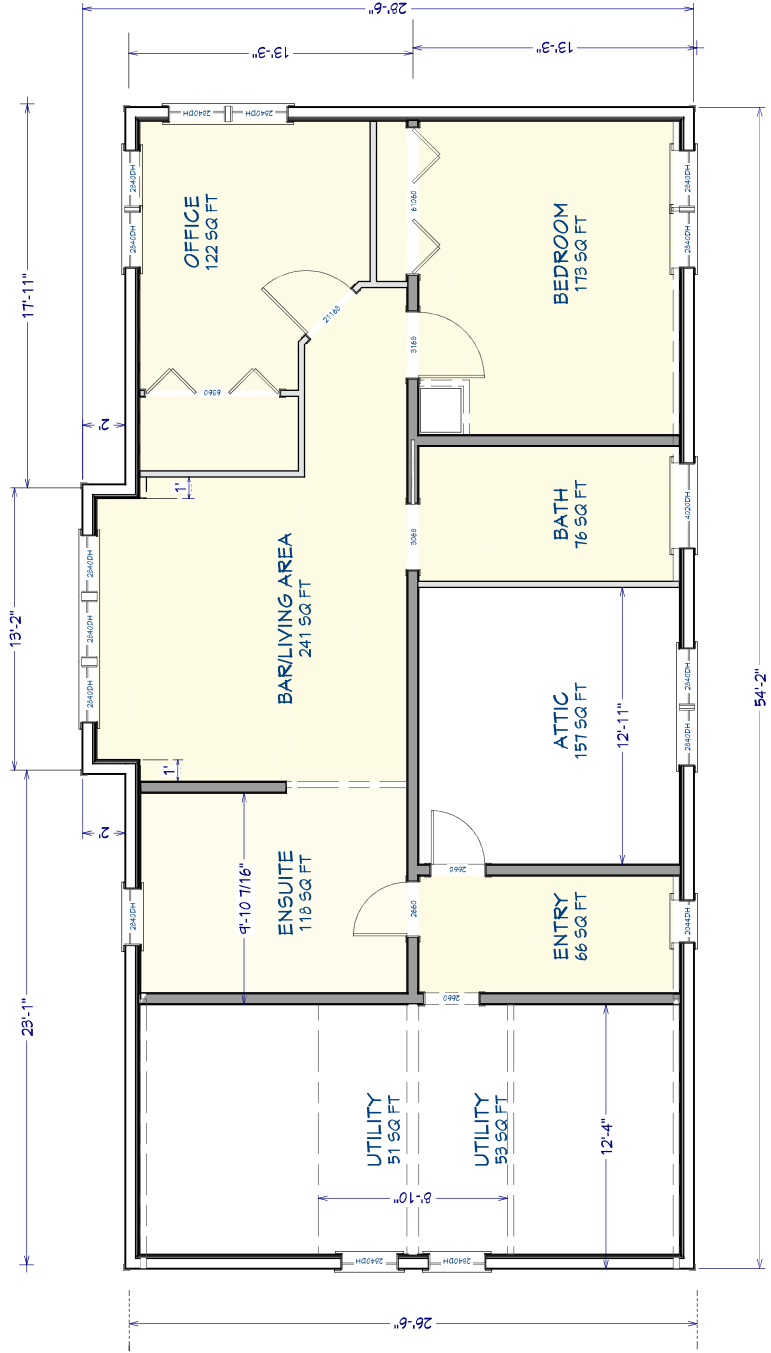
Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_



Optimal design Gambrel style side walls



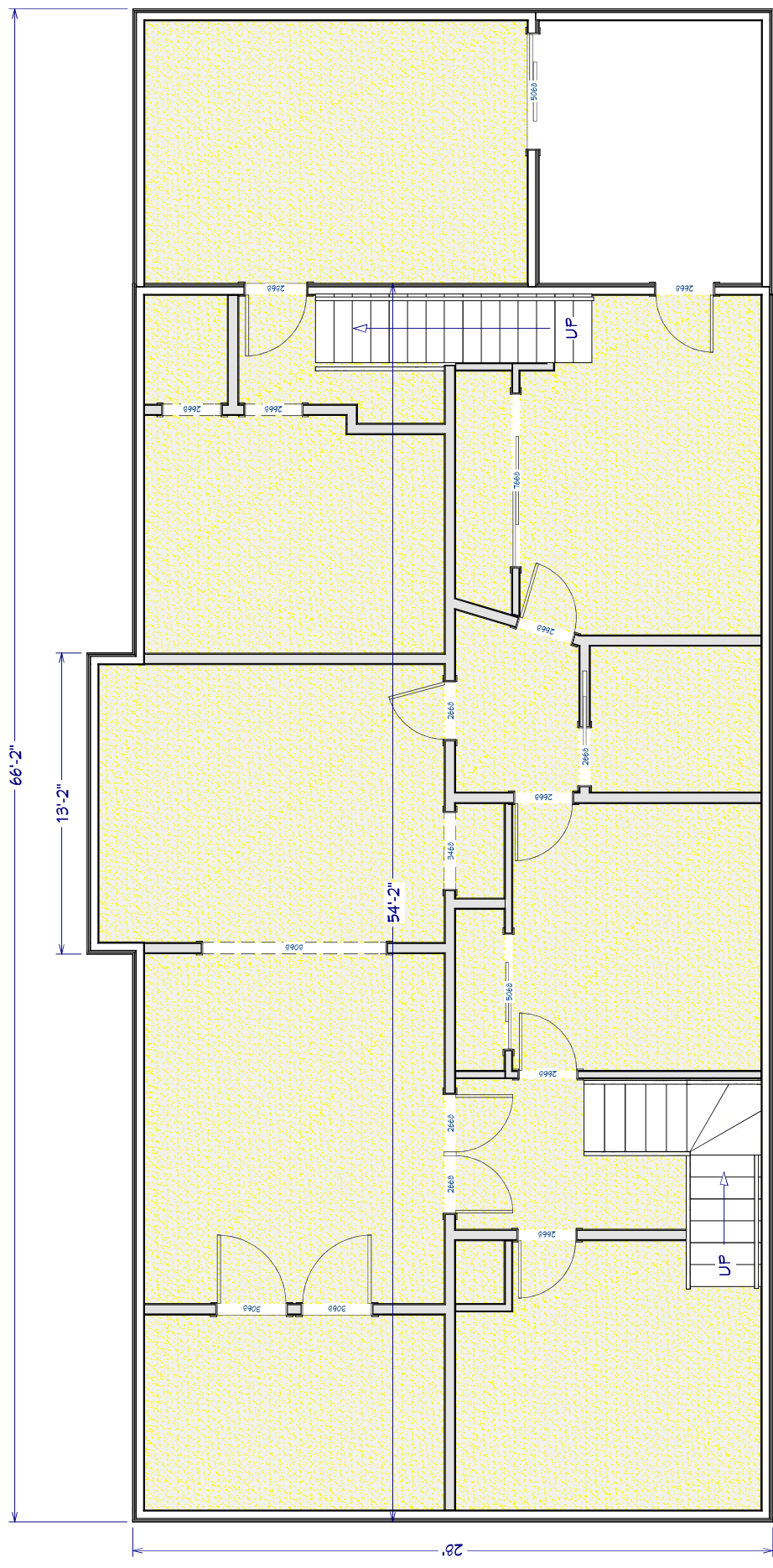




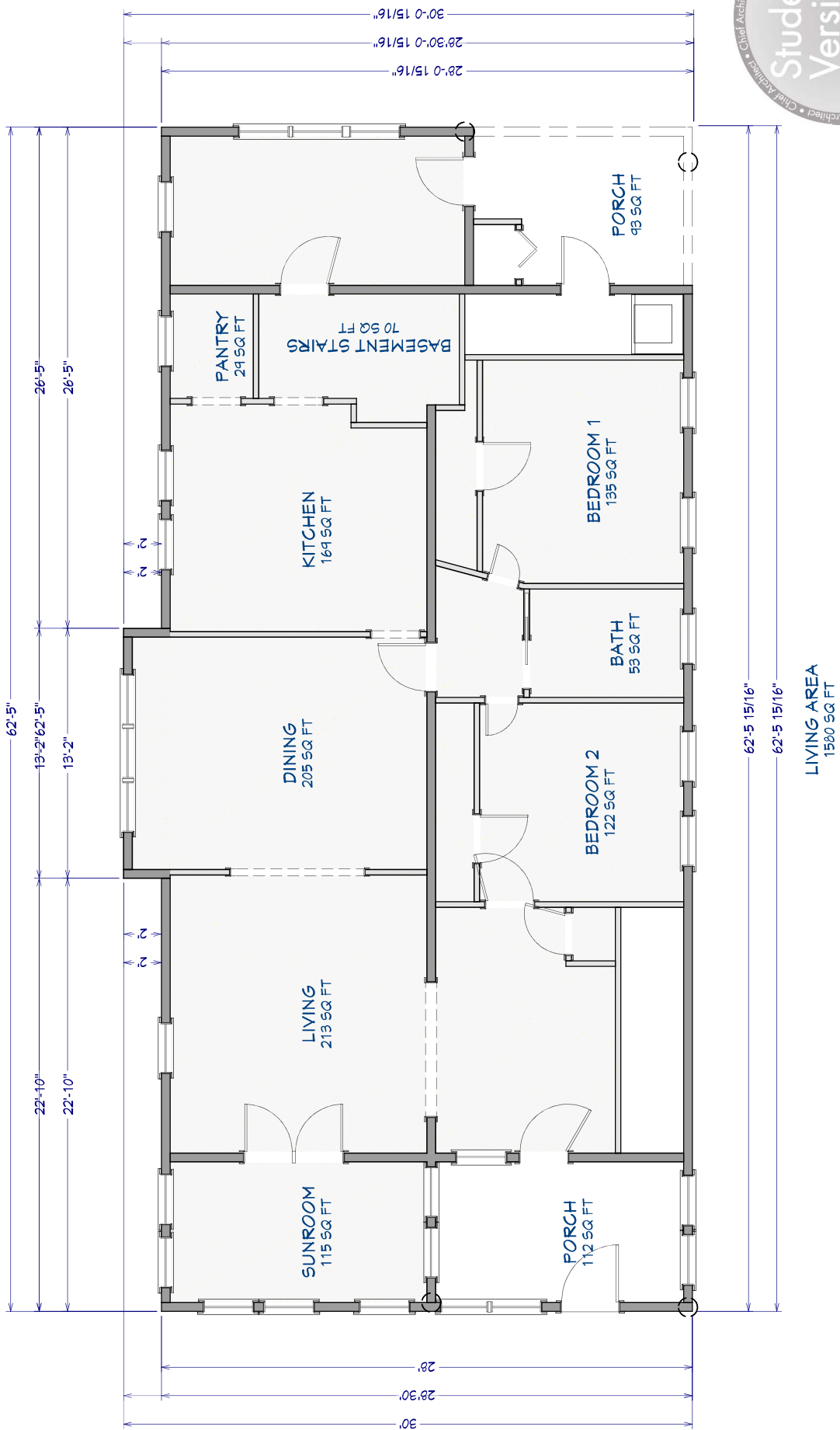
Variance Required  
52% of 2nd floor G.F.A

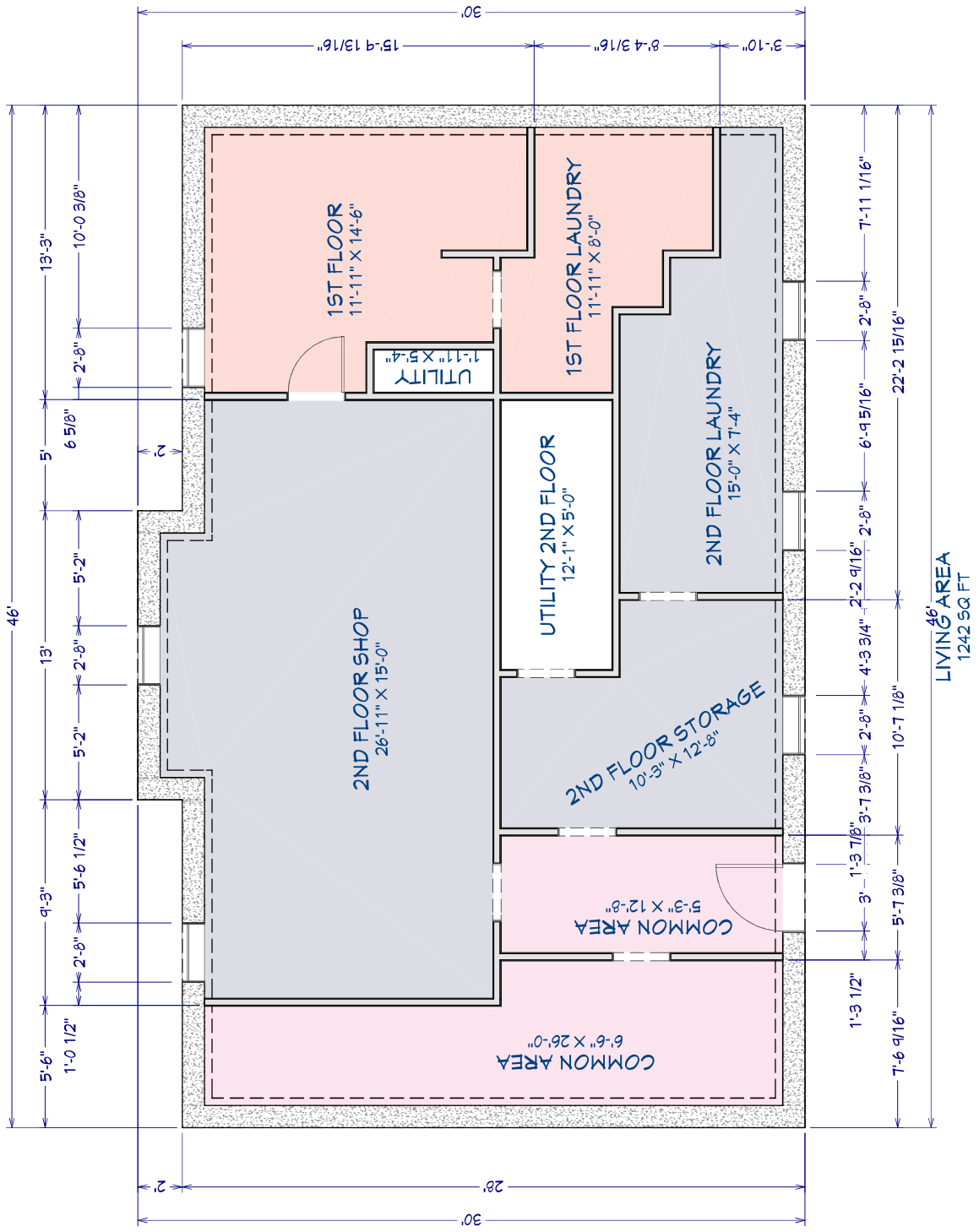
LIVING AREA  
401 SQ FT





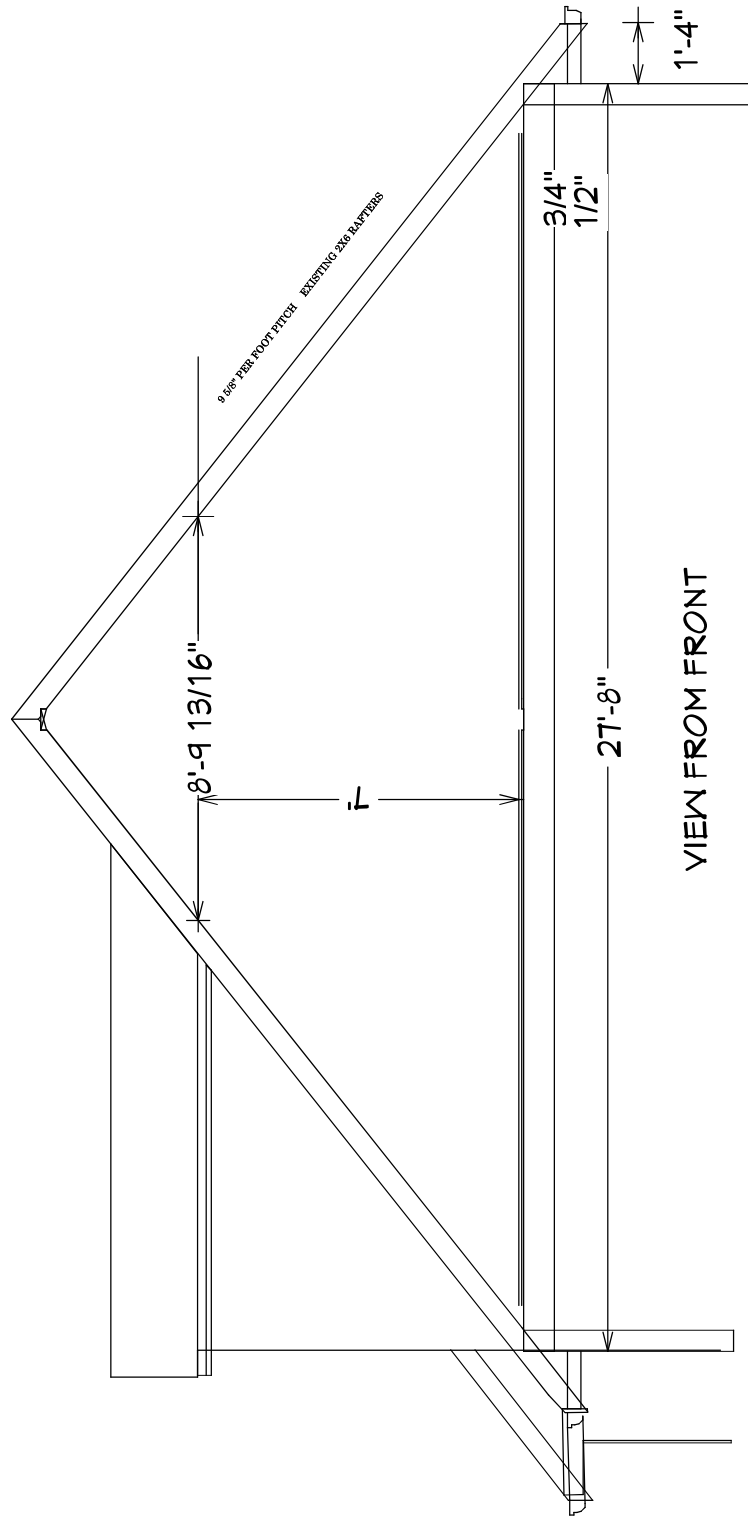
2nd floor G.F.A.  
**LIVING AREA**  
1756 SQ FT



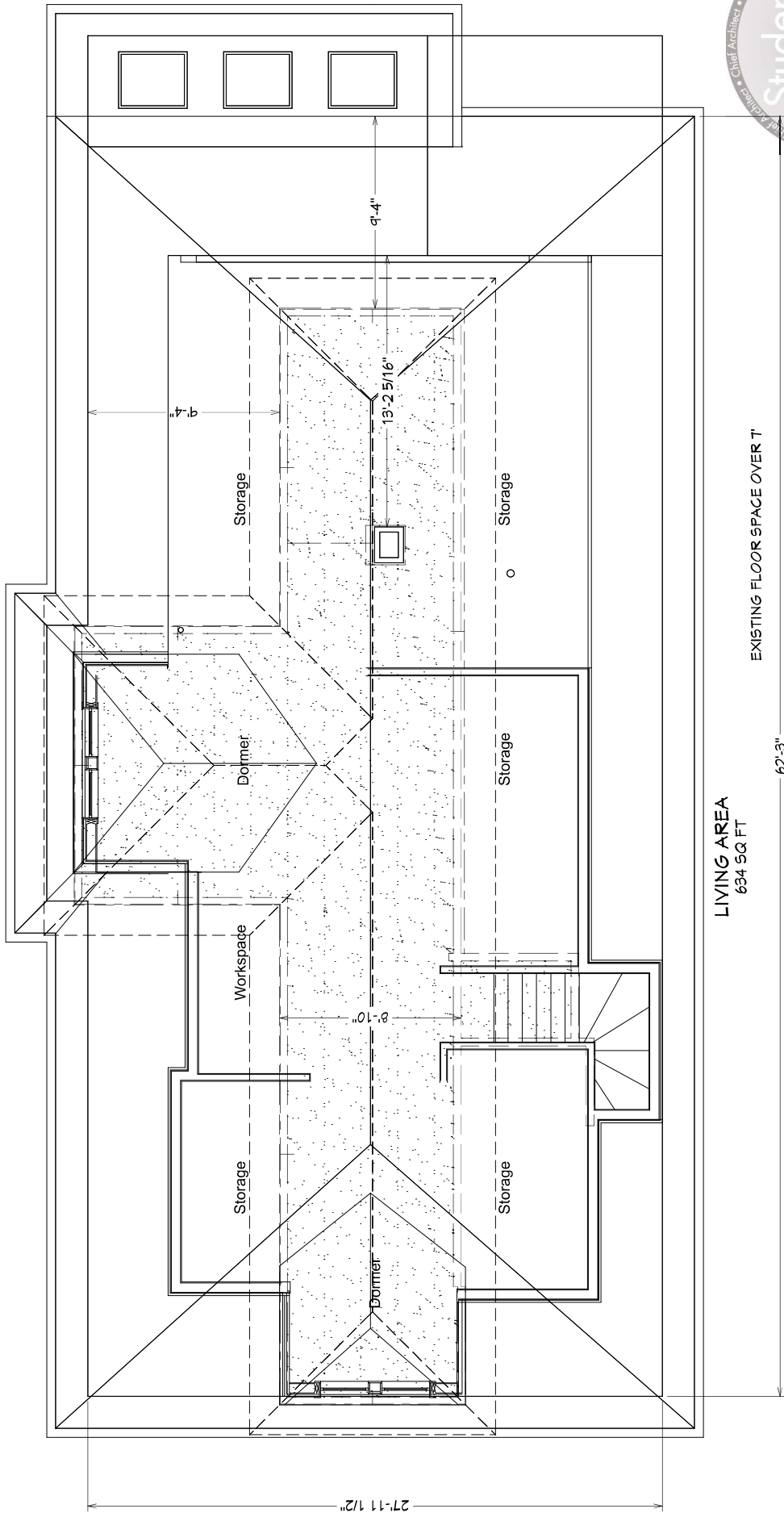


**LIVING AREA**  
 1242 SQ FT





VIEW FROM FRONT



LIVING AREA  
 634 SQ FT

EXISTING FLOOR SPACE OVER T

















The undersigned homeowners and citizens of the town of Arlington have no objections to the petition filed by Bruce McKenna of Arlington, Massachusetts on August 20, 2021 seeking permission to alter his property located at 125-127 Webster St. (Block Plan 044.0-0005-0010.0). The signatories believe the granting of the Special Permit under Section 8.1.3 (B) and Variance under Section 6.00 respectively of the Zoning Bylaw for the Town for Arlington would have no adverse effects on the aesthetics or functioning of the neighborhood, and believe supporting the ability of multi-generational families to remain in Arlington benefits the community as a whole.

Name (Printed)	Address	Signature
ROB EAGAN	234 GRAY ST ARLINGTON, MA	Rob Eagan
Elizabeth Eagan	234 Gray St Arl. MA	Elizabeth Eagan
MATTHEW CARMODY	143 SCITUATE ST ARL. MA	Matthew Carmody
Jennifer Carmody	143 Scituate Arl	Jennifer Carmody
Kambiz & Beri Vatan	240 Broadway Arl.	Kambiz & Beri Vatan
Will MARTIN	6 MICHAEL ST	Will Martin
Robert Garza	172-174 Palmer St	Robert Garza
maureen martin	6 michael st.	Maureen Martin
Michael Martin	6 Michael St	Michael Martin
Antonio Joaristi	24 Beck Rd, 2RR <sup>02476</sup> Arlington	Antonio Joaristi
Ann M. Bowler	48 Palmer St, Arl. <sup>02474</sup>	Ann M. Bowler
Linda Shupe	51 Palmer St Arlington	Linda Shupe
Susan Braun	99 Waveren St. Arlington MA	Susan Braun
Willow Hearth	121 Palmer St Arlington MA	Willow Hearth
Mary Hearth	121 Palmer St Arlington MA	Mary Hearth
Phyllis & John Makorey	35 Newland Rd. Arl. MA	Phyllis Makorey
Donna EIDSON	121 Scituate St Arl. MA	Donna Eidson

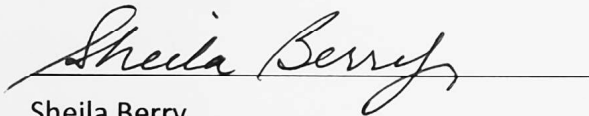
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Name (Printed)	Address	Signature
Sean Spingler	119 Webster St.	[Signature]
Kara Cortesi Madden	135 Webster	[Signature]
Karen Shiff	95 Webster St	[Signature]
Deborah Ghofrani	83 Palmer St	[Signature]

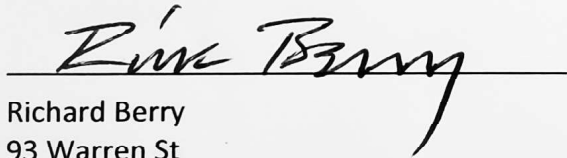


To Whom It May Concern:

My husband Richard Berry and I would like to voice our support for the permit and variance requested by Bruce McKenna at 125-127 Webster Street. We have lived at 93 Warren Street for over 30 years, down the street from my own parents, and would like for our daughter, Katherine Berry, to be able to remain in Arlington as well. As prices have risen in the town over the years, it has become infeasible for many families who have long lived here to purchase or rent property in their home area. Kate and her siblings have always been very involved in the neighborhood where they grew up, visiting their aunts and uncles, grandparents, and other elderly residents, babysitting and shoveling for neighbors, and spending time with local friends. One of the wonderful aspects of Arlington is the development of these sorts of supportive communities, and we hope the town sees the value of enabling the continuation of such networks as times change. It is important to us to have our daughter and her fiancé, Luke Weaver, also a lifelong resident, remain in Arlington and continue to cultivate positive community ties, and stay in close contact with their families and loved ones. We find no issue with the raising of the roof at 125-127 Webster St, and encourage the facilitation of multi-generational homes in the town.



Sheila Berry  
93 Warren St  
Senior Library Assistant, Circulation Dept., Robbins Library



Richard Berry  
93 Warren St  
Artist & small business owner, 24 Beck Rd., formerly at Mirak Innovation Park

To Whom It May Concern:

As a lifelong Arlington resident and the grandmother of Katherine Berry, one of the petitioners for this variance, I support the raising of the roof at 125-127 Webster St. I have lived in Arlington my entire life, first on Mill St, and for the last 65 years at 47 Palmer St with my husband Frank. Three of our daughters, Kate's mother included, also stayed in Arlington to raise their families here. It is very important to us that my granddaughter and her fiancé Lucas Weaver, who have otherwise been priced out of buying a house or condo in Arlington, be able to stay in their hometown and live close to their loved ones. Kate currently stays with us, and regularly assists with medical care for her grandfather who is at home on hospice; we hope she will be able to live close by and continue visiting us once she is married and moves away. As a family-oriented town, it is in Arlington's interests not to prevent a young couple from remaining local, so that they can continue to support the schools, communities, shops, and natural areas that are dear to them.

A handwritten signature in cursive script that reads "Teresa M. Vaughan". The signature is written in black ink and is positioned above a solid horizontal line.

Teresa Vaughan  
47 Palmer St

**REQUEST FOR SPECIAL PERMIT**

**TOWN OF ARLINGTON**

In the matter of the Application of **Bruce McKenna**  
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

Seeking a Special Permit to increase the square footage of living space in the house,  
as well as create a modification of the exterior appearance of the structures. The  
design set forth is in accordance with all rules and regulations for buildings in Zone  
R2.

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 125/127 Webster St. with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

To increase the living space of the second floor apartment within the confines of the  
existing foundation, which will involve the redesigning of the top 1/2 story of the  
house not above 1/2 the square footage of the current residence but will involve  
adjusting the exterior facade.

E-Mail: bmckenna50@yahoo.com Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Telephone: 781-696-3939 Address: 125/127 Webster st., Arlington, MA 02474

**Special Permit Criteria (3.3.3):**

**A. Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.**

Under Section 5.4.2.A on Page 61 Table R District Building Height and Floor Area Ratio Regulations states that houses in Zone R2 can have a building height of 35ft. and 2 ½ stories. Both these requirements are met in these designs.

**B. Explain why the requested use is essential or desirable to the public convenience or welfare.**

The requested use is desirable to the public welfare for the following reasons:

- a. It will allow the next generation of long-term Arlington residents to live in the house/neighborhood they grew up in and raise another generation in the town, thus maintaining residents and families in the neighborhood over time.
- b. With expansion of the second floor unit, if the property were to exchange ownership, future owners are more likely to stay in the neighborhood instead of (as is common) young families moving out of the neighborhood for bigger homes as families grow, thus maintaining a more communal feeling in the area.
- c. Many neighboring houses are completing or have completed similar projects, and this project keeps in compliance with these projects, all of which increase the potential for more long term, owner-occupant residences in the neighborhood.

**C. Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.**

The requested use will not create any undue traffic congestion or unduly impair pedestrian safety as it is making no changes to street or walkways and is not increasing the number of household members, thus will not increase the number of vehicles in use at this address.

Furthermore, as this addition is intended for the allowance of a single family to continue to live in this home, (currently 3 generations) the likelihood is that

there will be a need for fewer vehicles as compared to a house with multiple families or multiple renters.

**D. Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.**

The requested use will have practically no effect on the drainage or sewer system as there will not be an increase in the number of members of the household, thus not increasing water usage. While the plans do include adding a second bathroom, this is standard for the neighborhood and community as there is currently only one bathroom in the unit, and adding a second one only adds convenience, but as all members of the unit currently share one bathroom, adding a second will not increase usage by any notable amount.

**E. Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.**

Special regulations are fulfilled as this construction project does not increase the non-conforming nature of an already non-conforming two-family house in zoning district R2. (See 8.1.3.A) The project is confined to the current foundation of the house and will not change the peak height of the structure.

Also, while there will be an increase in the gross floor area to the structure, it will not exceed 40% as is designated by zoning bylaw 8.1.2.C.

**F. Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.**

The requested use is similar in many ways to dozens of other projects that are occurring and have occurred in the neighborhood, and thus would be in compliance with the character of the district and adjoining districts. (See attached photos of neighboring houses within a 1 block radius of 125 Webster st.)

In regards to the adjoining lots, one lot will not be affected whatsoever, and the neighboring lot on Webster st. will be affected minimally by the heightened roofline and some small loss of morning sunlight, but not in any meaningful way.

This use, not only is in compliance with neighborhood, it is beneficial in many ways, as mentioned previously, it will allow for another generation to be raised in the same household, retaining the essence by allowing current and long-term Arlington residents to remain in their household by making room for the next generation's use. It will also increase the popularity of the neighborhood for more occupant-owner residents and thus increase the permanence and care for the neighborhood in the coming years.

**G. Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.**

The requested use, as mentioned before, will not increase the number of residents in the current household, and thus will not change any habits regarding traffic or use in the neighborhood.

The current residents of the upper floor unit are the owners and their adult son with the first floor being rented to an elderly parent in need of care. The addition is to allow for more living space for the owners and their son on the second floor so that the son can continue to live in Arlington and begin to plan a future with a family to be raised in the same house, while still caring for the his parents (current owners) as they age and his aging grandmother, thus not changing any aspect of the current situation of the household.

This use could be considered a positive for the neighborhood, as it maintains the familial nature of this part of Arlington and, again, allows for long-term residents to begin to make plans for a future generation to be raised in the town and in the same house, maintaining the character of the neighborhood by maintaining its residents.

**TOWN OF ARLINGTON**  
 Dimensional and Parking Information  
 For Applications to the Zoning Board of Appeals

1. Property Location: 125/127 WEBSTER ST. Zoning District: R2

2. Present Use/Occupancy: TWO-FAMILY No. of dwelling units 2

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
5,429 Sq. Ft.

4. Proposed Use/Occupancy: 2 FAMILY No. of dwelling units 2

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
5,869 Sq. Ft.

6. Lot size (Sq. Ft.)
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8. Floor area ratio
9. Lot Coverage (%)
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11. Front Yard Depth (Ft.)
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16. Height (Ft.)
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21. Number of Loading Spaces (if applicable)
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23. Slope of proposed roof(s) (in. per ft.)

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35%	35%	max 35%
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16	16	min. 10
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19	19	min. 20
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35.4%	32.2%	min.
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NA	NA	min. NA
WOOD	WOOD	N/A
9.5/12	2 5/8 /12	min. /



**TOWN OF ARLINGTON**  
 Open Space / Gross Floor Area Information  
 For Applications to the Zoning Board of Appeals

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Address: 125/127 WEBSTER ST. Zoning District: R2

<b><u>OPEN SPACE*</u></b>	<b>EXISTING</b>	<b>PROPOSED</b>
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2 <sup>nd</sup> Floor	<u>1756</u>	<u>1756</u>
3 <sup>rd</sup> Floor	<u>—</u>	<u>873</u>
4 <sup>th</sup> Floor	<u>—</u>	<u>—</u>
5 <sup>th</sup> Floor	<u>—</u>	<u>—</u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u>634</u>	<u>228</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u>—</u>	<u>—</u>
All weather habitable porches and balconies	<u>217</u>	<u>217</u>
<b>Total Gross Floor Area (GFA)</b>	<u>5,429</u>	<u>5,869</u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

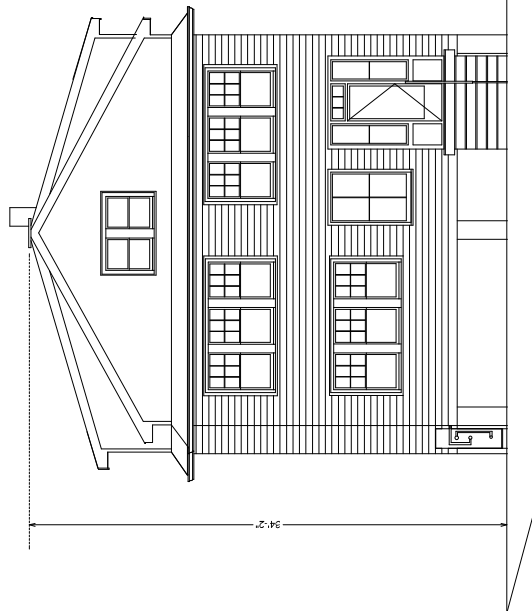
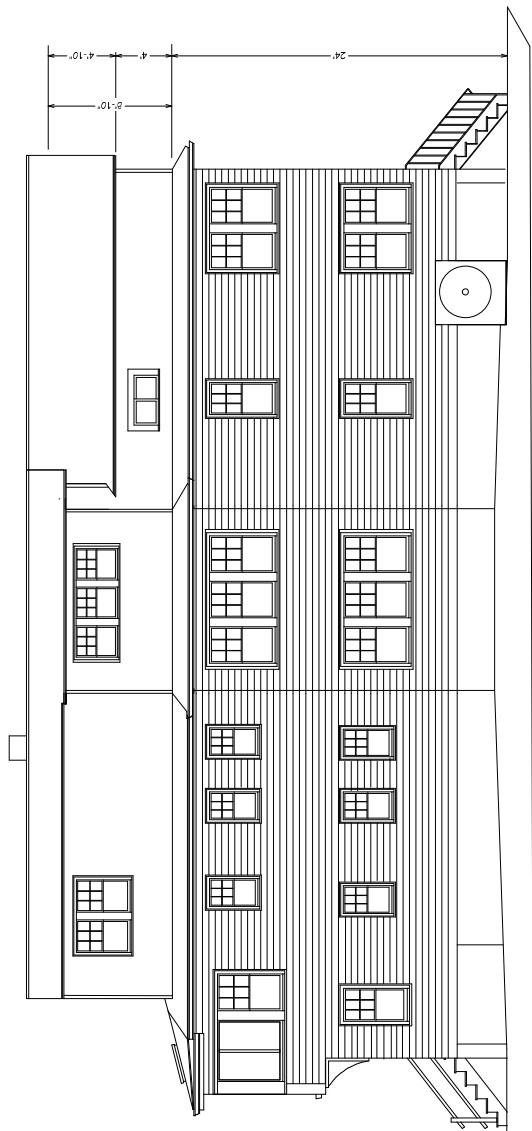
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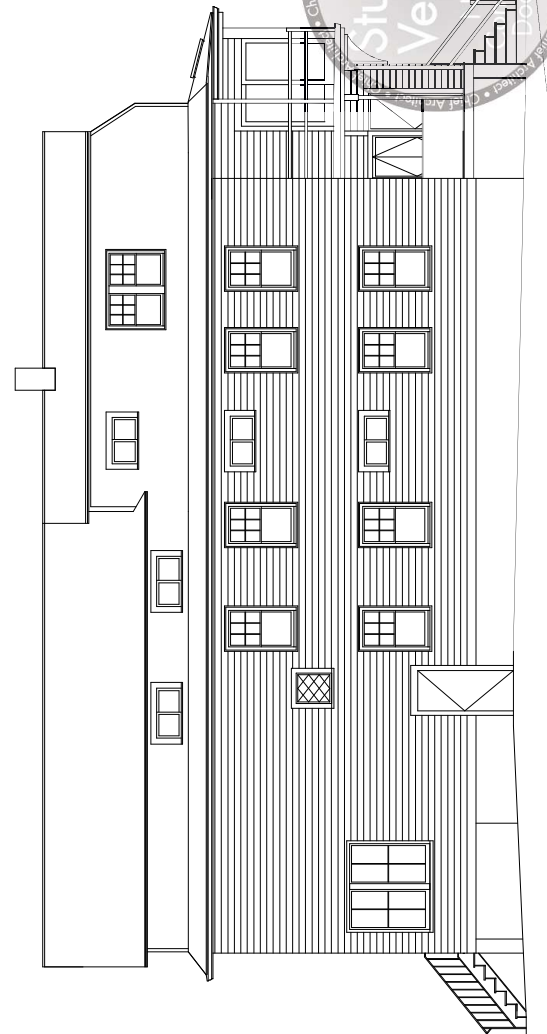
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Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_

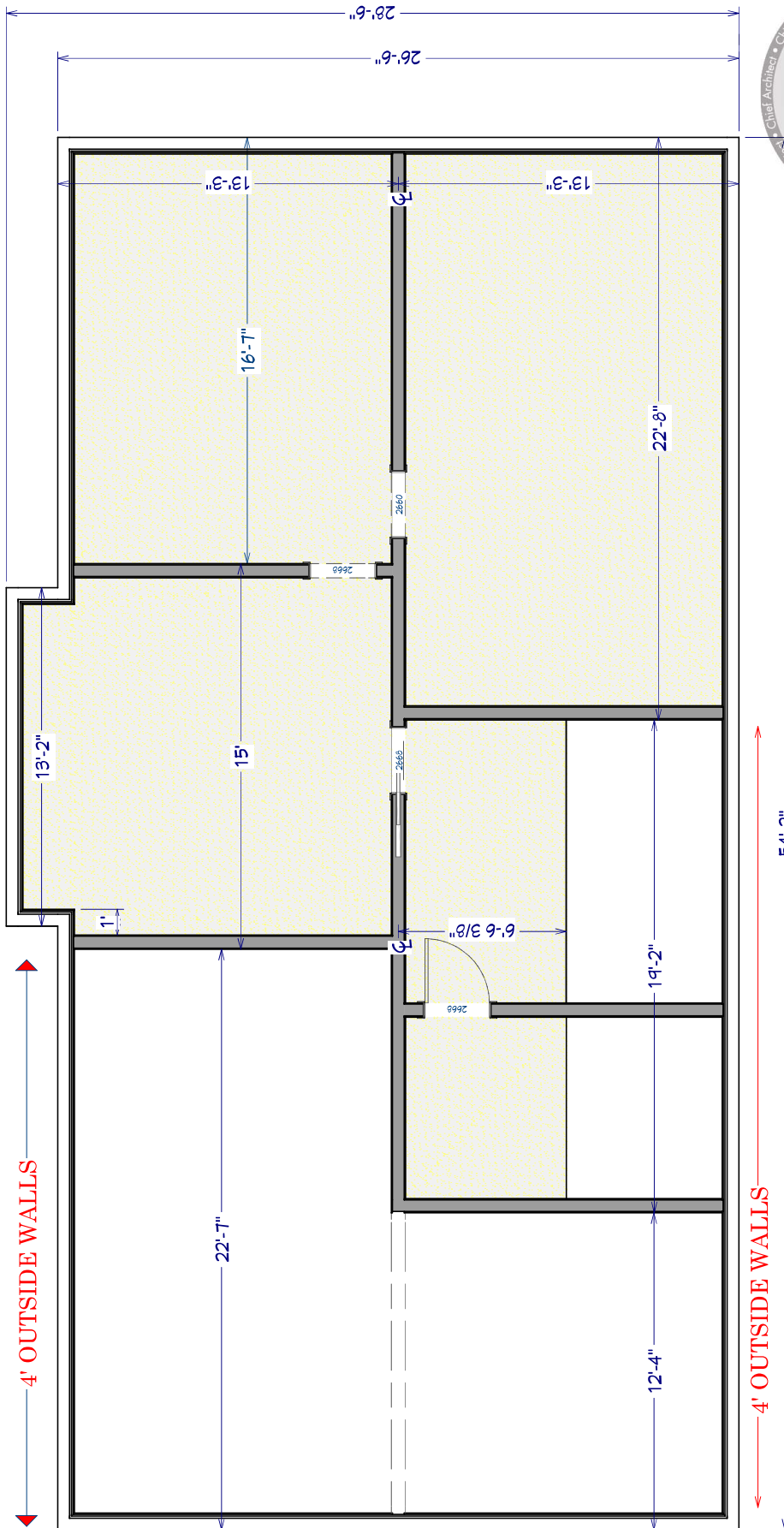




3RD FLOOR G.F.A. 840 S.F.  
 LESS THAN 50% G.F.A. 2ND FLOOR  
 SPECIAL PERMIT ONLY



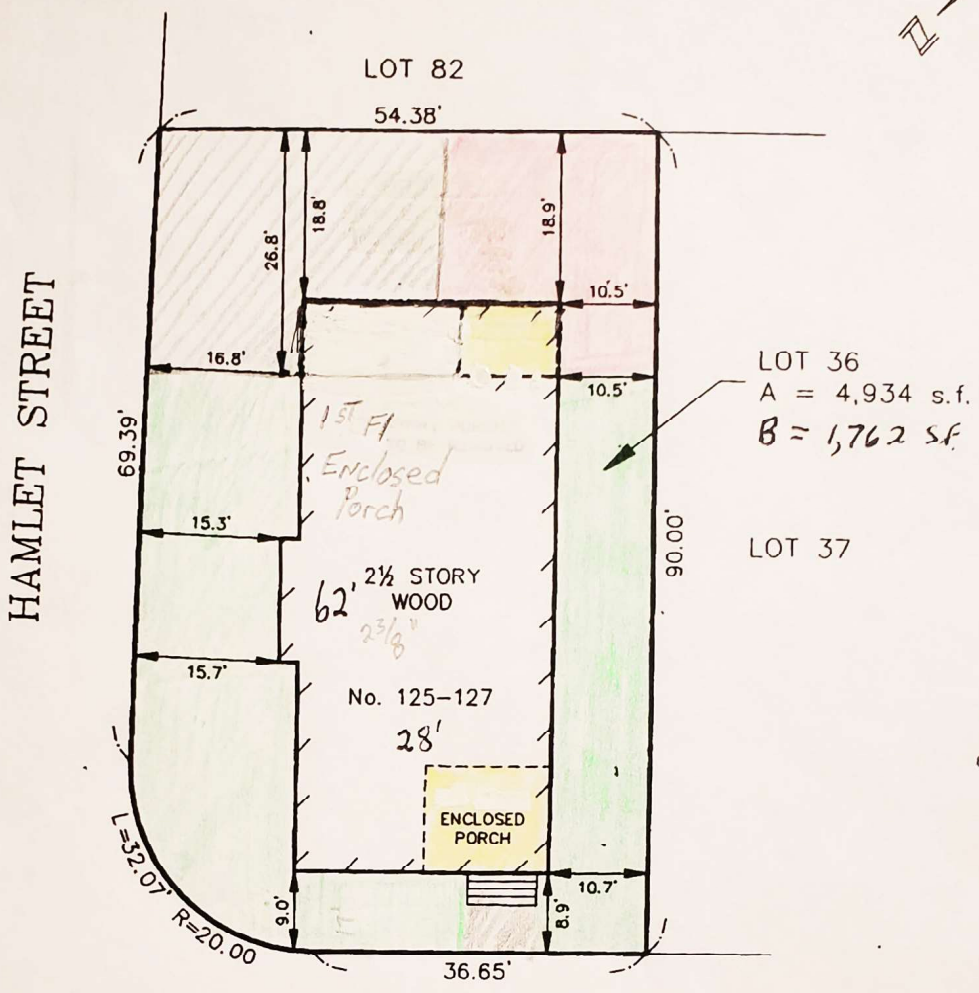
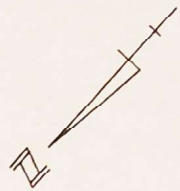




Special Permit  
49% of 2nd floor G.F.A





LIVING AREA  
873 SQ FT

MANSARD ROOF



LOT 36  
A = 4,934 s.f.  
B = 1,762 s.f.

LOT 37

-  driveway 626 sq ft
-  Landscaped 1923 sq ft
-  Patio 623 sq ft
-  common porch 208 sf

WEBSTER STREET

35%

B = Building Footprint

PLOT PLAN OF LAND  
LOCATED IN  
ARLINGTON, MASS.

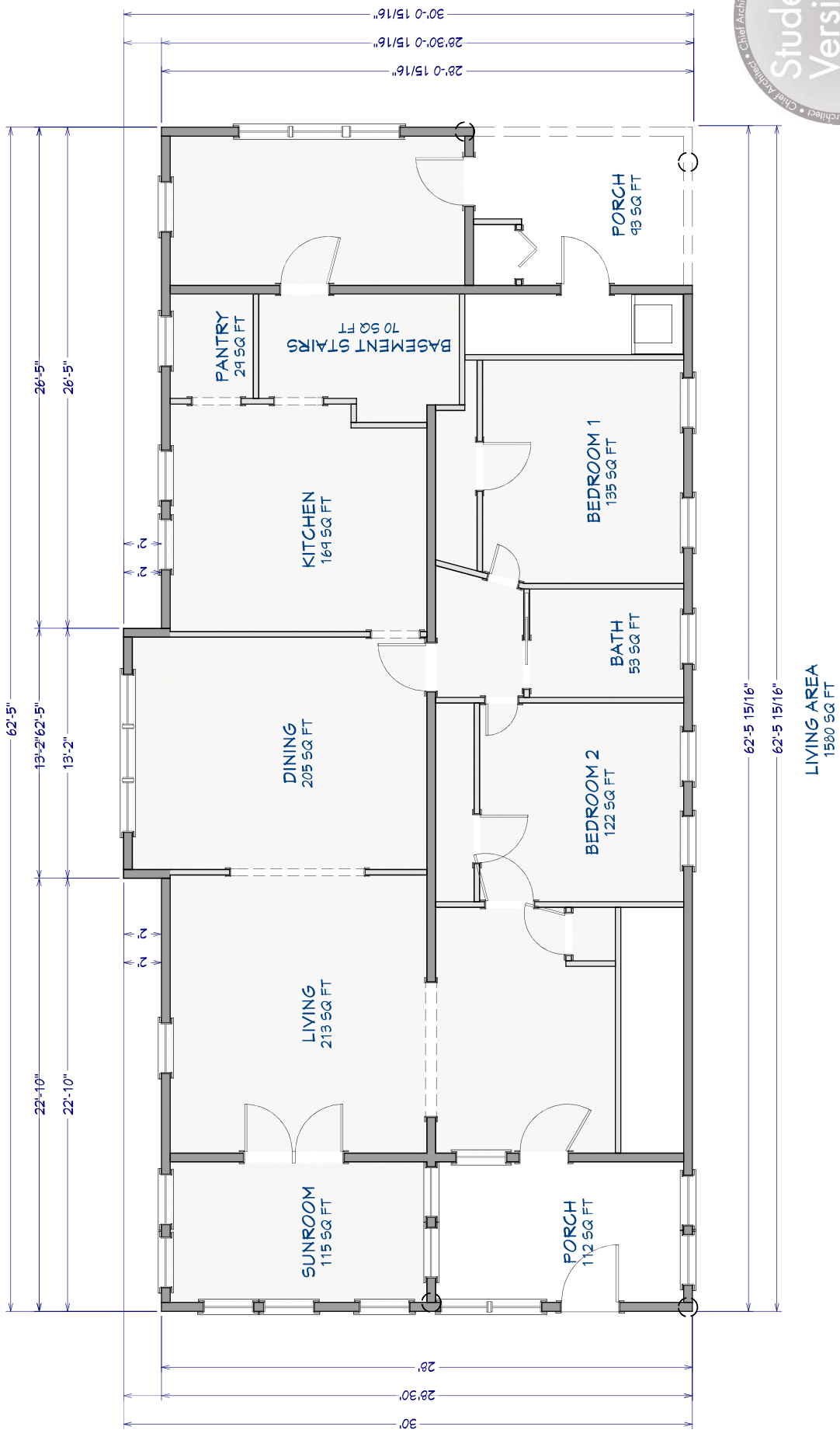
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED FROM AN INSTRUMENT SURVEY AND THAT THE BUILDING IS LOCATED ON THE GROUND AS SHOWN.

*Angelo B. Veneziano*  
ANGELO B. VENEZIANO, P.E. - P.L.S. date

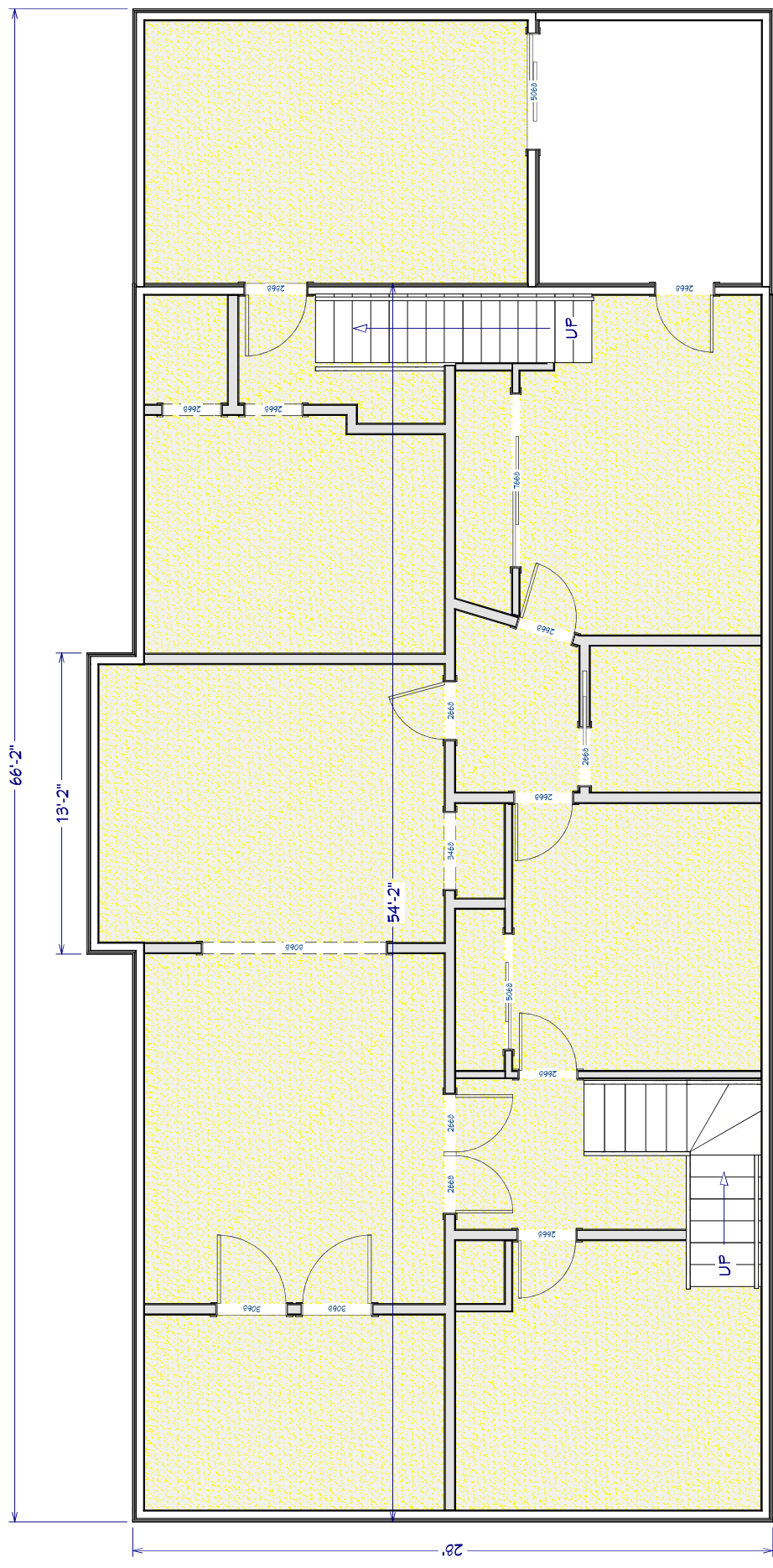


PREPARED BY:  
MEDFORD ENGINEERING & SURVEY  
15 HALL ST. MEDFORD, MA. 02155  
ANGELO B. VENEZIANO - PE & PLS  
781-396-4466 fax: 781-396-8052

SCALE: 1" = 20'  
TITLE REF: BK. 19807 PG. 514  
DATE: MAY 3, 1999  
FILE No. 13213

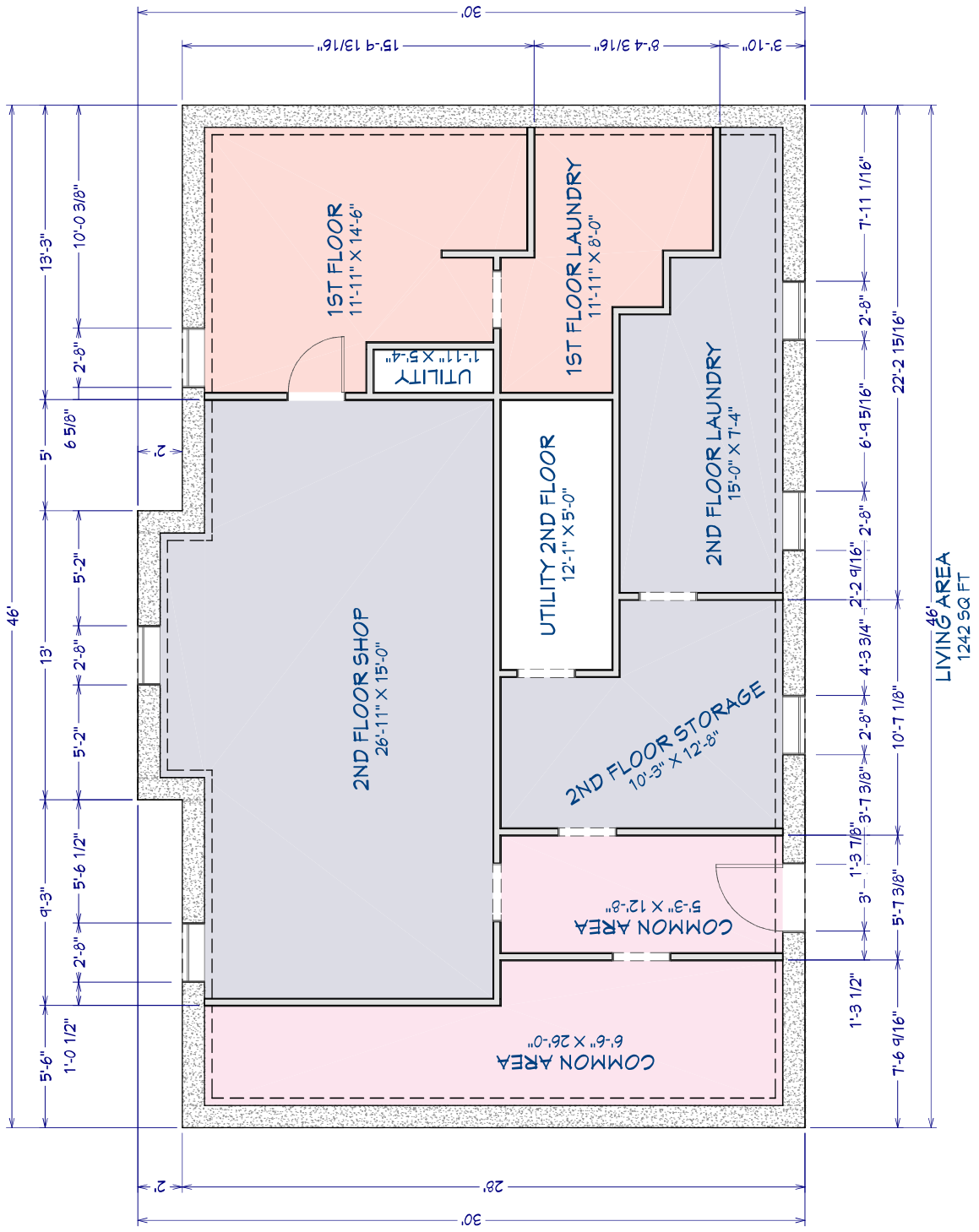


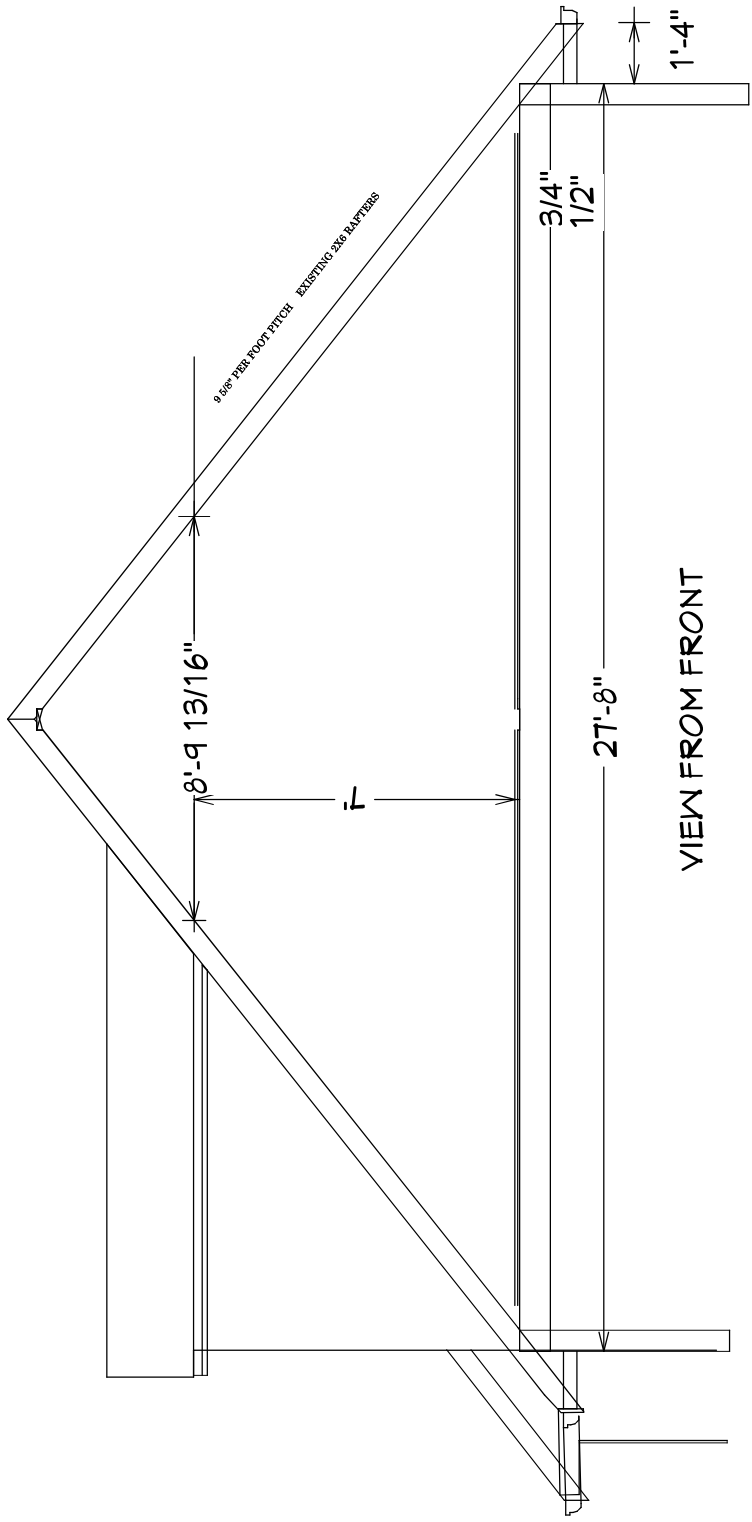


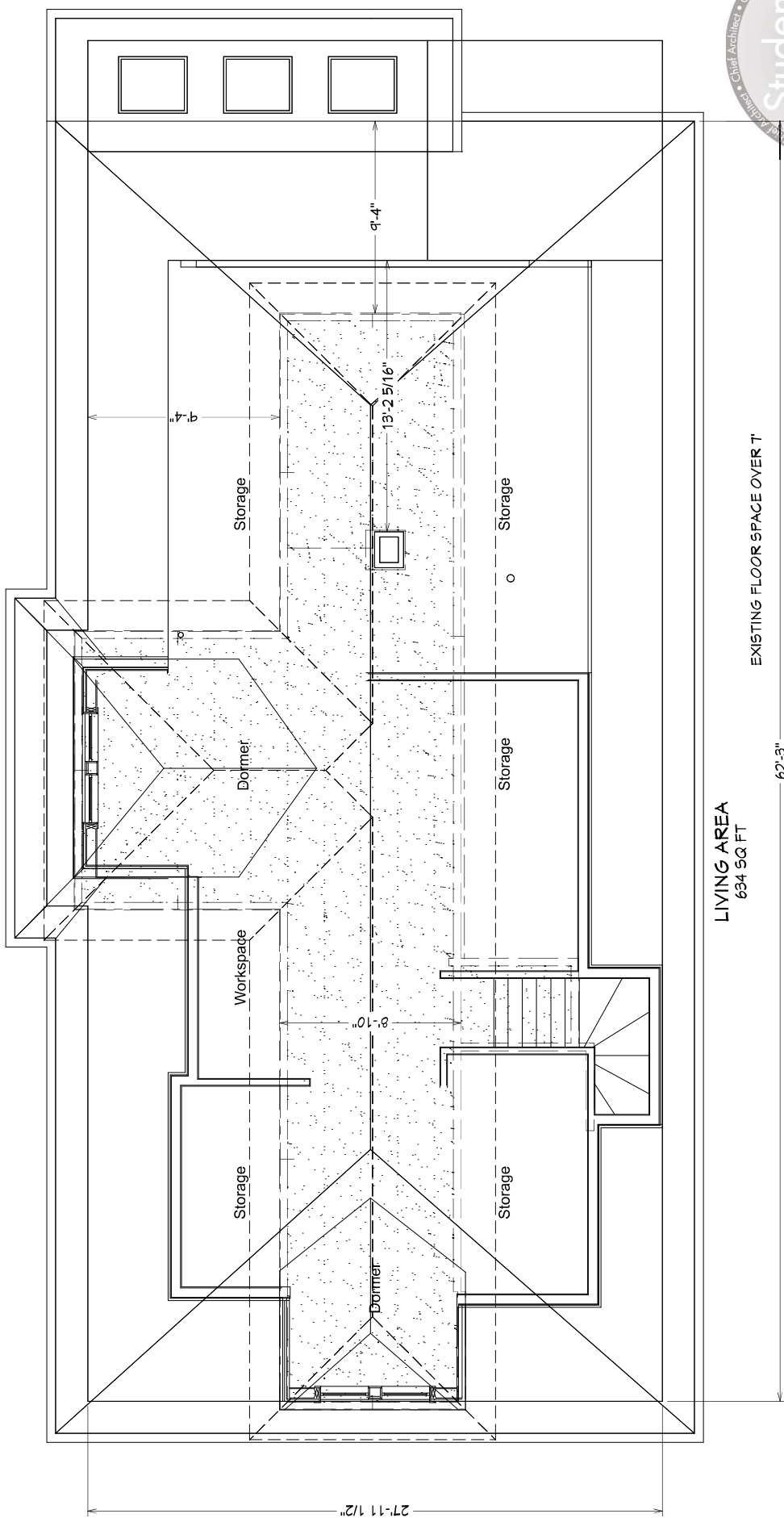


2nd floor G.F.A.  
**LIVING AREA**  
1756 SQ FT









LIVING AREA  
 634 SQ FT

EXISTING FLOOR SPACE OVER T